

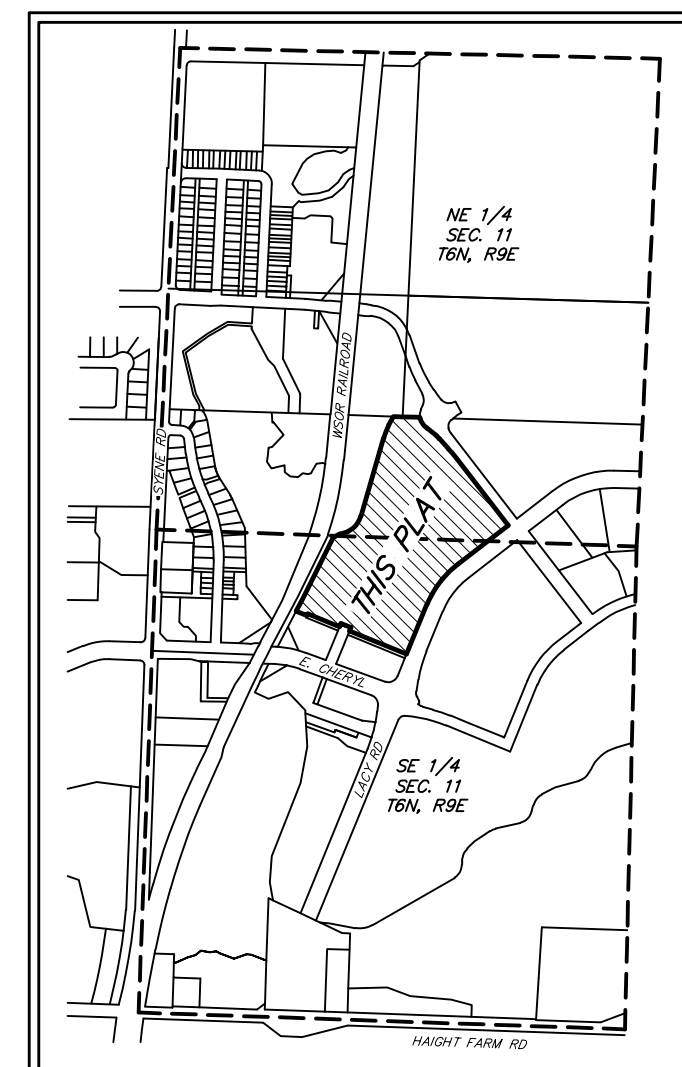
EIGHTH ADDITION TO NINE SPRINGS

ALL OF OUTLOT 1, CERTIFIED SURVEY MAP NUMBER 15162, AS RECORDED IN VOLUME 107 OF CERTIFIED SURVEY MAPS, ON PAGES 249-256, AS DOCUMENT NUMBER 5498222, DANE COUNTY REGISTRY AND ALL OF OUTLOT 33, FOURTH ADDITION TO NINE SPRINGS, AS RECORDED IN VOLUME 60-070B OF PLATS, ON PAGES 376-377, AS DOCUMENT NUMBER 5303444, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 11 AND THE SOUTHWEST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

CURVE DATA							
NUMBER	ARC LENGTH	RADIUS	CENTRAL ANGLE	CHORD	CHORD BEARING	TAN. IN	TAN. OUT
C1	163.43'	137.50'	68°05'58"	153.98'	N50°04'09"E	N84°07'08"E	N16°01'10"E
C2	45.81'	137.50'	19°05'20"	45.60'	N74°34'28"E		
C3	117.62'	137.50'	49°00'38"	114.06'	N40°31'29"E		
C4	78.40'	362.50'	12°23'30"	78.25'	N22°12'55"E	N28°24'40"E	N16°01'10"E
C5	72.42'	83.00'	49°59'29"	70.14'	S33°15'39"E	S08°15'55"E	S58°15'24"E
C6	95.39'	335.00'	16°18'56"	95.07'	S50°05'56"E	S58°15'24"E	S41°56'28"E
C7	67.30'	335.00'	11°30'38"	67.19'	S52°30'05"E		
C8	24.19'	335.00'	04°08'14"	24.18'	S44°40'39"E		
C9	3.90'	335.00'	00°40'04"	3.90'	S42°16'30"E		
C10	73.32'	970.00'	04°19'51"	73.30'	S39°46'33"E	S37°36'37"E	S41°56'28"E
C11	288.07'	548.00'	30°07'07"	284.76'	S37°19'49"W	S52°23'23"W	S22°16'16"W
C12	120.47'	548.00'	12°35'45"	120.23'	S46°05'30"W		
C13	60.03'	548.00'	06°16'35"	60.00'	S36°39'21"W		
C14	107.56'	548.00'	11°14'47"	107.39'	S27°53'39"W		
C15	452.10'	860.00'	30°07'12"	446.91'	N37°19'46"E	N22°16'10"E	N52°23'23"E
C16	9.16'	860.00'	00°36'37"	9.16'	N22°34'28"E		
C17	212.91'	860.00'	14°11'04"	212.36'	N29°58'19"E		
C18	98.96'	860.00'	06°35'35"	98.91'	N40°21'38"E		
C19	123.96'	860.00'	08°15'30"	123.85'	N47°47'11"E		
C20	7.11'	860.00'	00°28'26"	7.11'	N52°09'09"E		
C21	132.70'	800.00'	09°30'15"	132.55'	S47°38'15"W	S52°23'23"W	S42°53'08"W
C22	227.69'	800.00'	16°18'25"	226.92'	S30°25'23"W	S38°34'35"W	S22°16'10"W

- Notes (from Nine Springs plat, Doc. No. 4871633):**
- 6' Wide Underground Public Utility Easement, no poles or buried cables are to be placed such that the installation would disturb any survey stake or obstruct vision along any lot line. The disturbance of a survey monument by anyone is a violation of Section 236.32 of Wisconsin Statutes. Utility easements as herein set forth are for the use of public bodies and private public utilities having the right to serve the area.
 - Utility Easements: The final grade shall not be altered by more than six inches (6") without written consent of the Utility(s) involved.
 - Permanent Limited Easement (PLE) for retaining wall structure encroachment. Easement is for the construction and periodic maintenance of a retaining wall structure. This easement and structure shall not adversely impair the property owner's ability to construct improvements within this easement. Improvements include, but are not limited to: parking areas, signs, sidewalks, fences, retaining walls and landscaping. All maintenance of the retaining wall structure for which this plat is granted, including replacement/repair of improvements affected by such maintenance shall be the responsibility of the municipality.
 - Upon future development of Outlots 7, 9 and 10 developable lots abutting Central Park Place shall be deed restricted such that all buildings constructed on these lots shall be sprinklered.
 - Except for light poles, no above ground pedestals, transformers or other switch equipment shall be allowed within street rights-of-way or along the front yards of the lots. Said above ground structures shall be allowed at rear yards or where specifically called out on this plat.
 - Upon future development of Outlots 1, 2, 4, 5, 7, 8, 9, 10, 11, 12, 14, 15, and 17 additional parkland dedication may be required. The ultimate location, size and configuration of said dedicated parkland shall be determined during the formal land division process and shall be subject to final approval by the City of Fitchburg.
 - In the event that Outlot 9 develops prior to development of Outlot 7, Outlot 7 may be required to grant a sanitary sewer easement for connection of Lots within Outlot 9 to City services. In the event that Outlot 7 develops prior to Outlot 9, an easement for future sanitary sewer to serve Outlot 9 may be required over Outlot 7.
 - Additional right-of-way dedication may be obtained from Outlots 7, 9 and 10 to accommodate future intersection improvements at Lacy Road and Central Park Place to avoid conflicts with U.S.H. 14 or its interchange with Lacy Road, as outlined on exhibit 5 of the technical memorandum titled "Nine Springs neighborhood planning analysis" and dated April 16, 2012.
 - Noise note:
The lots of this land division may experience noise at levels exceeding the levels in s.Trans 405.04, Table 1. These levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing State Trunk Highways or connecting highways, in the absence of any increase by the Department to the highway's through-lane capacity.

LOCATION MAP (NOT TO SCALE)



- Notes (from Fourth Addition to Nine Springs plat, Doc. No. 5303444):**
- Upon future development of Outlot 32 and/or 33 of this plat, additional parkland dedication may be required. The ultimate location, size and configuration of said dedicated parkland shall be determined during the formal land division process and shall be subject to final approval by the City of Fitchburg.
 - Upon future development of Outlot 32 and/or 33 of this plat, additional right-of-way dedication for Stanley Park Place north to Outlot 8, Nine Springs will be required.
 - Improvements, including, but not limited to, pavement, sidewalk, and landscaping are allowed within the 24' wide public underground utility easements, the 12' wide public underground utility easements, and 6' wide public underground utility easements created by this Plat.

- Additional Notes:**
- Upon future development of Outlot 49 of this Plat, additional right-of-way dedication may be required to accommodate future intersection improvements at Lacy Road and Central Park Place.
 - Upon future development of Outlot 49 and/or 50 of this plat, additional parkland dedication may be required. The ultimate location, size and configuration of said dedicated parkland shall be determined during the formal land division process and shall be subject to final approval by the City of Fitchburg.
 - Upon future development of Outlot 49, developable Lots abutting Central Park Place shall be deed restricted such that all buildings constructed on these Lots shall be sprinklered.
 - In lieu of paying MMSD and Syene Road Interceptor fees, Outlots 49 and 50 will need deed restrictions filed within 30 days of recording the Plat. MMSD and Syene Road Interceptor fees are due and payable upon development or connection to sanitary sewer, whichever comes first.
 - Lots 71 and 72 will need deed restrictions filed within 30 days of recording the Plat such that buildings constructed on these Lots shall be sprinklered.

SURVEY LEGEND

- FOUND 3/4" # IRON ROD
 - ▲ FOUND P.K. NAIL
 - SET 1-1/4" x 18" SOLID IRON RE-ROD, MIN. WT. 4.30 lbs./ft. ALL OTHER LOT AND OUTLOT CORNERS MARKED BY A 3/4" x 18" SOLID IRON RE-ROD WT. 1.50 lbs./ft.
 - () INDICATES RECORDED AS
 - ← DRAINAGE ARROW
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT
- 12" WIDE UNDERGROUND PUBLIC UTILITY EASEMENT. NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINE. THE DISTURBANCE OF A SURVEY MONUMENT BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.

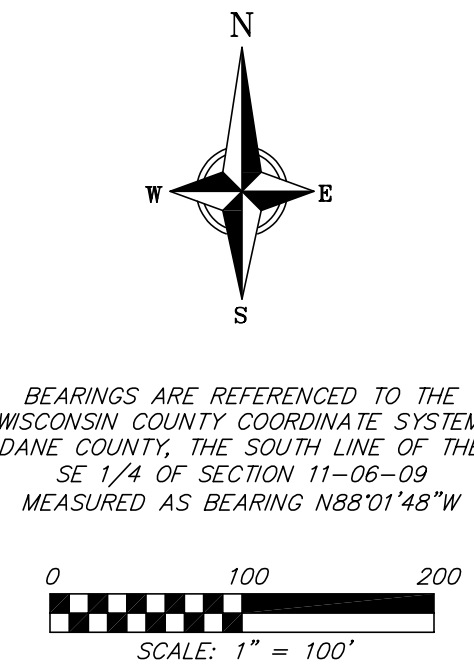
LINE TABLE		
NUMBER	DIRECTION	LENGTH
L1	N22°16'10"E	20.00'
L2	N67°43'44"W	60.00'
L3	S22°16'10"W	20.00'
L4	S22°16'10"W	12.00'
L5	N61°41'23"E	41.15'

- NOTES:**
- All streets shown with the boundaries of this plat are to be dedicated to the public for roadway purposes.
 - See sheets 2 and 3 for Easements.

OUTLOT AREA TABLE:

- OUTLOT 41 = 4,032 SQ. FT. OR 0.092 ACRES
- OUTLOT 42 = 1,824 SQ. FT. OR 0.042 ACRES
- OUTLOT 43 = 10,372 SQ. FT. OR 0.238 ACRES

- OUTLOT 45:** "RESERVED FOR PRIVATE ALLEY PURPOSES FOR ALL LOTS AND OUTLOTS OF THIS PLAT."
- OUTLOT 46:** "RESERVED FOR PRIVATE ALLEY PURPOSES FOR ALL LOTS AND OUTLOTS OF THIS PLAT."
- OUTLOT 47:** "RESERVED FOR PRIVATE ALLEY PURPOSES FOR ALL LOTS AND OUTLOTS OF THIS PLAT."
- OUTLOT 48:** "RESERVED FOR STORMWATER MANAGEMENT PURPOSES"
- OUTLOT 49:** "RESERVED FOR FUTURE DEVELOPMENT"
- OUTLOT 50:** "RESERVED FOR FUTURE DEVELOPMENT"



TOTAL PLAT AREA = 753,482 SQ. FT. (17.298 ACRES)

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

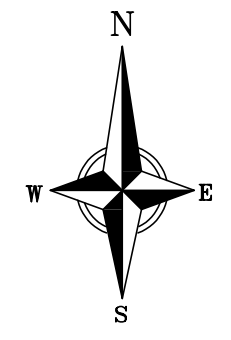
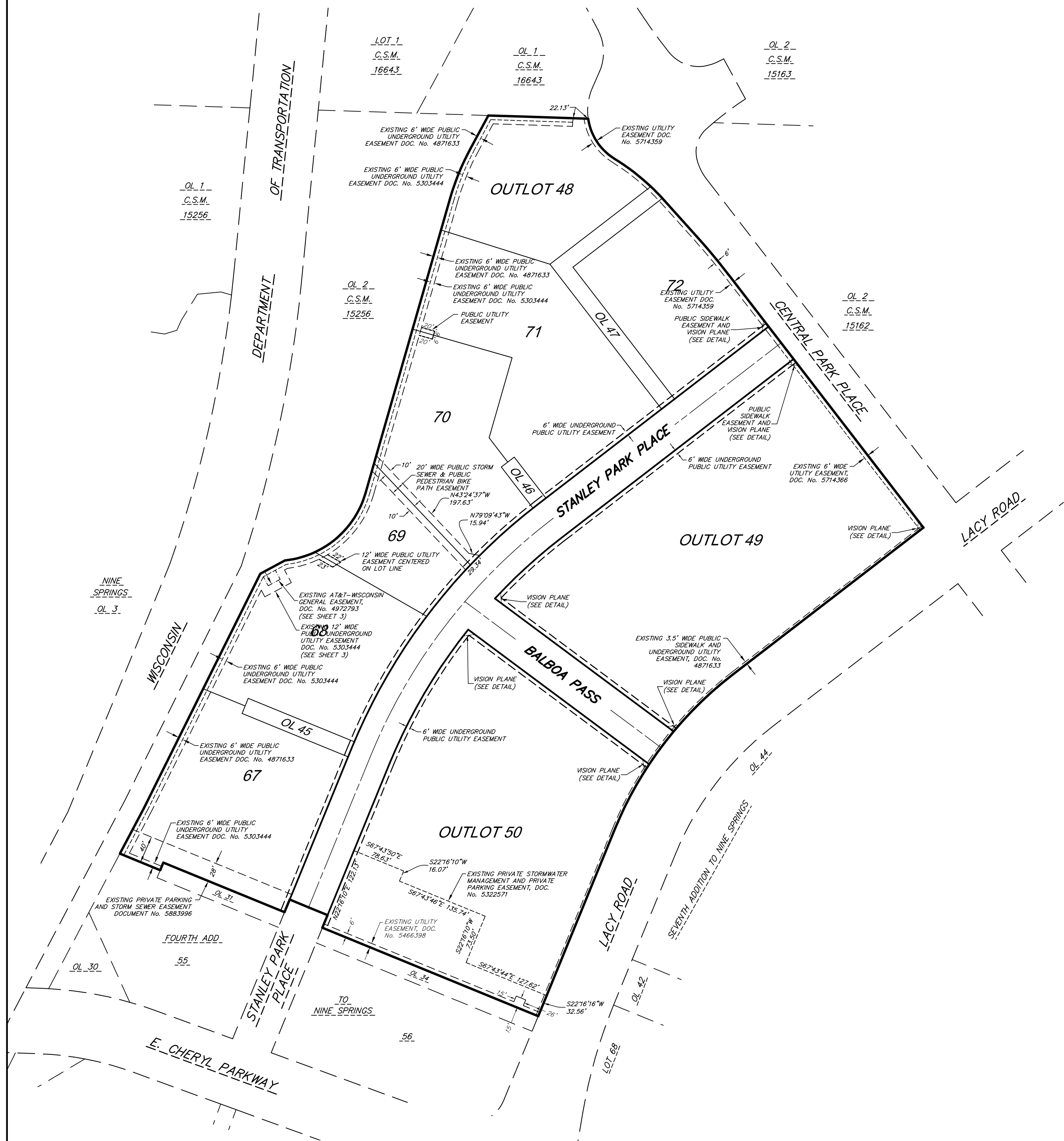
Department of Administration

<p>vierbicher advisors / engineers / surveyors</p>	Drafted by: KPAP Checked by: JZAM FN: 210233 Date: 02/13/2026 Rev: _____ Rev: _____ Rev: _____	SURVEYED BY: Vierbicher Associates, Inc. By: Kevin J. Pope 525 Junction Road, Suite 7000 Madison, WI 53715 (608) 821-3955	SURVEYED FOR: Green-Tech Land Company, LLC 120 E. Lakeside Street Madison, WI 53715 (608) 294-4086
	SHEET 1 OF 3		

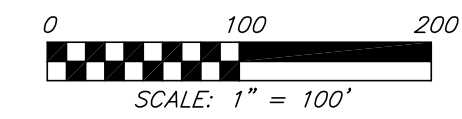
EIGHTH ADDITION TO NINE SPRINGS

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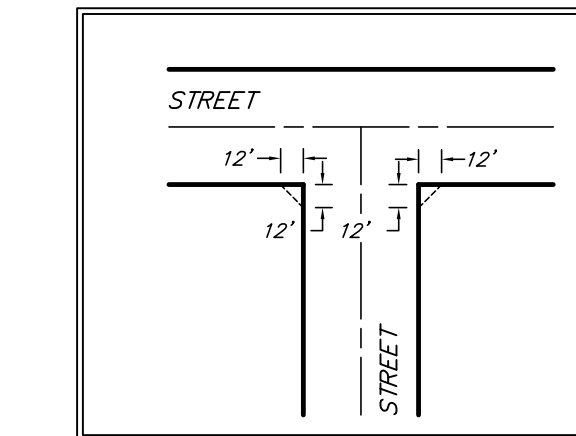
EXISTING & NEW EASEMENTS DETAIL



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE SOUTH LINE OF THE SE 1/4 OF SECTION 11-06-09 MEASURED AS BEARING N88°01'48\"/>

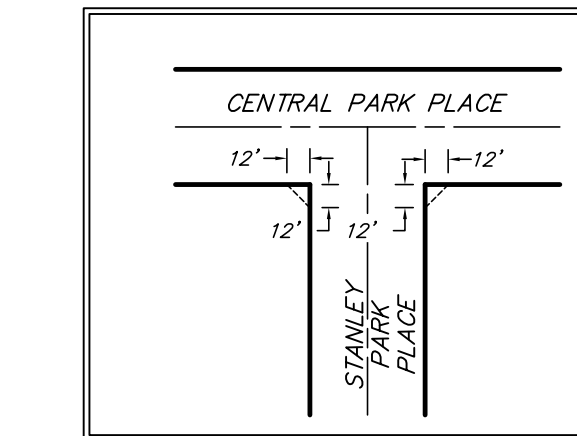


TYPICAL VISION PLANE DETAIL
VISION PLANES REQUIRED AT ALL INTERSECTIONS
DETAIL NOT TO SCALE



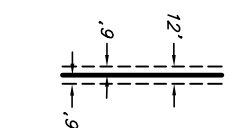
NOTE: VISION PLANE AREAS SHALL HAVE NO PLANTINGS OR OBSTRUCTIONS OVER TWO (2) FEET IN HEIGHT

TYPICAL PUBLIC SIDEWALK EASEMENT AND VISION PLANE DETAIL
DETAIL NOT TO SCALE



NOTE: PUBLIC SIDEWALK EASEMENT AND VISION PLANE AREAS SHALL HAVE NO PLANTINGS OR OBSTRUCTIONS OVER TWO (2) FEET IN HEIGHT

PUBLIC UTILITY EASEMENT DETAIL

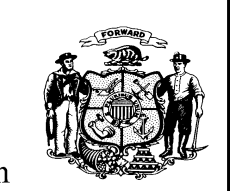



12' WIDE UNDERGROUND PUBLIC UTILITY EASEMENT. NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINE. THE DISTURBANCE OF A SURVEY MONUMENT BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

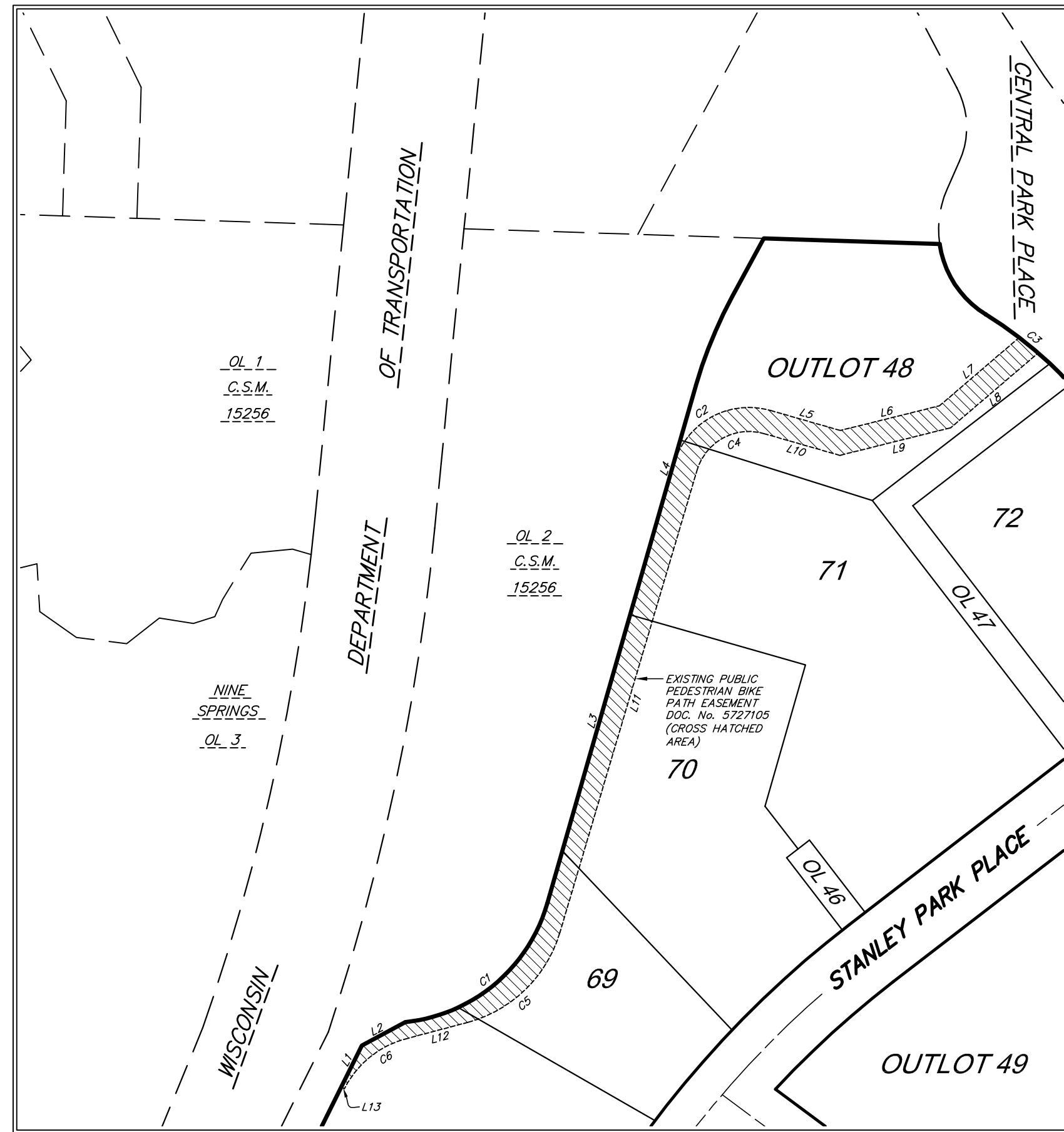


 vierbicher advisors / engineers / surveyors	Drafted by: KPAP	SURVEYED FOR: Vierbicher Associates, Inc. By: Kevin J. Pope 525 Junction Road, Suite 7000 Madison, WI 53717 (608) 821-3955	SURVEYED FOR: Green-Tech Land Company, LLC 120 E. Lakeside Street Madison, WI 53715 (608) 294-4086
	Checked by: JZAM		
	FN: 210233		
	Date: 02/13/2026		
	Rev:		

EIGHTH ADDITION TO NINE SPRINGS

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EXISTING PUBLIC PEDESTRIAN BIKE PATH EASEMENT DETAIL, DOC. #5727105



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE SOUTH LINE OF THE SE 1/4 OF SECTION 11-06-09 MEASURED AS BEARING N88°01'48"W

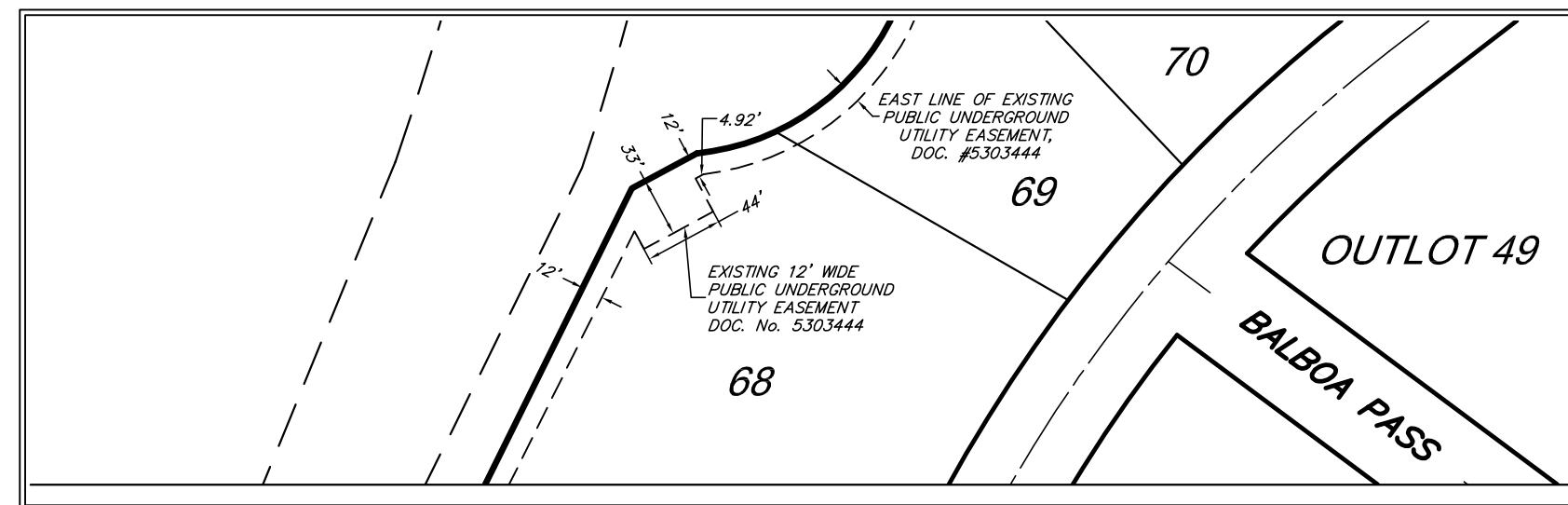
SCALE: 1" = 100'

LINE TABLE		
LINE NUMBER	DIRECTION	LENGTH
L1	N26°23'48"E	38.42'
L2	N61°41'23"E	41.15'
L3	N16°01'10"E	345.31'
L4	N16°31'04"E	35.86'
L5	S73°58'50"E	60.40'
L6	N76°01'10"E	85.01'
L7	N49°27'03"E	87.42'
L8	S49°27'03"W	95.74'
L9	S76°01'10"W	95.09'
L10	N73°58'50"W	65.76'
L11	S16°31'04"W	401.22'
L12	S75°06'06"W	52.98'
L13	N63°19'23"W	3.00'

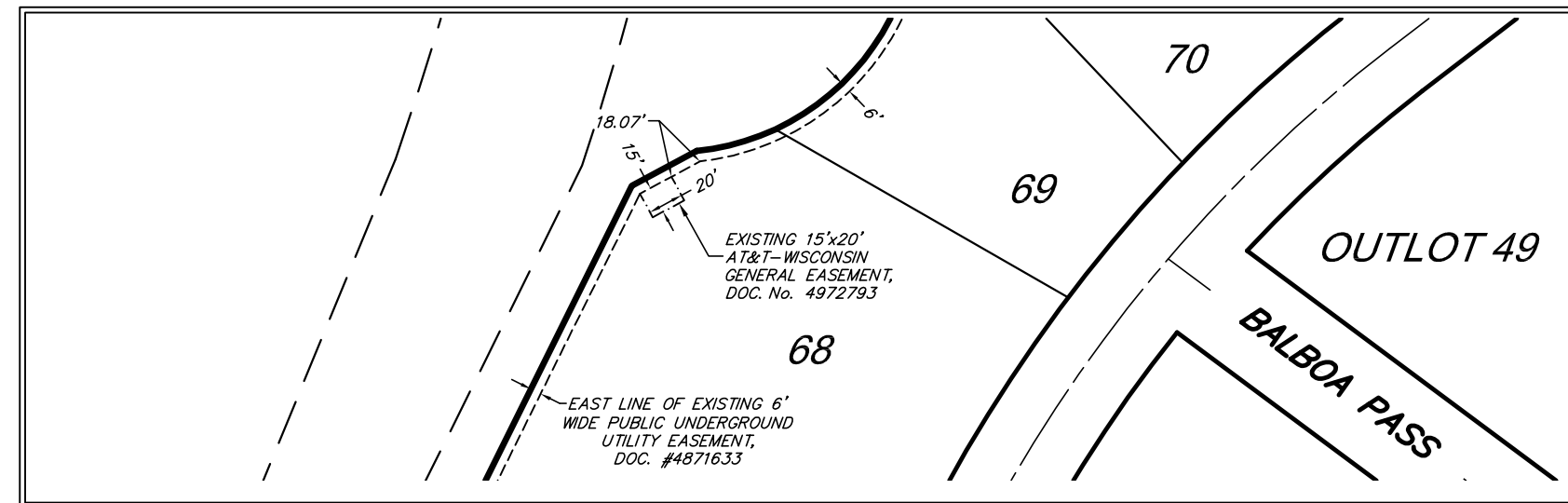
EASEMENT CURVE TABLE

CURVE TABLE					
CURVE NUMBER	ARC LENGTH	RADIUS	CENTRAL ANGLE	CHORD DIRECTION	CHORD LENGTH
C1	163.43'	137.50'	68°05'57"	N50°04'09"E	153.98'
C2	101.54'	65.00'	89°30'06"	N61°16'07"E	91.52'
C3	20.32'	335.00'	3°28'34"	S50°44'32"E	20.32'
C4	70.29'	45.00'	89°30'06"	S61°16'07"W	63.36'
C5	112.47'	110.00'	58°35'02"	S45°48'35"W	107.64'
C6	67.61'	80.00'	48°25'32"	S50°33'20"W	65.62'

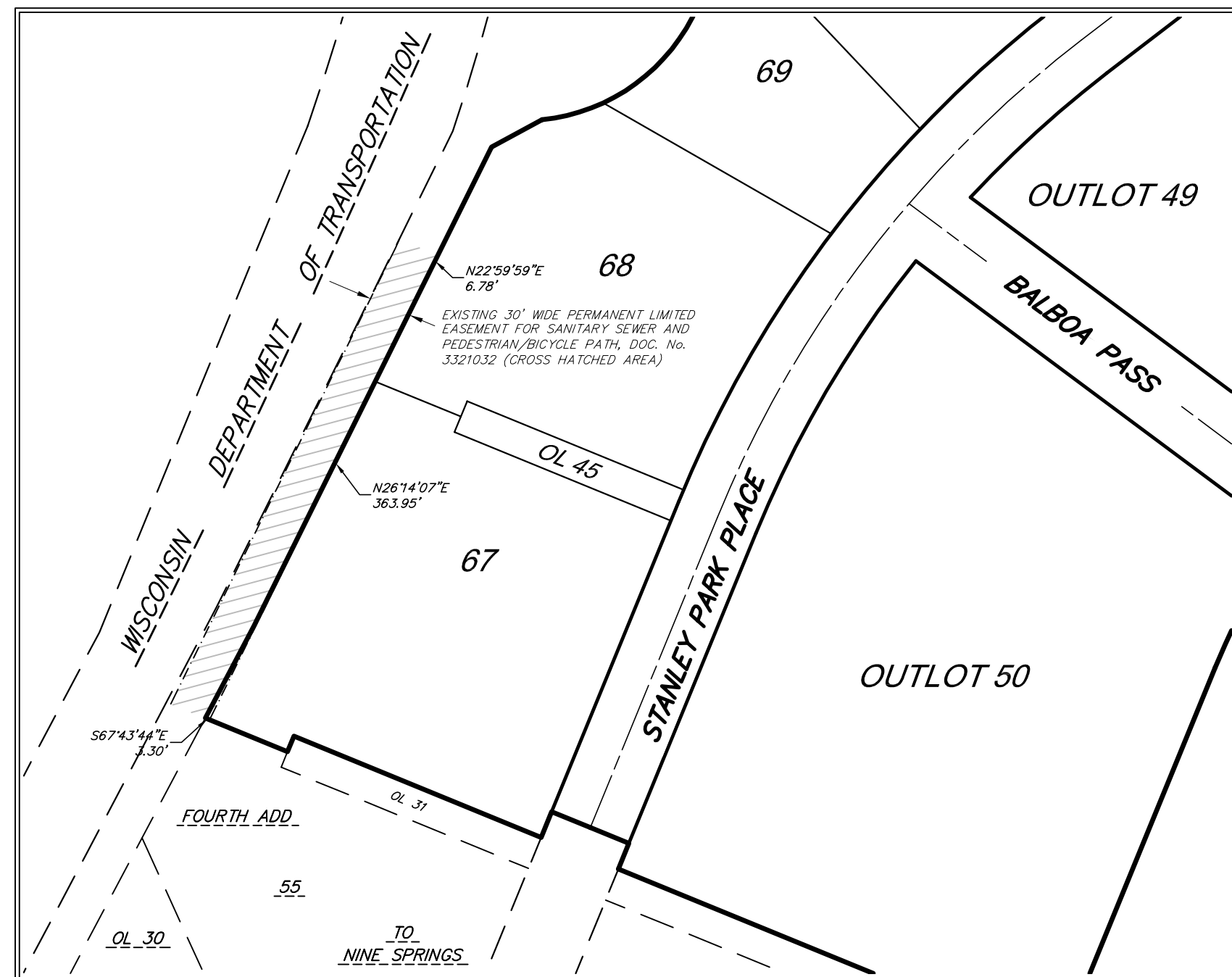
EXISTING 12' WIDE PUBLIC UNDERGROUND UTILITY EASEMENT DETAIL, DOC. #5303444



EXISTING 15'x20' AT&T WISCONSIN GENERAL EASEMENT DETAIL, DOC. #4972793



EXISTING 30' WIDE PERMANENT LIMITED EASEMENT FOR SANITARY SEWER AND PEDESTRIAN/BICYCLE PATH, DOC. #3321032



SURVEYOR'S CERTIFICATE

I, Kevin J. Pape, Professional Land Surveyor No. 2568, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Fitchburg, and under the direction of Green-Tech Land Company, LLC, owner of said land, I have surveyed, divided and mapped SEVENTH ADDITION TO NINE SPRINGS; that such Plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is described as all of Outlot 1, Certified Survey Map Number 15162, as recorded in Volume 107 of Certified Survey Maps, on pages 249-256, as Document Number 5498222, Dane County Registry and all of Outlot 33, Fourth Addition to Nine Springs, as recorded in Volume 60-070B of Plats, on pages 376-377, as Document Number 5303444, Dane County Registry and located in the Northeast Quarter and the Northwest Quarter of the Southeast Quarter of Section 11 and the Southwest Quarter and the Southeast Quarter of the Northeast Quarter of Section 11, all in Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin.

Containing 753,482 square feet or 17.298 acres more or less.

Vierbicher Associates, Inc.
By: Kevin J. Pape, P.L.S. No. 2568

Dated this 13th day of February, 2026.

Signed: Kevin J. Pape, P.L.S. No. 2568

DANE COUNTY TREASURER'S CERTIFICATE

I, Adam Gallagher, being the duly elected, qualified, and acting Treasurer of the County of Dane, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or unpaid special assessments affecting any of the land included in the plat of SEVENTH ADDITION TO NINE SPRINGS, as of this _____ day of _____, 2026.

By: Adam Gallagher, Dane County Treasurer

OWNER'S CERTIFICATE

Green-Tech Land Company, LLC, a Wisconsin limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that we caused land described on this Plat to be surveyed, divided, mapped, and dedicated as represented herein; and do further certify that this Plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection:

Department of Administration
Common Council, City of Fitchburg

IN WITNESS WHEREOF, Green-Tech Land Company, LLC, has caused these presents to be signed by Scott Kelly, its Manager, at Madison, Wisconsin, on this _____ day of _____, 2024.

Green-Tech Land Company, LLC

By: Scott Kelly, Manager
Green-Tech Land Company, LLC

State of Wisconsin)
County of Dane)

Personally came before me this _____ day of _____, 2026, the above-named Scott Kelly, its Manager, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

My Commission Expires: _____

CONSENT OF MORTGAGEE

Monona Bank, a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedicating of the land described on this Plat and does hereby consent to the Owner's Certificate.

IN WITNESS WHEREOF, the said Monona Bank, has caused these presents to be signed by Mark Kraemer, Senior Vice President, at Monona, Wisconsin, on this _____ day of _____, 2026.

Monona Bank

By: Mark Kraemer, Senior Vice President
Monona Bank

State of Wisconsin)
County of Dane)

Personally came before me this _____ day of _____, 2026, Mark Kraemer, of the above named banking association, to me known to be the persons who executed the foregoing instrument, and to me known to be such Senior Vice President of said banking association, and acknowledged that they executed the foregoing instrument as such officer as the deed of said banking association, by its authority.

Notary Public, State of Wisconsin

My Commission expires: _____

CITY OF FITCHBURG TREASURER'S CERTIFICATE

As duly appointed City Treasurer of the City of Fitchburg, Dane County, Wisconsin, I hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or unpaid special assessments affecting any of the lands included in the plat of SEVENTH ADDITION TO NINE SPRINGS.

Date: _____

By: City Treasurer, City of Fitchburg

CITY OF FITCHBURG APPROVAL

Resolved, that the plat of SEVENTH ADDITION TO NINE SPRINGS, located in the City of Fitchburg, Dane County, Wisconsin, was hereby approved by Resolution Number _____ adopted on this _____ day of _____, 2024, and that said Resolution further provided for the acceptance of those lands dedicated and rights conveyed by said plat of SEVENTH ADDITION TO NINE SPRINGS to the City for Public use.

Date: _____

By: City Clerk, City of Fitchburg

RECORDING DATA

CERTIFICATE OF REGISTER OF DEEDS

Received for recording this _____ day of _____, 20____, at _____ o'clock _____ M. and recorded in Volume _____ of Plats, on pages _____ as Document Number _____

Kristi Chlebowski
Dane County Register of Deeds

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



Drafted by: KPAP
Checked by: JZAM
FN: 210233
Date: 02/13/26
Rev:
Rev:
Rev:

SURVEYED BY:
Vierbicher Associates, Inc.
By: Kevin J. Pape
525 Junction Road,
Suite 7000
Madison, WI 53715
(608) 821-3955

SURVEYED FOR:
Green-Tech Land Company, LLC
120 E. Lakeside Street
Madison, WI 53715
(608) 294-4086

GENERAL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
3. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
6. NO IMPERVIOUS SURFACES TO BE INSTALLED PRIOR TO CONSTRUCTION OF AREA H BASIN BY THE CITY OF FITCHBURG.

EXISTING CONDITIONS NOTES:

- 1. THE PROPERTY LINES SHOWN ON THIS MAP ARE BASED ON FOUND PROPERTY CORNERS AND SURVEYS OF RECORD.
2. THIS MAP IS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. ALL DRY UNDERGROUND UTILITIES HAVE BEEN LOCATED PER MARKINGS PLACED ON THE GROUND. VIERBICHER DOES NOT WARRANT THE LOCATIONS MARKED OR MAPPED BY OTHERS.
4. SANITARY SEWER UTILITY LOCATIONS ARE BASED ON SURVEYED STRUCTURES.
5. STORM SEWER UTILITY LOCATIONS ARE BASED ON SURVEYED STRUCTURES.
6. WATER MAIN LOCATIONS ARE BASED ON SURVEYED STRUCTURES.
7. THIS MAP WAS PREPARED AT THE REQUEST OF GREEN-TECH LAND COMPANY, LLC.

DEMOLITION NOTES:

- 1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT IF APPLICABLE. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
8. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

SITE PLAN NOTES:

- 1. CONCRETE FOR SIDEWALKS AND TERRACES, UNLESS NOTED OTHERWISE, SHALL BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED 3/4" CRUSHED AGGREGATE.
2. CONCRETE FOR RAMPS, DRIVEWAYS, AND SIDEWALK AT DRIVEWAY ENTRANCES, SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED 3/4" CRUSHED AGGREGATE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

GRADING NOTES:

- 1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.

UTILITY NOTES:

- 1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
9. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
10. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
12. CONTRACTOR TO CHLORINATE AND BACTERIA TEST.
13. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
14. SANITARY SEWER MAIN AND LATERALS SHALL BE SDR 26.
15. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
16. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
17. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
18. ALL SANITARY SEWER LATERALS SHALL BE CAPPED.
19. REMOVE ALL WATER FLUSHING CONNECTIONS AT PLUG/CAP ONCE MAINS ARE FLUSHED.
20. HANDHOLES SHALL BE 1' DIAMETER CONCRETE FIBERGLASS/POLYMER WITH STAINLESS STEEL BOLTS ON BALBOA PASS AND ON THE EAST SIDE OF STANLEY PARK PLACE.
21. PEDESTRIAN LIGHTS SHALL BE ORDERED BY THE CITY AND REIMBURSED BY THE SUBDIVIDER.
22. STREET LIGHT WIRING SHALL BE WITHIN UTILITY EASEMENT. LIGHTS SHALL NOT CONNECT TO EXISTING LIGHTS ON LACY, EAST CHERYL, NOR STANLEY PARK PLACE.

EROSION CONTROL MEASURES

- 1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (https://dnr.wisconsin.gov/topic/Stormwater/standards/const_standards.html) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR, CITY AND/OR COUNTY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE REACHES 70% UNIFORM VEGETATION AS ESTABLISHED BY THE CITY/COUNTY. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 7-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED FRAMED INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE SITE REACHES 70% UNIFORM ESTABLISHMENT.
13. RESTORATION SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
14. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND CLASS 1, TYPE A, URBAN MAT OR HYDROMULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
15. RESTORATIONS SHALL BE COMPLETE WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
16. FOR THE FIRST SIX WEEKS AFTER RESTORATION OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
18. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
19. SEDIMENT SHALL BE CLEANED FROM STREETS AND ROADSIDE DITCHES DAILY AND AS DIRECTED BY ANY CITY/COUNTY/STATE INSPECTORS.
20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TWO TEMPORARY TYPE III BARRICADES WITH A ROAD CLOSED SIGN ON ONE BARRICADE THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION.
22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



Notes & Legends
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

Table with columns for REVISIONS (NO., DATE, REMARKS) and a footer section with fields for DATE (2/16/2026), DRAFTER (NJOH), CHECKED (JZAM), PROJECT NO. (210233), and C001.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD PRIOR TO MASS GRADING.
2. DEMOLITION OF EXISTING IMPROVEMENTS.
3. STRIP TOPSOIL
4. ROUGH GRADE STREETS & LOTS
5. SEED LOT AREAS
6. CONSTRUCT UNDERGROUND UTILITIES
7. INSTALL INLET PROTECTION
8. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK.
9. RESTORE TERRACES
10. PAVE STREETS
11. REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS MEET 70% UNIFORM ESTABLISHMENT

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED

AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 5 LB./1,000 S.F. FOR LOTS.
2. USE TURF GRASS SEED MIX FOR SUNNY TO PARTIAL SHADE AREAS AT 5 LB./1,000 S.F. FOR TERRACES.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

LOTS: USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

TERRACES: HYDROMULCH W/CELLULOSE MULCH W/METHOD A OR MODIFIED METHOD B AT A RATE OF 5 LB./1,000 S.F. OR E-MAT WITH CLASS 1, TYPE A URBAN E-MAT.

DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- DITCH CENTERLINE
- SILT FENCE
- DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- PROPOSED SLOPE ARROWS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS 1, TYPE A, URBAN
- EROSION MAT CLASS 1, TYPE B
- TRACKING PAD
- RIP RAP

ABBREVIATIONS

- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FL - FLOW LINE
- SW - TOP OF WALK
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

ABBREVIATIONS

- STMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

SURVEY LEGEND

- BENCHMARK
- PUBLIC LAND CORNER AS NOTED
- FOUND NAIL
- FOUND 1" Ø IRON PIPE
- FOUND P.K. NAIL
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD
- FOUND RAILROAD SPIKE
- SET 3/4" x 18" SOLID IRON RE-ROD, WT. 1.50 lbs./ft. MIN.
- SET MAGNAIL
- RECORDED AS INFORMATION

LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

SYMBOL LEGEND

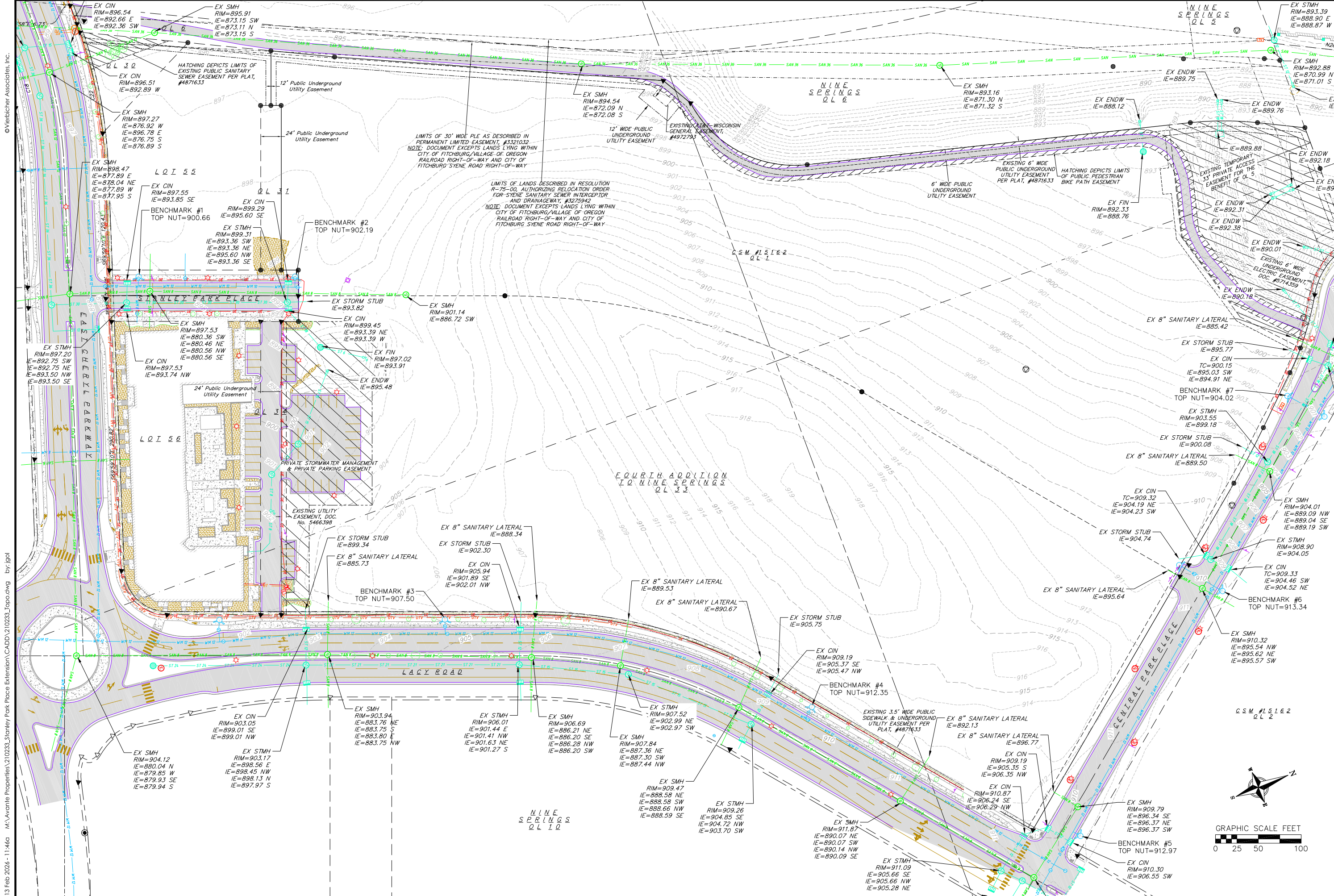
- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING POST
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV RECTANGULAR MANHOLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING HANDICAP PARKING
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

HATCHING LEGEND

- EXISTING WARNING PAD
- EXISTING CONCRETE PAVEMENT/SIDEWALK
- EXISTING ASPHALT
- EXISTING WASHED STONE OR SAND OR RUBBER MAT

NO.	DATE	REVISIONS	
		REMARKS	NO.

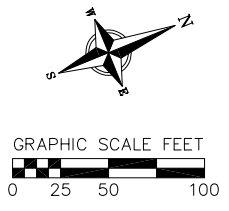
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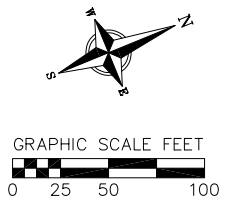
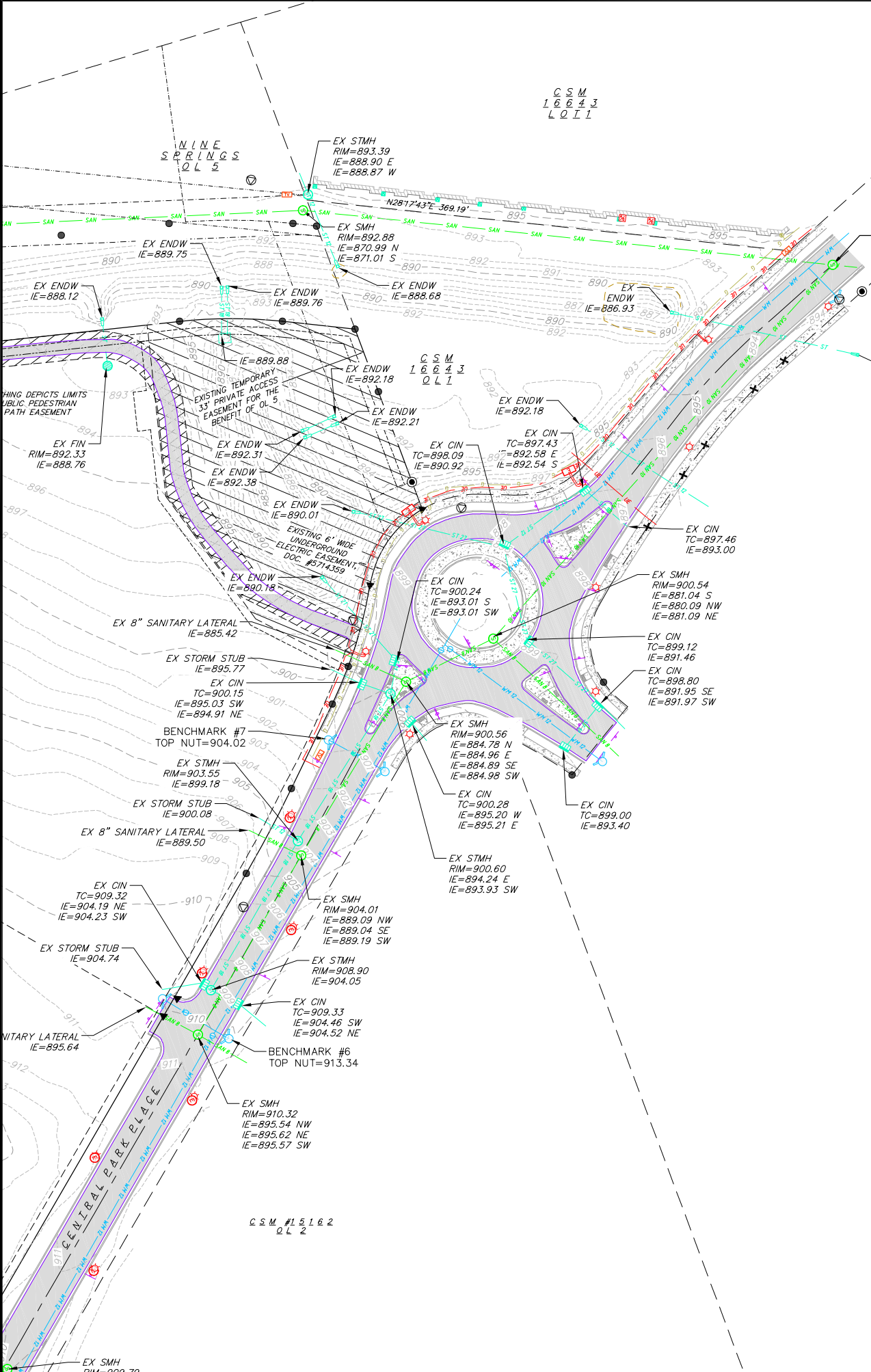


13 Feb 2026 - 11:46a M:\Avante Properties\210233_Stanley Park Place Extension_CADD\210233_Topo.dwg by: jgol
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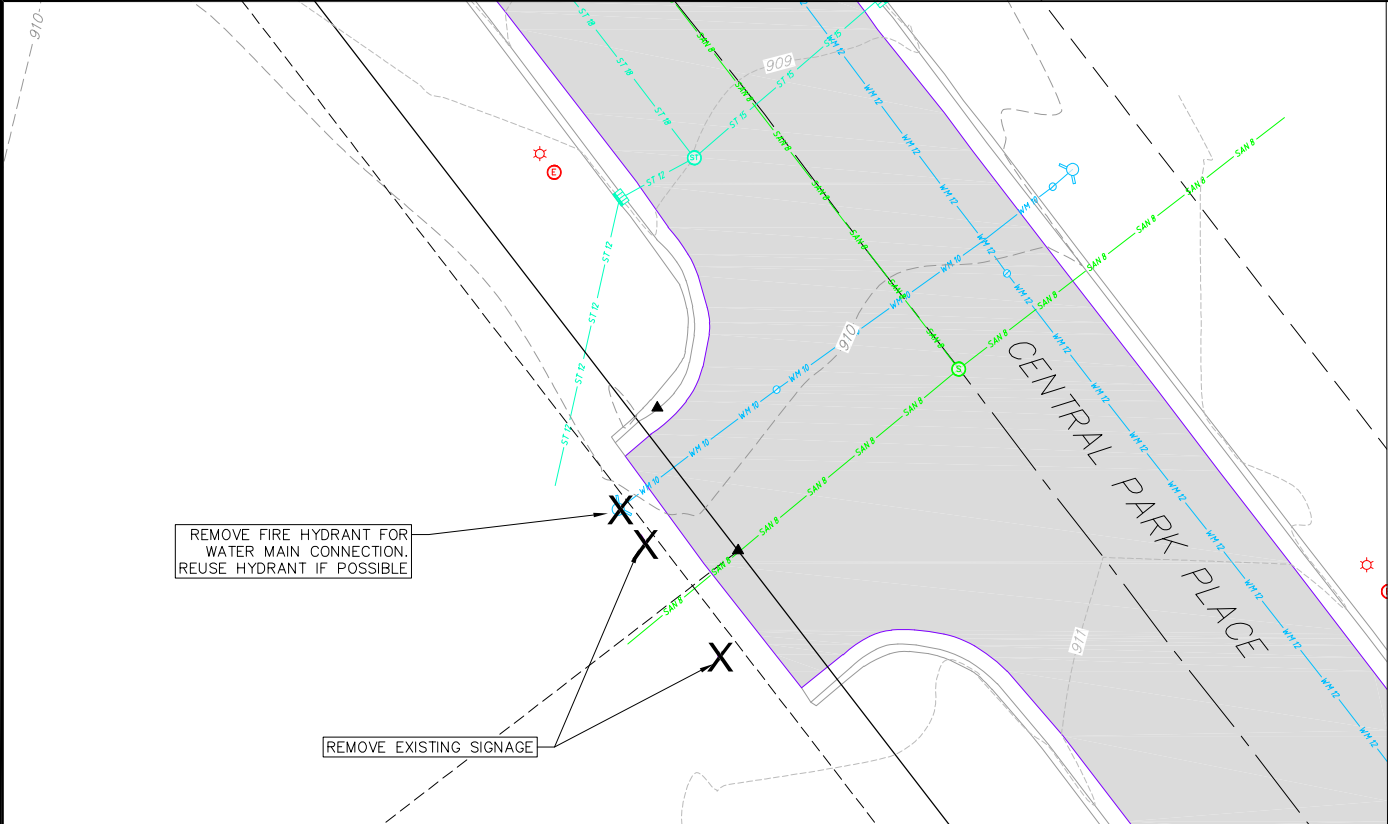




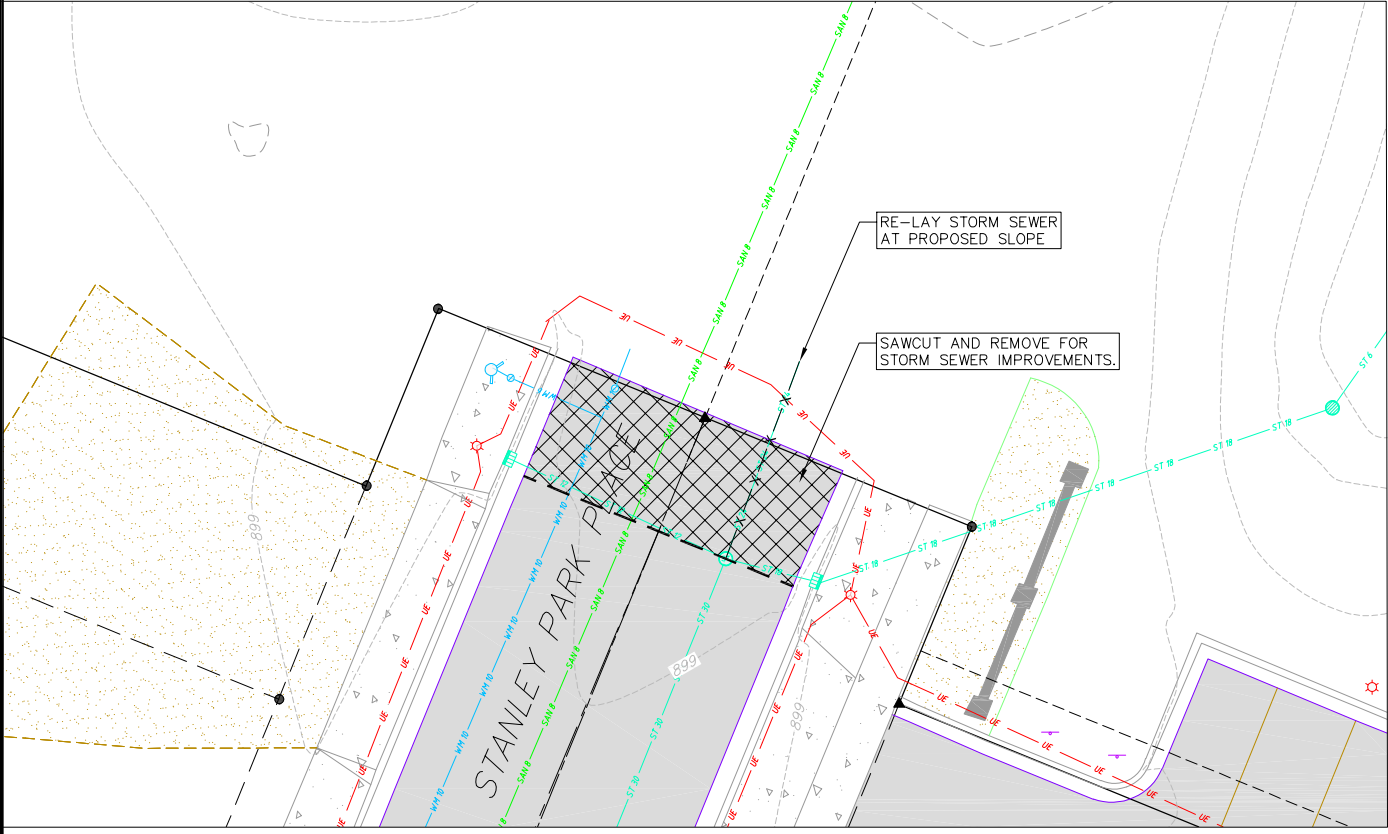
Existing Conditions
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
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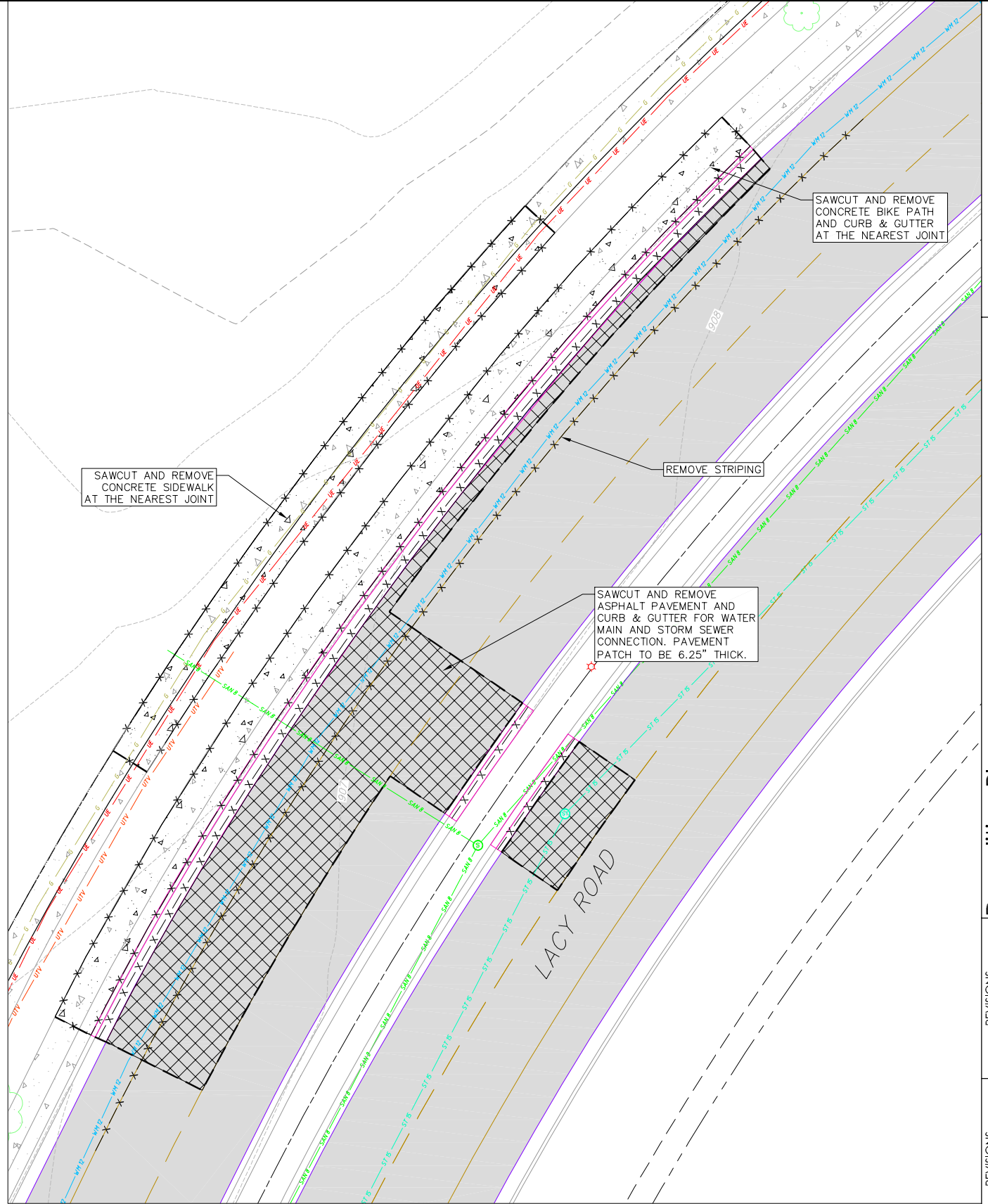
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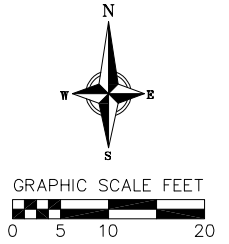
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1" = 10'



2 STANLEY PARK PLACE DEMOLITION
1" = 10'

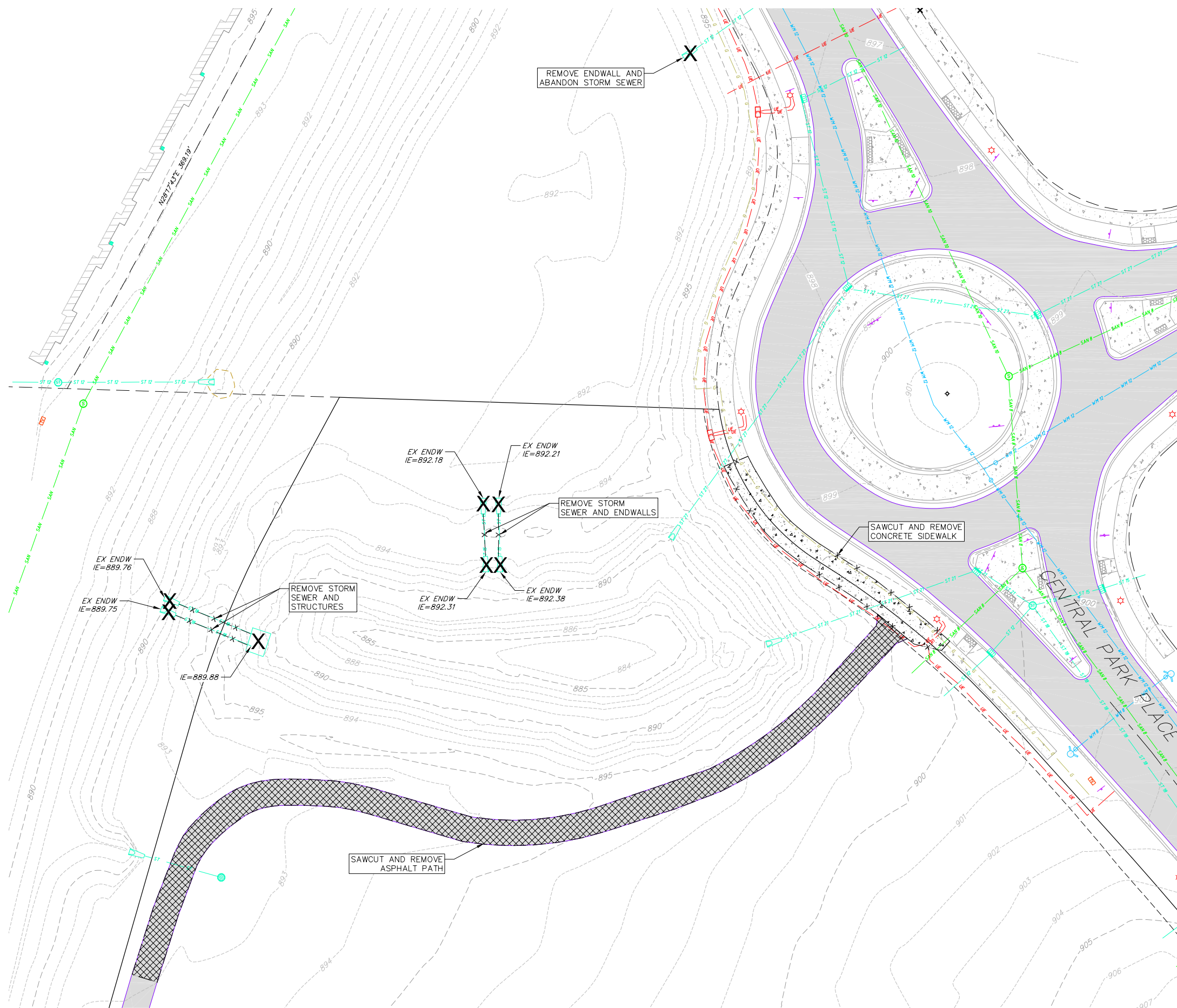


3 LACY ROAD DEMOLITION
1" = 10'

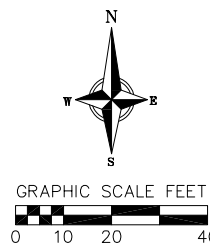


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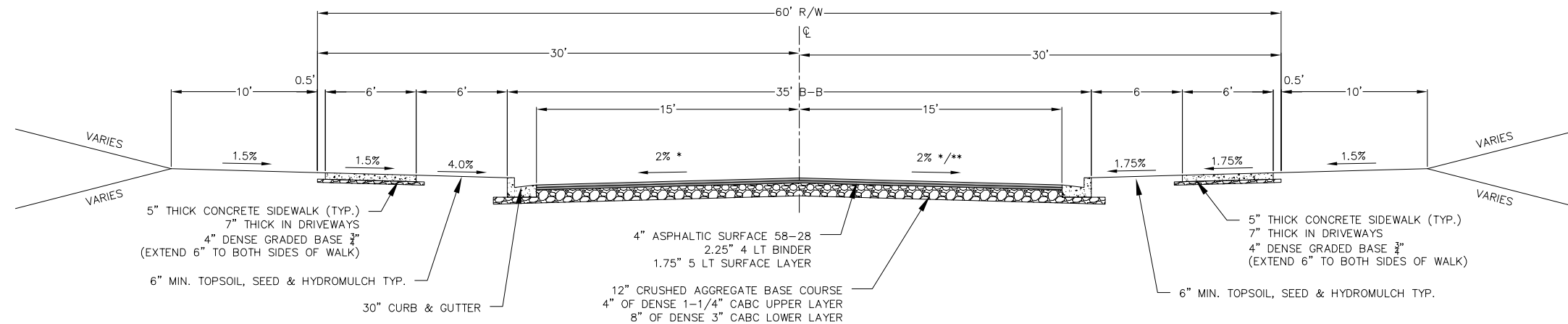
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 1" = 20'



Demolition Plan
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

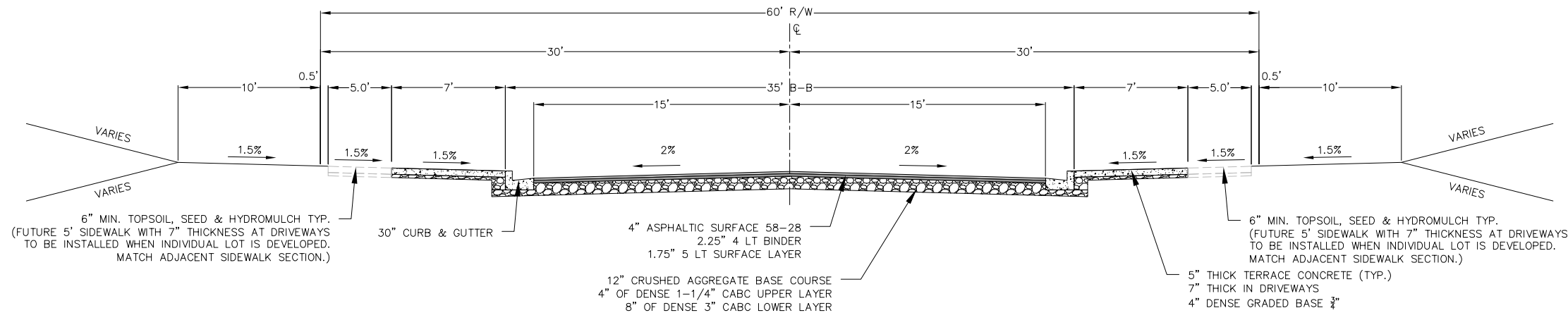
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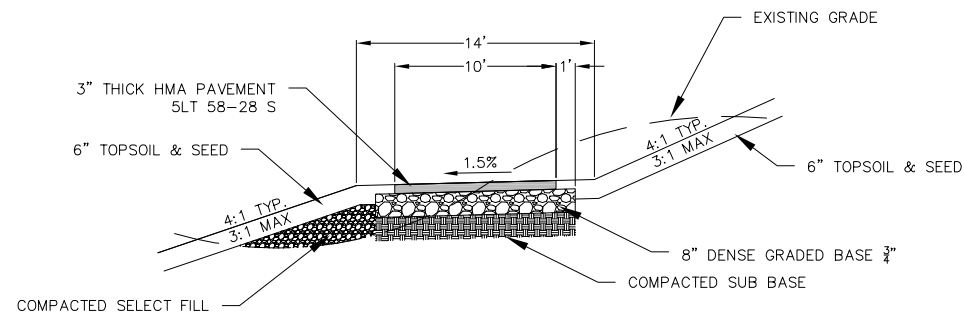


1 STANLEY PARK PLACE
300 NOT TO SCALE

- NOTES:
- * STA 2+50 TO 3+00: PAVEMENT SLOPE VARIES FROM MATCHING EXISTING CROSS SLOPE TO 2%.
 - * STA 12+50 TO 13+50: SOUTHBOUND PAVEMENT SLOPE VARIES FROM 2% TO MATCH EXISTING CROSS SLOPE.
 - ** STA 12+50 TO 13:50: NORTHBOUND PAVEMENT SLOPE VARIES FROM TYPICAL TO SUPER ELEVATED.



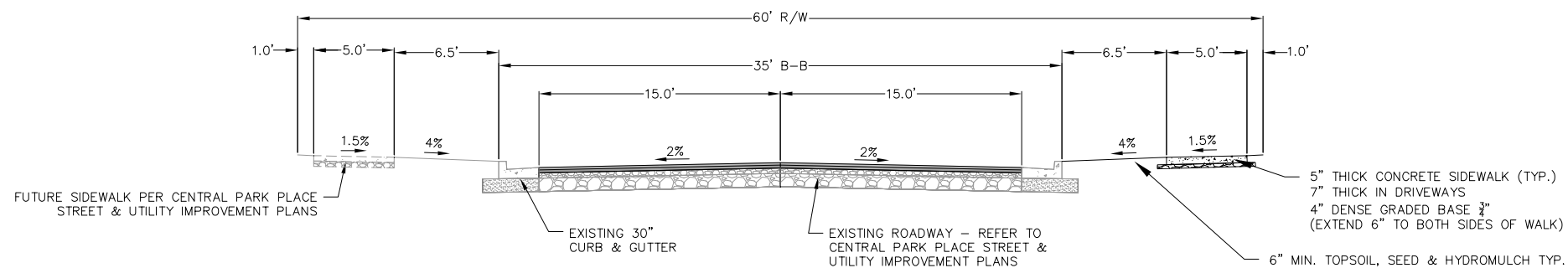
2 BALBOA PASS
300 NOT TO SCALE



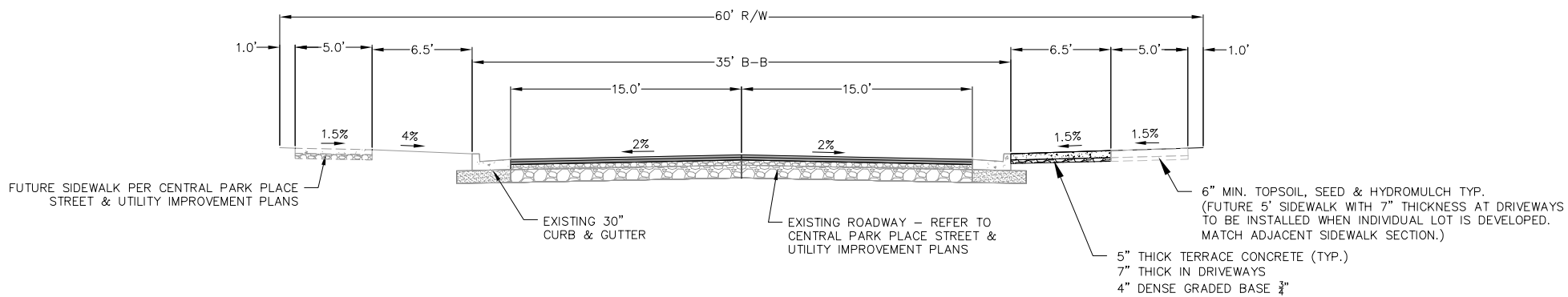
3 BIKE PATH
300 NOT TO SCALE

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	2/16/2026
DRAFTER	NJOH
CHECKED	JZAM
PROJECT NO.	210233



1
 301 CENTRAL PARK PLACE
 STA. 22+25.00 TO STA. 24+75.00



2
 301 CENTRAL PARK PLACE
 STA. 24+75.00 TO STA. 28+25.00

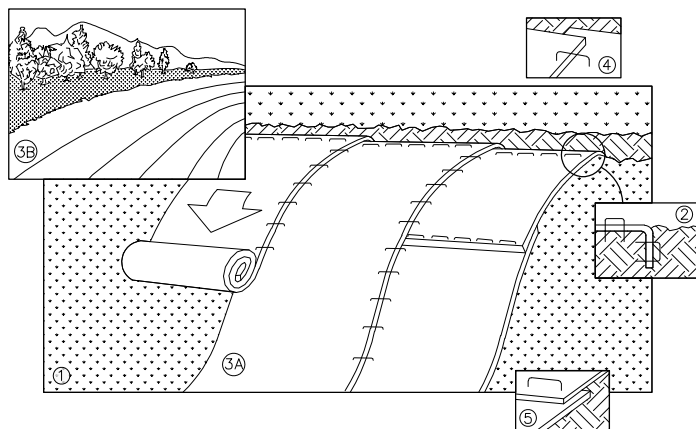
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2/16/2026

DRAFTER: NJOH

CHECKED: JZAM

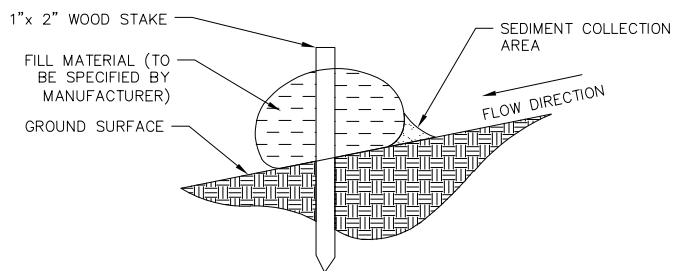
PROJECT NO.: 210233



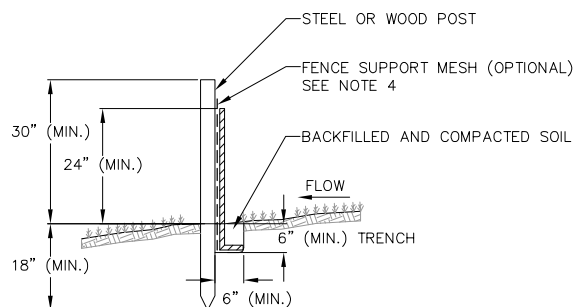
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING 4" BIODEGRADABLE BARBED STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 EROSION MAT
400 NOT TO SCALE



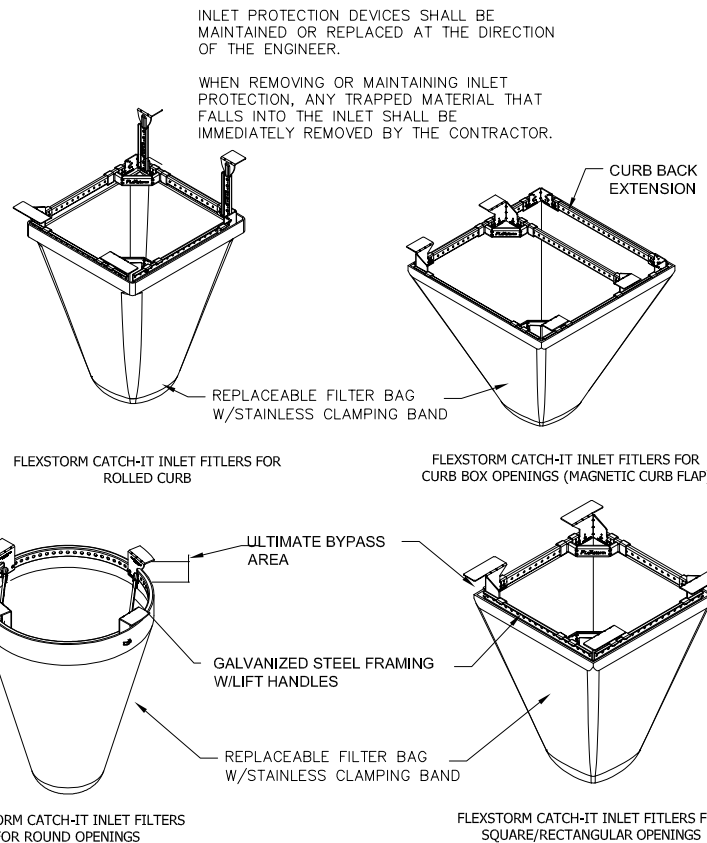
2 SILT SOCK
400 NOT TO SCALE



NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

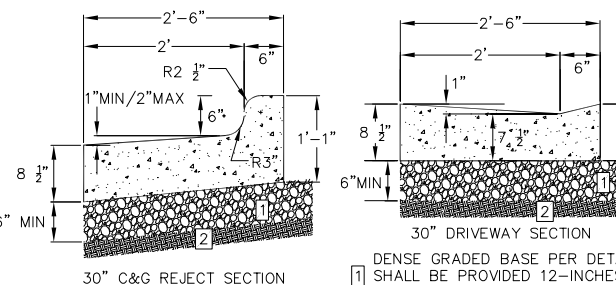
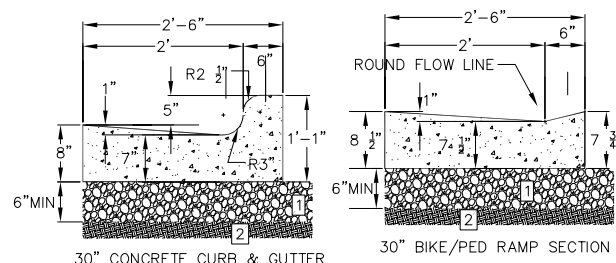
3 SILT FENCE
400 NOT TO SCALE



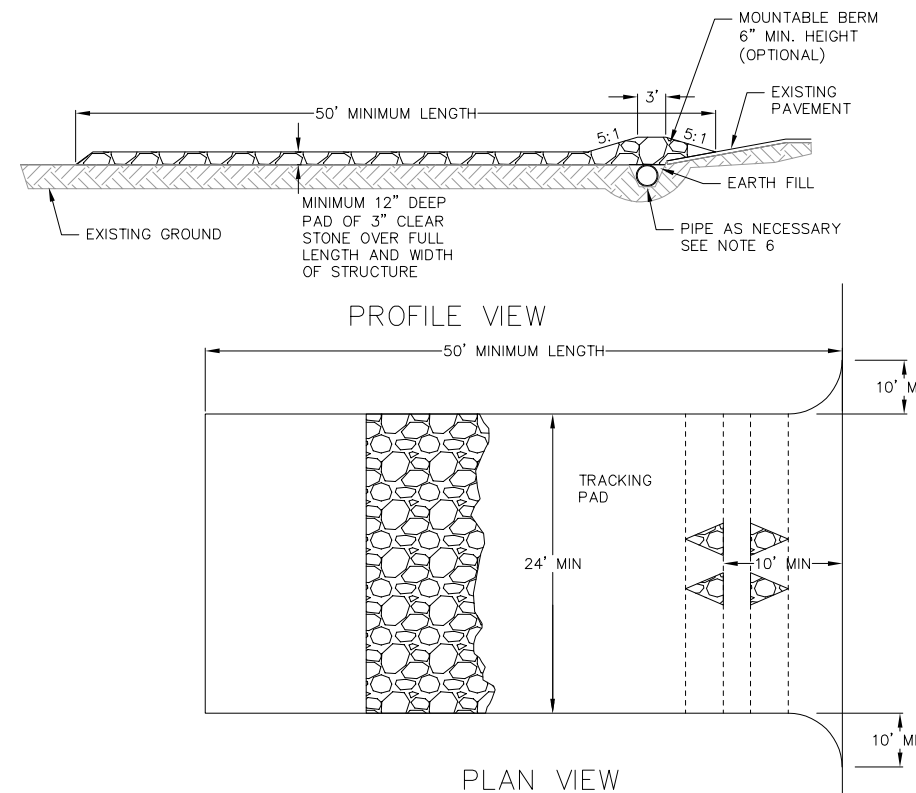
FLEXSTORM CATCH-IT INLET FILTERS FOR ROUND OPENINGS
FLEXSTORM CATCH-IT INLET FILTERS FOR SQUARE/RECTANGULAR OPENINGS

NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

4 FRAMED INLET PROTECTION
400 NOT TO SCALE

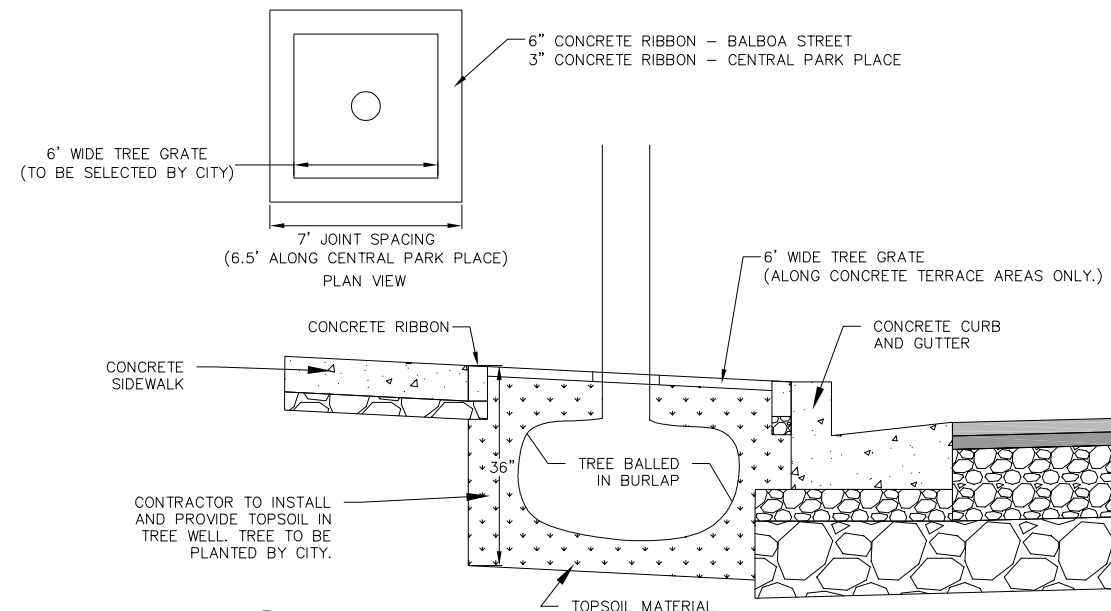


5 CONCRETE CURB AND GUTTER
400 NOT TO SCALE



- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

6 TRACKING PAD
400 NOT TO SCALE



7 TREE WELL
400 NOT TO SCALE

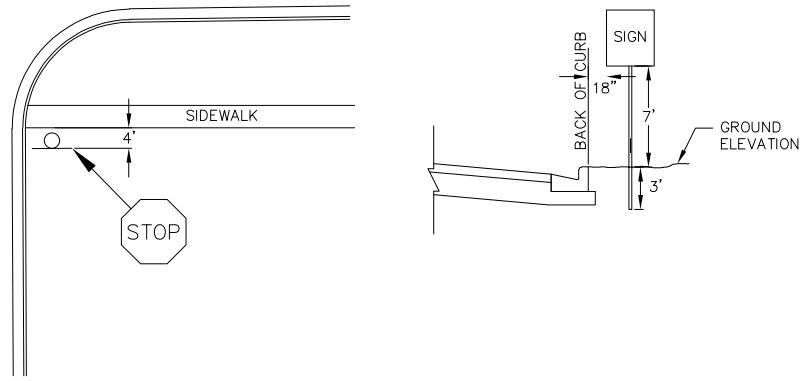
REVISIONS	NO.	DATE	REMARKS

DATE: 2/16/2026
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CHECKED: JZAM
PROJECT NO.: 210233

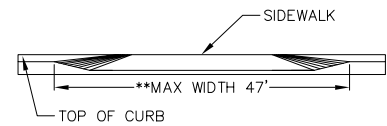
16 Feb 2026 - 8:33a M:\Avantia Properties\210233_Stanley Park Place Extension\CADD\210233_title Details.dwg by: jgl

SIGNAGE NOTES:

1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7" FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED WITH 18" MIN. CLEAR DISTANCE FROM BACK OF CURB TO EDGE OF SIGN.
3. STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND.
4. SIGN POSTS IN CONCRETE SHALL BE 2-3/8" O.D., GALVANIZED, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3" DEEP. V-LOCKS ARE REQUIRED.

