

Bowman Plaza – Mixed-Use Development Specific Implementation Plan

FITCHBURG, WISCONSIN



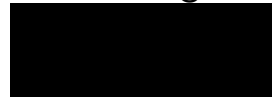
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PROJECT LOCATION & GENERAL DESCRIPTION

The Bowman Plaza – Mixed-Use Development will be a distinctive mixed-use development serving the increased demand for quality, higher-density housing and commercial/retail space in the Fitchburg area over the next five years and beyond. It will be located on the 2 plus-acre parcel containing the existing Bowman Plaza commercial property at 2932 Fish Hatchery Road.

Surrounding Context

The project site is in an urban neighborhood surrounded by existing businesses, a public golf course, elementary schools, several parks and recreation areas, with a mix of residential apartments and homes. The properties to the north, south, and east are predominantly commercial and the properties to the west are predominantly residential.

Existing Topography

The project site is slightly elevated relative to Fish Hatchery Road to the east, and is currently fully developed with an older commercial building, and asphalt driveway and parking covering virtually the whole site. There are no wetlands within the boundary of the parcel.

Existing Site Conditions

There is a Kelly's Market Gas Station to the south. The existing commercial building is no longer occupied by commercial tenants. Members of City on a Hill Church often use the parking at the existing commercial space during times of larger services.

PROJECT SITE



City on a Hill Redevelopment

In parallel with the Bowman Plaza Redevelopment, and its coordination of access and parking, the Church is renovating and expanding its Church Hall, and adding new parking and access facilities, under its own SIP approval.

RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

As documented with our GIP proposal, we believe there is a need to use Planned Development District Zoning for the Bowman Mixed Use Development to accomplish the goals of providing a quality infill development and maintaining the more urban feel desired.

To accomplish these goals, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, 2,400 square feet per each 2 bedroom unit, and 2,700 square feet per each 3 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. With our proposed unit mix and total unit count of approximately 250-280 units, this standard would require a parcel substantially larger than our existing parcel size.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback (Fish Hatchery) at 30 feet. In order to fulfill our desire to provide a more urban feel, we propose a minimum setback of 10 feet.
- Section 22-146 – Dimensional Standards (5): Sets the minimum side setback at 10 feet. In order to fulfill our desire to provide a more urban feel, we propose a minimum setback of 5-10 feet depending on location.

- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet or 3 stories, whichever is less. We are planning 5-stories of residential on top of 2 stories of a covered parking structure that is partially exposed due to grading on site. While we realize dwelling structures having greater than 3 stories is allowed as a Conditional Use (per 22-146 (8)), we desire the long-term stability afforded under a permanent zoning classification.

Beyond these code related rationales, we believe that there is a unique opportunity to coordinate parking and access between the City on a Hill Church to the north, and Bowman Plaza redevelopment to the south. Given guidance from City Staff, implementation of this shared and coordinated parking agreement would require approval under a PDD zoning application.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

This project represents an expected total investment of \$70-80,000,000 through the redevelopment of Bowman Plaza. It is estimated that this project would have a total assessed value, upon full assessment, of over \$50,000,000. We believe that the project will generate significant additional property tax revenue for the City.

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate Impact Fees to the City in an amount exceeding \$1,000,000 as part of its development.

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality mixed-use community should improve the perceived image of the immediate area.
- The addition of this quality mixed-use community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality mixed-use community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality mixed-use community could serve as an example for future development - creating higher standards in design & living amenities.

- This development will help to further the city's desire to create a vibrant urban feel to the North Fish Hatchery Road corridor and make productive use of a site which has been underutilized for a long time.
- This quality development will also help to create a welcoming environment for pedestrians with its residential, commercial, and retail mix replacing a mostly vacant site.

Encouragement of Further Redevelopment within the Corridor

We have included significant commercial space in this location which could provide for the potential relocation of other Fitchburg businesses within the North Fish Hatchery corridor, which could then facilitate the sequential redevelopment of multiple future sites, while retaining those businesses within Fitchburg.

Redevelopment of the City on a Hill Property

The City on a Hill Church has already sought and received SIP approval for its renovation and expansion plans, consistent with the shared master plan.

The Church is very engaged with the Fitchburg community and this expansion will allow them to enhance their community support will improving amenities and services for the congregation.

We believe that our proposal does not hinder or limit future development in line with the City's North Fish Hatchery Visioning and Comprehensive Plan.

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would otherwise be required under the City's High Density Residential Zoning.

Utilizing Existing Impervious Surface Area

As the site is essentially 100% developed, with virtually no pervious surfaces, the effective redevelopment of this site allows this existing impervious area to support a higher level of density. This allows population growth in the city to be accommodated with less clearing and development than other greenfield locations.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm.

CONSISTENCY WITH COMPREHENSIVE PLAN

As documented with our GIP proposal, we believe that this project complies with the City of Fitchburg’s Comprehensive Plan. It provides a high quality, well managed project that is an efficient use of existing resources. Specifically:

Housing Policy Framework Goal 1:

Provide balanced growth with a variety of housing types, to promote decent housing and a suitable living environment for all residents.

Objective 1.1: This project promotes the development of housing to meet the current and future needs of residents within the City as outlined in the Growing Fitchburg 2030 plan.

Policy 1.1.1: This project is being built within short walking distance of existing mass transit routes on Fish Hatchery Road. In addition, it will have quick, easy access to main arterials servicing the larger metropolitan area.

Objective 1.3: This infill project will add value to the neighborhood by complimenting the existing housing developments on Index Road. In addition, it will add potential labor resources for the adjacent business district.

Policy 1.3.2: This project is focused on developing an under used parcel of land with a development that contributes to the existing neighborhood, meets goals of the North Fish Hatchery Road Vision plan, and provides affordable, market rate housing.

Housing Policy Framework Goal 2:

Promote the efficient use of land for housing.

Objective 2.1: This infill project provides a more efficient, compact use of the land with higher densities, quality amenities for the residents.

Policy 2.1.3 By utilizing a under used parcel located in an existing urban setting, this project will help to protect existing natural resources, environmental corridors, and open spaces.

Objective 2.2: This infill project provides the growth desired in Fitchburg without adding to sprawl at the periphery of the existing urban area.

Policy 2.2.1 This infill development will be fully served by existing urban services, including sanitary sewer and public water, and will provide convenient access to community facilities, areas of employment, and arterial highways.

Jobs and Education Policy Framework Goal 1:

Encourage economic development opportunities appropriate to the Resources, character, and service levels of the city.

Objective 1.1: This project will provide a compact residential development with onsite tenant amenities to serve both new and current area residents.

Policy 1.1.1: This project delivers a taller building with higher floor area ratios, as well as covered parking for the residents.

Policy 1.1.3 This development is located 1 block from Post Road, and 1 block from a controlled intersection with Fish Hatchery Road. Sidewalks included in this development will provide pedestrian access to existing mass transit lines on Fish Hatchery Road.

CONSISTENCY WITH NORTH FISH HATCHERY VISIONING

We believe that this project is consistent with the City of Fitchburg's Visioning for the North Fish Hatchery Redevelopment Area. We believe that this development will address the vision goals in the following ways.

Goal 1: Promote economic and tax base growth and stability.

- This project will add to the tax base as outlined earlier in this proposal.
- This development provides stability to the neighborhood as it will be owned and operated by the developers, who live and operate their business in the City of Fitchburg.

Goal 2: Transition corridor to an urban form.

- This infill development will transform an isolated undeveloped parcel into an urban environment.

Goal 3: Continue stabilization of existing residential development.

- This project will continue the development of the surrounding area as an urban residential center.
- This project will be maintained by the owners and utilize a local professional property management company, with onsite managers.

Goal 4: Position Post Road/Fish Hatchery Road as the primary community gateway.

- Additional residents will potentially provide more customers for existing business in this area, and an expanded labor pool for employers in the immediate area.

LAND USE

When complete, this project will contain multi-family residential use. This 2.44 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Mixed-Use Development. The building will have 278 market rate housing units along with their associated common amenity spaces. Bowman Plaza will also include approximately 11,000sft of prime commercial space. The mix of units is roughly as follows:

- Studio Units: 22 Units 08 %
- 1 Bedroom: 144 Units 52 %
- 1 Bedroom + 40 units 14 %
- 2 Bedroom: 40 Units 14 %
- 2 Bedroom + 18 Units 07 %
- 3 Bedroom: 14 Units 05 %

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 766 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, the project will contain various common space amenities integrated within the building or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- On-site Management/ Leasing Office
- Community Room with Common Space Access
- Green Roof Common Spaces with the Following Amenities:
 - Extensive Landscaping
 - Fire Pit
 - Grilling Area for Tenant Use
 - Hot Tubs
- Fitness Center
- Other Green and/or Open Space for passive and active activities

ESTIMATED DAILY WATER USAGE

| ESTIMATED DAILY WATER USAGE CALCULATIONS | | | | | |
|--|--------------|-----------------|---------------|----------------------|--------------------|
| UNIT TYPE | TENANTS/UNIT | NUMBER OF UNITS | TOTAL TENANTS | GALLONS/ DAY/ TENANT | TOTAL GALLONS/ DAY |
| STUDIOS | 1.5 | 14 | 21 | 54 | 1,134 |
| 1 BEDROOM | 1.5 | 193 | 289.5 | 54 | 15,633 |
| 2 BEDROOM | 2.5 | 55 | 137.5 | 54 | 7,425 |
| 3 BEDROOM | 2.5 | 14 | 35 | 54 | 1,890 |
| COMMERCIAL | 4 | 4 | 16 | 48 | 768 |
| TOTAL WATER USAGE PER DAY | | | | | 26,082 |
| TOTAL HOT WATER USAGE PER DAY | | | | | 8,868 |
| TOTAL COLD WATER USAGE PER DAY | | | | | 17,214 |

SITE DESIGN & GENERAL INFORMATION

The Masterplan for the Bowman Plaza Mixed-Use Development has been thoughtfully designed to address numerous site challenges including the existing topography and project identity.

Masterplan Design Highlights:

- The building is located & orientated to address the street edge and to help define the public realm, while providing exposure to commercial businesses relocating to the site.
- 278 units of new high quality market rate apartments
- Roughly 11,000 sq-ft of new commercial space replaces the existing commercial space at Bowman Plaza while substantially upgrading its amenity.
- Five levels of residential development above the covered parking will provide a significant landmark for this Fitchburg corridor, “crowning” this high point of land, and which should provide significant amenity to residents via 360-degree views.
- Residential parking is designed to be primarily supported by covered parking through the use of two levels of covered parking.
- Surface parking is kept primarily for the shared use of the commercial tenants and adjacent City on a Hill Church.
- The site has and maintains pedestrian and vehicular access to the Fish Hatchery Road corridor.
- The site contains an elevated green roof that creates a private courtyard for resident use.

Off Street Parking:

The City’s typical parking requirements require 2.0 parking stalls per residential dwelling unit. Our experience with multi-family developments with this type of unit mix indicates that this requirement is unnecessary. We are proposing a minimum of 1.2 parking stalls per dwelling unit, and this initial design provides 1.21.

Our confirmed experience with existing properties in our portfolio indicates that this level of parking is appropriate for this project, as larger buildings inherently provide more flex capacity and less overlap of users.

Based on discussions with and guidance from City Staff, the two parking levels have separate access arrangements, with the upper level accessing via the north and the Ochalla Drive intersection, and the lower level accessing via the Post Road intersection to the south.

Commercial Parking:

Will be determined with shared access agreement with Church to the north’s 58 parking spaces. The commercial parking is based on a ratio of 1 parking stall per 300sft of commercial space in which the minimum is 34 stalls and we are providing 58 stalls. Below is a shared vehicle parking analysis, actual usage will depend on final commercial usages.

| BUILDING USE | | BOWMAN PLAZA SHARED VEHICULAR PARKING ANALYSIS | | | | | | | | | | | | | | PARKING PROVIDED | | | TOTAL PARKING |
|-----------------------------|---------------------------|--|---------------|----------|------------|---------|------------|---------|------------|----------|------------|---------|------------|---------|------------|------------------|---------------------|------------------|---------------|
| | | PARKING TARGETS | | WEEKDAYS | | | | | | WEEKENDS | | | | | | COVERED PARKING | SURFACE (DEDICATED) | SURFACE (SHARED) | |
| | | TARGET RATIOS | TARGET COUNTS | 2AM-7AM | | 7AM-6PM | | 6PM-2AM | | 2AM-7AM | | 7AM-6PM | | 6PM-2AM | | | | | |
| RESIDENTIAL APARTMENT UNITS | 278 Units 370 Bedrooms | 1.20 Per Unit | 331 | 100% | 331 | 60% | 199 | 100% | 331 | 100% | 331 | 75% | 248 | 90% | 298 | 311 | 23 | - | 334 |
| COMMERCIAL / RETAIL | 10,000 Square Feet | 1.00 Per 300 s.f. | 33 | 5% | 2 | 80% | 27 | 80% | 27 | 25% | 8 | 100% | 33 | 80% | 27 | - | - | 34 | - |
| CHURCH | 21,500 Square Feet | 1.00 Per 200 s.f. | 108 | 5% | 5 | 40% | 43 | 20% | 22 | 15% | 16 | 100% | 108 | 40% | 43 | - | 171 | 24 | 195 |
| TOTALS | 31,500 Square Feet | | | | 338 | | 268 | | 379 | | 356 | | 389 | | 368 | 311 | 194 | 58 | 563 |

Bicycle Parking:

In addition to off-street vehicular parking, we are proposing dedicated bike storage areas that will provide storage of 182 bicycles in the covered parking area. In addition, there will be 20 bike parking areas at the exterior of the building for use by visitors for both residential and commercial usage.

| BUILDING | | BICYCLE PARKING | | | | | | |
|-------------|------|-----------------|---------|-------|----------------------------|--|---------------------------|--|
| NAME | BEDS | COVERED | SURFACE | TOTAL | REQUIRED | | | |
| RESIDENTIAL | 370 | 185 | 18 | 203 | Short Term (.05 Bed) | | Long Term (0.5 Bed) | |
| | | | | | 18 | | 185 | |
| COMMERCIAL | | 2 | 2 | 4 | Short Term (Min. 2 Spaces) | | Long Term (Min. 2 Spaces) | |
| | | | | | 2 | | 2 | |

Site Density is currently conceived as roughly 113.11 units per acre, which is higher than other recent project approvals and proposals in the corridor. This is facilitated by shared parking with the Church, and the undergrounding of various stormwater requirements. We believe the sites location directly on Fish Hatchery Road and anticipated future Bus Rapid Transit makes this higher density feasible and appropriate.

Storm Water Management Overview:

The existing site is essentially fully impervious and drains to the Stormwater pond on Ochalla Drive. We will address incremental stormwater requirements during the permitting process via the addition of underground treatment and infiltration structures.

Maintenance of all storm sewer structures and pipes within the development parcel will be the responsibility of the property Owner.

Landscape Design:

The new landscape design for this project will meet all City of Fitchburg landscape design requirements. The landscaping plan will be developed, and additional detail and information will be provided with the subsequent Specific Implementation Plan submittals.

Refuse & Recycling Storage & Removal:

This building will have a refuse & recycling room in the Upper Parking Level with room for a minimum of (12) – 2 yard containers for refuse and recycling for both residential and commercial usage. A private waste management company will be contracted to provide recycling & refuse services as appropriate for the development.

| DEVELOPMENT VALUES | | | |
|--------------------|----------------------|-----------------------------|----------|
| ZONING REQUIREMENT | CURRENT DESIGN VALUE | CALCULATIONS | |
| SITE DENSITY | 113.11 Units/Acre | 278 Units / 2.44 AC. | = 113.11 |
| BUILDING COVERAGE | 62.70 % of Parcel | 66,543 S.F. / 106,128 S.F. | = 62.70% |
| LANDSCAPE AREA | 15.37 % of Parcel | 16,313 S.F. / 106,128 S.F. | = 15.37% |
| IMPERVIOUS SURFACE | 90.1 % of Parcel | 89,815 S.F. / 106,128 S.F. | = 84.63% |
| FLOOR AREA RATIO | 2.31 of Parcel | 245,426 S.F. / 106,128 S.F. | = 2.31 |

*The landscape area in the table above does not include the landscaped roof decks over the 1st level parking or the roof deck on the top floor.

General Implementation Plan Data

At the time of this General Implementation Plan, the Masterplan Data is as follows. This data is subject to change as the design of the project proceeds. However, final Masterplan Data will meet the "Planned Development Zoning Standards" listed below.

Proposed Planned Development Zoning Standards

Under the proposed Planned Development Zoning, the project shall meet the following Zoning Standards:

- Residential Density: 119 units per acre (maximum)
- Building Height: Maximum of 7 Stories and Maximum 85 feet
- North Setback: 10' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- East (Fish Hatch Rd) Setback: 10' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- West / Rear Yard Setback: 30' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- South Setback: 42' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Building Coverage: 80% of Parcel Area (maximum)
- Floor Area Ratio: 3.0 (maximum)
- Impervious Surface Ratio: 90% of Parcel Area (maximum)
- Residential Auto Parking: 1.2 Auto Spaces per Dwelling Unit (minimum)
- Commercial Auto Parking: 1 Auto Space per 300sqft commercial (minimum)
- Bicycle Parking Residential: Short Term - .05 per bed (minimum)
Long Term - .5 per bed (minimum)
- Bicycle Parking Commercial: Short Term - 1 space for each 8,000sqft; min 2 spaces
Long Term - 1 space for each 10,000sqft; min 2 spaces
- Permitted Uses
Multi-family Residential
 - Commercial / Specialty Retail / Office

ORGANIZATIONAL STRUCTURE – Ragtag Ventures

Ragtag Ventures is a real estate development and investment company located in Fitchburg Wi. Their team has experience developing properties in both the United States and Australia, with its most recent projects being:

The Juniper in Fitchburg - Located at 2692 Botanical Dr, this 169-unit multi-family building delivered in June of 2025. This was in infill project that replaced an existing farmland parcel with a high-density residential project that included onsite amenities similar to those proposed with this project

The Rowan in Fitchburg - Located at 2674 Botanical Dr, this 210-unit multi-family building is currently under construction. This is in infill project that replaced an existing farmland parcel with a high-density residential project that included onsite amenities similar to those proposed with this project. This project will deliver in 2027.

PROPERTY MANAGEMENT- MCGRATH PROPERTY GROUP

At McGrath Property Group, we manage our clients' properties from an owner's perspective with expertise that has developed during an extended period of property ownership by the company's principals. We apply the same thoughtful, aggressive, goal-oriented approach to the management of our clients' properties as we do in successfully managing our own. We understand the importance of protecting their assets, providing customer service to their tenants, and being cost efficient. Our residential management group manages residential apartment homes throughout the Madison area with extensive experience in market rate and mixed use developments.

McGrath is a Madison-based company; our management group and owners reside locally and are long time area residents. We know the market, we know the vendors, and most importantly we know how to manage real estate at the highest level.

Property Management Team

McGrath Property Group continuously recruits individuals that have a passion for real estate, an unwavering commitment to continuous improvement, and an understanding that integrity and excellence are the cornerstones of success. We believe that our associates are our most valuable resource, enabling us to maintain a distinct advantage within our industry.

PROJECT IMPLEMENTATION

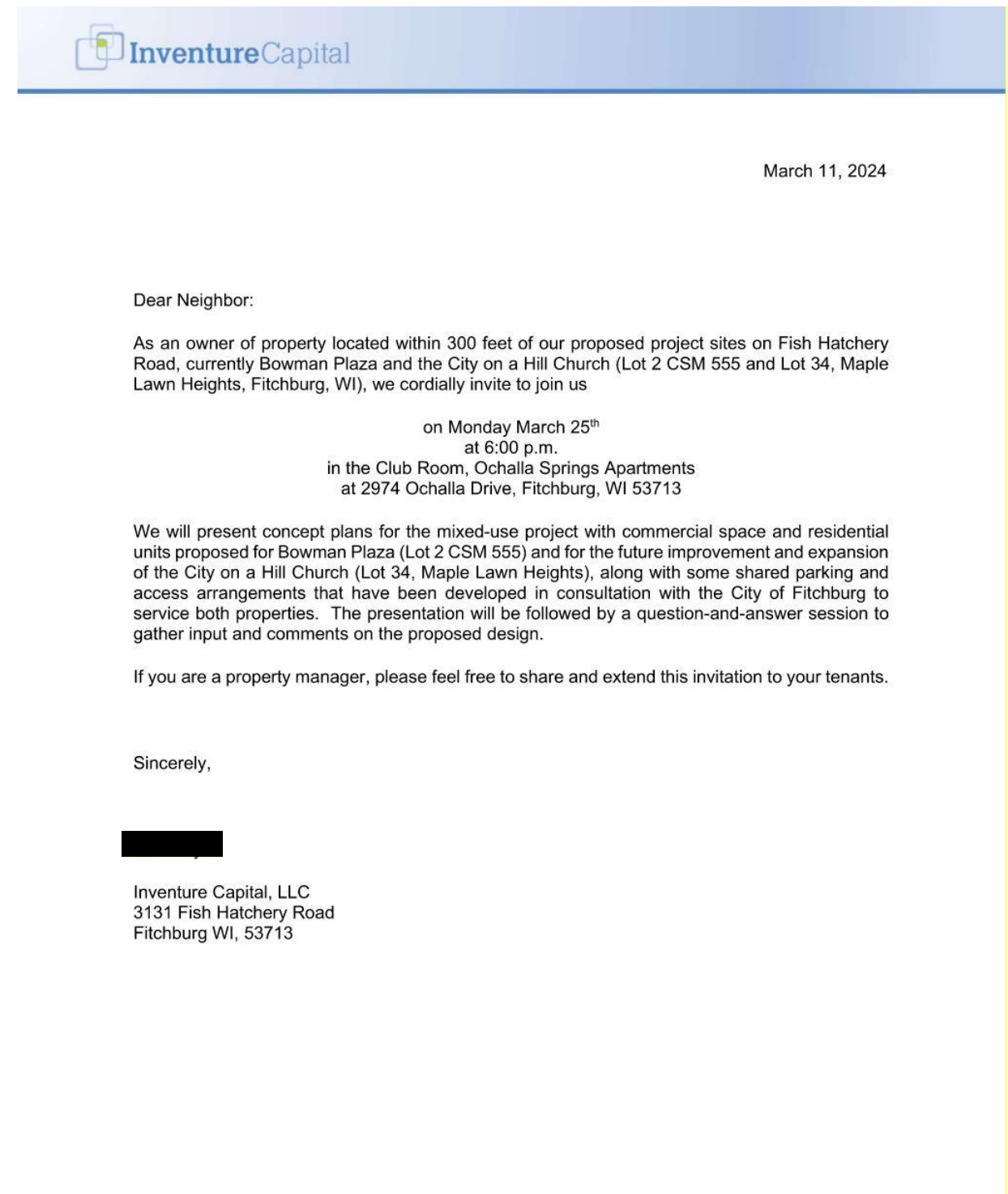
The construction of the project located on Fish Hatchery Road is anticipated to maintain a schedule that allows for all improvements to be completed in spring/summer of 2028. We anticipate the following stages for development:

1. Summer 2026. Completion of northern access drive and new parking on church site. Demolition of existing Bowman Plaza structure and bulk-earthwork production.
2. Autumn 2026. Begin Footings and Foundations under early start permit.
3. Winter 2026. Begin Full construction of Bowman Plaza.
4. Spring 2028. Estimated Completion and Occupancy.

