



March 26, 2026

Deanna Schmidt, AICP  
City Planner & Zoning Administrator  
City of Fitchburg  
5520 Lacy Road  
Fitchburg, WI 53711  
deanna.schmidt@fitchburgwi.gov

RE: Agrace Additions and Renovations – PDD-SIP Rezoning Application – Hospice Care Renovation and Addition

Dear Deanna,

On behalf of Agrace, we are submitting the attached rezoning application to amend the current Specific Implementation Plan (SIP). Agrace is an existing 2-story, 50-bed hospice care facility located on a 14.14 acres parcel at 5395 E. Cheryl Parkway which is zoned PDD in the City of Fitchburg. Overall, Agrace is proposing additions and renovations to their campus that will consist of the following:

- New additions and renovations for incorporating a 64-bed licensed Community Based Residential Facility Assisted Living Memory Care on their campus
- Reconfiguration of the Hospice Care area of their facility that will combine renovations and small additions to downsize from 50 to 28 beds and relocate completely to the west end of their campus.
- Incorporate Adult Day Care operations on their campus through a series of additions and renovations.
- Incorporate a Grief Support Counseling Center on their campus, facilitated by some minor interior renovations of their existing building.
- Renovate and expand the Education Center spaces.
- Add 8 studio apartments dedicated to serving employee housing.
- Additions and renovations that will enhance community living, activity and gathering spaces to serve the general population.

We are requesting two phases of SIP submittals and reviews to the City of Fitchburg. The reason for this request is that Phase 1, The reconfiguration of the Hospice Care area of their facility, will need to be completed before the balance of the project, Phase 2, can be started. This will allow current patients to be relocated to the new Hospice area so the balance of the campus can be vacated for demolition and reconstruction. Please reference the proposed development schedule at the end of this letter.



The following content, submitted previously with the PDD-GIP application, further describes our rationale for why this project is proposed in addition to analyses on the following:

- Social and economic impacts of the proposed project on the community
- How the proposed project is consistent with and will advance the goals, policies and objectives of the comprehensive plan
- Benefits and amenities to be gained by the proposed project

### **Statement of Rationale and Brief Analysis of Impact on the Community Agrace Dementia Village December 15, 2025**

Founded in 1978, Agrace has grown from a small volunteer effort into one of Wisconsin's leading providers of hospice, palliative, dementia, and grief support services. Over nearly five decades, Agrace has continually adapted to meet the changing needs of patients and families across southern Wisconsin. Today, thousands rely on Agrace each year for comprehensive home hospice, inpatient hospice, palliative care, grief support, and adult day services—care that has earned Agrace a reputation for compassion, quality, and innovation.

As the region's demographics shift, Agrace must again evolve to meet emerging needs. The number of people living with Alzheimer's disease and other dementias is rising rapidly, while traditional, institutional models of memory care are falling short. Drawing on global best practices, Agrace proposes to build a Dementia Village on its Fitchburg campus, modeled after the internationally recognized Hogeweyk Dementia Village in the Netherlands. This approach emphasizes small households, social freedom within a secure environment, meaningful daily life, and a community intentionally designed around dignity and autonomy. Agrace's Dementia Village will be the first of its kind in the United States.

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### **Defining the Need**

Planning for the Dementia Village is supported by more than two years of research into demographic trends, care gaps, and family expectations. A 2023 Market Assessment shows a current unmet demand of 97 Memory Care units in Agrace's primary market, increasing to 109 units by 2028. Broader state data underscores the urgency:

- Alzheimer's disease is the 7th leading cause of death in Wisconsin.
- Nearly 11% of Wisconsin residents age 65+ have the disease.
- Dementia prevalence in Agrace's service area is projected to nearly double—from 33,645 people in 2025 to 65,460 by 2040.
- Caregivers statewide provided 297 million hours of unpaid dementia care in 2024, with 63% managing their own chronic health conditions.



Additional factors reinforce the need: limited capacity and outdated memory-care models, rising caregiver burnout, and persistent waiting lists—including at Agrace’s Adult Day Center. As with prior expansions, the Dementia Village represents a natural extension of Agrace’s mission-driven commitment to meet the community’s evolving needs.

This growing body of evidence clearly demonstrates that a new, community-based dementia living model is urgently needed in Dane County. Without such an option, families will continue to face limited choices for the help and support they need.

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### **Benefits and Core Components**

Located on Agrace’s Fitchburg campus, the Dementia Village will leverage the organization’s clinical expertise and trusted presence. Key components include:

- Dementia-focused residential care: Sixty-four units across eight small homes, built on the Hogeweyk model, providing 24/7 specialized support in a normalized, engaging environment.
- Adult Day Club: Relocating the Adult Day Center to the Madison campus will integrate Day Club participants with Village life, creating a larger, more vibrant community for adults living with dementia.
- Grief Support and Education Center: Moving the Grief Support Center from leased space to Agrace’s Madison campus will expand services and improve efficiency for staff and caregiver training.
- Expanded inpatient hospice capacity: Adding hospice rooms on the east end of campus will ensure continued access to high-quality hospice care while accommodating new dementia services.

Together, these elements create a comprehensive, community-centered model that responds to a rapidly growing need and positions Agrace to lead the future of dementia care in Wisconsin.

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### **Social and Economic Impacts of the Proposed Project on the Community**

The Dementia Village will deliver significant benefits to the Fitchburg community by:

- Meeting rising demand: Adding much-needed dementia care capacity in a region where availability is already strained and expected to worsen.
- Reducing caregiver crisis: Expanding respite and long-term care options to help families avoid emergency-level burnout.
- Supporting workforce stability: Incorporating eight studio apartments to advance Agrace’s workforce-housing strategy, addressing a critical staffing challenge in memory care.
- Boosting local economic activity: Increasing campus visitation and drawing families, volunteers, and professionals who will support area hotels, restaurants, and businesses.



- Advancing regional and national leadership: Establishing the nation's first Hogeweyk-inspired Dementia Village, positioning Fitchburg as a hub for innovation in dementia care.
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### **Harmonious Environmental Design**

The Dementia Village is designed to restore autonomy and familiar daily rhythms for people living with dementia. Its layout blends private residential homes with active neighborhood areas, giving residents meaningful choice in how they live each day. Building designs will be distinctive yet consistent with the existing campus architecture, and landscaping will honor the natural environment through preservation, new plantings, and thoughtfully planned parking and circulation.

### **Alignment with the Fitchburg Comprehensive Plan**

The Dementia Village advances Fitchburg's long-term goals for healthy, sustainable, and inclusive community development by:

- Expanding senior housing: The project delivers specialized, purpose-built senior housing in a walkable setting near services, consistent with the Plan's call for more housing options for older adults.
  - Enhancing quality of life for seniors: Small-households, therapeutic outdoor spaces, and resident-centered routines support independence, dignity, and social engagement—priorities emphasized in the Plan.
  - Providing high-quality, multi-purpose facilities: The Village integrates housing, social programming, wellness resources, and community amenities within a compact, efficient campus, reflecting the city's expectation for thoughtful, multi-benefit development.
  - Strengthening an existing health anchor: Building on Agrace's role as a major employer and trusted community partner, the Village reinforces Fitchburg's strategy to support growth around established health and employment centers.
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### **Conclusion**

For nearly 50 years, Agrace has been a trusted, mission-driven leader in compassionate care for patients and families. Just as the addition of inpatient hospice services transformed end-of-life care in Dane County in the early 2000s, the creation of a Dementia Village will transform how our community supports people living with Alzheimer's disease and cognitive decline.

The need is clear. The demand is growing. Families are asking for something better. Agrace has the history, expertise, and vision to provide it.

The Dementia Village will be the cornerstone of the next generation of Agrace's campus—an environment where people with dementia can live with dignity, meaning, safety, and joy.



Enclosed with this letter are plans and information that further describe this proposed project and it consists of the following:

- A site plan map of the project area demonstrating its relationship to surrounding properties, topography and other key features.
- The general development site plans consisting of the following information:
  - Public and private drives, parking, land use features and their relationship to the proposed buildings.
  - Arrangement of proposed buildings and description of their intended uses
  - General utilities plan
  - Preliminary site grading plan
  - Recreational and open space areas outlined
  - Landscape treatment plan
  - Statistical data on the proposed development
- Property legal description: at the end of this letter is the written legal description for the Agrace property as it currently exists, in two parcels. Please note that it is our intent to prepare a CSM that will join these two parcels into one, prior to our anticipated date for the PDD-SIP submittal.

The development schedule for this proposed project, at this time, is as follows:

- May 2026: Start Construction – Phase I
- Fall 2026: Complete Construction – Phase I
- Fall 2026: Start Construction – Phase II
- Fall 2027: Complete Construction – Phase II

A local neighborhood informational meeting will be held at Agrace on January 8<sup>th</sup>, 2026 at 5:30PM. Neighbors within a 300' distance from the Agrace property will be notified no later than 10 days from the meeting date.

We look forward to the opportunity of working with the City of Fitchburg on this project proposal. Please feel free to contact me with any questions or requests for additional information at any time.

Sincerely,

████████████████████  
Director of Design – Housing  
COMMUNITY LIVING SOLUTIONS, A Division of DBS Group

Cc: Lynne Sexten, Agrace



## Agrace Property – Legal Description

### PARCEL A:

A PARCEL OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 06 NORTH, RANGE 09 EAST, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF LOT 3, CERTIFIED SURVEY MAP No. 9025, RECORDED IN VOL. 50 OF CERTIFIED SURVEY MAPS, PAGE 235, AS DOCUMENT No. 3018157, SAID POINT BEING ON THE SOUTHERLY RIGHT-OF-WAY OF EAST CHERYL PARKWAY; THENCE ALONG SAID RIGHT-OF-WAY AS ESTABLISHED BY EASEMENT TO THE CITY OF FITCHBURG NORTH 86°41'52"EAST (RECORDED AS NORTH 86°40'27"EAST), 393.66 FEET; THENCE SOUTH 09°29'39"EAST, 405.56 FEET; THENCE SOUTH 86°41'52"WEST, 470.80 FEET TO A POINT ON THE EAST LINE OF AFORESAID LOT 3; THENCE ALONG SAID EAST LINE NORTH01°25'56"EAST (RECORDED AS NORTH01°25'46"EAST), 404.58 FEET TO THE POINT OF BEGINNING.

### PARCEL B:

LOT THREE (3) OF CERTIFIED SURVEY MAP No. 9025 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN, ON SEPTEMBER 14, 1998 IN VOLUME 50 OF CERTIFIED SURVEY MAPS, PAGES 235-238, AS DOCUMENT No. 3018157, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:

PROPERTY ADDRESS: 5395 EAST CHERYL PARKWAY, FITCHBURG, WI 53711

TAX KEY NUMBER: 255/0609-104-9322-2 AND 225/0609-103-9570-9



March 23, 2026

Deanna Schmidt, AICP  
City Planner and Zoning Administrator  
City of Fitchburg  
5520 Lacy Road  
Fitchburg, Wisconsin 53711

RE: Agrace Additions and Renovations – PDD-SIP Phase 1 Application Project Narrative

Dear Deanna,

On behalf of Agrace, we are submitting the attached rezoning application to amend the current recorded Specific Implementation Plan (SIP). Below is a narrative description of the proposed Phase 1 work at Agrace:

Agrace, an existing 2-story, 49-bed hospice care facility is located on a 14.14 acre parcel at 5395 E. Cheryl Parkway which is zoned PDD in the City of Fitchburg. In this Phase 1 of the overall project development, Agrace is proposing additions and renovations to their campus that will consist of the following:

- New additions and renovations on the west end of their facility resulting in the reconfiguration of their Hospice Care area. Once the project is complete the Hospice Care area will be downsized 50 to 27 beds and be housed completely within the west end of their building. The existing Hospice beds on the east end of their current facility will be vacated and that part of the building will be demolished as part of the Phase 2 work.

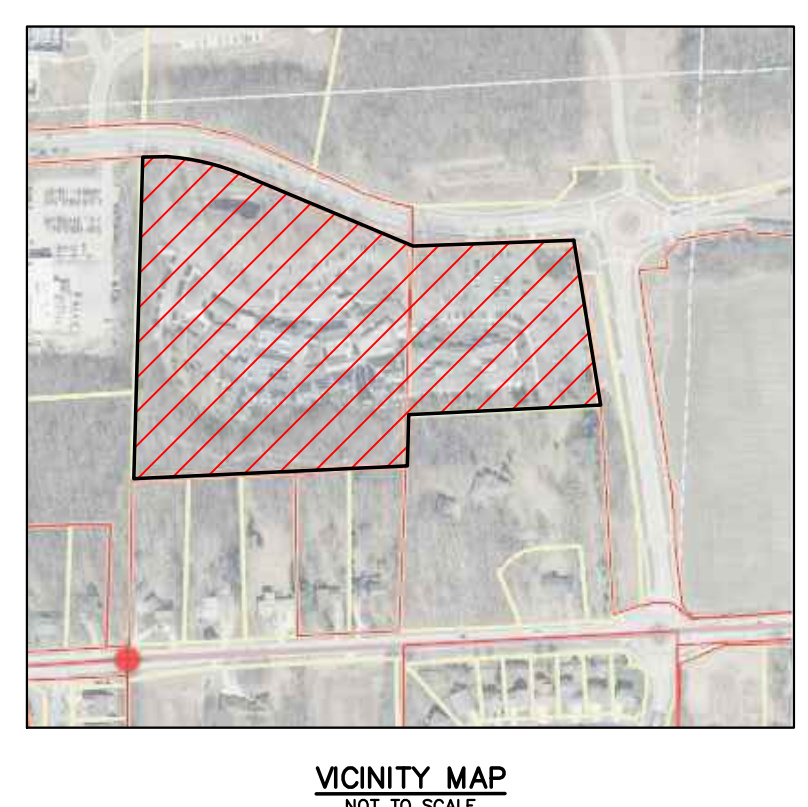
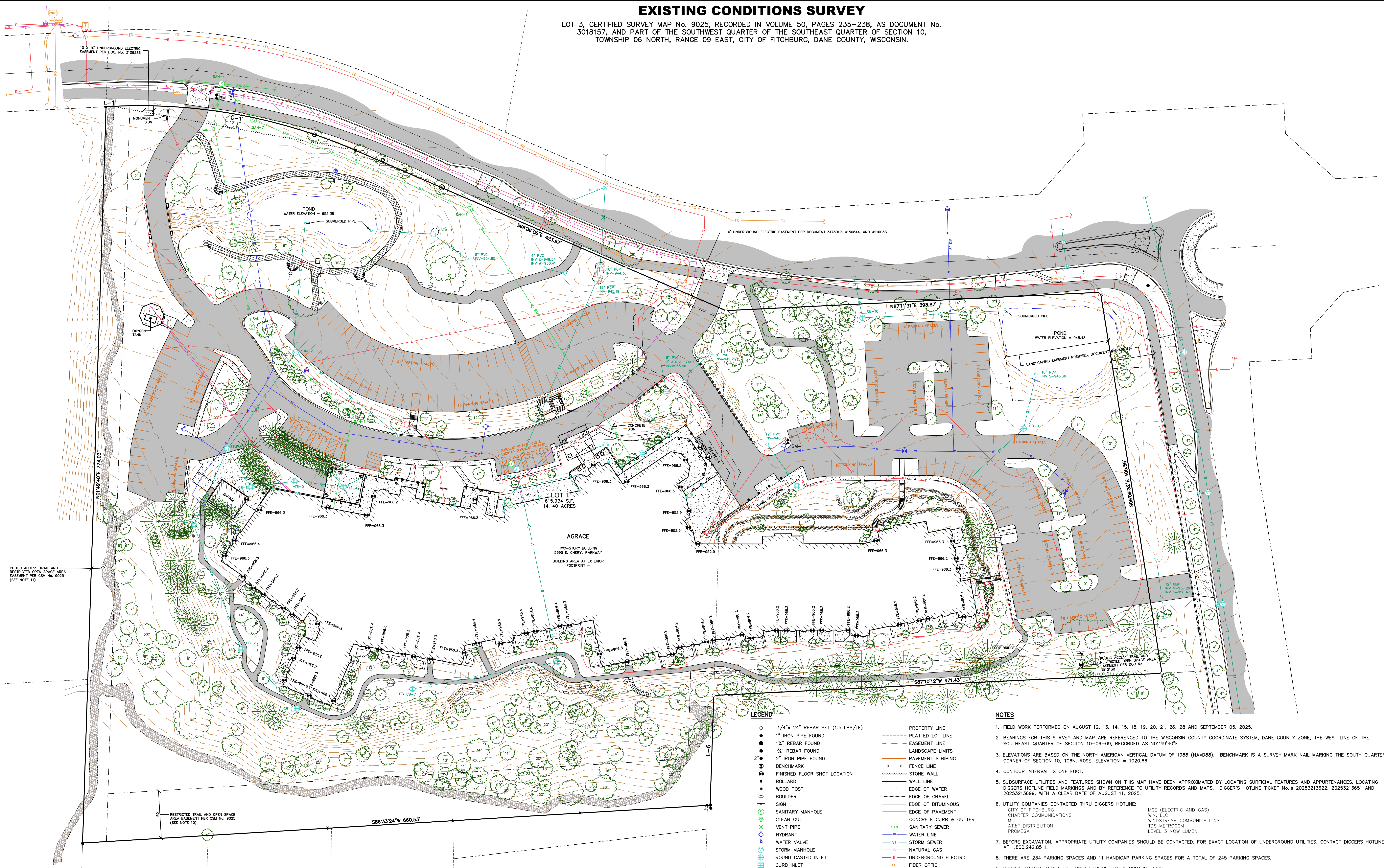
We look forward to working collaboratively with the City of Fitchburg and welcome your comments and suggestions throughout the design process. Please feel free to contact me at any time with any questions or requests for additional information.

Sincerely,

Community Living Solutions, A Division of DBS Group

# EXISTING CONDITIONS SURVEY

LOT 3, CERTIFIED SURVEY MAP No. 9025, RECORDED IN VOLUME 50, PAGES 235-238, AS DOCUMENT No. 3018157, AND PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



STRUCT. ID	RIM ELEVATION	DIRECTION	INVERT	PIPE SIZE	PIPE TYPE
CB-1	964.67	NW	961.49	15"	RCP
CB-2	964.01	SE	961.07	15"	RCP
CB-3	963.98	SE	959.58	18"	RCP
STM-1	967.43	SW	959.45	18"	RCP
STM-2	962.77	SW	959.43	18"	RCP
CB-4	965.63	N	959.95	18"	RCP
CB-5	964.82	E	959.24	21"	RCP
CB-6	964.82	SE	958.63	21"	RCP
CB-7	964.14	N	962.22	6"	PVC
CB-8	964.48	N	962.18	6"	PVC
CB-9	964.82	E	962.24	6"	PVC
CB-10	964.82	SE	962.18	6"	PVC
CB-11	964.82	SE	962.18	6"	PVC
CB-12	964.82	SE	962.18	6"	PVC
CB-13	964.82	SE	962.18	6"	PVC
CB-14	964.82	SE	962.18	6"	PVC
CB-15	964.82	SE	962.18	6"	PVC
CB-16	964.82	SE	962.18	6"	PVC
CB-17	964.82	SE	962.18	6"	PVC
CB-18	964.82	SE	962.18	6"	PVC
CB-19	964.82	SE	962.18	6"	PVC
CB-20	964.82	SE	962.18	6"	PVC

STRUCT. ID	RIM ELEVATION	DIRECTION	INVERT	PIPE SIZE	PIPE TYPE
STM-3	965.31	S	948.57	18"	RCP
STM-4	959.06	NE	957.45	6"	PVC
STM-5	959.06	NE	948.50	24"	RCP
STM-6	959.06	NE	946.51	8"	PVC
STM-7	959.06	NE	946.54	18"	RCP
STM-8	959.06	NE	952.77	12"	PVC
STM-9	959.06	NE	946.54	18"	RCP
STM-10	959.06	NE	944.27	12"	HERCP
STM-11	959.06	NE	943.43	24"	RCP
STM-12	959.06	NE	941.97	15"	RCP
STM-13	959.06	NE	941.48	24"	RCP

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	964.70	S	959.32	8"	PVC
SAN-2	965.59	SE	959.28	8"	PVC
SAN-3	955.95	NW	946.12	8"	PVC
SAN-4	954.10	SE	949.46	8"	PVC
SAN-5	961.47	N	945.79	8"	PVC
SAN-6	961.47	S	945.39	8"	PVC
SAN-7	965.59	SE	945.51	12"	RCP
SAN-8	965.59	W	944.93	12"	RCP
SAN-9	965.59	SE	947.53	10"	PVC
SAN-10	965.59	NW	947.48	10"	PVC
SAN-11	965.59	SE	946.97	10"	PVC
SAN-12	965.59	NW	946.92	10"	PVC
SAN-13	965.59	SE	945.93	10"	PVC
SAN-14	965.59	NW	945.87	10"	PVC

BENCH ID	ELEVATION	DESCRIPTION
BM-1	953.73	TOP NUT ON WEST HYDRANT IN EAST PARKING LOT
BM-2	954.86	REBAR #6 WITH BLUE JSD CAP EAST OF WEST DRIVEWAY

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C-1	261.95'	570.64'	261°06'	S79°45'09"E	259.66'
( )	261.95'	570.64'	261°06'	S80°09'03"W	259.66'

LINE	BEARING	DISTANCE
L-1	N87°05'47"E	6.62'
( )	N86°41'53"E	6.62'

**LEGEND**

- 3/4" x 24" REBAR SET (1.5 LBS/LF)
- 1" IRON PIPE FOUND
- 1 1/4" REBAR FOUND
- 3/4" REBAR FOUND
- 2" IRON PIPE FOUND
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- BOLLARD
- WOOD POST
- BOULDER
- SIGN
- CLEAN OUT
- VENT PIPE
- HYDRANT
- WATER VALVE
- STORM MANHOLE
- ROUND CASTED INLET
- CURB INLET
- ENDWALL/END OF PIPE
- DOWNSPOUT
- ELECTRIC PEDESTAL
- VAULT
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- HANDICAP PARKING
- PARCEL BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- PLATTED LOT LINE
- EASEMENT LINE
- LANDSCAPE LIMITS
- PAVEMENT STRIPING
- FENCE LINE
- STONE WALL
- WALL LINE
- EDGE OF WATER
- EDGE OF GRAVEL
- EDGE OF BITUMINOUS
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- EDGE OF WOODS OR BRUSH
- BUILDING
- BITUMINOUS PAVEMENT
- RETAINING WALL
- CONCRETE PAVEMENT
- BRICK
- GRAVEL
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- END OF FLAGGED UTILITIES
- MEASUREMENTS DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

**NOTES**

- FIELD WORK PERFORMED ON AUGUST 12, 13, 14, 15, 18, 19, 20, 21, 26, 28 AND SEPTEMBER 05, 2025.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY ZONE, THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 10-06-09, RECORDED AS N0149'40"E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A SURVEY MARK NAIL MARKING THE SOUTH QUARTER CORNER OF SECTION 10, T06N, R09E, ELEVATION = 1020.66'
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET No. 20253213622, 20253213651 AND 20253213699, WITH A CLEAR DATE OF AUGUST 11, 2025.
- UTILITY COMPANIES CONTACTED THRU DIGGER'S HOTLINE:  
CITY OF FITCHBURG (ELECTRIC AND GAS)  
CHARTER COMMUNICATIONS (CABLE)  
MCI (TELEPHONE)  
AT&T DISTRIBUTION (TELEPHONE)  
PROMEGA (TELEPHONE)  
WIN, LLC (WINDSTREAM COMMUNICATIONS)  
TDS METROCOM (TELEPHONE)  
LEVEL 3 (CABLE)  
NOW LUMEN (TELEPHONE)
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8511.
- THERE ARE 234 PARKING SPACES AND 11 HANDICAP PARKING SPACES FOR A TOTAL OF 245 PARKING SPACES.
- PRIVATE UTILITY LOCATE PERFORMED BY GLS ON AUGUST 12, 2025.
- EASEMENTS FOR RESTRICTED TRAIL AND OPEN SPACE AREA ON LOTS 2 AND 3 IS RETAINED FOR BENEFIT OF FITCHBURG RESEARCH PARK ASSOCIATES AND ITS ASSIGNS FOR DEVELOPMENT-WIDE NETWORK.
- PUBLIC ACCESS TRAIL AND RESTRICTED OPEN SPACE EASEMENT IS RETAINED FOR BENEFIT OF THE CITY OF FITCHBURG AND FITCHBURG RESEARCH PARK ASSOCIATES AND ITS ASSIGNS.

**LEGAL DESCRIPTION (AS FURNISHED)**  
(KNIGHT BARRY TITLE GROUP, FILE No.: 2365827, EFFECTIVE DATE: OCTOBER 24, 2025 AT 2:01 P.M.)

**PARCEL A:**  
A PARCEL OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 06 NORTH, RANGE 09 EAST, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF LOT 3, CERTIFIED SURVEY MAP No. 9025, RECORDED IN VOL. 50 OF CERTIFIED SURVEY MAPS, PAGE 238, AS DOCUMENT No. 3018157, SAID POINT BEING ON THE SOUTHERLY RIGHT-OF-WAY OF EAST CHERYL PARKWAY, THENCE ALONG SAID RIGHT-OF-WAY AS ESTABLISHED BY EASEMENT TO THE CITY OF FITCHBURG NORTH 86°41'52"EAST (RECORDED AS NORTH 86°40'27"EAST), 393.66 FEET; THENCE SOUTH 09°29'39"EAST, 405.56 FEET; THENCE SOUTH 86°41'52"WEST, 470.80 FEET TO A POINT ON THE EAST LINE OF AFORESAID LOT 3; THENCE ALONG SAID EAST LINE NORTH01°25'56"EAST (RECORDED AS NORTH01°25'46"EAST), 404.58 FEET TO THE POINT OF BEGINNING.