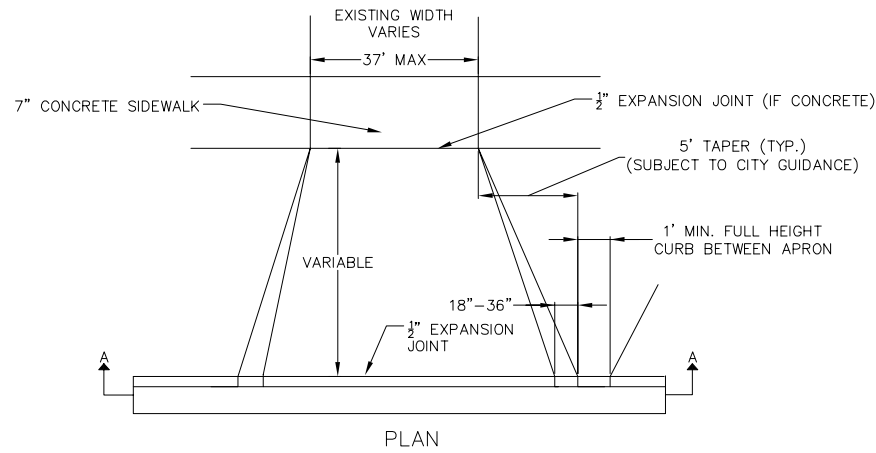


1 ROADWAY SIGN
401 NOT TO SCALE

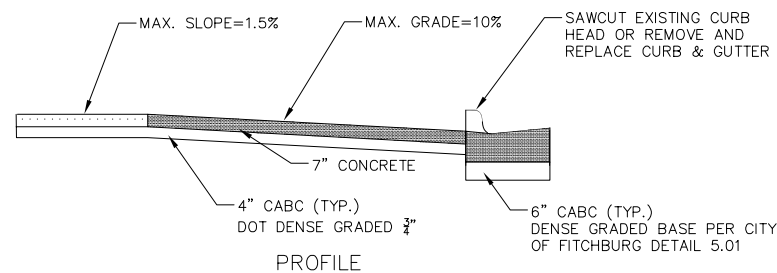


SECTION A-A

** APPLICANT MAY REQUEST AN ADMINISTRATIVE VARIANCE FOR A COMMERCIAL OR INDUSTRIAL CURB OPENING (EXCLUDING TAPERS) THAT IS GREATER THAN 37" IN WIDTH BY PROVIDING DOCUMENTATION PER CITY ORDINANCE 27-402 (b).



PLAN

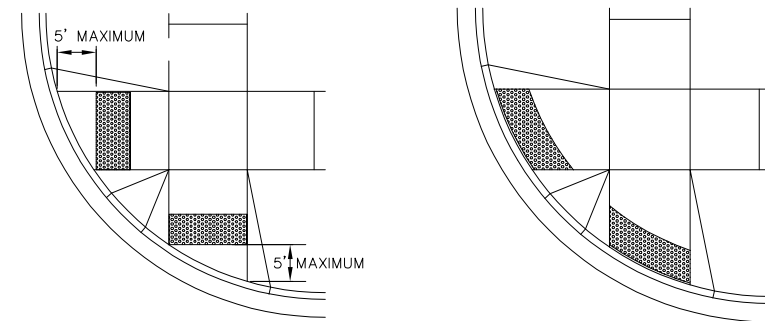
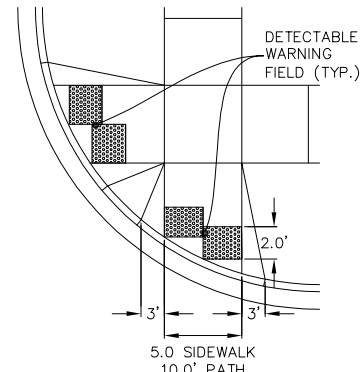


PROFILE

2 DRIVEWAY DETAIL
401 NOT TO SCALE

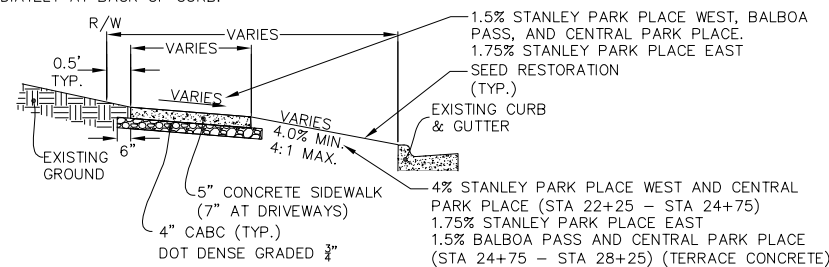
GENERAL NOTES FOR ALL SIDEWALK RAMPS

1. INSTALL CURB CUTS AT SIDEWALK RAMPS WITH EITHER FULL REMOVAL AND REPLACEMENT OR BY "SAWCUTTING" THE CURB HEAD.
2. CURB TAPERS AT CURB CUTS SHALL BE 3' UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR SHOWN ON THE PLANS.
3. THE WIDTH OF THE FLAT BOTTOM OF THE RAMP AT THE CURB SHALL BE 60" MINIMUM. THE MAXIMUM SLOPE OF THE RAMP BETWEEN THE BACK OF THE CURB AND THE FRONT OF THE DETECTABLE WARNING FIELD SHALL NOT EXCEED 2%. THE MAXIMUM SLOPE OF THE RAMP BETWEEN THE FRONT OF THE DETECTABLE WARNING FIELD AND THE SIDEWALK SHALL NOT EXCEED 7%.
4. ALL HANDICAP RAMPS SHALL INCLUDE DETECTABLE WARNING FIELDS WITH TRUNCATED DOMES.
5. DETECTABLE WARNING FIELD SHALL BE ORIENTED IN A MANNER THAT IT IS PARALLEL TO THE DIRECTION OF PEDESTRIAN TRAFFIC. WHEN CURB IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC, INSTALL DETECTABLE WARNING FIELD TIGHT TO BACK OF CURB. WHEN CURB IS NOT PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC, STAGER DETECTABLE WARNING FIELD PANELS TO MINIMIZE SPACE BETWEEN DETECTABLE WARNING FIELD PANELS AND BACK OF CURB.
6. FOR A SIDEWALK RAMP, DETECTABLE WARNINGS SHALL BE A MINIMUM OF 5' X 2'. FOR A BIKE PATH RAMP, DETECTABLE WARNINGS SHALL BE A MINIMUM OF 10' X 2'.
7. WHEN CONDITIONS REQUIRE MORE INFORMATION, REFER TO "UFAS" (UNIFORM FEDERAL ACCESSIBILITY STANDARDS).



WHERE THE GRADE BREAK DISTANCE EXCEEDS 5 FEET, RADIAL DETECTABLE WARNING FIELDS ARE NECESSARY. RADIAL PLATES PROVIDE FULL DETECTABLE COVERAGE IMMEDIATELY AT BACK OF CURB.

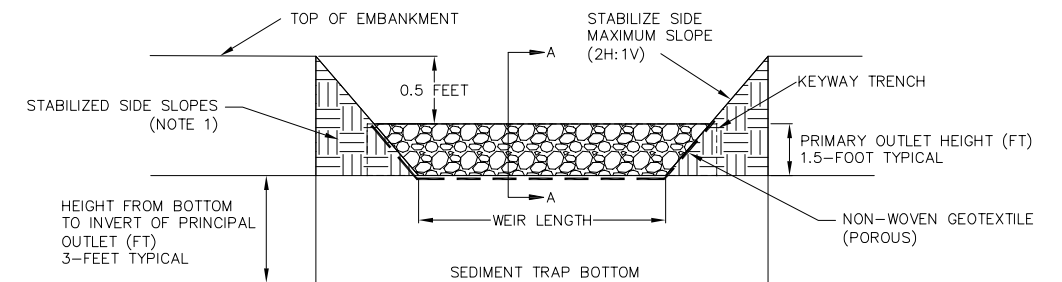
RADIAL PLATES TO BE USED IF GRADE BREAK EXCEEDS 5



GENERAL NOTES FOR ALL SIDEWALK

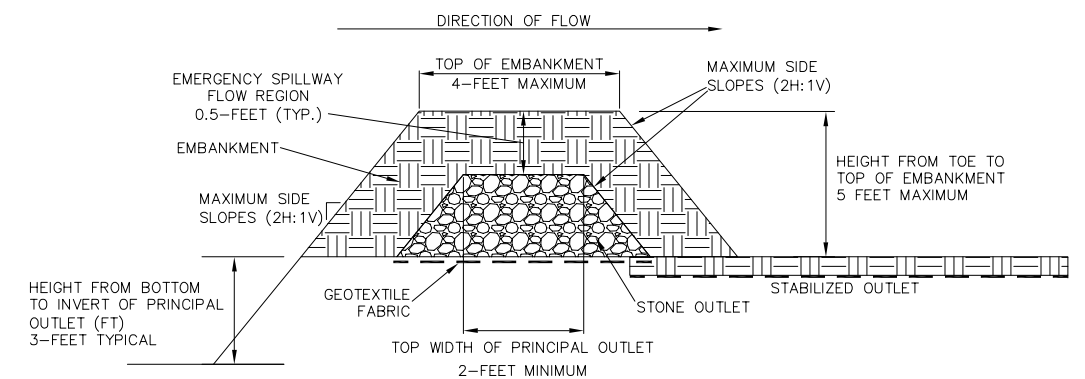
1. SIDEWALK THICKNESS SHALL BE 7-INCHES AT RAMPS AND DRIVEWAYS, AND 5-INCHES FOR ALL PUBLIC SIDEWALK.
2. SIDEWALK CROSS-SLOPE SHALL BE 1.5% AND NOT EXCEED 2.0%.
3. PROVIDE A 1/2" EXPANSION JOINT AT ALL RAMP LOCATIONS, THROUGH DRIVEWAYS, AGAINST THE CURB AND GUTTER, AT RADII, AND EVERY 200' OF THE SIDEWALK.
4. CONSTRUCTION FORMS SHALL BE EQUAL TO OR GREATER THAN THE SIDEWALK THICKNESS.

3 SIDEWALK AND RAMPS
401 NOT TO SCALE



CROSS SECTION OF PRINCIPAL OUTLET

NOTE 1: SIDE SLOPES AND FACES OF EARTHEN EMBANKMENT AROUND OUTLET SHALL BE ARMORED WITH RIPRAP OR STABILIZED WITH EROSION MAT SUFFICIENT TO HANDLE FLOWS FROM THE 10-YEAR STORM.

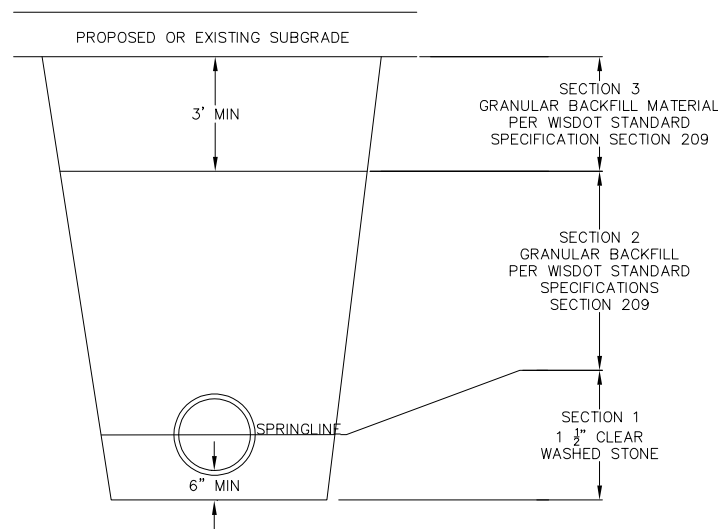


VIEW A-A OF PRINCIPAL OUTLET

4 SEDIMENT TRAP
401 NOT TO SCALE

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PROJECT NO.: 210233



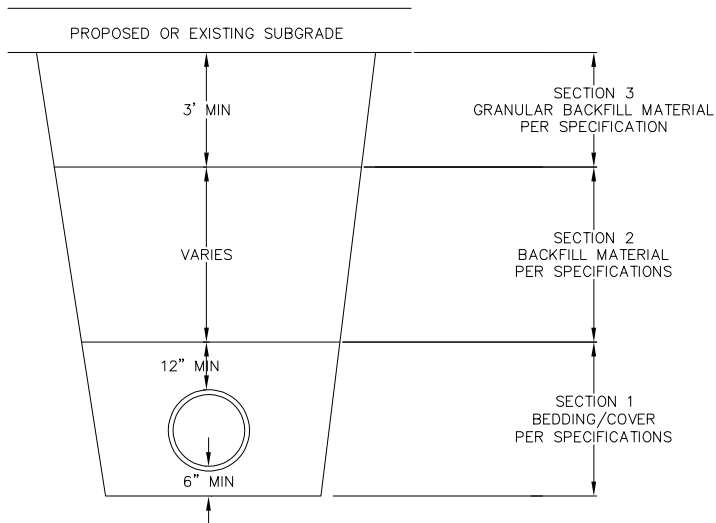
STANDARD TRENCH COMPACTION
 ALL BACKFILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" BEFORE COMPACTION UNLESS AUTHORIZED BY THE ENGINEER DUE TO THE CHARACTER OF THE MATERIAL AND THE COMPACTING EQUIPMENT. EACH LIFT SHALL BE MECHANICALLY COMPACTED TO THE REQUIRED DENSITY PRIOR TO PLACING SUCCEEDING LIFTS OF BACKFILL MATERIAL.

SECTION 1:
 MECHANICALLY COMPACTED BEDDING AS REQUIRED BY THE SPECIFICATIONS. COMPACTION ACHIEVED WITH SMALLER PLATE COMPACTOR.

SECTION 2:
 MINIMUM COMPACTION 90% MAXIMUM DENSITY. COMPACTION OF BACKFILL WITH BOMAG OR HOE-PAC SHALL NOT BEGIN UNTIL THE DEPTH OF BACKFILL MATERIAL IS TWO (2) FEET ABOVE THE TOP OF PIPE.

SECTION 3:
 MINIMUM COMPACTION 95% MAXIMUM DENSITY.

1 STORM SEWER TRENCH
 402 NOT TO SCALE



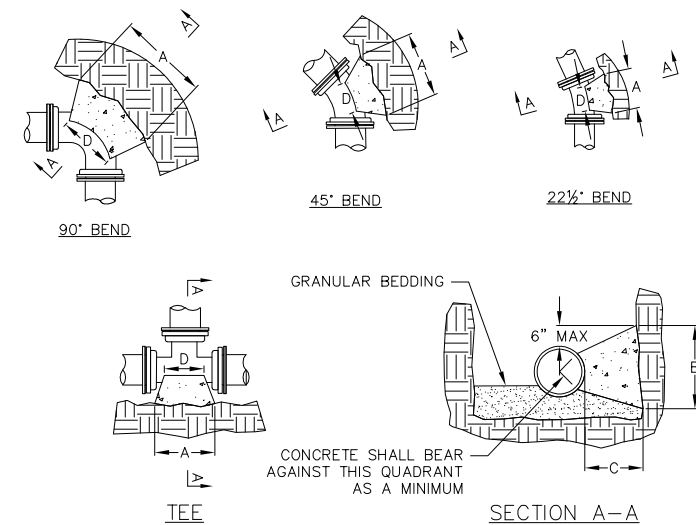
STANDARD TRENCH COMPACTION
 ALL BACKFILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" BEFORE COMPACTION UNLESS AUTHORIZED BY THE ENGINEER DUE TO THE CHARACTER OF THE MATERIAL AND THE COMPACTING EQUIPMENT. EACH LIFT SHALL BE MECHANICALLY COMPACTED TO THE REQUIRED DENSITY PRIOR TO PLACING SUCCEEDING LIFTS OF BACKFILL MATERIAL.

SECTION 1:
 MECHANICALLY COMPACTED BEDDING AS REQUIRED BY THE SPECIFICATIONS. COMPACTION ACHIEVED WITH SMALLER PLATE COMPACTOR.

SECTION 2:
 MINIMUM COMPACTION 90% MAXIMUM DENSITY. COMPACTION OF BACKFILL WITH BOMAG OR HOE-PAC SHALL NOT BEGIN UNTIL THE DEPTH OF BACKFILL MATERIAL IS TWO (2) FEET ABOVE THE TOP OF PIPE.

SECTION 3:
 MINIMUM COMPACTION 95% MAXIMUM DENSITY.

3 SANITARY SEWER & WATER MAIN TRENCH
 402 NOT TO SCALE



WOOD BLOCKING MAY BE USED IN LIEU OF CONCRETE FOR 6" AND 8" PIPE SIZES WHEN BLOCKING 22 1/2° AND 45° BENDS AND TEES PROVIDED THE AREA IN CONTACT WITH THE EARTH IS THE SAME AS SHOWN IN THE TABLE.

DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "O" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

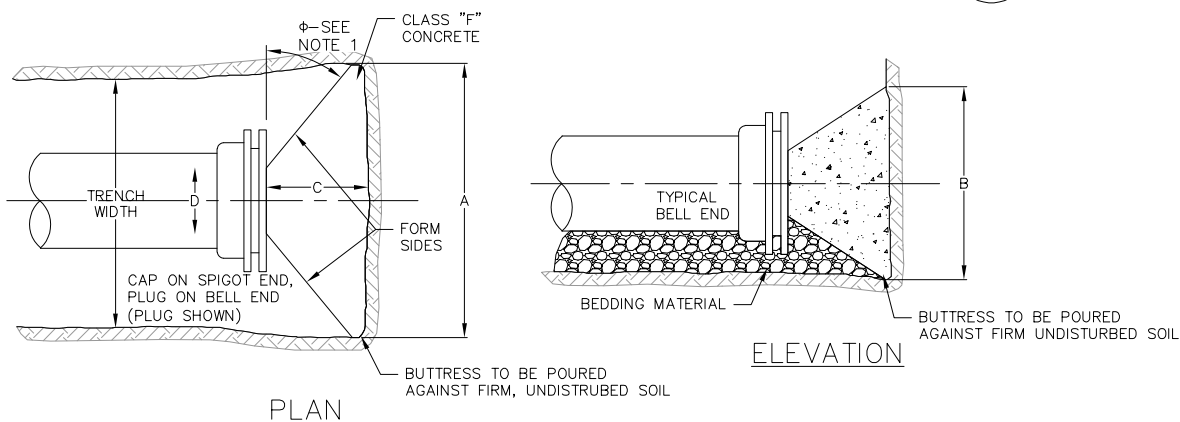
CONCRETE SHALL BE CLASS "CC", SEE SECTION 03301

PIPE SIZE*	BUTTRUSS DIMENSIONS							
	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
6	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10/12	2'-3"	2'-0"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"
14/16	3'-2"	2'-6"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"
18/20	4'-0"	3'-0"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"
22/24	5'-3"	3'-4"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30	6'-3"	4'-3"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT

* = FOR TEE THIS WILL BE THE BRANCH PIPE

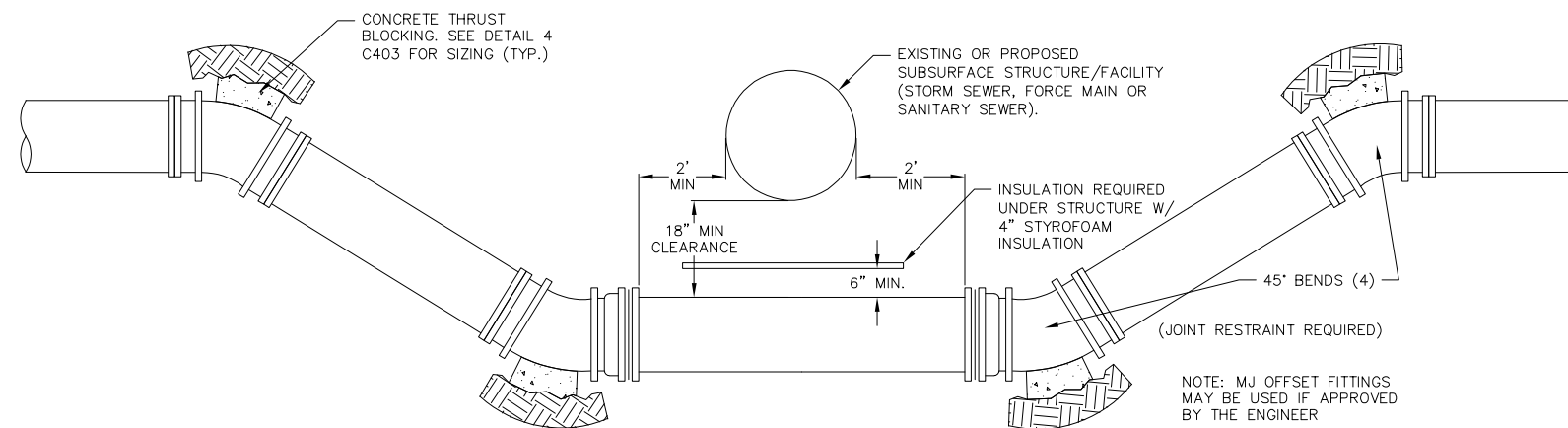
5 BUTTRUSS FOR BENDS
 402 NOT TO SCALE



DIA.	A	B	C	D
6"	1'-6"	1'-2"	SEE NOTE NO. 1	SEE NOTE NO. 2
8"	2'-0"	1'-4"		
12"	2'-5"	1'-10"		
16"	3'-4"	2'-4"		
20"	4'-3"	2'-10"		
24"	5'-2"	3'-4"		
30"	6'-9"	4'-0"		

NOTES:

- DIMENSION C SHOULD BE LARGE ENOUGH TO MAKE ANGLE ϕ EQUAL TO OR LARGER THAN 45°.
- DIMENSION D EQUALS APPROXIMATELY I.D. OF PIPE LESS 2". AN EFFORT TO BE MADE TO PREVENT THE CONCRETE FROM COVERING THE M.J. BOLTS.
- WHERE BUTTRASSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED.
- BUTTRUSS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI.

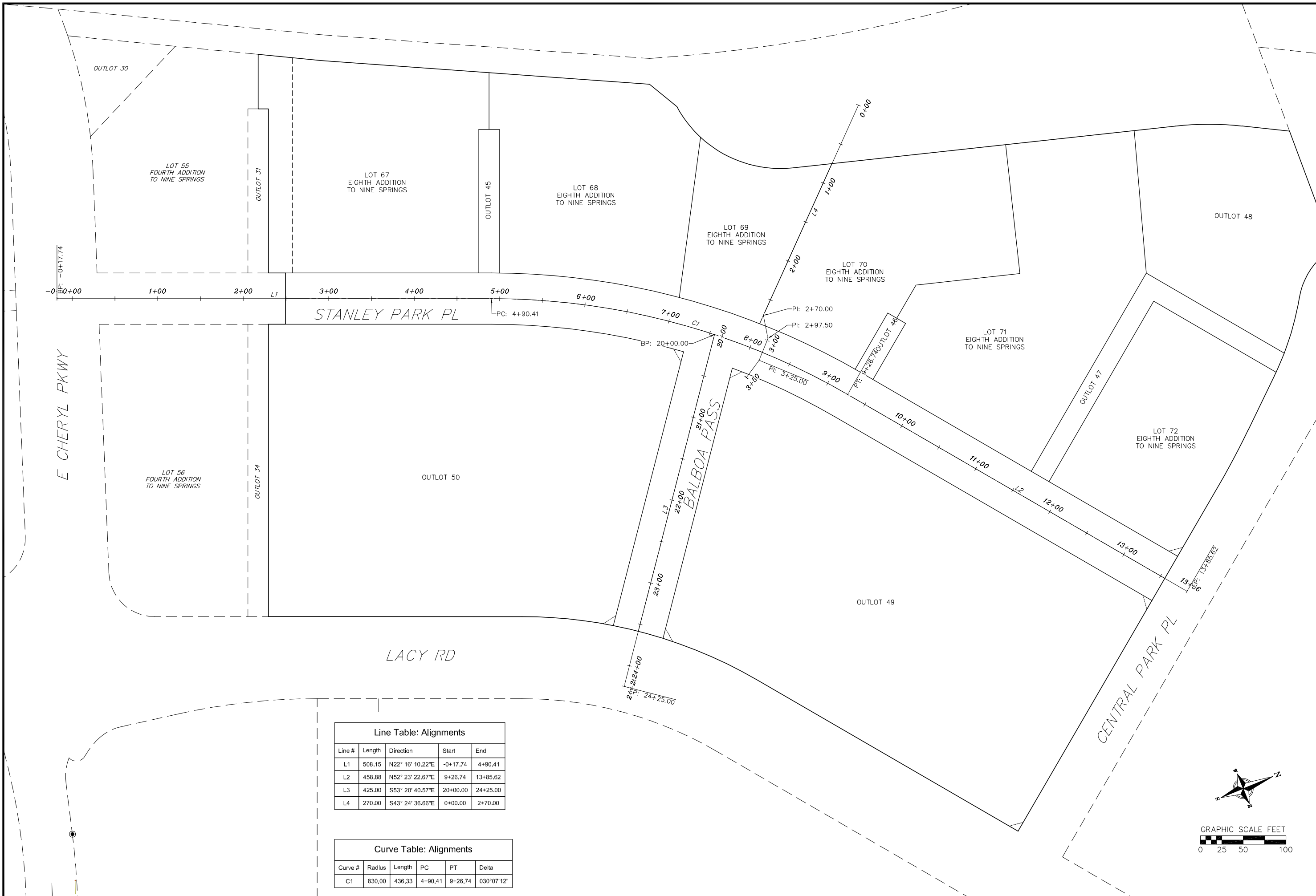


NOTE: MJ OFFSET FITTINGS MAY BE USED IF APPROVED BY THE ENGINEER

2 BUTTRUSS FOR DEAD ENDS
 402 NOT TO SCALE

4 LOWERING WATERMAIN UNDER STORM STRUCTURE
 402 NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS

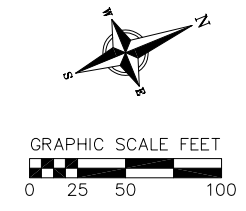


Line Table: Alignments

Line #	Length	Direction	Start	End
L1	508.15	N22° 16' 10.22"E	-0+17.74	4+90.41
L2	458.88	N52° 23' 22.67"E	9+26.74	13+85.62
L3	425.00	S53° 20' 40.57"E	20+00.00	24+25.00
L4	270.00	S43° 24' 36.66"E	0+00.00	2+70.00

Curve Table: Alignments

Curve #	Radius	Length	PC	PT	Delta
C1	830.00	436.33	4+90.41	9+26.74	030°07'12"

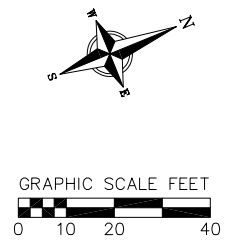
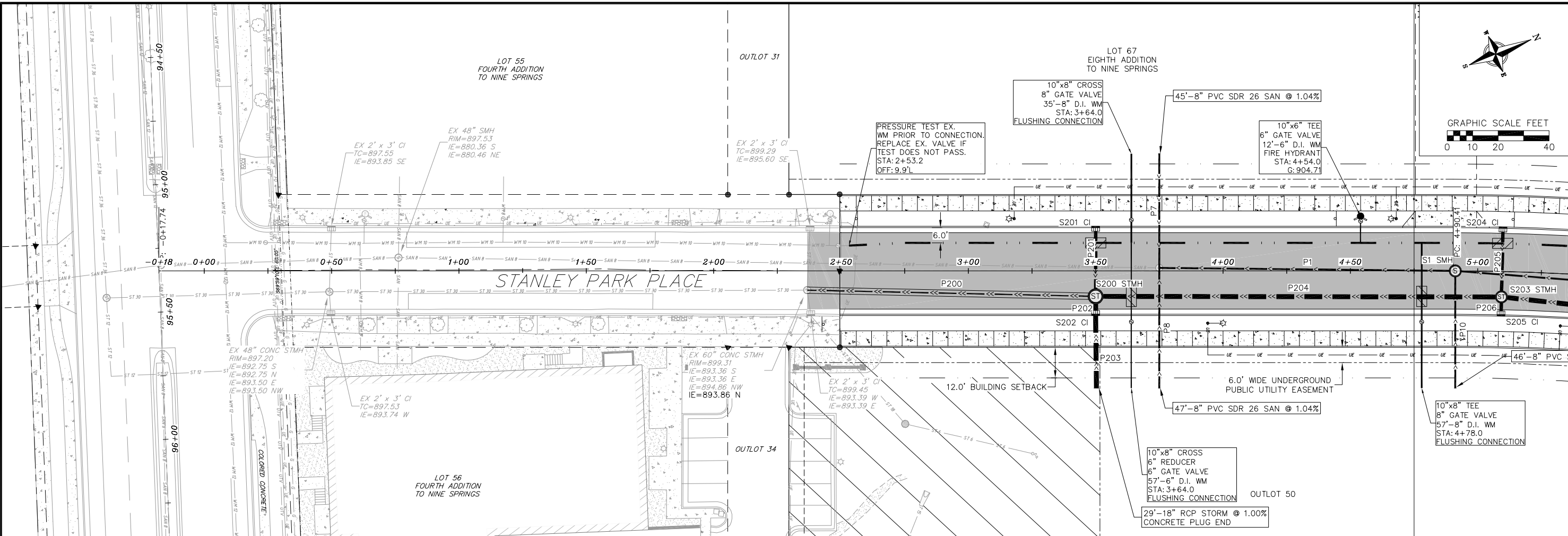


Alignment Plan
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	
		NO.	REMARKS

DATE: 2/16/2026
 DRAFTER: NJOH
 CHECKED: JZAM
 PROJECT NO.: 210233

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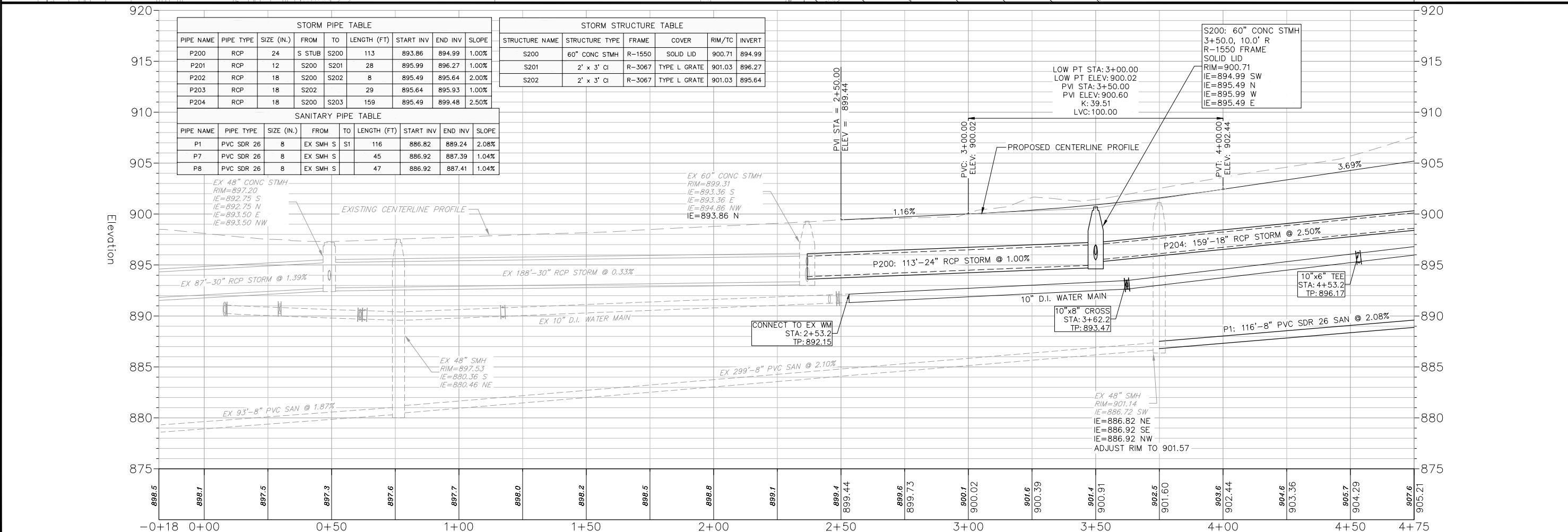


Plan & Profile - Stanley Park Place
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	REMARKS
NO.	DATE	NO.	DATE

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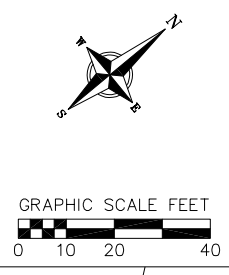
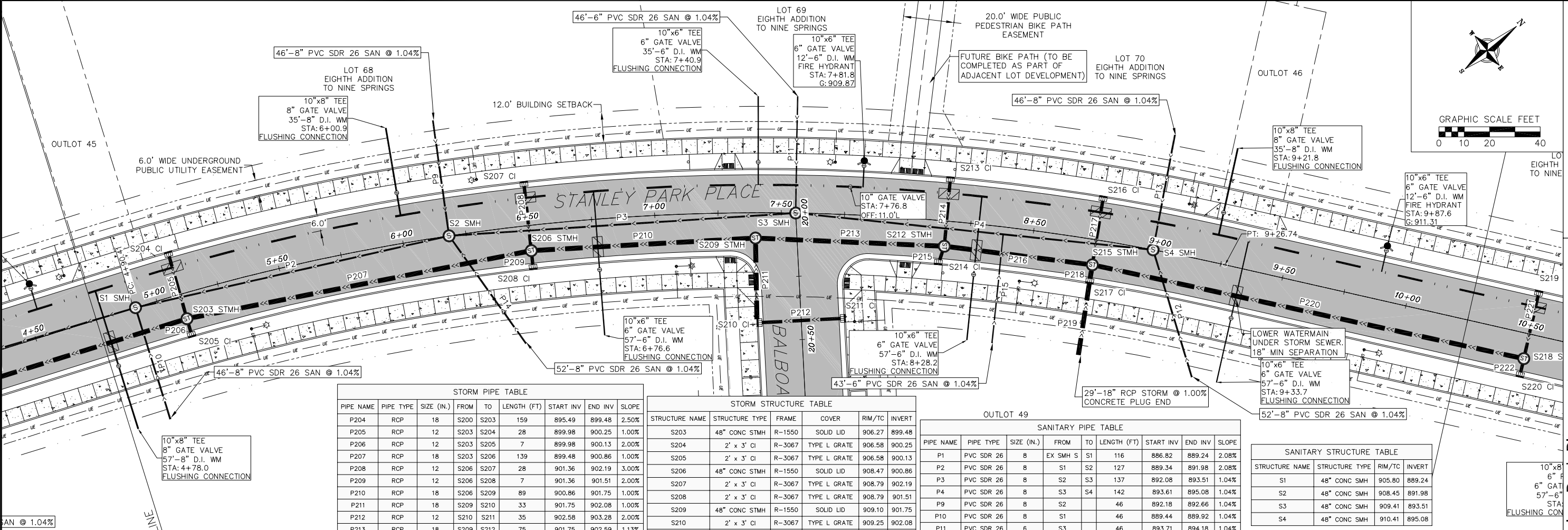


PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV.	END INV.	SLOPE
P200	RCP	24	S STUB	S200	113	893.86	894.99	1.00%
P201	RCP	12	S200	S201	28	895.99	896.27	1.00%
P202	RCP	18	S200	S202	8	895.49	895.64	2.00%
P203	RCP	18	S202	S203	29	895.64	895.93	1.00%
P204	RCP	18	S200	S203	159	895.49	899.48	2.50%

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV.	END INV.	SLOPE
P1	PVC SDR 26	8	EX SMH S	S1	116	886.82	889.24	2.08%
P7	PVC SDR 26	8	EX SMH S	S	45	886.92	887.39	1.04%
P8	PVC SDR 26	8	EX SMH S	S	47	886.92	887.41	1.04%

STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERT
S200	60" CONC STMH	R-1550	SOLID LID	900.71	894.99
S201	2' x 3' CI	R-3067	TYPE L GRATE	901.03	896.27
S202	2' x 3' CI	R-3067	TYPE L GRATE	901.03	895.64

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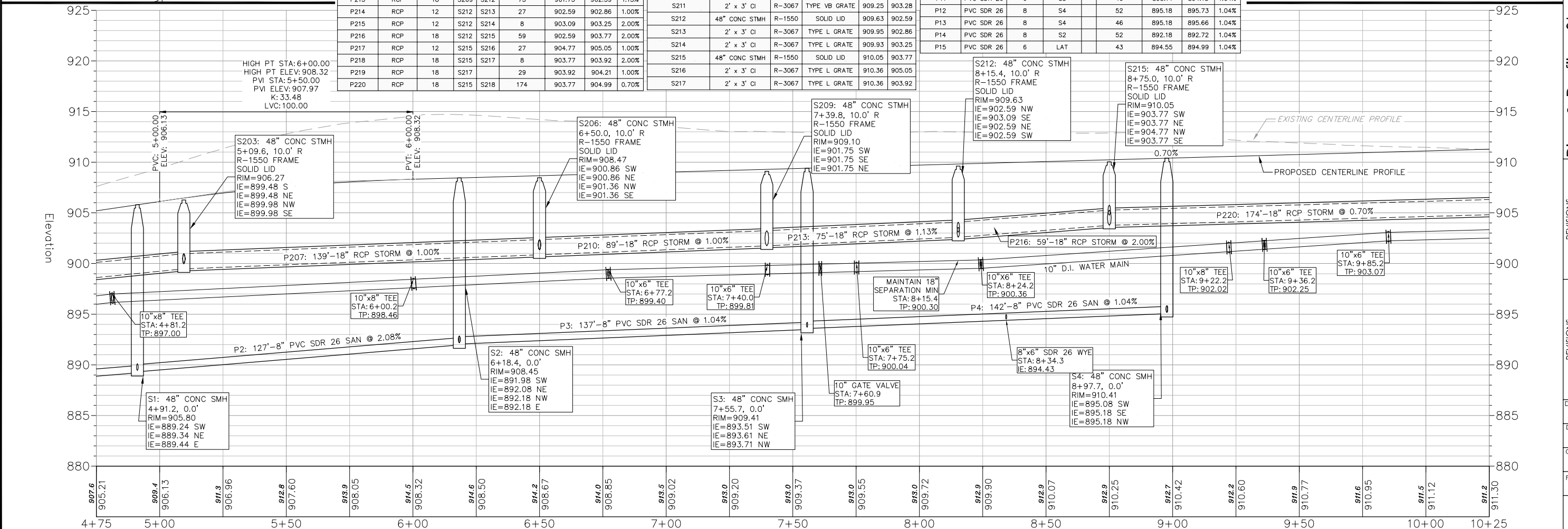


PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P204	RCP	18	S200	S203	159	895.49	899.48	2.50%
P205	RCP	12	S203	S204	28	899.98	900.25	1.00%
P206	RCP	12	S203	S205	7	899.98	900.13	2.00%
P207	RCP	18	S203	S206	139	899.48	900.86	1.00%
P208	RCP	12	S206	S207	28	901.36	902.19	3.00%
P209	RCP	12	S206	S208	7	901.36	901.51	2.00%
P210	RCP	18	S206	S209	89	900.86	901.75	1.00%
P211	RCP	18	S209	S210	33	901.75	902.08	1.00%
P212	RCP	12	S210	S211	35	902.58	903.28	2.00%
P213	RCP	18	S209	S212	75	901.75	902.59	1.13%
P214	RCP	12	S212	S213	27	902.59	902.86	1.00%
P215	RCP	12	S212	S214	8	903.09	903.25	2.00%
P216	RCP	18	S212	S215	59	902.59	903.77	2.00%
P217	RCP	12	S215	S216	27	904.77	905.05	1.00%
P218	RCP	18	S215	S217	8	903.77	903.92	2.00%
P219	RCP	18	S217	S218	29	903.92	904.21	1.00%
P220	RCP	18	S215	S218	174	903.77	904.99	0.70%

STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERT
S203	48" CONC STMH	R-1550	SOLID LID	906.27	899.48
S204	2' x 3' CI	R-3067	TYPE L GRATE	906.58	900.25
S205	2' x 3' CI	R-3067	TYPE L GRATE	906.58	900.13
S206	48" CONC STMH	R-1550	SOLID LID	908.47	900.86
S207	2' x 3' CI	R-3067	TYPE L GRATE	908.79	902.19
S208	2' x 3' CI	R-3067	TYPE L GRATE	908.79	901.51
S209	48" CONC STMH	R-1550	SOLID LID	909.10	901.75
S210	2' x 3' CI	R-3067	TYPE L GRATE	909.25	902.08
S211	2' x 3' CI	R-3067	TYPE VB GRATE	909.25	903.28
S212	48" CONC STMH	R-1550	SOLID LID	909.63	902.59
S213	2' x 3' CI	R-3067	TYPE L GRATE	909.95	902.86
S214	2' x 3' CI	R-3067	TYPE L GRATE	909.93	903.25
S215	48" CONC STMH	R-1550	SOLID LID	910.05	903.77
S216	2' x 3' CI	R-3067	TYPE L GRATE	910.36	905.05
S217	2' x 3' CI	R-3067	TYPE L GRATE	910.36	903.92

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P1	PVC SDR 26	8	EX SMH S	S1	116	886.82	889.24	2.08%
P2	PVC SDR 26	8	S1	S2	127	889.34	891.98	2.08%
P3	PVC SDR 26	8	S2	S3	137	892.08	893.51	1.04%
P4	PVC SDR 26	8	S3	S4	142	893.61	895.08	1.04%
P9	PVC SDR 26	8	S2	S2	46	892.18	892.66	1.04%
P10	PVC SDR 26	8	S1	S1	46	889.44	889.92	1.04%
P11	PVC SDR 26	6	S3	S3	46	893.71	894.18	1.04%
P12	PVC SDR 26	8	S4	S4	52	895.18	895.73	1.04%
P13	PVC SDR 26	8	S4	S4	46	895.18	895.66	1.04%
P14	PVC SDR 26	8	S2	S2	52	892.18	892.72	1.04%
P15	PVC SDR 26	6	LAT	LAT	43	894.55	894.99	1.04%

STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S1	48" CONC SMH	905.80	889.24
S2	48" CONC SMH	908.45	891.98
S3	48" CONC SMH	909.41	893.51
S4	48" CONC SMH	910.41	895.08

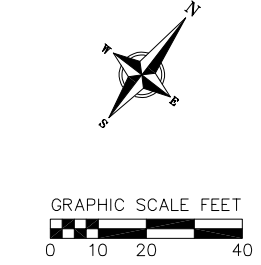
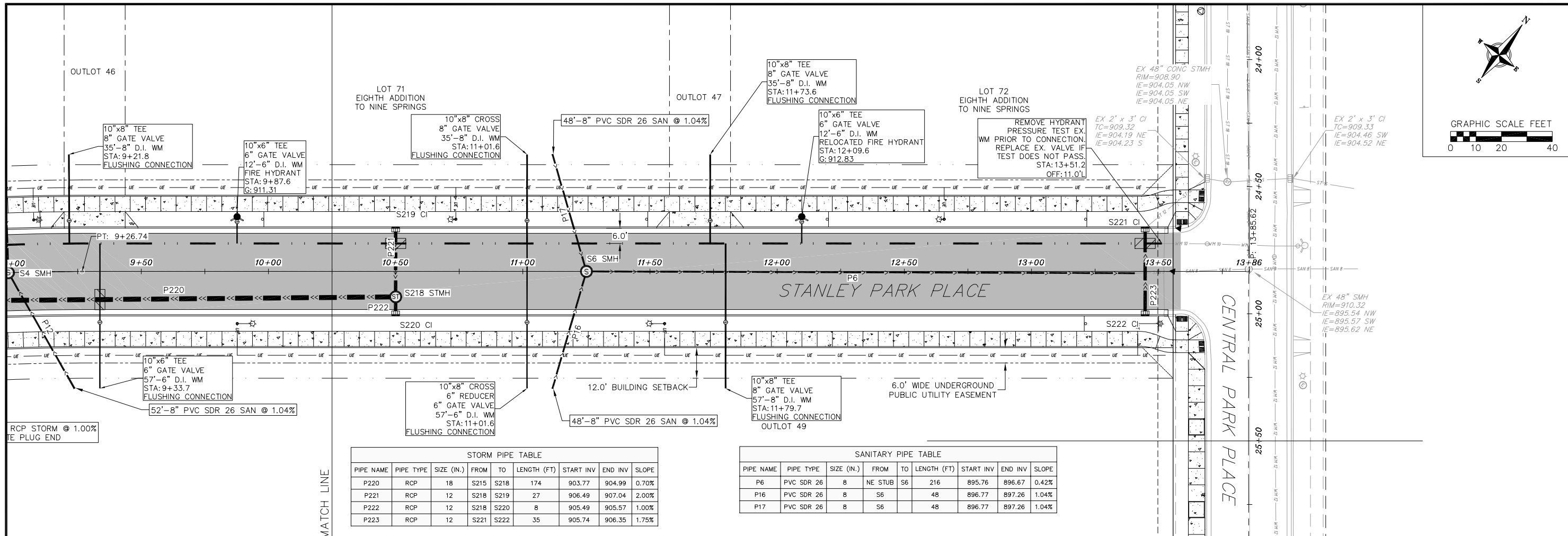


Plan & Profile - Stanley Park Place
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