NEIGHBORHOOD INPUT

We have already worked with our immediate neighbors to incorporate their feedback on this design. The prior development entity, Inventure Capital hosted a scheduled neighborhood meeting on March 25th, 2024, to provide a public forum for further feedback prior to the scheduled plan commission hearing. Adjacent on this page, is a sample of the invitation sent out to all property owners within a 300' radius of the project for the meeting.

Feedback from the meeting was generally positive and supportive of the project.



APPENDIX “A” SPECIFIC IMPLEMENTATION PLANS

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
EXISTING MAILBOX
EXISTING MONITORING WELL
EXISTING POST
EXISTING SIGN (TYPE NOTED)
EXISTING CURB INLET
EXISTING FIELD INLET
EXISTING ROOF DRAIN CLEANOUT
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING SANITARY CLEANOUT
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING GAS VALVE
EXISTING GAS METER
EXISTING AIR CONDITIONING PEDESTAL
EXISTING DOWN GUY
EXISTING ELECTRIC MANHOLE
EXISTING ELECTRIC RECTANGULAR MANHOLE
EXISTING ELECTRIC PEDESTAL
EXISTING TRANSFORMER
EXISTING ELECTRIC METER
EXISTING LIGHT POLE
EXISTING GENERIC LIGHT
EXISTING UTILITY POLE
EXISTING TV PEDESTAL
EXISTING TELEPHONE MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING UNIDENTIFIED MANHOLE
EXISTING UNIDENTIFIED UTILITY VAULT
EXISTING HANDICAP PARKING
EXISTING TRAFFIC SIGNAL
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE
EXISTING ADA DETECTABLE WARNING FIELD

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
SILT FENCE
DISTURBED LIMITS
BERM
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS
STONE WEEPER
VELOCITY CHECK
INLET PROTECTION
EROSION MAT CLASS I, TYPE A
EROSION MAT CLASS II, TYPE B
EROSION MAT CLASS III, TYPE C
EROSION MAT CLASS II, TYPE A
TRACKING PAD
RIP RAP

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
STORM SEWER CURB INLET
STORM SEWER CURB INLET W/MANHOLE
STORM SEWER FIELD INLET
ROOF DRAIN CLEANOUT
SANITARY SEWER PIPE (GRAVITY)
SANITARY SEWER PIPE (FORCE MAIN)
SANITARY SEWER LATERAL PIPE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER MAIN
WATER SERVICE LATERAL PIPE
FIRE HYDRANT
WATER VALVE
CURB STOP
WATER VALVE MANHOLE
PROPOSED PIPE INSULATION
GAS MAIN
ELECTRIC SERVICE

ABBREVIATIONS
STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

TOPOGRAPHIC LINENWORK LEGEND

- EXISTING FIBER OPTIC LINE
EXISTING RETAINING WALL
EXISTING CHAIN LINK FENCE
EXISTING GENERAL FENCE
EXISTING WOOD FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING OVERHEAD GENERAL UTILITIES
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING WATER MAIN (SIZE NOTED)
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING CONCRETE SURFACE
EXISTING ASPHALT SURFACE

DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
ASPHALT REMOVAL
CONCRETE REMOVAL
BUILDING REMOVAL
TREE REMOVAL
SAWCUT
UTILITY STRUCTURE REMOVAL
UTILITY LINE REMOVAL

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER (REVERSE CURB HATCHED)
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED LIGHT-DUTY ASPHALT
PROPOSED HEAVY-DUTY ASPHALT
PROPOSED SIGN
PROPOSED LIGHT POLE
PROPOSED BOLLARD
PROPOSED ADA DETECTABLE WARNING FIELD
PROPOSED HANDICAP PARKING

ABBREVIATIONS
TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALK
TW - TOP OF WALL
BW - BOTTOM OF WALL

GENERAL NOTES:

- 1. THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL ALSO VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO INSTALLATION OF SUCH ITEM.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
6. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, DRIVEWAY, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
7. RETAINING WALLS TO BE DESIGNED BY OTHERS
8. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
9. DRIVEWAY MODIFICATIONS AND ANY WORK IN THE RIGHT-OF-WAY WILL REQUIRE A CITY OF FITCHBURG ROW PERMIT, SIDEWALK THROUGH DRIVEWAY OPENINGS AND DRIVEWAY APRONS SHALL BE 7-INCH THICK.
10. A DANE COUNTY RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN THE RIGHT-OF-WAY.

DEMOLITION NOTES:

- 1. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE PUBLIC STREETS, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY PATCHING CRITERIA.

SITE PLAN NOTES:

- 1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED BASE COURSE UNLESS OTHERWISE NOTED.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE COURSE OF 5" COMPACTED SAND OR CRUSHED STONE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS TO BE RESTORED WITH TOPSOIL AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. SEE ARCHITECTS PLANS FOR THE BUILDING DIMENSIONS. ALL BUILDING DIMENSIONS SHALL BE COORDINATED AND VERIFIED WITH THE ARCHITECTS PLANS. ALL DIMENSIONS TO BUILDINGS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

GRADING NOTES:

- 1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL NOT EXCEED 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

UTILITY NOTES:

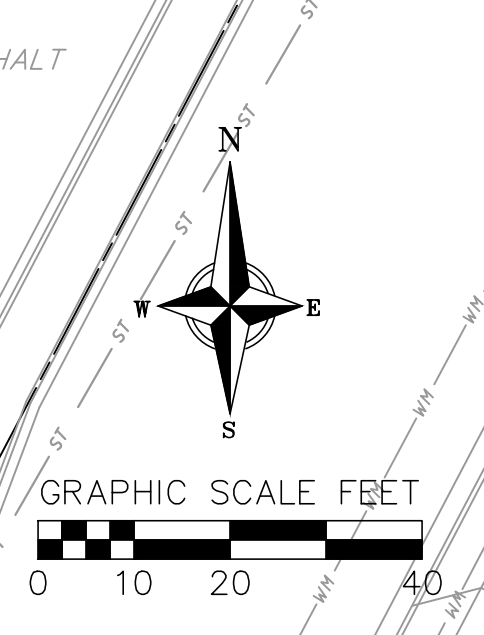
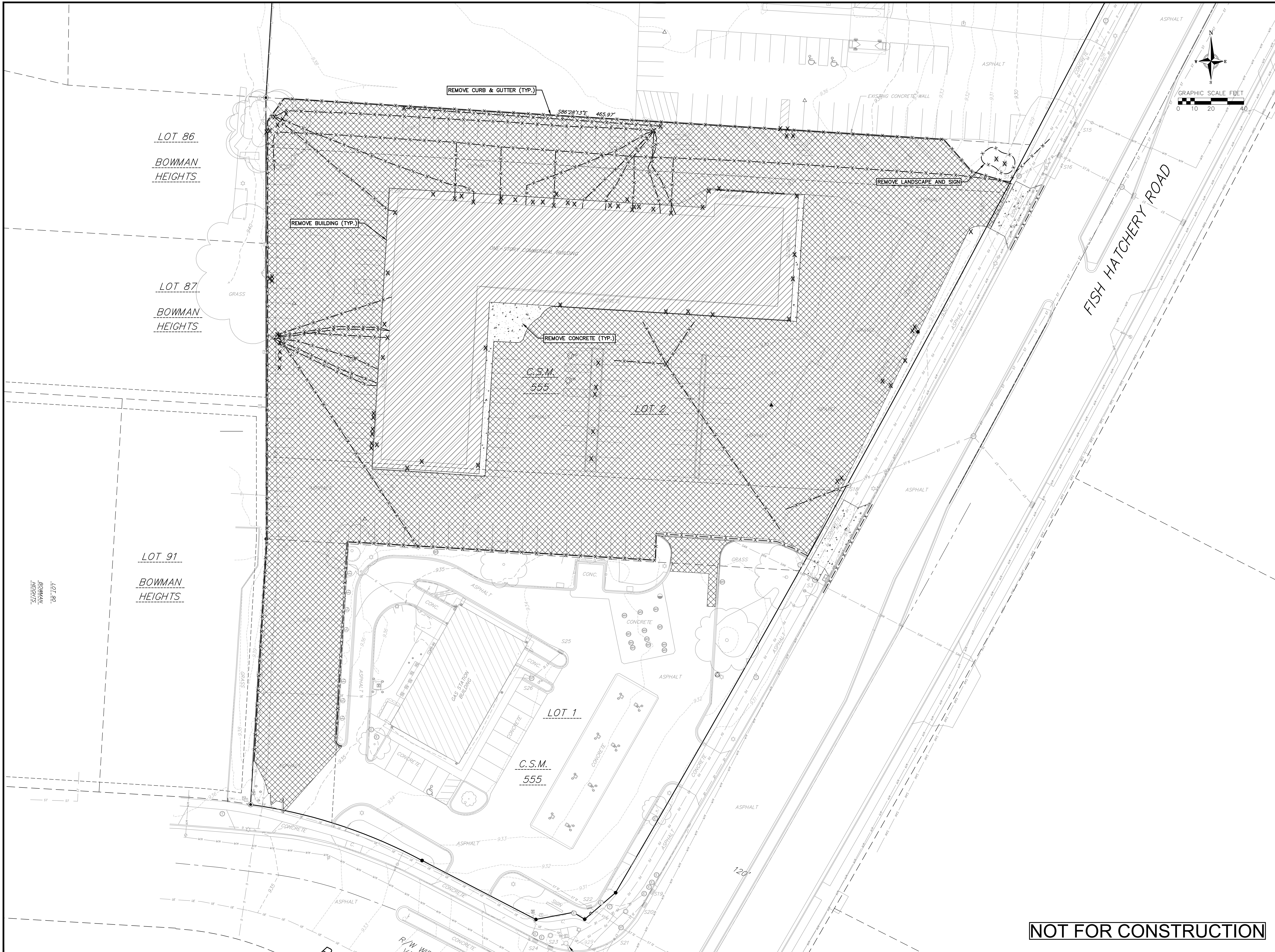
- 1. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
2. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
3. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(C).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. THE PRIVATE WATER MAIN FROM THE MUNICIPAL MAIN UP TO AND INCLUDING THE PRIVATE HYDRANT SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(C).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(H) AND SPS 382.40(8)(K).
14. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
15. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE LOCAL MUNICIPALITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
17. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES. CONTRACTOR SHALL PROVIDE SAFE SAMPLE RESULTS TO FITCHBURG UTILITY PRIOR TO PRESSURE TESTING PRIVATE WATER MAINS.
18. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
19. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
20. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
21. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.
22. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
23. OPEN PICK HOLES ARE PROHIBITED ON SANITARY MANHOLES.
24. INSTALL 1 SHEET OF 4'X8'X4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
25. CONTRACTOR TO INSTALL BENDS AND CLEANOUTS AS NECESSARY ON WATER AND SEWER LATERALS.
26. CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL FITCHBURG UTILITY AT (608) 270-4270 FOR OPERATION OF THESE VALVES.

NOT FOR CONSTRUCTION



Notes & Legends
BOWMAN PLAZA
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

Table with columns: REVISIONS, NO., DATE, REMARKS. Includes a row for DATE 03/20/2026, DRAFTER BMJM, CHECKED BBAR, and PROJECT NO. 210401.

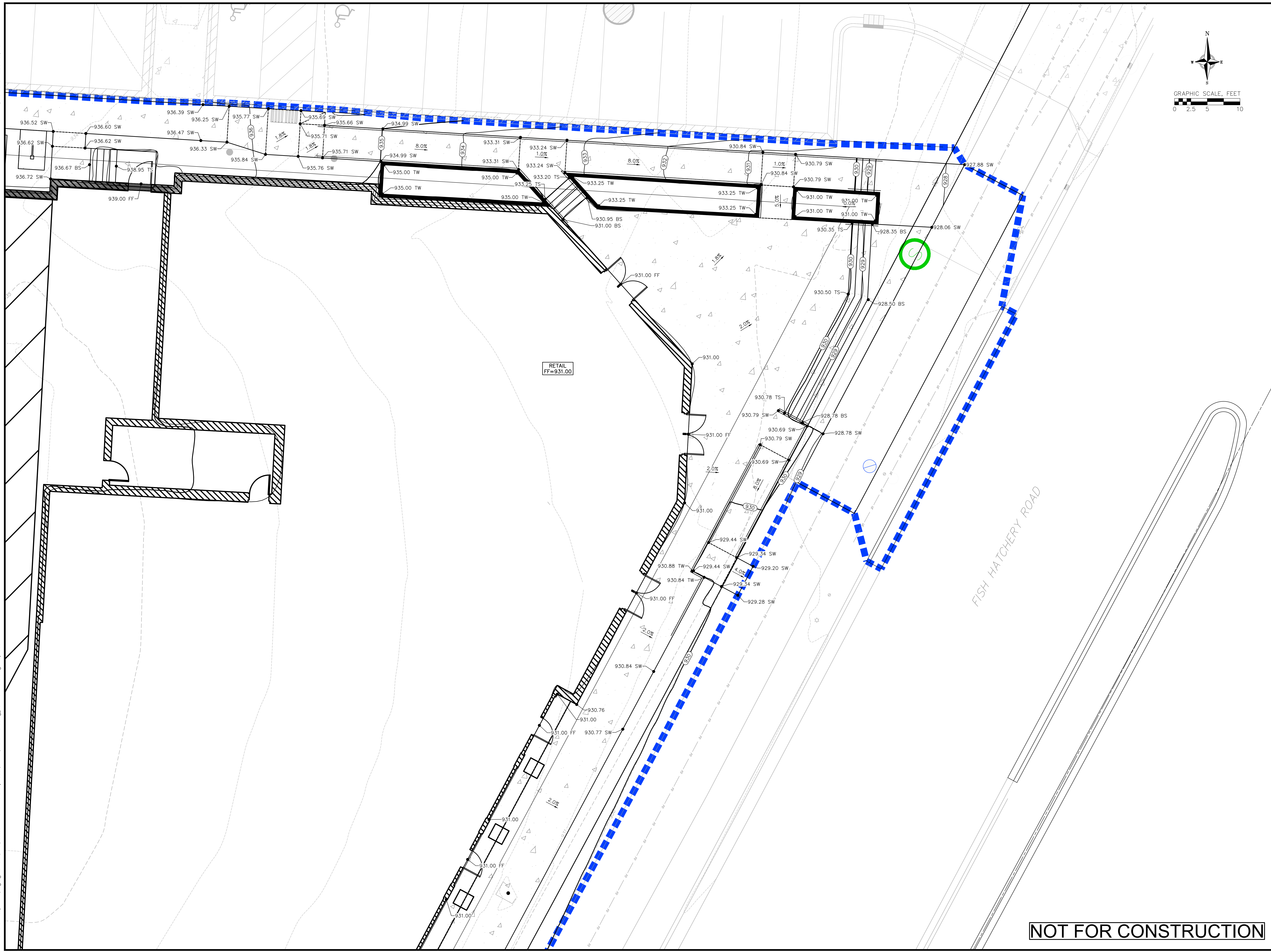


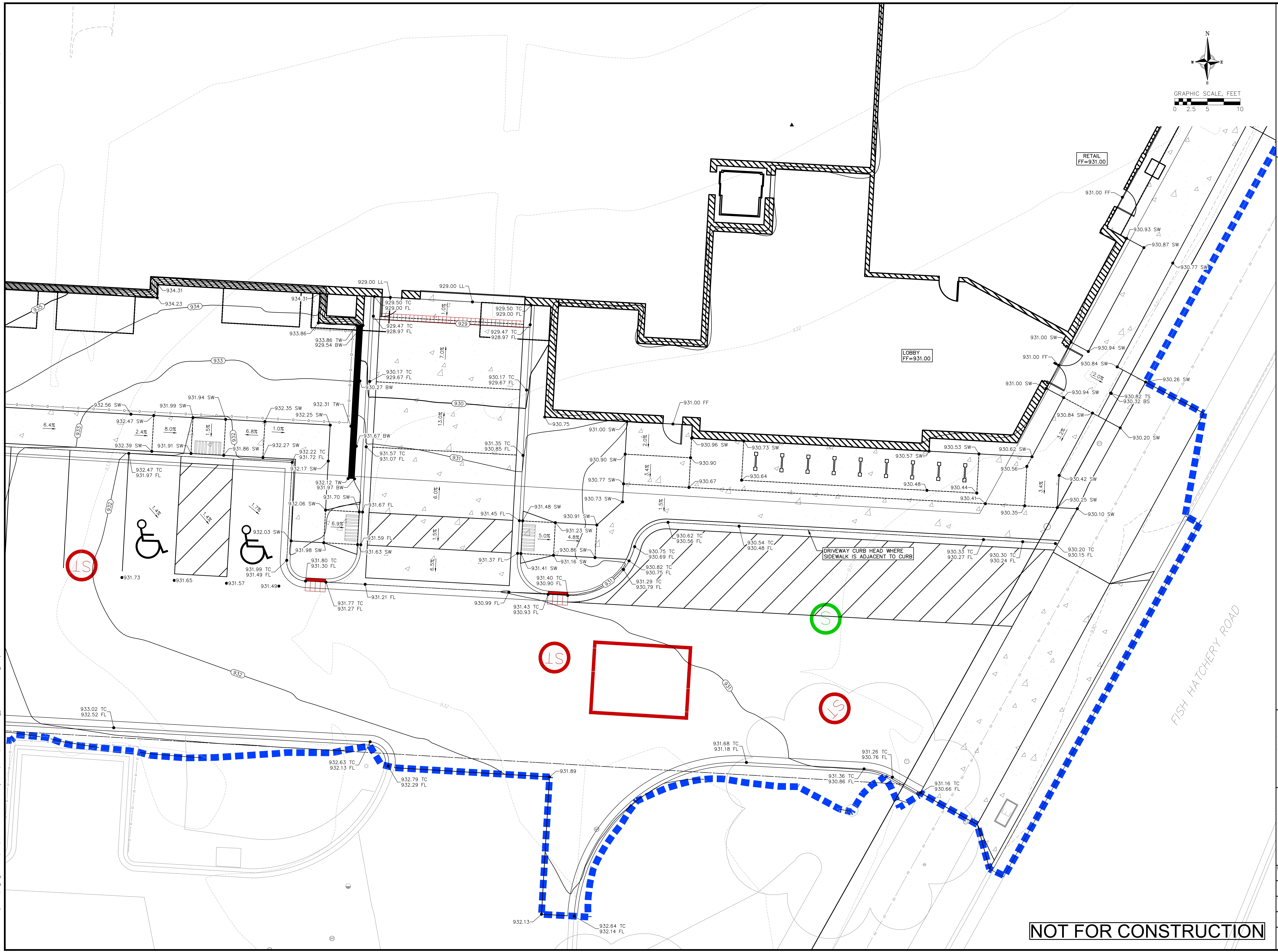
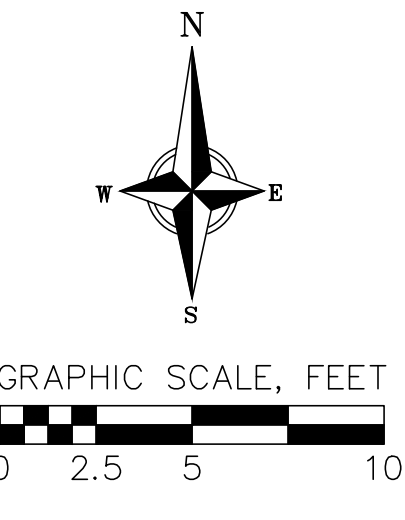
Demolition Plan
BOWMAN PLAZA
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

| REVISIONS | | REVISIONS | |
|-----------|------|-----------|------|
| NO. | DATE | NO. | DATE |
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DATE: 03/20/2026
DRAFTER: BMUM
CHECKED: BBAR
PROJECT NO.: 210401

NOT FOR CONSTRUCTION





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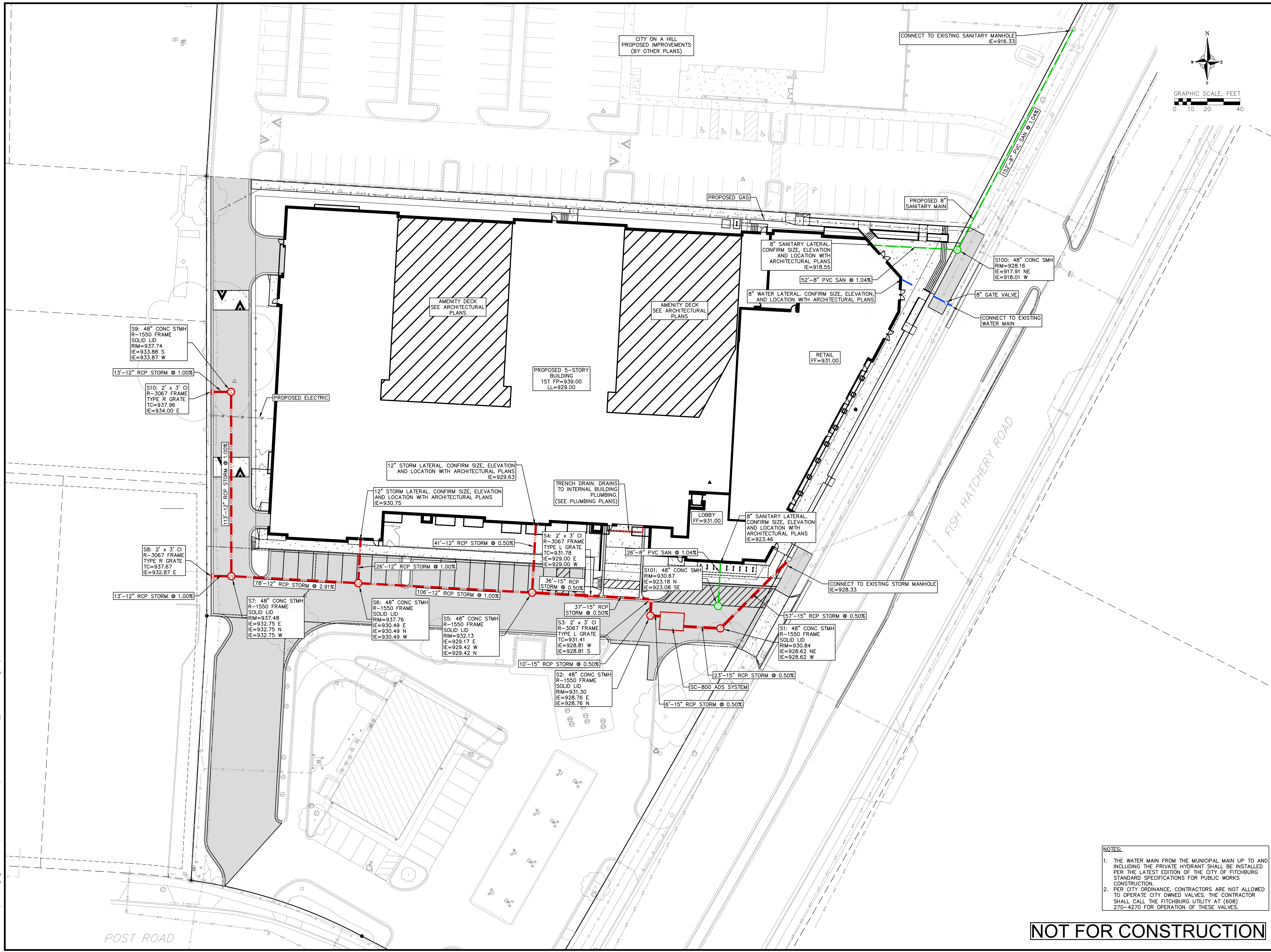
Southeast Grading Plan
BOWMAN PLAZA
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

| REVISIONS | | REVISIONS | |
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DRAFTER: BMUM
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PROJECT NO.: 210401