**PARCEL B:**  
LOT THREE (3) OF CERTIFIED SURVEY MAP No. 9025 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN, ON SEPTEMBER 14, 1998 IN VOLUME 50 OF CERTIFIED SURVEY MAPS, PAGES 235-238, AS DOCUMENT No. 3018157, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:  
PROPERTY ADDRESS: 5395 EAST CHERYL PARKWAY, FITCHBURG, WI 53711  
TAX KEY NUMBER: 255/0609-104-9322-2 AND 225/0609-103-9570-9

**SURVEYOR'S CERTIFICATE**  
I, TODD J. BUHR, WISCONSIN PROFESSIONAL LAND SURVEYOR No. S-2614, HEREBY CERTIFY THAT UNDER THE DIRECTION OF COMMUNITY LIVING SOLUTIONS, LLC THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLES WITH WISCONSIN ADMINISTRATIVE CODE A-17 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

Todd J. Buhr  
TODD J. BUHR, S-2614  
PROFESSIONAL LAND SURVEYOR

01-20-2026  
DATE



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE  
507 WEST VERONA AVENUE, SUITE 500  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**COMMUNITY LIVING SOLUTIONS, LLC**

CLIENT ADDRESS:  
2801 E. ENTERPRISE AVE., STE. 202  
APPLETON, WI 54913

PROJECT:  
**AGRACE - MADISON**

PROJECT LOCATION:  
5395 E. CHERYL PARKWAY  
FITCHBURG, WI  
DANE COUNTY

Scale: 1" = 40'

Prepared By: ZHG 09/29/25

**EXISTING CONDITIONS SURVEY**

SHEET NUMBER:  
**1 OF 1**

PROJECT NO: 25-16710

GENERAL NOTES

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE RIGHT-OF-WAY AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS...
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES...
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION...
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS...
6. CONTRACTOR SHALL RESTORE ALL BUILDINGS, PAVEMENT, PIPES, SLOPES, AND STRUCTURES DAMAGED...
7. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE JURISDICTIONAL AUTHORITY...
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION...
9. ANY REFERENCES TO THE TERMS OR ENTITY ABBREVIATIONS IN THE FOLLOWING NOTES AND SPECIFICATIONS SHALL BE UNDERSTOOD AS FOLLOWS:
9.1. "JURISDICTION" - THE LOCAL GOVERNMENTAL AGENCY (I.E., CITY, VILLAGE, TOWN, COUNTY, STATE, OR UTILITY SERVICE PROVIDER) HAVING AUTHORITY.
9.2. "STATE HIGHWAY SPECIFICATIONS" - STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION...
9.3. "STANDARD SPECIFICATIONS" - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN...
9.4. "WISCONSIN DEPARTMENT OF TRANSPORTATION - "WISDOT"
9.5. "WISCONSIN DEPARTMENT OF NATURAL RESOURCES" - "WDNR"
9.6. "DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES" - "DPS" OR "SPS"

DEMOLITION NOTES

- 1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION...
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION-RELATED DIRT, DUST, AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION...
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY...
5. ABANDONED/REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF OFFSITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES THAT WERE DAMAGED BY THE CONSTRUCTION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO:
7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS...
7.2. VERIFY UTILITY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES...
7.3. NOTIFY ALL UTILITIES' OWNER'S PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
7.4. NOTIFY THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION...
8. ANY UTILITIES THAT ARE DAMAGED BY THE CONTRACTORS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL/ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY...
10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED JURISDICTIONS RECYCLING PLAN.
11. ANY CONTAMINATED SOILS ENCOUNTERED SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS...
12. ALL EXISTING UTILITIES SHALL BE FIELD LOCATED AND CLEARLY MARKED BY CONTRACTOR PRIOR TO ANY EXCAVATION...
13. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE STANDARD SPECIFICATIONS...
14. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS...
15. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES...
16. BUILDING REMOVALS SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR...
17. CONTRACTOR SHALL REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACKFILLING AFTER REMOVAL OF EXISTING UTILITIES...
18. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHALL BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION, AND REMOVAL...

CONSTRUCTION SEQUENCING

- 1. INSTALL PERIMETER SILT FENCE, WATTLES, INLET PROTECTION, AND CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL AND INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
7. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% CONTIGUOUS VEGETATIVE COVER IS ESTABLISHED.
CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

- 1. GENERAL:
1.1. PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS, APPLICABLE JURISDICTIONAL SPECIFICATIONS, AND THE GEOTECHNICAL REPORT PREPARED BY CGC, INC.
1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
1.3. ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
1.4. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS.
1.5. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER, PAVEMENT, OR SIDEWALK SHALL MATCH EXISTING AND MEET JURISDICTIONAL REQUIREMENTS.
2. CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS:
2.1. THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS.
2.2. RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD.
2.3. MATERIAL MUST FIRST BE APPROVED BY ENGINEER OF RECORD.
2.4. DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
2.5. DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.
3. HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:
3.1. THE PLACING, CONSTRUCTION, AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
3.2. WEATHER LIMITATIONS:
3.2.1. DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
3.2.2. DO NOT PLACE ASPHALTIC MIXTURE WHEN THE AIR TEMPERATURE IS APPROXIMATELY 3° ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT.
3.2.3. PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM, AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL.
3.2.4. APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING.
3.2.5. ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
3.3. CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
3.4. BINDER COURSE AGGREGATE:
3.4.1. THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
3.5. SURFACE COURSE AGGREGATE:
3.5.1. THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
3.6. ASPHALTIC MATERIALS
3.6.1. THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
4. CONCRETE PAVING SPECIFICATIONS:
4.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
4.2. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
4.3. CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO ENGINEER IF NOT INCLUDED IN THE PLANS.
4.4. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
4.5. PLACE EXPANSION JOINTS IN CURB, GUTTER, OR CURB AND GUTTER CONSTRUCTED NEXT TO ASPHALTIC PAVEMENT OR SURFACING LOCATE JOINTS EVERYWHERE THAT TANGENT AND RADIAL CURB OR CURB AND GUTTER MEET; ON EACH SIDE OF EVERY INLET 3' FROM THE INLET, BUT NO CLOSER THAN 6" FROM ANOTHER JOINT; AND ON TANGENT SECTIONS PLACE BETWEEN 6' AND 300'.
4.6. IF CONSTRUCTING CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON, CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS, THEN PLACE EXPANSION JOINTS TO MATCH THE EXPANSION JOINT LOCATIONS IN THE PAVEMENTS.
4.7. FOR CURB AND GUTTER, FORM CONTRACTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONTRACTION JOINTS IN ADJOINING CONCRETE PAVEMENT AND AT THE REQUIRED SPACING IN CURB, GUTTER, OR CURB AND GUTTER ADJOINING ASPHALTIC PAVEMENT.
4.8. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
4.9. CONTRACTOR SHALL INSTALL TRUNCATED CONE WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.
5. PAVEMENT MARKING SPECIFICATIONS:
5.1. ALL PARKING STALL LINES SHALL BE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT.
5.2. ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, AND DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

SEEDING AND RESTORATION NOTES

- 1. CONTRACTOR SHALL PROVIDE NOTICE TO THE JURISDICTIONAL AUTHORITIES IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES.
2. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.
3. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7-DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
4. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
5. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.

UTILITY NOTES

- 1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
2.1. EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS.
2.2. VERIFYING ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER, AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
2.3. OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
2.4. NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
2.5. NOTIFYING THE DESIGN ENGINEER AND JURISDICTIONAL AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
2.6. COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES AND STATE DSPS/SPS AND LOCAL CODES AND SPECIFICATIONS.
4. SPECIFICATIONS SHALL COMPLY WITH THE JURISDICTIONAL AUTHORITY'S SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(1)(H), SPS 382.36(C)(C)10, AND SPS 382.40(B)(K).
10. DRY UTILITIES (COMMUNICATION, TELEPHONE, GAS, ELECTRIC, ETC.) ARE SHOWN FOR GENERAL ROUTING ONLY.
11. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
12. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE JURISDICTIONAL AUTHORITY'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE INSTALLED IMPROVEMENTS IN ORDER FOR THE APPROPRIATE DRAWINGS CAN BE PREPARED.
14. IN ANY LOCATIONS WHERE BUILDING SEWERS (STORM AND SANITARY) ARE INSTALLED WITH LESS THAN THE MINIMUM COVER AS SPECIFIED IN SPS 382.30(1)(G) OR WATER PIPING 382.36(8)(B), CONTRACTOR SHALL INSTALL INSULATION IN ACCORDANCE WITH SPS 382.30(1)(G)2.
15. STORM SEWER SPECIFICATIONS:
15.1. PIPE:
15.1.1. REINFORCED CONCRETE PIPE (RCP) - SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C443.
15.1.2. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE (HDPE) - SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M294 TYPE "B".
15.1.3. POLYVINYL CHLORIDE (PVC) - SHALL MEET REQUIREMENTS OF ASTM D3034, SDR 35 FOR PIPE SIZES 8"-15" WITH INTEGRAL BELL TYPE FLEXIBLE ELECTROMETRIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D3212, ASTM 1785 SCHEDULE 40 FOR PIPE DIAMETERS 4'-6".
15.2. INLETS AND CATCH BASINS:
15.2.1. INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.6.3 AND DETAIL DRAWINGS FILE NO. 28 OR 29 OF THE STANDARD SPECIFICATIONS, OR APPROVED EQUAL WITH A 2'x3' MAXIMUM OPENING.
15.2.2. POLYVINYL CHLORIDE (PVC) INLETS SHALL BE INSTALLED IN PAVEMENT, CONFORMING TO ASTM D1781, ASTM D3212, ASTM F477, AND MANUFACTURER'S REQUIREMENTS.
15.2.3. FRAME AND GRATE LIDS:
15.2.3.1. CURB FRAME AND GRATES SHALL BE NEENAH R-3067 WITH TYPE "R" GRATE OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
15.2.3.2. SOLID LID FRAME AND GRATES SHALL BE NEENAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
15.2.3.3. GRATE FRAME AND GRATES SHALL BE NEENAH R-1550, HEAVY DUTY WITH A R-2578 GRATE OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
15.2.4. MANHOLES:
15.2.4.1. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.5.0 AND DETAIL DRAWINGS FILE NO. 11 AND/OR 12 OF THE STANDARD SPECIFICATIONS.
15.2.3.2. MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
15.3. BACKFILL AND BEDDING:
15.3.1. STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5' BEYOND THE EDGE OF PAVEMENT.
15.3.2. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
15.3.3. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE STANDARD SPECIFICATIONS.
15.4. FIELD TILE CONNECTIONS:
15.4.1. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER, TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
16. WATER MAIN & WATER LATERAL SPECIFICATIONS:
16.1. PIPE:
16.1.1. DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE STANDARD SPECIFICATIONS.
16.1.2. POLYVINYL CHLORIDE PRESSURE PIPE (PVC) SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C900 DR14 (CLASS 305) FOR SIZES UP TO 4" AND AWWA C900 DR18 (CLASS 235) UP TO 30".
16.1.3. COPPER TYPE K TUBING SHALL CONFORM TO ASTM DESIGNATION 888 FOR WATER SERVICES LESS THAN 2" IN DIAMETER.
16.1.4. HIGH DENSITY POLYETHYLENE (HDPE) SHALL CONFORM TO THE REQUIREMENTS OF AWWA C901, SDR 9 MINIMUM FOR SIZES UP TO 3" AND TO AWWA C906, SDR 17 MINIMUM FOR SIZES GREATER THAN 3".
16.2. VALVES AND VALVE BOXES:
16.2.1. GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C600 AND CHAPTER 8.27.0 OF THE STANDARD SPECIFICATIONS.
16.2.2. CURB STOPS AND CORPORATION VALVES SHALL BE AWWA C800 AND ASTM B62, AND CONFORM TO ANY LOCAL JURISDICTIONAL REQUIREMENTS.
16.3. WATER SERVICES CONNECTIONS:
16.3.1. SERVICES 2" IN DIAMETER OR LESS SHALL USE A TAP SERVICE WITH A CORPORATION STOP AND CURB STOP VALVE WITH SERVICE BOX PER JURISDICTIONAL REQUIREMENTS.
16.3.2. SERVICES GREATER THAN 2" IN DIAMETER SHALL USE A TAPPING SLEEVE OR CUT-IN TEE CONNECTION WITH VALVE OF EQUIVALENT PIPE DIAMETER AND VALVE BOX PER JURISDICTIONAL REQUIREMENTS.
16.4. HYDRANTS:
16.4.1. HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITIES.
16.5. JOINT RESTRAINT:
16.5.1. WHERE SPECIFIED, DUCTILE IRON PIPE SHALL INCLUDE MECHANICAL JOINTS CONFORMING TO CHAPTER 4.4.2(b) OF THE STANDARD SPECIFICATIONS.
16.6. BEDDING AND COVER MATERIAL:
16.6.1. PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE STANDARD SPECIFICATIONS.
16.6.2. BURY DEPTH SHALL CONFIRM TO LOCAL JURISDICTION REQUIREMENTS, OR DSPS REQUIREMENTS AT A MINIMUM, WHERE THERE IS NO LOCAL JURISDICTION REQUIREMENTS.
16.7. BACKFILL:
16.7.1. BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTERS 2.6.0 AND 4.17.0 OF THE STANDARD SPECIFICATIONS.
16.7.2. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE STANDARD SPECIFICATIONS.
16.8. SEPARATION DISTANCES:
• WHERE PRIVATE WATER MAIN OR WATER SERVICES CROSSES A SANITARY SEWER OR SANITARY LATERAL, THE WATER PIPE WITHIN 5 FEET OF THE CROSSING SHALL BE INSTALLED WITH THE FOLLOWING:
• WATER PIPING SHALL BE INSTALLED AT LEAST 12 INCHES ABOVE THE TOP OF SANITARY PIPING.
• WATER PIPING SHALL BE INSTALLED AT LEAST 18 INCHES BELOW THE BOTTOM OF SANITARY PIPING.

LEGEND

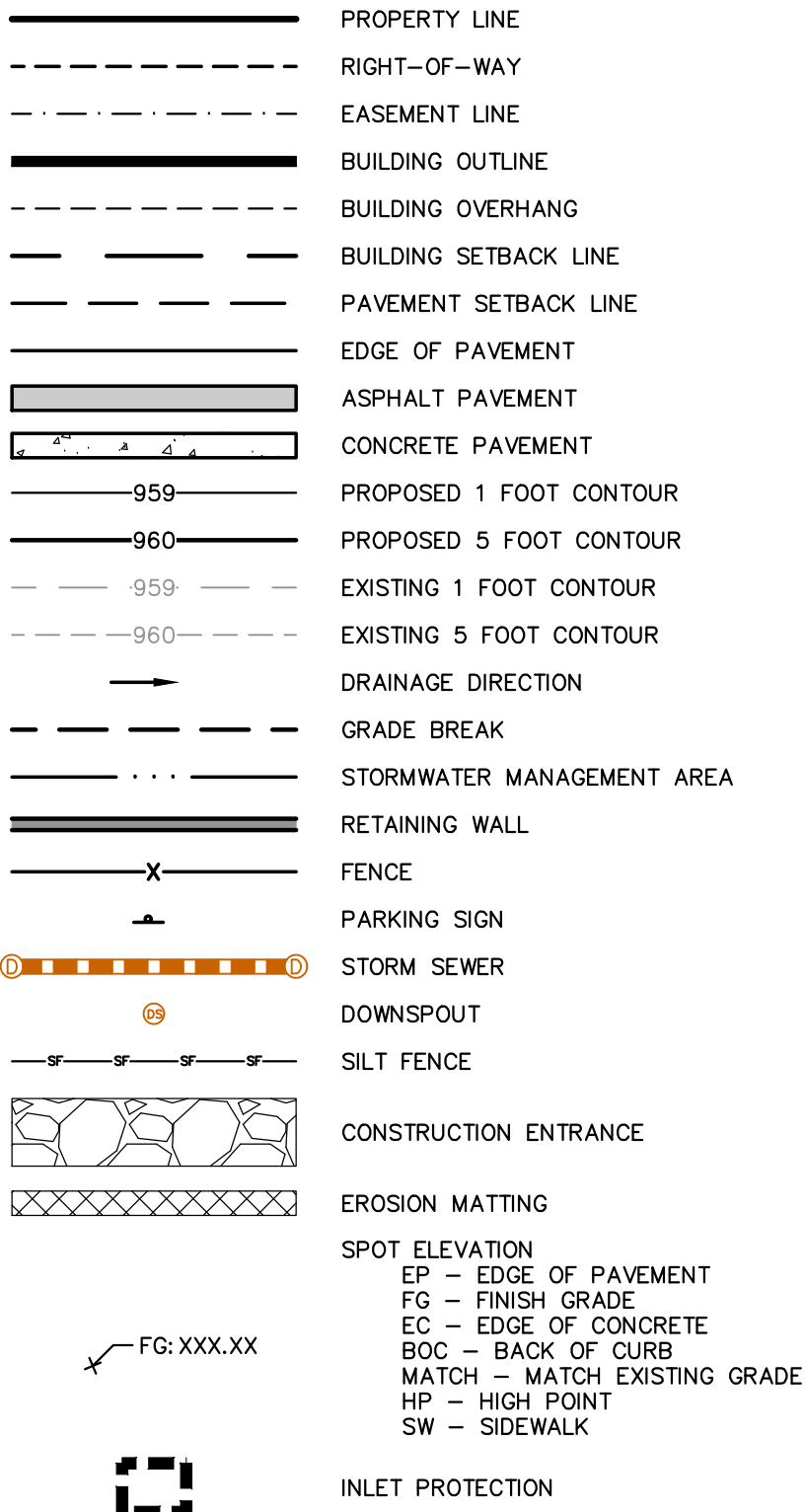


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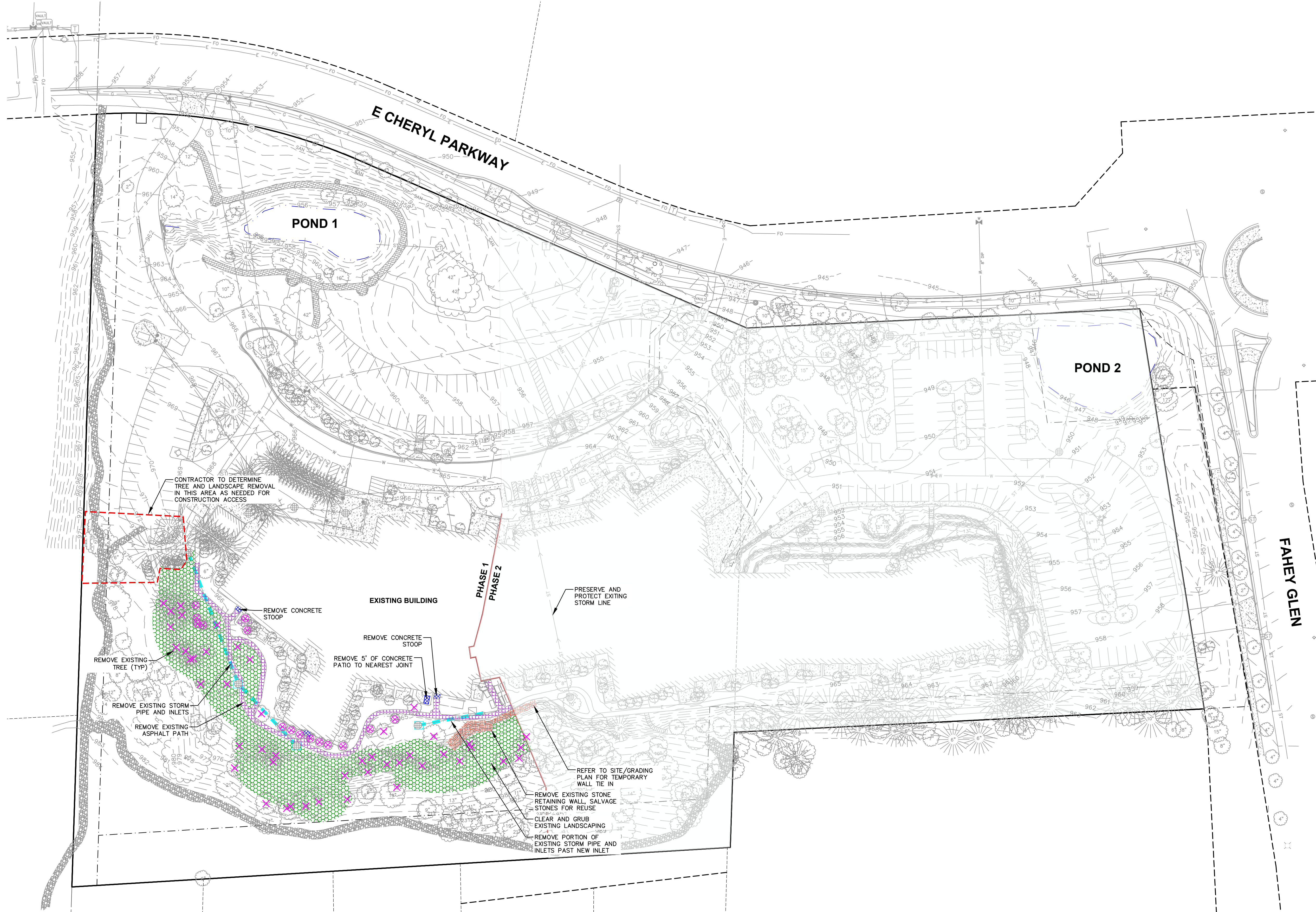
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PROPOSED ADDITIONS AND REMODELS FOR: AGRACE HOSPICE FITCHBURG, WISCONSIN PHASE 1

NOTES & LEGEND PROJECT 23-114 DATE 02/27/26 SHEET C100



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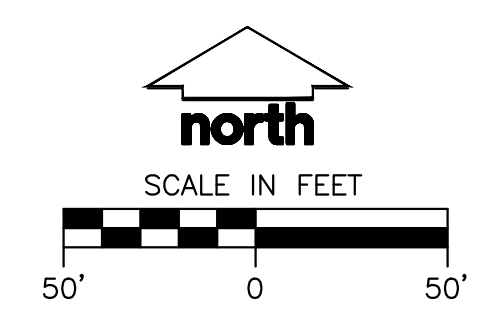
LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	TREE REMOVAL
	SHRUB REMOVAL
	SAWCUT EXISTING PAVEMENT
	DEMOLITION - REMOVE AND SALVAGE EXISTING RETAINING WALL STONE
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION - REMOVAL OF UTILITIES
	DEMOLITION - REMOVAL OF UNDERGROUND UTILITY PIPE
	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING

REVISIONS		
NO.	DESCRIPTION	DATE

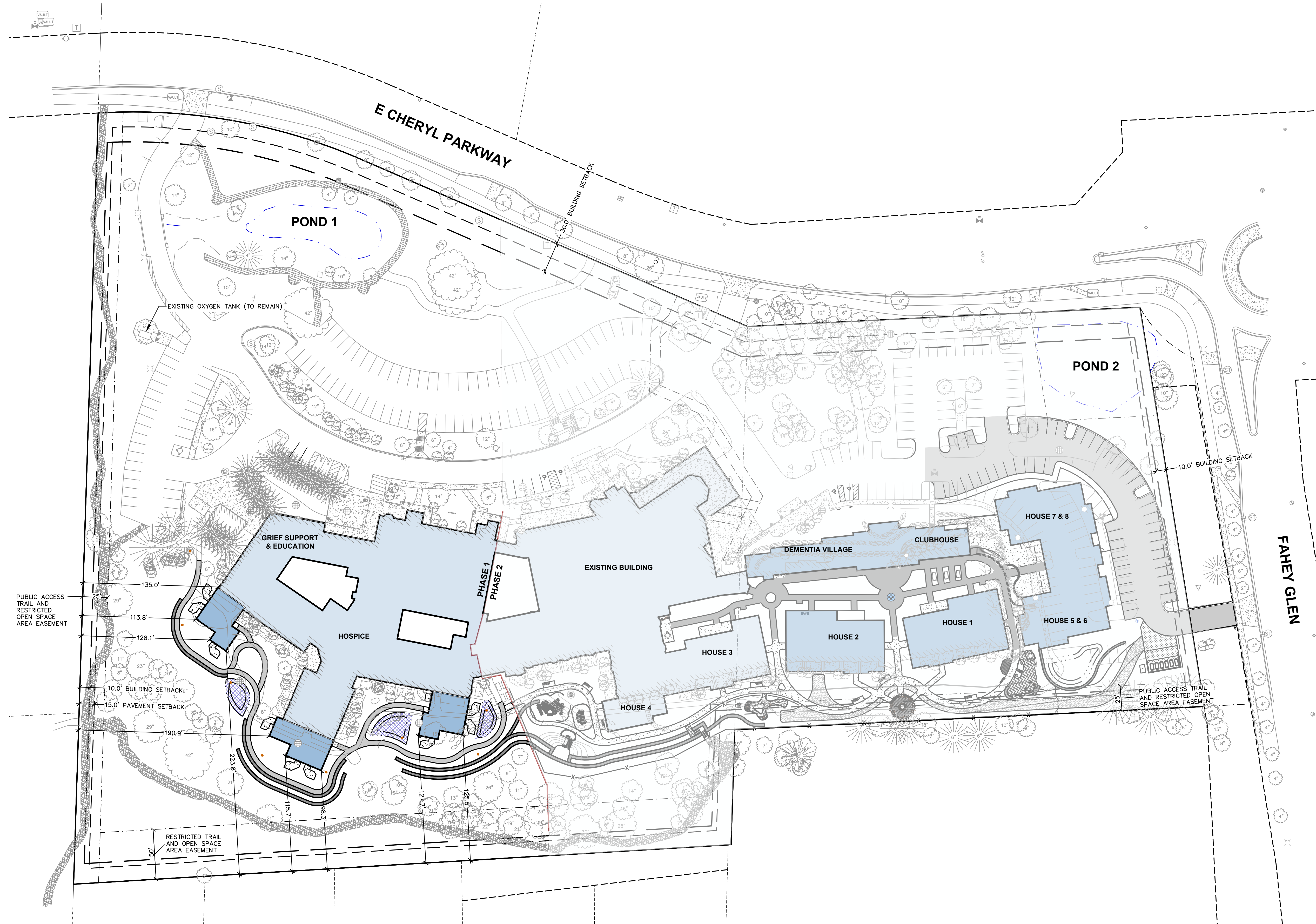
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 P 920-969-9344
   
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PROPOSED ADDITIONS AND REMODELS FOR:
   
**AGRACE HOSPICE**
  
 FITCHBURG, WISCONSIN
   
 PHASE 1

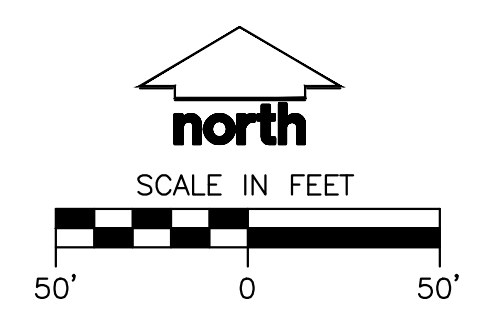
PHASE 1 - BID SET
   
 DEMOLITION PLAN
   
 PROJECT 23-114
   
 DATE 02/27/26
   
 SHEET C200



File: \\USDNC\project\230226\23114\DWG\Civil\Sheets\Phase 1\DWG\C300\_Site (Phase 1).dwg Layout: C300\_Site User: isaac.newman PlotDate: Mar 23, 2025 - 2:03am Xref's:



SITE INFORMATION BLOCK	
SITE ADDRESS	5395 E CHERYL PKWY
PROPERTY ACREAGE	14.14 ACRES
EXISTING BUILDING SQUARE FOOTAGE	97,217
PROPOSED BUILDING SQUARE FOOTAGE PHASE I	102,450
PROPOSED BUILDING SQUARE FOOTAGE PHASE II	110,674
NUMBER OF PARKING STALLS	
EXISTING	
STANDARD	241
ACCESSIBLE	11
TOTAL SURFACE	252
PHASE II (NO CHANGE IN PHASE I)	
STANDARD	219
ACCESSIBLE	7
TOTAL SURFACE	226
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	248,290 SF
EXISTING PERVIOUS SURFACE AREA	367,647 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.40
PHASE I IMPERVIOUS SURFACE AREA	255,583 SF
PHASE I PERVIOUS SURFACE AREA	360,354 SF
PHASE I IMPERVIOUS SURFACE AREA RATIO	0.41
PHASE II IMPERVIOUS SURFACE AREA	277,878 SF
PHASE II PERVIOUS SURFACE AREA	338,987 SF
PHASE II IMPERVIOUS SURFACE AREA RATIO	0.45



PHASE I - BID SET

PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
 FITCHBURG, WISCONSIN  
 PHASE I

OVERALL SITE PLAN

PROJECT  
**23-114**

DATE  
**02/27/26**

SHEET  
**C300**

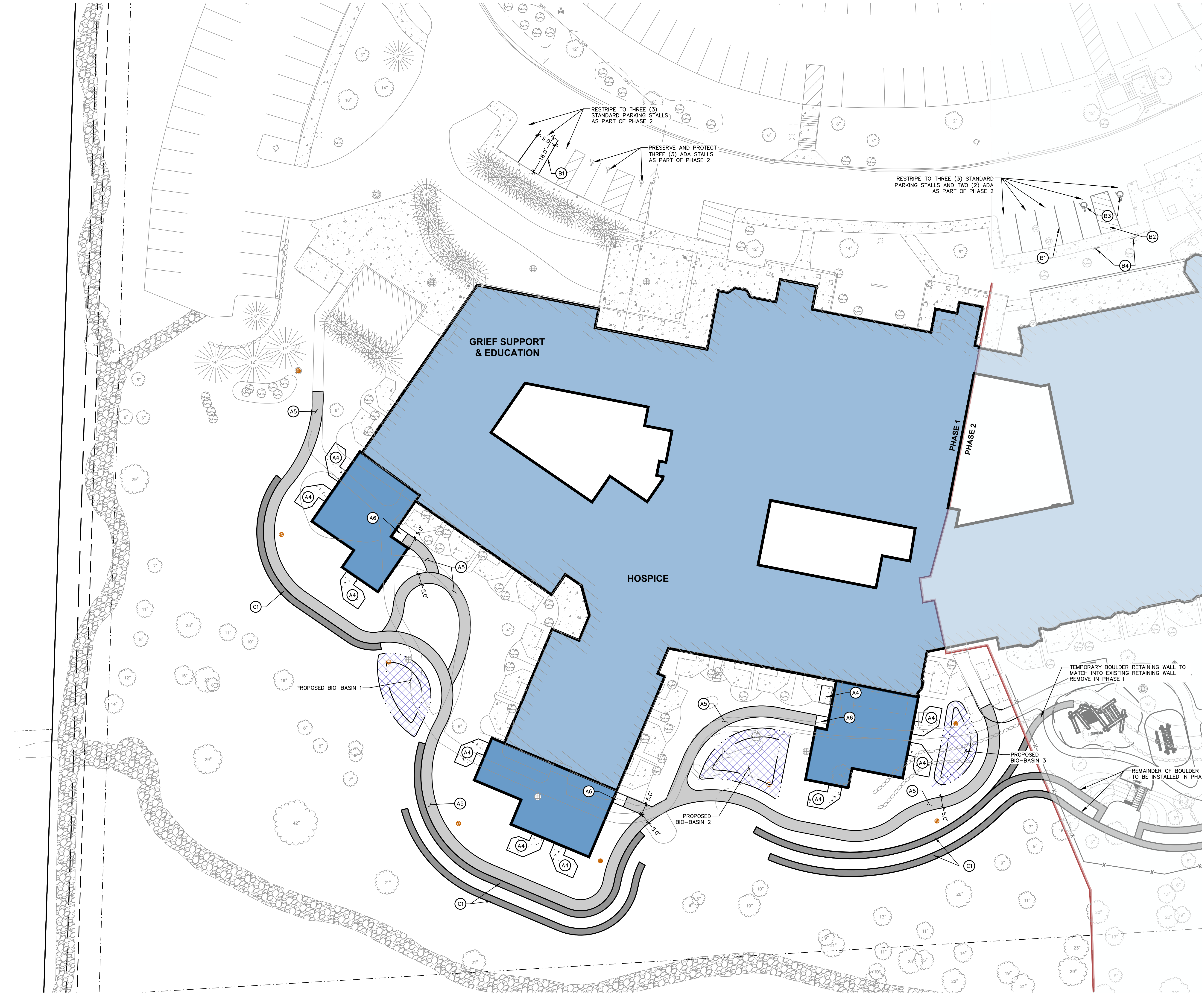
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520 S. Westland Drive  
 Appleton, WI 54914  
 P 920-969-9344  
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NO.	DESCRIPTION	DATE

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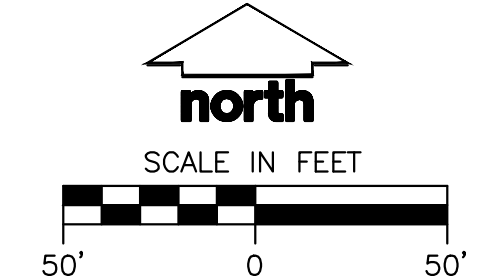
- KEY NOTES**
- (A1) CONCRETE SIDEWALK
  - (A2) THICKENED EDGE SIDEWALK - 6" (SEE GRADING PLAN)
  - (A3) CONCRETE STAIRS WITH HANDRAIL
  - (A4) CONCRETE PATIO (MATCH IN KIND TO EXISTING PATIOS TO REMAIN)
  - (A5) ASPHALT PATH
  - (A6) CONCRETE STOOP
  - (B1) PAVEMENT MARKING: PARKING STALL - 4" WIDE, WHITE
  - (B2) PAVEMENT MARKING: DIAGONAL HATCH - SWSL/4" AT 45° @ 2'-0" O.C. WHITE
  - (B3) ACCESSIBLE PARKING SPACE & SYMBOL
  - (B4) ACCESSIBLE PARKING SIGN
  - (C1) RETAINING WALL (REFER TO LANDSCAPE PLAN)
  - (C2) BUILDING COLUMNS

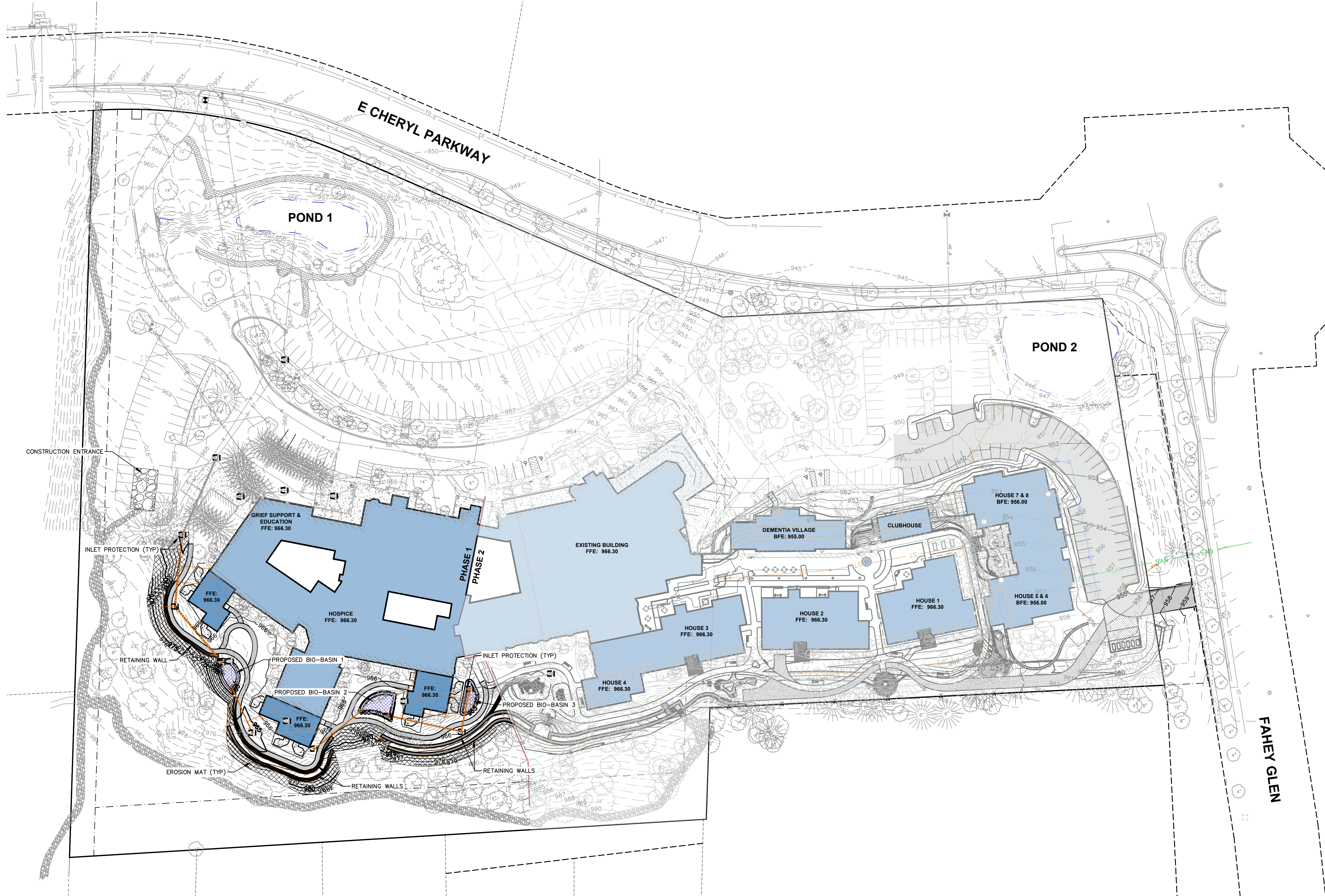
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PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
 FITCHBURG, WISCONSIN  
 PHASE 1

DIMENSIONED / ANNOTATED SITE PLAN  
 PROJECT **23-114**  
 DATE **02/27/26**  
 SHEET **C301**





PHASE 1 - BID SET

PROPOSED ADDITIONS AND  
REMODELS FOR:  
**AGRACE HOSPICE**  
FITCHBURG, WISCONSIN  
PHASE 1

OVERALL  
GRADING &  
EROSION  
CONTROL  
PLAN

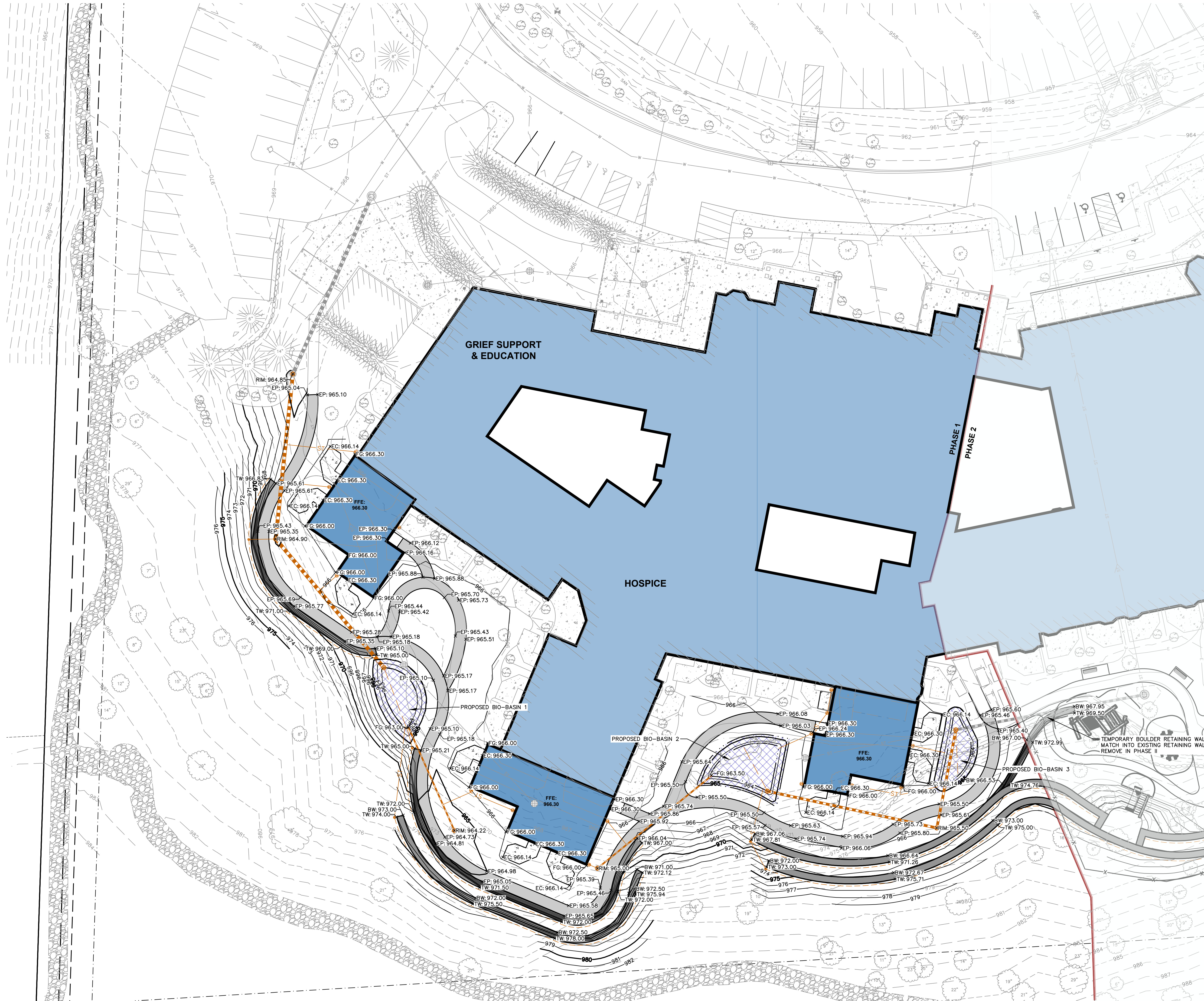
PROJECT  
**23-114**

DATE  
**02/27/26**

SHEET  
**C400**

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PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
FITCHBURG, WISCONSIN  
PHASE 1

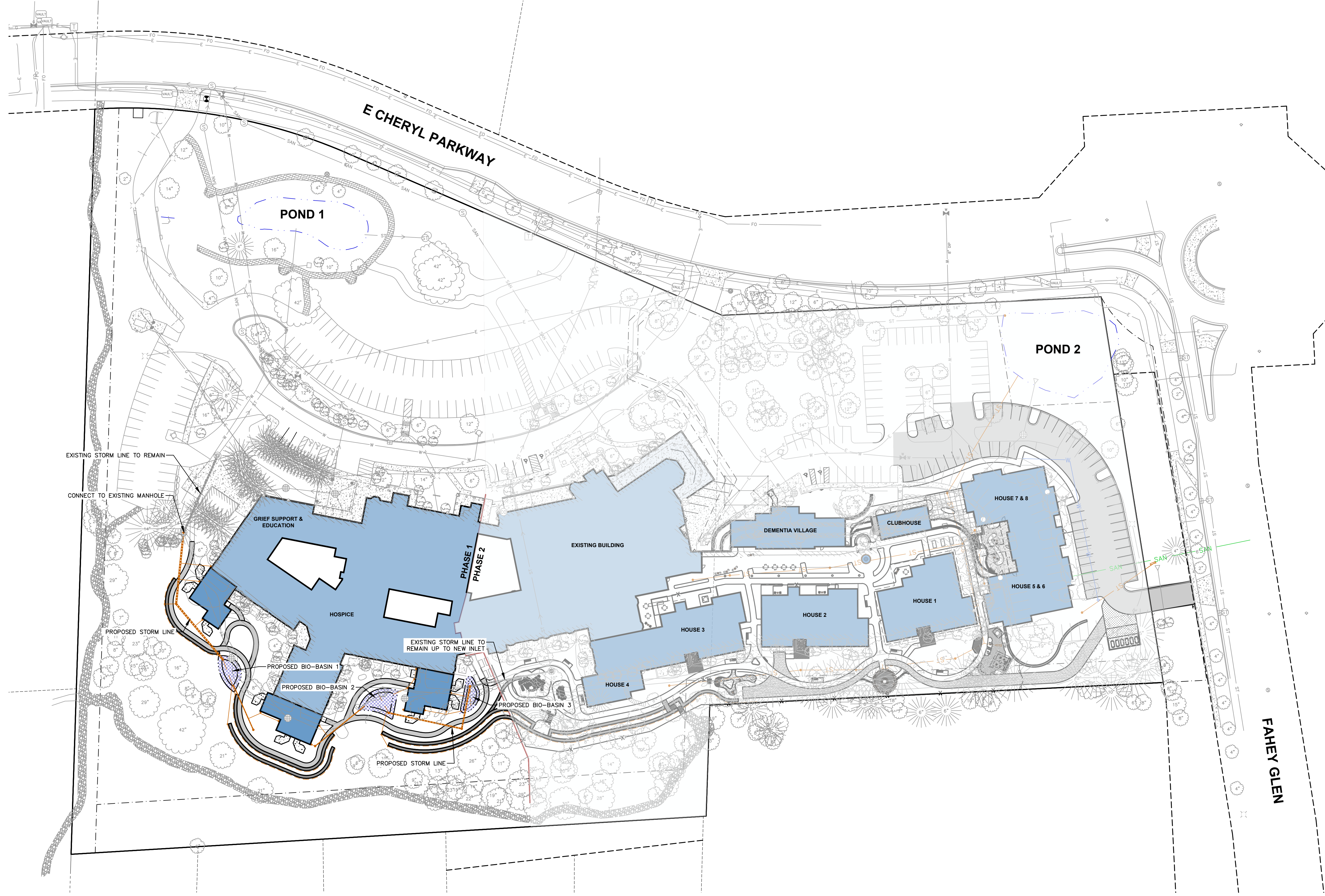
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DETAILED GRADING PLAN

PROJECT  
**23-114**

DATE  
**02/27/26**

SHEET  
**C401**



PHASE 1 - BID SET

OVERALL  
UTILITY PLAN

PROJECT  
23-114

DATE  
02/27/26

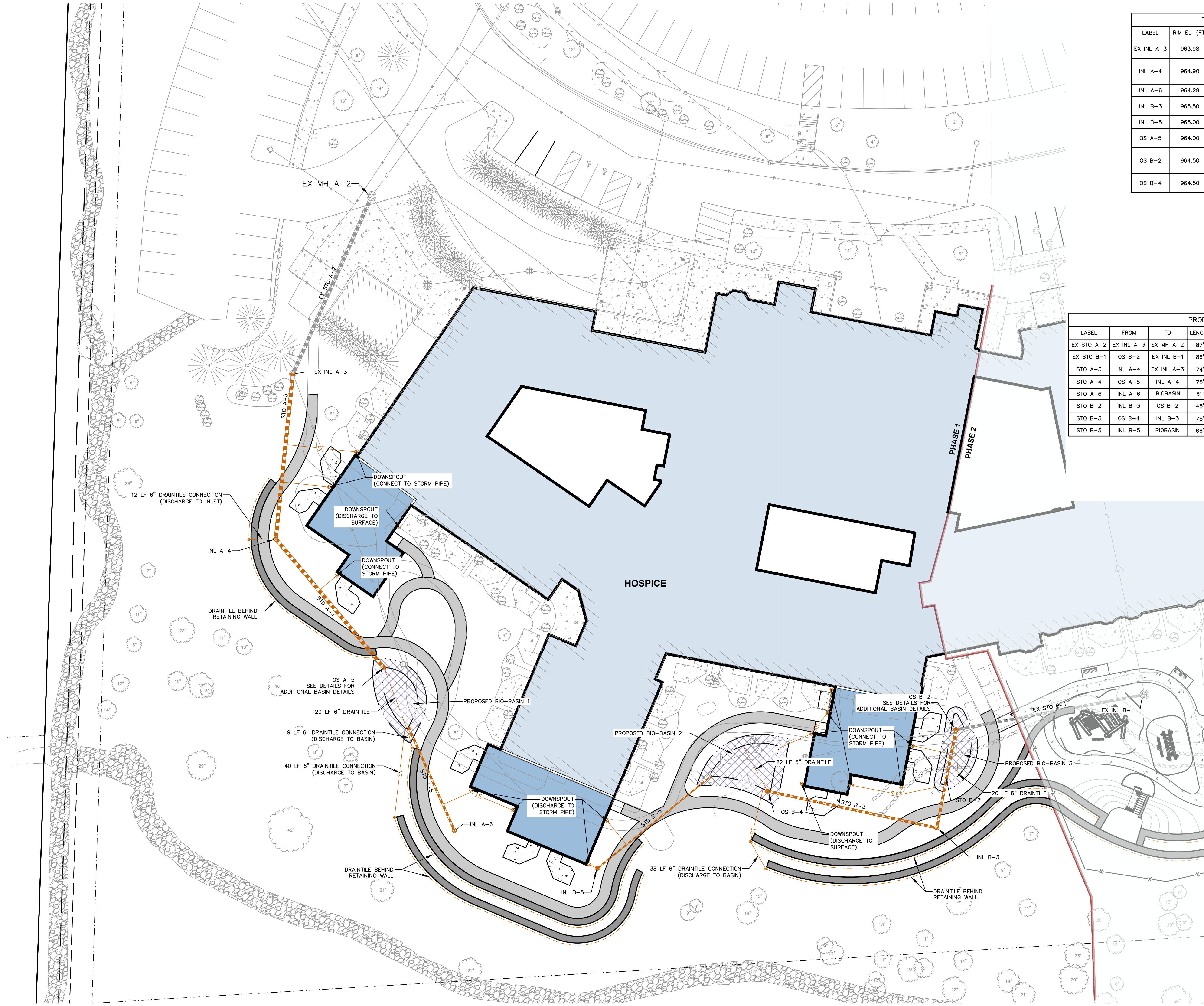
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PROPOSED ADDITIONS AND  
REMODELS FOR:  
**AGRACE HOSPICE**  
FITCHBURG, WISCONSIN  
PHASE 1

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PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX INL A-3	963.98	S INV: 959.60 (18") NE INV: 959.45 (18")	4.5	36 IN MH (FLAT)	R-2050 TYPE D
INL A-4	964.90	SE INV: 959.97 (18") N INV: 959.97 (18") W INV: 961.00 (6")	4.9	24 IN DB	DOME GRATE
INL A-6	964.29	NW INV: 963.25 (10")	1.0	12 IN DB	DOME GRATE
INL B-3	965.50	W INV: 957.75 (12") N INV: 957.75 (12")	7.8	24 IN DB	DOME GRATE
INL B-5	965.00	NE INV: 963.83 (6")	1.2	12 IN DB	DOME GRATE
OS A-5	964.00	S INV: 960.50 (6") NW INV: 960.35 (18")	3.7	24 IN DB	DOME GRATE
OS B-2	964.50	E INV: 957.30 (12") S INV: 961.00 (6")	7.2	24 IN DB	DOME GRATE
OS B-4	964.50	E INV: 958.53 (12") NW INV: 961.00 (6")	6.0	24 IN DB	DOME GRATE

PROPOSED STORM SEWER PIPE TABLE									
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL	FLOW (GPM)	
EX STO A-2	EX INL A-3	EX MH A-2	87'	959.45	959.43	0.02%	18 IN RCP		
EX STO B-1	OS B-2	EX INL B-1	86'	957.30	952.07	6.07%	12 IN HDPE (HP)	974	
STO A-3	INL A-4	EX INL A-3	74'	959.97	959.60	0.50%	18 IN HDPE (HP)	1268	
STO A-4	OS A-5	INL A-4	75'	960.35	959.97	0.50%	18 IN HDPE (HP)	1176	
STO A-6	INL A-6	BIOBASIN	51'	963.25	963.00	0.50%	10 IN HDPE	616	
STO B-2	INL B-3	OS B-2	45'	957.75	957.30	1.00%	12 IN HDPE (HP)	691	
STO B-3	OS B-4	INL B-3	78'	958.53	957.75	1.00%	12 IN HDPE (HP)	691	
STO B-5	INL B-5	BIOBASIN	66'	963.83	963.50	0.50%	6 IN HDPE	77	

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PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
 FITCHBURG, WISCONSIN  
 PHASE 1