DATE: 2/16/2026
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C502

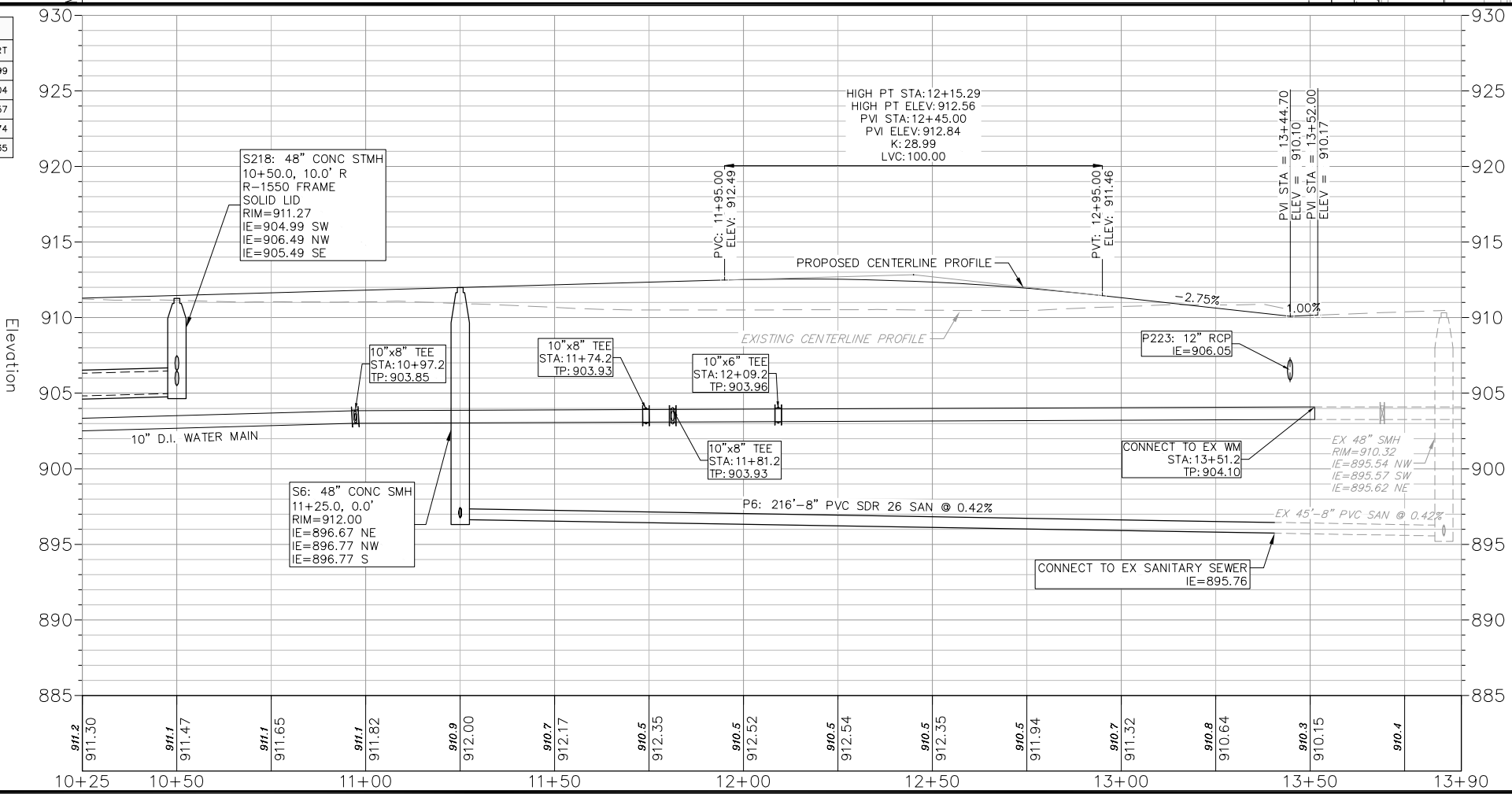


STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P220	RCP	18	S215	S218	174	903.77	904.99	0.70%
P221	RCP	12	S218	S219	27	906.49	907.04	2.00%
P222	RCP	12	S218	S220	8	905.49	905.57	1.00%
P223	RCP	12	S221	S222	35	905.74	906.35	1.75%

SANITARY PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P6	PVC SDR 26	8	NE STUB S6	S6	216	895.76	896.67	0.42%
P16	PVC SDR 26	8	S6	S6	48	896.77	897.26	1.04%
P17	PVC SDR 26	8	S6	S6	48	896.77	897.26	1.04%

STORM STRUCTURE TABLE					
STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERT
S218	48" CONC STMH	R-1550	SOLID LID	911.27	904.99
S219	2' x 3' CI	R-3067	TYPE L GRATE	911.59	907.04
S220	2' x 3' CI	R-3067	TYPE L GRATE	911.59	905.57
S221	2' x 3' CI	R-3067	TYPE VB GRATE	910.21	904.74
S222	2' x 3' CI	R-3067	TYPE VB GRATE	910.67	906.35

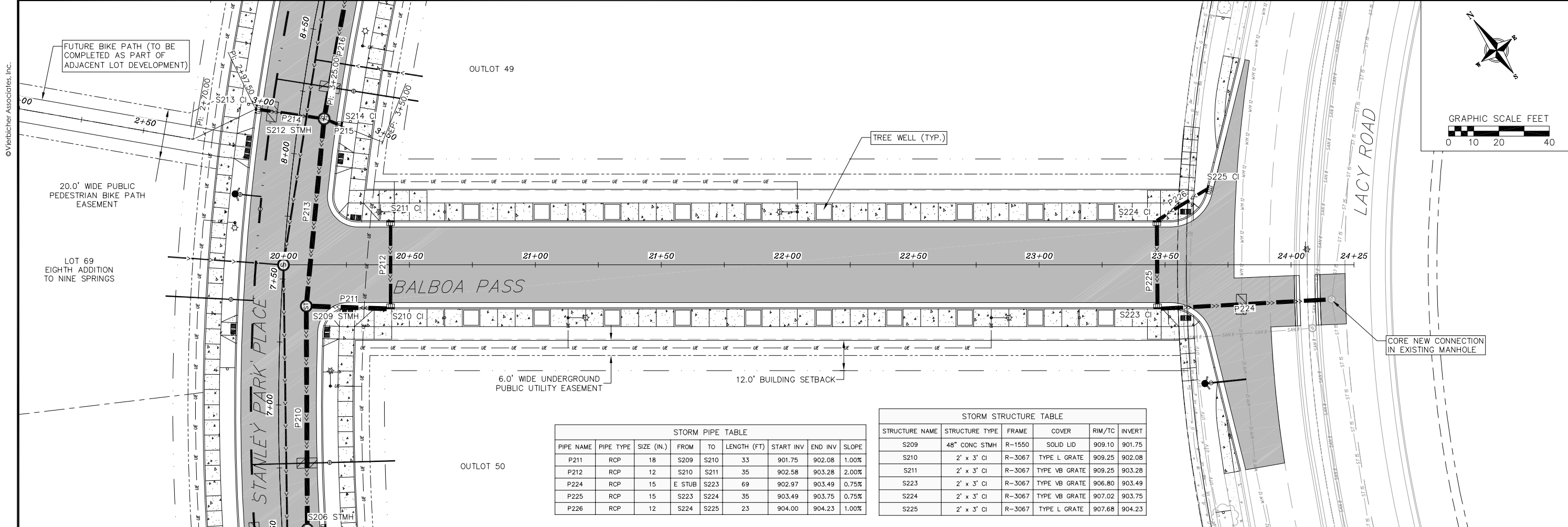
SANITARY STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S6	48" CONC SMH	912.00	896.67



Plan & Profile - Stanley Park Place
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

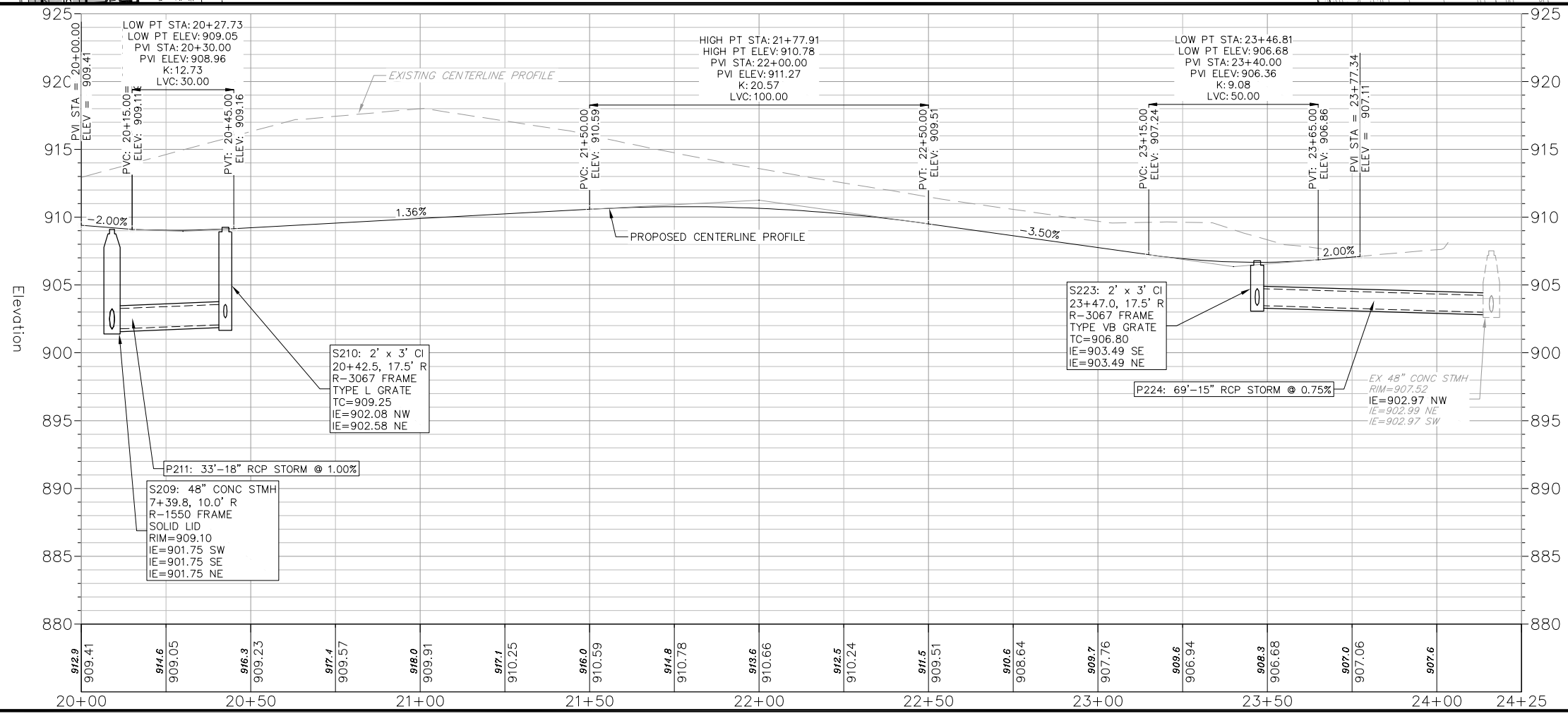
NO.	DATE	REVISIONS	REMARKS

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STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P211	RCP	18	S209	S210	33	901.75	902.08	1.00%
P212	RCP	12	S210	S211	35	902.58	903.28	2.00%
P224	RCP	15	E STUB	S223	69	902.97	903.49	0.75%
P225	RCP	15	S223	S224	35	903.49	903.75	0.75%
P226	RCP	12	S224	S225	23	904.00	904.23	1.00%

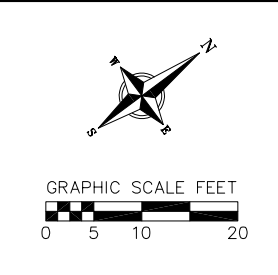
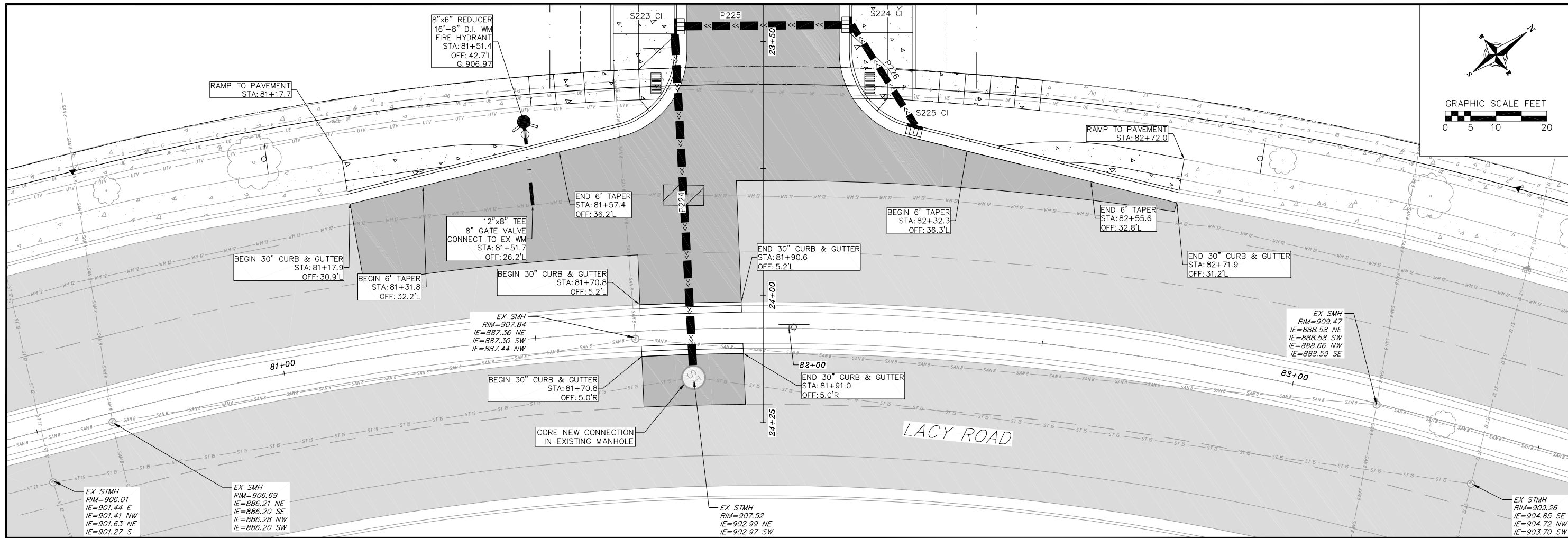
STORM STRUCTURE TABLE						
STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERT	
S209	48" CONC STMH	R-1550	SOLID LID	909.10	901.75	
S210	2' x 3' CI	R-3067	TYPE L GRATE	909.25	902.08	
S211	2' x 3' CI	R-3067	TYPE VB GRATE	909.25	903.28	
S223	2' x 3' CI	R-3067	TYPE VB GRATE	906.80	903.49	
S224	2' x 3' CI	R-3067	TYPE VB GRATE	907.02	903.75	
S225	2' x 3' CI	R-3067	TYPE L GRATE	907.68	904.23	



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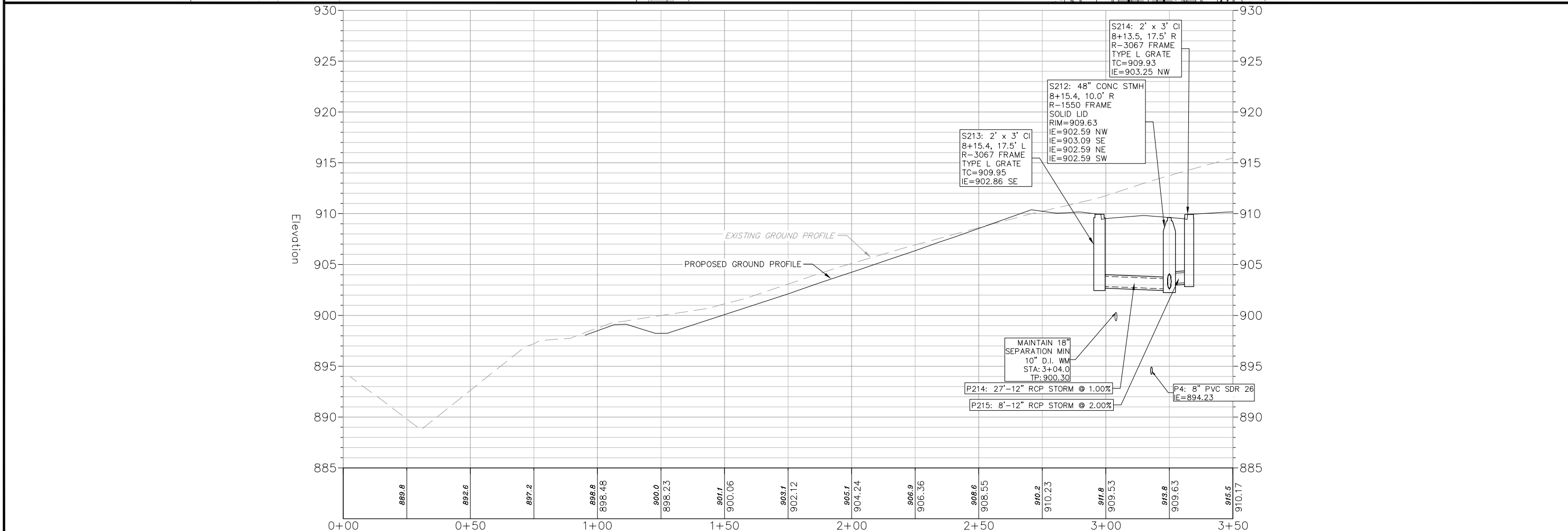
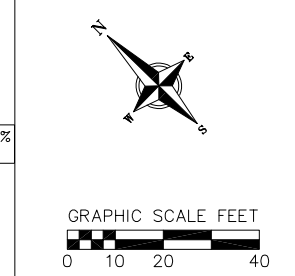
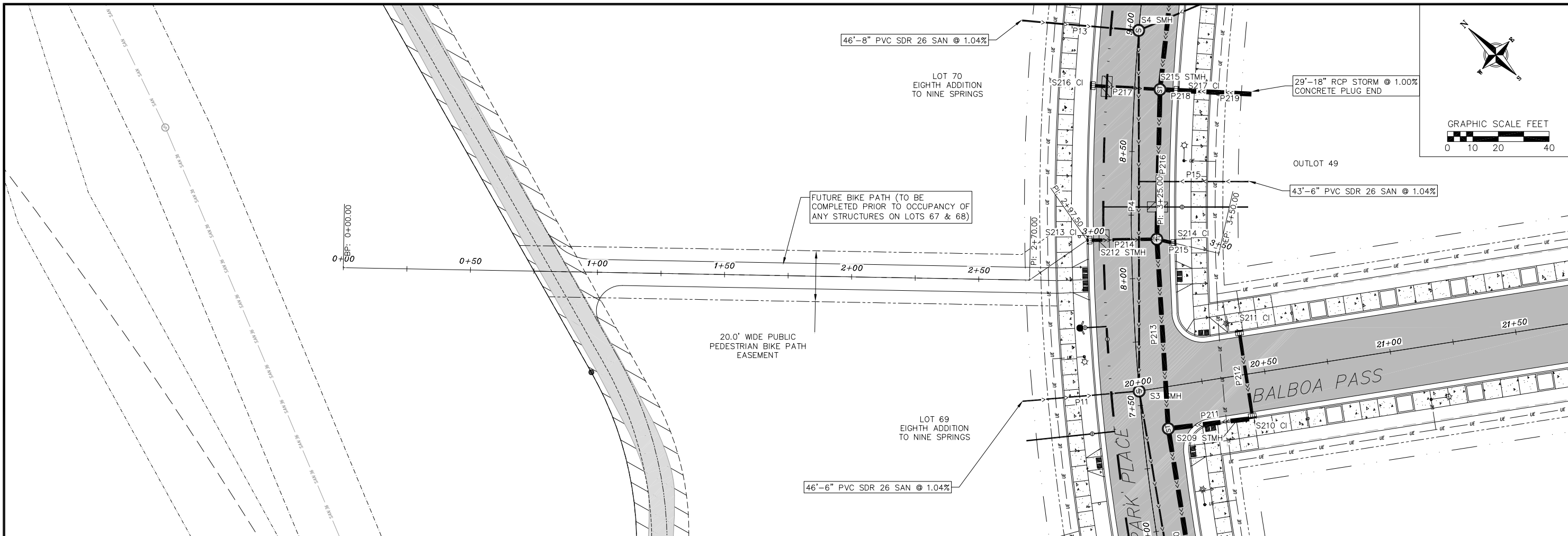
STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV.	END INV.	SLOPE
P224	RCP	15	E STUB	S223	69	902.97	903.49	0.75%
P225	RCP	15	S223	S224	35	903.49	903.75	0.75%
P226	RCP	12	S224	S225	23	904.00	904.23	1.00%

STORM STRUCTURE TABLE						
STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERT	
S223	2' x 3' CI	R-3067	TYPE VB GRATE	906.80	903.49	
S224	2' x 3' CI	R-3067	TYPE VB GRATE	907.02	903.75	
S225	2' x 3' CI	R-3067	TYPE L GRATE	907.68	904.23	

Plan - Lacy Road
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

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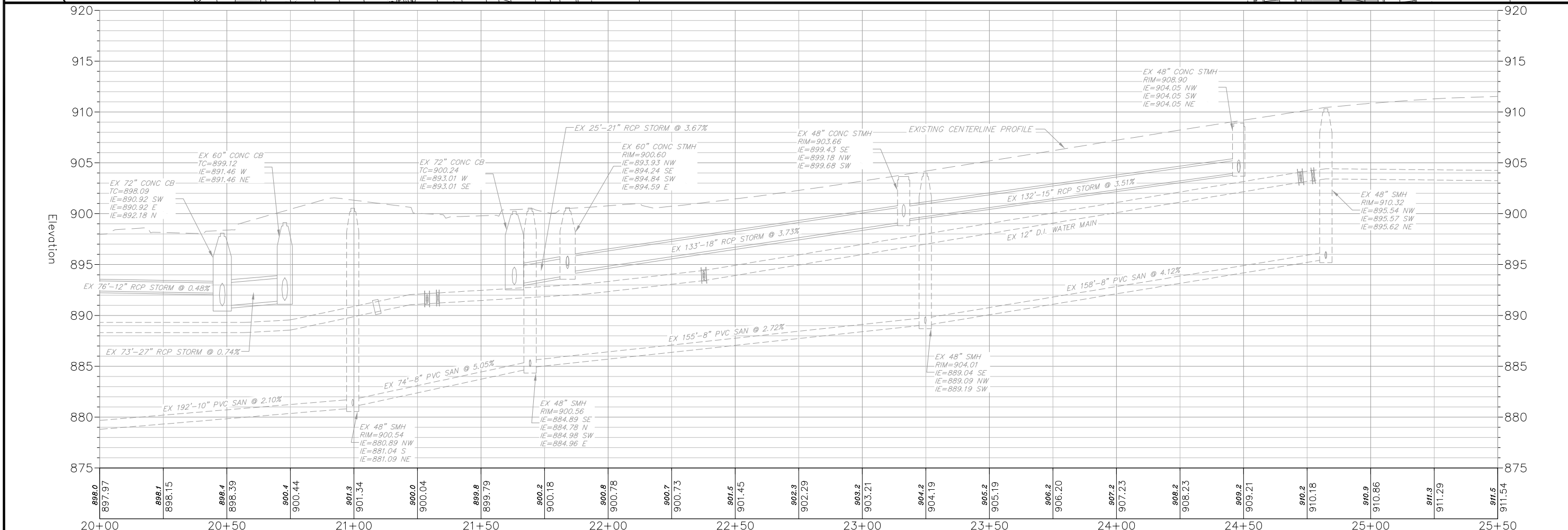
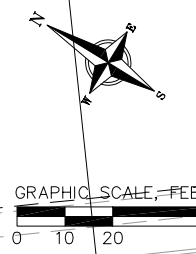
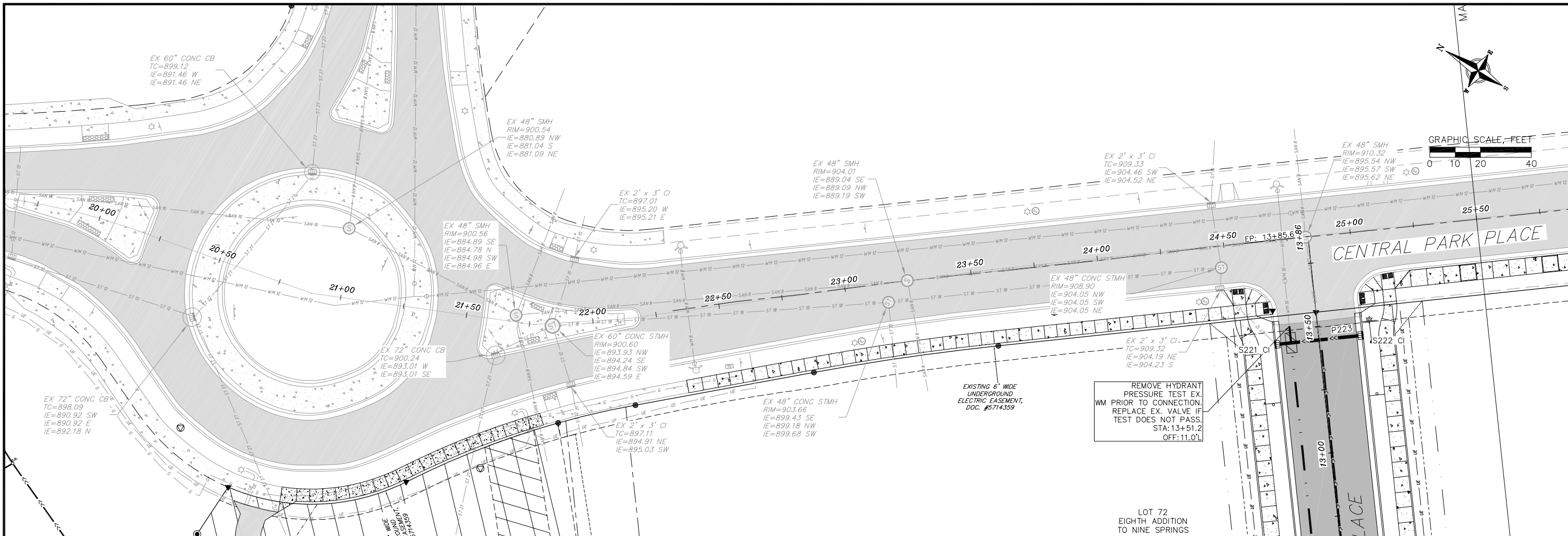
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Plan & Profile - Storm Sewer
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

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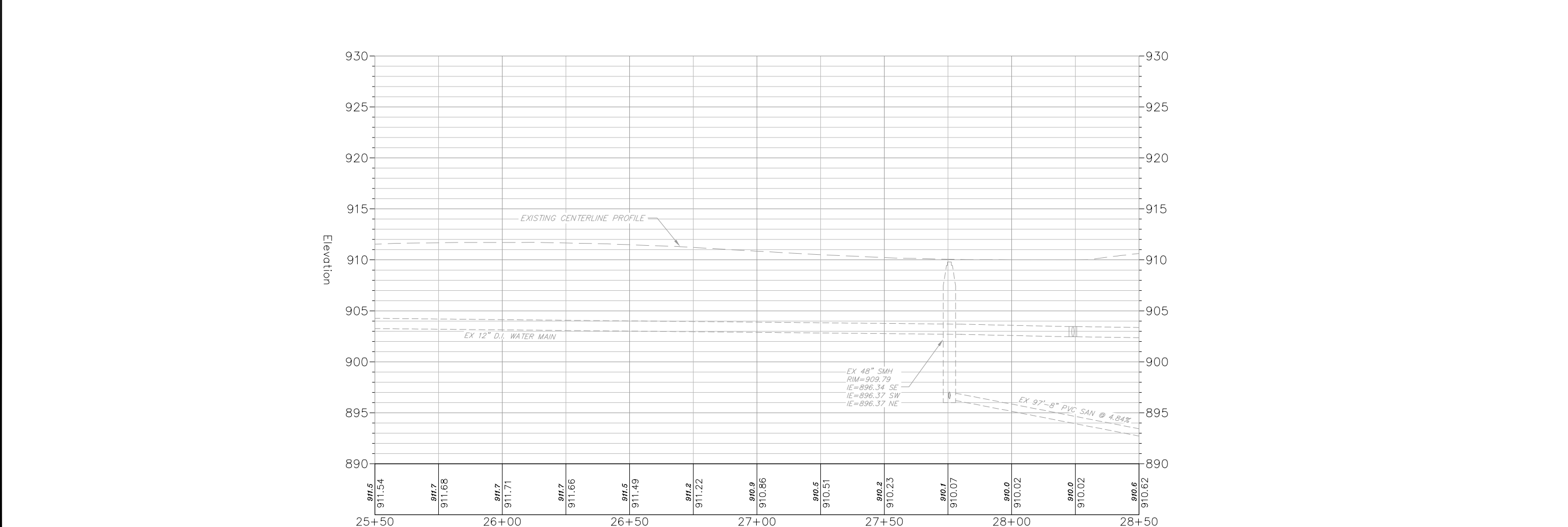
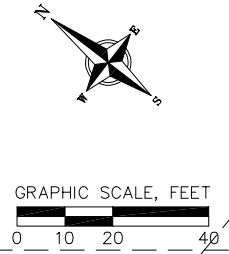
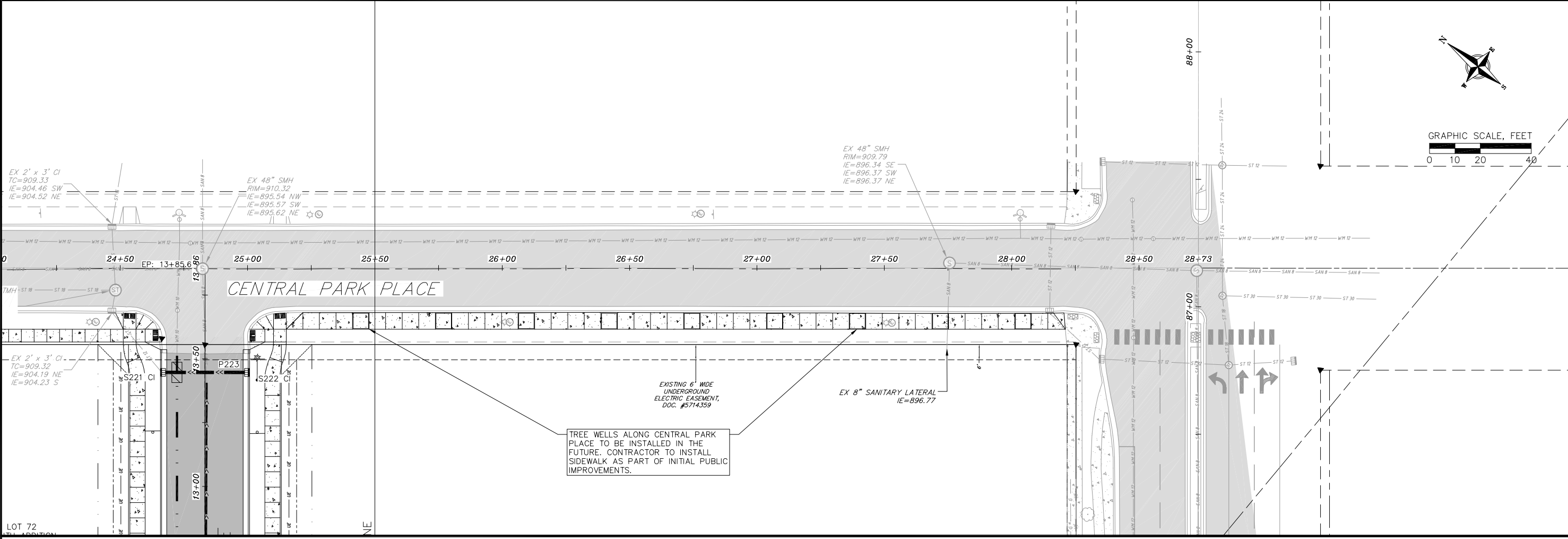
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Plan & Profile - Central Park Place
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

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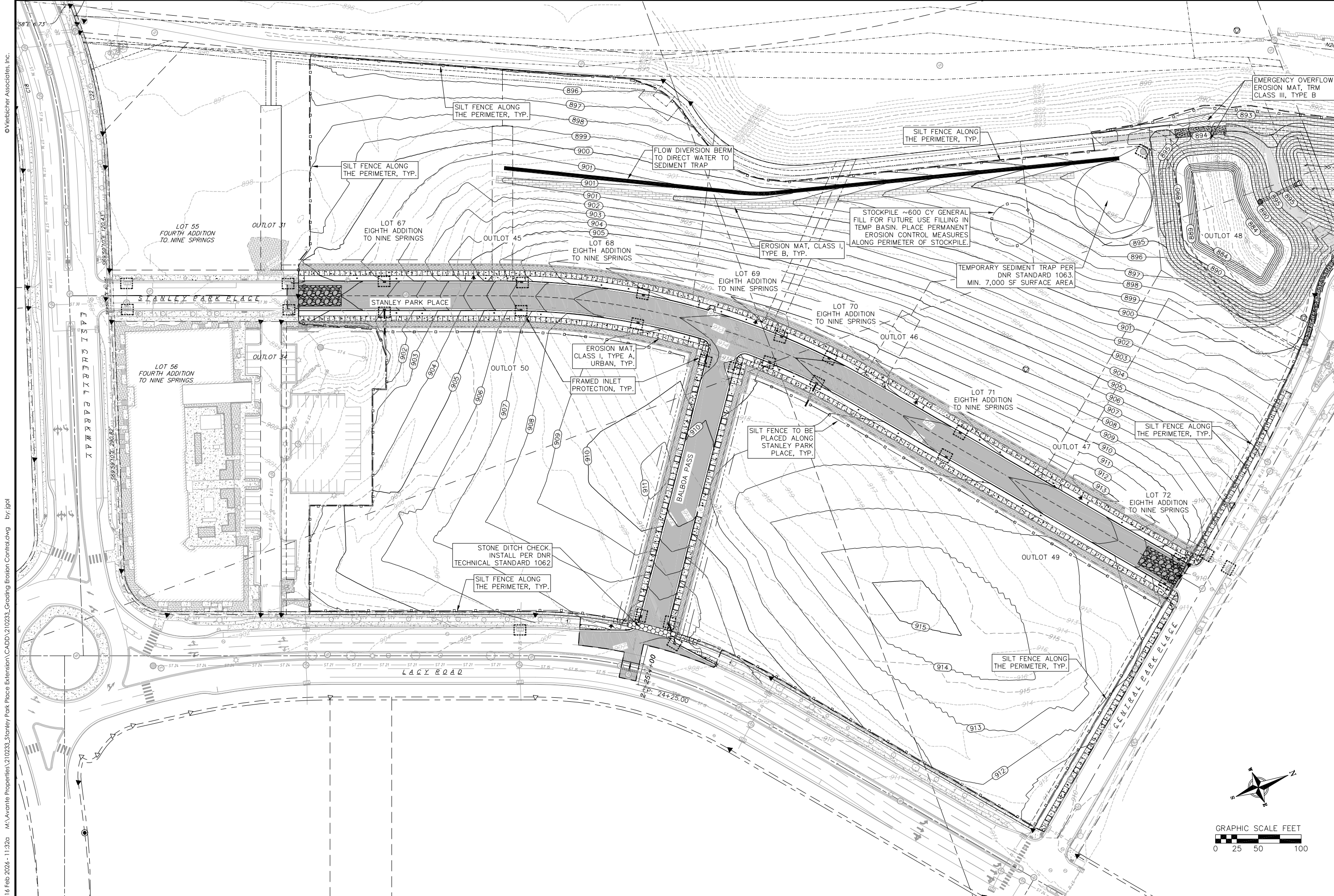
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Plan & Profile - Central Park Place
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
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DANE COUNTY, WISCONSIN

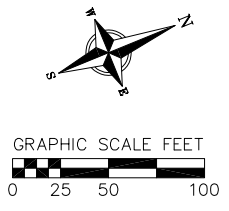
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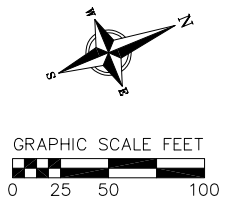
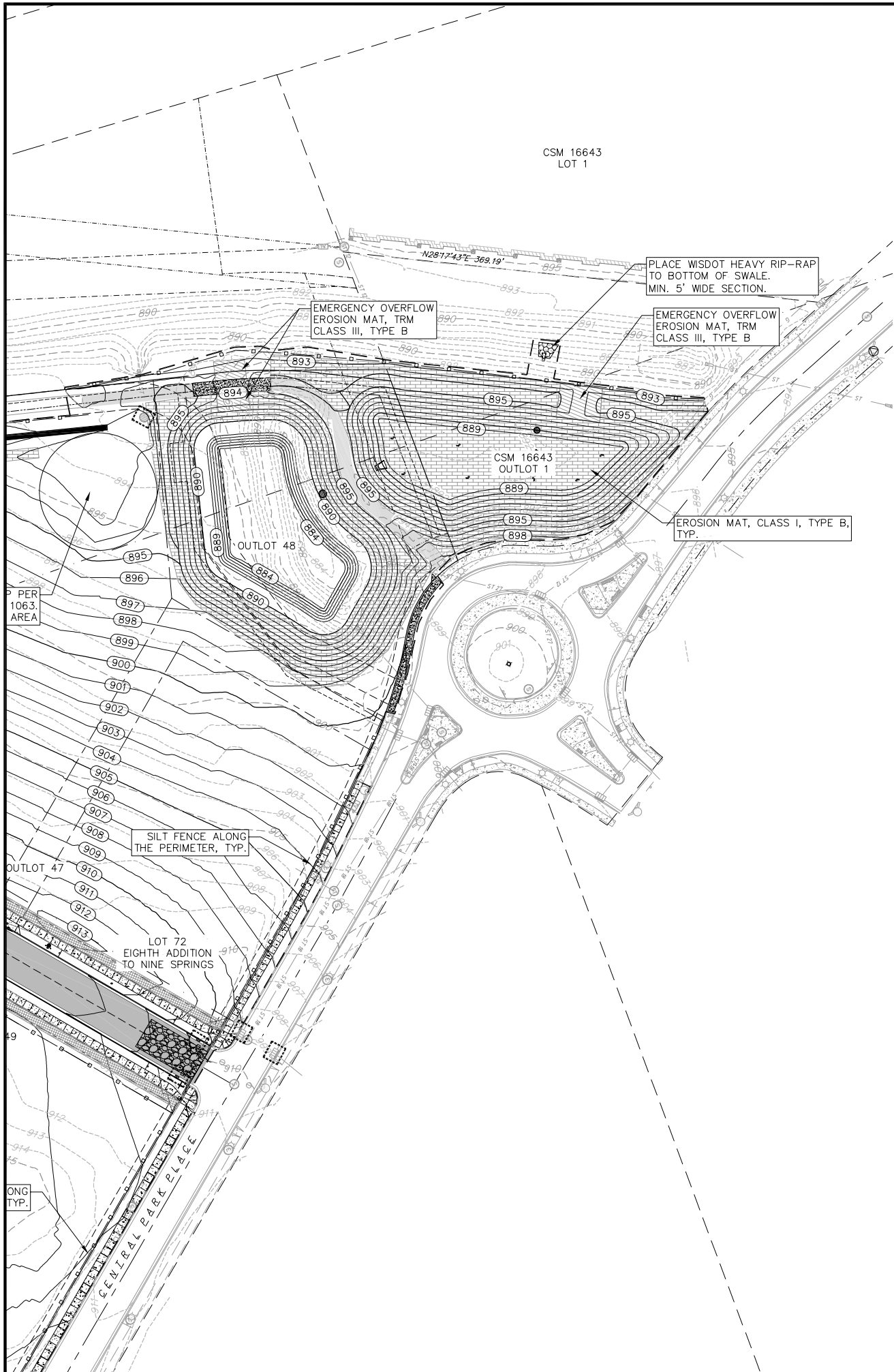
Overall Grading & Erosion Control Plan
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN



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C600

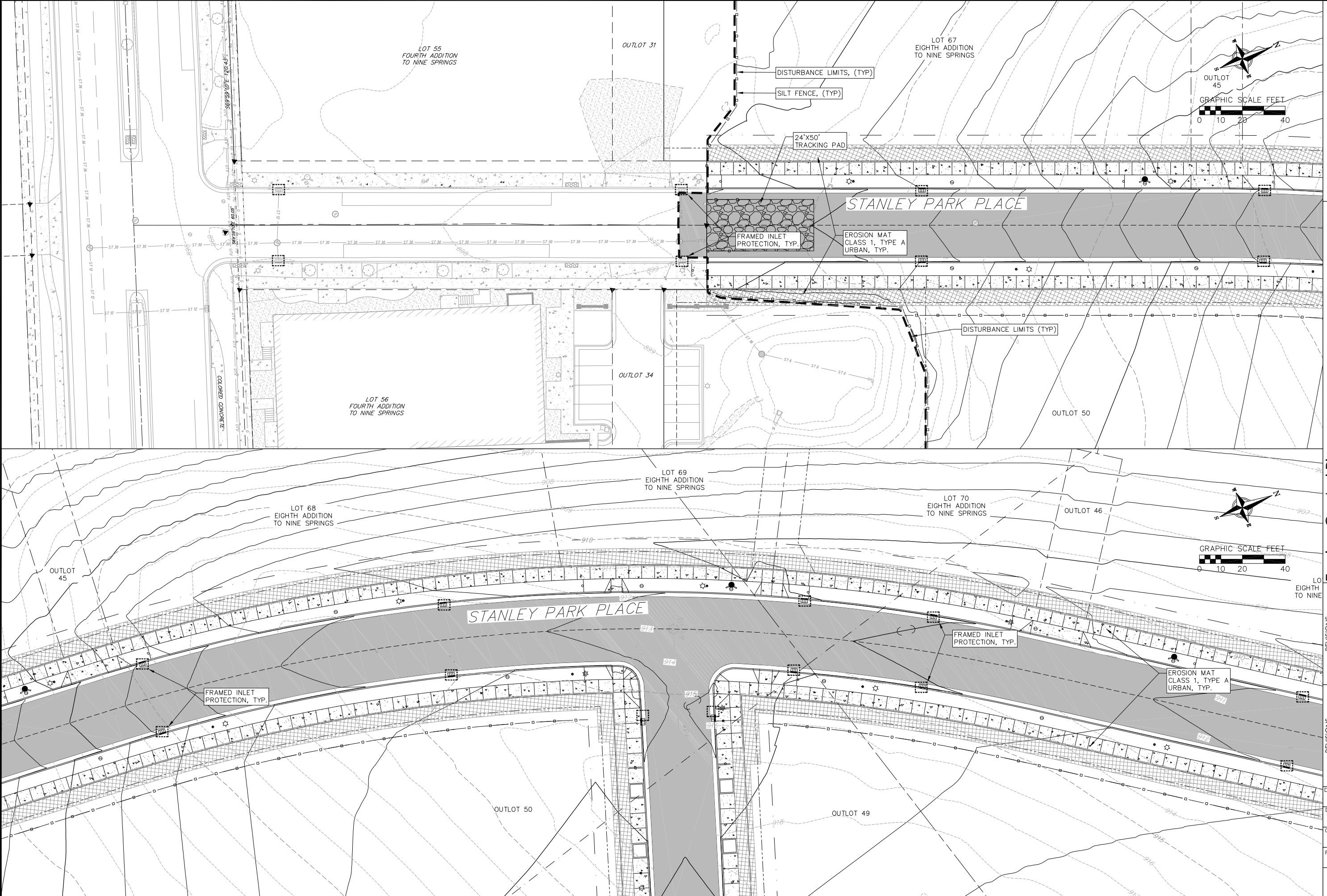


Overall Grading & Erosion Control Plan
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

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		NO.	DATE

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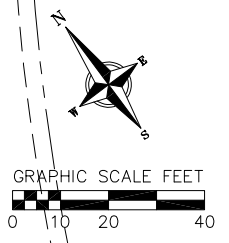
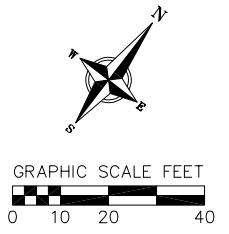
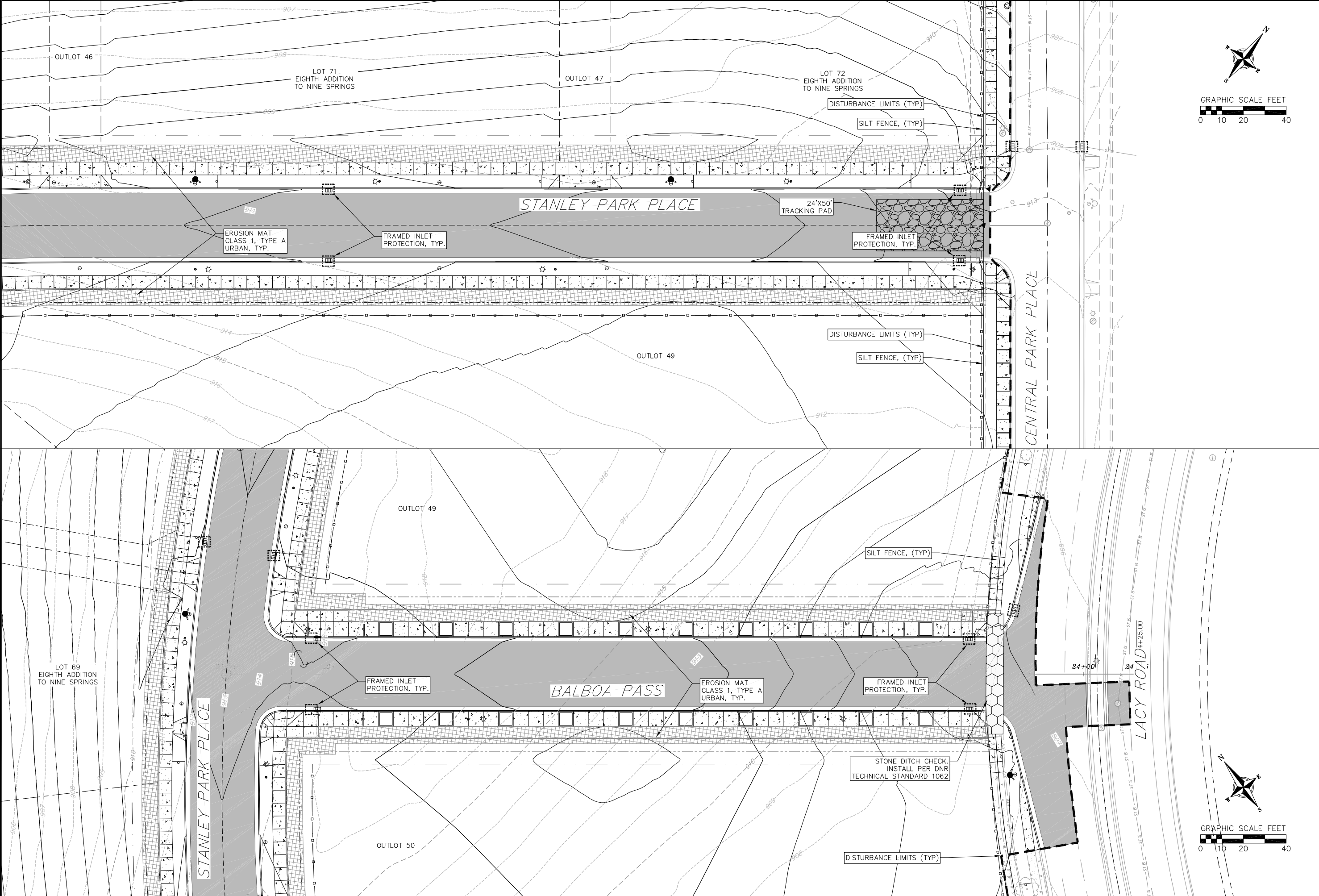
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PROJECT NO.	210233