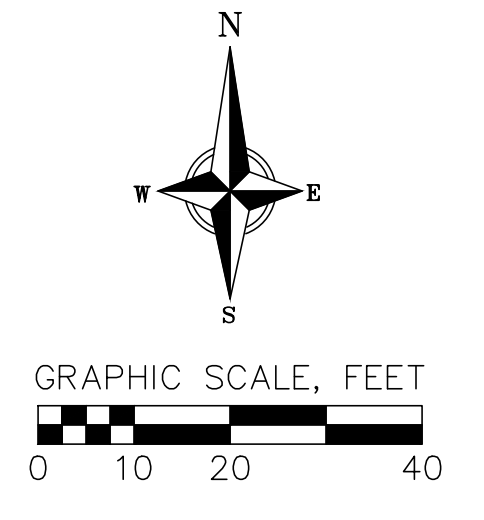
NOT FOR CONSTRUCTION

C502



CITY ON A HILL
PROPOSED IMPROVEMENTS
(BY OTHER PLANS)

CONNECT TO EXISTING SANITARY MANHOLE
IE=916.33



AMENITY DECK
SEE ARCHITECTURAL
PLANS

AMENITY DECK
SEE ARCHITECTURAL
PLANS

RETAIL
FF=931.00

PROPOSED GAS

PROPOSED 8\"/>

8\"/>

S100: 48\"/>

8\"/>

CONNECT TO EXISTING
WATER MAIN

S9: 48\"/>

13\"/>

S10: 2' x 3' CI
R-3067 FRAME
TYPE R GRATE
TC=937.96
IE=934.00 E

PROPOSED ELECTRIC

12\"/>

12\"/>

TRENCH DRAIN DRAINS
TO INTERNAL BUILDING
PLUMBING.
(SEE PLUMBING PLANS)

LOBBY
FF=931.00

8\"/>

CONNECT TO EXISTING STORM MANHOLE
IE=928.33

S8: 2' x 3' CI
R-3067 FRAME
TYPE R GRATE
TC=937.67
IE=932.87 E

13\"/>

S7: 48\"/>

S6: 48\"/>

S5: 48\"/>

S3: 2' x 3' CI
R-3067 FRAME
TYPE L GRATE
TC=931.41
IE=928.81 W
IE=928.81 S

S2: 48\"/>

S101: 48\"/>

S1: 48\"/>

SC-800 ADS SYSTEM

- NOTES:
1. THE WATER MAIN FROM THE MUNICIPAL MAIN UP TO AND INCLUDING THE PRIVATE HYDRANT SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
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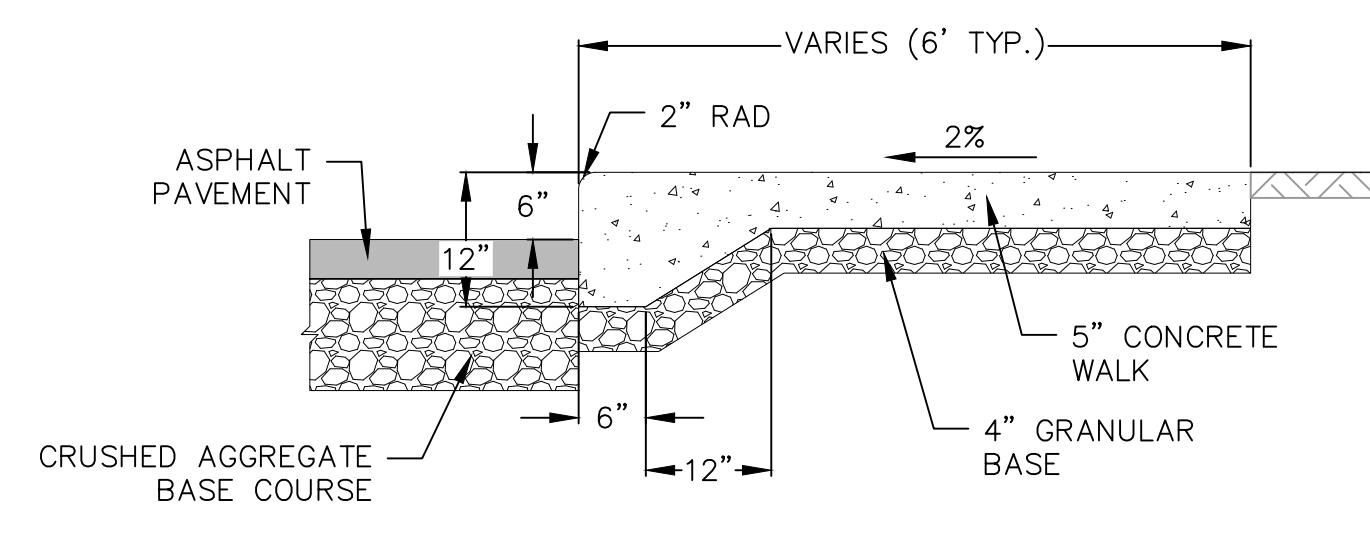
NOT FOR CONSTRUCTION

Utility Plan
BOWMAN PLAZA
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

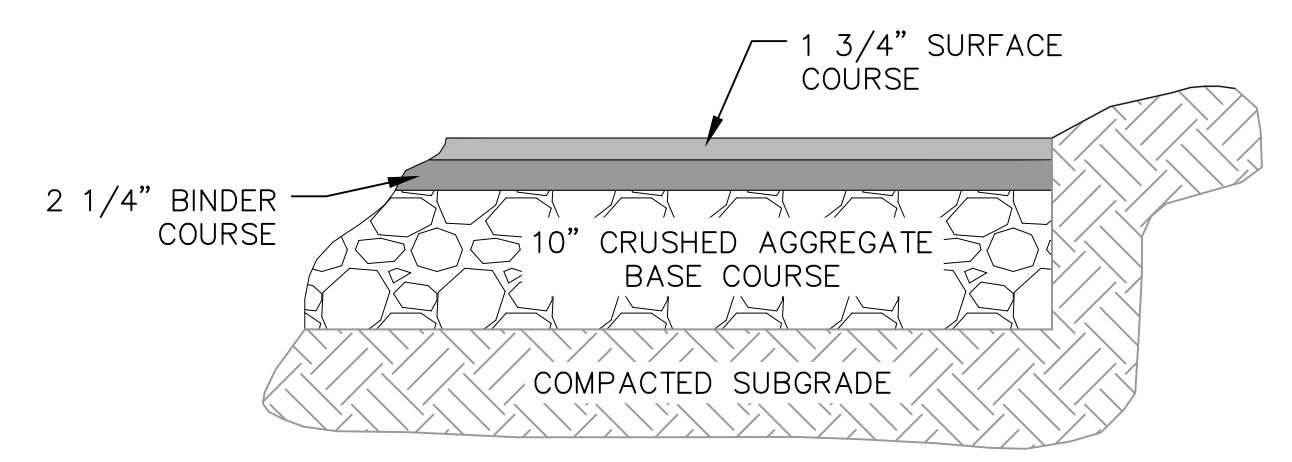
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PROJECT NO.
210401

C600

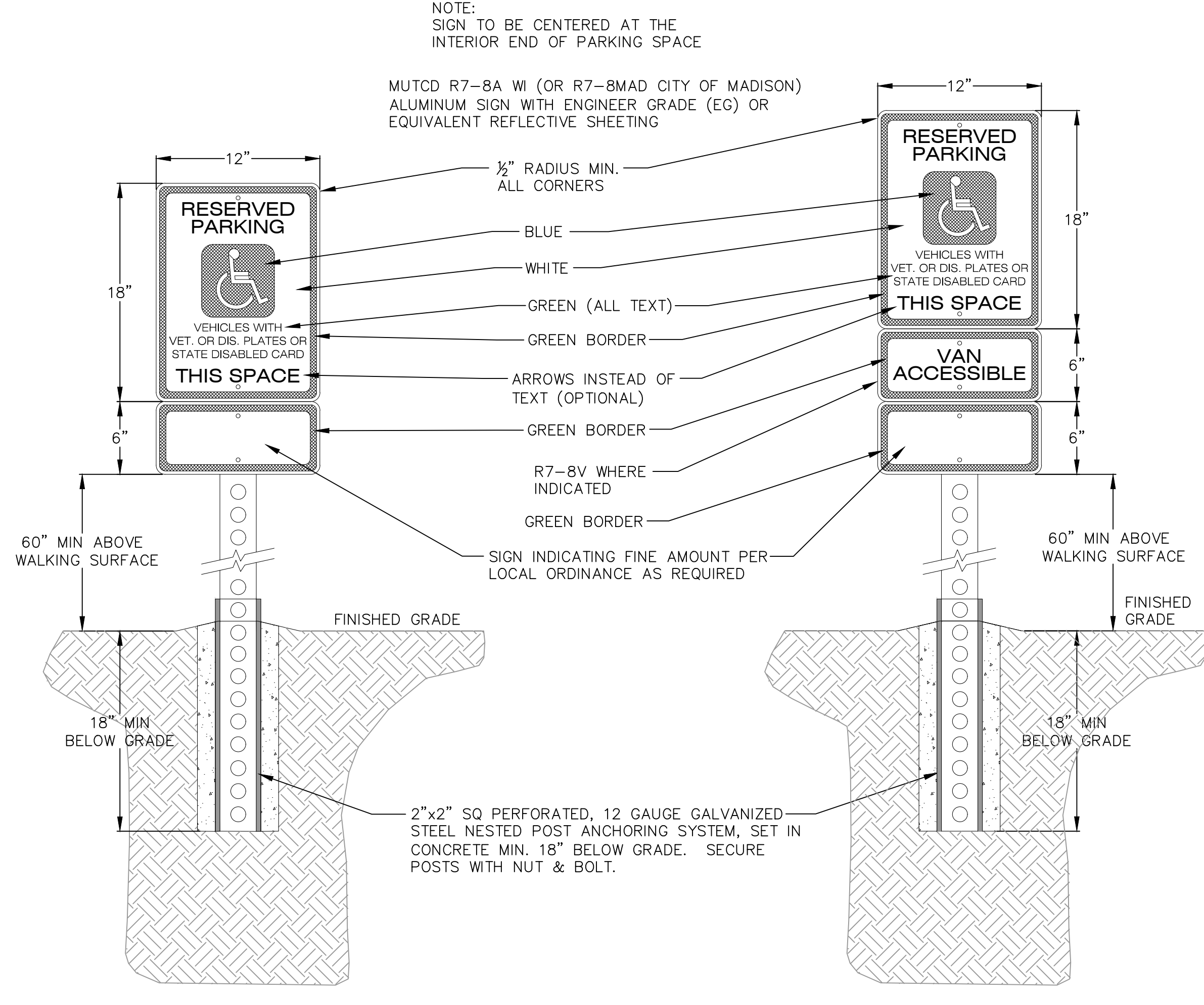


1 CURBED SIDEWALK SITE DETAIL
701 NOT TO SCALE

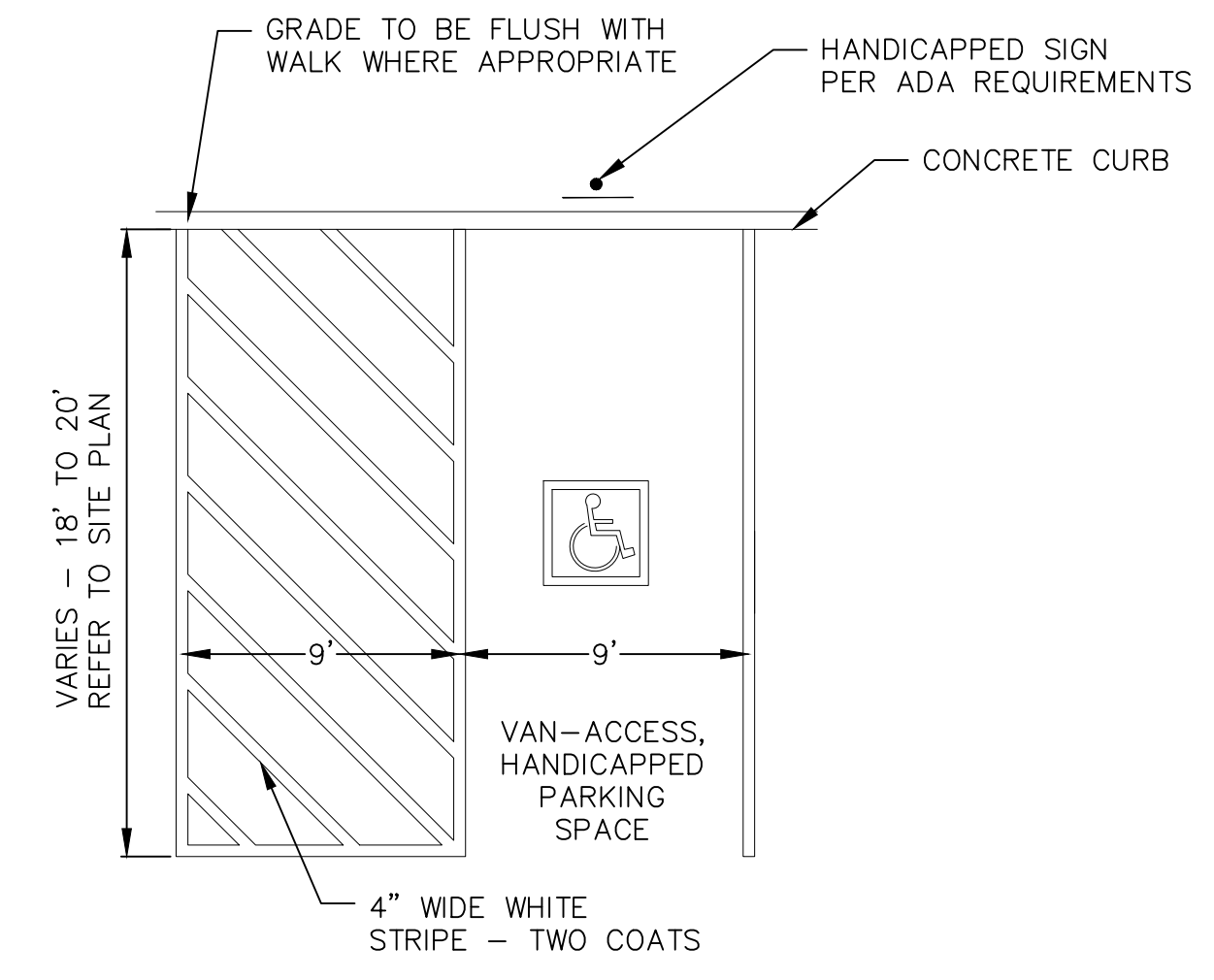


BITUMINOUS PAVEMENT DRIVES

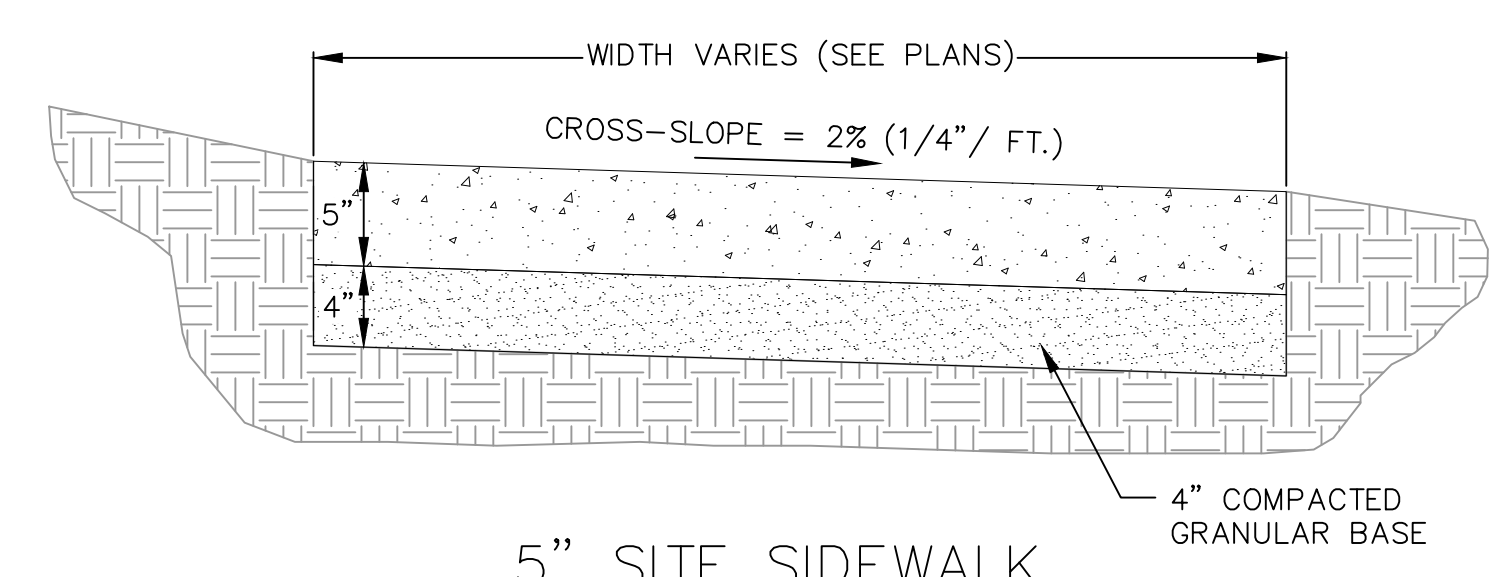
2 ASPHALT PAVEMENT
701 NOT TO SCALE



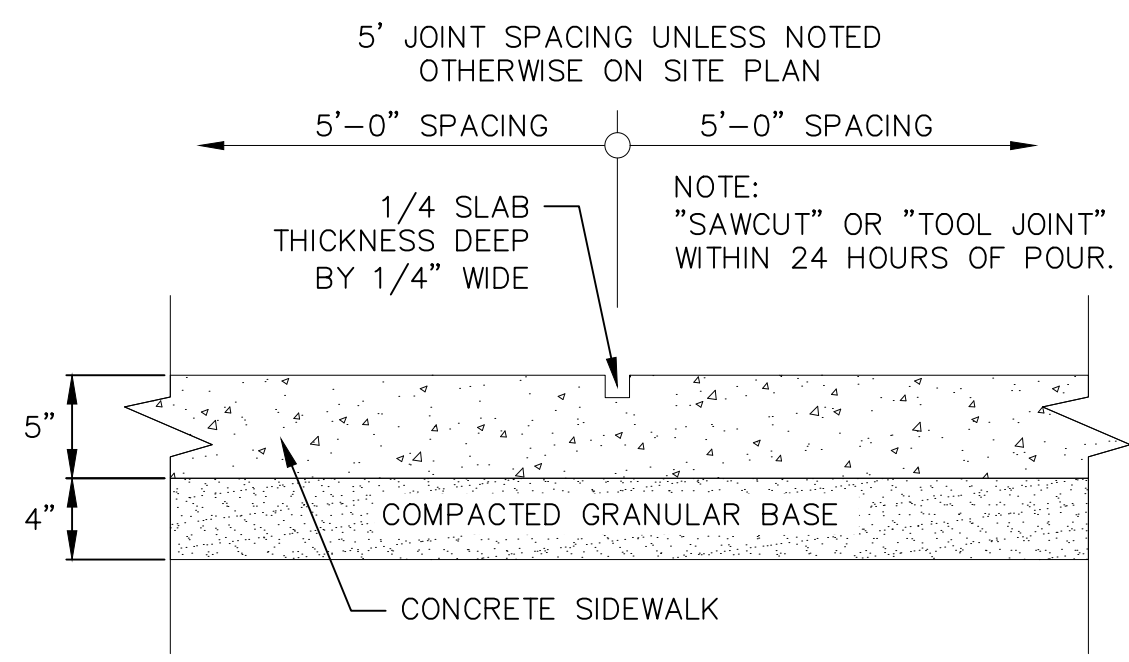
4 HANDICAP SIGN DETAIL
701 NOT TO SCALE



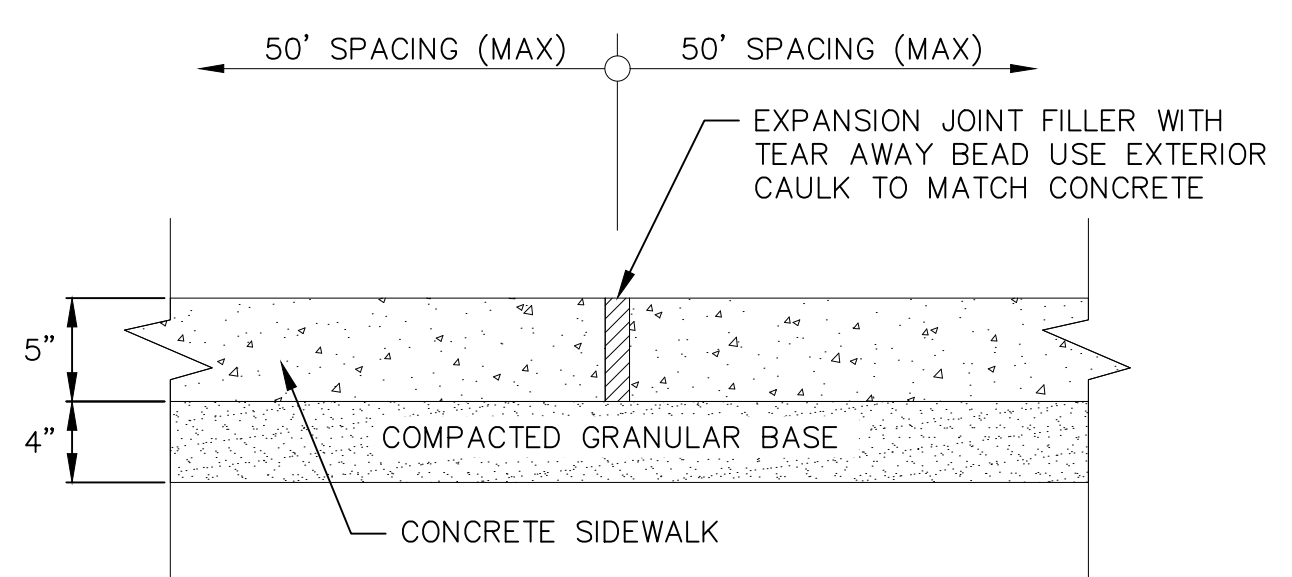
6 HANDICAP STRIPING
701 NOT TO SCALE



5" SITE SIDEWALK

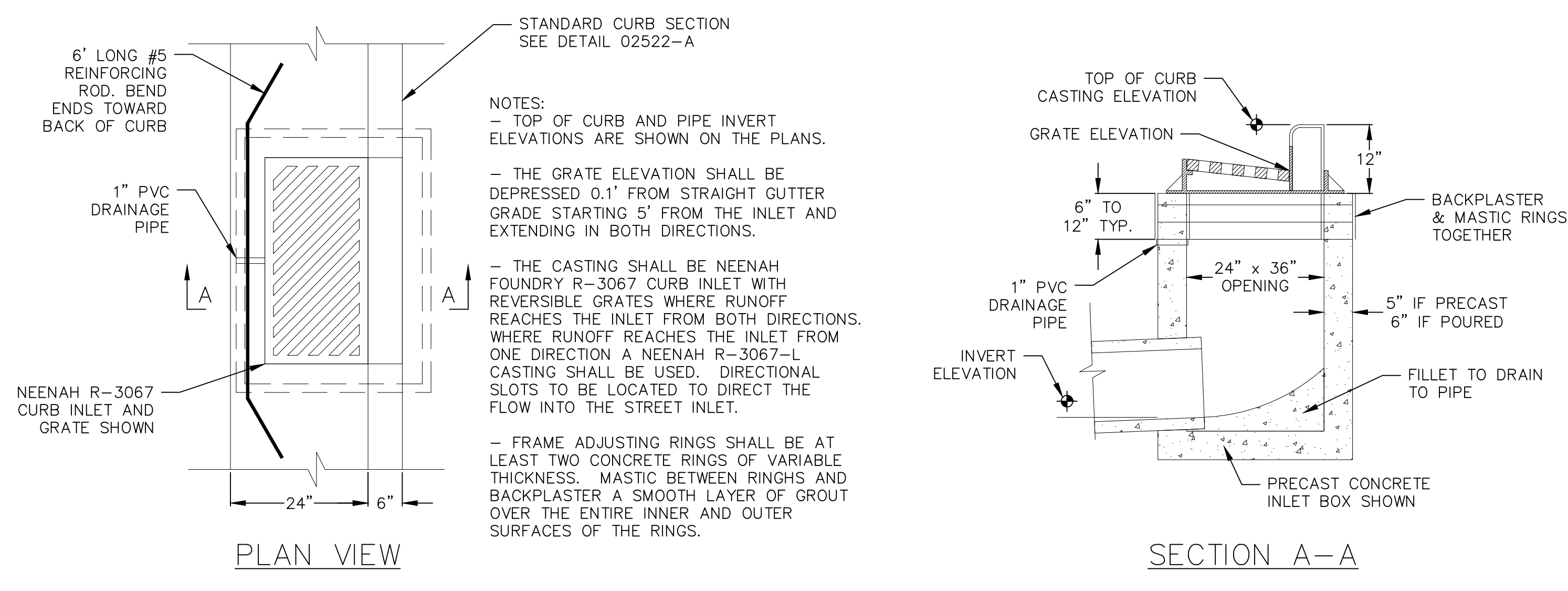


SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

3 5" SIDEWALK
701 NOT TO SCALE



5 RECTANGULAR STREET INLET
701 NOT TO SCALE

| NO. | DATE | REVISIONS | REMARKS |
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|-------------|------------|
| DATE | 03/20/2026 |
| DRAFTER | BMUM |
| CHECKED | BBAR |
| PROJECT NO. | 210401 |