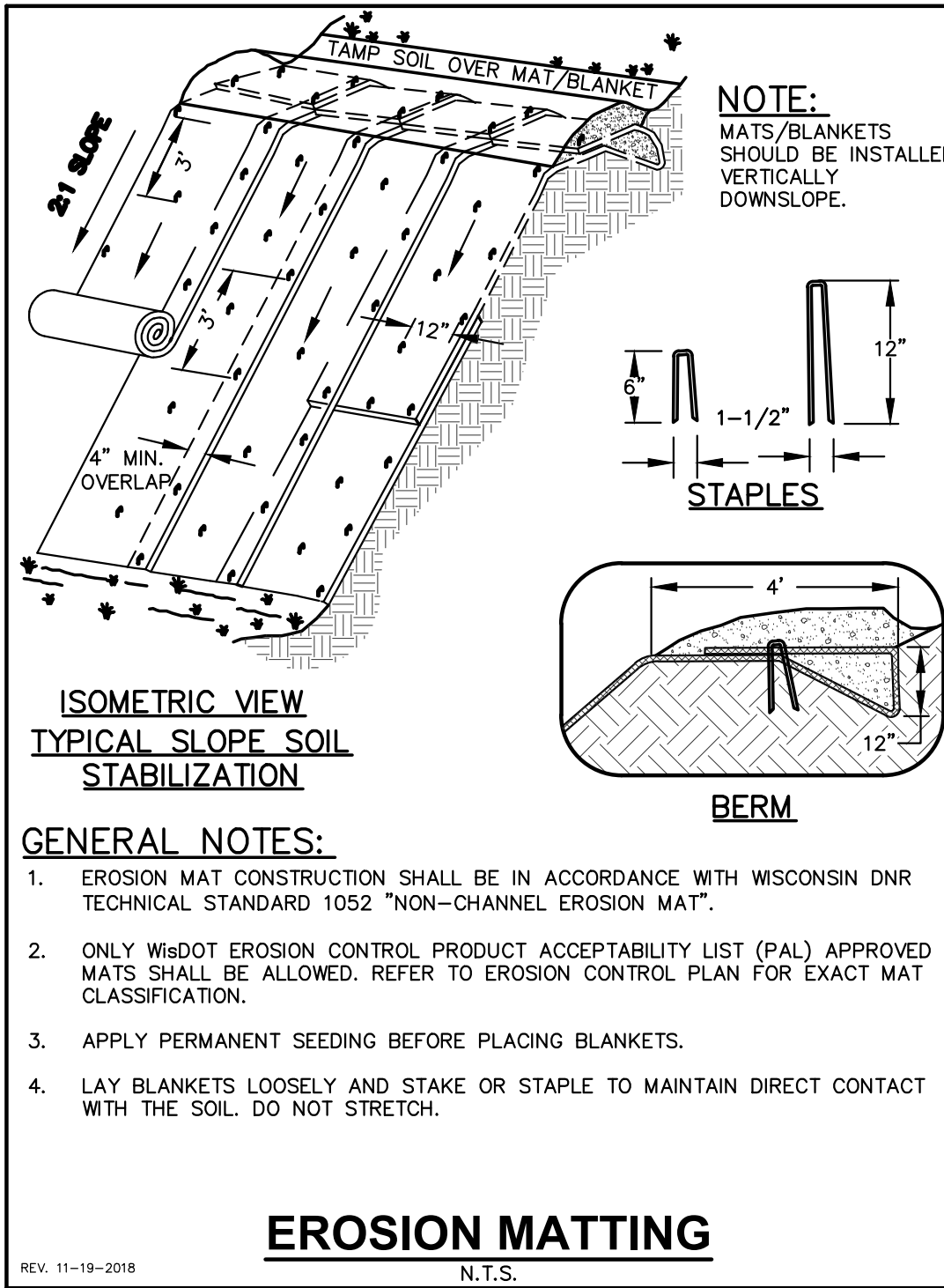
PHASE 1 - BID SET

DETAILED UTILITY PLAN

PROJECT 23-114

DATE 02/27/26

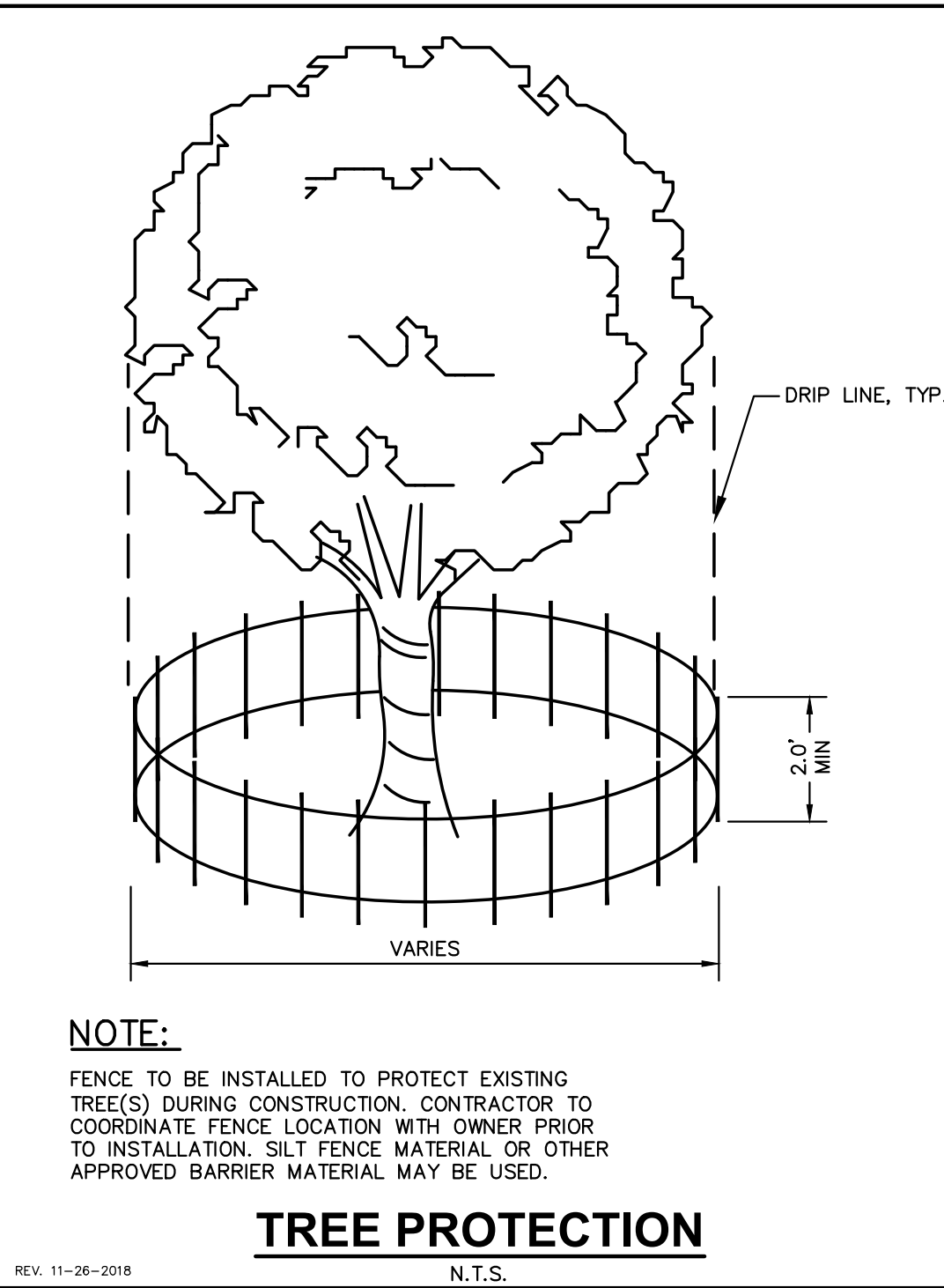
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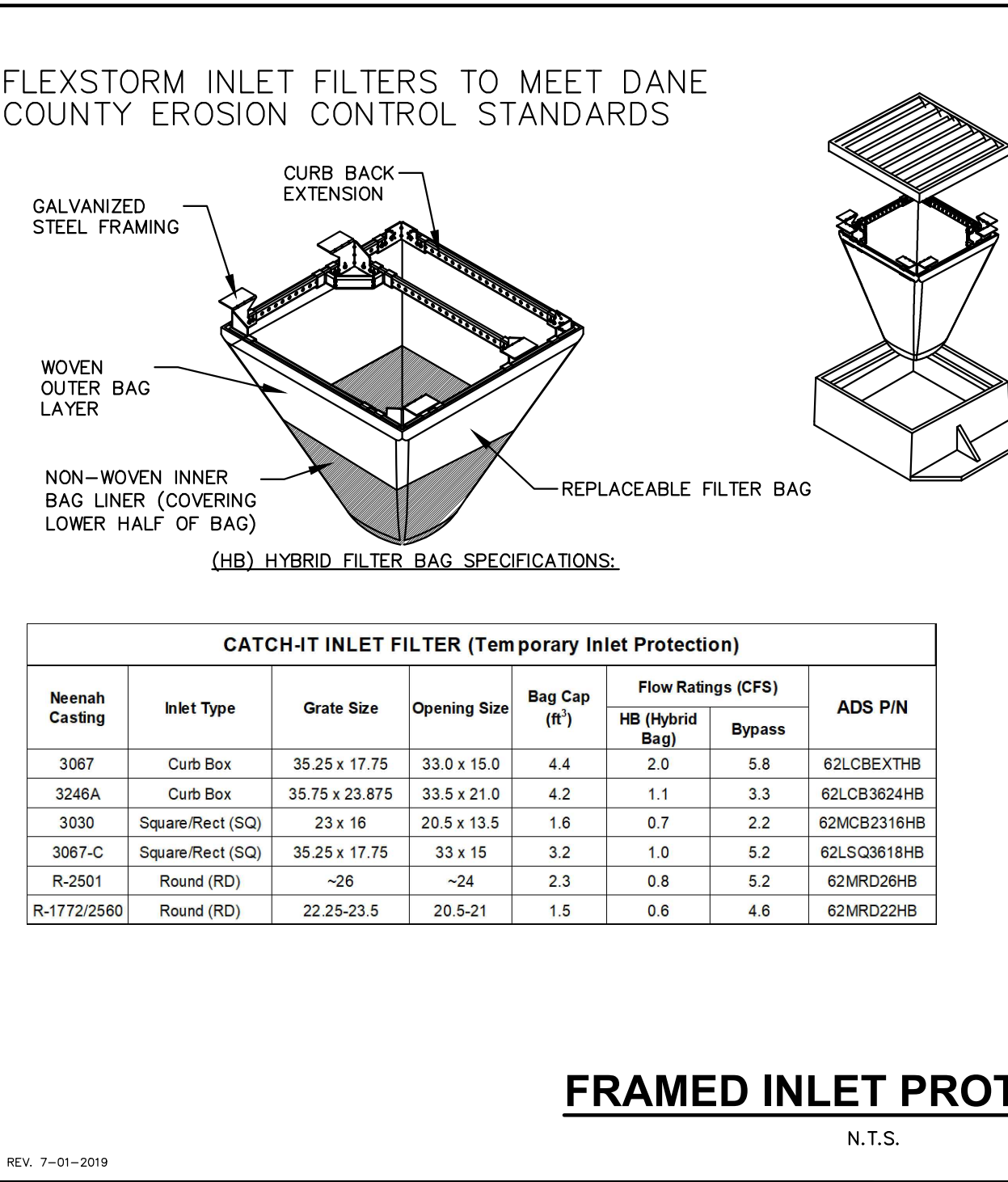
**GENERAL NOTES:**

- EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
- ONLY WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

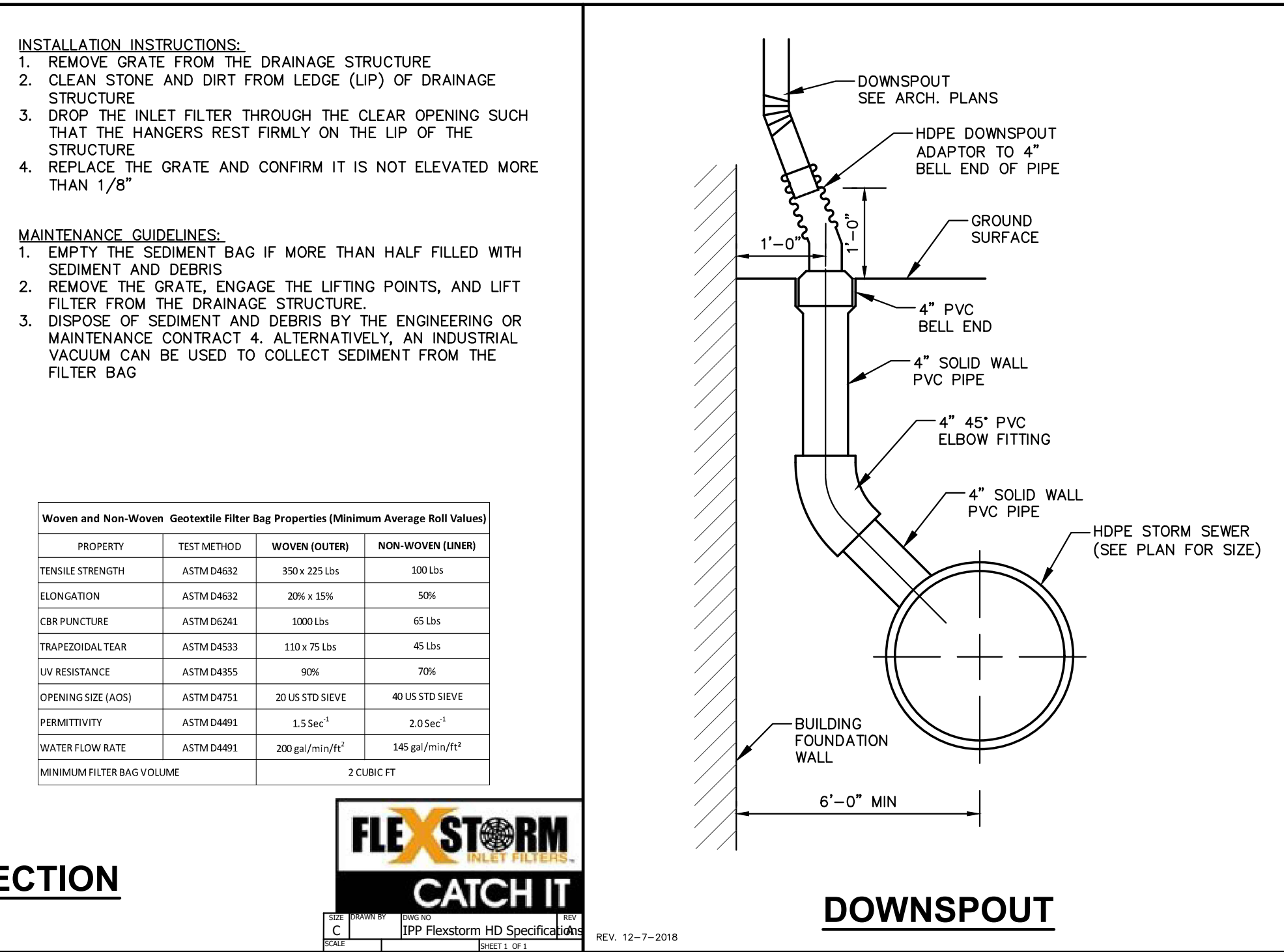
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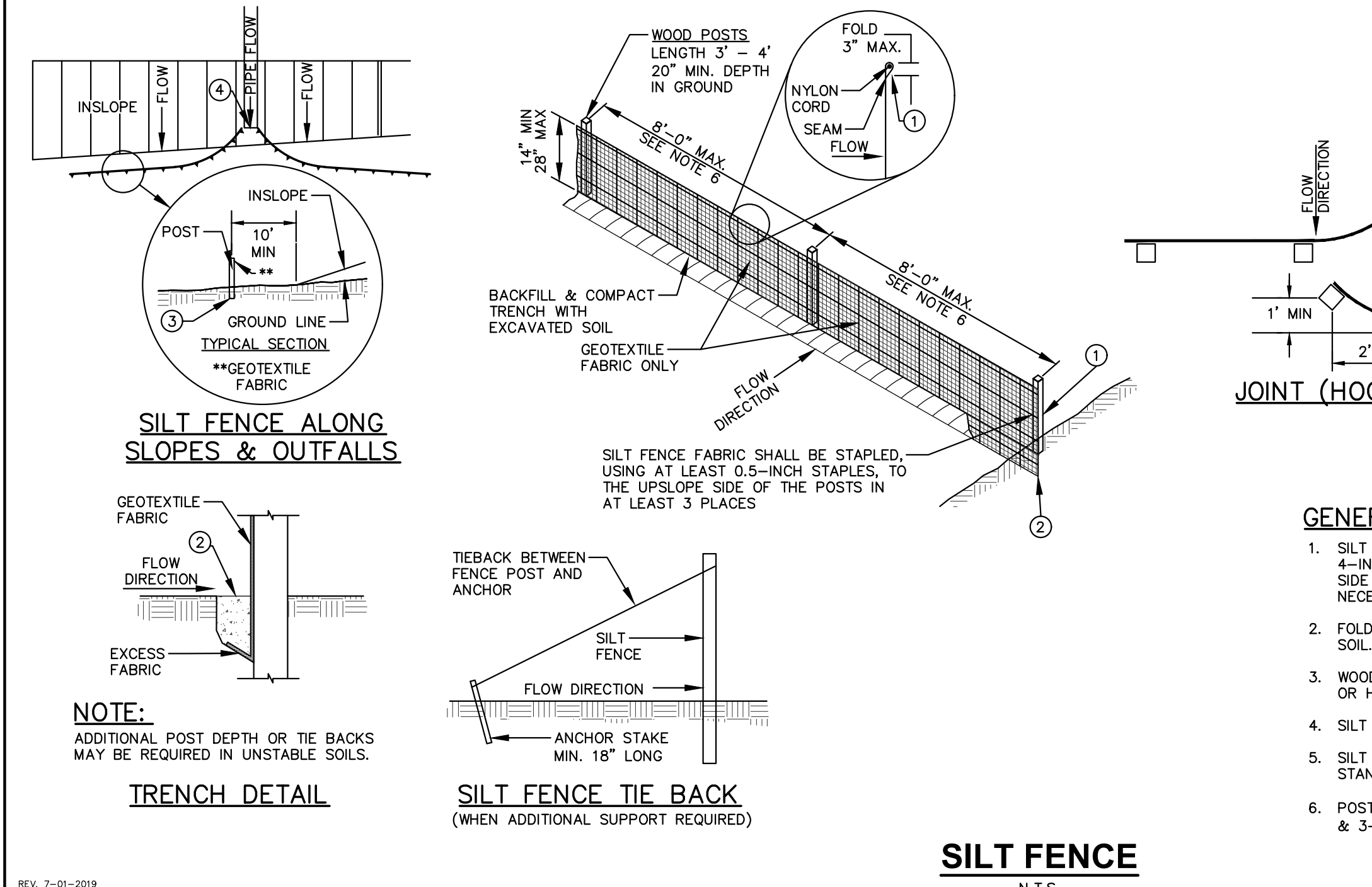
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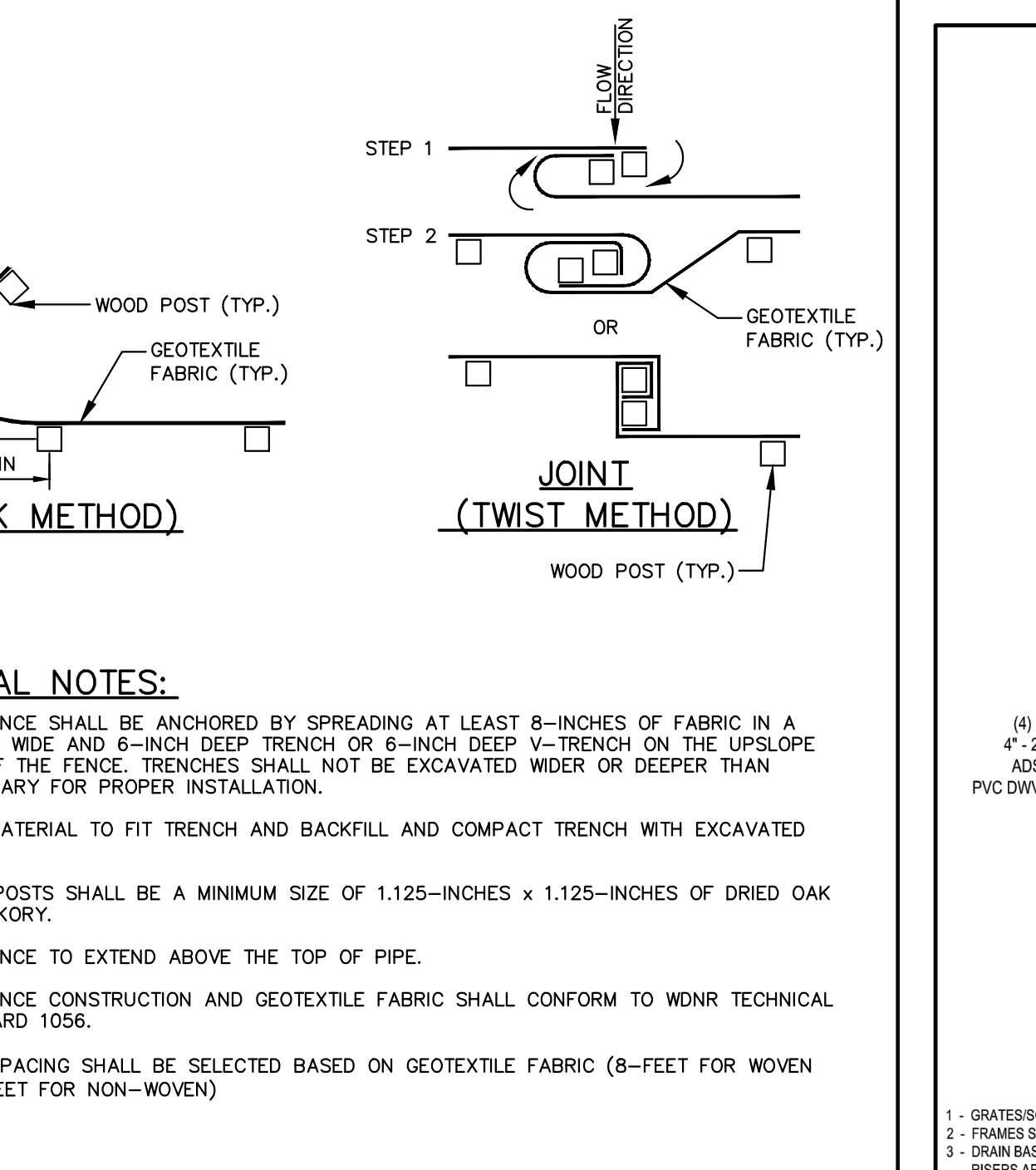
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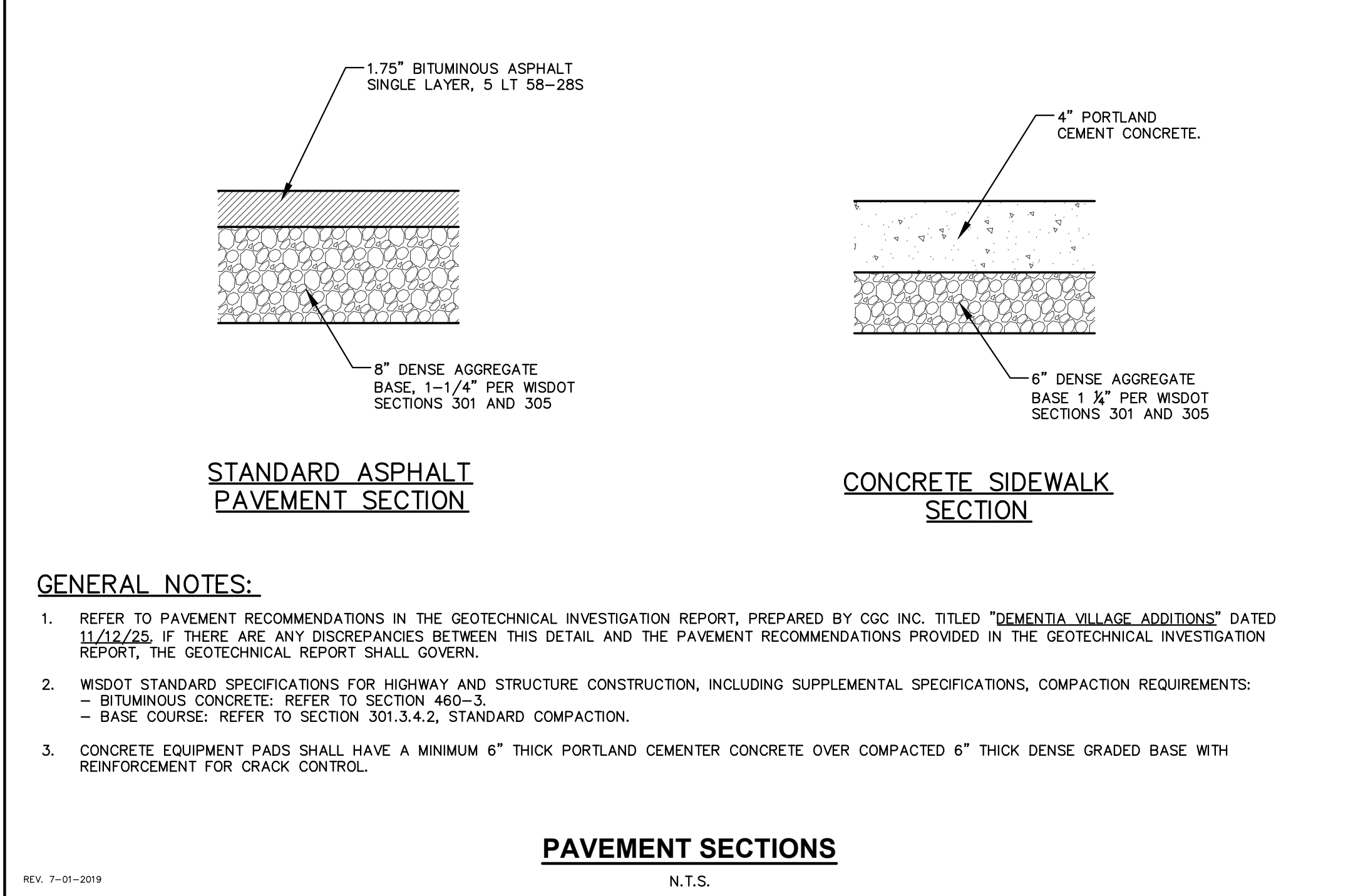
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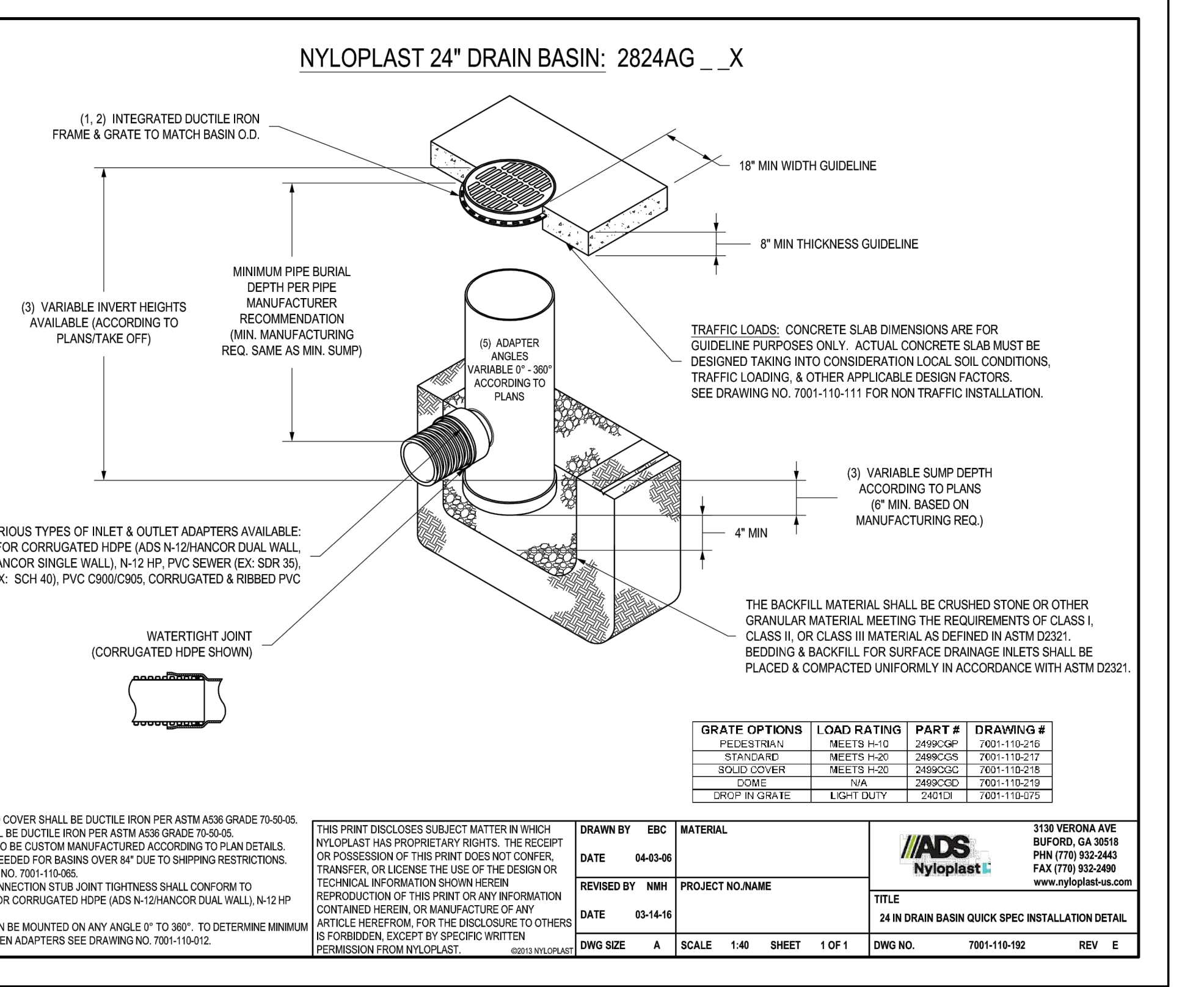
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**CONSTRUCTION ENTRANCE**  
N.T.S.