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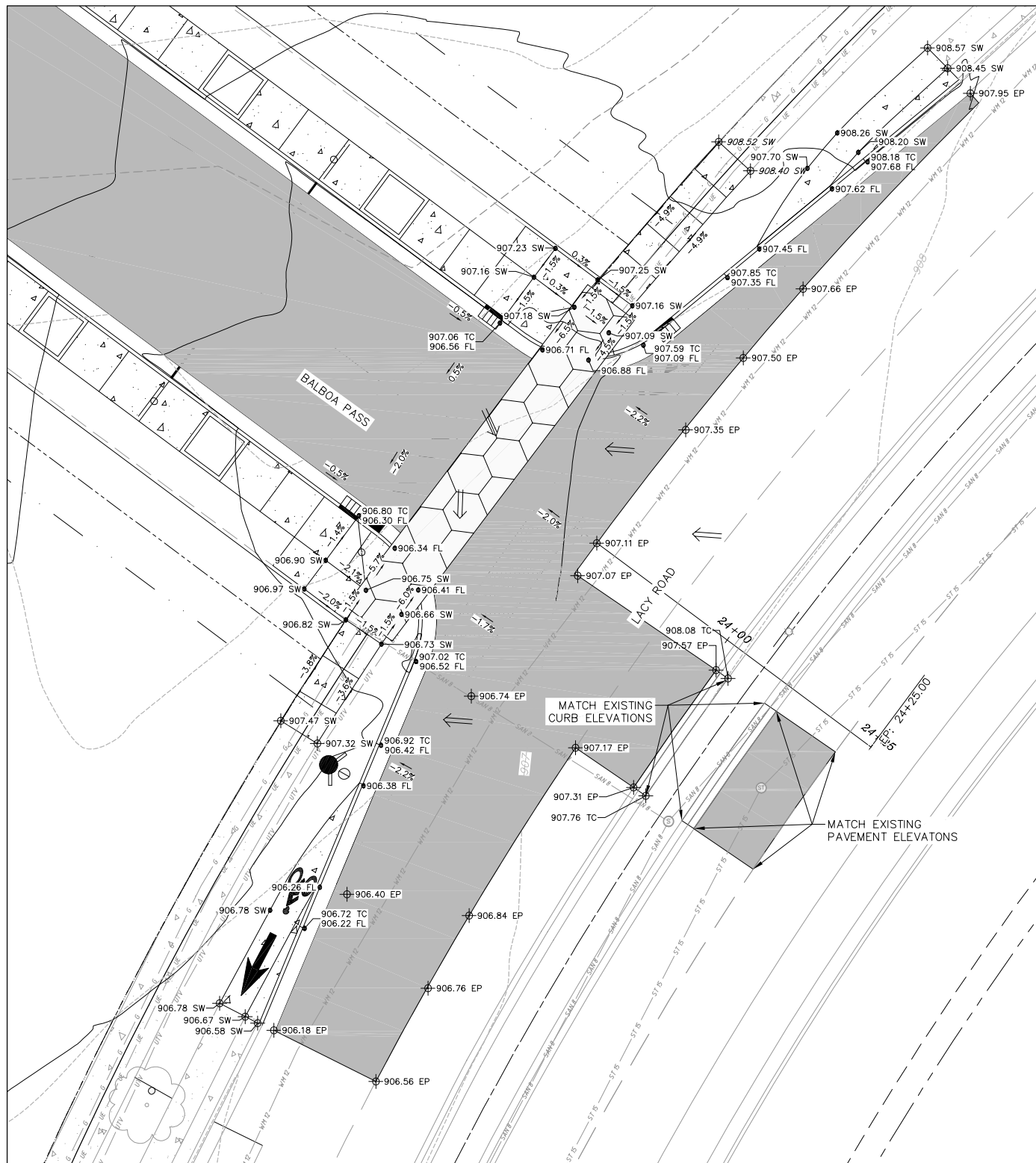


Erosion Control Plan
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

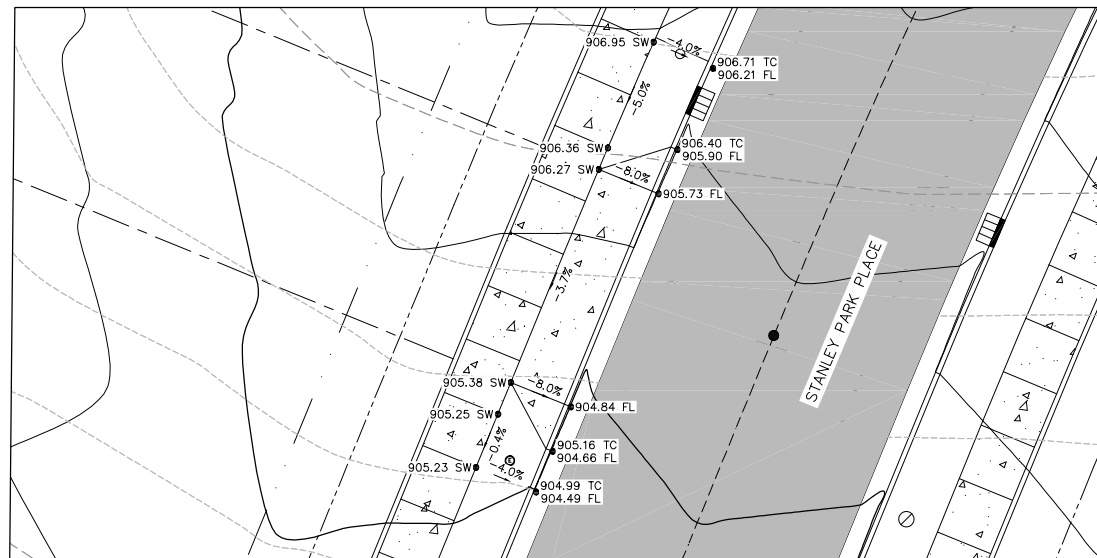
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DATE: 2/16/2026
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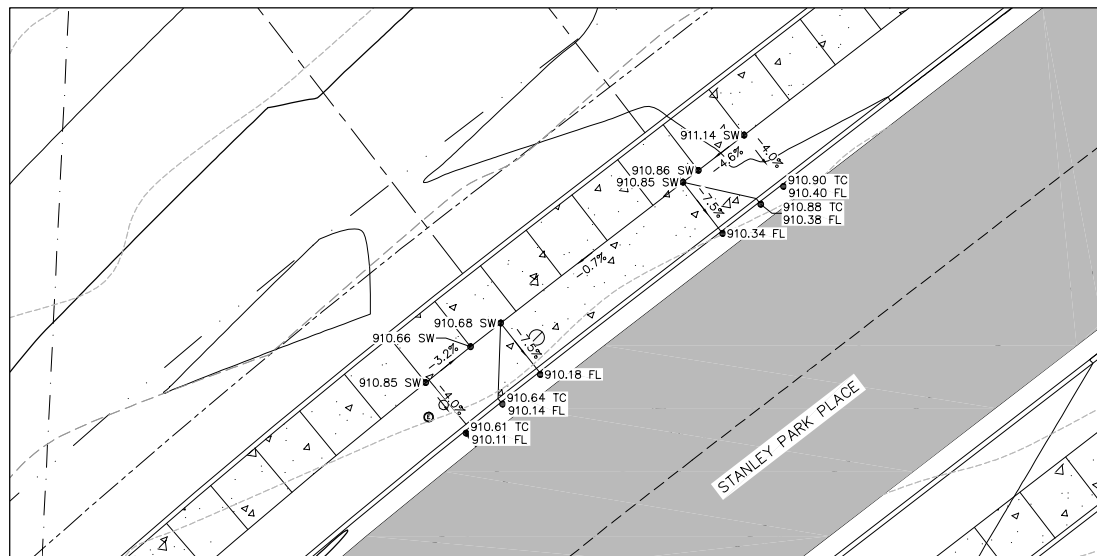
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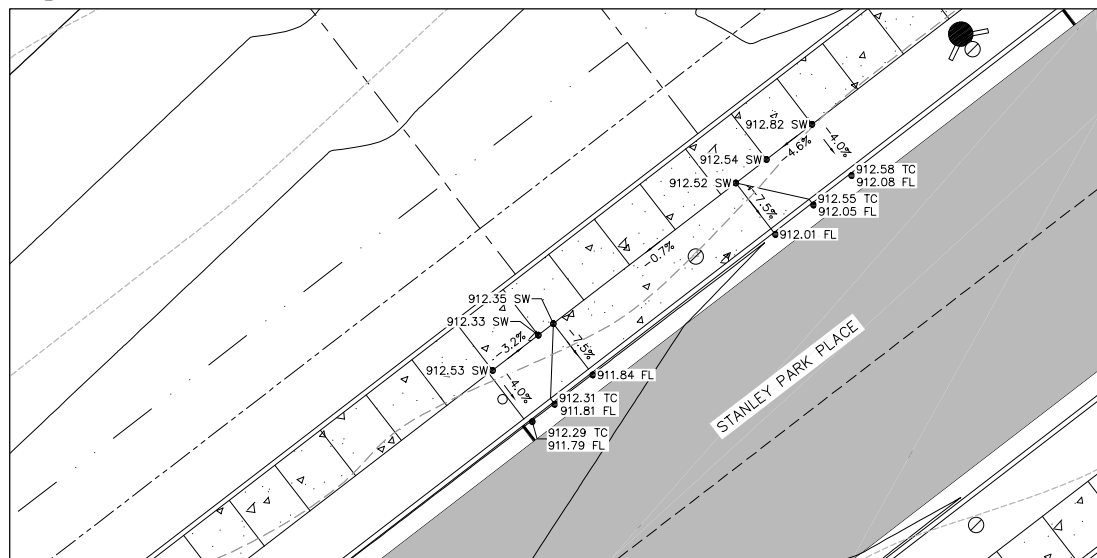
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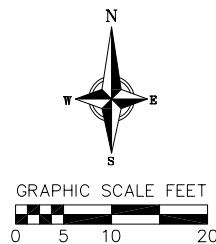
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1" = 10'



3 DRIVEWAY GRADING DETAIL
1" = 10'



4 DRIVEWAY GRADING DETAIL
1" = 10'



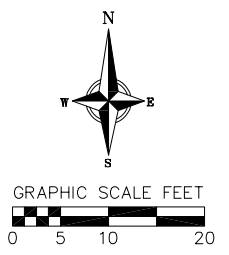
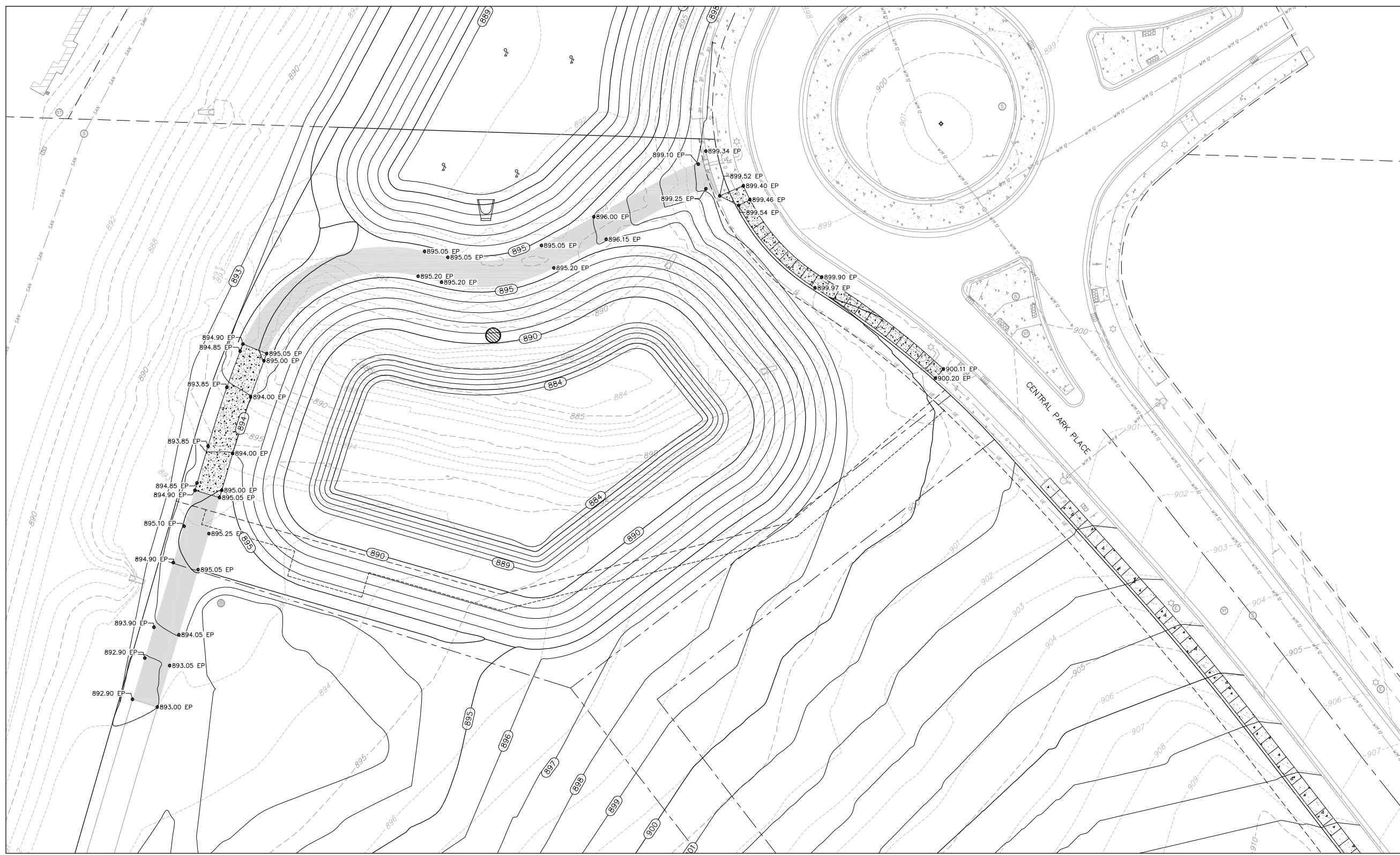
Detailed Grading Plan
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

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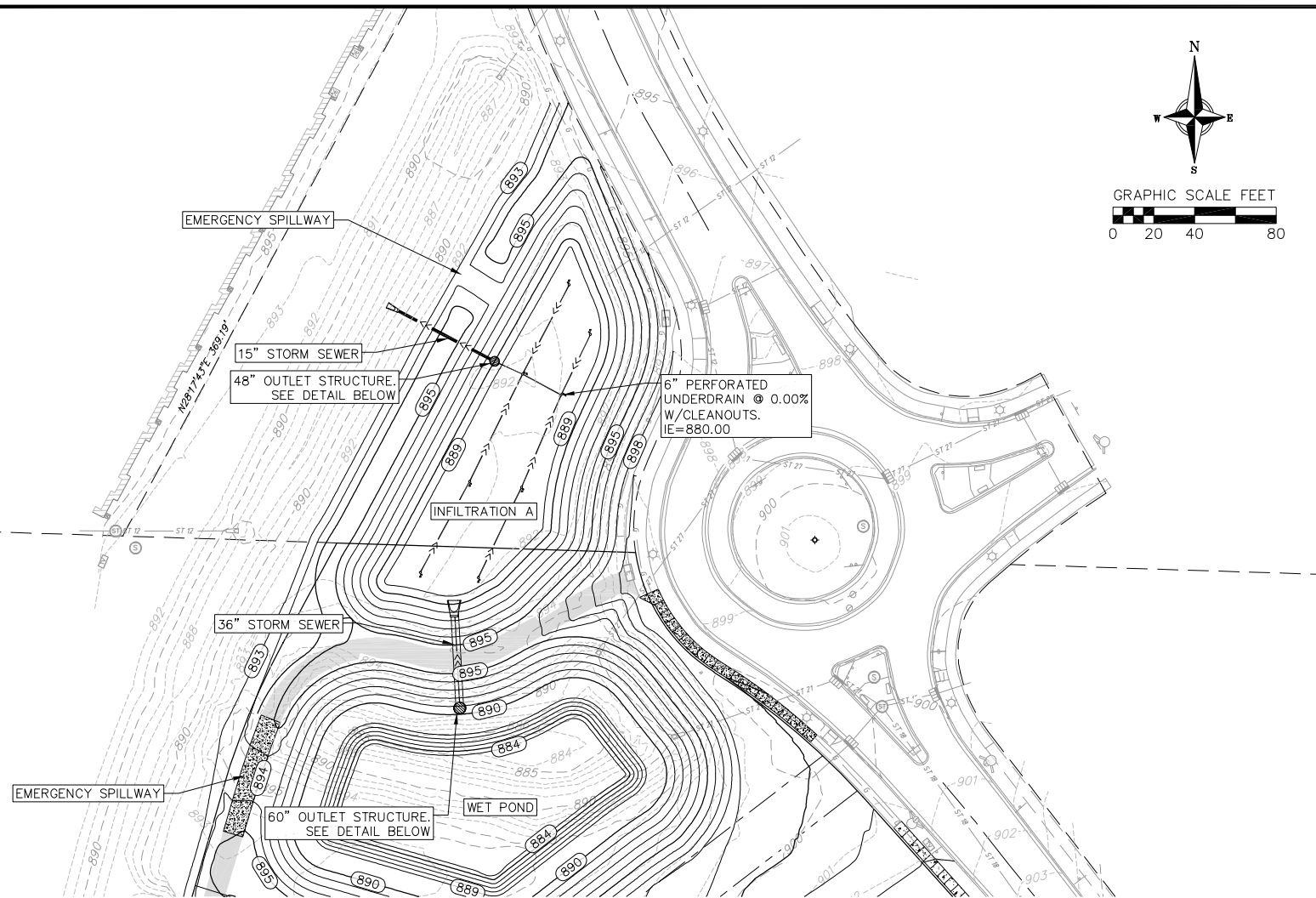
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1" = 10'

Detailed Grading Plan
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

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C606



INFILTRATION AREA RESTORATION SPECIFICATIONS:
 NOTE: BOTTOM OF INFILTRATION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

INFILTRATION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1003 (INFILTRATION BASIN)

PLANTING, EROSION MAT, AND MAINTENANCE NOTES:
 SEEDING (SEE DETAIL SHEET FOR MIX DESIGN) SHALL BE COMPLETED IN THE LATEFALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (BETWEEN MAY 1 AND JUNE 20), OR PLUGS SHALL BE USED. COVER CROP SHALL BE USED.

EROSION MAT SHALL CONFORM TO THE CRITERIA LOCATED IN WDNR CONSERVATION PRACTICE STANDARD MULCHING FOR CONSTRUCTION SITES (1058).

DO NOT ALLOW SURROUNDING SOILS TO ERODE INTO BASINS ONCE ENGINEERED SOIL AND SEEDING HAS BEEN INSTALLED.

MAINTENANCE OF NATIVE VEGETATION (MOWING, CUTTING OR BURNING SHALL BE USED TO MAINTAIN VEGETATION):
 1. ESTABLISHMENT— THE FIRST MOWING OF NEWLY PLANTED SEED SHALL OCCUR ONCE IT REACHES A HEIGHT OF 10 TO 12 INCHES.
 2. MOWING—MOWING SHALL REDUCE THE HEIGHT OF PLANTS TO 5 TO 6 INCHES. IF AFTER ESTABLISHMENT, IF BURNING CANNOT BE ACCOMMODATED, MOWING SHALL OCCUR ONCE IN THE FALL AFTER NOVEMBER 1). THE AREA SHALL BE MOWED TO A HEIGHT OF 5 TO 6 INCHES.
 3. BURNING
 A. ROUTINE MAINTENANCE – BEGINNING THE SECOND YEAR, BURNING SHALL OCCUR IN THE EARLY SPRING (PRIOR TO MAY 1ST) OR IN THE LATE FALL (AFTER NOVEMBER 1ST)
 B. BURNING SHALL BE DONE TWO CONSECUTIVE YEARS AND THEN UP TO THREE YEARS CAN PASS BEFORE THE NEXT BURNING.
 C. UNDER NO CIRCUMSTANCES SHALL BURNING OCCUR EVERY OTHER YEAR

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):
 1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY CERTIFIED SOILS ENGINEER.
 2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
 3. PLANT AND MAINTAIN AS DIRECTED ABOVE.

STORAGE LAYER
 SAND OR GRAVEL

SAND SHALL MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:

- USDA COARSE SAND (0.02 – 0.04 INCHES)
- ASTM C33 (FINE AGGREGATE CONCRETE SAND)
- WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5.3.4 (FINE AGGREGATE CONCRETE SAND) 2005 EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY

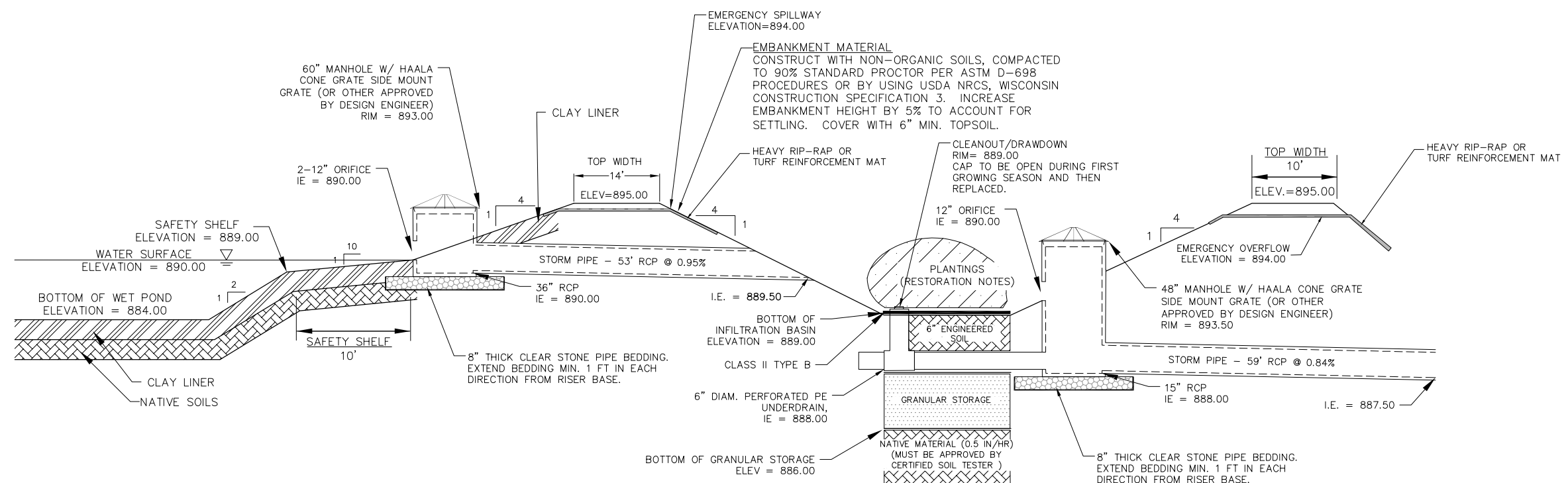
GRAVEL SHALL MEET:

- COARSE AGGREGATE #2 AND OTHER SPECIFICATIONS OF WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5, 203 EDITION OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY. GRAVEL SHALL BE DOUBLE-WASHED.

CLAY LINER CRITERIA

- 50% FINES (200 SIEVE) OR MORE.
- AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1×10^{-7} CM/SEC. OR LESS.
- AVERAGE LIQUID LIMIT OF 25 OR GREATER, WITH NO VALUE LESS THAN 20.
- AVERAGE PI OF 12 OR MORE, WITH NO VALUES LESS THAN 10.
- CLAY INSTALLED WET OF OPTIMUM IF USING STANDARD PROCTOR, AND 2% WET OF OPTIMUM IF USING MODIFIED PROCTOR.
- CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 300, CLAY LINERS.
- MINIMUM THICKNESS OF TWO FEET.

CONTRACTOR TO PROVIDE SAMPLE OF CLAY TO BE IMPORTED TO VERIFY IT MEETS THE STATED REQUIREMENTS.

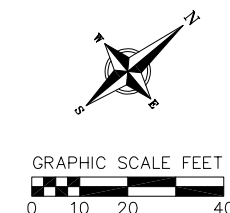
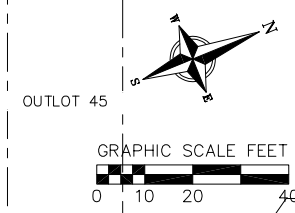
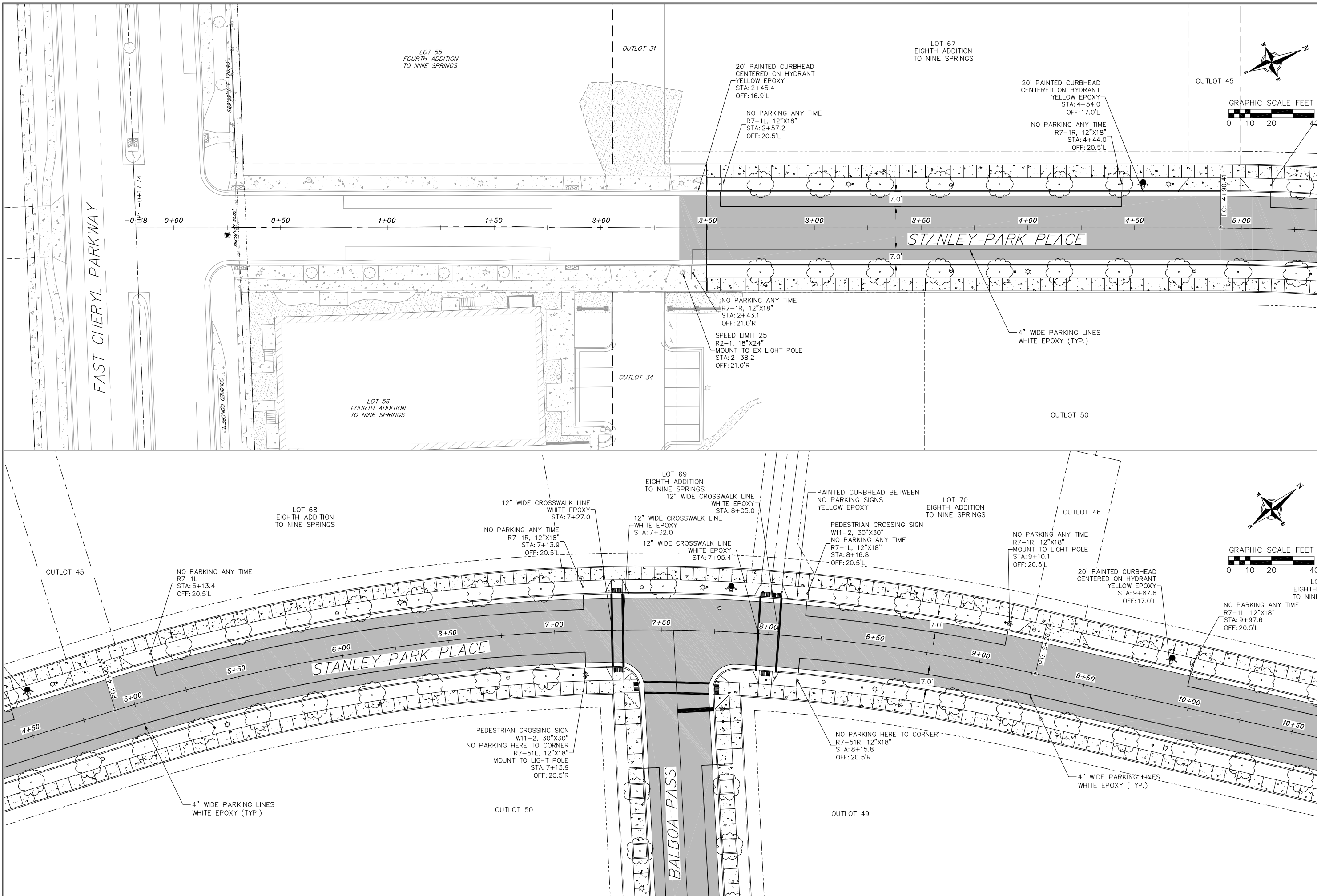


1 WET POND/INFILTRATION A FACILITY CROSS-SECTION
 130 NOT TO SCALE

REVISIONS		REVISIONS	REMARKS
NO.	DATE	NO.	DATE

DATE: 2/16/2026
 DRAFTER: NJOH
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 PROJECT NO.: 210233

C607



Signage & Pavement Marking Plan
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

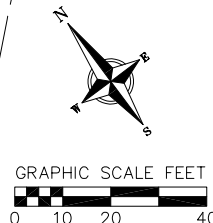
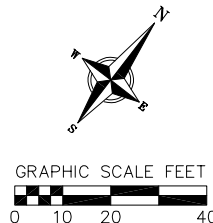
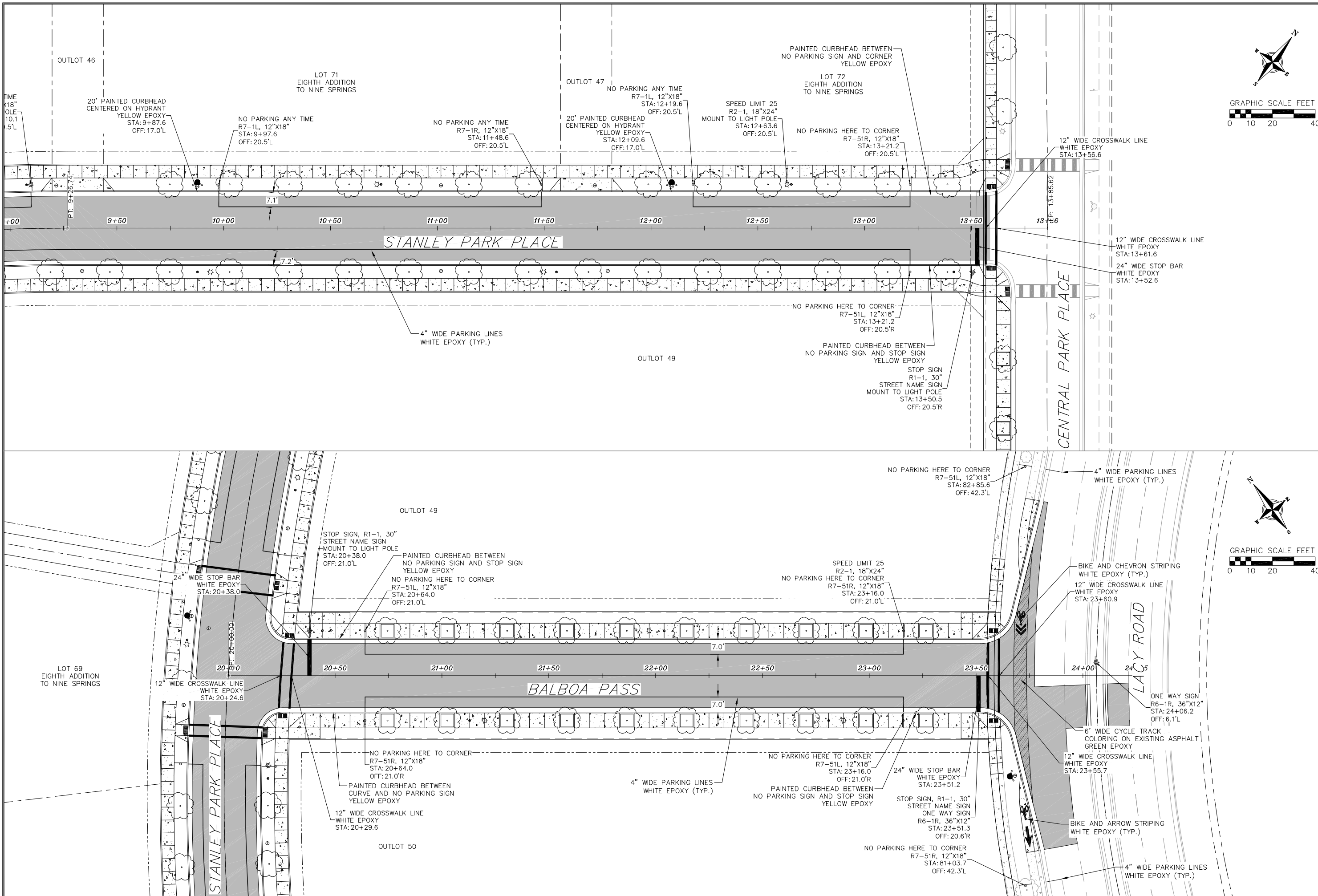
NO.	DATE	REVISIONS	REMARKS

DATE: 2/16/2026
 DRAFTER: NJOH
 CHECKED: JZAM
 PROJECT NO.: 210233

C700

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16 Feb 2026 - 102233c M:\Avante Properties\210233_Stanley Park Place Extension\CADD\210233_Signage Pavement Marking.dwg by: jgbl



Signage & Pavement Marking Plan
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

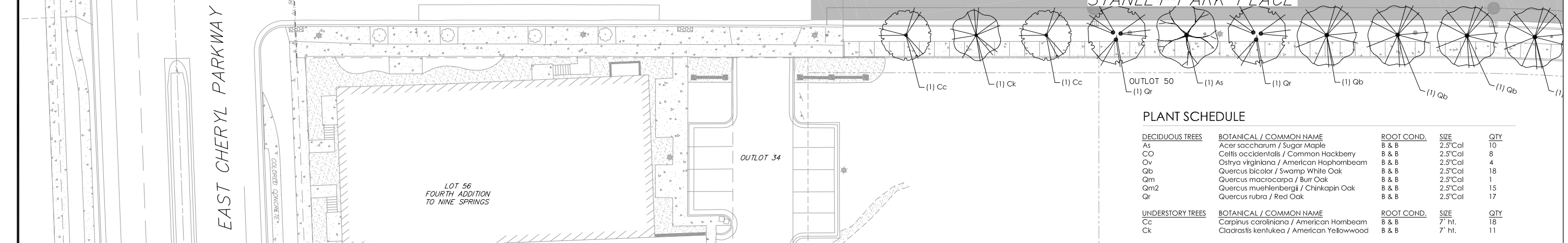
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DATE: 2/16/2026
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CHECKED: JZAM
PROJECT NO.: 210233

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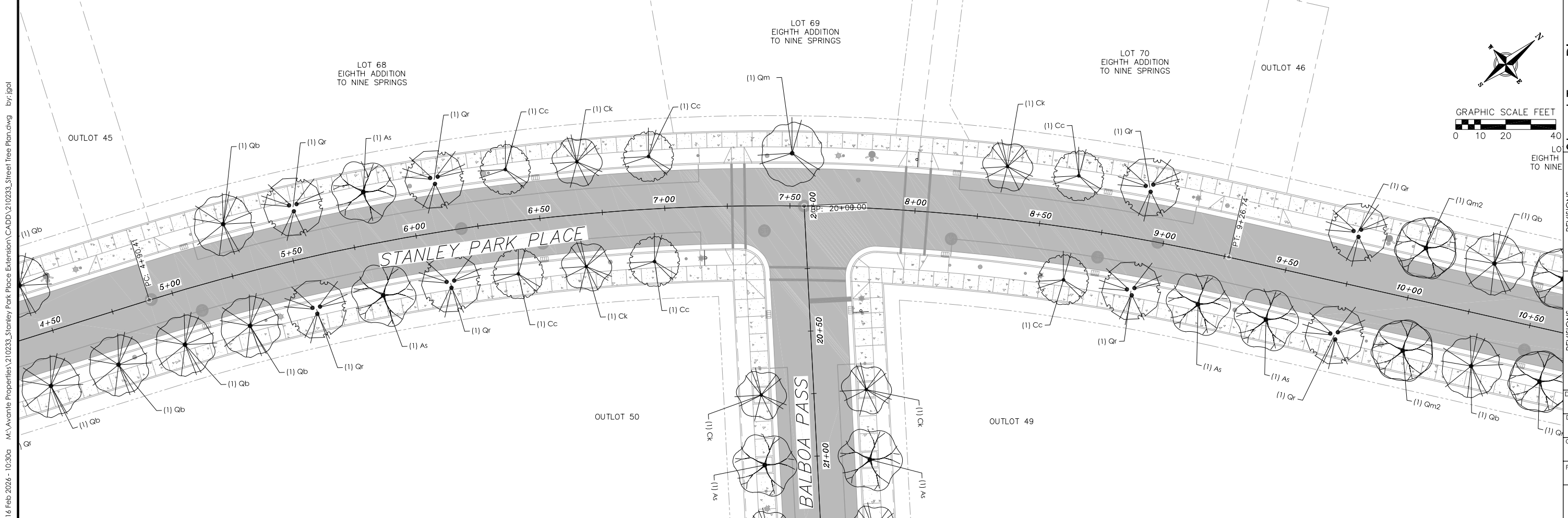
FITCHBURG STREET TREE PLANTING ORDINANCE CLAUSES
 SEC 54-104

- "VISION PLANE." A TRIANGULAR PLANE LOCATED 30" ABOVE THE CURB ELEVATION BOUNDED BY TWO 45 FOOT LEGS ALONG THE CURB INTERSECTING AT THE INTERSECTION CORNER. IN THE VOLUME ABOVE AND BELOW THIS PLANE, OBJECTS INCLUDING PLANT MATERIALS OF ANY DESCRIPTION SHALL NOT EXCEED AN ELEVATION 30 INCHES ABOVE THE CURB.
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 - TEN (10) FEET OF WATER LINES
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 - FIFTEEN (15) FEET OF DRIVEWAY RAMPS
 - FIFTEEN (15) FEET OF PEDESTRIAN CROSSINGS
 - FORTY-FIVE (45) FEET OF INTERSECTIONS



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
As	Acer saccharum / Sugar Maple	B & B	2.5' Cal	10
CO	Celtis occidentalis / Common Hackberry	B & B	2.5' Cal	8
Ov	Ostrya virginiana / American Hophornbeam	B & B	2.5' Cal	4
Qb	Quercus bicolor / Swamp White Oak	B & B	2.5' Cal	18
Qm	Quercus macrocarpa / Burr Oak	B & B	2.5' Cal	1
Qm2	Quercus muehlenbergii / Chinkapin Oak	B & B	2.5' Cal	15
Qr	Quercus rubra / Red Oak	B & B	2.5' Cal	17
UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Cc	Carpinus caroliniana / American Hornbeam	B & B	7' ht.	18
Ck	Cladostis kentuckea / American Yellowwood	B & B	7' ht.	11



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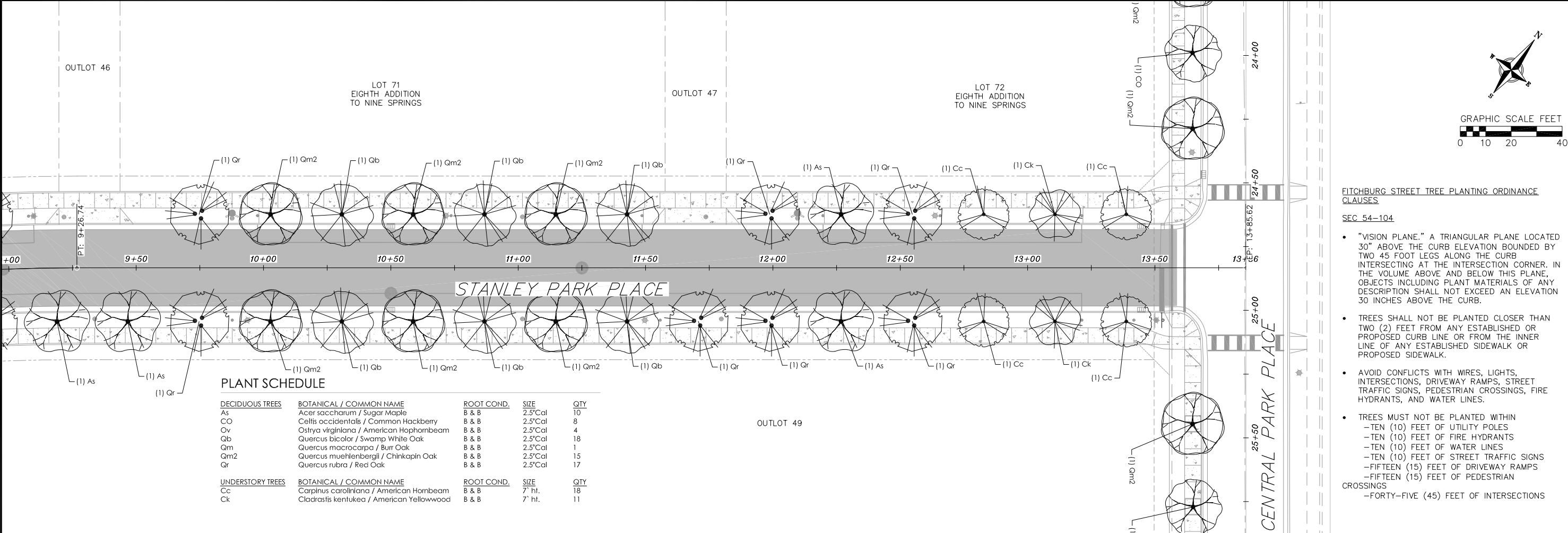
Street Tree Plan
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

DATE	2/16/2026
DRAFTER	NJOH
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PROJECT NO.	210233

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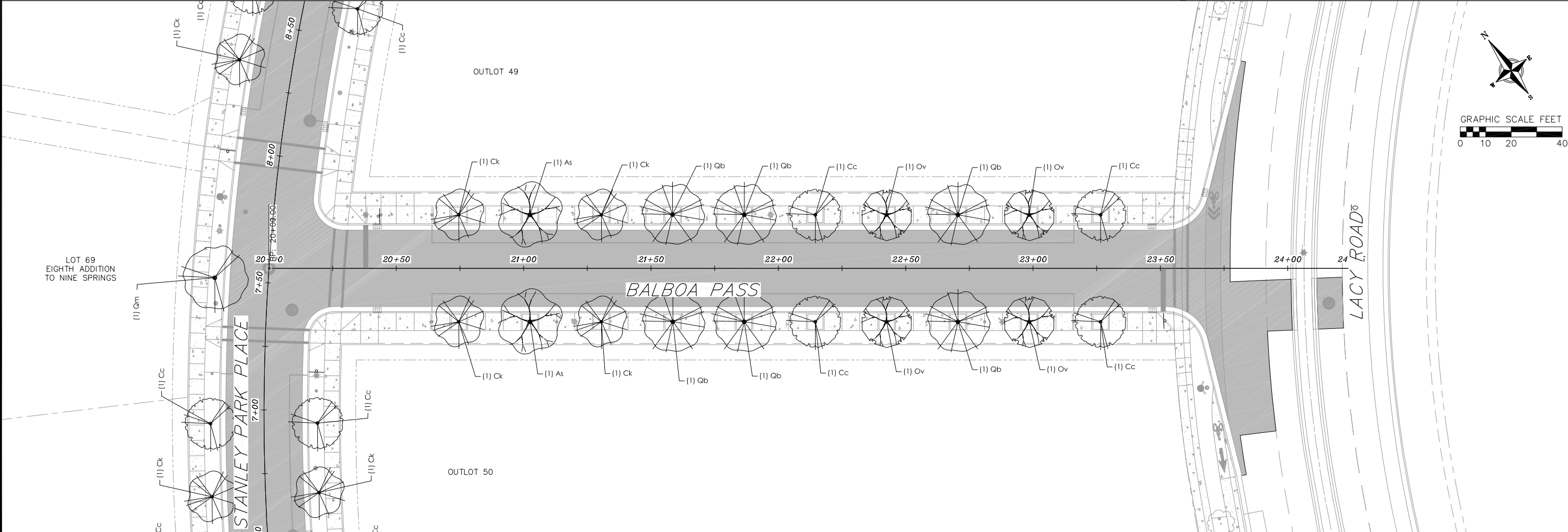
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PLANT SCHEDULE