PLANT SCHEDULE

| CODE | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
|-------------------------|---|------------|----------|------------|-----|
| DECIDUOUS TREES | | | | | |
| QM | Quercus macrocarpa / Burr Oak | B & B | 2.5' Cal | | 1 |
| UNDERSTORY TREES | | | | | |
| AL | Amelanchier laevis / Allegheny Serviceberry | B & B | 4' ht. | Multi-Stem | 2 |
| CP | Carpinus caroliniana / American Hornbeam | B & B | 7' ht. | | 1 |
| CI | Crataegus crus-galli inermis / Thornless Cockspur Hawthorn | B & B | 1.5' Cal | | 1 |
| DECIDUOUS SHRUBS | | | | | |
| Am | Aronia melanocarpa / Black Chokeberry | Cont. | 5 Gal. | | 19 |
| Am-2 | Aronia melanocarpa 'CONNAM012' / Ground Hug® Black Chokeberry | Cont. | 2 Gal. | | 12 |
| Cm | Ceanothus americanus / New Jersey Tea | Cont. | 3 Gal. | | 17 |
| Cd-3 | Cephalanthus occidentalis 'SMCOSS' / Sugar Shack® Butterflybush | Cont. | 3 Gal. | | 1 |
| Ld | Diervilla lonicera / Honeysuckle | Cont. | 3 Gal. | | 7 |
| EVERGREEN SHRUBS | | | | | |
| Bx | Buxus 'Green Mountain' / Green Mountain Boxwood | Cont. | 5 Gal. | | 2 |
| lx-2 | Ilex glabra 'Shamrock' / Shamrock Inkberry Holly | Cont. | 3 Gal. | | 9 |
| lx-3 | Ilex glabra 'SMINGAB17' / Gem Box® Inkberry Holly | Cont. | 3 Gal. | | 9 |
| Jc | Juniperus communis depressa / Common Juniper | Cont. | 2 Gal. | | 6 |
| PERENNIALS | | | | | |
| Ad | Asclepias tuberosa / Butterfly Milkweed | Cont. | 1 Gal. | | 24 |
| Ey | Eryngium yuccifolium / Rattlesnake Master | Cont. | 1 Gal. | | 10 |
| Ly | Liatris pycnostachya / Gayfeather | Cont. | 1 Gal. | | 8 |
| Rb | Rudbeckia fulgida / Coneflower | Cont. | 1 Gal. | | 10 |
| Ss | Schizachyrium scoparium / Little Bluestem | Cont. | 1 Gal. | | 17 |
| Sh | Sporobolus heterolepis / Prairie Dropseed | Cont. | 1 Gal. | | 44 |

CONCEPT PLANT SCHEDULE

| GROUNDCOVER #1 | 729 sf |
|--|--------|
| Anemone canadensis / Canadian Anemone | 22 |
| Asclepias tuberosa / Butterfly Milkweed | 31 |
| Bouteloua curtipendula / Side Oats Grama | 60 |
| Carex albicans / White-tinged Sedge | 60 |
| Carex breviflora / Oval Sedge | 113 |
| Dalea purpurea / Purple Prairie Clover | 31 |
| Echinacea pallida / Pale Purple Coneflower | 45 |
| Koeleria macrantha / Prairie Junegrass | 60 |
| Rudbeckia hirta / Black-eyed Susan | 37 |
| Sporobolus heterolepis / Prairie Dropseed | 295 |

| GROUNDCOVER #2 | 1,278 sf |
|---|----------|
| Allium cernuum / Nodding Onion | 133 |
| Carex breviflora / Oval Sedge | 159 |
| Coreopsis palmata / Stiff Tickseed | 107 |
| Geum triflorum / Prairie Smoke | 79 |
| Liatris aspera / Rough Blazing Star | 107 |
| Phlox pilosa / Downy Phlox | 79 |
| Schizachyrium scoparium / Little Bluestem | 319 |
| Sporobolus heterolepis / Prairie Dropseed | 346 |

| GROUNDCOVER #3 | 1,657 sf |
|---|----------|
| Carex albicans / White-tinged Sedge | 672 |
| Carex pensylvanica / Pennsylvania Sedge | 482 |
| Geranium maculatum / Spotted Geranium | 137 |
| Heuchera richardsonii / Prairie Alum Root | 137 |
| Polemonium reptans / Greek Valerian | 173 |
| Sedum ternatum / Wild Stonecrop | 121 |

| WASHED STONE | 99 sf |
|--------------|-------|
|--------------|-------|

| TURF | 1,434 sf |
|---|----------|
| LoCrosse Seed Co. - Madison Parks Turfgrass Mix | |

| DOG RUN TURF DESIGNED BY OTHERS | 3,737 sf |
|---------------------------------|----------|
|---------------------------------|----------|

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
- LANDSCAPE AREAS IDENTIFIED AS WASHED STONE ARE TO BE INSTALLED USING 1"-2". WASHED STONE TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
- LANDSCAPE BEDS, STONE BORDERS, AND SEEDED AREAS ARE SEPARATED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 4"x4" OR EQUAL, COLOR BLACK ANODIZED.
- ALL TREES AND/OR SHRUBS PLANTED IN SEEDED AREAS TO BE INSTALLED WITH A 6" DIAMETER UNDYED SHREDDED HARDWOOD BARK MULCH RING AT A DEPTH OF 3" AND SHOVEL CUT EDGE. A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULATE SHOULD BE APPLIED TOPICALLY AT TIME OF PLANTING PRIOR TO MULCH APPLICATION ACCORDING TO MANUFACTURER SPECIFICATIONS.

SEEDING AND PLUG PLANTING NOTES:

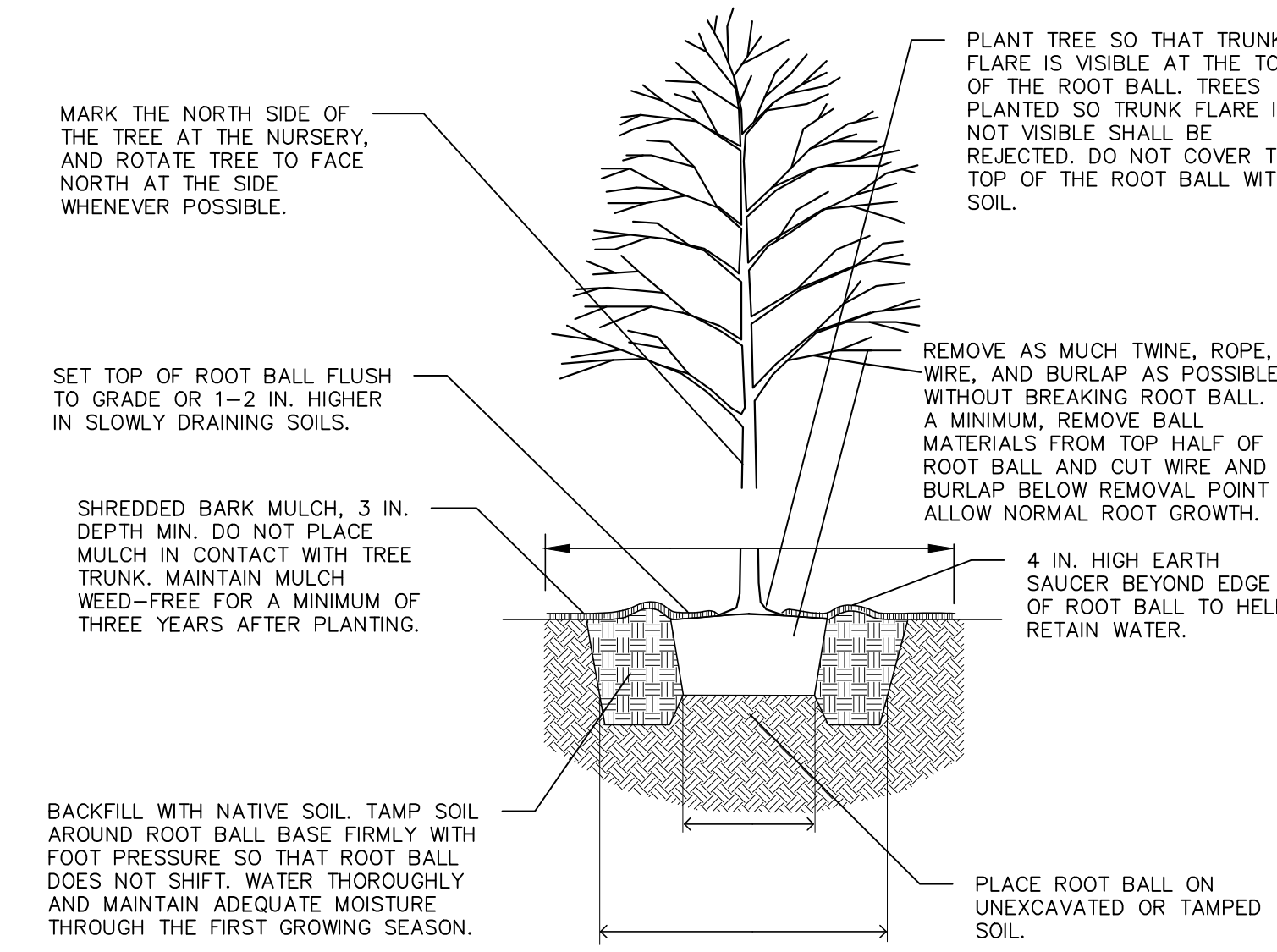
- ALL UNLABELED DISTURBED AREAS AND AREAS SHOWN AS TURF GRASS TO BE SEEDED WITH 'MADISON PARKS' SEED MIX BY LA GROSSE SEED OR EQUIVALENT. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 3" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"-6") PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
- INSTALL GROUNDCOVERS AS 2.5" PLUGS OR EQUAL PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES AS SHOWN IN THE CONCEPT PLANT SCHEDULE THROUGHOUT PLANTING. PLUG NUMBERS ARE APPROXIMATE BASED ON AREA, CONTRACTOR TO CONFIRM QUANTITIES. QUANTITIES IN SCHEDULE REPRESENT TOTAL PLUGS PER SPECIES FOR ALL GROUNDCOVER AREAS SHOWN. EACH AREA TO RECEIVE A REPRESENTATIVE FRACTION OF PLUGS BASED ON THE SQUARE FOOTAGE OF EACH RESPECTIVE PLANTING LOCATION SPECIFIED. WHERE SHRUBS/TREES ARE SHOWN WITHIN GROUNDCOVER AREAS, SUBSTITUTE SHRUB/TREE FOR PLUG AND SPACE SURROUNDING PLUGS 12" FROM SHRUB/TREE ROOT MASS, PATTERN ACCORDING. WHERE PLANTINGS ABUT WALKWAYS AND STRUCTURES, MAINTAIN A 12" BORDER OF MULCH CONTAINING NO PLUGS. APPLY BIODEGRADABLE NON-WOVEN GEOTEXTILE WEED BARRIER FABRIC TO SOIL SURFACE PRIOR TO PLANTING. INCISE GAPS IN FABRIC FOR EACH PLUG. APPLY 1/2" WATER DAILY FOR 4 WEEKS FOLLOWING INSTALLATION. APPLY AN INITIAL APPLICATION OF PRE-EMERGENT HERBICIDE PER MANUFACTURER'S INSTRUCTIONS AND STATE REGULATIONS. REPEAT APPLICATIONS THROUGHOUT ESTABLISHMENT PERIOD PER MANUFACTURER'S RECOMMENDATIONS. APPLY 2" OF SHREDDED HARDWOOD MULCH AT TIME OF PLANTING. SUGGESTED MAINTENANCE INCLUDES MULCH, WEED REMOVAL, AND PRE-EMERGENT HERBICIDE TREATMENTS FOR THE FIRST 5 YEARS. ANNUAL MAINTENANCE IS SUGGESTED TO INCLUDE A CUT BACK TREATMENT DURING THE EARLY SPRING SEASON PRIOR TO PLANT EMERGENCE.

GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY RIGHT OF WAY WORK.
- CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
- CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
- ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
- PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
- ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.

NOTES:

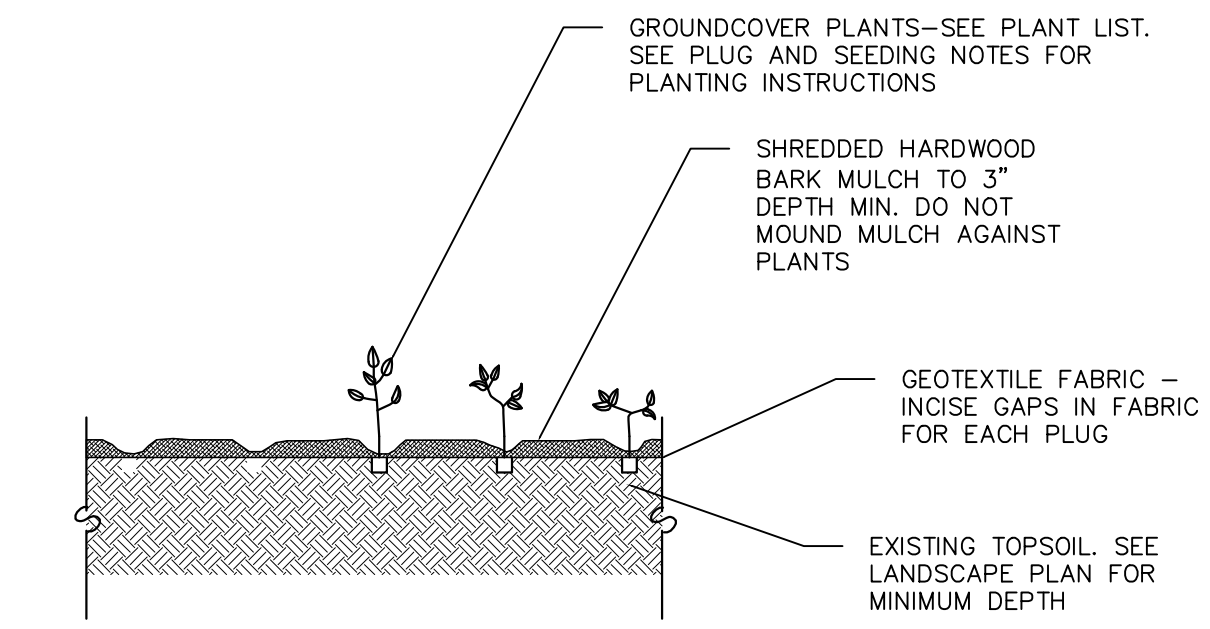
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.



1 B&B TREE PLANTING DETAIL
1 NOT TO SCALE

NOTES:

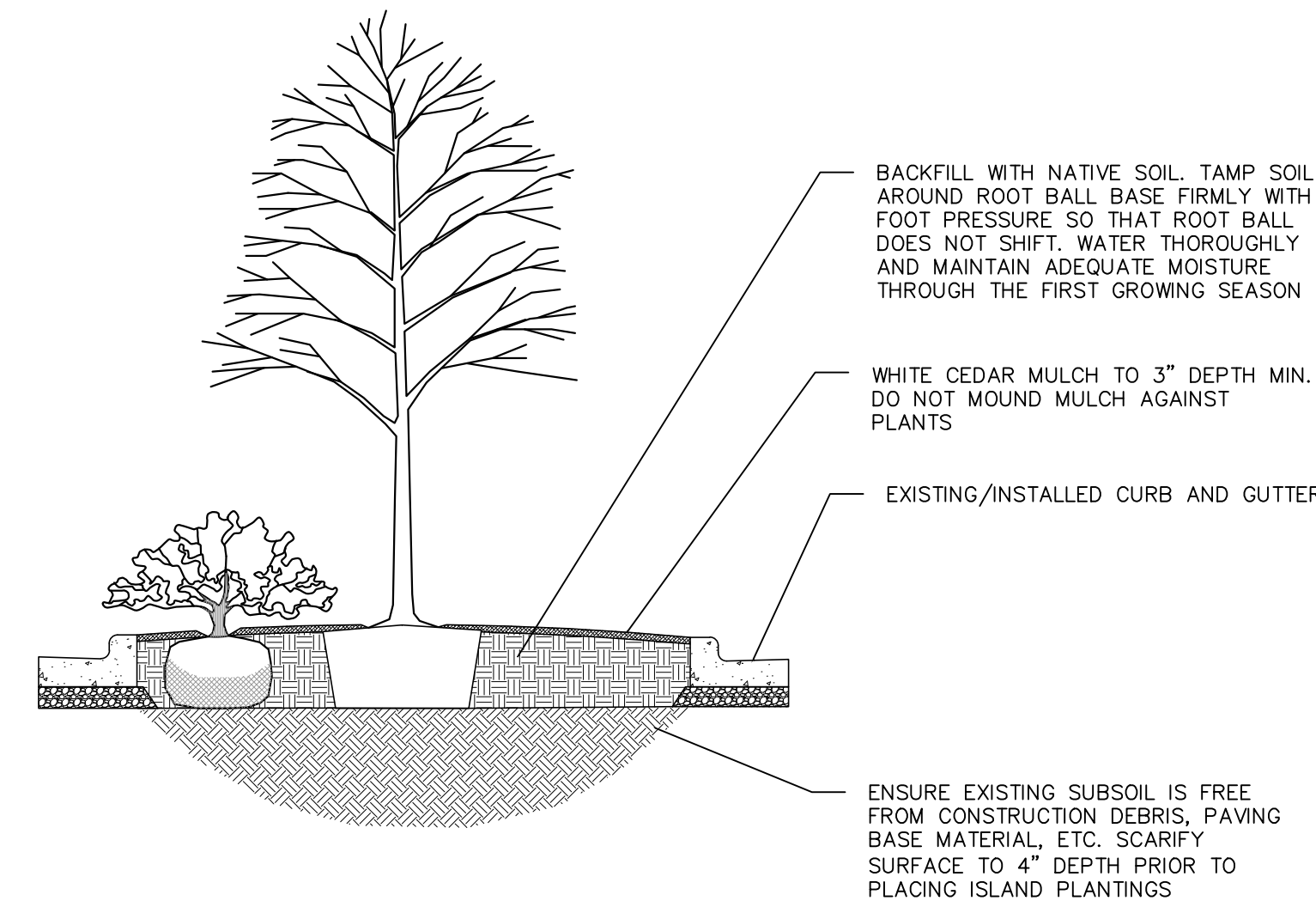
- PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES AS SHOWN IN THE CONCEPT PLANT SCHEDULE THROUGHOUT PLANTING.
- WHERE PLANTINGS ABUT WALKWAYS AND STRUCTURES, MAINTAIN A 12" BORDER OF MULCH CONTAINING NO PLUGS.
- WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.