**PAVEMENT SECTIONS**  
N.T.S.



**NYLOPLAST 24" DRAIN BASIN: 2824AG \_X**

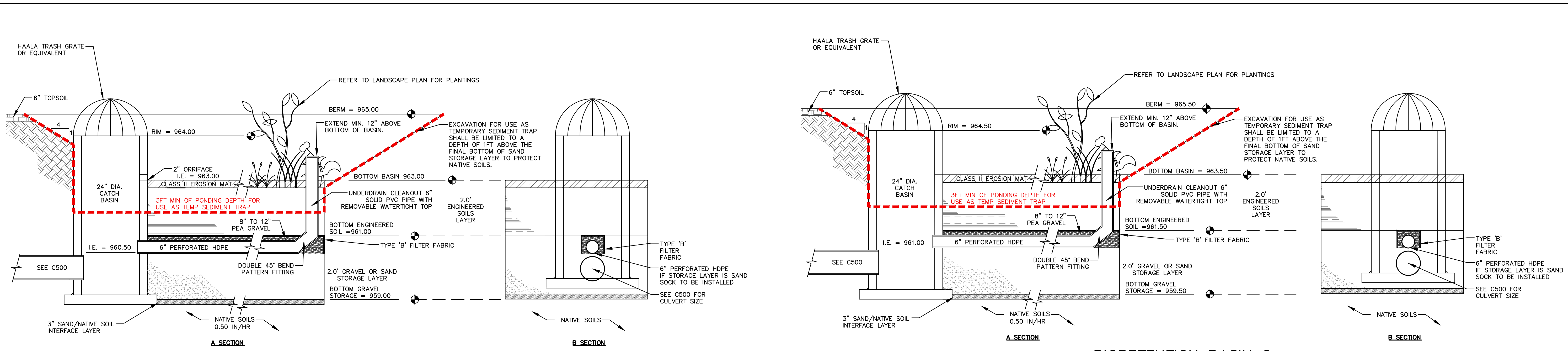
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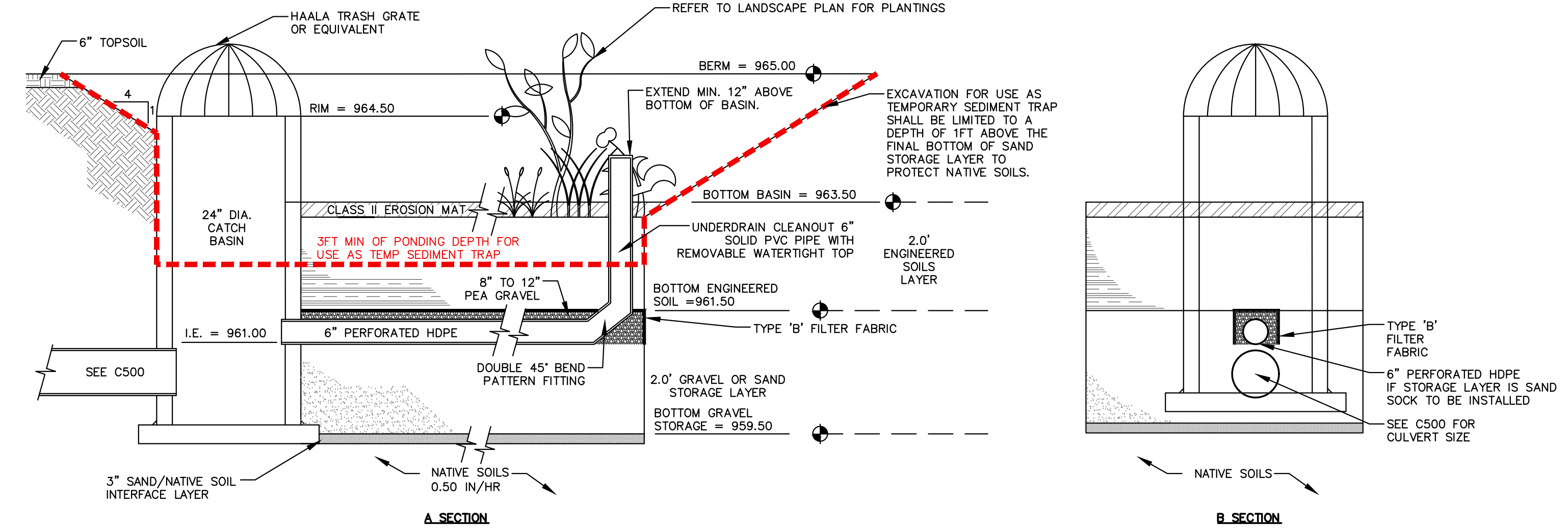
PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
FITCHBURG, WISCONSIN  
PHASE 1

CONSTRUCTION DETAILS  
PROJECT  
**23-114**  
DATE  
**02/27/26**  
SHEET  
**C600**



**BIORETENTION BASIN 1**

**BIORETENTION BASIN 2**



**BIORETENTION BASIN 3**

THE STORMWATER MANAGEMENT FEATURES CONTAINED WITHIN THIS PLAN SET HAVE BEEN DESIGNED IN ACCORDANCE WITH APPLICABLE STANDARDS SET FORTH IN WISCONSIN DNR NR151 AND LOCAL ORDINANCES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER CONSTRUCTION PRACTICES HAVE BEEN UTILIZED AND THAT STORMWATER MANAGEMENT FEATURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED DESIGN PLANS. JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL NOT BE LIABLE FOR ANY CONSTRUCTION PRACTICES OR INSTALLATION WHICH DEVIATES FROM THE APPROVED PLAN SET. ONCE THE OWNER HAS PROVIDED FINAL APPROVAL TO THE WORK PERFORMED BY THE CONTRACTOR AND ENSURED COMPLIANCE WITH THE PLAN, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN STORMWATER MANAGEMENT FEATURES IN ACCORDANCE WITH THE RECORDED MAINTENANCE AGREEMENT. PROPER OPERATION IS DEPENDENT ON A MULTITUDE OF VARIABLES INCLUDING WEATHER. THESE COMPONENTS REQUIRE ONGOING MAINTENANCE FOR WHICH THE OWNER IS RESPONSIBLE. JSD TAKES NO RESPONSIBILITY FOR PROPER OPERATION OF THE WATER QUALITY COMPONENTS.

SAND STORAGE LAYER: IF NATIVE SOIL INFILTRATION RATES ARE GREATER THAN OR EQUAL TO THE DESIGN SAND LAYER (3.6 IN/HR), NATIVE SOILS MAY BE USED. GEOTECHNICAL CONSULTANT SHALL PROVIDE THIS INFORMATION IN WRITTEN DOCUMENTATION FOR VERIFICATION PRIOR TO CONSTRUCTION.

AS-BUILT SURVEY AND CERTIFICATION: UPON CONSTRUCTION COMPLETION AND STABILIZATION, AN AS-BUILT SURVEY IS TO BE CONDUCTED FOR BASIN AND CERTIFIED BY THE ISSUING ENGINEER. AS-BUILT PLANS ARE TO BE SUBMITTED TO MUNICIPALITY FOR FINAL APPROVAL.

- GENERAL NOTES:**
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
  - CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 85% ASTM C33 SAND, 15% CERTIFIED COMPOST (SEE GENERAL NOTE 3).
  - CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
  - SAND/GRAVEL STORAGE LAYER SHALL CONSIST OF SAND OR GRAVEL MATERIAL MEETING THE SPECIFICATIONS IN SECTION V.B.7 OF WDNR TECHNICAL STANDARD 1004.
  - SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
  - CONFIRM WITH GEOTECHNICAL ENGINEER THAT THE GRAVELLY SANDY LOAM SOIL PROFILE HAS BEEN REACHED PRIOR TO BACKFILLING THE BIORETENTION BASIN. DEEP TILL MINIMUM 2 FEET OF NATIVE SOIL TO PROMOTE INFILTRATION.
  - IF ADDITIONAL EXCAVATION IS REQUIRED BELOW THE SAND SOIL PROFILE TO REACH THE LISTED NATIVE SOIL LAYER, THE BACKFILL USED TO RETURN THE BOTTOM OF THE BIORETENTION SYSTEM TO THE BOTTOM OF THE SAND LAYER ELEVATION MUST HAVE AN EQUAL OR HIGHER INFILTRATION RATE THAN THE LISTED NATIVE SOIL LAYER AS CONFIRMED BY A GEOTECHNICAL ENGINEER.
  - FILTER FABRIC SHALL BE PLACED ABOVE AND ON THE SIDES OF THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
  - ANNUAL OATS (SPRING / SUMMER PLANTING) OR ANNUAL RYE / WHEAT (FALL PLANTINGS) SHALL BE SEEDING AT 3 LB/1000 SF WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. REFER TO LANDSCAPE PLAN FOR FINAL RESTORATION PLANTINGS / SEEDING SPECIFICATIONS.
  - RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
  - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
  - SEE LANDSCAPING PLAN AND CONSULT WITH LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE SEED MIX, PLANTS AND PLANTING CONFIGURATIONS.

**NOTE:**  
INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

- TEMPORARY SEDIMENT BASIN NOTES:**
- THE BIORETENTION BASIN SHALL BE CONSTRUCTED AS TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION PHASE. REFER TO BIORETENTION BASIN DETAIL ABOVE FOR EXCAVATION LIMITATION TO PROTECT NATIVE SOILS. UNDERCUTTING FOR AND PLACEMENT OF ENGINEERED SOILS AND ANY SAND/GRAVEL LAYERS SHALL BE COMPLETED AFTER SUBSTANTIAL STABILIZATION OF THE UPSTREAM CONTRIBUTING AREAS TO THE BASIN. CONSTRUCTION SEDIMENT SHALL NOT BE ROUTED TO BIORETENTION BASINS WITH ENGINEERED SOIL AND SAND LAYERS INSTALLED. SEE WDNR TECHNICAL STANDARD 1063 AND CONSTRUCTION SITE BEST PRACTICE HANDBOOK FOR ADDITIONAL DETAILS.
  - BASIN OUTLET STRUCTURE TO BE INSTALLED WHEN OPERATING AS TEMPORARY SEDIMENT BASIN. ORIFICES TO BE PLUGGED DURING THIS TIME AND REMOVED WHEN THE BIORETENTION BASIN IS BEING CONSTRUCTED. ORIFICES TO BE PLUGGED INCLUDE THE ORIFICE FOR THE 6" UNDERDRAIN.
  - OUTLET STRUCTURES SHALL BE PROTECTED WITH TYPE B OR D INLET PROTECTION DURING CONSTRUCTION AND REMOVED UPON FINAL SITE AND BASIN STABILIZATION.
  - CONTRACTOR SHALL MAINTAIN A SAFE OUTLET AND PROTECT DOWNSTREAM AREAS FOR EROSION WITH APPROPRIATE EROSION CONTROL MEASURES.
  - AFTER CONSTRUCTION, SEDIMENTATION IS TO BE REMOVED FROM THE BASIN AND THE BIORETENTION BASIN SHALL BE BUILT PER DESIGN SPECIFICATIONS.

**BIORETENTION BASINS**  
N.T.S.

NO.	DESCRIPTION	DATE

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PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
FITCHEBURG, WISCONSIN  
PHASE 1

CONSTRUCTION DETAILS

**PROJECT**  
23-114

**DATE**  
02/27/26

**SHEET**  
C601

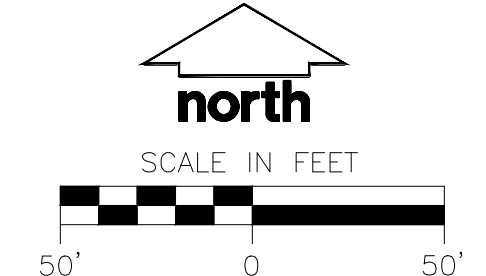


**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
<b>ORNAMENTAL TREES</b>					
	AMGL	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	6" Ht. (min)	5
	CACAR	<i>Carpinus caroliniana</i> 'J.N. Globe' TM / Ball O' Fire American Hornbeam	B & B	4" Ht. (min)	3
	CDMA	<i>Cornus mas</i> / Cornelian Cherry	B & B	6" Ht. (min)	5
<b>DECIDUOUS SHRUBS</b>					
	ARME	<i>Aronia melanocarpa</i> 'Morton' TM / Iroquois Beauty Black Chokeberry	#3	24" Ht. (min)	13
	ARMEL	<i>Aronia melanocarpa</i> 'UCONNAM165' TM / Low Scope Mound Chokeberry	#3	8" Ht. (min)	42
	CEAM	<i>Oenothera americana</i> / New Jersey Tea	#3	24" Ht. (min)	58
	COSE	<i>Cornus sericea</i> 'Farrow' / Arctic Fire® Red Twig Dogwood	#3	36" Ht. (min)	11
	HYAR	<i>Hydrangea arborescens</i> 'Incrediball' / Incrediball White Hydrangea	#3	24" Ht. (min)	14
	HYPA	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	#3	24" Ht. (min)	19
	PHOP	<i>Physocarpus opulifolius</i> 'Little Devil' TM / Dwarf Ninebark	#3	24" Ht. (min)	26
	SYOB	<i>Symphoricarpos orbiculatus</i> / Coralberry	#5	24" Ht. (min)	12
	SYPA	<i>Syringa x 'SMURPHY'</i> TM / Blooming Dwarf Pink Lilac	#3	24" Ht. (min)	9
	VJUU	<i>Viburnum x juddii</i> / Judd Viburnum	#5	36" Ht. (min)	22
<b>EVERGREEN SHRUBS</b>					
	BUCV	<i>Buxus x 'Green Velvet'</i> / Green Velvet Boxwood	#5	18" Ht. (min)	3
	BUGM	<i>Buxus x 'Green Mountain'</i> / Green Mountain Boxwood	#5	24" Ht. (min)	16
	CHPI	<i>Chamaecyparis pilsiferi</i> 'Golden Map' / Golden Map Threadleaf Sawara Cypress	#3	24" Ht. (min)	23
	RHOD	<i>Rhododendron x 'P.J.M.'</i> / P.J.M. Rhododendron	#5	24" Ht. (min)	6
	TACU	<i>Taxus cuspidata</i> 'Densiformis' / Dense Japanese Yew	#5	24" Ht. (min)	22
	TAMEH	<i>Taxus x media</i> 'Hicksii' / Hicks Anglo-Japanese Yew	#5	36" Ht. (min)	21
<b>PERENNIALS &amp; GRASSES</b>					
	ALSU	<i>Allium x 'Summer Beauty'</i> / Summer Beauty Allium	#1	Min. 8"-18"	29
	ASTU	<i>Asclepias tuberosa</i> / Butterfly Milkweed	#1	Min. 8"-18"	11
	ASAZ	<i>Aster azureus</i> / Sky Blue Aster	#1	Min. 8"-18"	19
	CAMC	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	#1	Min. 8"-18"	25
	ECPA	<i>Echinacea pallida</i> / Pale Purple Coneflower	#1	Min. 8"-18"	9
	GETM	<i>Geranium x 'Tiny Monster'</i> / Tiny Monster Geranium	#1	Min. 8"-18"	36
	GETR	<i>Geum triflorum</i> / Prairie Smoke	#1	Min. 8"-18"	17
	HEOB	<i>Heuchera x 'Obsidian'</i> / Obsidian Coral Bells	#1	Min. 8"-18"	19
	HOBA	<i>Hosta x 'Blue Angel'</i> / Blue Angel Hosta	#1	Min. 8"-18"	4
	HORS	<i>Hosta x 'Regal Splendor'</i> / Regal Splendor Hosta	#1	Min. 8"-18"	11
	MOCAM	<i>Molinia caerulea</i> 'Moerhous' / Moor Witch Moor Grass	#1	Min. 8"-18"	97
	PAVI	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"	46
	SCSC	<i>Schizachyrium scaparium</i> / Little Bluestem	#1	Min. 12"-24"	34
	SEAF	<i>Sedum x 'Autumn Fire'</i> / Autumn Fire Sedum	#1	Min. 8"-18"	15
	SPHE	<i>Sporobolus heterolepis</i> / Prairie Dropseed	#1	Min. 8"-18"	58

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EXISTING GRAVEL PATH
	EXISTING BRICK PATH
	BOULDER RETAINING WALL
	EXISTING BOULDER WALL
	LANDSCAPE EDGING
	NATIVE VEGETATIVE MAT
	DECORATIVE STONE MULCH
	TURF GRASS SEED MIX
	LOW-MOW SEED MIX
	FIELDSTONE BOULDER (SEE L200)



PHASE 1 - BID SET

PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
FITZBURGH, WISCONSIN  
PHASE 1

OVERALL LANDSCAPE PLAN

PROJECT  
**23-114**

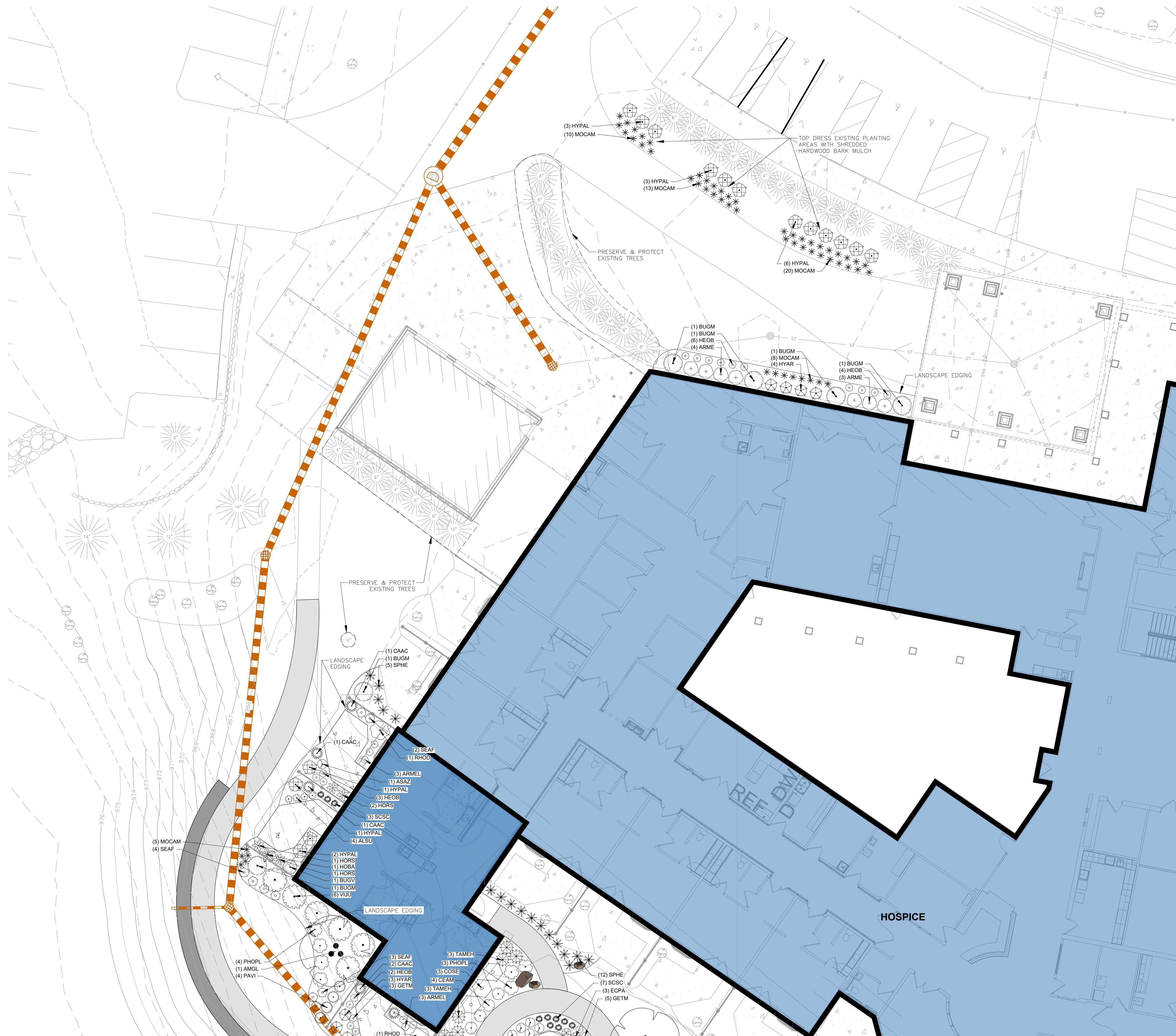
DATE  
**02/27/26**

SHEET  
**L100**

NO.	DESCRIPTION	DATE

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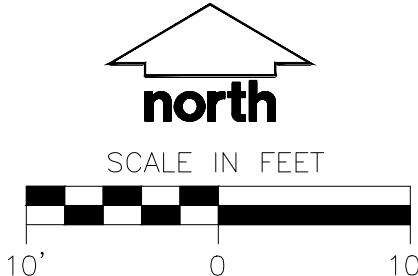


### PLANT LIST

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE
<b>ORNAMENTAL TREES</b>				
AMGL		<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	6' Ht. (min)
CACAR		<i>Carpius caroliniana</i> 'J.N. Globe' TM / Ball O' Fire American Hornbeam	B & B	4' Ht. (min)
COMA		<i>Cornus mas</i> / Cornelian Cherry	B & B	6' Ht. (min)
<b>DECIDUOUS SHRUBS</b>				
ARME		<i>Aronia melanocarpa</i> 'Morton' TM / Inquis Beauty Black Chokeberry	#3	24" Ht. (min)
ARMEL		<i>Aronia melanocarpa</i> 'UCDONNAM165' TM / Low Scope Mound Chokeberry	#3	8" Ht. (min)
CEAM		<i>Ceanothus americanus</i> / New Jersey Tea	#3	24" Ht. (min)
COSE		<i>Cornus sericea</i> 'Farrow' / Arctic Fire® Red Twig Dogwood	#3	36" Ht. (min)
HYAR		<i>Hydrangea arborescens</i> 'Incrediball' / Incrediball White Hydrangea	#3	24" Ht. (min)
HYPAL		<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	#3	24" Ht. (min)
PHOPL		<i>Physocarpus opulifolius</i> 'Little Devil' TM / Dwarf Ninebark	#3	24" Ht. (min)
SYOB		<i>Symphoricarpos orbiculatus</i> / Coraberry	#3	24" Ht. (min)
SYPA		<i>Syringa x 'SMURP'</i> TM / Bloomerang Dwarf Pink Lilac	#3	24" Ht. (min)
VIJU		<i>Viburnum x juddii</i> / Judd Viburnum	#5	36" Ht. (min)
<b>EVERGREEN SHRUBS</b>				
BUGV		<i>Buxus x 'Green Velvet'</i> / Green Velvet Boxwood	#5	18" Ht. (min)
BUGM		<i>Buxus x 'Green Mountain'</i> / Green Mountain Boxwood	#5	24" Ht. (min)
CHPI		<i>Chamaecyparis pisifera</i> 'Golden Map' / Golden Map Threadleaf Sawara Cypress	#3	24" Ht. (min)
RHOD		<i>Rhododendron x 'P.J.M.'</i> / P.J.M. Rhododendron	#5	24" Ht. (min)
TACU		<i>Taxus cuspidata</i> 'Densaformis' / Dense Japanese Yew	#5	24" Ht. (min)
TAMEH		<i>Taxus x media</i> 'Hicksii' / Hicks Anglo-Japanese Yew	#5	36" Ht. (min)
<b>PERENNIALS &amp; GRASSES</b>				
ALSI		<i>Allium x 'Summer Beauty'</i> / Summer Beauty Allium	#1	Min. 8"-18"
ASTU		<i>Asclepias tuberosa</i> / Butterfly Milkweed	#1	Min. 8"-18"
ASAZ		<i>Aster azureus</i> / Sky Blue Aster	#1	Min. 8"-18"
CAAC		<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	#1	Min. 8"-18"
ECPA		<i>Echinacea pallida</i> / Pale Purple Coneflower	#1	Min. 8"-18"
GETM		<i>Geranium x 'Tiny Monster'</i> / Tiny Monster Geranium	#1	Min. 8"-18"
GETR		<i>Geum triflorum</i> / Prairie Smoke	#1	Min. 8"-18"
HEOB		<i>Heuchera x 'Obsidian'</i> / Obsidian Coral Bells	#1	Min. 8"-18"
HORBA		<i>Hosta x 'Blue Angel'</i> / Blue Angel Hosta	#1	Min. 8"-18"
HORS		<i>Hosta x 'Regal Splendor'</i> / Regal Splendor Hosta	#1	Min. 8"-18"
MOCAM		<i>Molinia caerulea</i> 'Moerhous' / Moor Witch Moor Grass	#1	Min. 8"-18"
PAVI		<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"
SCSC		<i>Schizachyrium scaparium</i> / Little Bluestem	#1	Min. 12"-24"
SEAF		<i>Sedum x 'Autumn Fire'</i> / Autumn Fire Sedum	#1	Min. 8"-18"
SPHE		<i>Sporobolus heterolepis</i> / Prairie Dropseed	#1	Min. 8"-18"

### LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EXISTING GRAVEL PATH
	EXISTING BRICK PATH
	BOULDER RETAINING WALL
	EXISTING BOULDER WALL
	LANDSCAPE EDGING
	NATIVE VEGETATIVE MAT
	DECORATIVE STONE MULCH
	TURF GRASS SEED MIX
	LOW-MOW SEED MIX
	FIELDSTONE BOULDER (SEE L200)



**PHASE 1 - BID SET**  
 PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
 FITCHBURG, WISCONSIN  
 PHASE 1

**REVISIONS**  
 NO. DESCRIPTION DATE

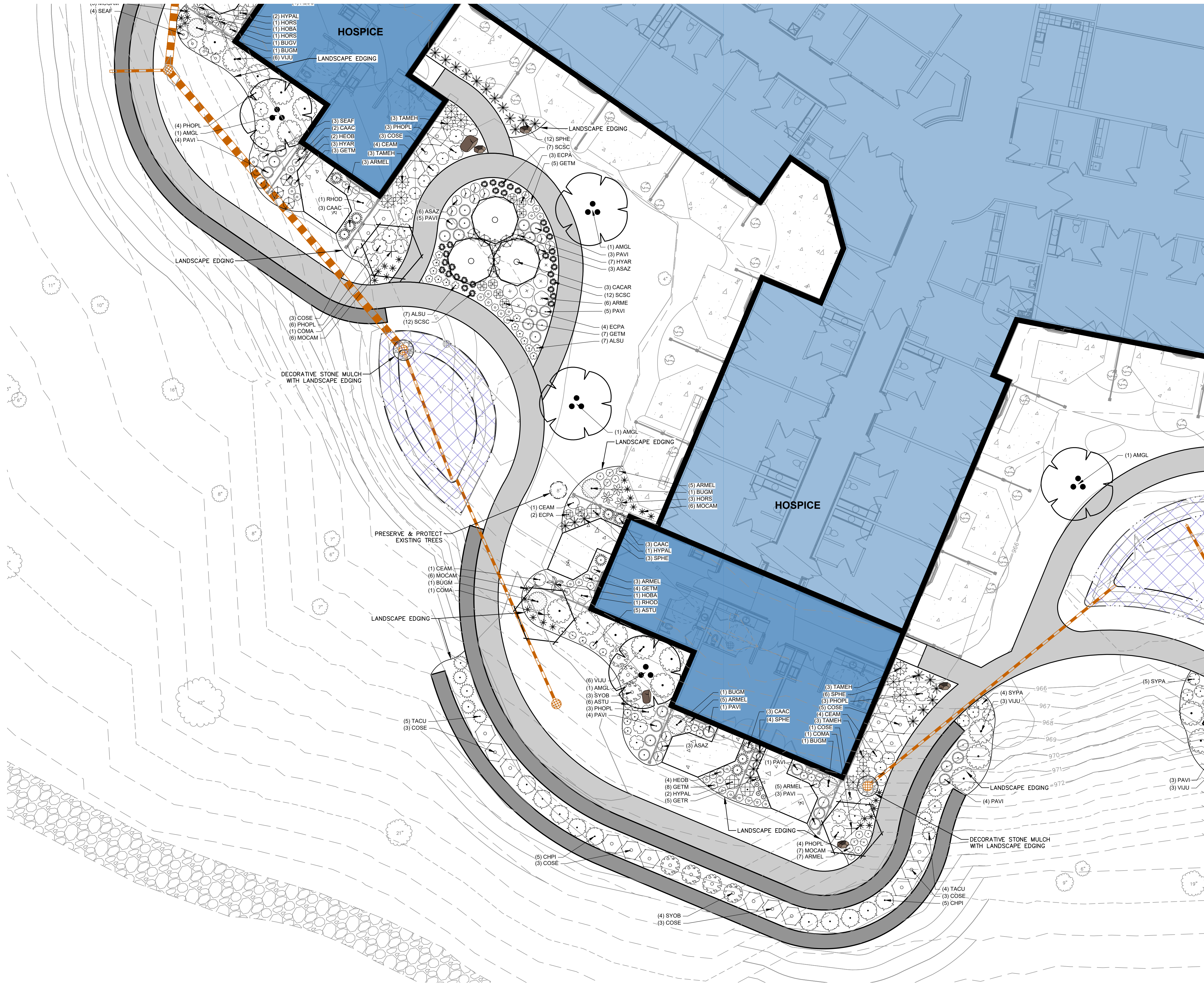
PROJECT  
**23-114**  
 DATE  
**02/27/26**  
 SHEET  
**L101**

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File: USDNDC\projects\2025\2515710\DWG\Landscape - Phase 1.dwg Layout: L101 - PLANTING PLAN User: alyssa.wittman Plotted: Feb 26, 2025 - 4:11pm Xrefs:

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### PLANT LIST

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE
<b>ORNAMENTAL TREES</b>				
	AMGL	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	6' Ht. (min)
	CACAR	<i>Carpinus caroliniana</i> 'J.N. Globe' TM / Ball O' Fire American Hornbeam	B & B	4' Ht. (min)
	COMA	<i>Cornus mas</i> / Cornelian Cherry	B & B	6' Ht. (min)
<b>DECIDUOUS SHRUBS</b>				
	ARME	<i>Aronia melanocarpa</i> 'Morton' TM / Inquis Beauty Black Chokeberry	#3	24" Ht. (min)
	ARME1	<i>Aronia melanocarpa</i> 'UCONNAM165' TM / Low Scope Mound Chokeberry	#3	8" Ht. (min)
	CEAM	<i>Oenothera americana</i> / New Jersey Tea	#3	24" Ht. (min)
	COSE	<i>Cornus sericea</i> 'Farrow' / Arctic Fire® Red Twig Dogwood	#3	36" Ht. (min)
	HYAR	<i>Hydrangea arborescens</i> 'Incrediball' / Incrediball White Hydrangea	#3	24" Ht. (min)
	HYPAL	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	#3	24" Ht. (min)
	PHOPL	<i>Physocarpus opulifolius</i> 'Little Devil' TM / Dwarf Ninebark	#3	24" Ht. (min)
	SYOB	<i>Symphoricarpos orbiculatus</i> / Corallberry	#3	24" Ht. (min)
	SYPA	<i>Syringa x 'SMURPI'</i> TM / Blooming Dwarf Pink Lilac	#3	24" Ht. (min)
	VIJU	<i>Viburnum x juddii</i> / Judd Viburnum	#5	36" Ht. (min)
<b>EVERGREEN SHRUBS</b>				
	BUGV	<i>Buxus x 'Green Velvet'</i> / Green Velvet Boxwood	#5	18" Ht. (min)
	BUGM	<i>Buxus x 'Green Mountain'</i> / Green Mountain Boxwood	#5	24" Ht. (min)
	CHPI	<i>Chamaecyparis pisifera</i> 'Golden Map' / Golden Map Threadleaf Sawara Cypress	#3	24" Ht. (min)
	RHOD	<i>Rhododendron x 'P.J.M.'</i> / P.J.M. Rhododendron	#5	24" Ht. (min)
	TACU	<i>Taxus cuspidata</i> 'Densaformis' / Dense Japanese Yew	#5	24" Ht. (min)
	TAMEH	<i>Taxus x media</i> 'Hicksii' / Hicks Anglo-Japanese Yew	#5	36" Ht. (min)
<b>PERENNIALS &amp; GRASSES</b>				
	ALSU	<i>Allium x 'Summer Beauty'</i> / Summer Beauty Allium	#1	Min. 8"-18"
	ASTU	<i>Asclepias tuberosa</i> / Butterfly Milkweed	#1	Min. 8"-18"
	ASAZ	<i>Aster azureus</i> / Sky Blue Aster	#1	Min. 8"-18"
	CAAC	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	#1	Min. 8"-18"
	ECPA	<i>Echinacea pallida</i> / Pale Purple Coneflower	#1	Min. 8"-18"
	GETM	<i>Geranium x 'Tiny Monster'</i> / Tiny Monster Geranium	#1	Min. 8"-18"
	GETR	<i>Geum triflorum</i> / Prairie Smoke	#1	Min. 8"-18"
	HEOB	<i>Heuchera x 'Obsidian'</i> / Obsidian Coral Bells	#1	Min. 8"-18"
	HOBA	<i>Hosta x 'Blue Angel'</i> / Blue Angel Hosta	#1	Min. 8"-18"
	HORS	<i>Hosta x 'Regal Splendor'</i> / Regal Splendor Hosta	#1	Min. 8"-18"
	MOCAM	<i>Molinia caerulea</i> 'Maarheze' / Moor Witch Moor Grass	#1	Min. 8"-18"
	PAVI	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"
	SCSC	<i>Schizachyrium scaparium</i> / Little Bluestem	#1	Min. 12"-24"
	SEAF	<i>Sedum x 'Autumn Fire'</i> / Autumn Fire Sedum	#1	Min. 8"-18"
	SPHE	<i>Sporobolus heterolepis</i> / Prairie Dropseed	#1	Min. 8"-18"

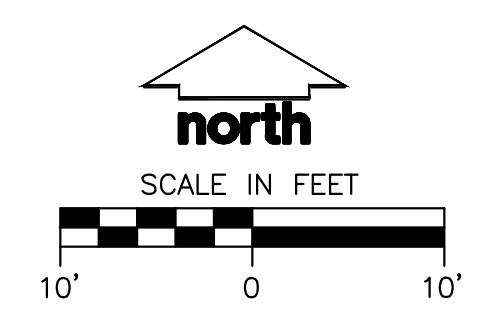
### LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EXISTING GRAVEL PATH
	EXISTING BRICK PATH
	BOULDER RETAINING WALL
	EXISTING BOULDER WALL
	LANDSCAPE EDGING
	NATIVE VEGETATIVE MAT
	DECORATIVE STONE MULCH
	TURF GRASS SEED MIX
	LOW-MOW SEED MIX
	FIELDSTONE BOULDER (SEE L200)

PHASE 1 - BID SET

PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
 FITCHBURG, WISCONSIN  
 PHASE 1

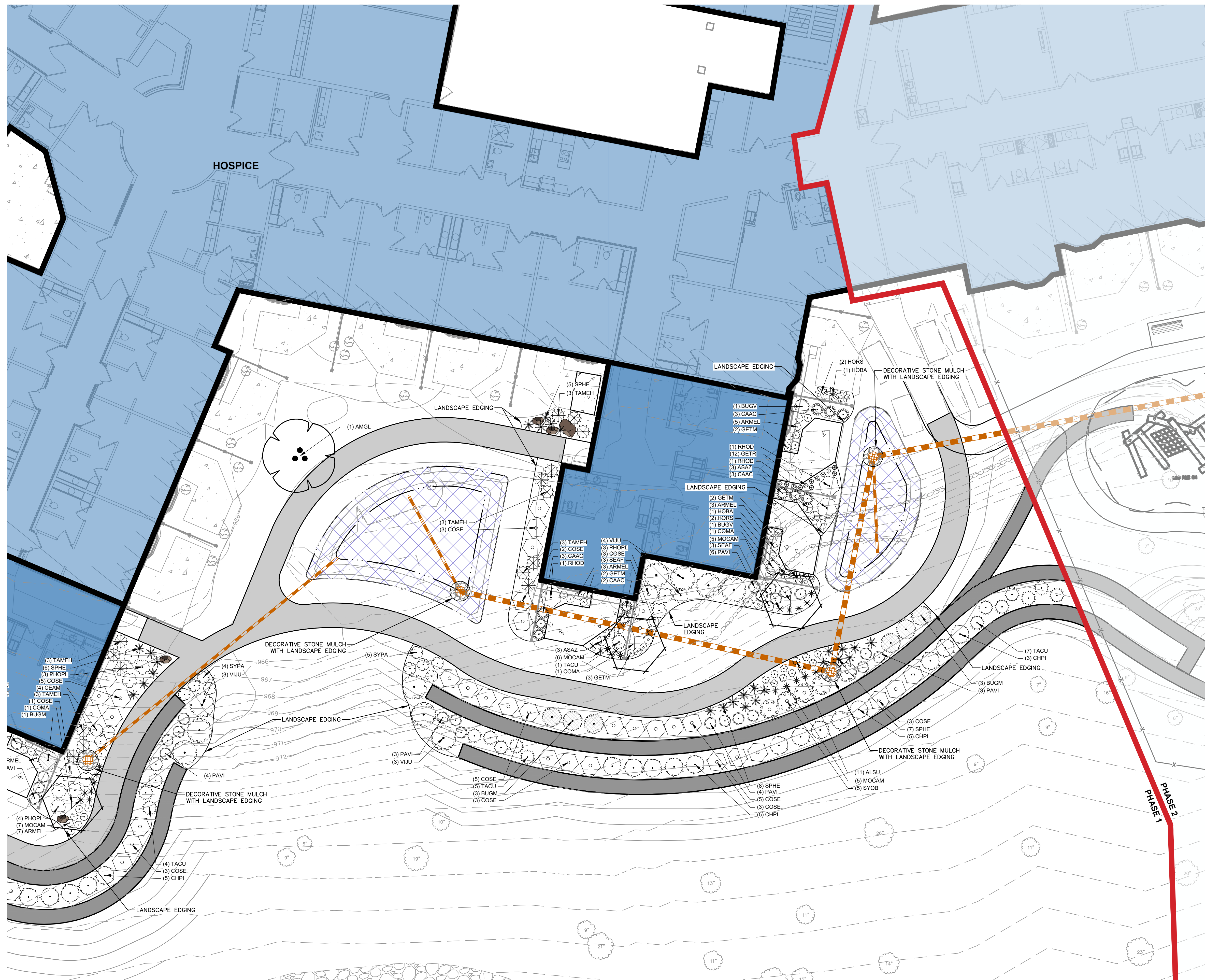
LANDSCAPE PLANTING PLAN  
 PROJECT 23-114  
 DATE 02/27/26  
 SHEET L102



### REVISIONS

NO.	DESCRIPTION	DATE

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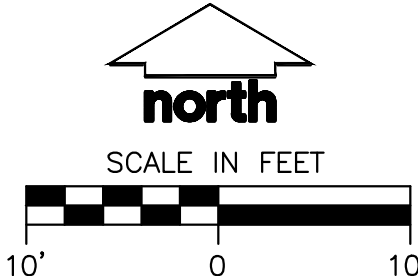


### PLANT LIST

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE
<b>ORNAMENTAL TREES</b>				
(Symbol)	AMGL	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	6' Ht. (min)
(Symbol)	CACAR	<i>Carpinus caroliniana</i> 'J.N. Globe' TM / Ball O' Fire American Hornbeam	B & B	4' Ht. (min)
(Symbol)	COMA	<i>Cornus mas</i> / Cornelian Cherry	B & B	6' Ht. (min)
<b>DECIDUOUS SHRUBS</b>				
(Symbol)	ARME	<i>Aronia melanocarpa</i> 'Morton' TM / Iroquois Beauty Black Chokeberry	#3	24" Ht. (min)
(Symbol)	ARMEL	<i>Aronia melanocarpa</i> 'UCONNAM165' TM / Low Scope Mound Chokeberry	#3	8" Ht. (min)
(Symbol)	CEAM	<i>Ceanothus americanus</i> / New Jersey Tea	#3	24" Ht. (min)
(Symbol)	COSE	<i>Cornus sericea</i> 'Farrow' / Arctic Fire® Red Twig Dogwood	#3	36" Ht. (min)
(Symbol)	HYAR	<i>Hydrangea arborescens</i> 'Incrediball' / Incrediball White Hydrangea	#3	24" Ht. (min)
(Symbol)	HYPAL	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	#3	24" Ht. (min)
(Symbol)	PHOPL	<i>Physocarpus opulifolius</i> 'Little Devil' TM / Dwarf Ninebark	#3	24" Ht. (min)
(Symbol)	SYOB	<i>Symphoricarpos orbiculatus</i> / Corallberry	#3	24" Ht. (min)
(Symbol)	SYPA	<i>Syringa</i> x 'SMURPHY' TM / Blooming Dwarf Pink Lilac	#3	24" Ht. (min)
(Symbol)	VJUU	<i>Viburnum x juddii</i> / Judd Viburnum	#5	36" Ht. (min)
<b>EVERGREEN SHRUBS</b>				
(Symbol)	BUGV	<i>Buxus</i> x 'Green Velvet' / Green Velvet Boxwood	#5	18" Ht. (min)
(Symbol)	BUGM	<i>Buxus</i> x 'Green Mountain' / Green Mountain Boxwood	#5	24" Ht. (min)
(Symbol)	CHPI	<i>Chamaecyparis pisifera</i> 'Golden Map' / Golden Map Threadleaf Sawara Cypress	#3	24" Ht. (min)
(Symbol)	RHOD	<i>Rhododendron</i> x 'P.J.M.' / P.J.M. Rhododendron	#5	24" Ht. (min)
(Symbol)	TACU	<i>Taxus cuspidata</i> 'Densaformis' / Dense Japanese Yew	#5	24" Ht. (min)
(Symbol)	TAMEH	<i>Taxus x media</i> 'Hicksii' / Hicks Anglo-Japanese Yew	#5	36" Ht. (min)
<b>PERENNIALS &amp; GRASSES</b>				
(Symbol)	ALSI	<i>Allium</i> x 'Summer Beauty' / Summer Beauty Allium	#1	Min. 8"-18"
(Symbol)	ASTU	<i>Asclepias tuberosa</i> / Butterfly Milkweed	#1	Min. 8"-18"
(Symbol)	ASAZ	<i>Aster azureus</i> / Sky Blue Aster	#1	Min. 8"-18"
(Symbol)	CAAC	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	#1	Min. 8"-18"
(Symbol)	ECPA	<i>Echinacea pallida</i> / Pale Purple Coneflower	#1	Min. 8"-18"
(Symbol)	GETM	<i>Geranium</i> x 'Tiny Monster' / Tiny Monster Geranium	#1	Min. 8"-18"
(Symbol)	GETR	<i>Geum triflorum</i> / Prairie Smoke	#1	Min. 8"-18"
(Symbol)	HEOB	<i>Heuchera</i> x 'Obsidian' / Obsidian Coral Bells	#1	Min. 8"-18"
(Symbol)	HOBBA	<i>Hosta</i> x 'Blue Angel' / Blue Angel Hosta	#1	Min. 8"-18"
(Symbol)	HORS	<i>Hosta</i> x 'Regal Splendor' / Regal Splendor Hosta	#1	Min. 8"-18"
(Symbol)	MOCAM	<i>Molinia caerulea</i> 'Maarheze' / Moor Witch Moor Grass	#1	Min. 8"-18"
(Symbol)	PAVI	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"
(Symbol)	SCSC	<i>Schizachyrium scaparium</i> / Little Bluestem	#1	Min. 12"-24"
(Symbol)	SEAF	<i>Sedum</i> x 'Autumn Fire' / Autumn Fire Sedum	#1	Min. 8"-18"
(Symbol)	SPHE	<i>Sporobolus heterolepis</i> / Prairie Dropseed	#1	Min. 8"-18"

### LEGEND

(Symbol)	PROPERTY LINE
(Symbol)	RIGHT-OF-WAY
(Symbol)	BUILDING OUTLINE
(Symbol)	EDGE OF PAVEMENT
(Symbol)	ASPHALT PAVEMENT
(Symbol)	CONCRETE PAVEMENT
(Symbol)	PROPOSED 1 FOOT CONTOUR
(Symbol)	PROPOSED 5 FOOT CONTOUR
(Symbol)	EXISTING 1 FOOT CONTOUR
(Symbol)	EXISTING 5 FOOT CONTOUR
(Symbol)	SANITARY SEWER
(Symbol)	WATERMAIN
(Symbol)	STORM SEWER
(Symbol)	EXISTING SANITARY SEWER
(Symbol)	EXISTING WATERMAIN
(Symbol)	EXISTING STORM SEWER
(Symbol)	EXISTING GRAVEL PATH
(Symbol)	EXISTING BRICK PATH
(Symbol)	BOULDER RETAINING WALL
(Symbol)	EXISTING BOULDER WALL
(Symbol)	LANDSCAPE EDGING
(Symbol)	NATIVE VEGETATIVE MAT
(Symbol)	DECORATIVE STONE MULCH
(Symbol)	TURF GRASS SEED MIX
(Symbol)	LOW-MOW SEED MIX
(Symbol)	FIELDSTONE BOULDER (SEE L200)

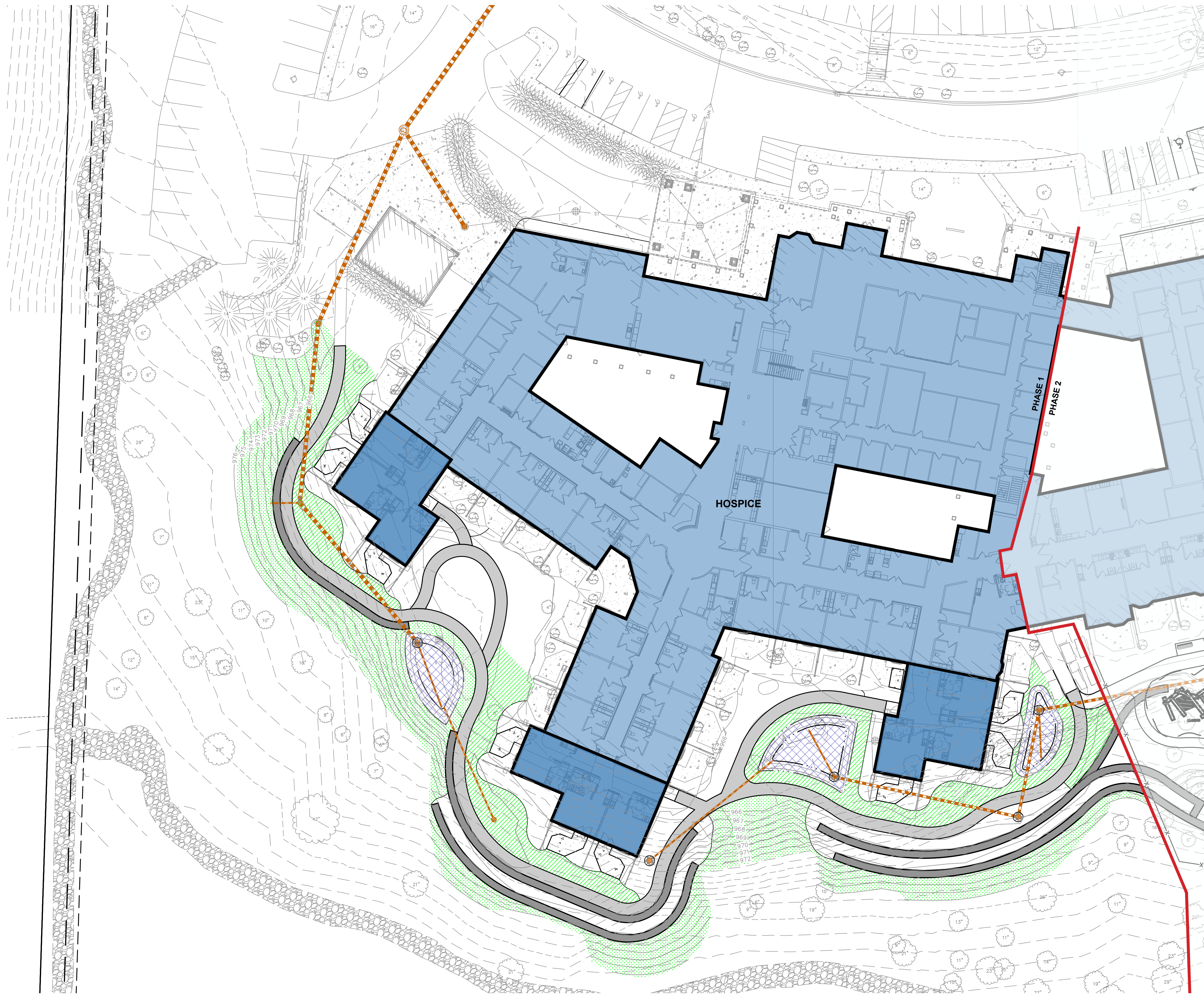


**PHASE 1 - BID SET**  
 PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
 FITCHBURG, WISCONSIN  
 PHASE 1  
**PROJECT 23-114**  
 DATE 02/27/26  
 SHEET L103

REVISIONS  
 NO. DESCRIPTION DATE

COMMUNITY LIVING SOLUTIONS  
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 Appleton, WI 54914  
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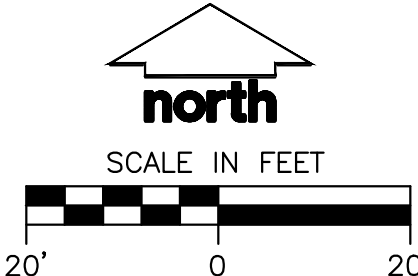