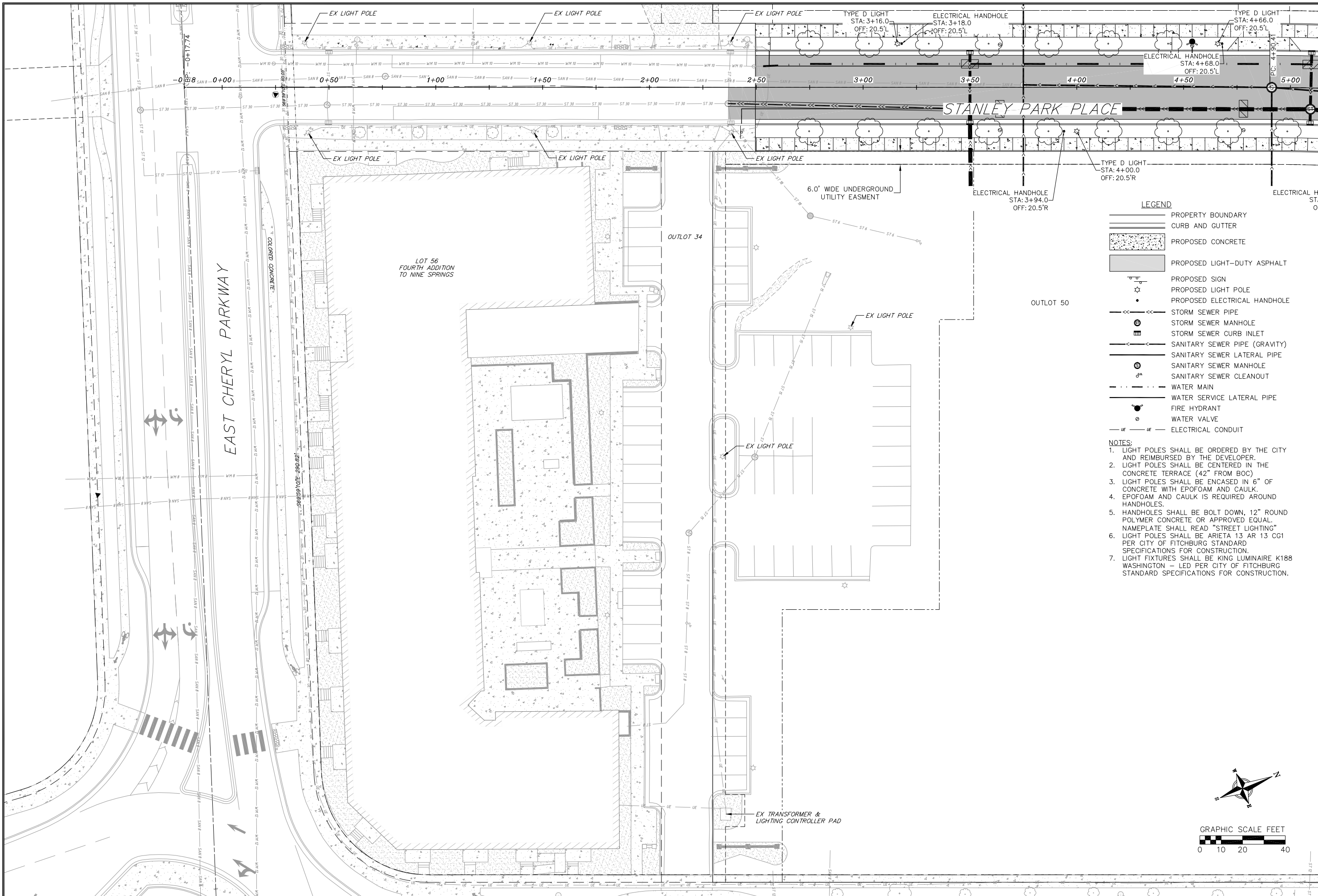
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NO.	DATE	REVISIONS	REMARKS

DATE: 2/16/2026
DRAFTER: NJOH
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PROJECT NO.: 210233



LEGEND

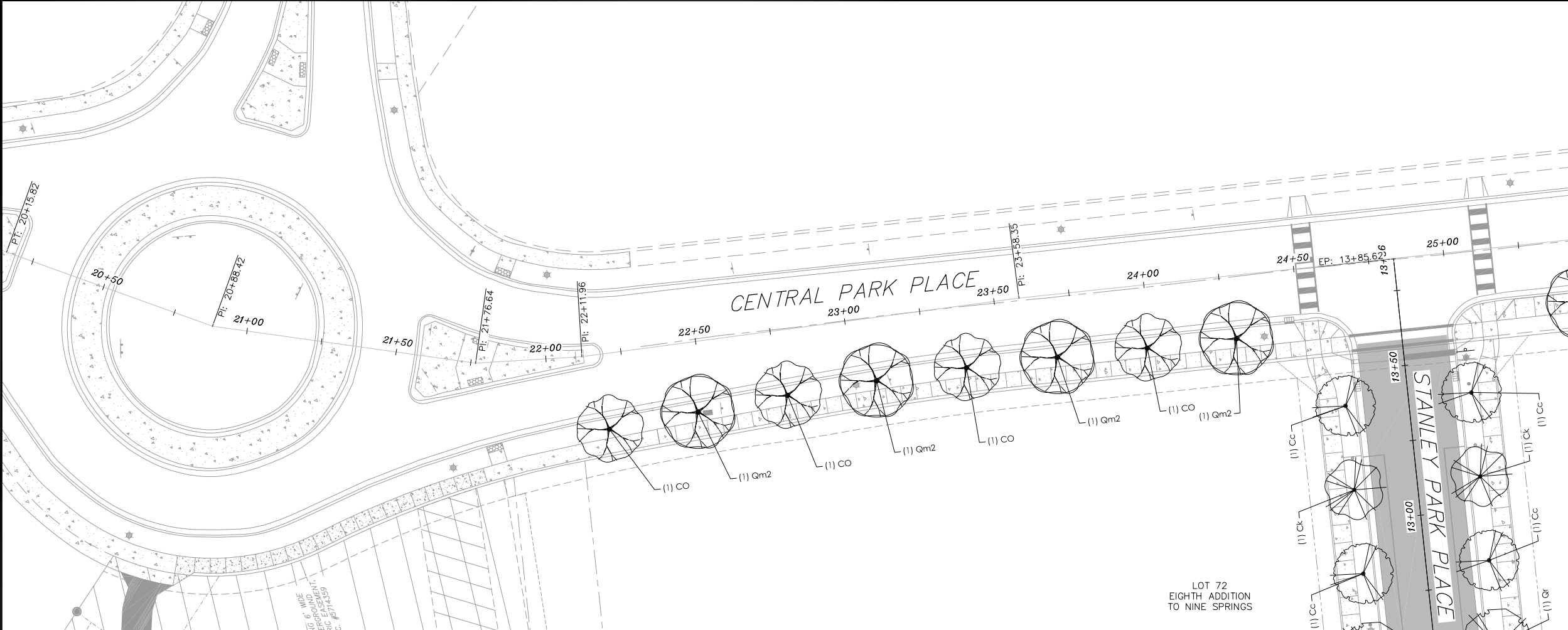
	PROPERTY BOUNDARY
	CURB AND GUTTER
	PROPOSED CONCRETE
	PROPOSED LIGHT-DUTY ASPHALT
	PROPOSED SIGN
	PROPOSED LIGHT POLE
	PROPOSED ELECTRICAL HANDHOLE
	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER CURB INLET
	SANITARY SEWER PIPE (GRAVITY)
	SANITARY SEWER LATERAL PIPE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER MAIN
	WATER SERVICE LATERAL PIPE
	FIRE HYDRANT
	WATER VALVE
	ELECTRICAL CONDUIT

- NOTES:**
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 2. LIGHT POLES SHALL BE CENTERED IN THE CONCRETE TERRACE (42" FROM BOC)
 3. LIGHT POLES SHALL BE ENCASED IN 6" OF CONCRETE WITH EPOFOAM AND CAULK.
 4. EPOFOAM AND CAULK IS REQUIRED AROUND HANDHOLES.
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REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2/16/2026
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PROJECT NO.: 210233

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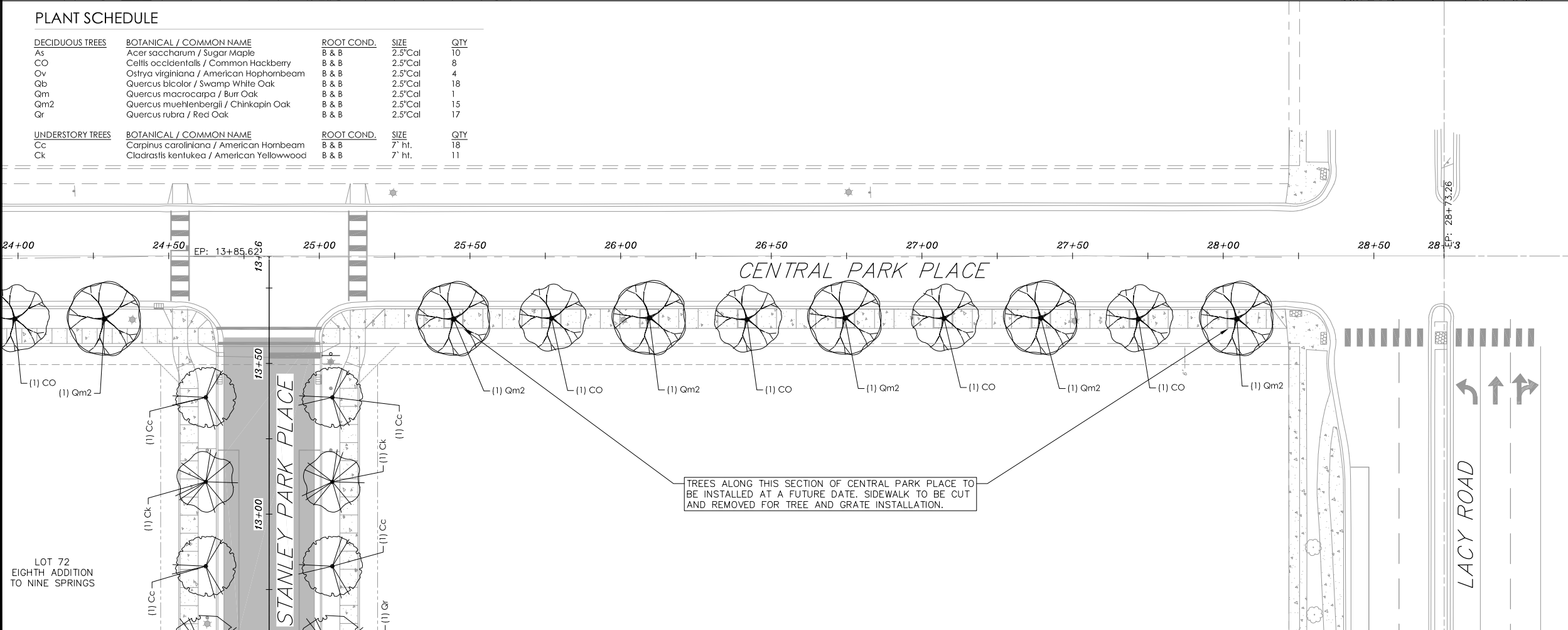


FITCHBURG STREET TREE PLANTING ORDINANCE CLAUSES

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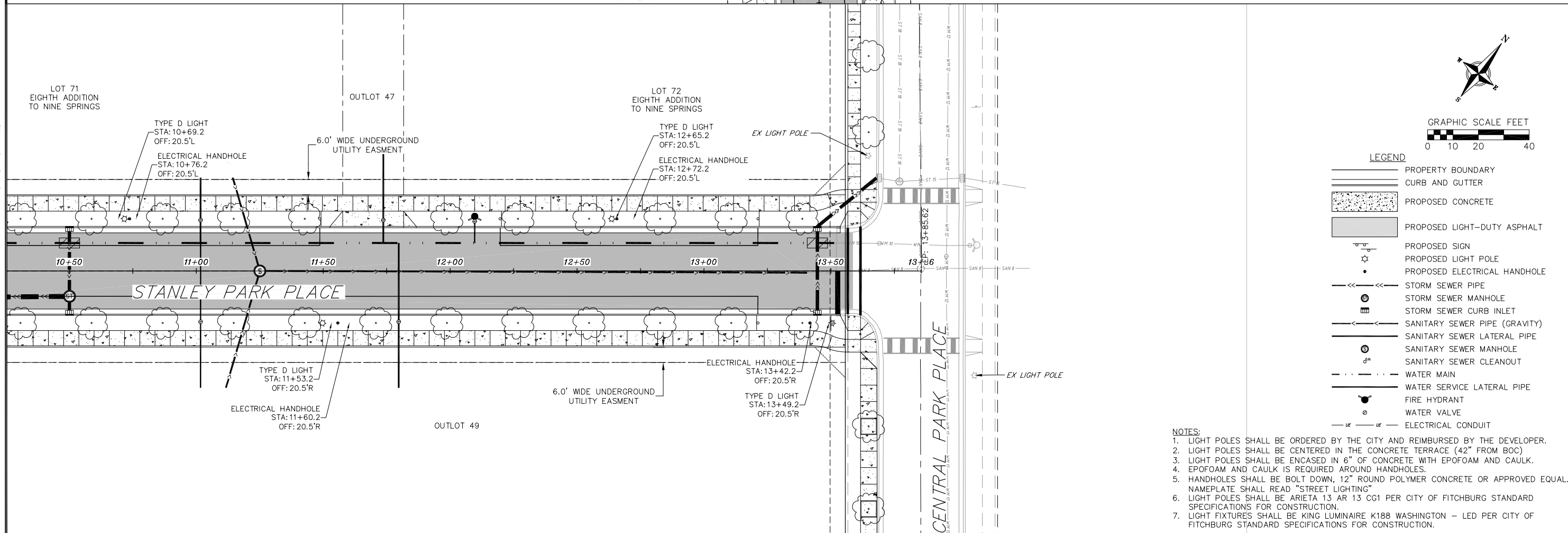
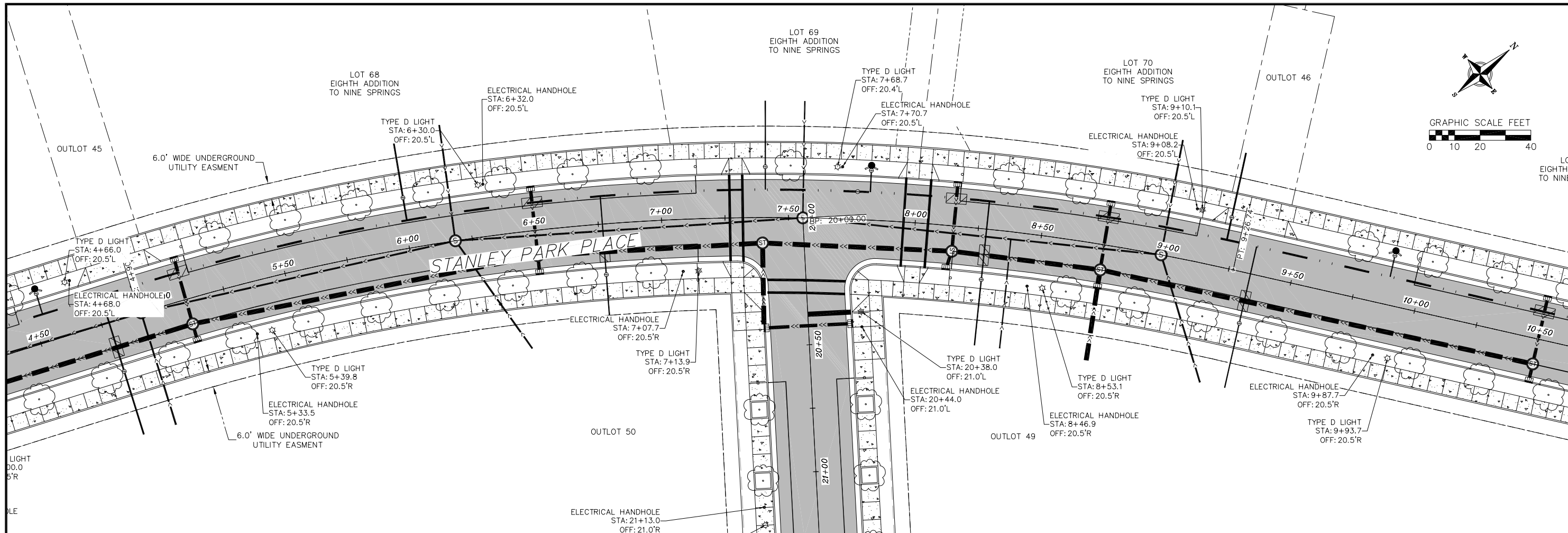
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PROJECT NO.: 210233



LEGEND

	PROPERTY BOUNDARY
	CURB AND GUTTER
	PROPOSED CONCRETE
	PROPOSED LIGHT-DUTY ASPHALT
	PROPOSED SIGN
	PROPOSED LIGHT POLE
	PROPOSED ELECTRICAL HANDHOLE
	STORM SEWER PIPE
	STORM SEWER MANHOLE
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	SANITARY SEWER PIPE (GRAVITY)
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	SANITARY SEWER MANHOLE
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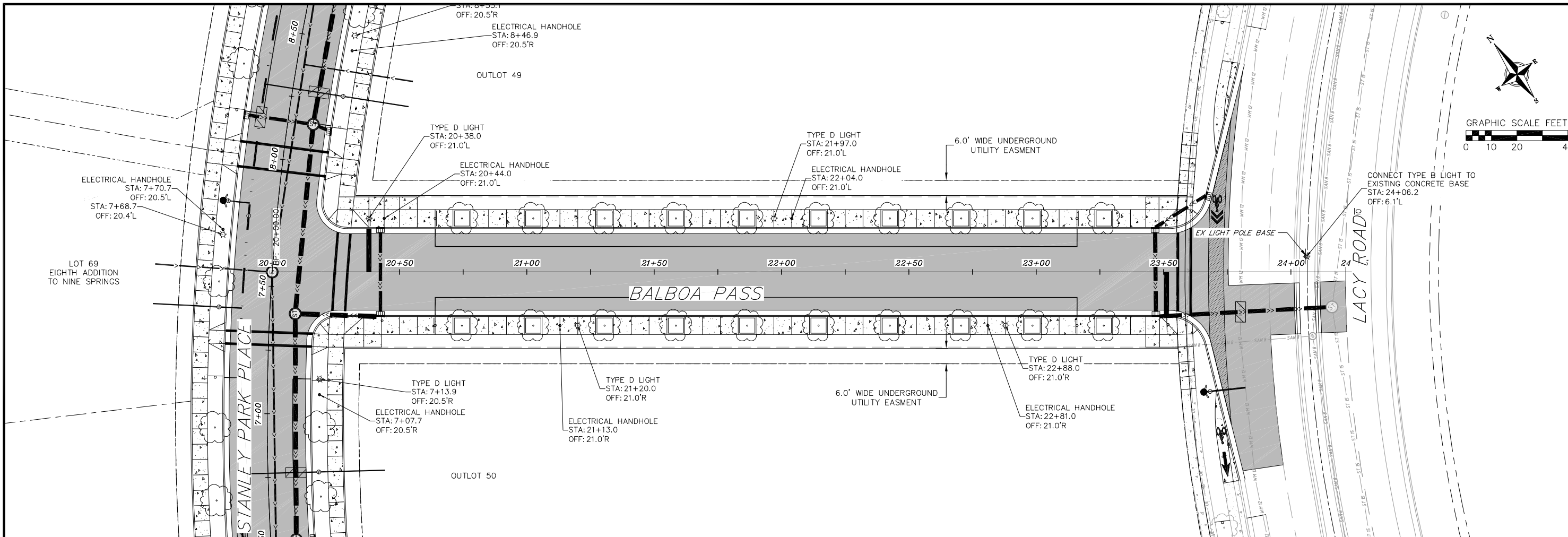
vierbicher
advisors / engineers / surveyors

Lighting Plan
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

DATE: 2/16/2026
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PROJECT NO.: 210233

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Lighting Plan
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

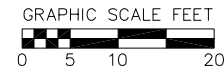
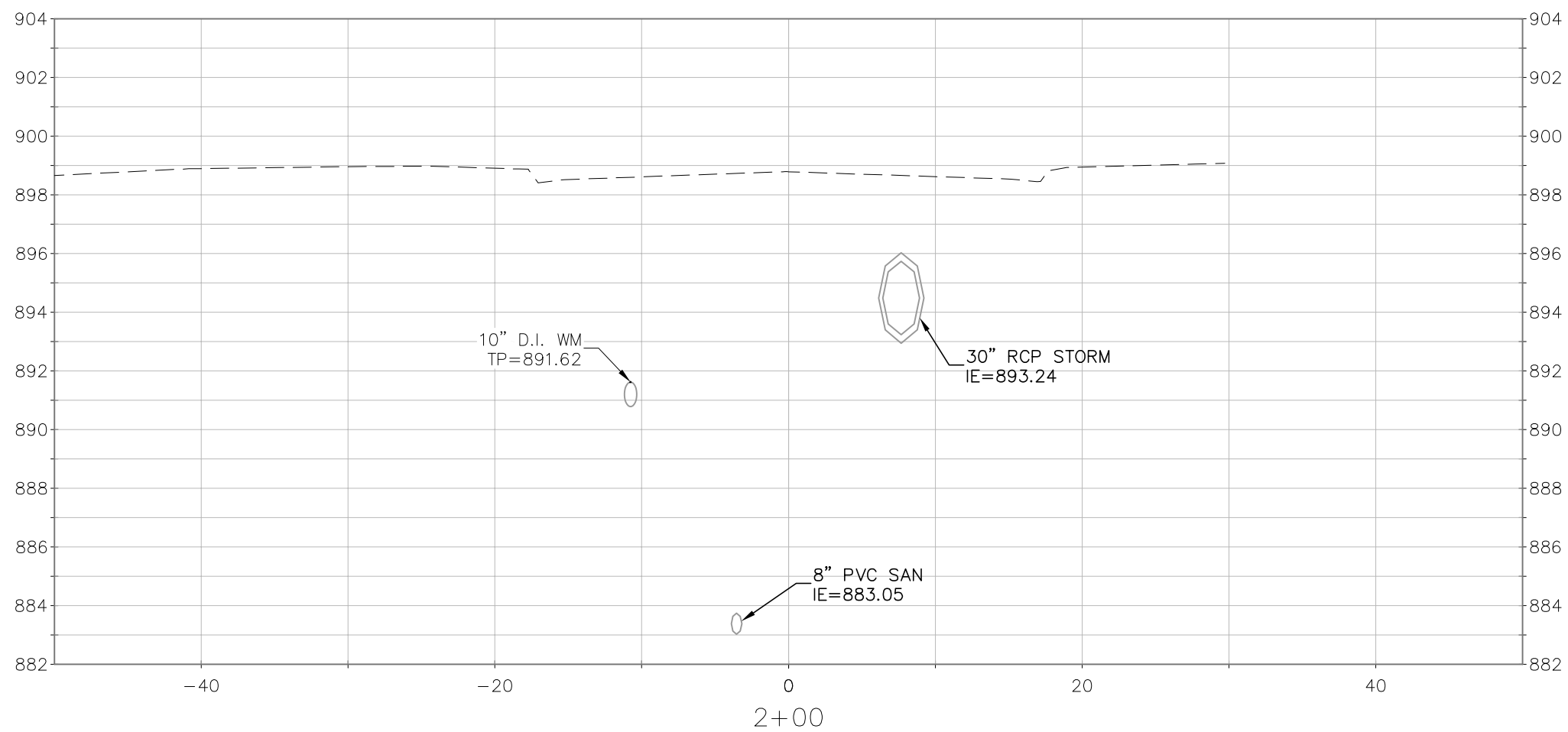
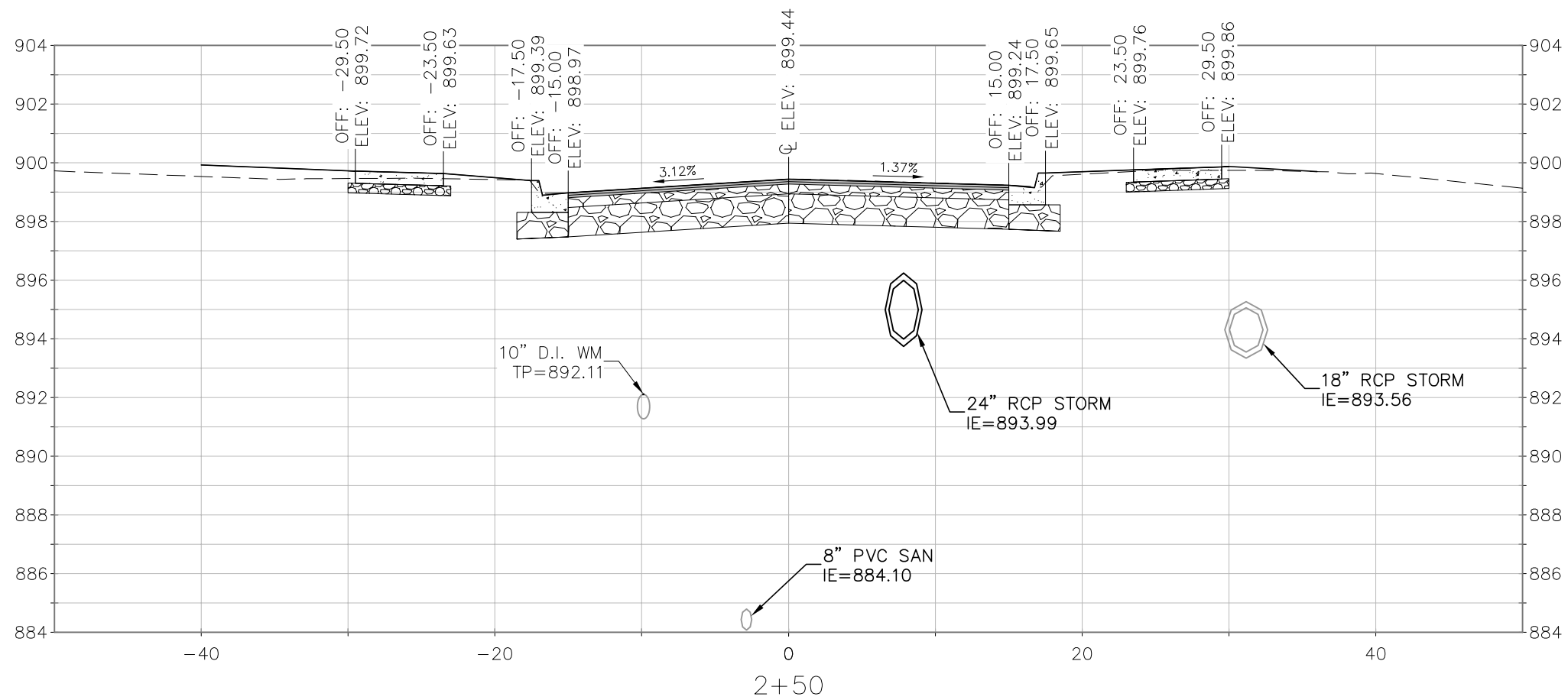
LEGEND

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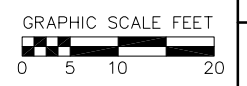
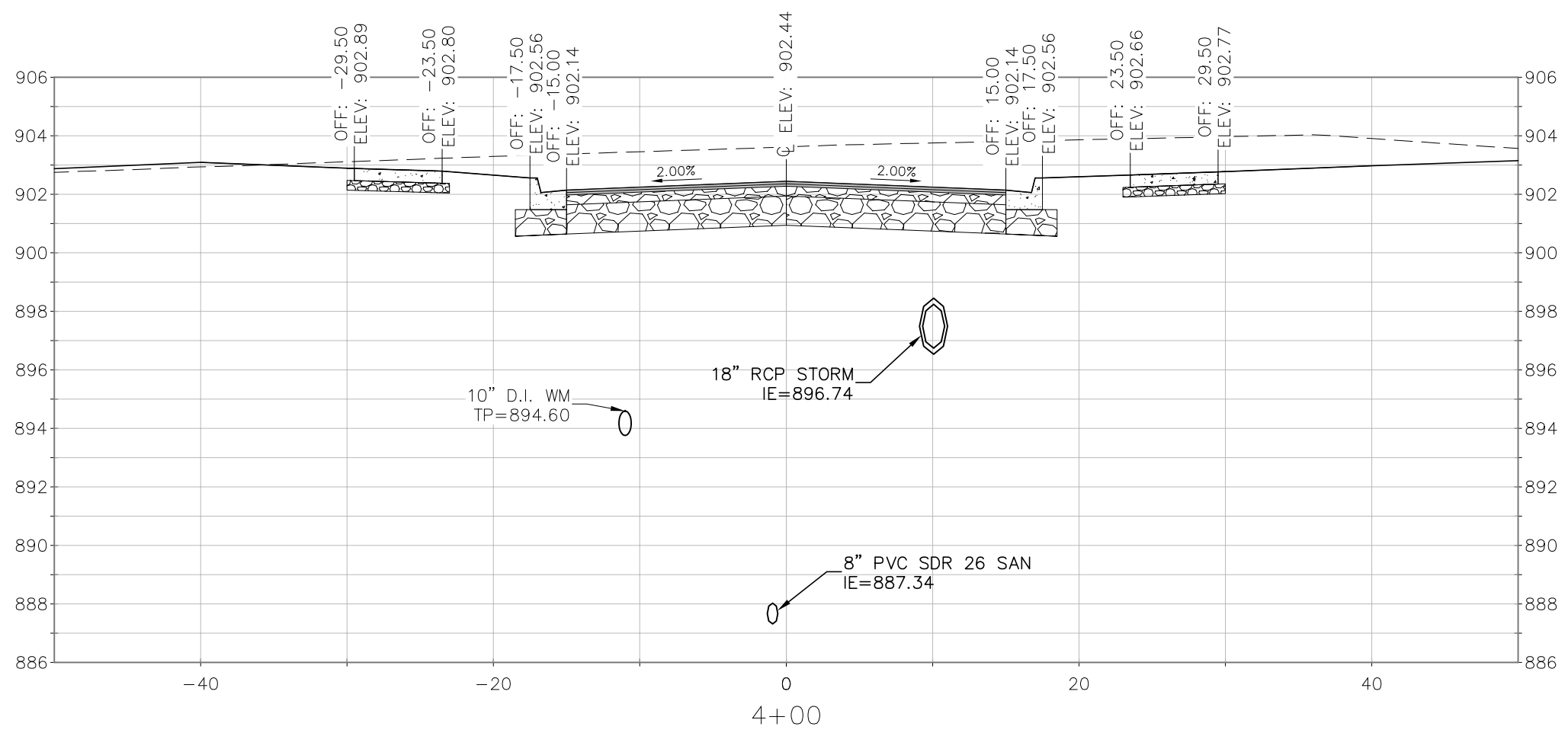
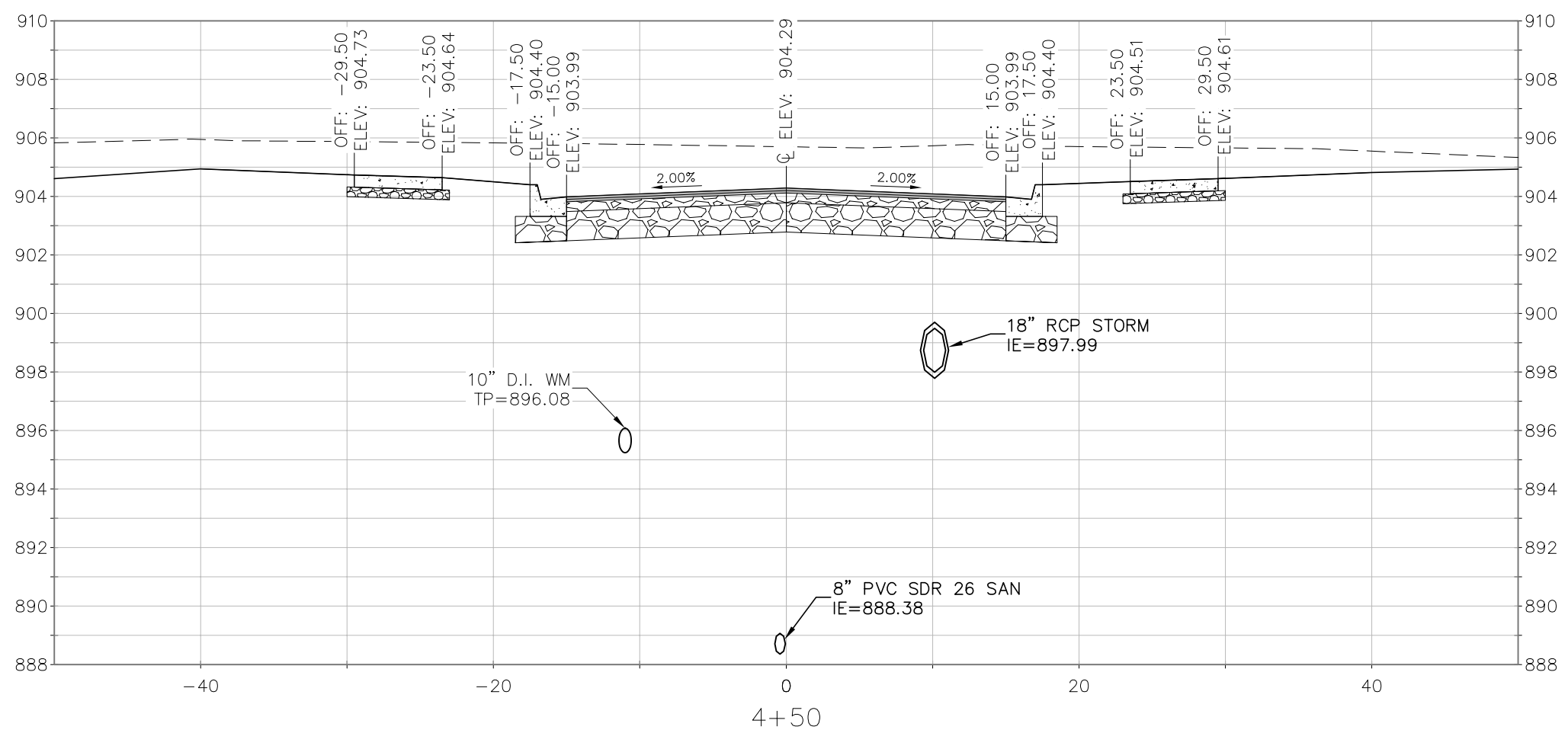
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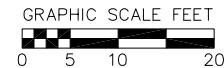
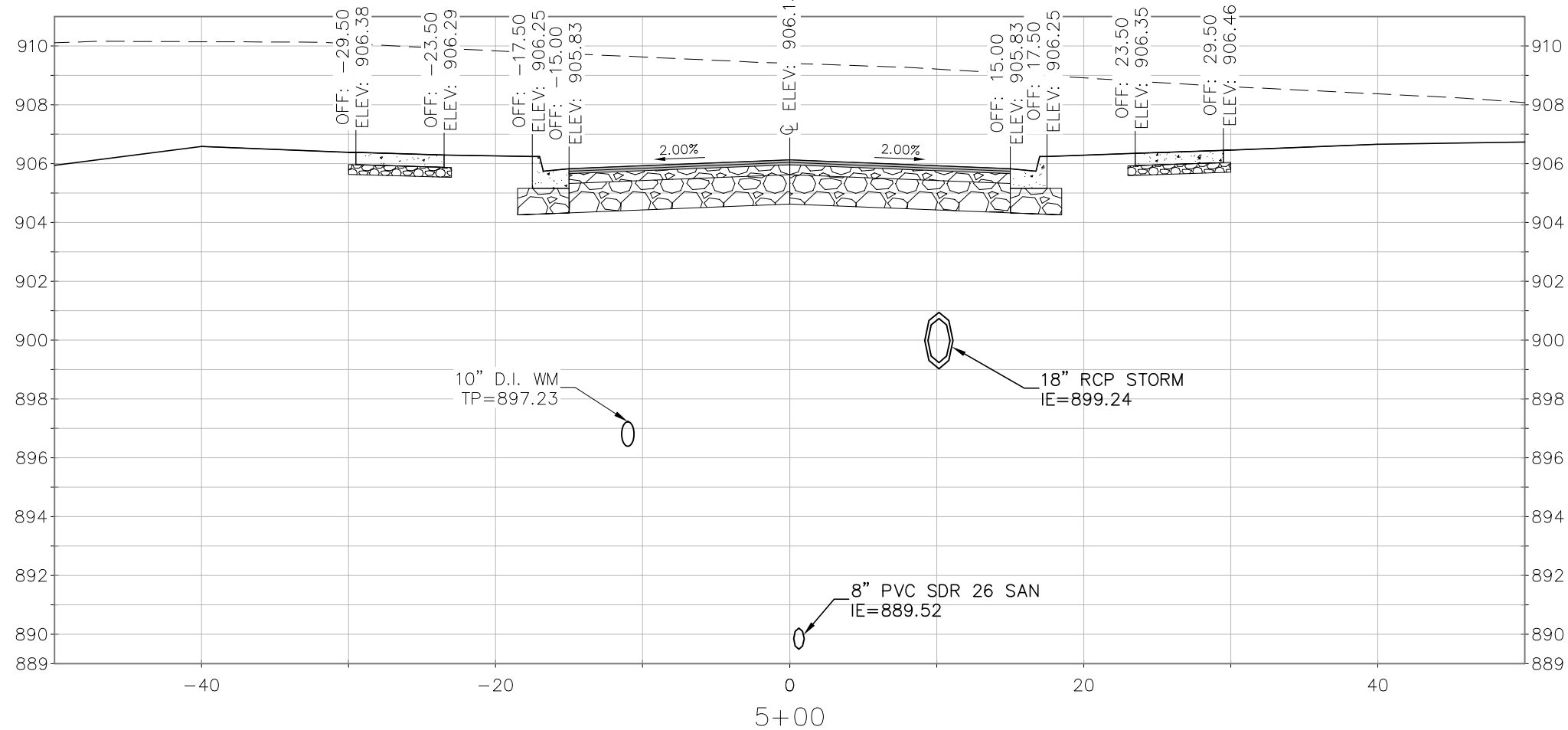
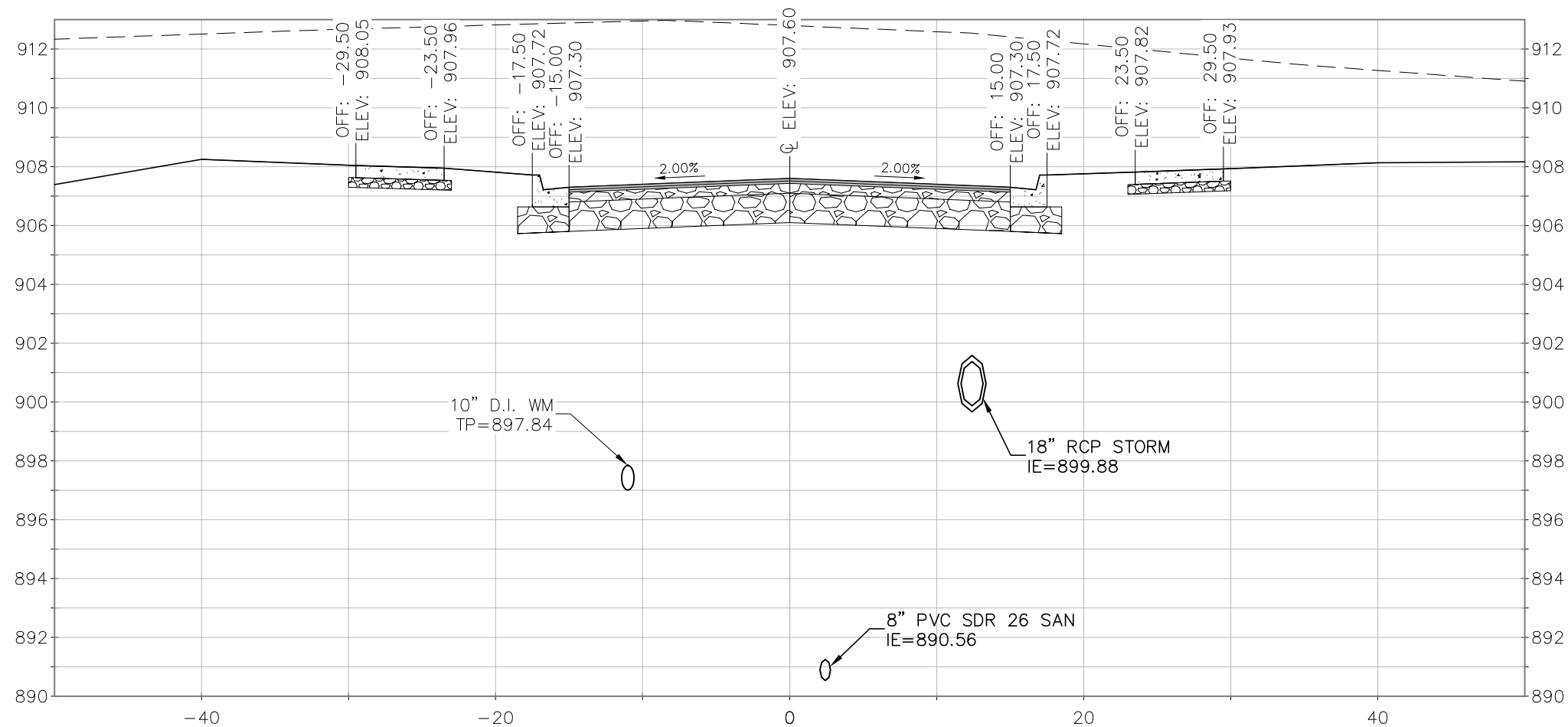
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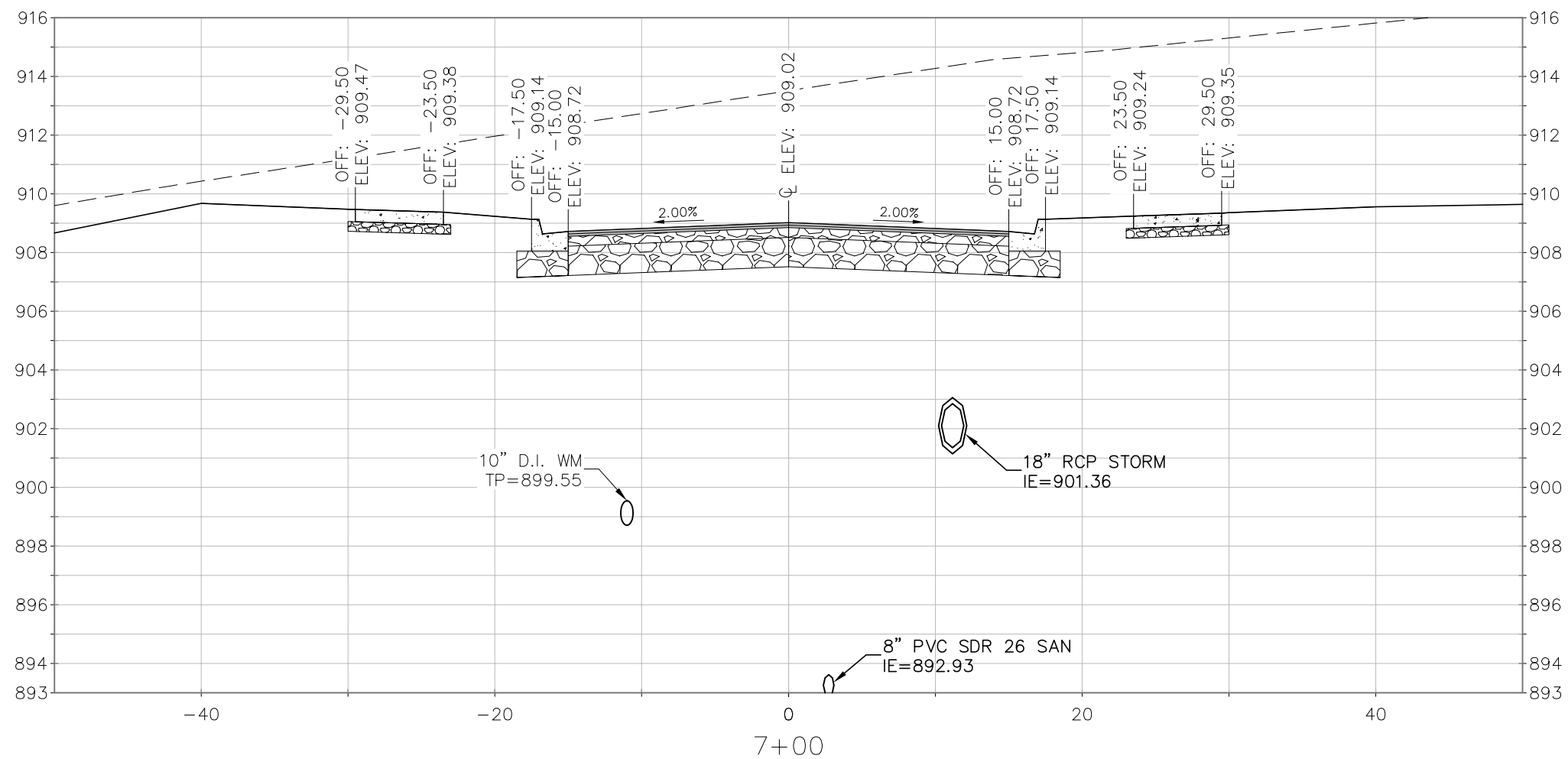
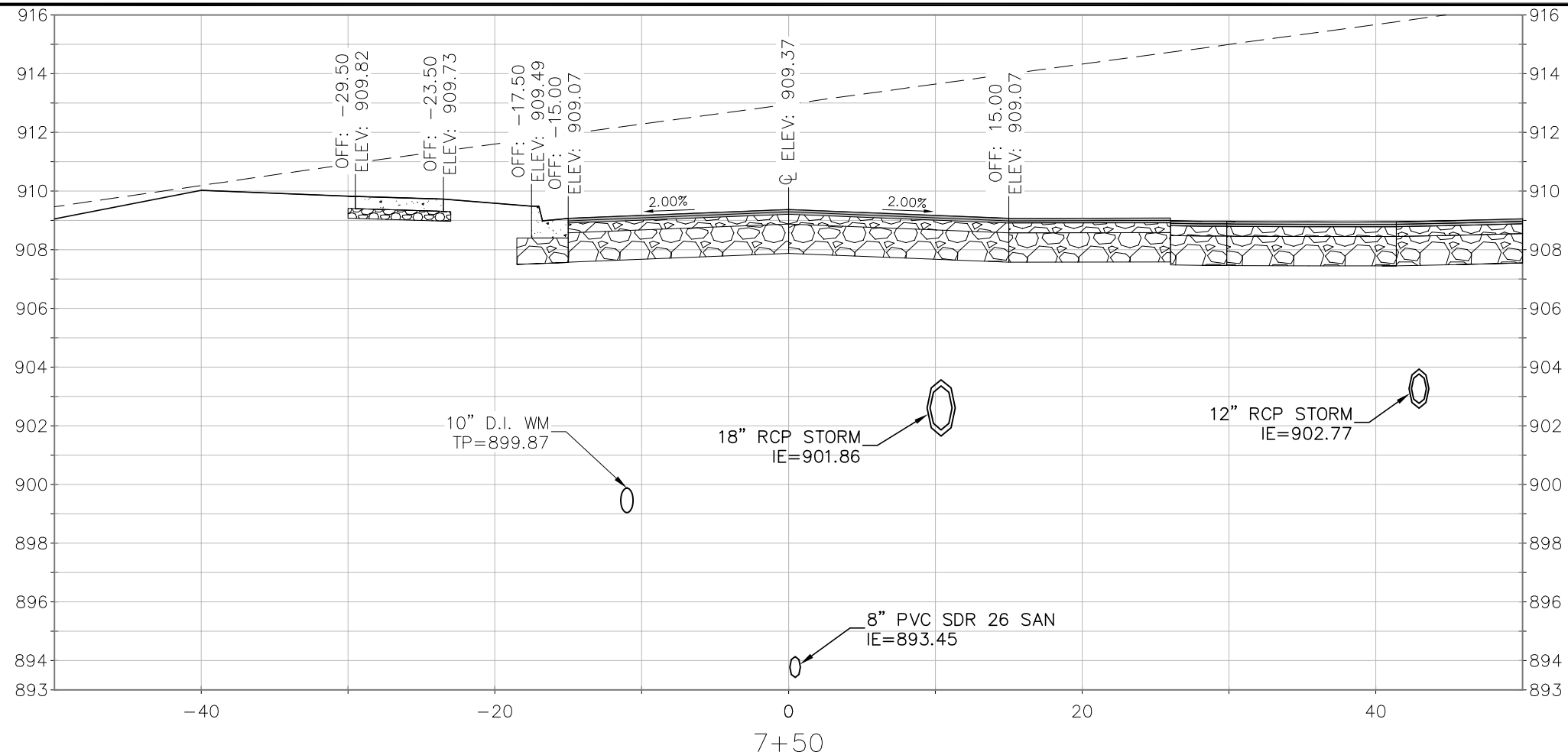
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Cross Section - Stanley Park Place
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	
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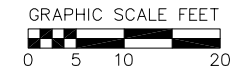