1 GROUNDCOVER PLANTING DETAIL
1 NOT TO SCALE

NOTES:

- PARKING ISLAND TO BE FREE OF AGGREGATE TO A MINIMUM DEPTH OF 24"
- ANY PAVEMENT BASE MATERIALS REMAINING FROM PAVEMENT INSTALLATION WITHIN PLANTING AREA SHALL BE REMOVED AND REPLACED WITH NATIVE SOIL PRIOR TO PLANTING



1 PARKING ISLAND PLANTING AREA
1 NOT TO SCALE

| NO. | DATE | REVISIONS | REMARKS |
|-----|------|-----------|---------|
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| DATE | 03/20/2026 |
| DRAFTER | EGOR |
| CHECKED | BBAR |
| PROJECT NO. | 210401 |

BOWMAN PLAZA MIXED USE

FITCHBURG , WISCONSIN 53711



S.I.P. SUBMITTAL SET

03.23.26

PROGRESS DOCUMENTS

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ARCHITECTS

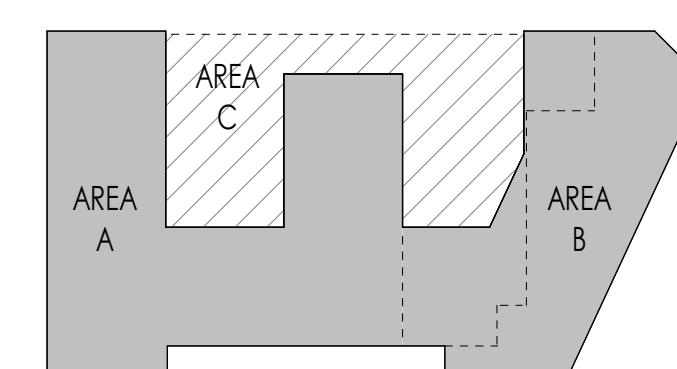


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MADISON | MILWAUKEE | DENVER
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JLA PROJECT NUMBER: 21-1029-01



**BOWMAN PLAZA
MIXED USE**
S.I.P. SUBMITTAL SET



KEY PLAN

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DATE OF ISSUANCE 03.23.26

| REVISION SCHEDULE | | |
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| Mark | Description | Date |
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SHEET TITLE
**ARCHITECTURAL SITE
LAYOUT PLAN**

SHEET NUMBER
ASP-100

| KEYNOTE SCHEDULE | |
|------------------|--|
| MARK | NOTE |
| 1 | WALL DESIGNATION TAGS SHALL TAKE PRECEDENCE OVER ANY COLORED WALL INDICATORS SHOWN IN THE DRAWINGS. |
| 2 | PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL. |
| 3 | GENERAL CONTRACTOR SHALL COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK DEPTHS WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT. |
| 4 | COORDINATE LOCATION OF PRECAST PLANK DEPTHS WITH PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS. |
| 5 | CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION. |
| 6 | EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY, UNLESS OTHERWISE NOTED. |
| 7 | INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS, UNLESS OTHERWISE NOTED. |
| 8 | EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW / DOOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER. |
| 9 | VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS. |
| 10 | ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED. |
| 11 | ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS. |
| 12 | INTERIOR DOORS SHALL BE LOCATED 4' AWAY FROM INTERSECTING WALLS, UNLESS OTHERWISE NOTED. |
| 13 | INTERIOR WALLS AT PARKING LEVEL FLOORS SHALL BE THE FOLLOWING, UNLESS NOTED OTHERWISE: - CMU WALLS: MC2X - CONCRETE WALLS: C1 (SEE STRUCTURAL FOR THICKNESS) |
| 14 | DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2015 IBC 408. |
| 15 | VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER. |
| 16 | VERIFY QUANTITY, LOCATION, AND TYPE OF ELECTRICAL OUTLETS IN PARKING AREA WITH OWNER. |
| 17 | PROVIDE 5/8" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO CEILING FLOOR SYSTEM ABOVE. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR. |

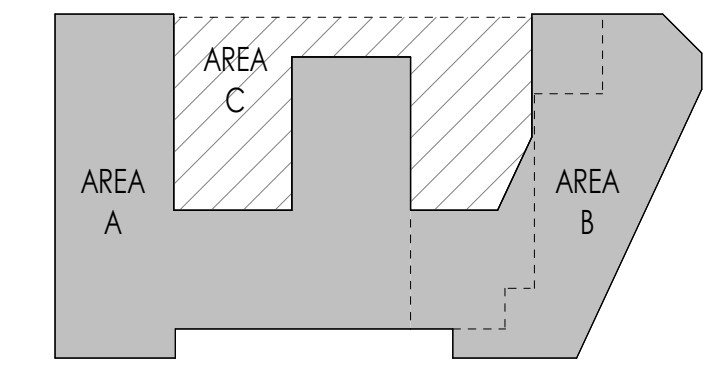
PARKING LEVEL FLOOR PLAN NOTES

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- CONCRETE WALLS: **C1** (SEE STRUCTURAL FOR THICKNESS)
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17. PROVIDE 5/8" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO CEILING FLOOR SYSTEM ABOVE. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.



JLA PROJECT NUMBER: 21-1029-01

**BOWMAN PLAZA
MIXED USE**
S.I.P. SUBMITTAL SET



**KEY PLAN
PROGRESS DOCUMENTS**

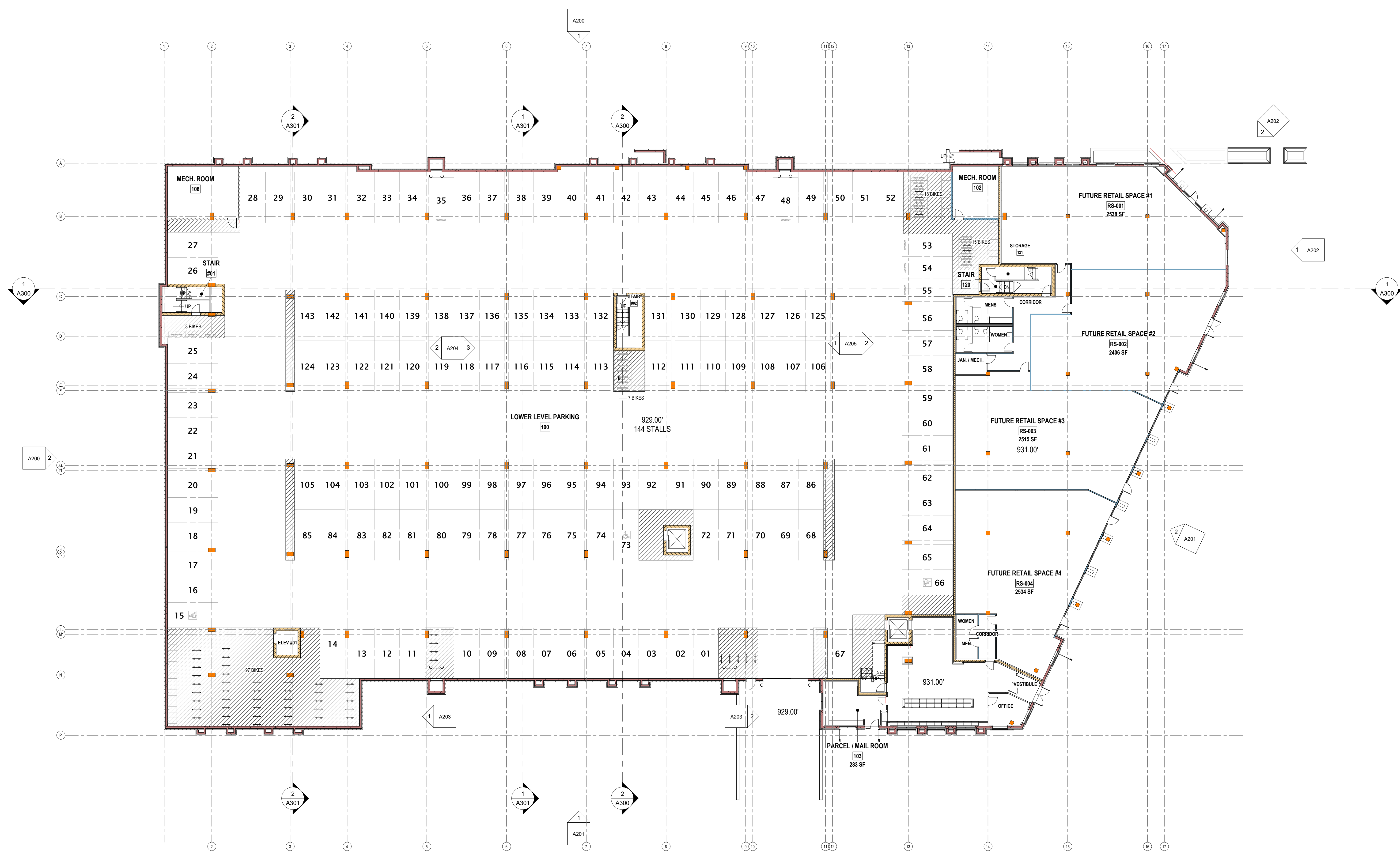
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DATE OF ISSUANCE: 03.23.26

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| Mark | Description | Date |
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**OVERALL LOWER
LEVEL PLAN**

SHEET NUMBER
A100



1 OVERALL LOWER LEVEL PLAN
1/16" = 1'-0"

| KEYNOTE SCHEDULE | |
|------------------|--|
| MARK | NOTE |
| 08.91.01 | AIR-EXHAUST LOUVER, COLOR TO MATCH _____; COORD INSTALL REQS, LOCATION, & SIZE W/ MECH SUBCONTRACTOR |
| 08.91.02 | AIR-INTAKE LOUVER, COLOR TO MATCH _____; COORD INSTALL REQS, LOCATION, & SIZE W/ MECH SUBCONTRACTOR |

OVERALL FLOOR PLAN KEY

- SHADED AREA AND DASHED LINES REPRESENT PRECAST CONCRETE TEES BELOW OR ABOVE - SEE KEYED NOTES
- ACCESSIBLE UNIT LOCATION
- TYPE A UNIT LOCATION
- <WEDA> <CHAFA> UNIT LOCATION

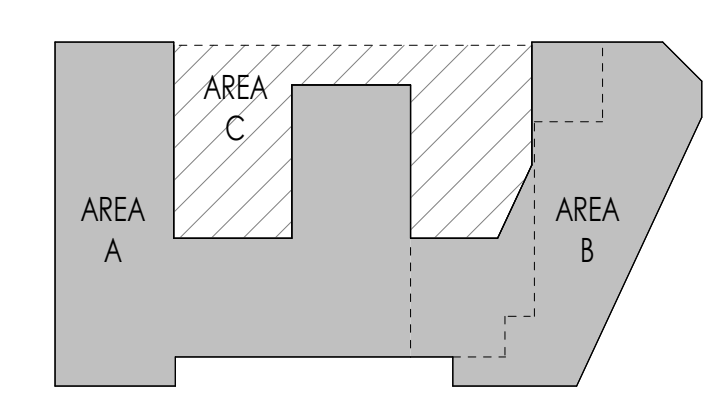
- OVERALL FLOOR PLAN NOTES**
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 - INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS, UNLESS OTHERWISE NOTED.
 - INTERIOR WALLS AT WOOD STUD FLOORS SHALL BE THE FOLLOWING (UNLESS NOTED OTHERWISE):
- CORRIDOR WALLS: **WCX**
- UNIT DEMISING WALLS: **WUX**
- UNIT INTERIOR WALLS: **WI**
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW / DOOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
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 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - VERIFY ALL TUB, SHOWER, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURERS.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE 0300 SERIES SHEETS.
 - PROVIDE MOISTURE-RESISTANT AND MOLD-RESISTANT TYPE GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
 - INTERIOR DOORS SHALL BE LOCATED 4' AWAY FROM INTERSECTING WALLS, UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPRINGS & SINK SPRAINGS.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1/4" AIR TO FINISHED CEILING PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
 - DESIGN-BUILD MECHANICAL CONTRACTOR SHALL PROVIDE MECHANICAL VENTILATION TO ROOMS AND SPACES WHERE NATURAL VENTILATION IS UNABLE TO BE PROVIDED. COORDINATE WITH ARCHITECTURAL DRAWINGS, AND VERIFY COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



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JLA PROJECT NUMBER: 21-1029-01

**BOWMAN PLAZA
MIXED USE**
S.I.P. SUBMITTAL SET



**KEY PLAN
PROGRESS DOCUMENTS**

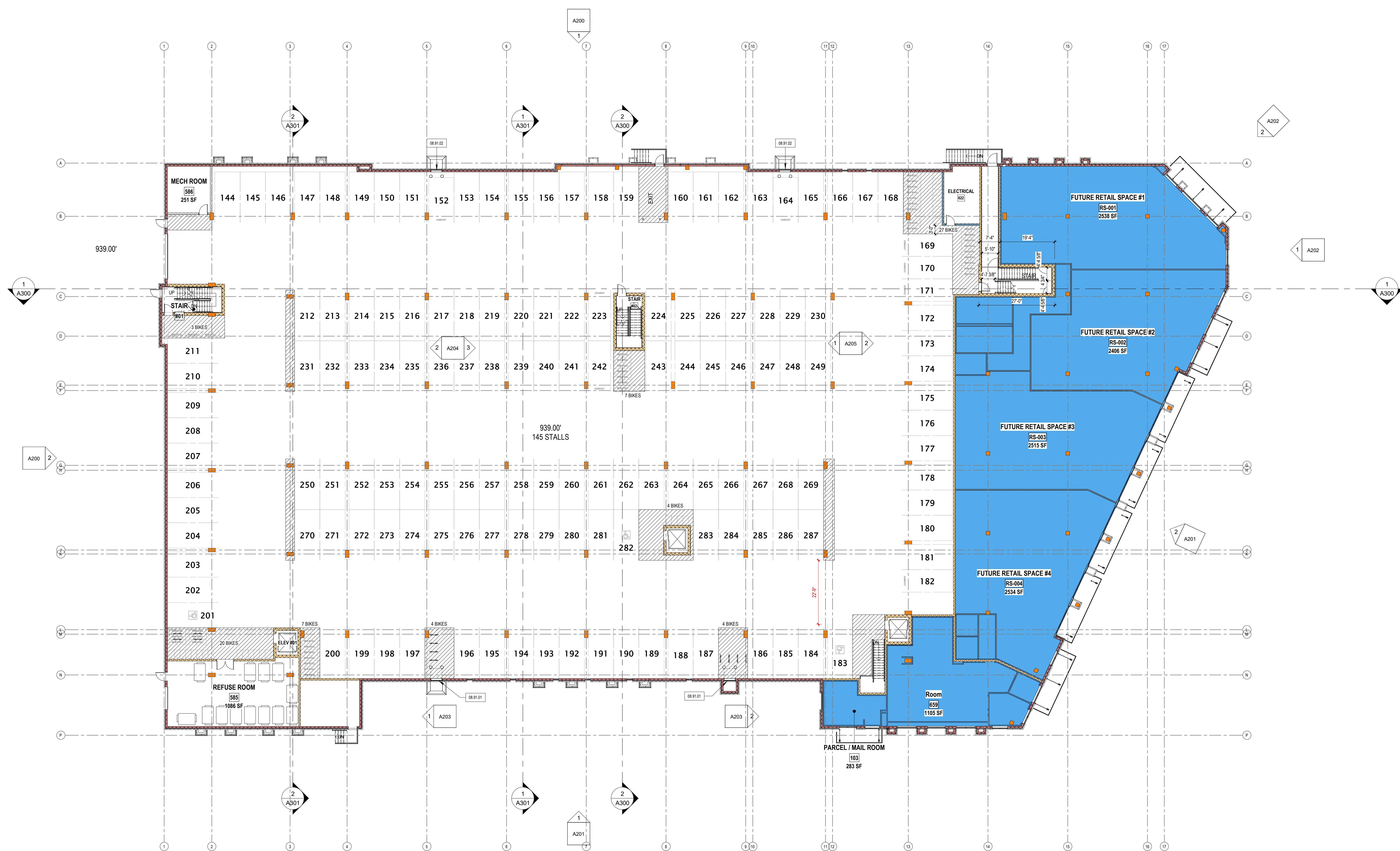
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| Mark | Description | Date |
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OVERALL FIRST FLOOR PLAN

SHEET NUMBER: **A101**



23 OVERALL FIRST FLOOR PLAN
1/16" = 1'-0"

| KEYNOTE SCHEDULE | |
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| MARK | NOTE |
| | |

OVERALL FLOOR PLAN KEY

- SHADED AREA AND DASHED LINES REPRESENT PRECAST CONCRETE TEES BELOW OR ABOVE - SEE KEYED NOTES
- ACCESSIBLE UNIT LOCATION
- TYPE A UNIT LOCATION
- <WEDA> <CHAFA> UNIT LOCATION

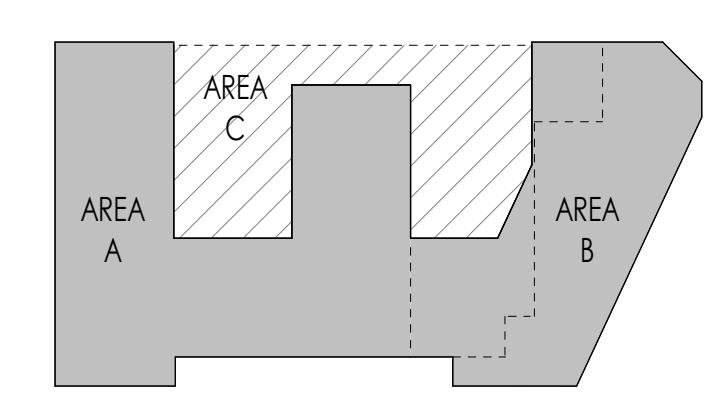
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 - CORRIDOR WALLS: W6C
 - UNIT SEPARATING WALLS: W4LX
 - UNIT INTERIOR WALLS: W4
5. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW / DOOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
6. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
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10. PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
11. VERIFY ALL TUB, SHOWER, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURERS.
12. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE 0000 SERIES SHEETS.
13. PROVIDE MOISTURE-RESISTANT AND MOLD-RESISTANT TYPE GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
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19. DESIGN-BUILD MECHANICAL CONTRACTOR SHALL PROVIDE MECHANICAL VENTILATION TO ROOMS AND SPACES WHERE NATURAL VENTILATION IS UNABLE TO BE PROVIDED. COORDINATE WITH ARCHITECTURAL DRAWINGS, AND VERIFY COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



JLA PROJECT NUMBER: 21-1029-01

**BOWMAN PLAZA
MIXED USE**
S.I.P. SUBMITTAL SET



**KEY PLAN
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**OVERALL SECOND
FLOOR & COURT
PLAN**

SHEET NUMBER
A102

1 OVERALL SECOND FLOOR PLAN
1/16" = 1'-0"

| KEYNOTE SCHEDULE | |
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| MARK | NOTE |
| | |

OVERALL FLOOR PLAN KEY

- SHADED AREA AND DASHED LINES REPRESENT PRECAST CONCRETE TEES BELOW OR ABOVE - SEE KEYED NOTES
- ACCESSIBLE UNIT LOCATION
- TYPE A UNIT LOCATION
- <WEDA> <HAF> UNIT LOCATION

OVERALL FLOOR PLAN NOTES

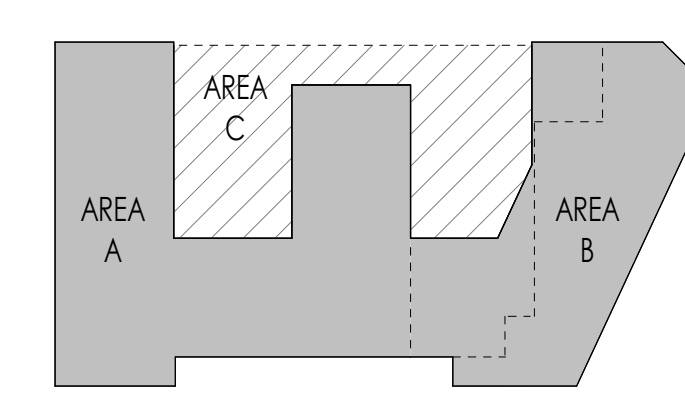
1. WALL DESIGNATION TAGS SHALL TAKE PRECEDENCE OVER ANY COLORED WALL INDICATORS SHOWN IN THE DRAWINGS.
2. EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS, UNLESS OTHERWISE NOTED.
3. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS, UNLESS OTHERWISE NOTED.
4. INTERIOR WALLS AT WOOD STUD FLOORS SHALL BE THE FOLLOWING:
 - CORRIDOR WALLS: **W10X**
 - UNIT SEPARATING WALLS: **W12X**
 - UNIT INTERIOR WALLS: **W8**
5. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW / DOOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
6. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
7. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
8. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
9. ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
10. PROVIDE BRACING AT ALL GRAB BAR LOCATIONS INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
11. VERIFY ALL TUB, SHOWER, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURERS.
12. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE 0300 SERIES SHEETS.
13. PROVIDE MOISTURE-RESISTANT AND MOLD-RESISTANT TYPE GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
14. INTERIOR DOORS SHALL BE LOCATED 4' AWAY FROM INTERSECTING WALLS, UNLESS OTHERWISE NOTED.
15. FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES.
16. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPRASHES & SINK SPASHES.
17. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
18. PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1/4" AIR TO FINISHED CEILING PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
19. DESIGN-BUILD MECHANICAL CONTRACTOR SHALL PROVIDE MECHANICAL VENTILATION TO ROOMS AND SPACES WHERE NATURAL VENTILATION IS UNABLE TO BE PROVIDED. COORDINATE WITH ARCHITECTURAL DRAWINGS, AND VERIFY COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



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KEY PLAN
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DATE OF ISSUANCE: 03.23.26

| REVISION SCHEDULE | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE
OVERALL THIRD FLOOR PLAN

SHEET NUMBER
A103

1 OVERALL THIRD FLOOR PLAN
1/16" = 1'-0"

| KEYNOTE SCHEDULE | |
|------------------|------|
| MARK | NOTE |
| | |

OVERALL FLOOR PLAN KEY

- SHADED AREA AND DASHED LINES REPRESENT PRECAST CONCRETE TEES BELOW OR ABOVE - SEE KEYED NOTES
- ACCESSIBLE UNIT LOCATION
- TYPE A UNIT LOCATION
- <WEDA> <HAF> UNIT LOCATION

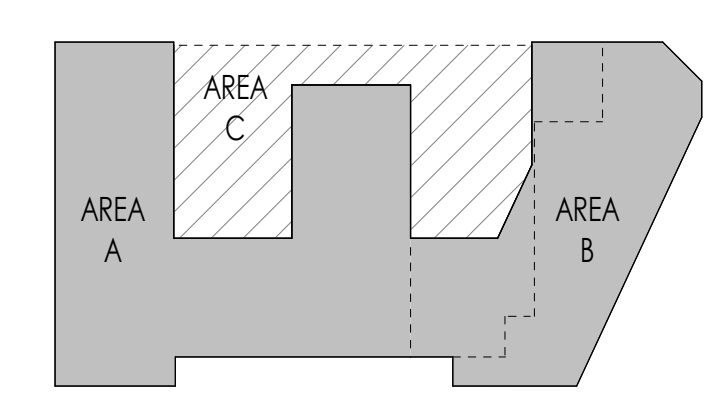
OVERALL FLOOR PLAN NOTES

1. WALL DESIGNATION TAGS SHALL TAKE PRECEDENCE OVER ANY COLORED WALL INDICATORS SHOWN IN THE DRAWINGS.
2. EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS, UNLESS OTHERWISE NOTED.
3. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS, UNLESS OTHERWISE NOTED.
4. INTERIOR WALLS AT WOOD STUD FLOORS SHALL BE THE FOLLOWING (UNLESS NOTED OTHERWISE):
- CORRIDOR WALLS: **WCX**
- UNIT SEPARATING WALLS: **WUX**
- UNIT INTERIOR WALLS: **WU**
5. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW / DOOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
6. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
7. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
8. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
9. ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
10. PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
11. VERIFY ALL TUB, SHOWER, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURERS.
12. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE 0300 SERIES SHEETS.
13. PROVIDE MOISTURE-RESISTANT AND MOLD-RESISTANT TYPE GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
14. INTERIOR DOORS SHALL BE LOCATED 4' AWAY FROM INTERSECTING WALLS, UNLESS OTHERWISE NOTED.
15. FIELD VERIFY ALL CABINETS LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES.
16. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPRINGS & SINK SPACERS.
17. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
18. PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1/4" AFT TO FINISHED CEILING PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
19. DESIGN-BUILD MECHANICAL CONTRACTOR SHALL PROVIDE MECHANICAL VENTILATION TO ROOMS AND SPACES WHERE NATURAL VENTILATION IS UNABLE TO BE PROVIDED. COORDINATE WITH ARCHITECTURAL DRAWINGS, AND VERIFY COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



JLA PROJECT NUMBER: 21-1029-01

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OVERALL FOURTH FLOOR PLAN

SHEET NUMBER
A104

1 OVERALL FOURTH FLOOR PLAN
1/16" = 1'-0"

| KEYNOTE SCHEDULE | |
|------------------|------|
| MARK | NOTE |
| | |

OVERALL FLOOR PLAN KEY

-  SHADED AREA AND DASHED LINES REPRESENT PRECAST CONCRETE TIES BELOW OR ABOVE - SEE KEYED NOTES
-  ACCESSIBLE UNIT LOCATION
-  TYPE A UNIT LOCATION
-  <WEDA> <CHAFA> UNIT LOCATION