### PLANT LIST

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE
<b>ORNAMENTAL TREES</b>				
	AMGL	Anelochier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	6' Ht. (min)
	CACAR	Carpinus caroliniana 'J.N. Globe' TM / Ball O' Fire American Hornbeam	B & B	4' Ht. (min)
	COMA	Cornus mas / Cornelian Cherry	B & B	6' Ht. (min)
<b>DECIDUOUS SHRUBS</b>				
	ARME	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	#3	24" Ht. (min)
	ARMEL	Aronia melanocarpa 'UCONNAM165' TM / Low Scope Mound Chokeberry	#3	8" Ht. (min)
	CEAM	Oenothera americana / New Jersey Tea	#3	24" Ht. (min)
	COSE	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	#3	36" Ht. (min)
	HYAR	Hydrangea arborescens 'Incrediball' / Incrediball White Hydrangea	#3	24" Ht. (min)
	HYPAL	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	#3	24" Ht. (min)
	PHOPL	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	#3	24" Ht. (min)
	SYOB	Symphoricarpos orbiculatus / Coralberry	#3	24" Ht. (min)
	SYPA	Syringa x 'SMURP' TM / Blooming Dwarf Pink Lilac	#3	24" Ht. (min)
	VJUU	Viburnum x juddii / Judd Viburnum	#5	36" Ht. (min)
<b>EVERGREEN SHRUBS</b>				
	BUGV	Buxus x 'Green Velvet' / Green Velvet Boxwood	#5	18" Ht. (min)
	BUGM	Buxus x 'Green Mountain' / Green Mountain Boxwood	#5	24" Ht. (min)
	CHPI	Chamaecyparis pisifera 'Golden Map' / Golden Map Threadleaf Sawara Cypress	#3	24" Ht. (min)
	RHOD	Rhododendron x 'P.J.M.' / P.J.M. Rhododendron	#5	24" Ht. (min)
	TACU	Taxus cuspidata 'Densaformis' / Dense Japanese Yew	#5	24" Ht. (min)
	TAMEH	Taxus x media 'Hicksii' / Hicks Anglo-Japanese Yew	#5	36" Ht. (min)
<b>PERENNIALS &amp; GRASSES</b>				
	ALSU	Allium x 'Summer Beauty' / Summer Beauty Allium	#1	Min. 8"-18"
	ASTU	Asclepias tuberosa / Butterfly Milkweed	#1	Min. 8"-18"
	ASAZ	Aster azureus / Sky Blue Aster	#1	Min. 8"-18"
	CAAC	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	#1	Min. 8"-18"
	ECPA	Echinacea pallida / Pale Purple Coneflower	#1	Min. 8"-18"
	GETM	Geranium x 'Tiny Monster' / Tiny Monster Geranium	#1	Min. 8"-18"
	GETR	Geum triflorum / Prairie Smoke	#1	Min. 8"-18"
	HEOB	Heuchera x 'Obsidian' / Obsidian Coral Bells	#1	Min. 8"-18"
	HOBA	Hosta x 'Blue Angel' / Blue Angel Hosta	#1	Min. 8"-18"
	HORS	Hosta x 'Regal Splendor' / Regal Splendor Hosta	#1	Min. 8"-18"
	MOCAM	Molinia coerulea 'Moerhous' / Moor Witch Moor Grass	#1	Min. 8"-18"
	PAVI	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"
	SCSC	Schizachyrium scaparium / Little Bluestem	#1	Min. 12"-24"
	SEAF	Sedum x 'Autumn Fire' / Autumn Fire Sedum	#1	Min. 8"-18"
	SPHE	Sporobolus heterolepis / Prairie Dropseed	#1	Min. 8"-18"

### LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EXISTING GRAVEL PATH
	EXISTING BRICK PATH
	BOULDER RETAINING WALL
	EXISTING BOULDER WALL
	LANDSCAPE EDGING
	NATIVE VEGETATIVE MAT
	DECORATIVE STONE MULCH
	TURF GRASS SEED MIX
	LOW-MOW SEED MIX
	FIELDSTONE BOULDER (SEE L200)



PHASE 1 - BID SET

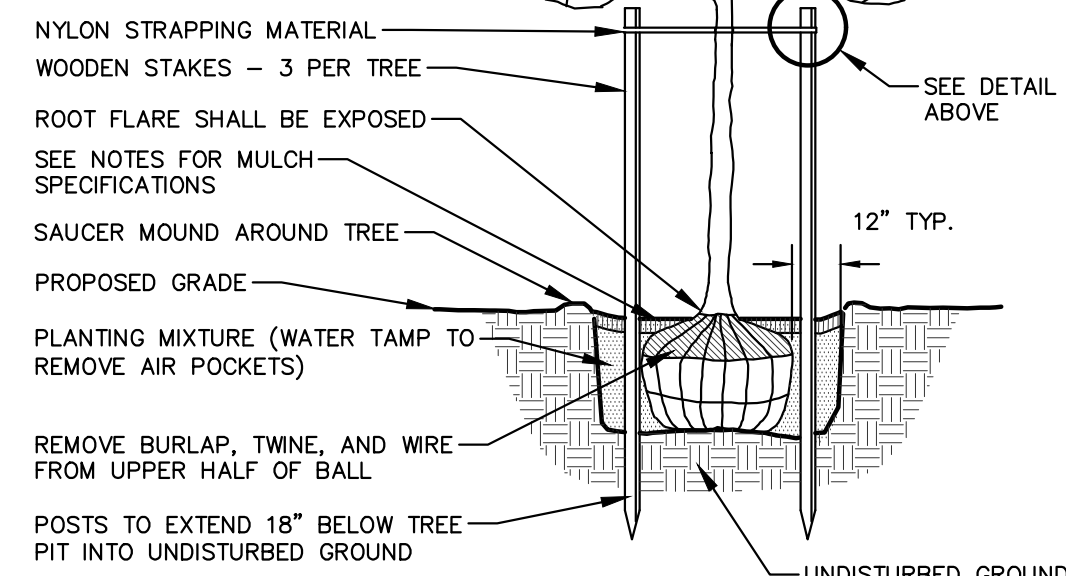
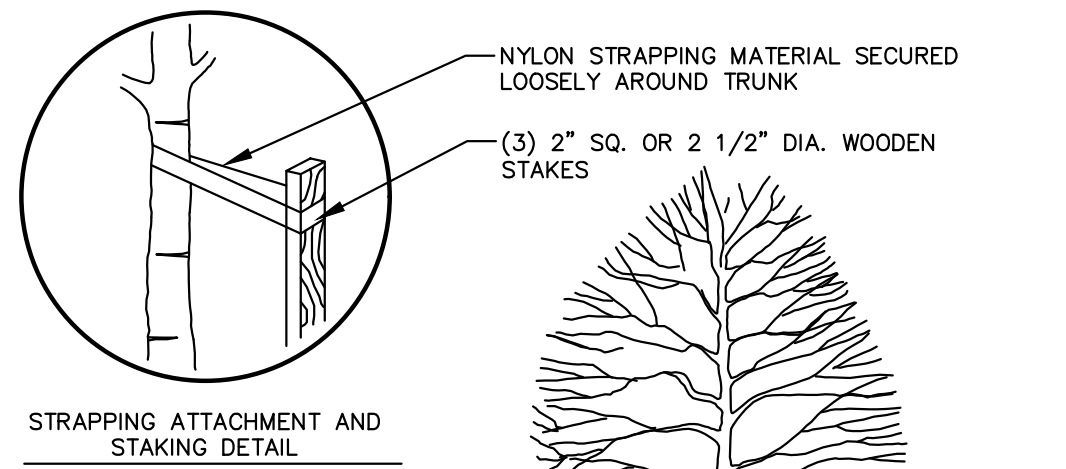
PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
 FITCHBURG, WISCONSIN  
 PHASE 1

SEEDING PLAN  
 PROJECT  
**23-114**  
 DATE  
**02/27/26**  
 SHEET  
**L110**

COMMUNITY LIVING SOLUTIONS  
 520 S. Westland Drive  
 Appleton, WI 54914  
 P 920-969-9344  
 communitylivingsolutions.com

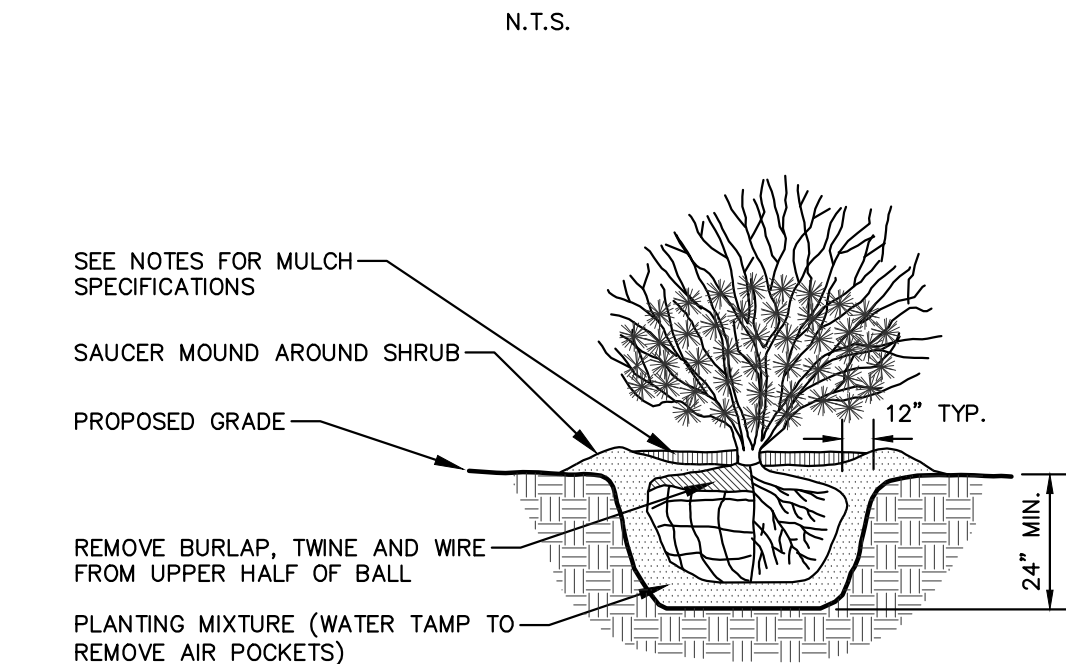
REVISIONS  
 NO. DESCRIPTION DATE

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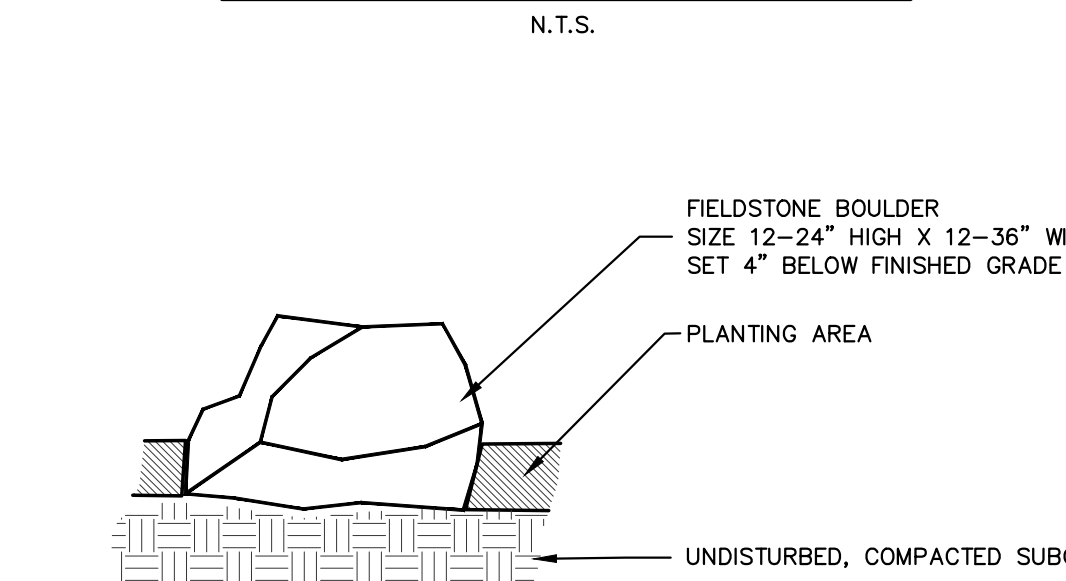
- NOTE:
- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.
  - REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

### DECIDUOUS TREE PLANTING DETAIL



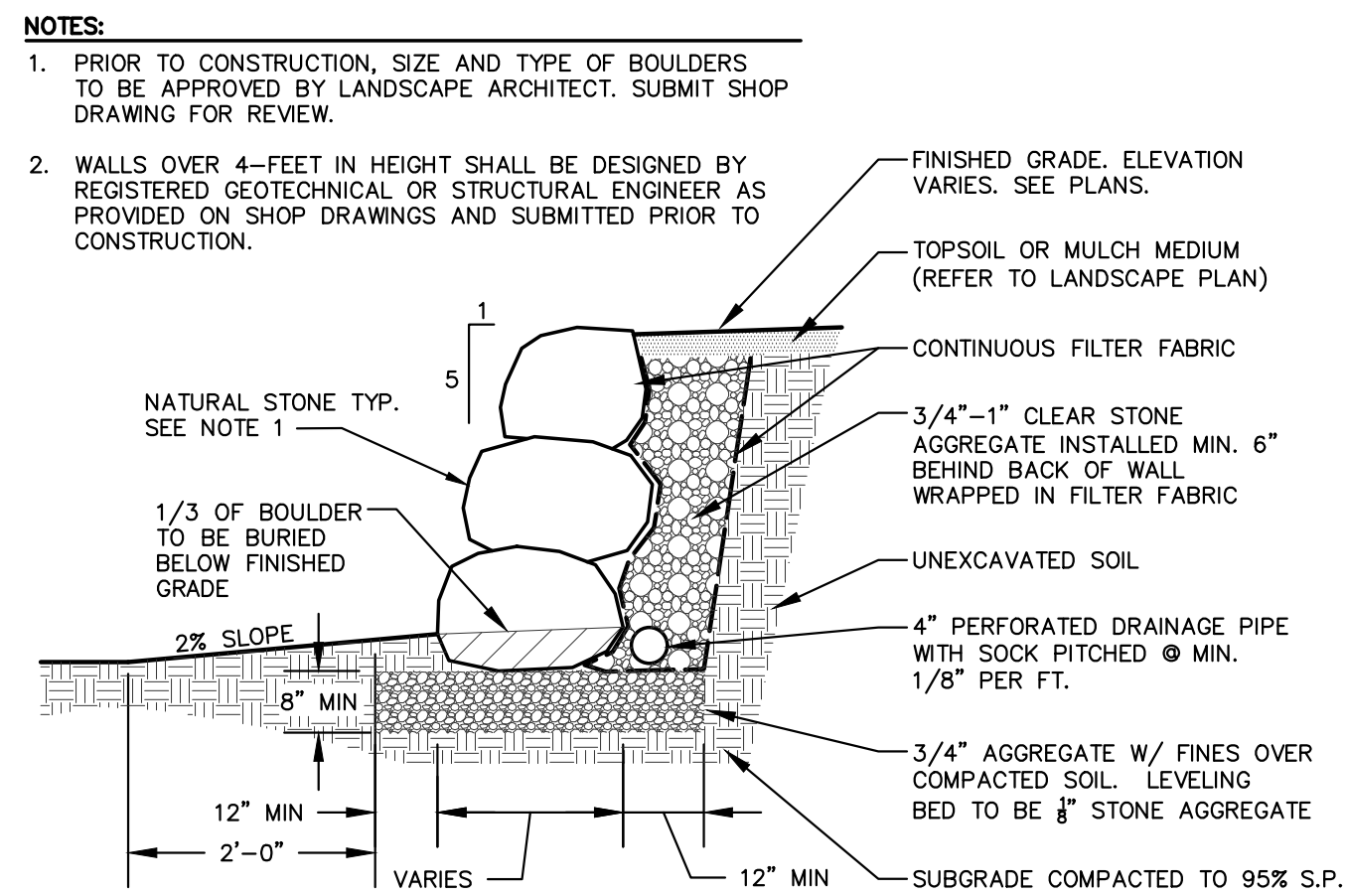
- NOTE:
- ROOT FLARE TO BE EXPOSED.

### SHRUB PLANTING DETAIL



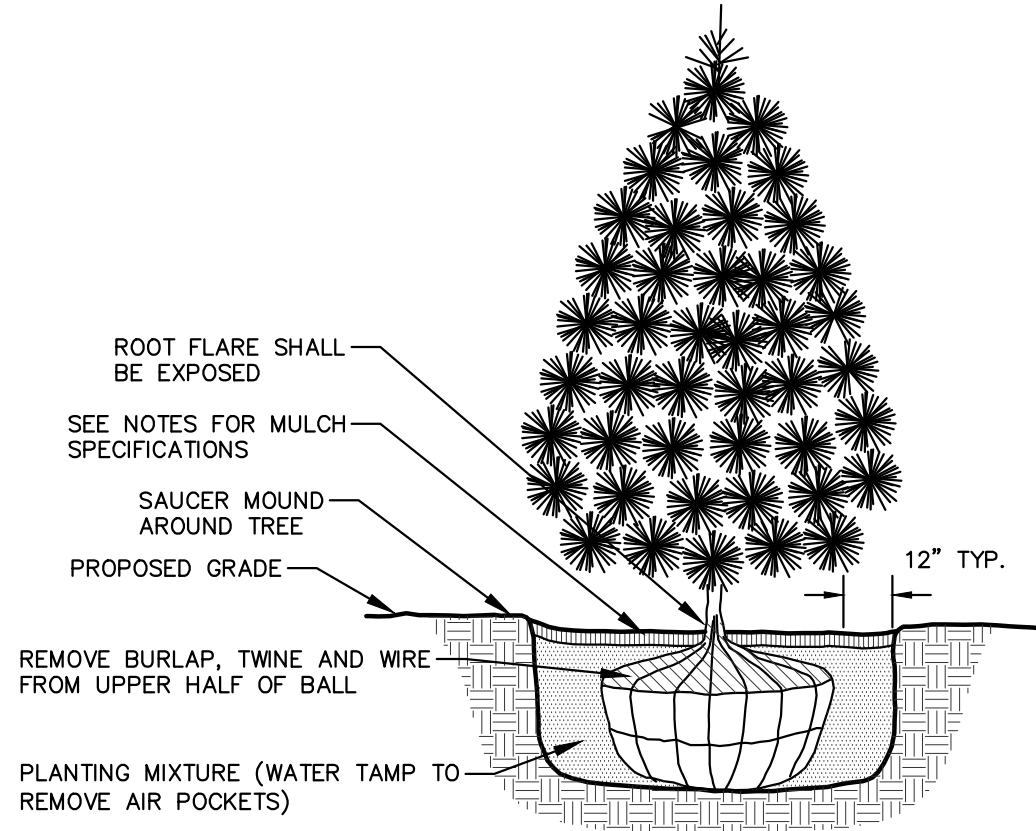
NOTE: ONCE BOULDERS ARE IN THEIR GENERAL LOCATION, CONTACT LANDSCAPE ARCHITECT FOR FINAL APPROVAL. GIVE 48 HOURS NOTICE

### BOULDER IN PLANTING AREA



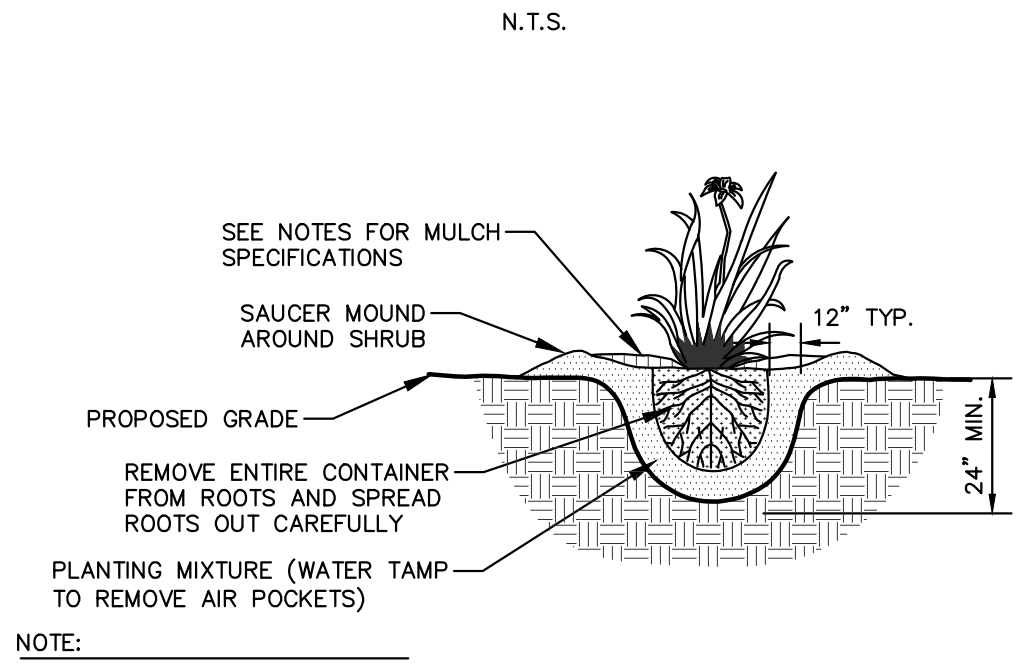
### BOULDER WALL

N.T.S.



- NOTE:
- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED

### EVERGREEN TREE PLANTING DETAIL



- NOTE:
- ROOT FLARE TO BE EXPOSED

### PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

### GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE
- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BASKET PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY, PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4\"/>
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.
- ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE NOTED
- ALL DISTURBED AREAS SHALL RECEIVE LOW GROW FESCUE TURF SEED MIX UNLESS OTHERWISE NOTED

### CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS:** THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.**

### LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4\"/>

### SEEDING & SODDING NOTES

- MATERIALS - LOW-MOW SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6\"/>

### REVISIONS

NO.	DESCRIPTION	DATE

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COMMUNITY LIVING SOLUTIONS 520 S. Westland Drive Appleton, WI 54914 P 920-969-9344 community@livingsolutions.com



PROPOSED ADDITIONS AND REMODELS FOR:  
**AGRACE HOSPICE**  
FITTCBURG, WISCONSIN  
PHASE 1

LANDSCAPE DETAILS & NOTES

PROJECT  
**23-114**

DATE  
**02/27/26**

SHEET  
**L200**



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PROVIDING TRAFFIC ENGINEERING SOLUTIONS

## TRAFFIC MEMORANDUM

Date: March 18, 2026

To: Kevin Yeska, PL A , A SL A  
JSD Inc.  
507 W. Verona Avenue, Suite 500

From: Daniel C. Bieberitz, P.E., PTOE  
Traffic Analysis & Design, Inc.

Subject: Agrace Hospice Development Trip Generation Memo  
Fitchburg, Wisconsin

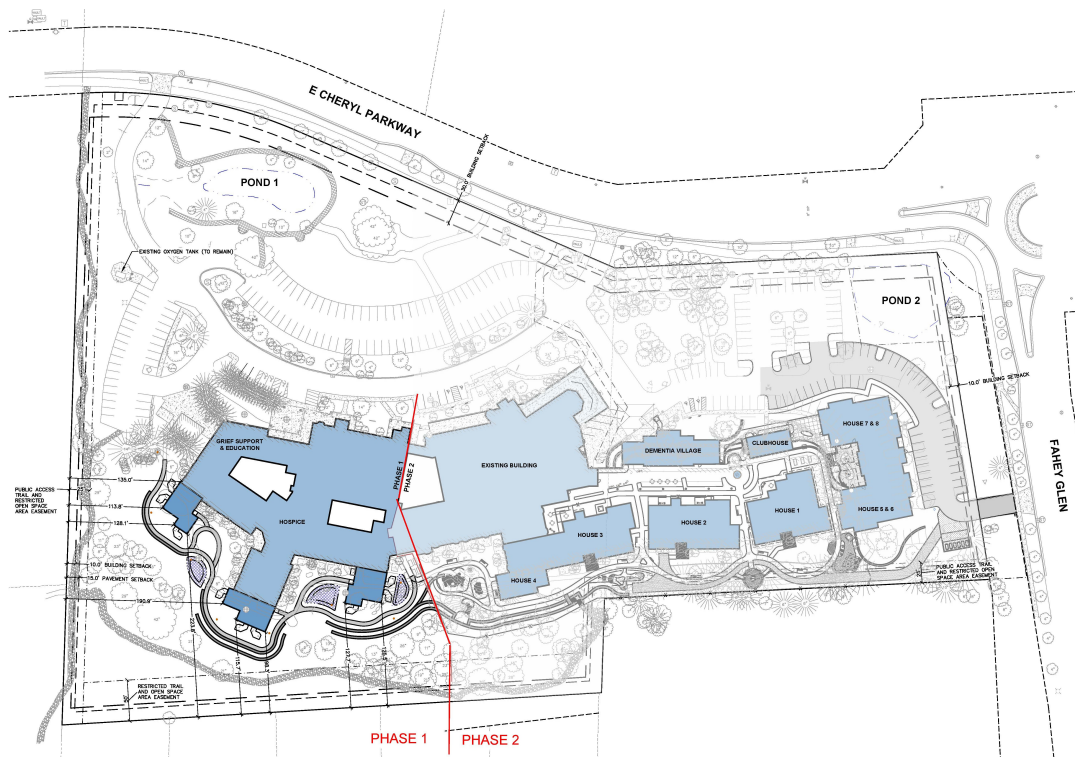
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### INTRODUCTION

The existing Agrace Hospice facility on the south side of E. Cheryl Parkway in Fitchburg is being expanded to include dementia care. As part of the expansion, some of the existing facility buildings will be demolished and rebuilt. The proposed expanded facility is shown in [Figure 1](#) below. The development expansion will include a total of 91 beds with approximately 144,460 sq. ft.

This technical memorandum has been prepared to compare the trip generation of the original development versus the new expanded development to determine the additional trips generated.

Figure 1: Proposed Expansion



## TRIP GENERATION COMPARISON

Per current WisDOT guidance, the expected traffic volumes generated by existing and future development were calculated based on trip rates published in the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition. ITE land use # 254 Assisted Living was used for the proposed development expansion as Hospice Care falls under a type of assisted living facility. The following are the existing and expanded building specifics:

Original Campus Facility: 50 beds and 108,970 sq. ft.

New Campus Facility: 91 beds and 144,460 sq. ft.

The expected trips generated were calculated using two different variables, the first one using the amount of beds per facility and the second, using the total square footage of the facility. [Table 1](#) below shows the expected additional trips generated with the new facility based on bed count. The expected trip distribution of traffic on the adjacent roadways to the site is based on the existing AADT WisDOT volumes on the arterial roadways. As shown in [Table 1](#), the total increase in generated trips is very low in both the AM and PM peak hours.

Table 1  
Existing Campus Trip Generation Table Based on Bed Count<sup>1</sup>

Land Use	ITE Code	Proposed Size	Weekday Daily	AM Peak			PM Peak		
				In	Out	Total	In	Out	Total
Assisted Living - Existing	254	50 Beds	130 (2.60)	5 (60%)	5 (40%)	10 (0.18)	5 (39%)	5 (61%)	10 (0.24)
Assisted Living Buildout	254	91 Beds	240 (2.60)	10 (60%)	5 (40%)	15 (0.18)	10 (39%)	10 (61%)	20 (0.24)
Total New Net Trips			110	5	0	5	5	5	10

<sup>1</sup> ITE Trip Rates (X.XX) and/or Fitted Curve Equations (FCE) are from the ITE Trip Generation Manual, 11th Edition.

**TRIP DISTRIBUTION**

West Cheryl Pkwy	50%	60	5	0	5	5
East on Cheryl Pkwy	30%	30	0	0	0	0
South on Fahey Glen	20%	20	0	0	0	0
	100%	110	5	0	5	5

Table 2 below shows the expected additional trips generated with the new facility based on total square footage of all of the buildings. As shown in Table 2, the total generated trips is much higher as compared to the bed count; however, the new net trips due to the development expansion are still relatively low.