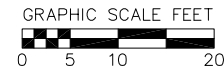
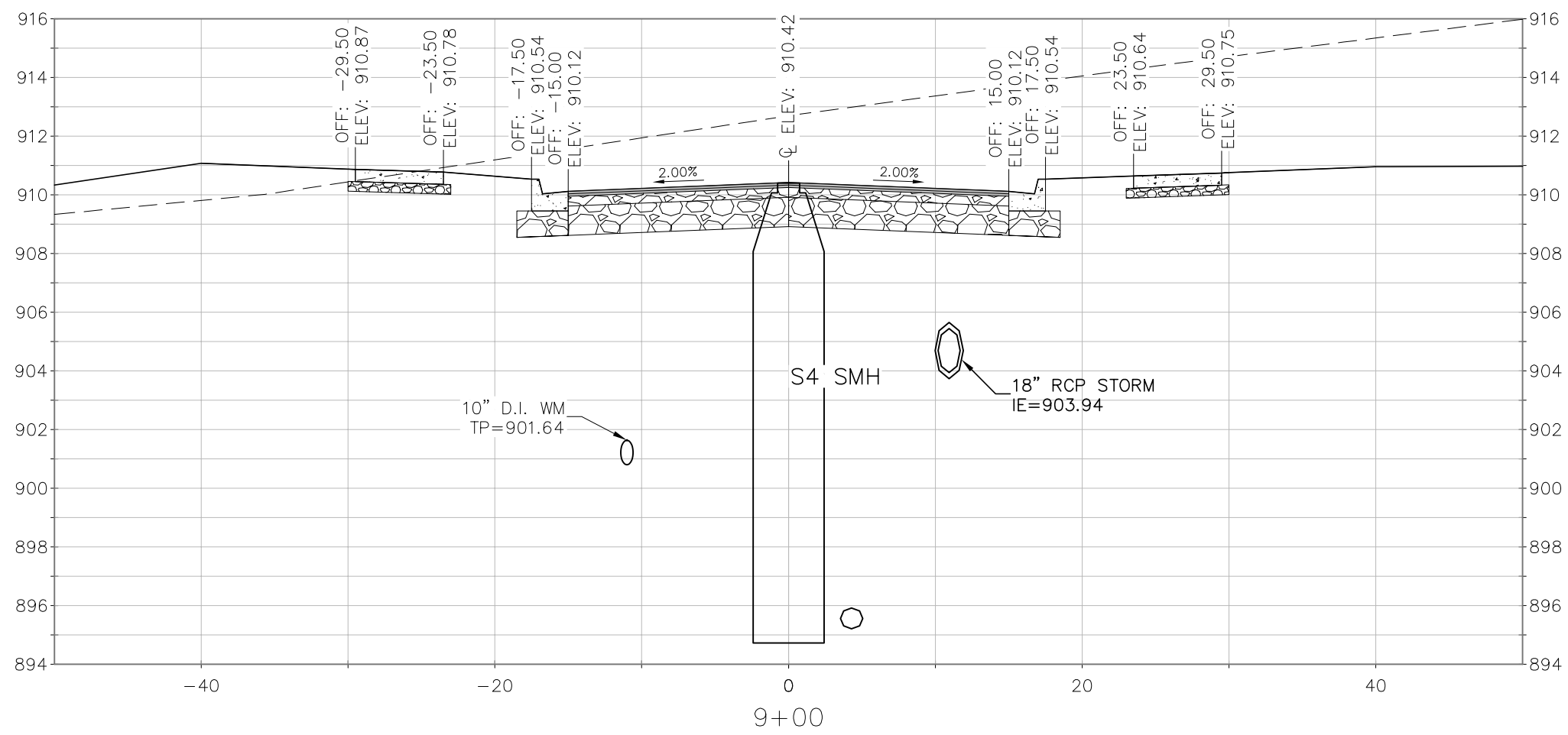
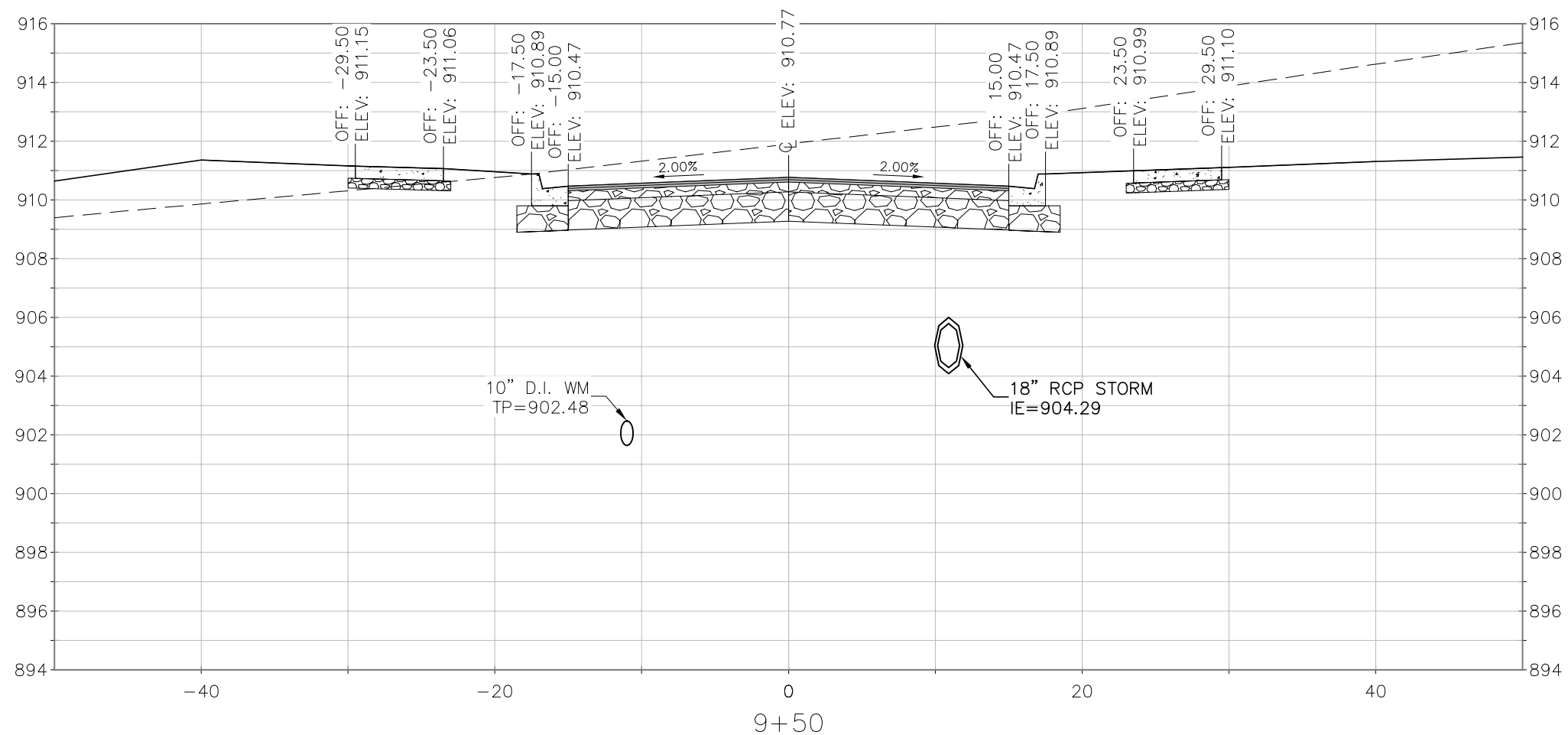
SEE BALBOA GRADING
DETAILS FOR SLOPES AND
ELEVATIONS

Cross Section - Stanley Park Place
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

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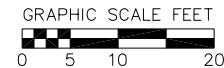
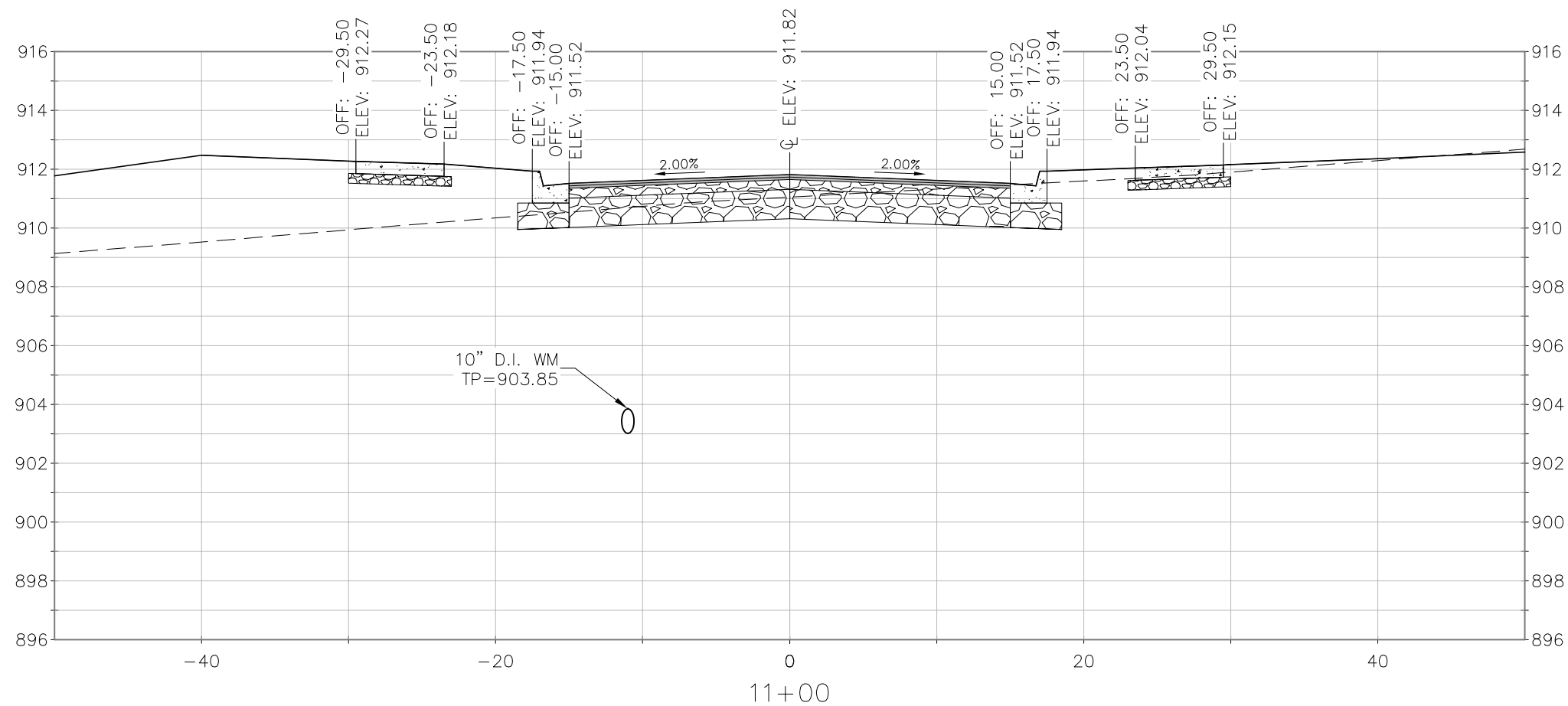
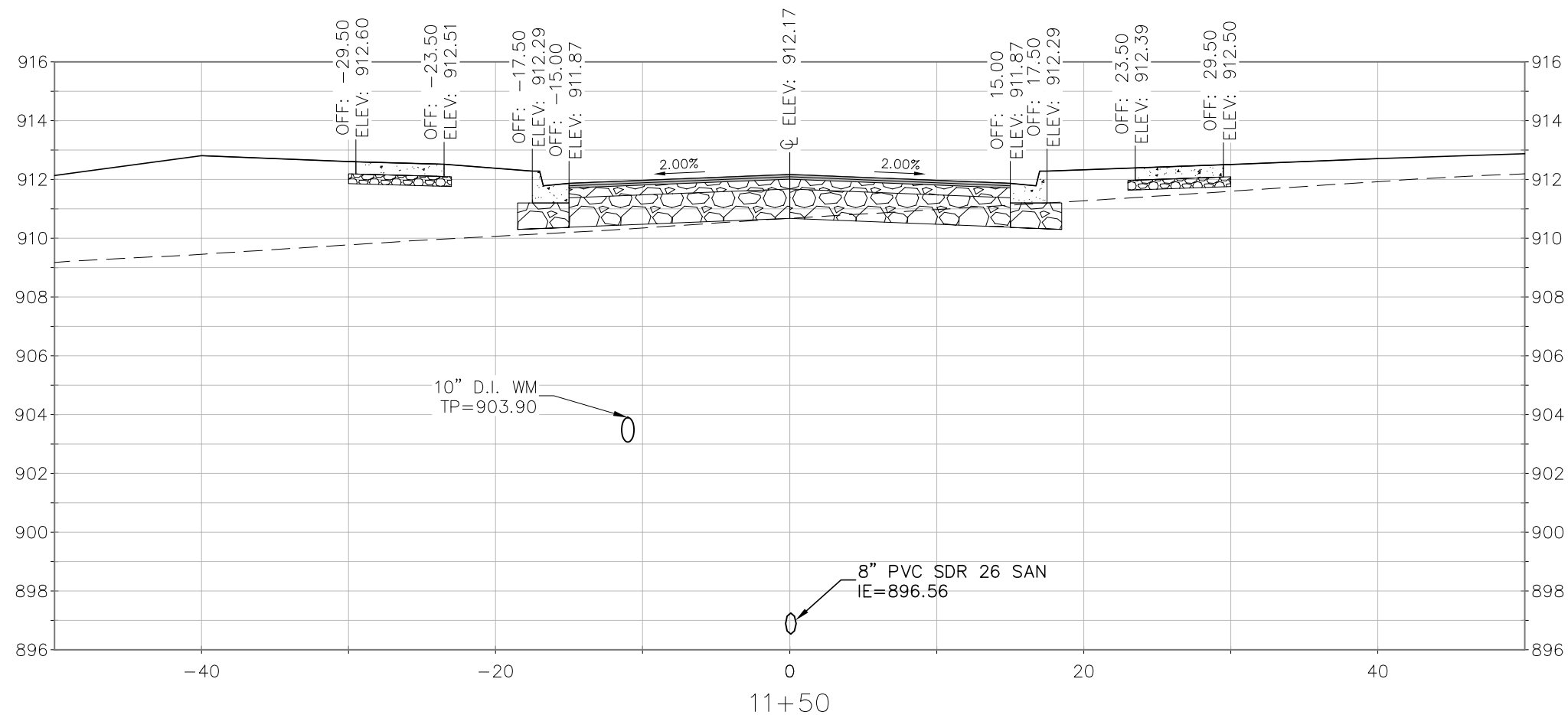


Cross Section - Stanley Park Place
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2/16/2026
 DRAFTER: NJOH
 CHECKED: JZAM
 PROJECT NO.: 210233

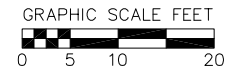
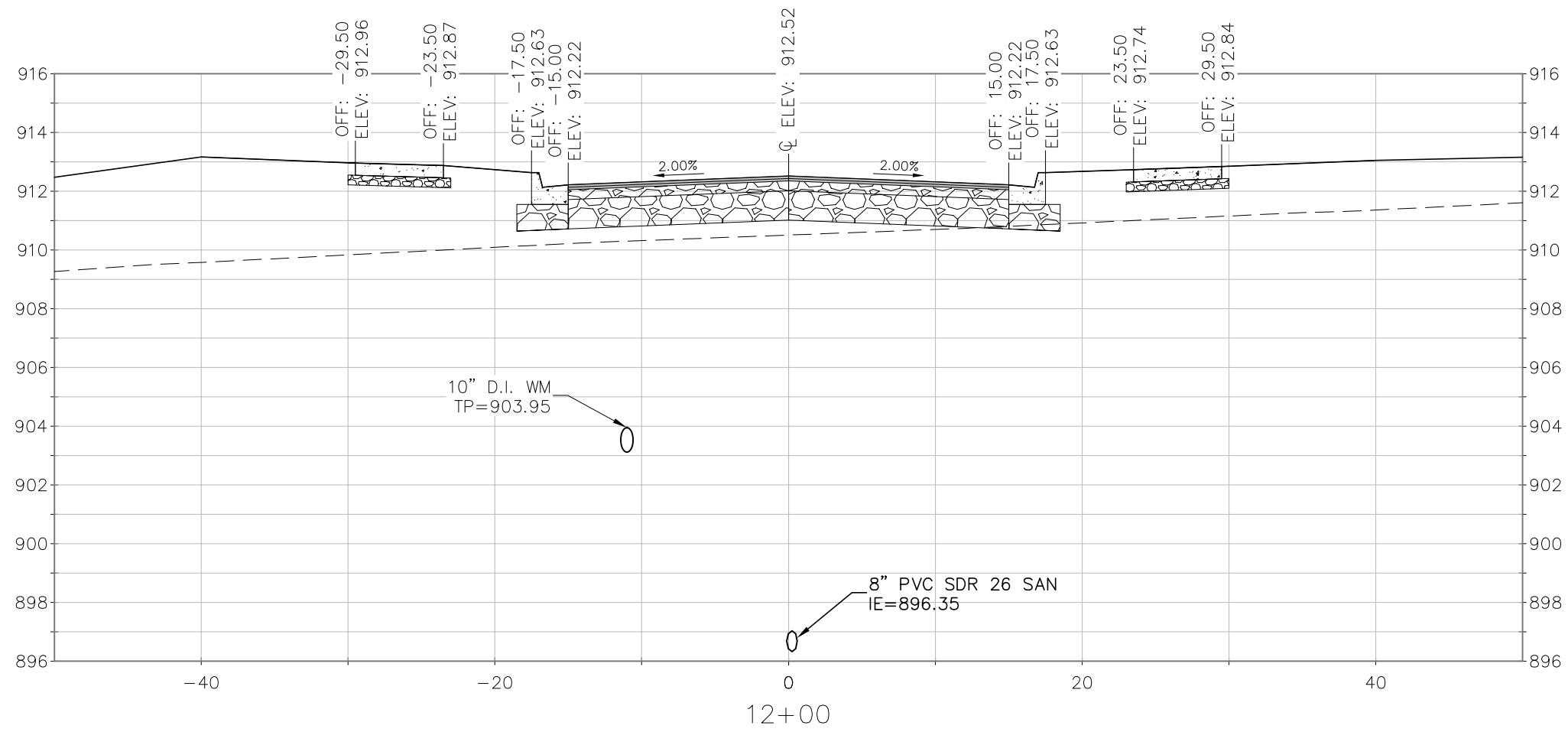
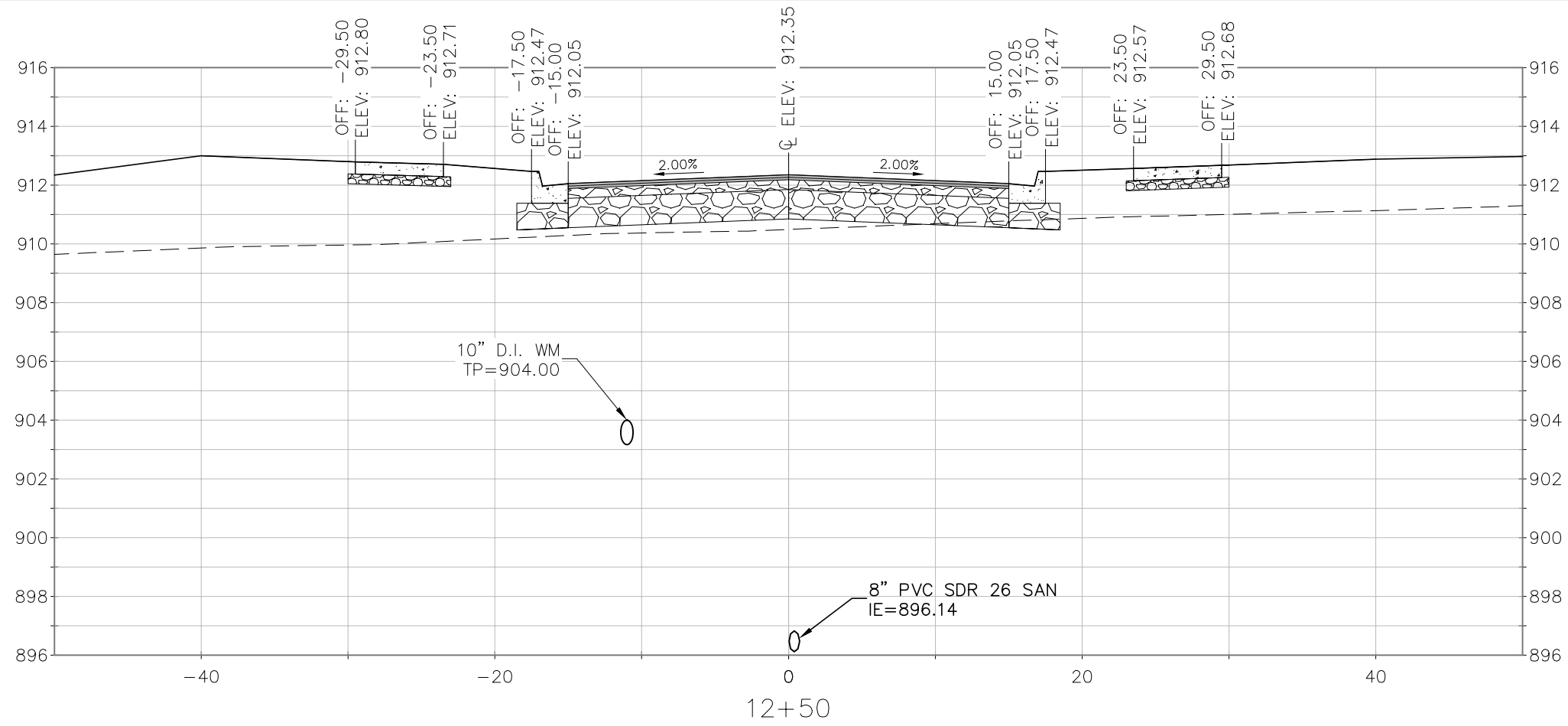
C807



Cross Section - Stanley Park Place
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
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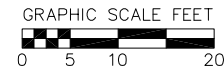
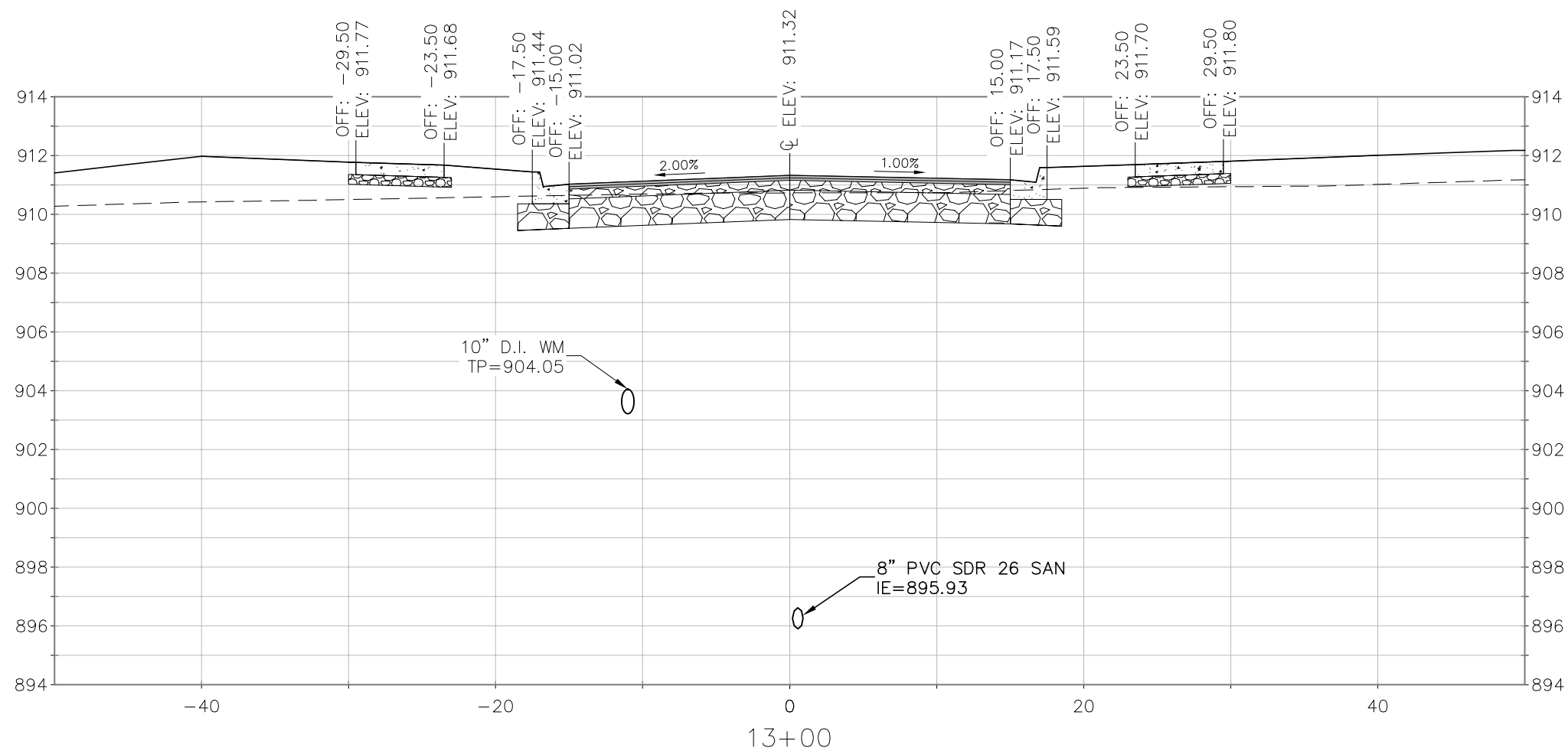
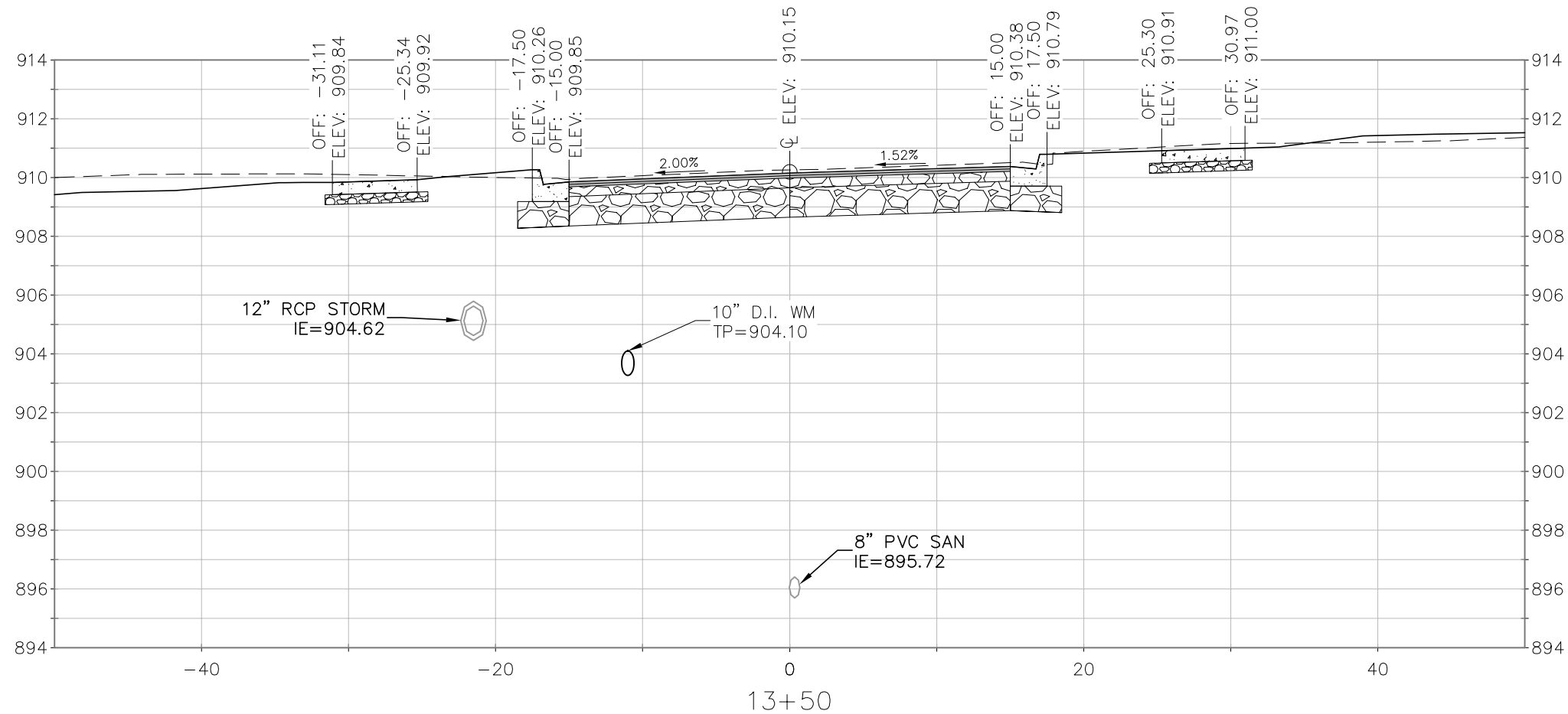
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 CHECKED: JZAM
 PROJECT NO.: 210233



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DATE: 2/16/2026
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PROJECT NO.: 210233

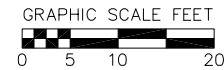
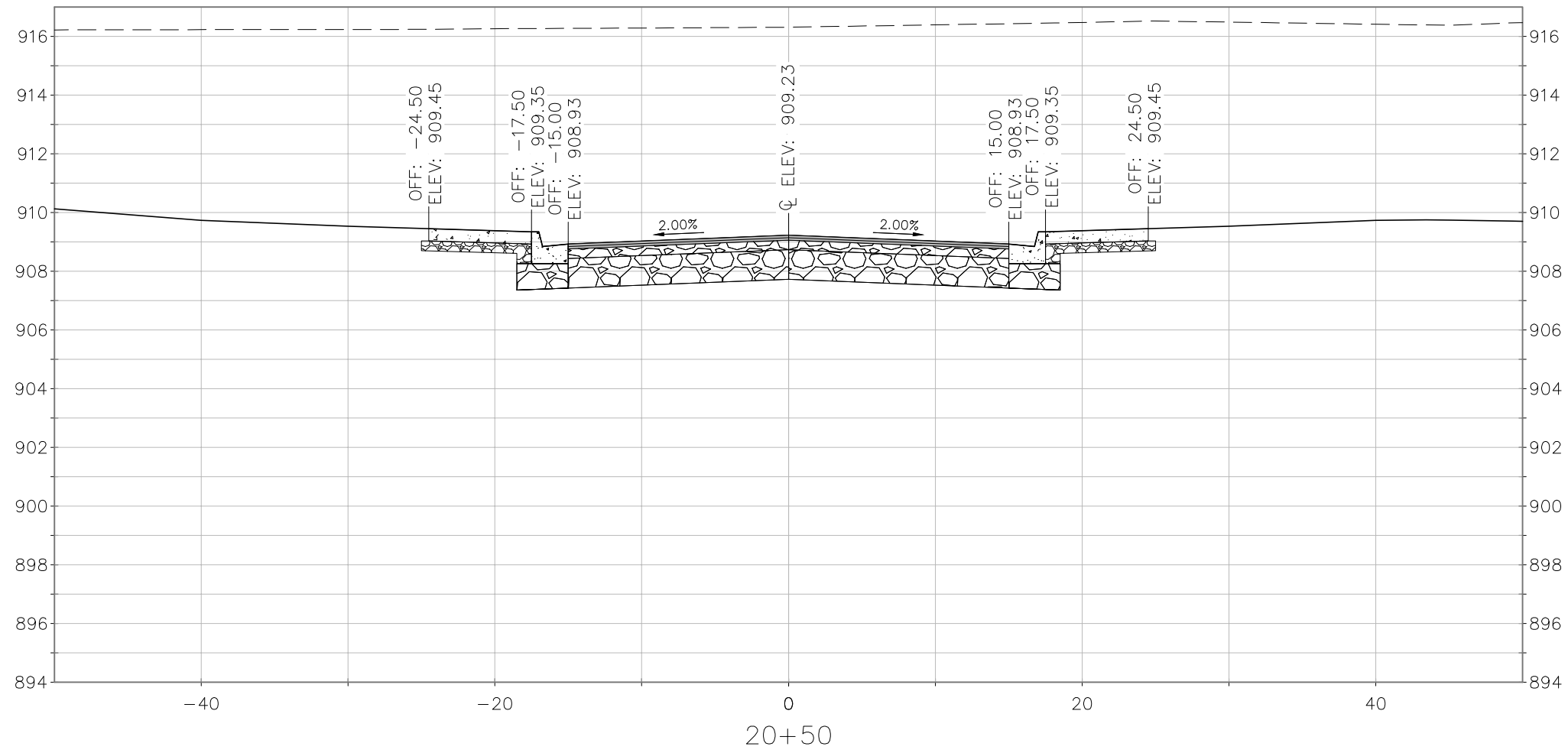
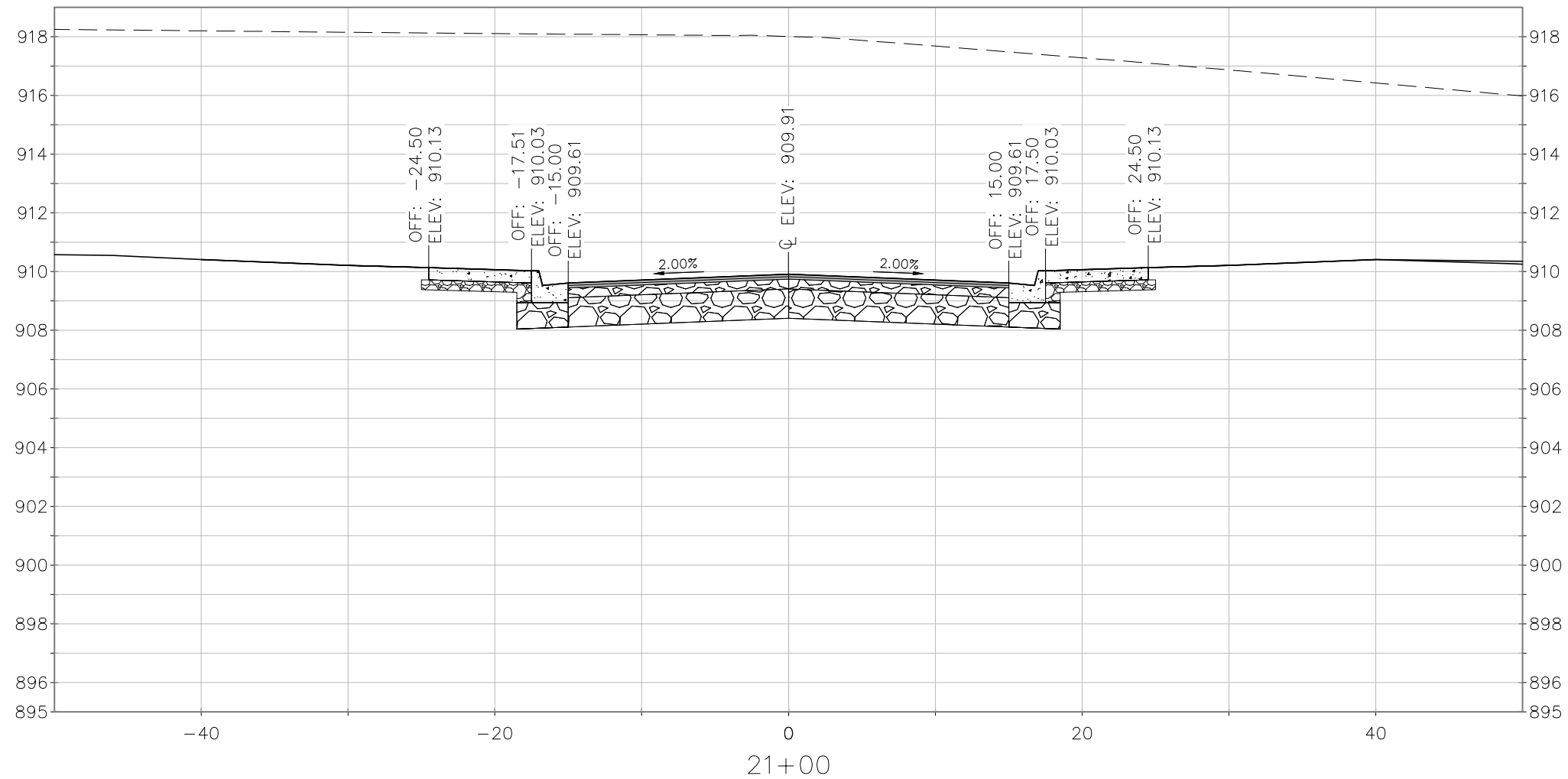


Cross Section - Stanley Park Place
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	
		NO.	REMARKS