OVERALL FLOOR PLAN NOTES

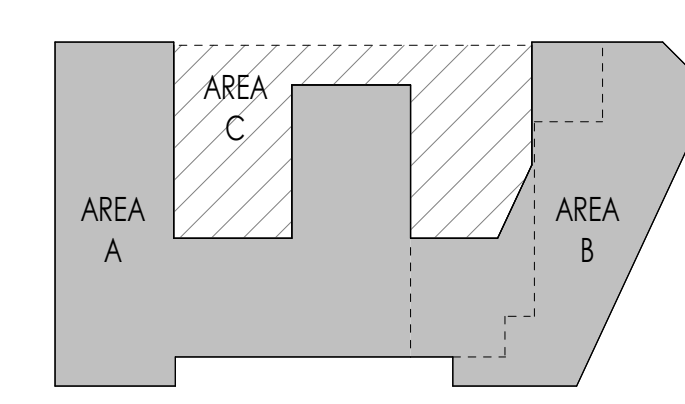
1. WALL DESIGNATION TAGS SHALL TAKE PRECEDENCE OVER ANY COLORED WALL INDICATORS SHOWN IN THE DRAWINGS.
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3. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS, UNLESS OTHERWISE NOTED.
4. INTERIOR WALLS AT WOOD STUD FLOORS SHALL BE THE FOLLOWING:
 - CORRIDOR WALLS: **W6C**
 - UNIT DEMISING WALLS: **W4LX**
 - UNIT INTERIOR WALLS: **W4**
5. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW / DOOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
6. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
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12. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE 0000 SERIES SHEETS.
13. PROVIDE MOISTURE-RESISTANT AND MOLD-RESISTANT TYPE GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
14. INTERIOR DOORS SHALL BE LOCATED 4' AWAY FROM INTERSECTING WALLS, UNLESS OTHERWISE NOTED.
15. FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES.
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17. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
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19. DESIGN-BUILD MECHANICAL CONTRACTOR SHALL PROVIDE MECHANICAL VENTILATION TO ROOMS AND SPACES WHERE NATURAL VENTILATION IS UNABLE TO BE PROVIDED. COORDINATE WITH ARCHITECTURAL DRAWINGS, AND VERIFY COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



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| Mark | Description | Date |
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SHEET TITLE
OVERALL FIFTH FLOOR PLAN

SHEET NUMBER
A105

1 OVERALL FIFTH FLOOR PLAN
1/16" = 1'-0"

| KEYNOTE SCHEDULE | |
|------------------|------|
| MARK | NOTE |
| | |

OVERALL FLOOR PLAN KEY

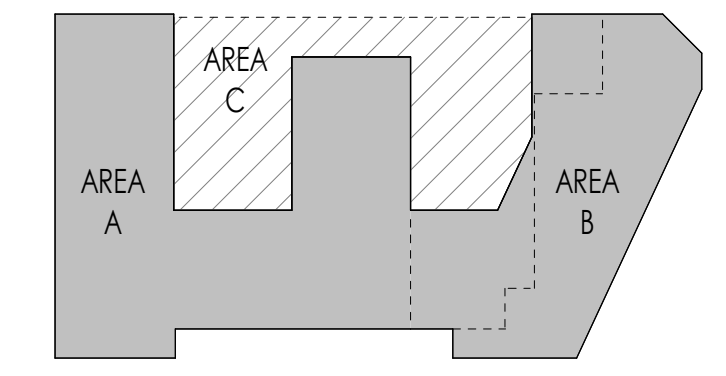
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- ACCESSIBLE UNIT LOCATION
- TYPE A UNIT LOCATION
- <WHEDA> <CHAFA> UNIT LOCATION

- OVERALL FLOOR PLAN NOTES**
- WALL DESIGNATION TAGS SHALL TAKE PRECEDENCE OVER ANY COLORED WALL INDICATORS SHOWN IN THE DRAWINGS.
 - EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS, UNLESS OTHERWISE NOTED.
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS, UNLESS OTHERWISE NOTED.
 - INTERIOR WALLS AT WOOD STUD FLOORS SHALL BE THE FOLLOWING (UNLESS NOTED OTHERWISE):
 - CORRIDOR WALLS: W6.2
 - UNIT EXTERIOR WALLS: W4.2
 - UNIT INTERIOR WALLS: W1
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW / DOOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
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 - VERIFY ALL TUB, SHOWER, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURERS.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE G300 SERIES SHEETS.
 - PROVIDE MOISTURE-RESISTANT AND MOLD-RESISTANT TYPE GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
 - INTERIOR DOORS SHALL BE LOCATED 4" AWAY FROM INTERSECTING WALLS, UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES - CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SINK SPASHES.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1/2" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
 - DESIGN-BUILD MECHANICAL CONTRACTOR SHALL PROVIDE MECHANICAL VENTILATION TO ROOMS AND SPACES WHERE NATURAL VENTILATION IS UNABLE TO BE PROVIDED. COORDINATE WITH ARCHITECTURAL DRAWINGS, AND VERIFY COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.



JLA PROJECT NUMBER: 21-1029-01

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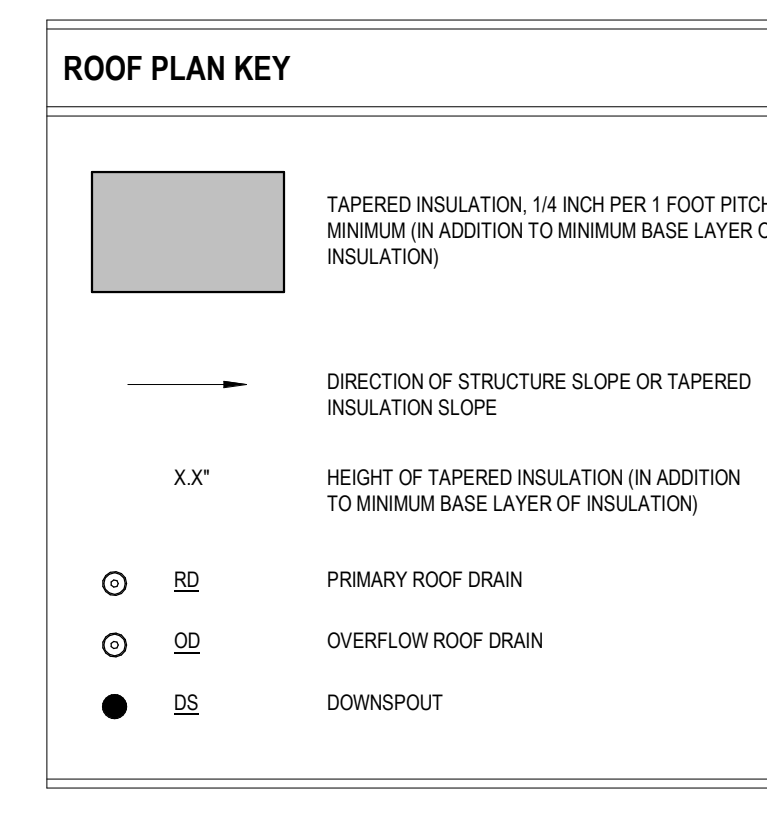
OVERALL SIXTH FLOOR PLAN

SHEET NUMBER: **A106**



1 OVERALL SIXTH FLOOR PLAN
1/16" = 1'-0"

| KEYNOTE SCHEDULE | |
|------------------|---|
| MARK | NOTE |
| 06.43.01 | ROOF ASSEMBLY WR1-X OVER STAIR SHAFT ENCLOSURE |
| 06.43.02 | ELEVATOR OVER-RUN WITH ROOF ASSEMBLY WR3-X - SEE ELEVATOR SECTIONS. |
| 07.72.02 | 30"W x 96"D CLASS 'A' ROOF HATCH; COORD INSTALL REQS. LOCATION, & SIZE W/ ROOF TRUSS MFR |
| 22.14.02 | ROOF DRAIN; COORD MFR INSTALL REQS. LOCATION, & SIZE W/ PLUMBING SUBCONTRACTOR |
| 22.14.03 | ROOF OVERFLOW DRAIN; COORD MFR INSTALL REQS. LOCATION, & SIZE W/ PLUMBING SUBCONTRACTOR |
| 23.56.01 | SOLAR PANELS |
| 23.62.00 | CONDENSING UNITS ON HOUSEKEEPING PADS (GENERAL LOCATIONS SHOWN OVER CORRIDORS) - VERIFY QUANTITY AND COORDINATE INSTALLATION REQUIREMENTS WITH MECHANICAL SUBCONTRACTOR |

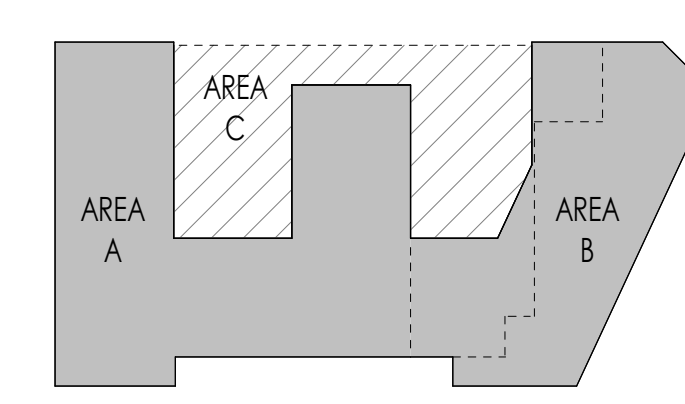


- ROOF PLAN NOTES**
- DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS, UNLESS OTHERWISE NOTED.
 - ROOF SHALL BE ROOF ASSEMBLY - WR1-X, UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AT 1/4" PER FOOT (MINIMUM) TO PROVIDE ROOF DRAINAGE.
 - PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/8" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND/OR CRICKETS WHERE NECESSARY.
 - ROOF DRAINS AND OVERFLOW DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN / BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE. DESIGN / BUILD PLUMBING CONTRACTOR TO COORDINATE SEPARATE OVERFLOW DRAIN ROUTE AND LAMBS TONGUE LOCATIONS WITH BUILDING PLANS.
 - PROVIDE WATER-TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT IRCA STANDARDS.
 - VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNERS DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
 - DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER-TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
 - ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN VENT IF VENT RUN EXCEEDS 25'-0".
 - PLUMBING DESIGN / BUILD CONTRACTOR SHALL COORDINATE THE LOCATION OF ROOF FROST-PROOF HOSE BIB WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT AND JANT LAYOUT BELOW.
 - PROVIDE PREFINISHED SHEET METAL CORNINGS AND / OR GRAVEL STOPS PER PLANS. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
 - PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGN / BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.



JLA PROJECT NUMBER: 21-1029-01

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MIXED USE**
S.I.P. SUBMITTAL SET



KEY PLAN
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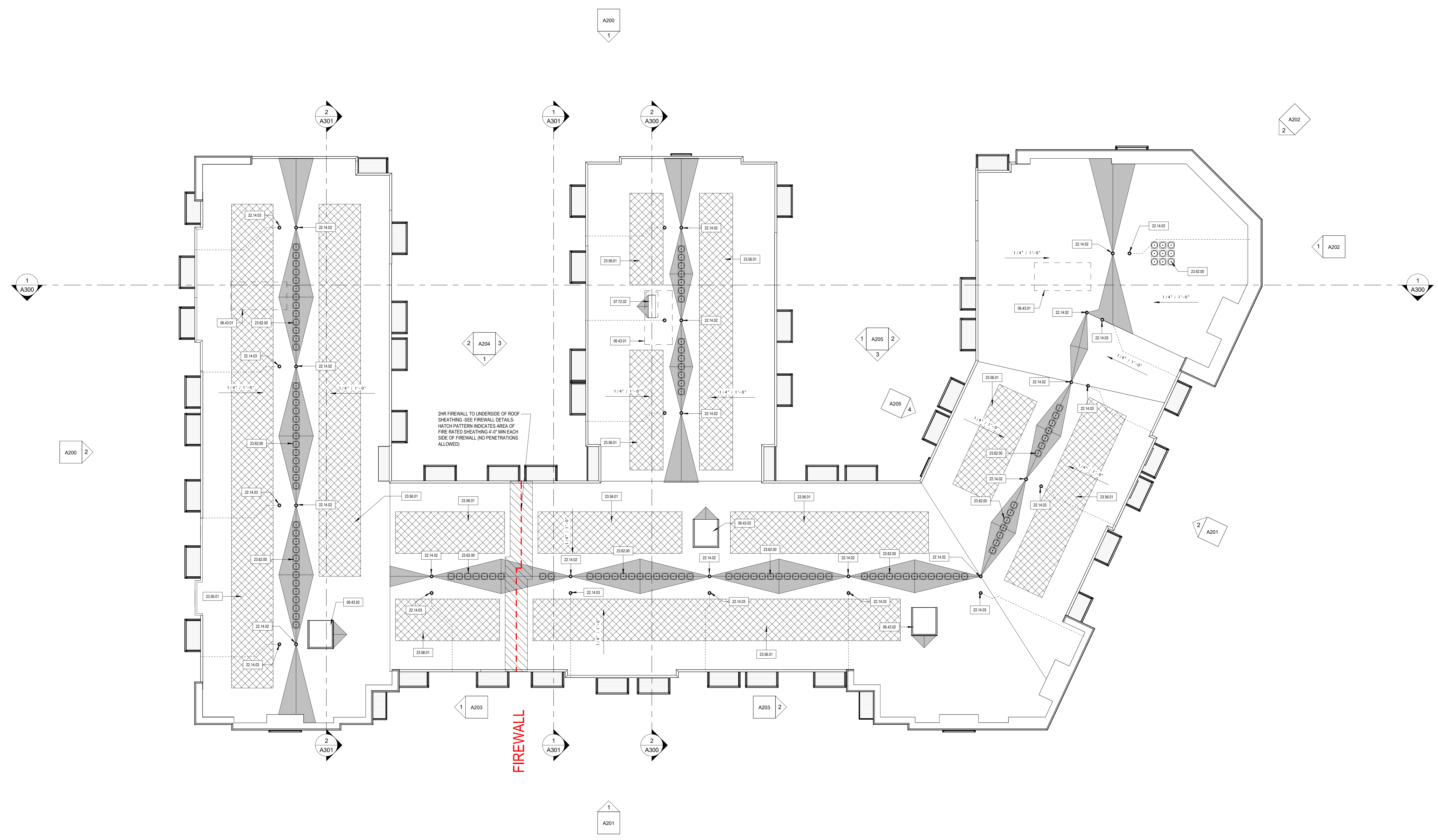
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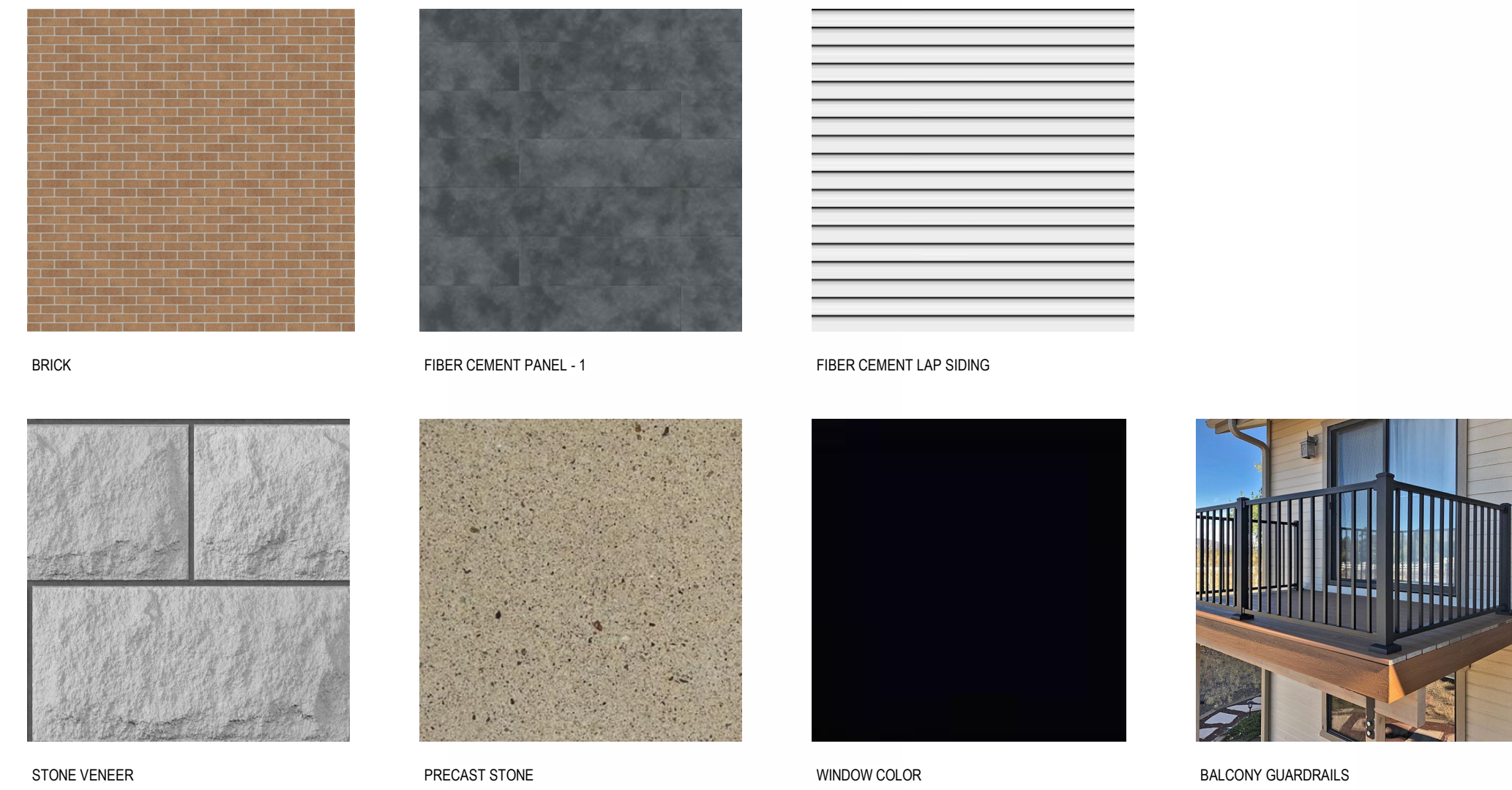
SHEET TITLE
OVERALL ROOF PLAN

SHEET NUMBER
A110



1 OVERALL ROOF PLAN
1/16" = 1'-0"

EXTERIOR MATERIALS LEGEND



- EXTERIOR ELEVATION NOTES**
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
 - COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL, PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS. GC SHALL INCLUDE DIMENSIONED JOINT LOCATIONS AS PART OF SHOP DRAWINGS.
 - EXTERIOR MATERIALS TO BE BID AND INSTALLED AS SHOWN IN DRAWINGS WITH REGARDS TO SIZE, LOCATION, AND COLOR.

KEYNOTE SCHEDULE

| MARK | NOTE |
|------|------|
|------|------|

EXTERIOR MATERIALS SCHEDULE

| MARK | DESCRIPTION | MANUFACTURER | TYPE / STYLE | DIMENSIONS | COLOR | NOTES |
|------|-----------------------|------------------|--------------|------------|----------------|--------------------------------|
| 1 | MASONRY - SPLIT-FACED | COUNTY MATERIALS | | 8"x16"x4" | BISQUE 18-121C | COLORED MORTAR TO MATCH VENEER |



1 NORTH ELEVATION
1/16" = 1'-0"



2 WEST ELEVATION
1/16" = 1'-0"



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**BOWMAN PLAZA
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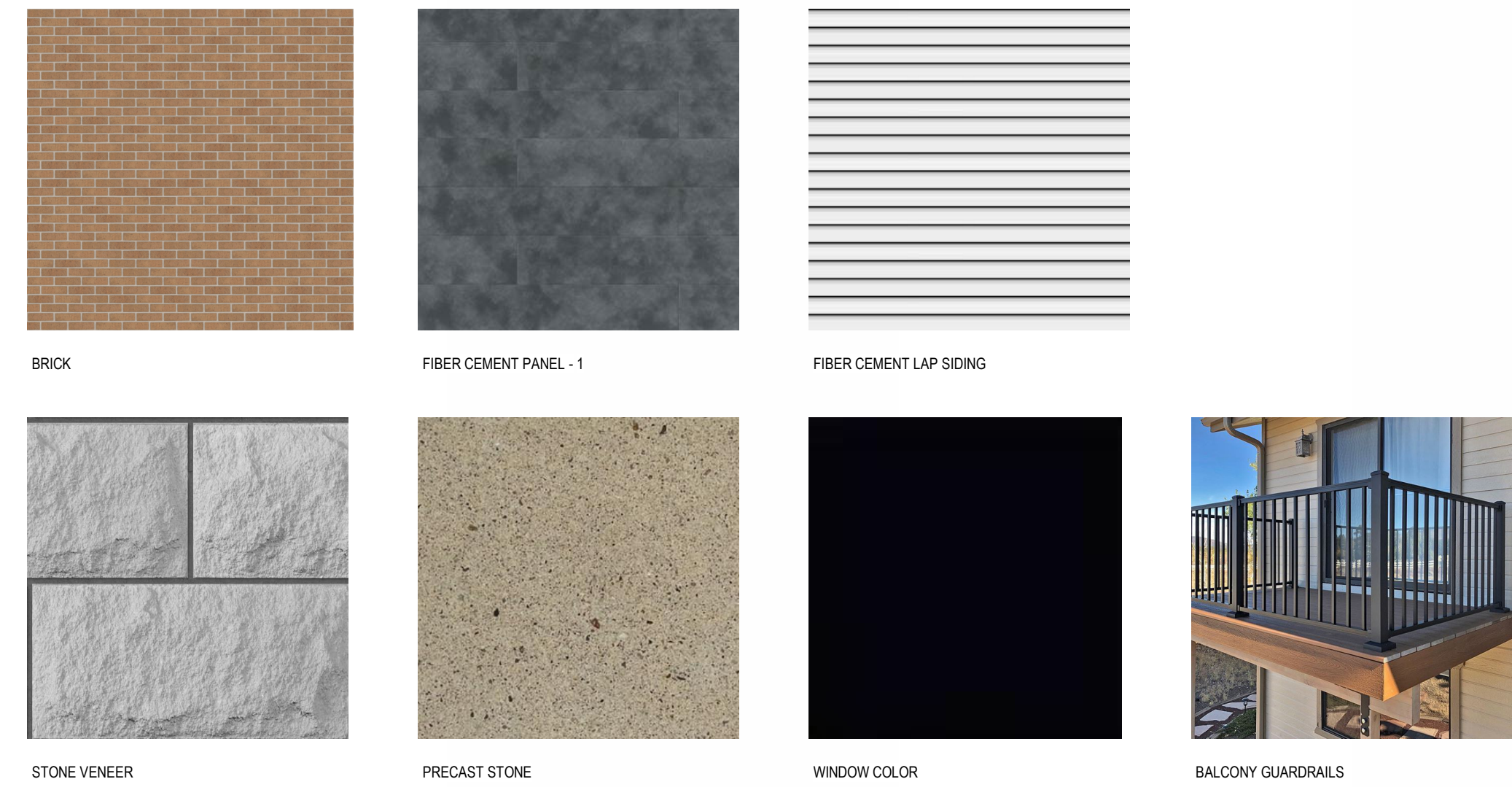
REVISION SCHEDULE

| Mark | Description | Date |
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**EXTERIOR
ELEVATIONS**

SHEET NUMBER
A200

EXTERIOR MATERIALS LEGEND



EXTERIOR ELEVATION NOTES

- COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL, PANEL, JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS. GC SHALL INCLUDE DIMENSIONED JOINT LOCATIONS AS PART OF SHOP DRAWINGS.
- EXTERIOR MATERIALS TO BE BID AND INSTALLED AS SHOWN IN DRAWINGS WITH REGARDS TO SIZE, LOCATION, AND COLOR.