Table 2  
Existing Campus Trip Generation Table Based on Square Footage<sup>1</sup>

Land Use	ITE Code	Proposed Size	Weekday Daily	AM Peak			PM Peak		
				In	Out	Total	In	Out	Total
Assisted Living - Existing	254	108,970 x 1,000 SF	455	30 (75%)	10 (25%)	40 (0.00)	15 (32%)	35 (68%)	50 (0.00)
Assisted Living Buildout	254	144,460 x 1,000 SF	605	40 (75%)	15 (25%)	55 (0.00)	20 (32%)	50 (68%)	70 (0.00)
Total New Net Trips			150	10	5	15	5	15	20

<sup>1</sup> ITE Trip Rates (X.XX) and/or Fitted Curve Equations (FCE) are from the ITE Trip Generation Manual, 11th Edition.

**TRIP DISTRIBUTION**

West Cheryl Pkwy	50%	75	5	5	5	5
East on Cheryl Pkwy	30%	45	5	0	0	5
South on Fahey Glen	20%	30	0	0	0	5
	100%	150	10	5	5	15

Because hospice and dementia care may take more general staff per patient/resident as compared to a typical assisted living facility, the square foot variable (Table 2) may be more realistic in estimating the generated trips as compared to the bed count variable.

**CONCLUSION**

WisDOT FDM Procedures 7-35-10 state that a TIA should be considered whenever traffic generated by the proposed development is expected to exceed 100 vehicle trip ends in the peak hour or 750 trip ends in an average day. For the proposed redevelopment expansion, the increase in weekday trips is only expected to be 150 vehicles per day and the PM peak hour trip increase is only expected to be a total of 20 trips. Therefore, a TIA is not expected to be required for this development due to the very low expected increase in traffic and the expected minimal traffic delays these extra vehicles may have at the area intersections.

# APPENDIX A

## Supporting Data

## Agrace Hospice Type of Care as it relates to ITE Land Use

Search Assist



Agrace primarily provides hospice care, palliative care, and dementia support, which are more aligned with assisted living services rather than traditional nursing home care. They focus on personalized care in a community setting, emphasizing comfort and quality of life for those facing serious illnesses. [agrace.org](https://www.agrace.org) [Wikipedia](#)

# Assisted Living (254)

**Vehicle Trip Ends vs: Beds**  
**On a: Weekday**

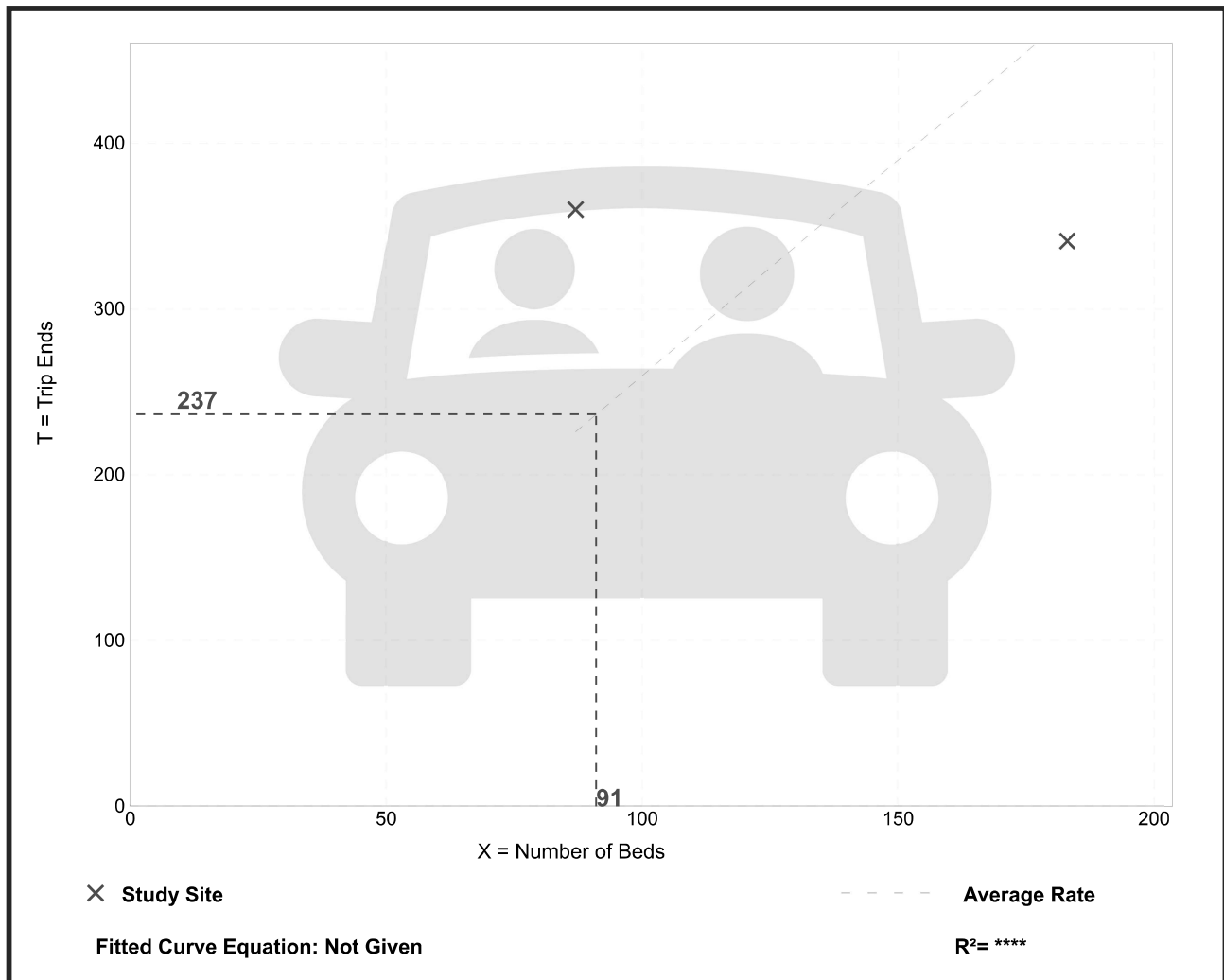
**Setting/Location: General Urban/Suburban**  
Number of Studies: 2  
Avg. Num. of Beds: 135  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Bed

Average Rate	Range of Rates	Standard Deviation
2.60	1.86 - 4.14	*

## Data Plot and Equation

*Caution – Small Sample Size*



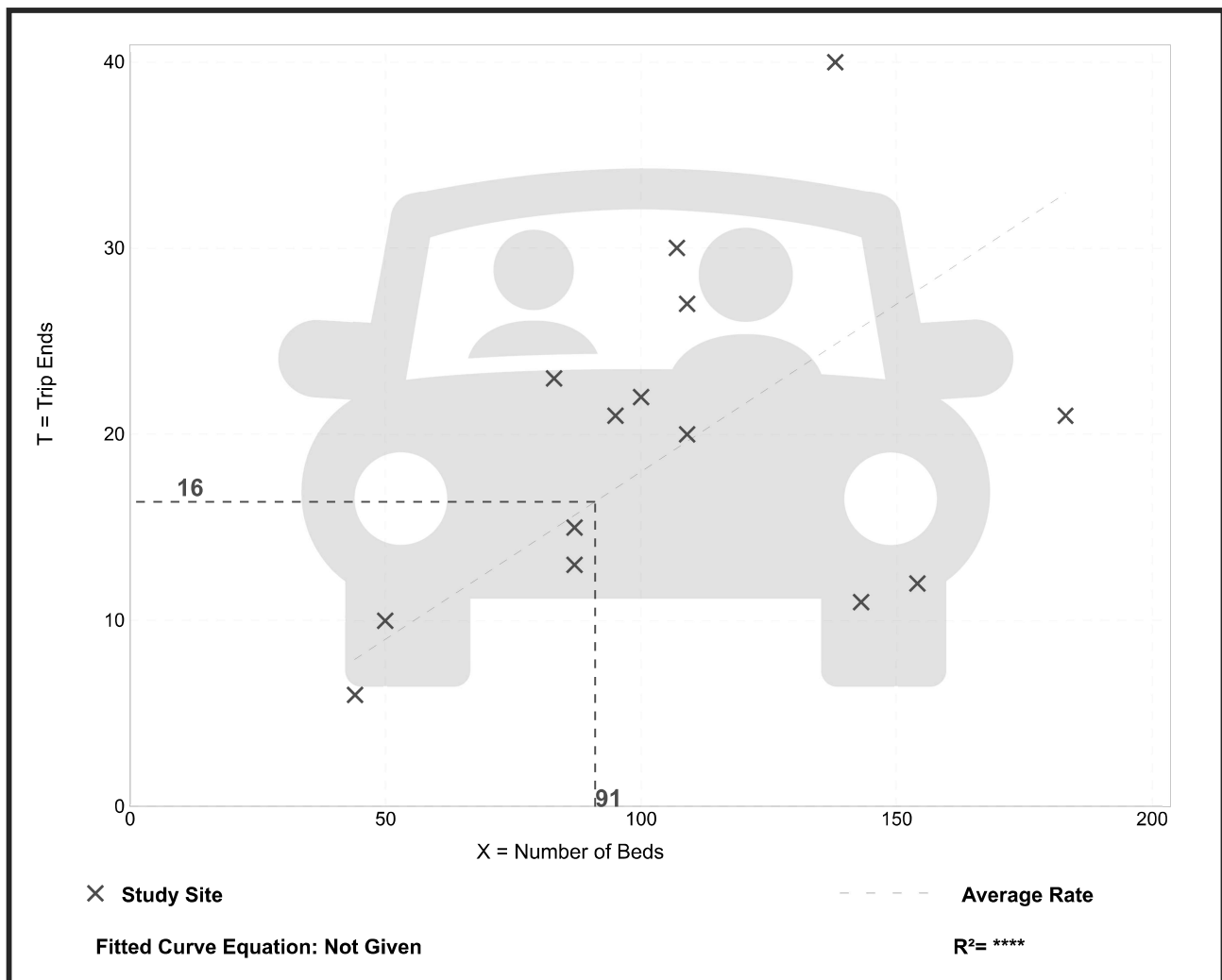
# Assisted Living (254)

**Vehicle Trip Ends vs: Beds**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 14  
 Avg. Num. of Beds: 106  
 Directional Distribution: 60% entering, 40% exiting

## Vehicle Trip Generation per Bed

Average Rate	Range of Rates	Standard Deviation
0.18	0.08 - 0.29	0.08

## Data Plot and Equation



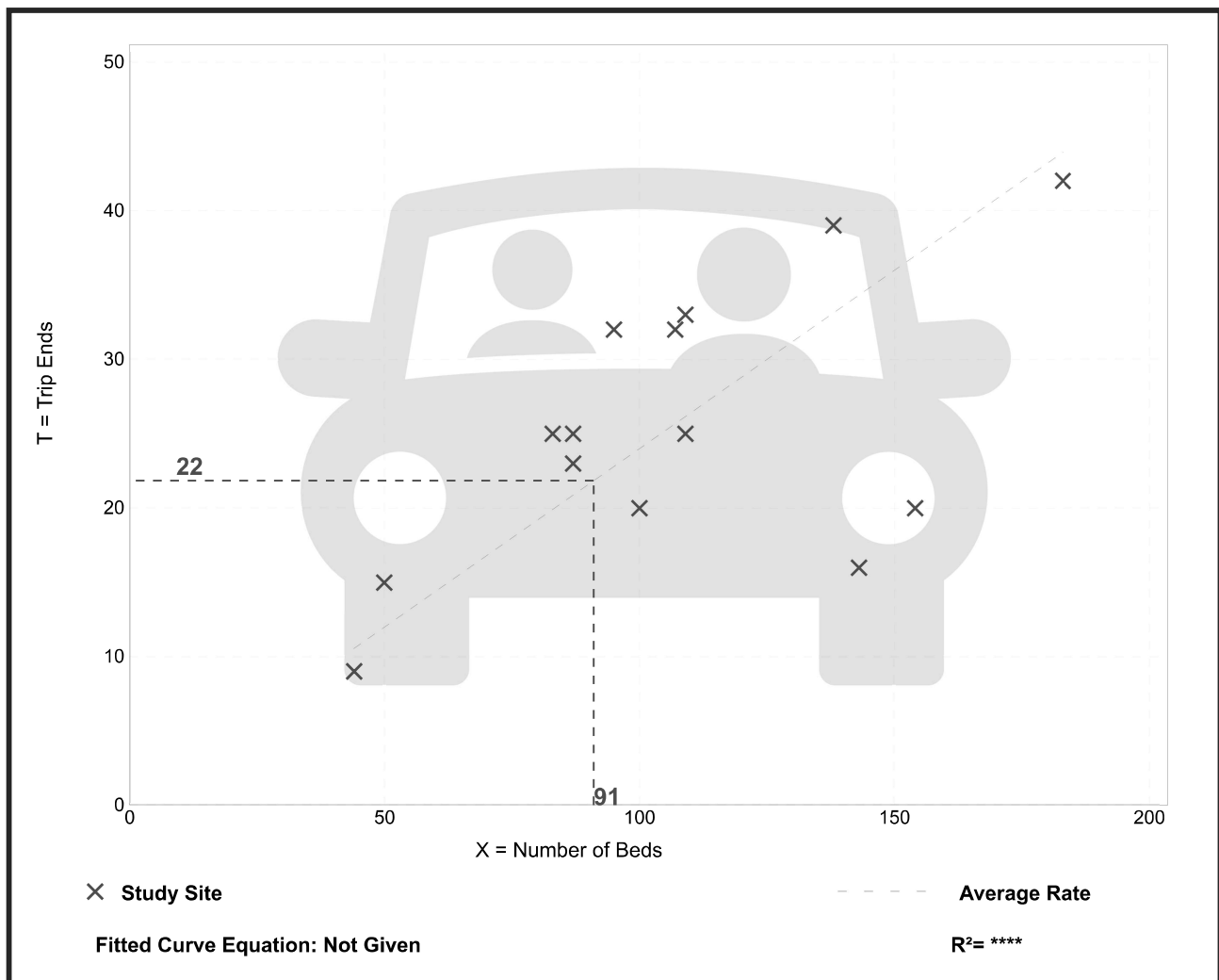
# Assisted Living (254)

**Vehicle Trip Ends vs: Beds**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 14  
 Avg. Num. of Beds: 106  
 Directional Distribution: 39% entering, 61% exiting

## Vehicle Trip Generation per Bed

Average Rate	Range of Rates	Standard Deviation
0.24	0.11 - 0.34	0.07

## Data Plot and Equation



# Assisted Living (254)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday**

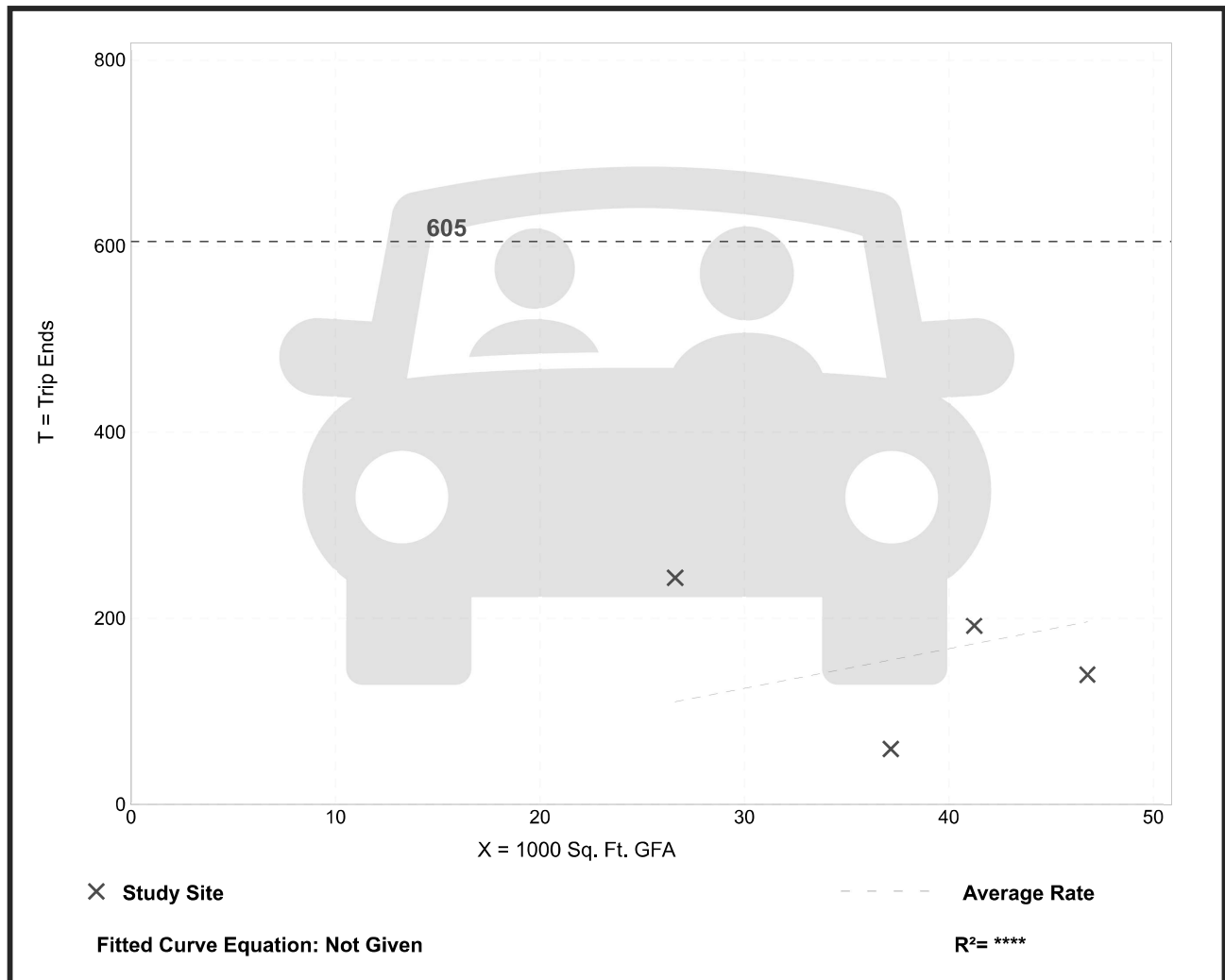
**Setting/Location: General Urban/Suburban**  
Number of Studies: 4  
Avg. 1000 Sq. Ft. GFA: 38  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
4.19	1.61 - 9.17	2.94

## Data Plot and Equation

*Caution – Small Sample Size*



# Assisted Living (254)

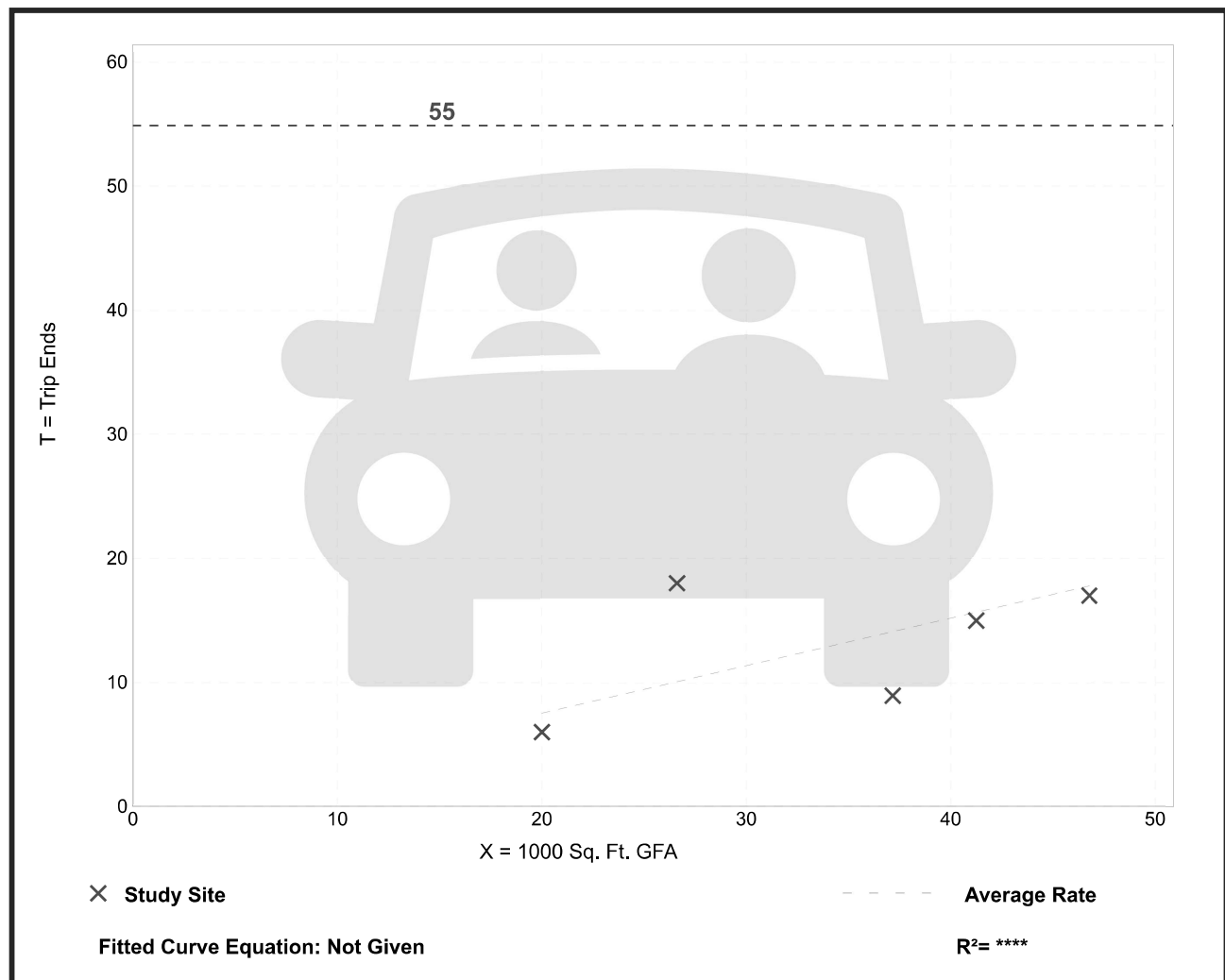
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 5  
 Avg. 1000 Sq. Ft. GFA: 34  
 Directional Distribution: 75% entering, 25% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.38	0.24 - 0.68	0.15

## Data Plot and Equation

*Caution – Small Sample Size*



# Assisted Living (254)

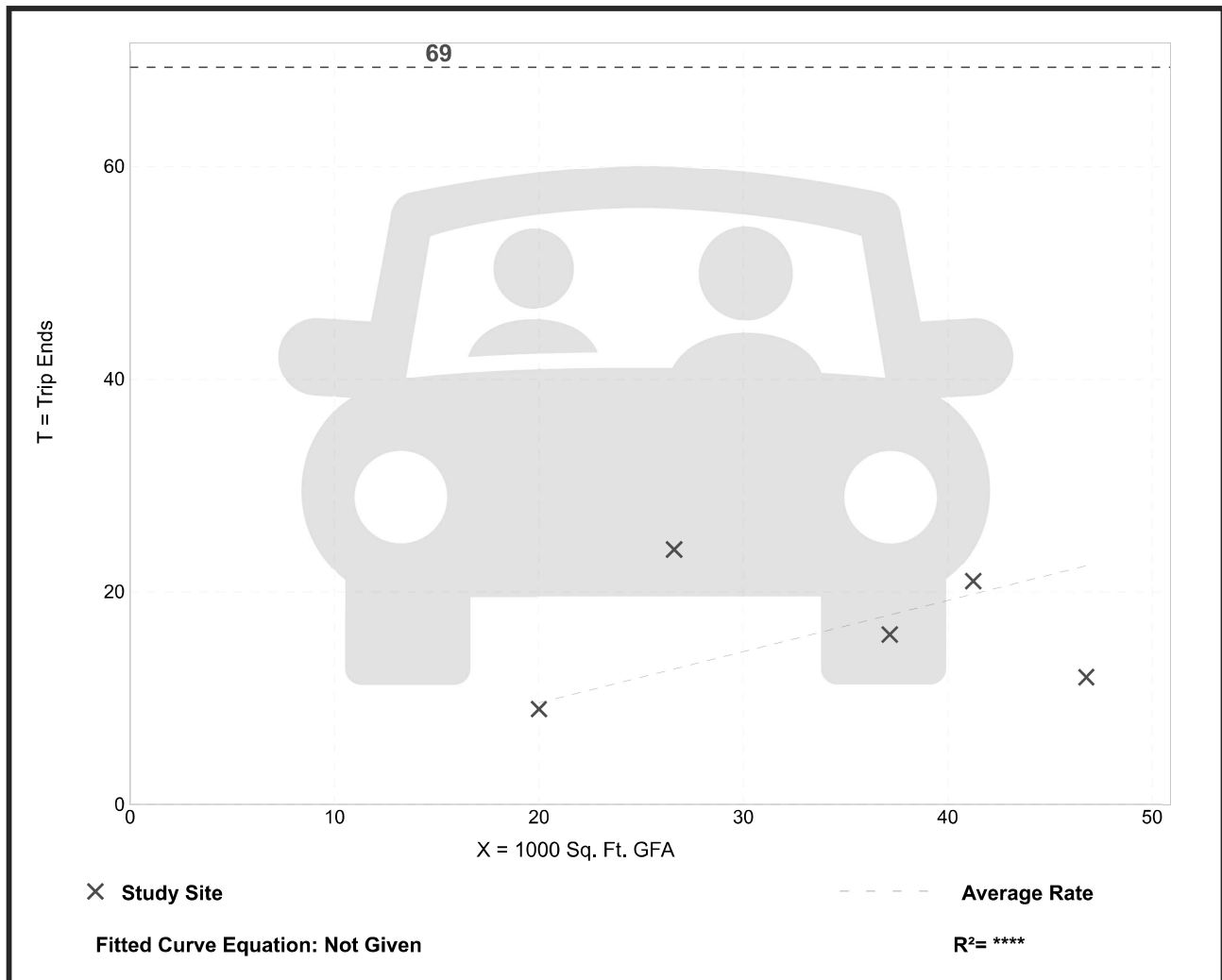
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 5  
 Avg. 1000 Sq. Ft. GFA: 34  
 Directional Distribution: 32% entering, 68% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.48	0.26 - 0.90	0.23

## Data Plot and Equation

*Caution – Small Sample Size*





## Conditional Use - Owner or Authorized Agent Acknowledgement

\*\* It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting a CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

By signing below, I certify that the information included with this Conditional Use application is true and correct, to the best of my knowledge. Any agent signing below verifies that he/she has the consent of the owner to file the application.

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Owner's or Authorized Agent's Signature

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Date (DD/MM/YYYY)