KEYNOTE SCHEDULE

| MARK | NOTE |
|------|------|
|------|------|

EXTERIOR MATERIALS SCHEDULE

| MARK | DESCRIPTION | MANUFACTURER | TYPE / STYLE | DIMENSIONS | COLOR | NOTES |
|------|-----------------------|------------------|--------------|------------|----------------|--------------------------------|
| 1 | MASONRY - SPLIT-FACED | COUNTY MATERIALS | | 8"x16"x4" | BISQUE 18-121C | COLORED MORTAR TO MATCH VENEER |



1 SOUTH ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION SIDE 1
1/8" = 1'-0"



JLA PROJECT NUMBER: 21-1029-01

**BOWMAN PLAZA
MIXED USE**

S.I.P. SUBMITTAL SET

PROGRESS DOCUMENTS
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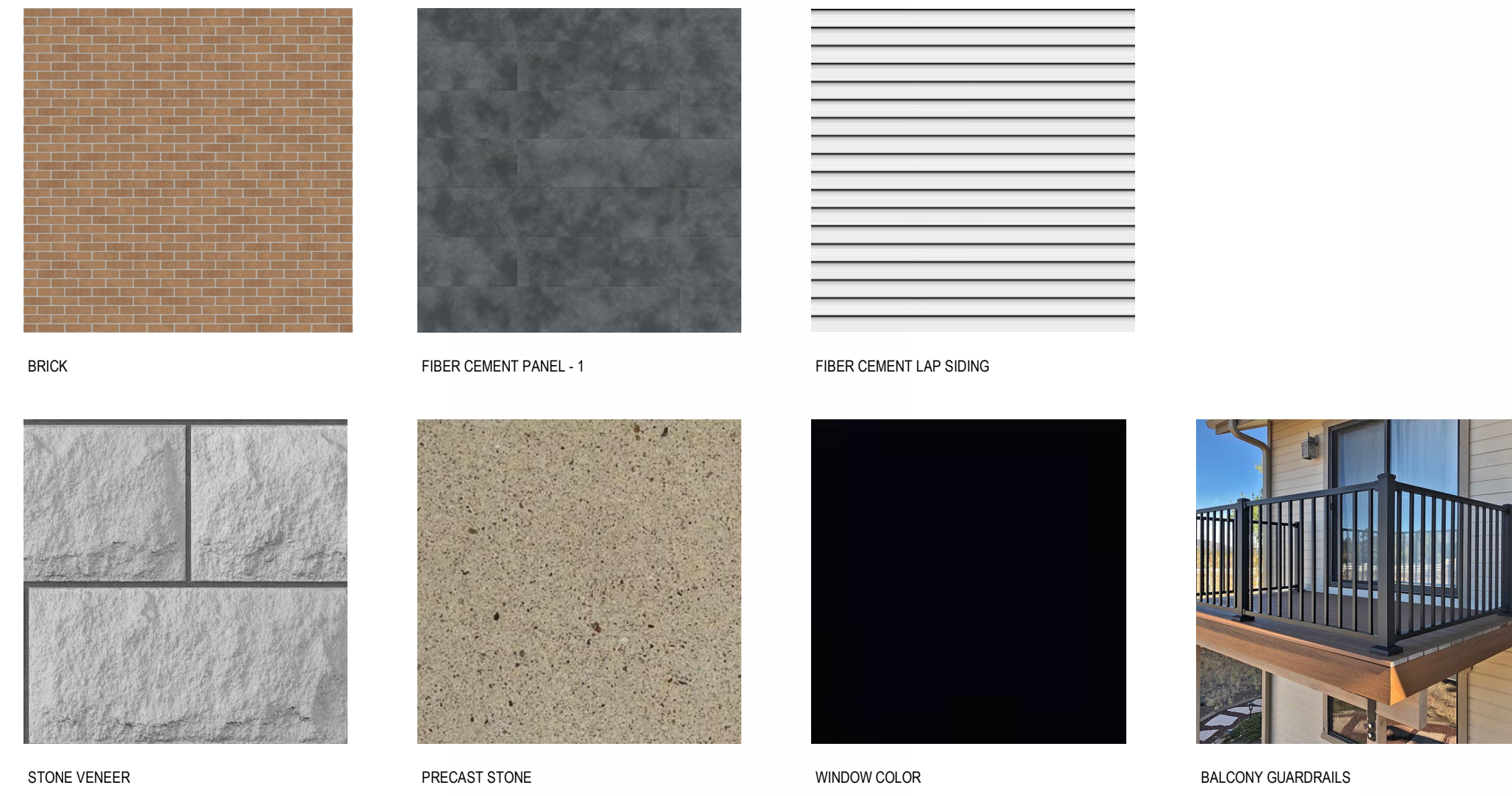
REVISION SCHEDULE

| Mark | Description | Date |
|------|-------------|------|
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SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201

EXTERIOR MATERIALS LEGEND



EXTERIOR ELEVATION NOTES

- COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS. GC SHALL INCLUDE DIMENSIONED JOINT LOCATIONS AS PART OF SHOP DRAWINGS.
- EXTERIOR MATERIALS TO BE BID AND INSTALLED AS SHOWN IN DRAWINGS WITH REGARD TO SIZE, LOCATION, AND COLOR.

KEYNOTE SCHEDULE

| MARK | NOTE |
|------|------|
|------|------|

EXTERIOR MATERIALS SCHEDULE

| MARK | DESCRIPTION | MANUFACTURER | TYPE / STYLE | DIMENSIONS | COLOR | NOTES |
|------|-----------------------|------------------|--------------|------------|----------------|--------------------------------|
| 1 | MASONRY - SPLIT-FACED | COUNTY MATERIALS | | 8"x16"x4" | BISQUE 18-121C | COLORED MORTAR TO MATCH VENEER |



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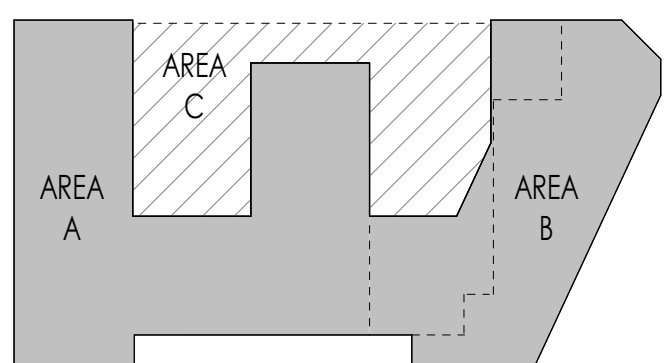
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1 EAST ELEVATION SIDE 2
1/8" = 1'-0"



2 EAST ELEVATION SIDE 3
1/8" = 1'-0"



KEY PLAN

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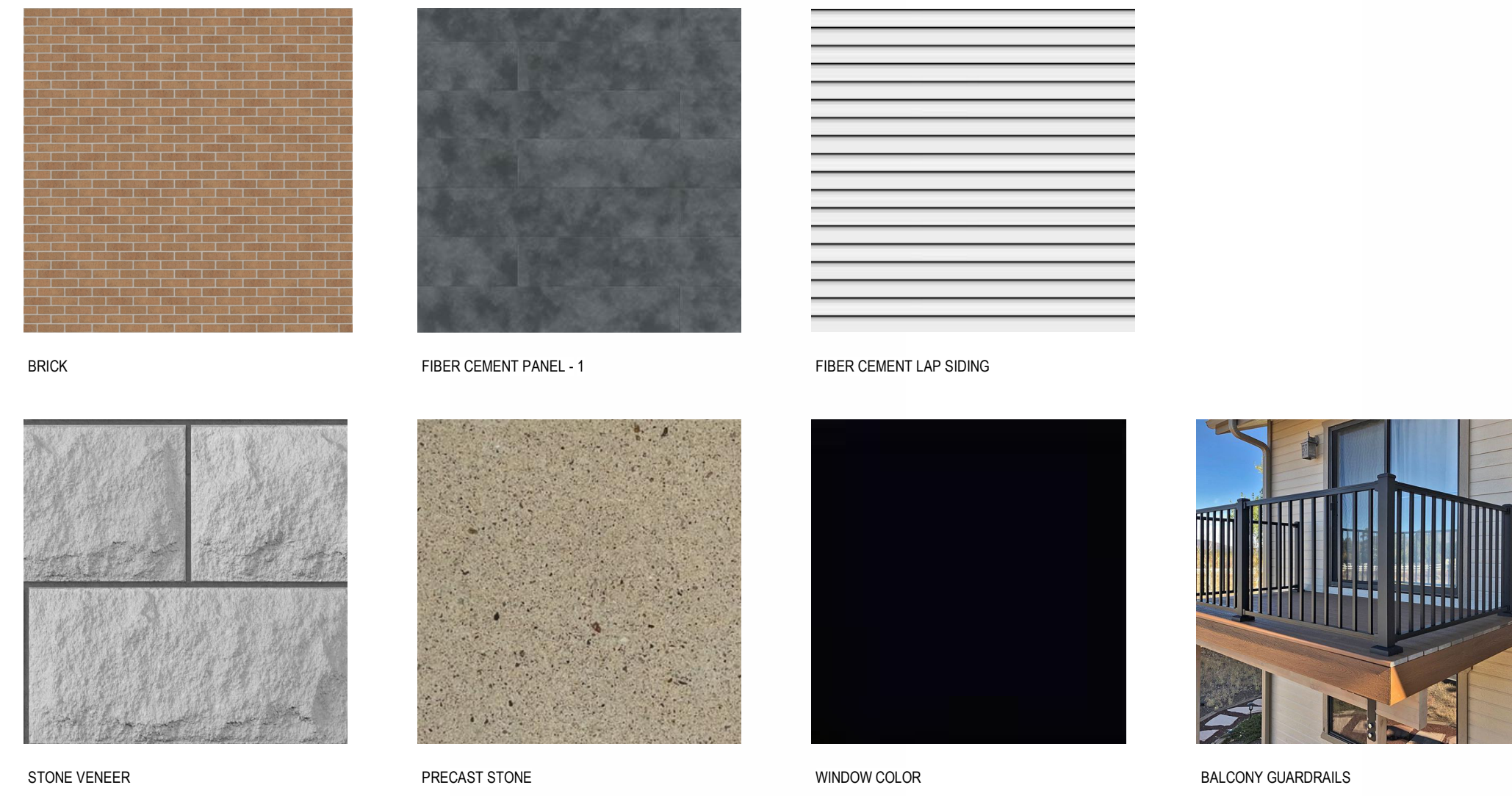
SHEET TITLE

**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A202

EXTERIOR MATERIALS LEGEND



EXTERIOR ELEVATION NOTES

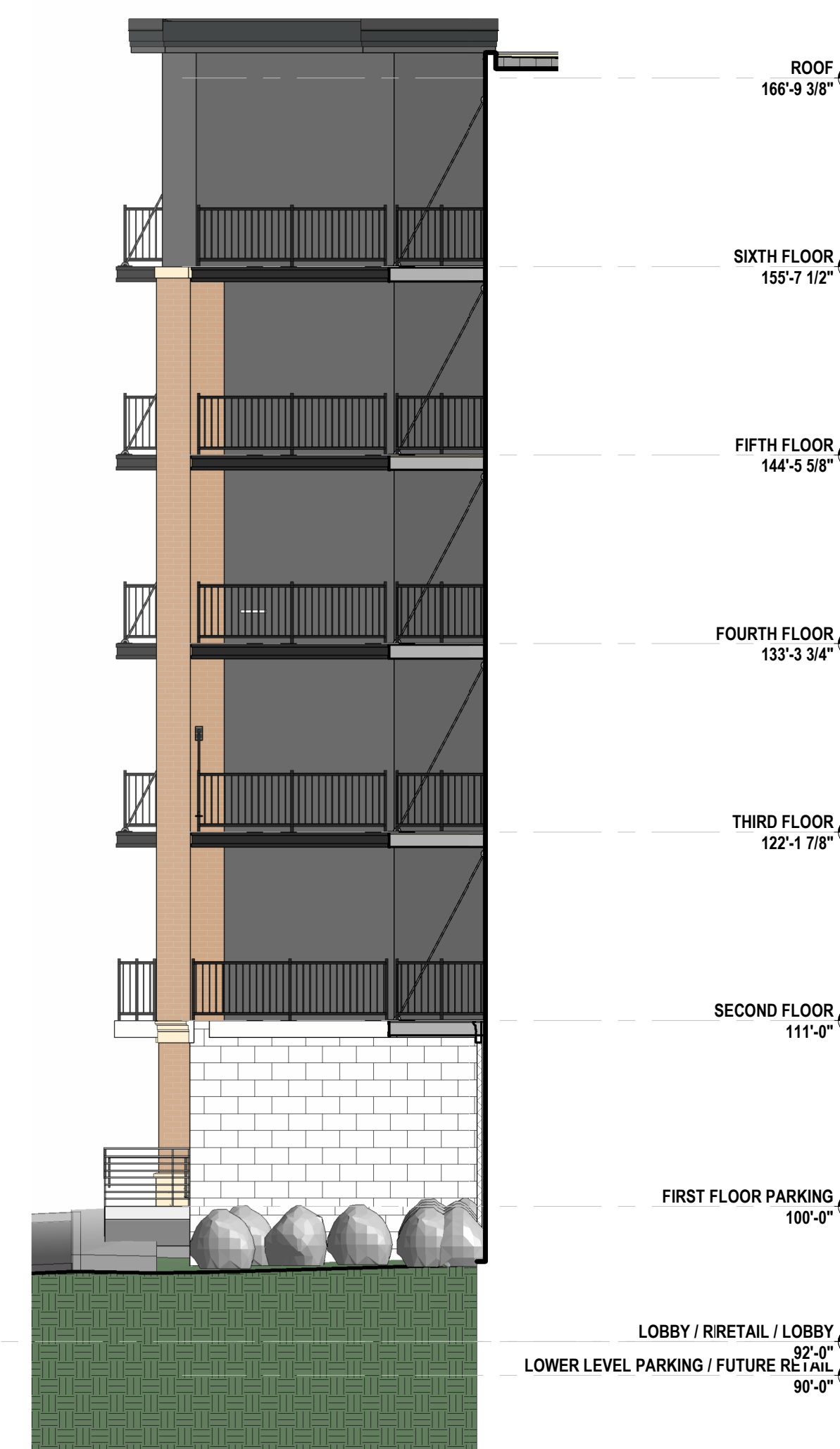
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS. GC SHALL INCLUDE DIMENSIONED JOINT LOCATIONS AS PART OF SHOP DRAWINGS.
- EXTERIOR MATERIALS TO BE BID AND INSTALLED AS SHOWN IN DRAWINGS WITH REGARD TO SIZE, LOCATION, AND COLOR.

KEYNOTE SCHEDULE

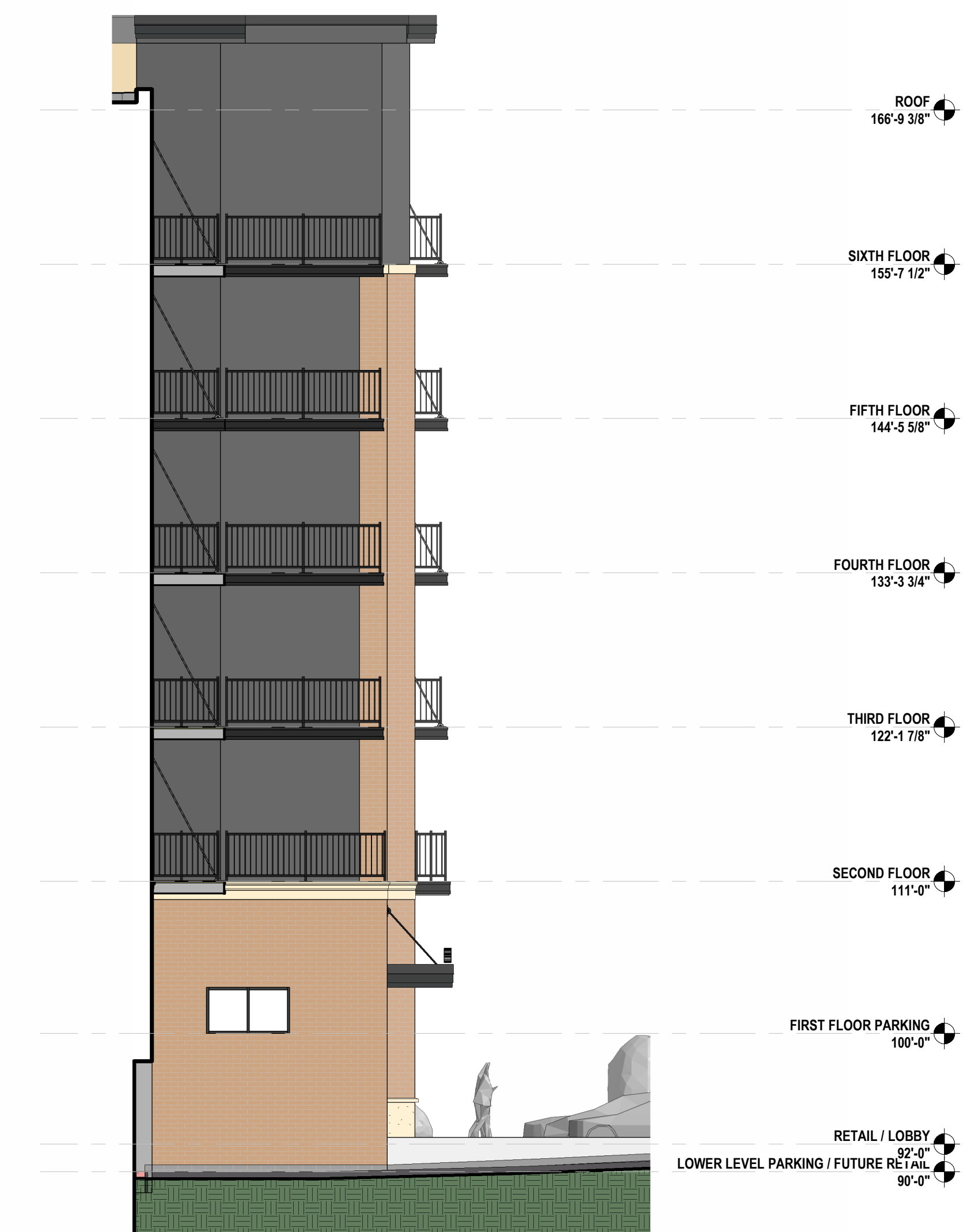
| MARK | NOTE |
|------|------|
|------|------|

EXTERIOR MATERIALS SCHEDULE

| MARK | DESCRIPTION | MANUFACTURER | TYPE / STYLE | DIMENSIONS | COLOR | NOTES |
|------|-----------------------|------------------|--------------|------------|----------------|--------------------------------|
| 1 | MASONRY - SPLIT-FACED | COUNTY MATERIALS | | 8"x16"x4" | BISQUE 18-121C | COLORED MORTAR TO MATCH VENEER |



1. SOUTHWEST SIDE PARTIAL ELEVATION
1/8" = 1'-0"



2. SOUTHEAST SIDE PARTIAL ELEVATION
1/8" = 1'-0"

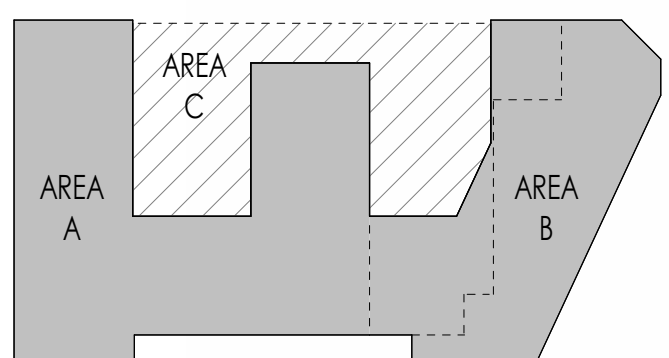


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KEY PLAN

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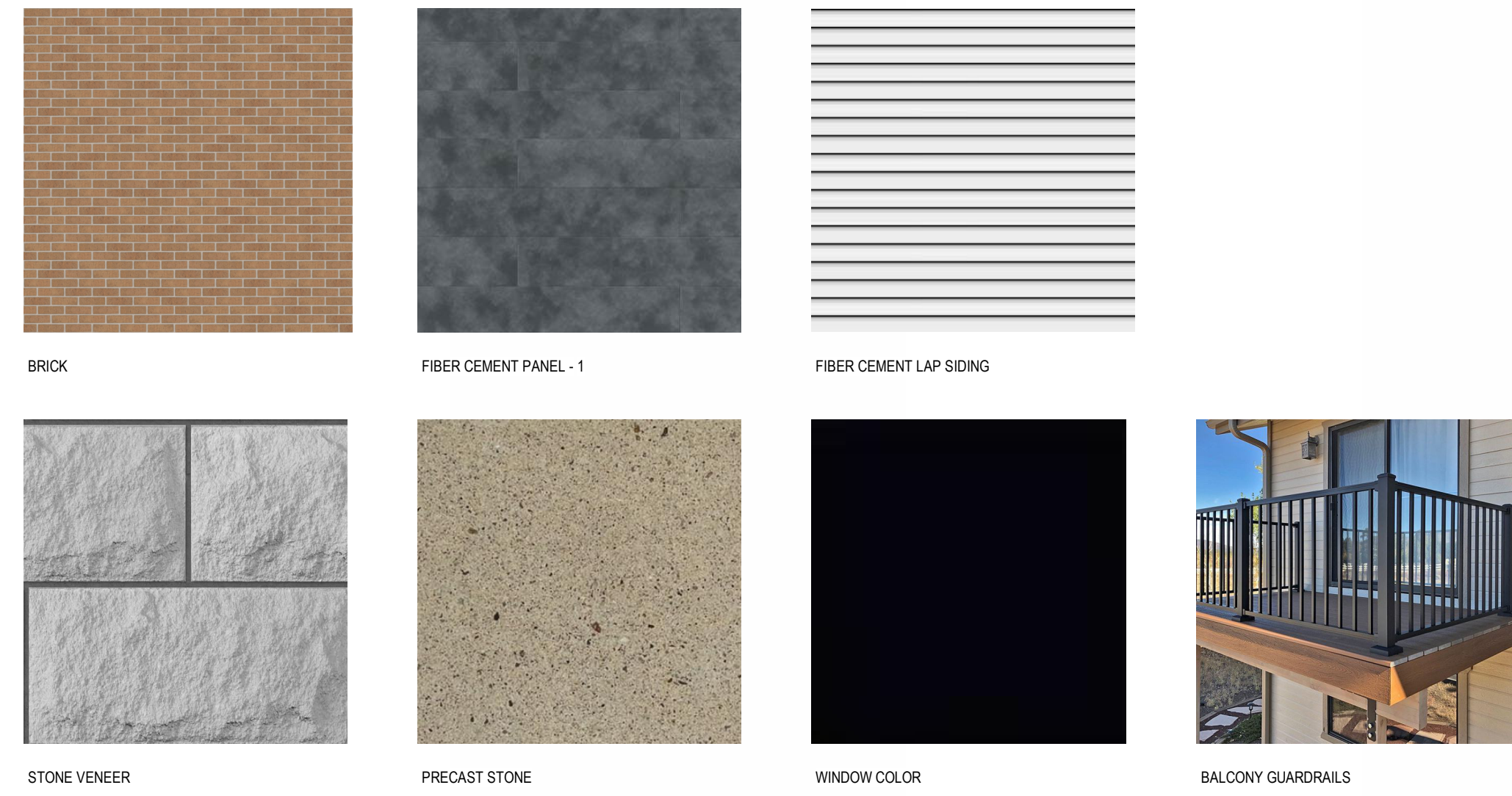
SHEET TITLE

**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A203

EXTERIOR MATERIALS LEGEND



EXTERIOR ELEVATION NOTES

- COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS. GC SHALL INCLUDE DIMENSIONED JOINT LOCATIONS AS PART OF SHOP DRAWINGS.
- EXTERIOR MATERIALS TO BE BID AND INSTALLED AS SHOWN IN DRAWINGS WITH REGARD TO SIZE, LOCATION, AND COLOR.

KEYNOTE SCHEDULE

| MARK | NOTE |
|------|------|
|------|------|

EXTERIOR MATERIALS SCHEDULE

| MARK | DESCRIPTION | MANUFACTURER | TYPE / STYLE | DIMENSIONS | COLOR | NOTES |
|------|-----------------------|------------------|--------------|------------|----------------|--------------------------------|
| 1 | MASONRY - SPLIT-FACED | COUNTY MATERIALS | | 8"x16"x4" | BISQUE 18-121C | COLORED MORTAR TO MATCH VENEER |



1 SOUTH COURT ELEVATION - AREA A
1/8" = 1'-0"



2 NORTHWEST COURT ELEVATION - AREA A
1/8" = 1'-0"



3 NORTHEAST COURT ELEVATION - AREA A
1/8" = 1'-0"

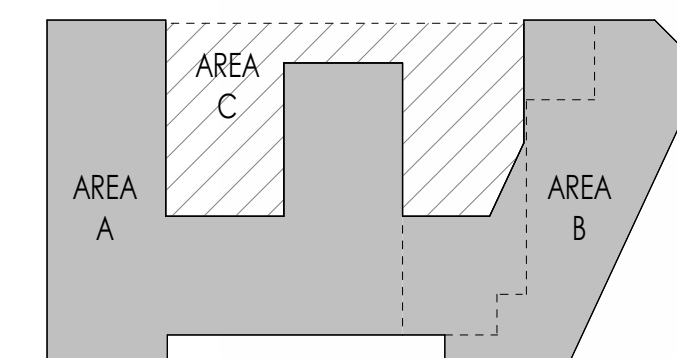


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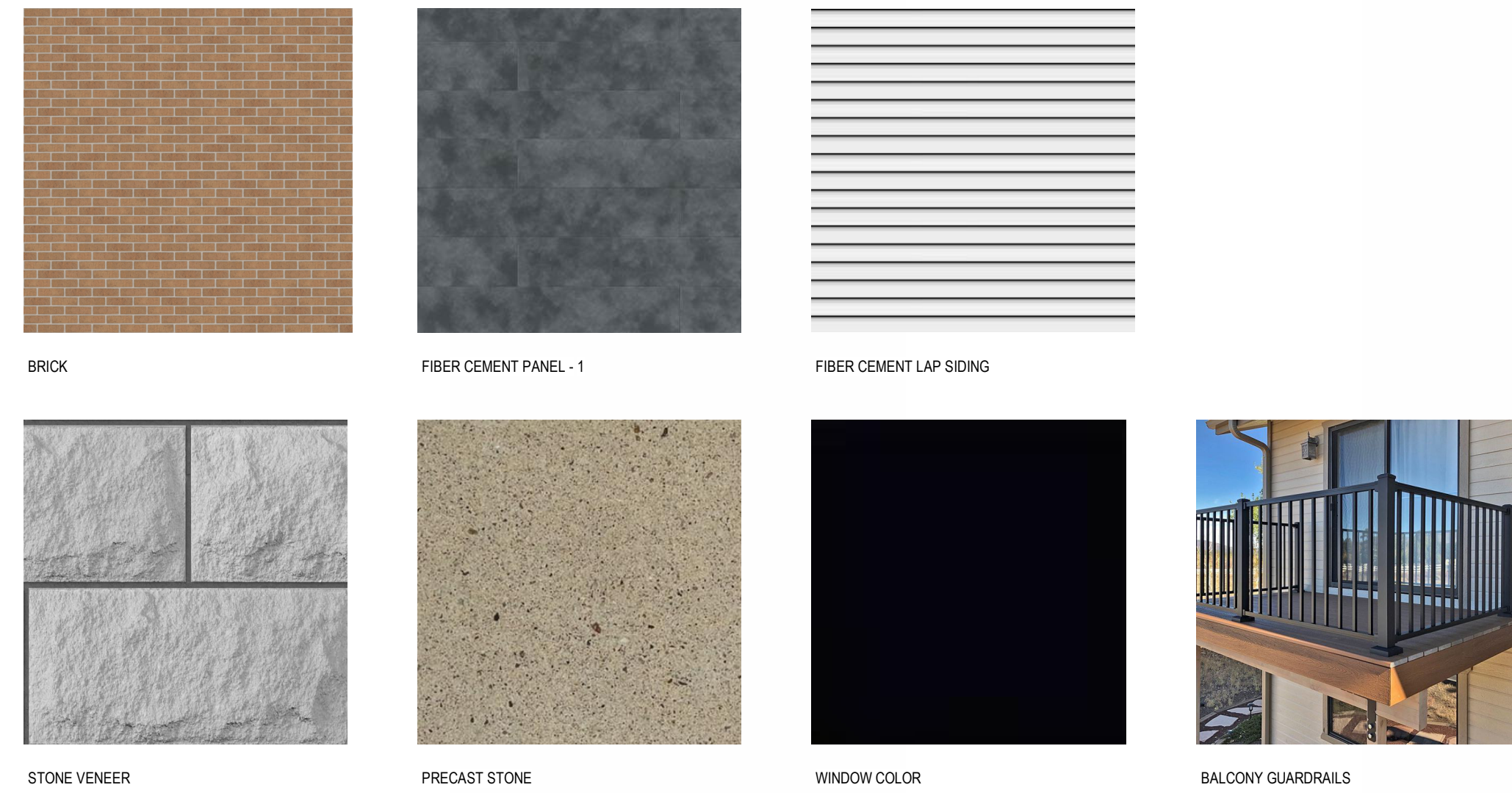
SHEET TITLE

**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A204

EXTERIOR MATERIALS LEGEND



EXTERIOR ELEVATION NOTES

- COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS. GC SHALL INCLUDE DIMENSIONED JOINT LOCATIONS AS PART OF SHOP DRAWINGS.
- EXTERIOR MATERIALS TO BE BID AND INSTALLED AS SHOWN IN DRAWINGS WITH REGARD TO SIZE, LOCATION, AND COLOR.

KEYNOTE SCHEDULE

| MARK | NOTE |
|------|------|
|------|------|

EXTERIOR MATERIALS SCHEDULE

| MARK | DESCRIPTION | MANUFACTURER | TYPE / STYLE | DIMENSIONS | COLOR | NOTES |
|------|-----------------------|------------------|--------------|------------|----------------|--------------------------------|
| 1 | MASONRY - SPLIT-FACED | COUNTY MATERIALS | | 8"x16"x4" | BISQUE 18-121C | COLORED MORTAR TO MATCH VENEER |



4 **SOUTHEAST COURT ELEVATION - AREA B**
1/8" = 1'-0"



3 **SOUTH COURT ELEVATION - AREA B**
1/8" = 1'-0"



1 **NORTHWEST COURT ELEVATION - AREA B**
1/8" = 1'-0"



2 **NORTHEAST COURT ELEVATION - AREA B**
1/8" = 1'-0"

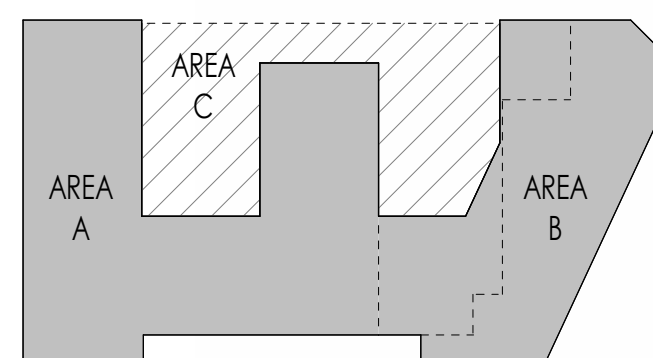


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**EXTERIOR
ELEVATIONS**

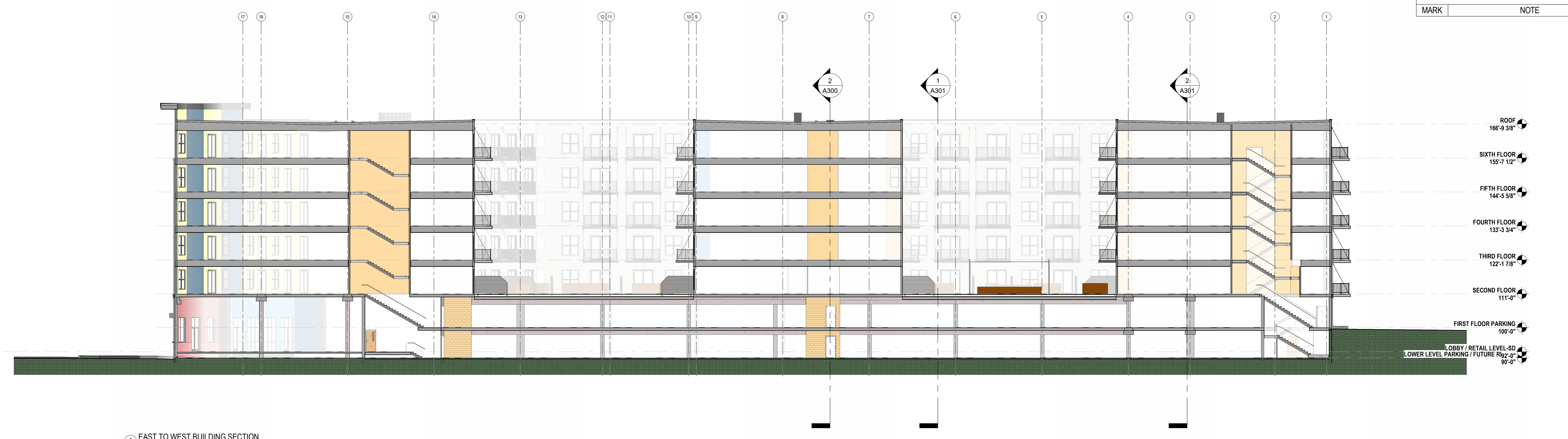
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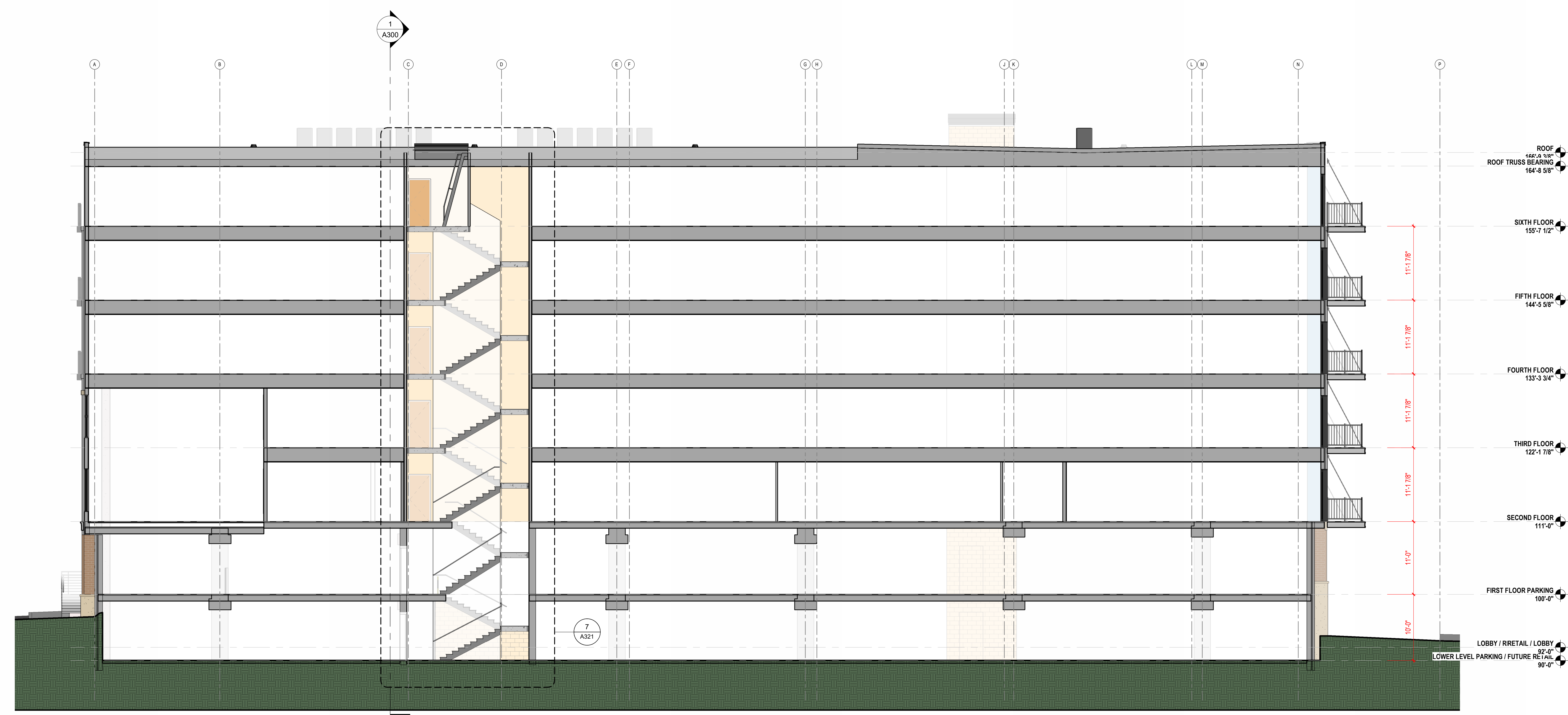
- BUILDING & WALL SECTIONS NOTES**
- FLOOR LEVEL MARKERS REPRESENT TOP OF FLOOR LEVEL.
- GYPCRETE (OR OTHER FLOOR TOPPING AT WOOD-BASED LEVELS)
- TOP OF CONCRETE SLAB OR CONCRETE TOPPING AT CONCRETE-BASED LEVELS.
- VERIFY FINAL FLOOR ELEVATIONS WITH G.C.
 - ROOF, WALL, AND FLOOR DESIGNATION TAGS SHALL TAKE PRECEDENCE OVER ANY COLORED WALL INDICATORS SHOWN IN THE DRAWINGS.
 - LOWER LEVEL SLAB ON GRADE ELEVATIONS VARY DUE TO SLOPE AND DRAINAGE REQUIREMENTS. SEE PLANS FOR SPOT ELEVATIONS.
 - BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS, UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE FROM TOP OF FLOOR LEVEL, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.

KEYNOTE SCHEDULE

| MARK | NOTE |
|------|------|
|------|------|



1 EAST TO WEST BUILDING SECTION
1/8" = 1'-0"



2 NORTH TO SOUTH BUILDING SECTION
1/8" = 1'-0"



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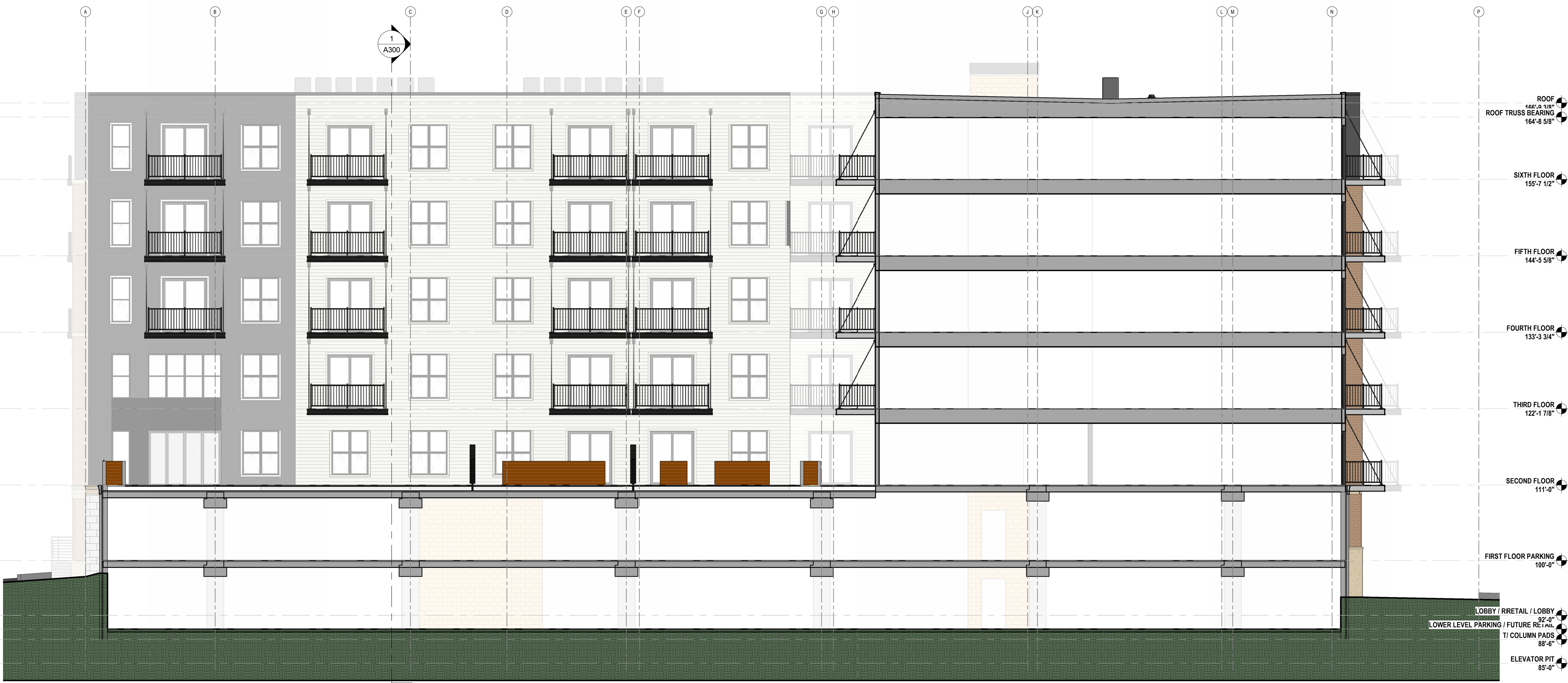
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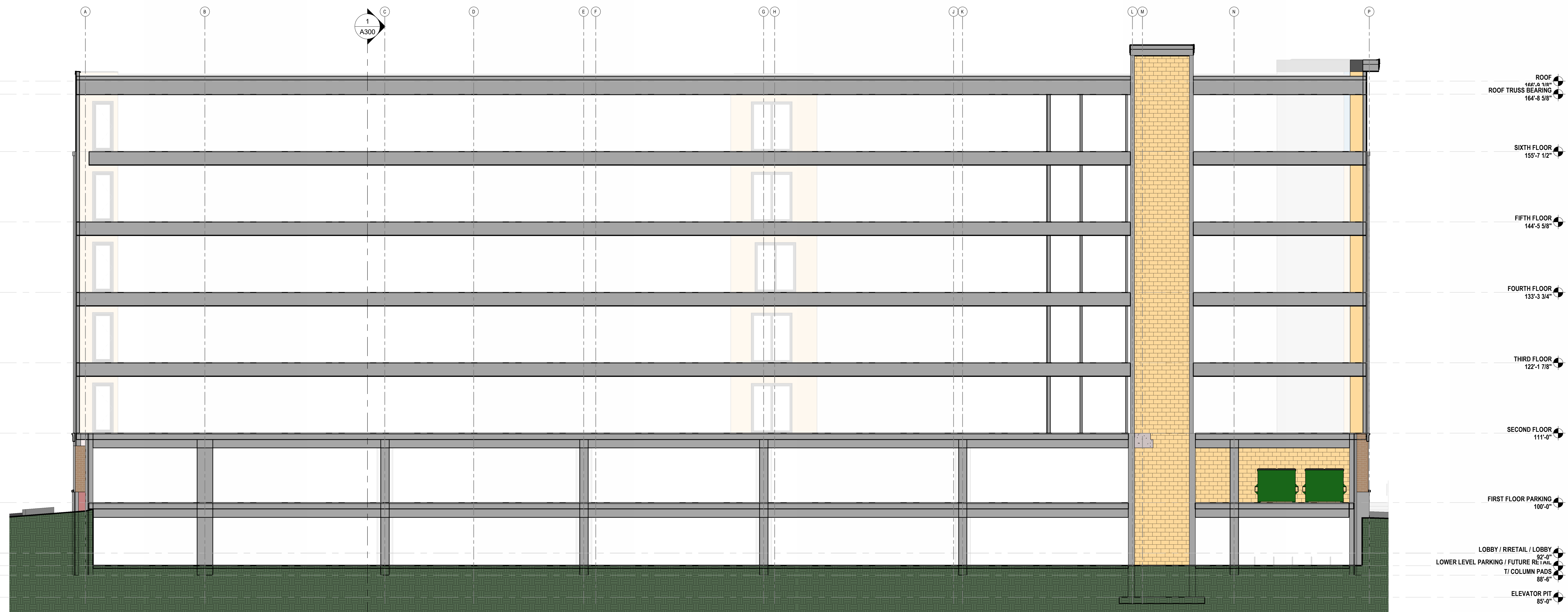
BUILDING SECTIONS

SHEET NUMBER

A300



1 NORTH TO SOUTH BUILDING SECTION AT COURTYARD
1/8" = 1'-0"



2 NORTH TO SOUTH BUILDING SECTION 1
1/8" = 1'-0"

- BUILDING & WALL SECTIONS NOTES**
- FLOOR LEVEL MARKERS REPRESENT TOP OF FLOOR LEVEL.
- GYPCRETE (OR OTHER FLOOR TOPPING) AT WOOD-BASED LEVELS.
- TOP OF CONCRETE SLAB OR CONCRETE TOPPING AT CONCRETE-BASED LEVELS.
- VERIFY FINAL FLOOR ELEVATIONS WITH G.C.
 - ROOF, WALL, AND FLOOR DESIGNATION TAGS SHALL TAKE PRECEDENCE OVER ANY COLORED WALL INDICATORS SHOWN IN THE DRAWINGS.
 - LOWER LEVEL SLAB ON GRADE ELEVATIONS VARY DUE TO SLOPE AND DRAINAGE REQUIREMENTS. SEE PLANS FOR SPOT ELEVATIONS.
 - BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS, UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE FROM TOP OF FLOOR LEVEL, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.

KEYNOTE SCHEDULE

| MARK | NOTE |
|------|------|
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BUILDING SECTIONS

SHEET NUMBER
A301




Conditional Use - Owner or Authorized Agent Acknowledgement

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting a CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

By signing below, I certify that the information included with this Conditional Use application is true and correct, to the best of my knowledge. Any agent signing below verifies that he/she has the consent of the owner to file the application.



Owner's or Authorized Agent's Signature

03/24/2026

Date (DD/MM/YYYY)