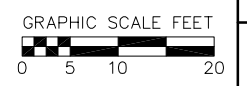
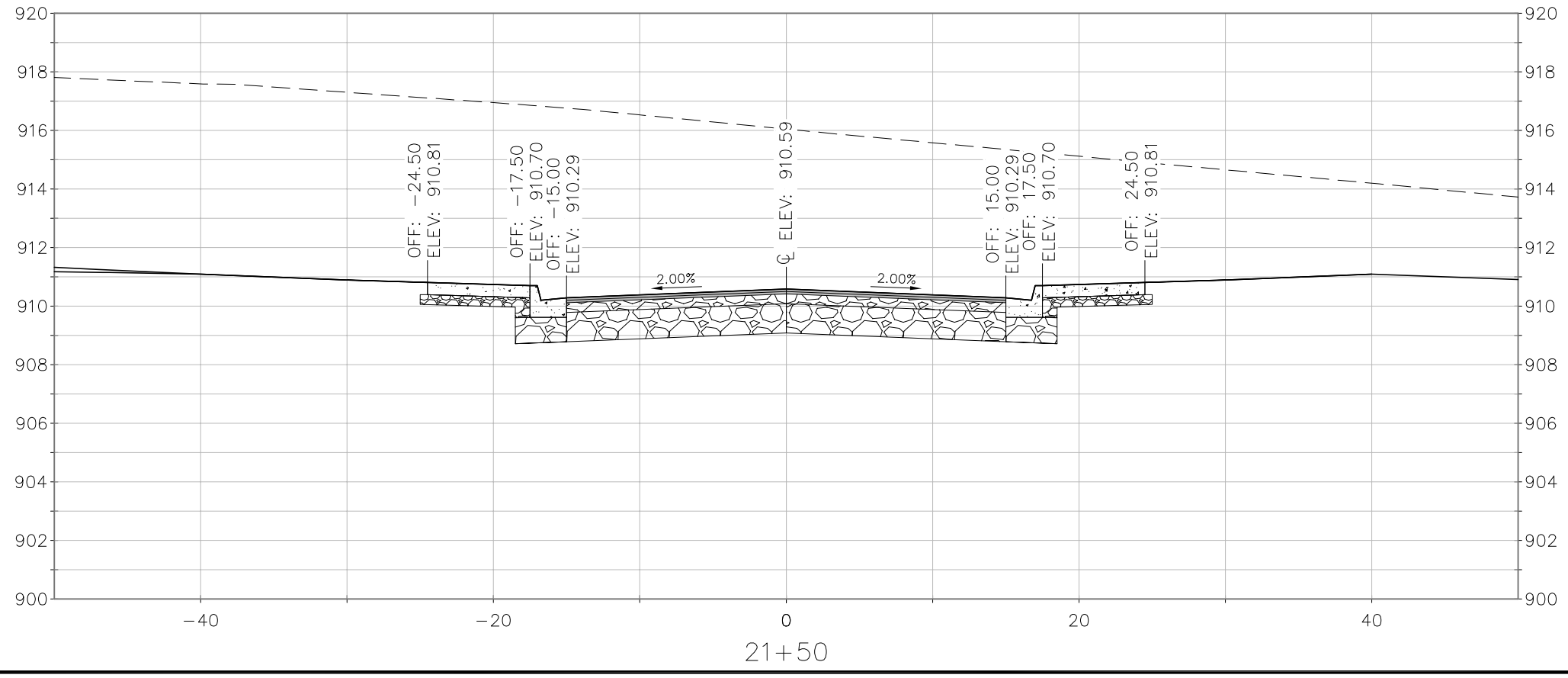
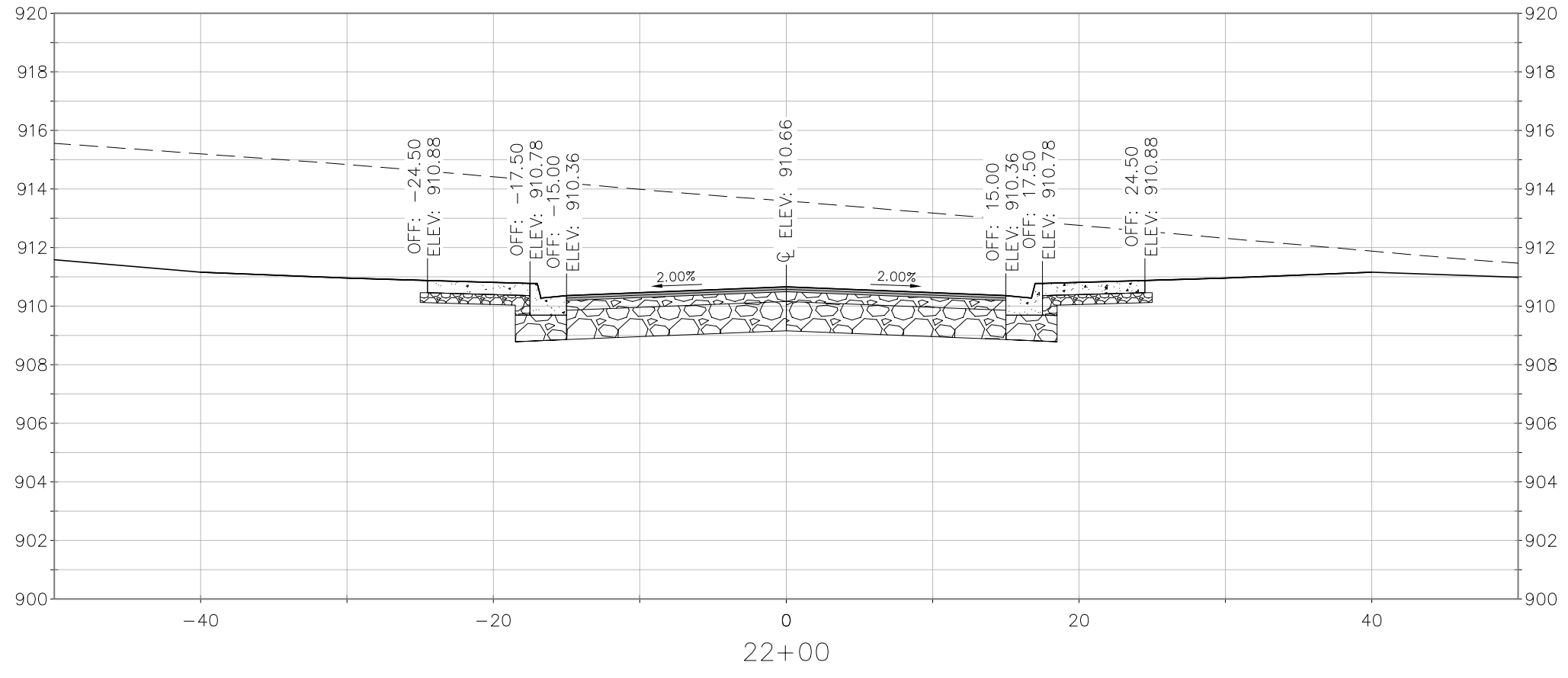
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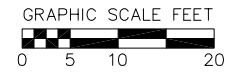
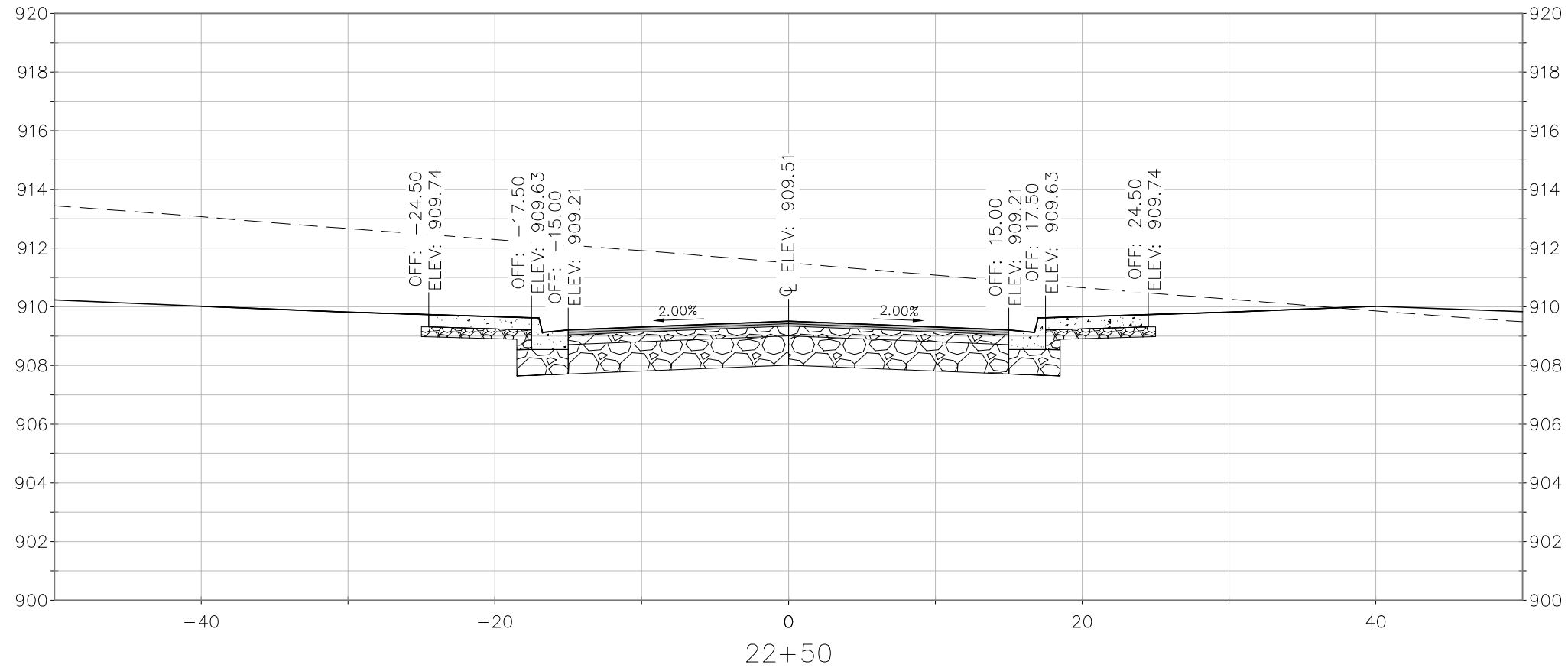
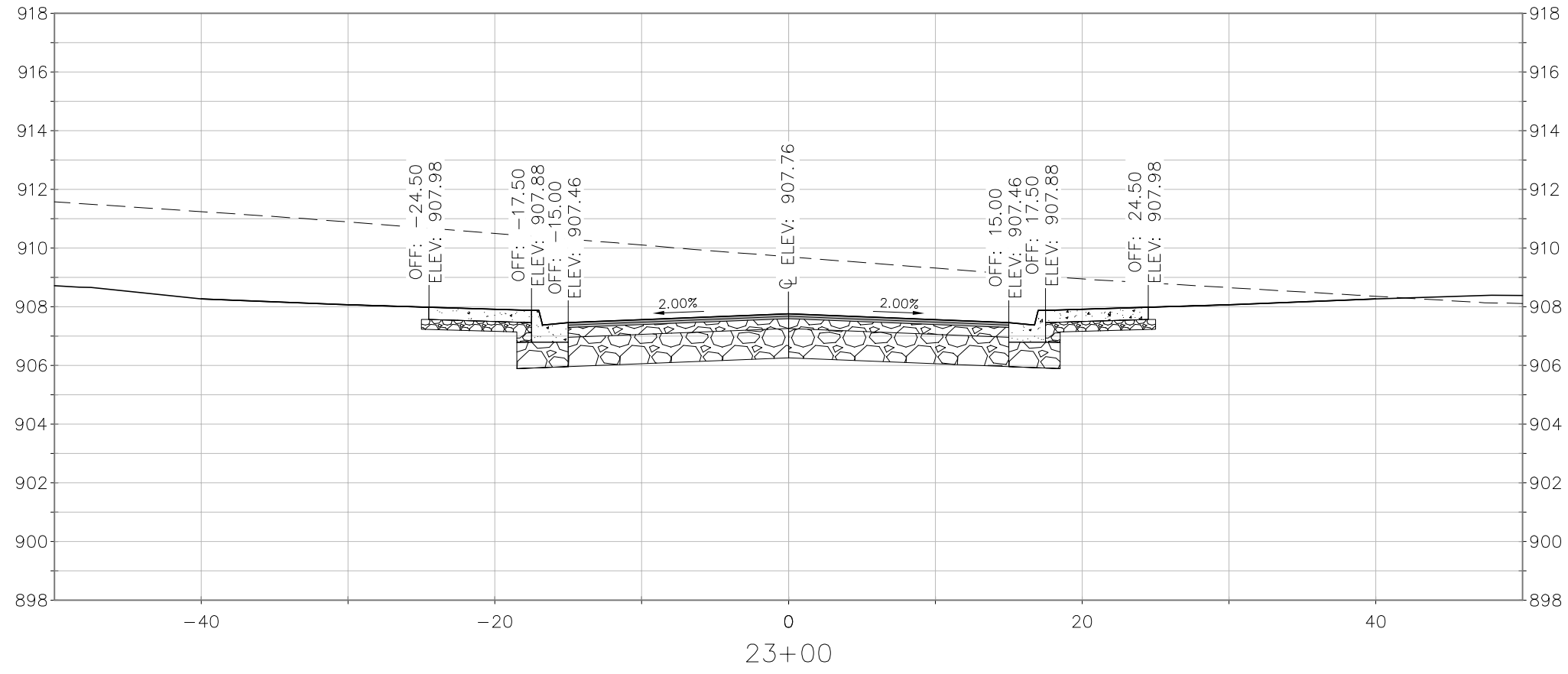
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DATE: 2/16/2026
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PROJECT NO.: 210233



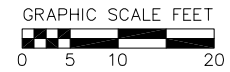
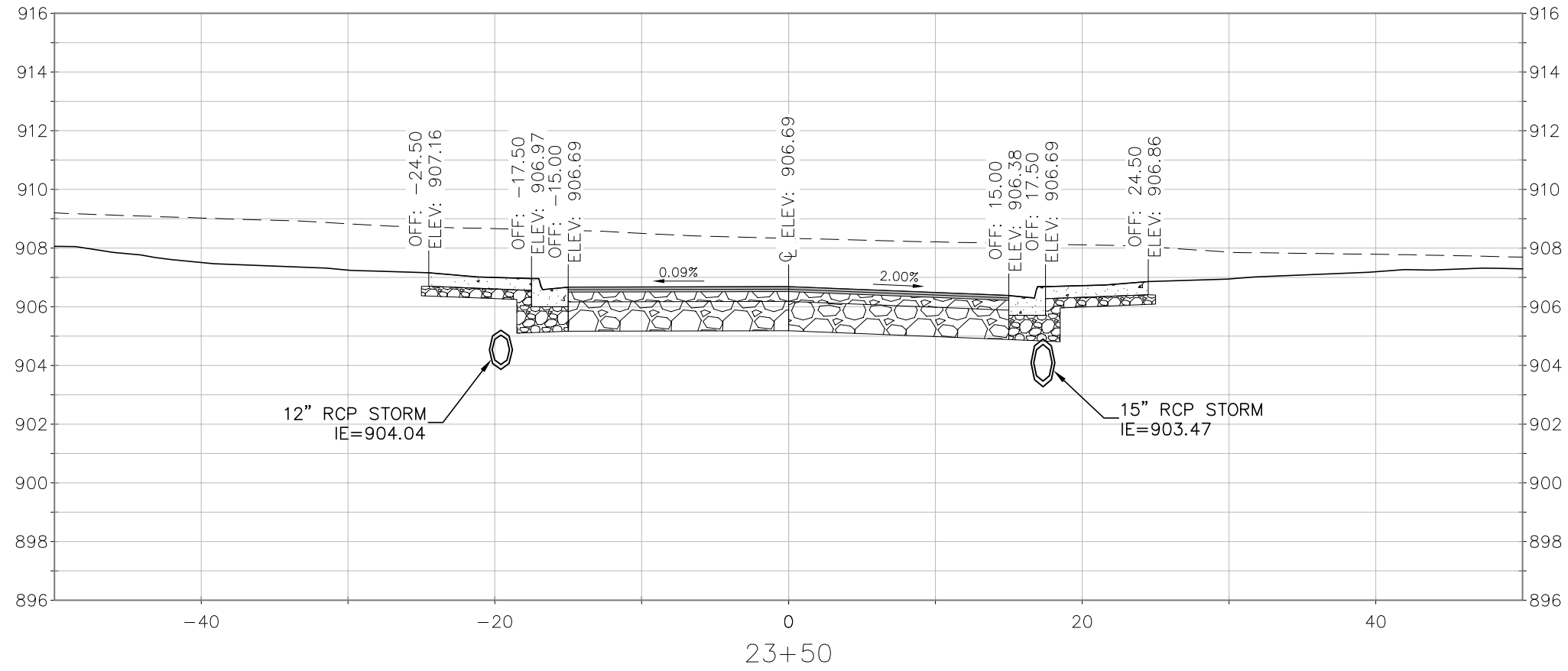
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2/16/2026
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PROJECT NO.: 210233



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DATE: 2/16/2026
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 PROJECT NO.: 210233

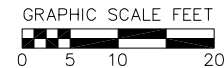
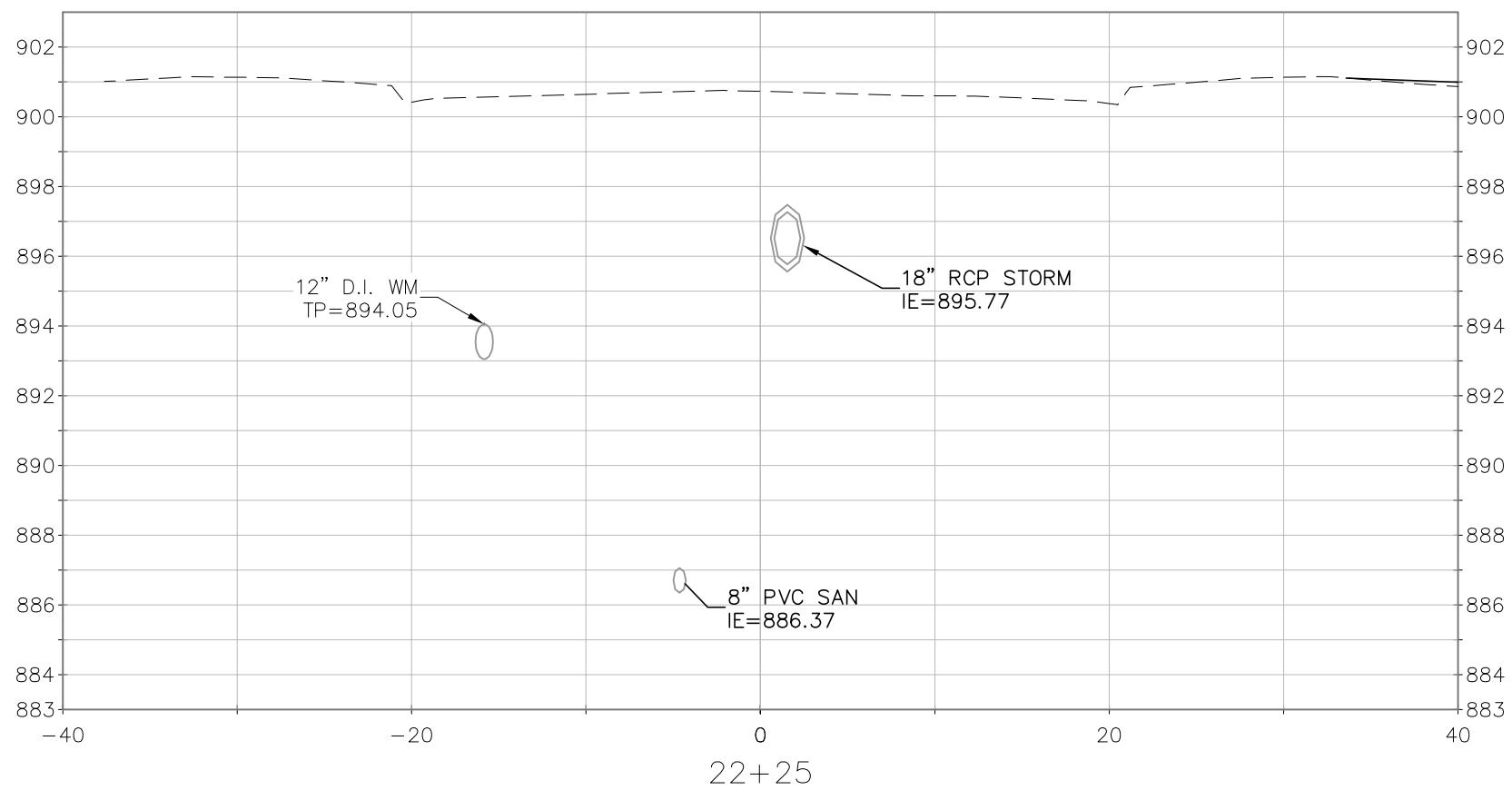
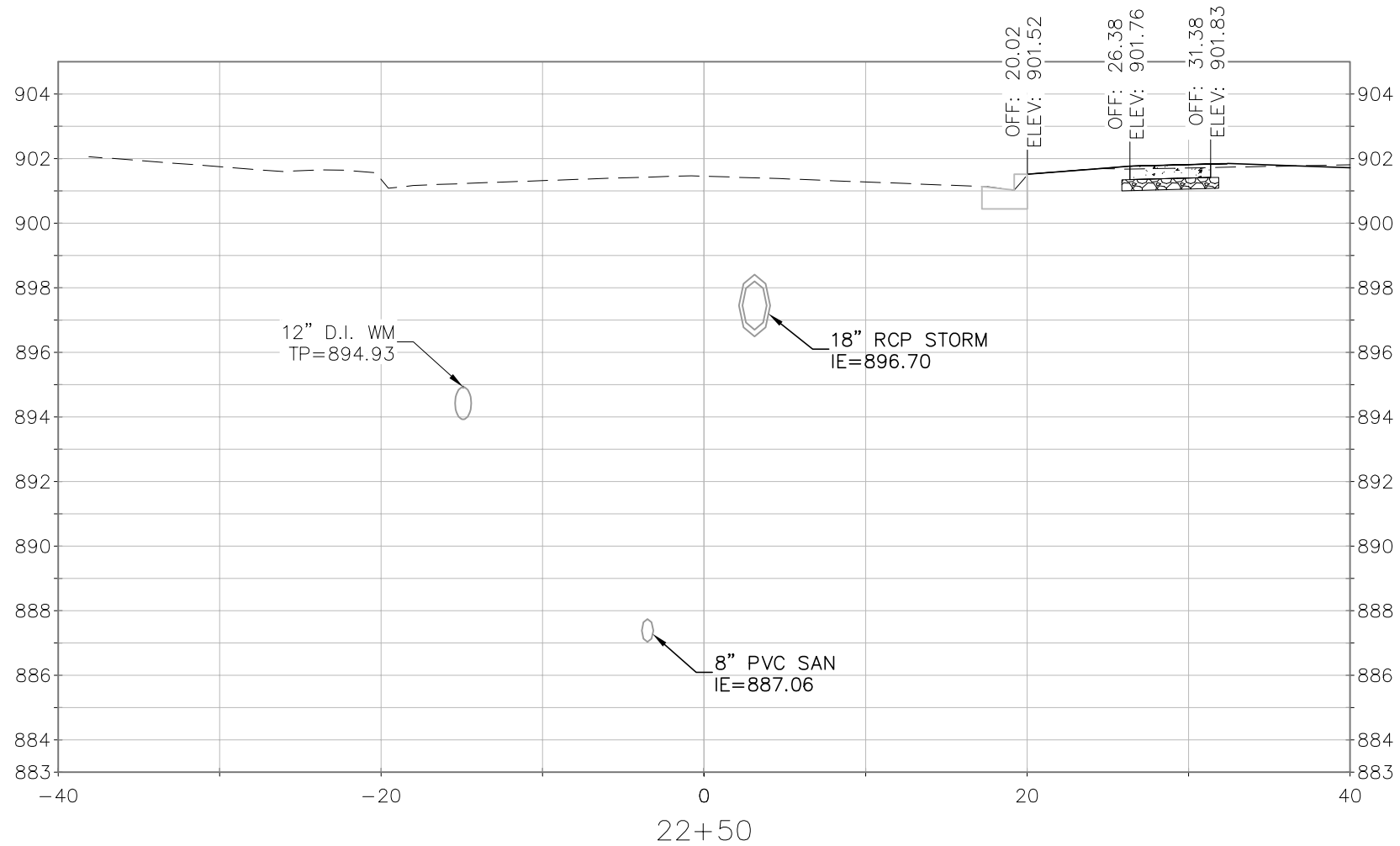


Cross Section - Balboa Pass
 STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
 CITY OF FITCHBURG
 DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
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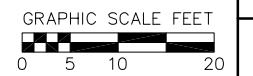
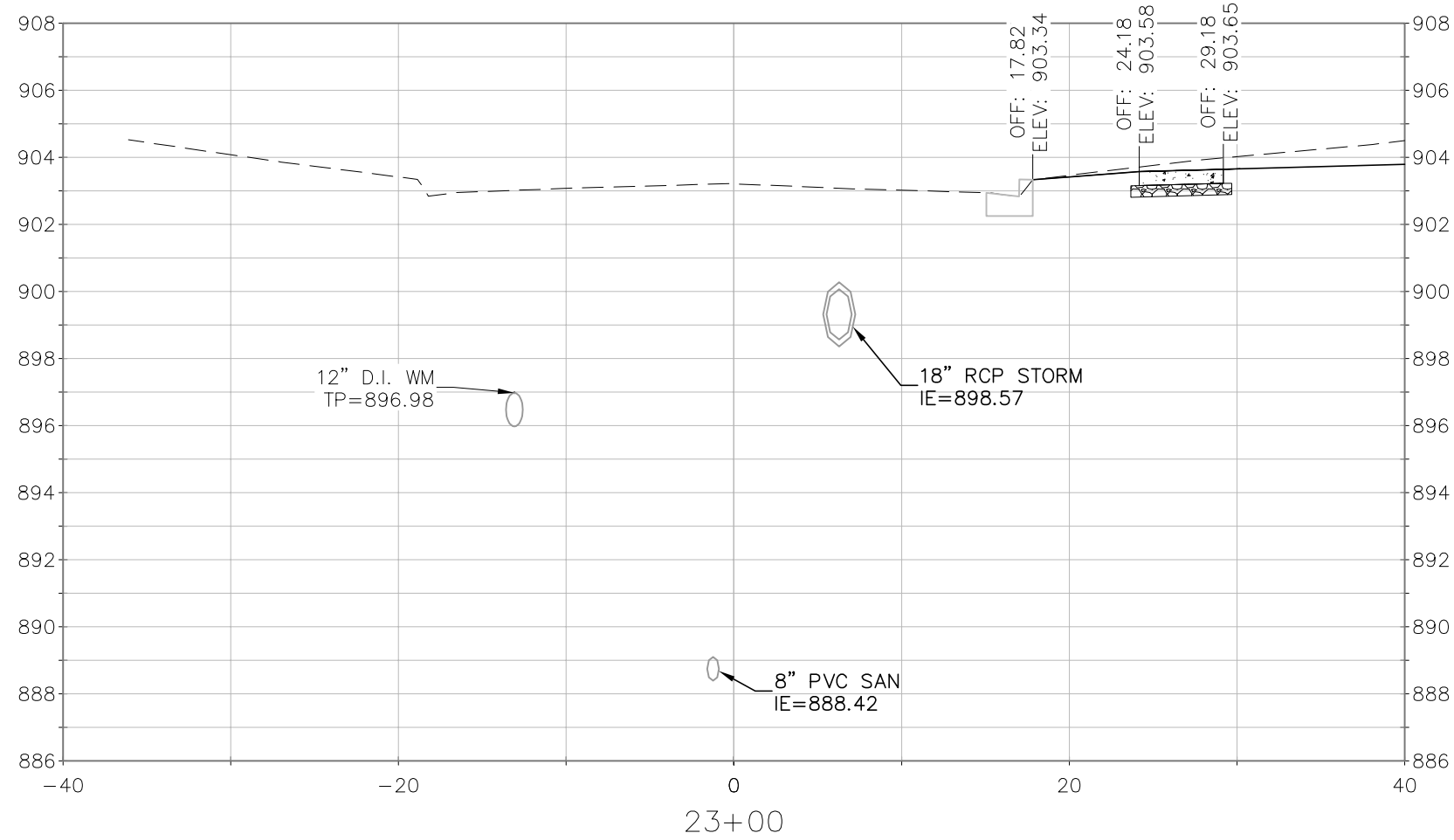
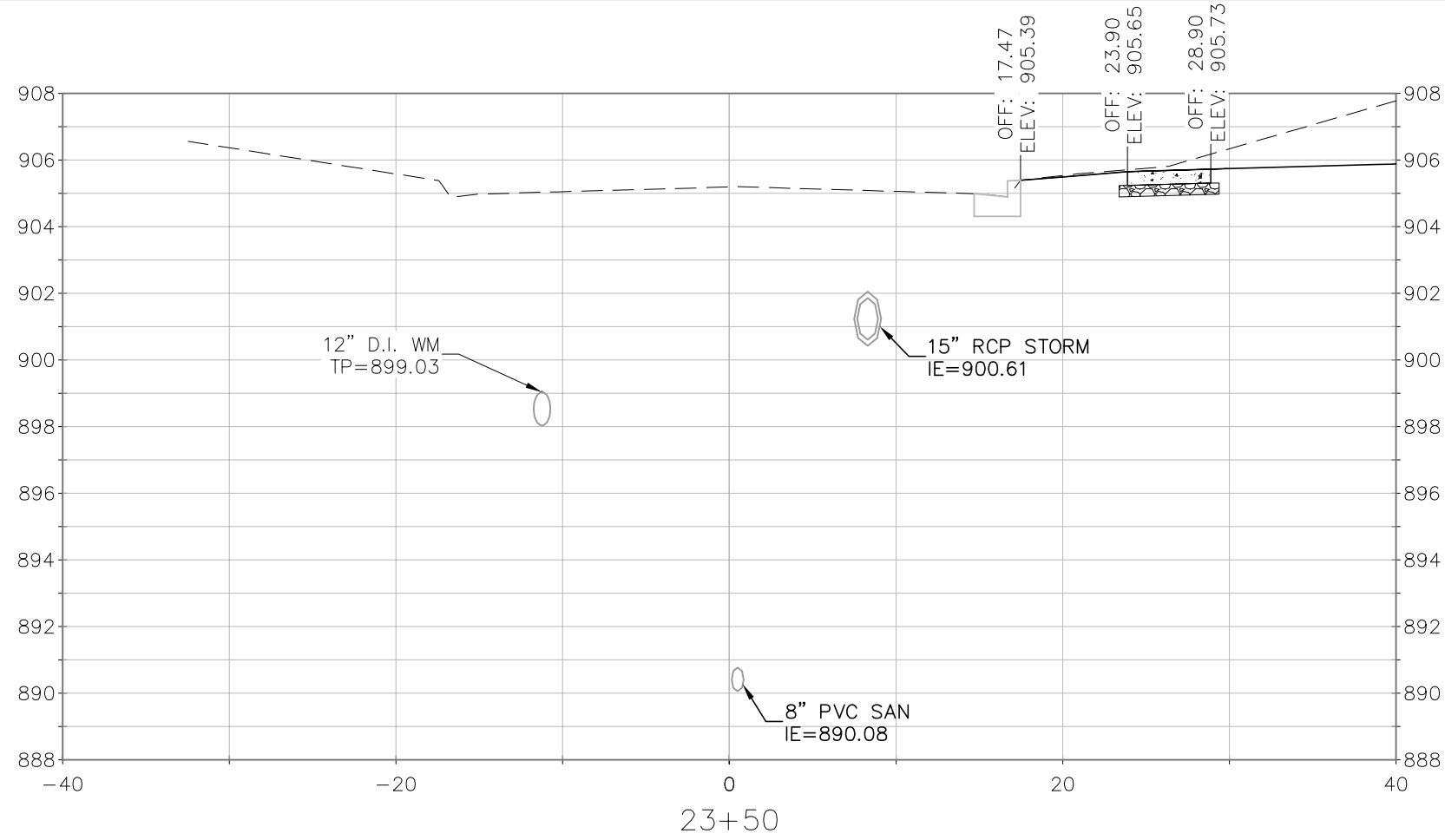
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NO.	DATE	REVISIONS	
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DATE: 2/16/2026
DRAFTER: NJQH
CHECKED: JZAM
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Cross Section - Central Park Place

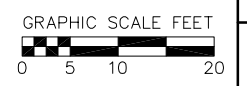
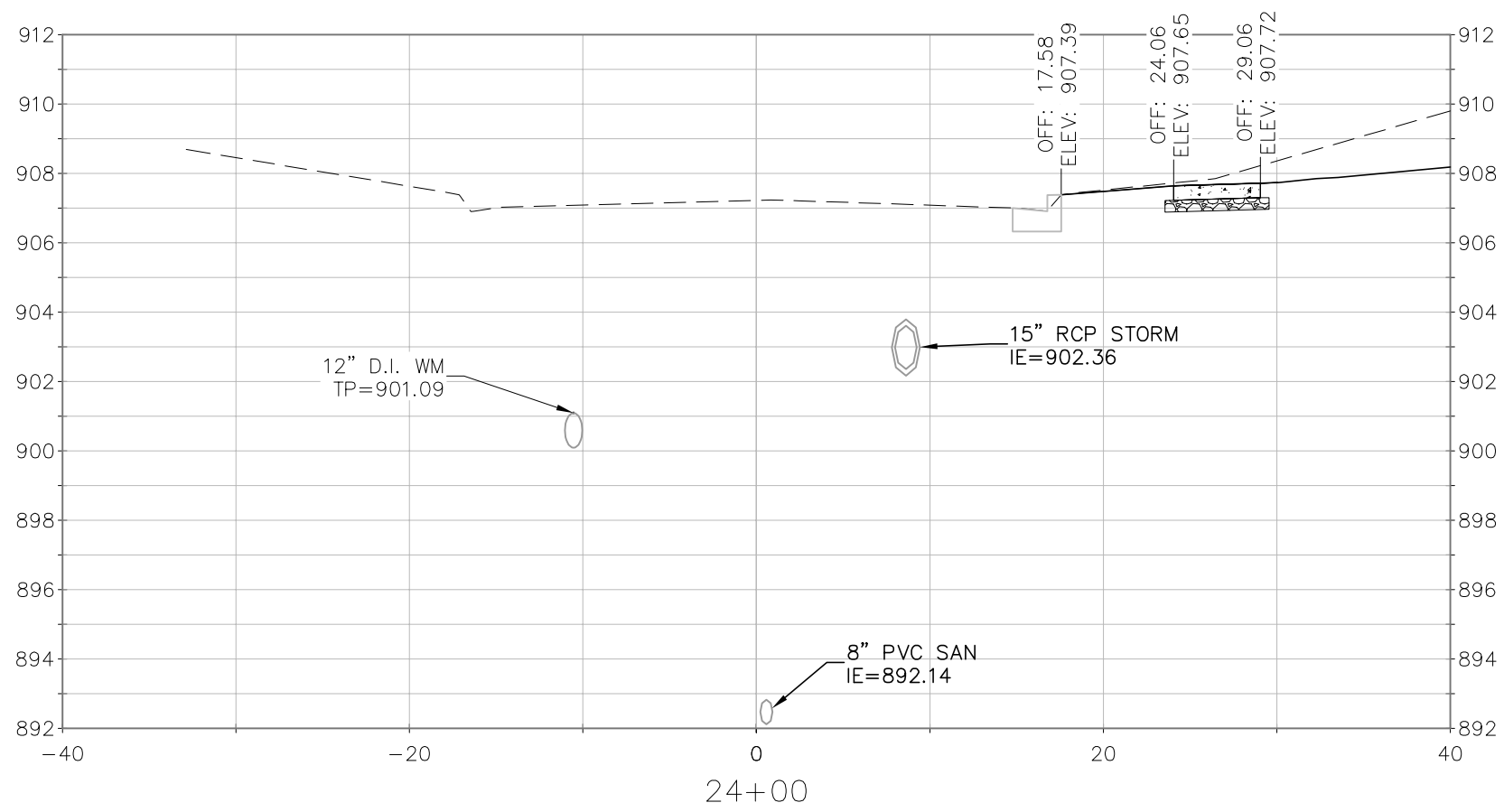
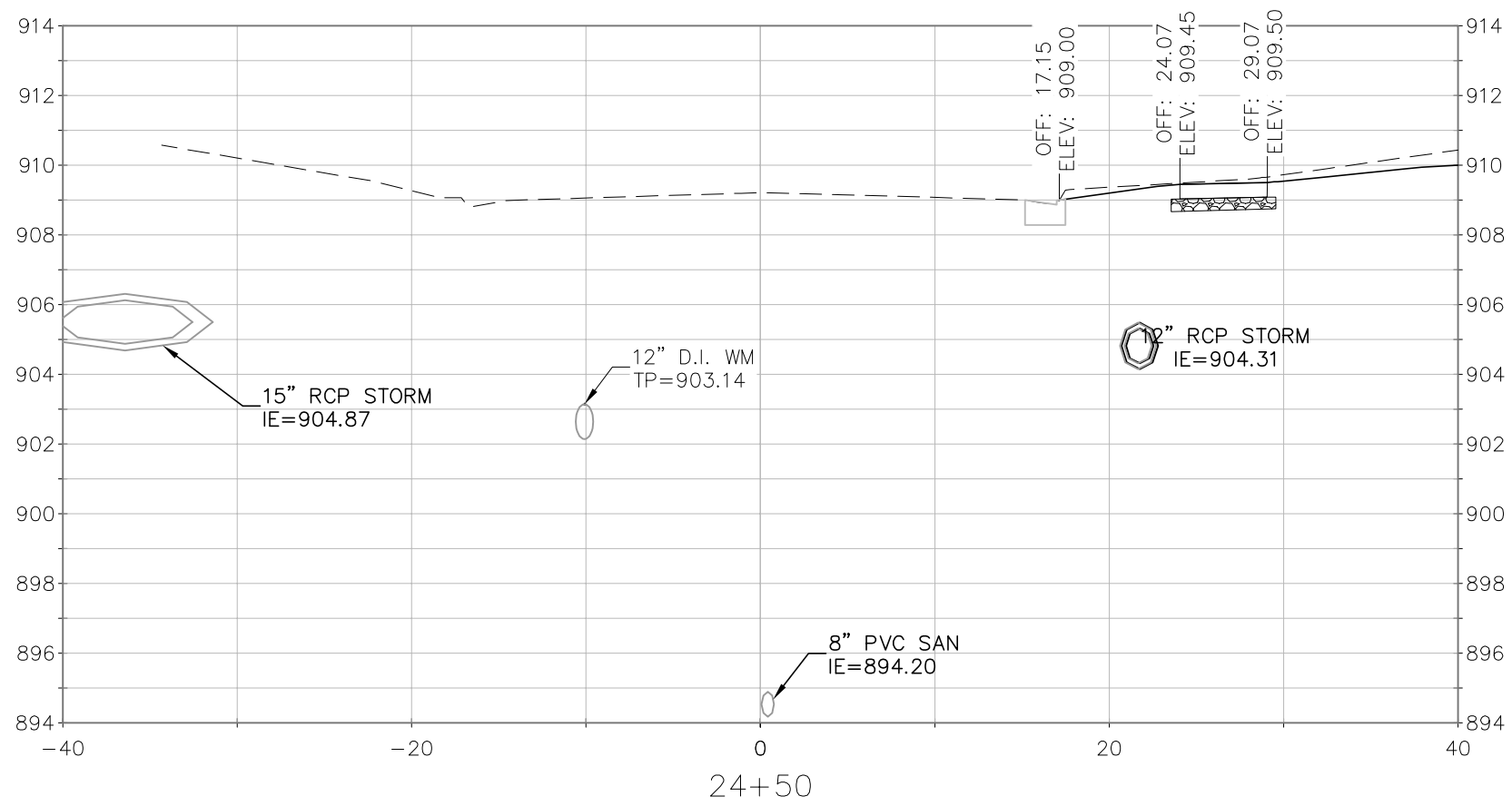
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
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Cross Section - Central Park Place
STANLEY PARK PLACE & BALBOA PASS ROADWAY IMPROVEMENTS
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

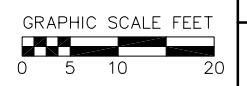
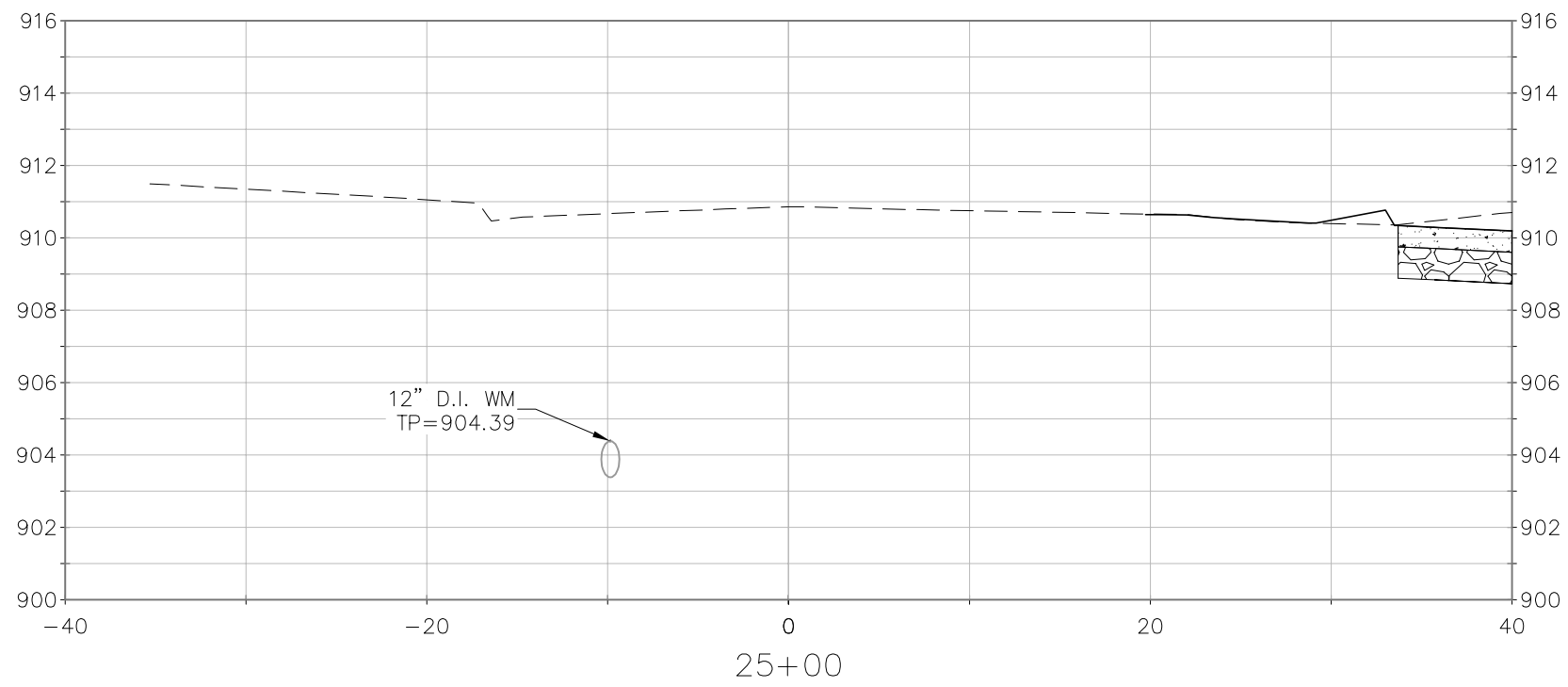
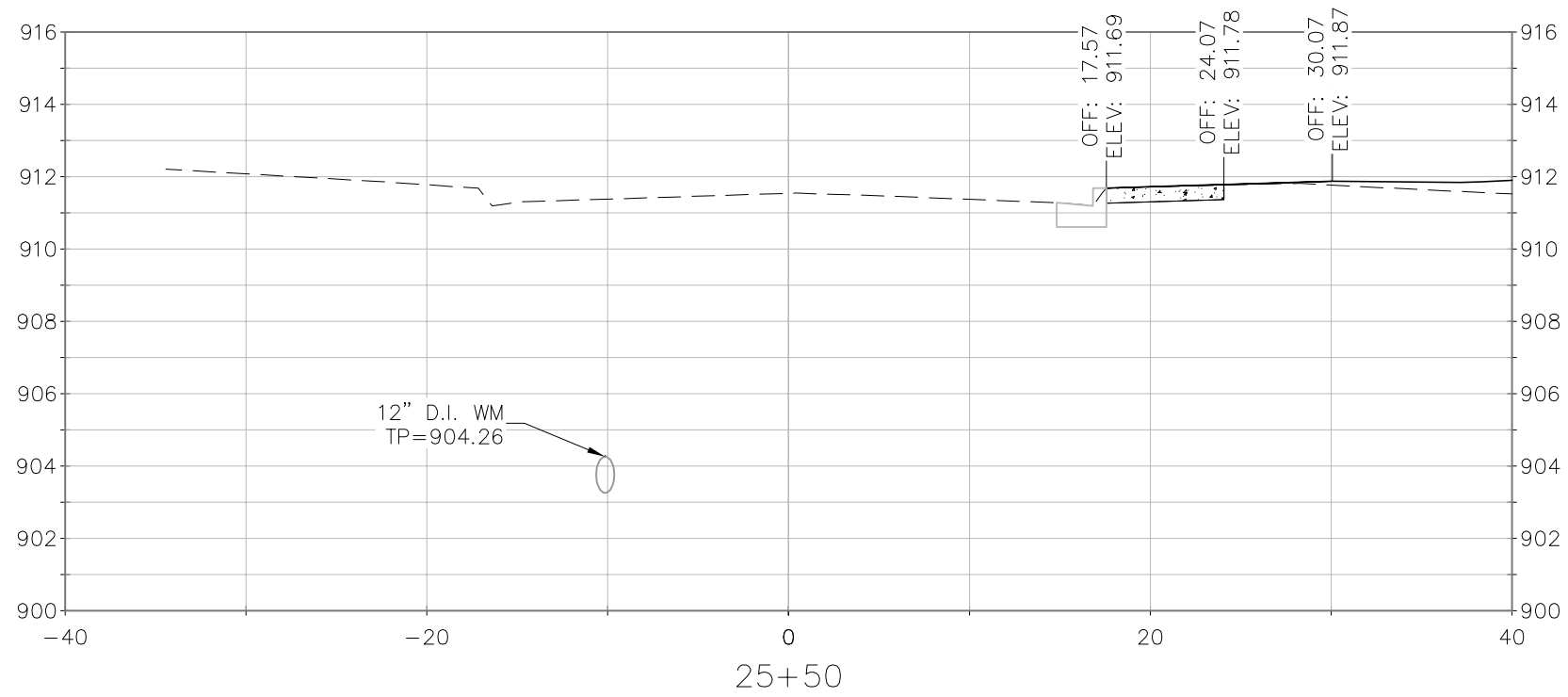
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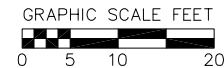
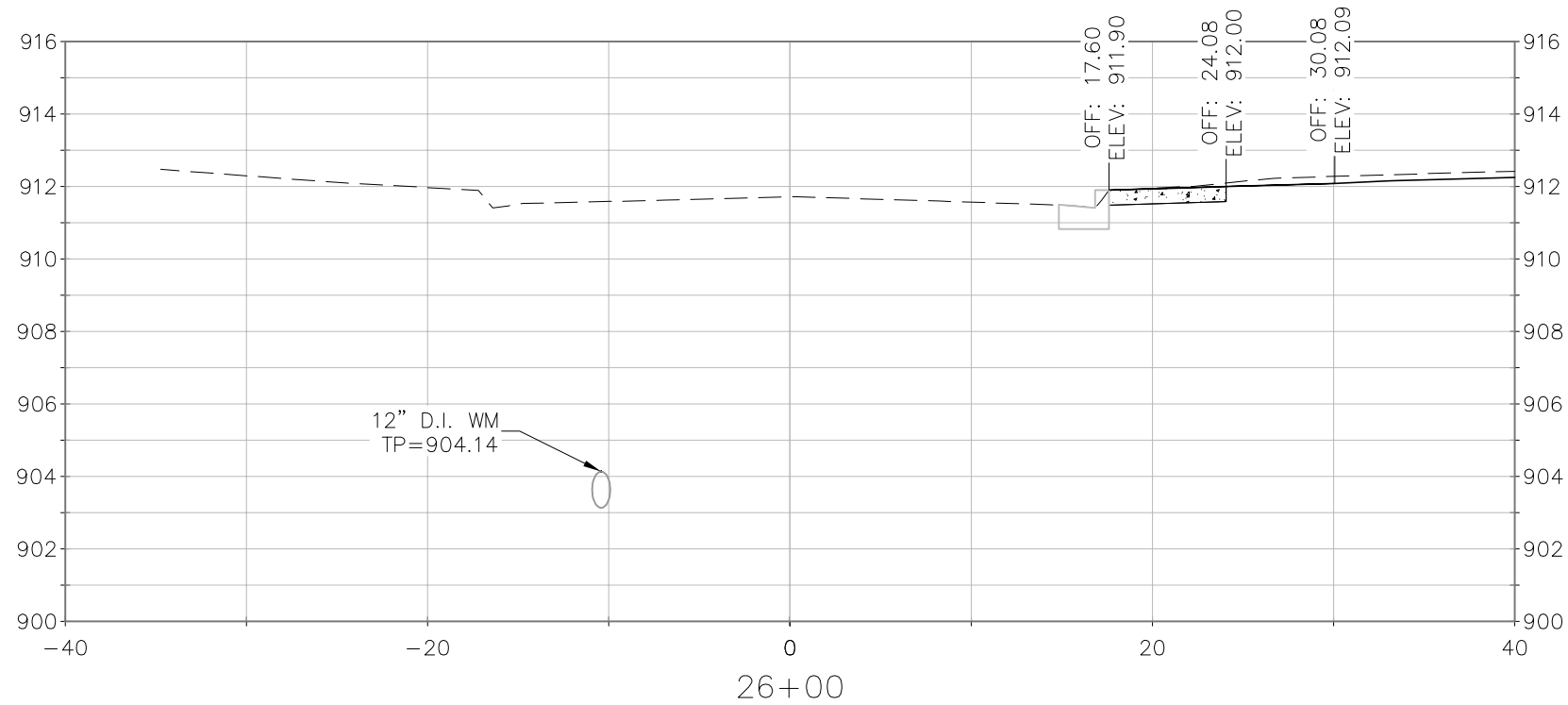
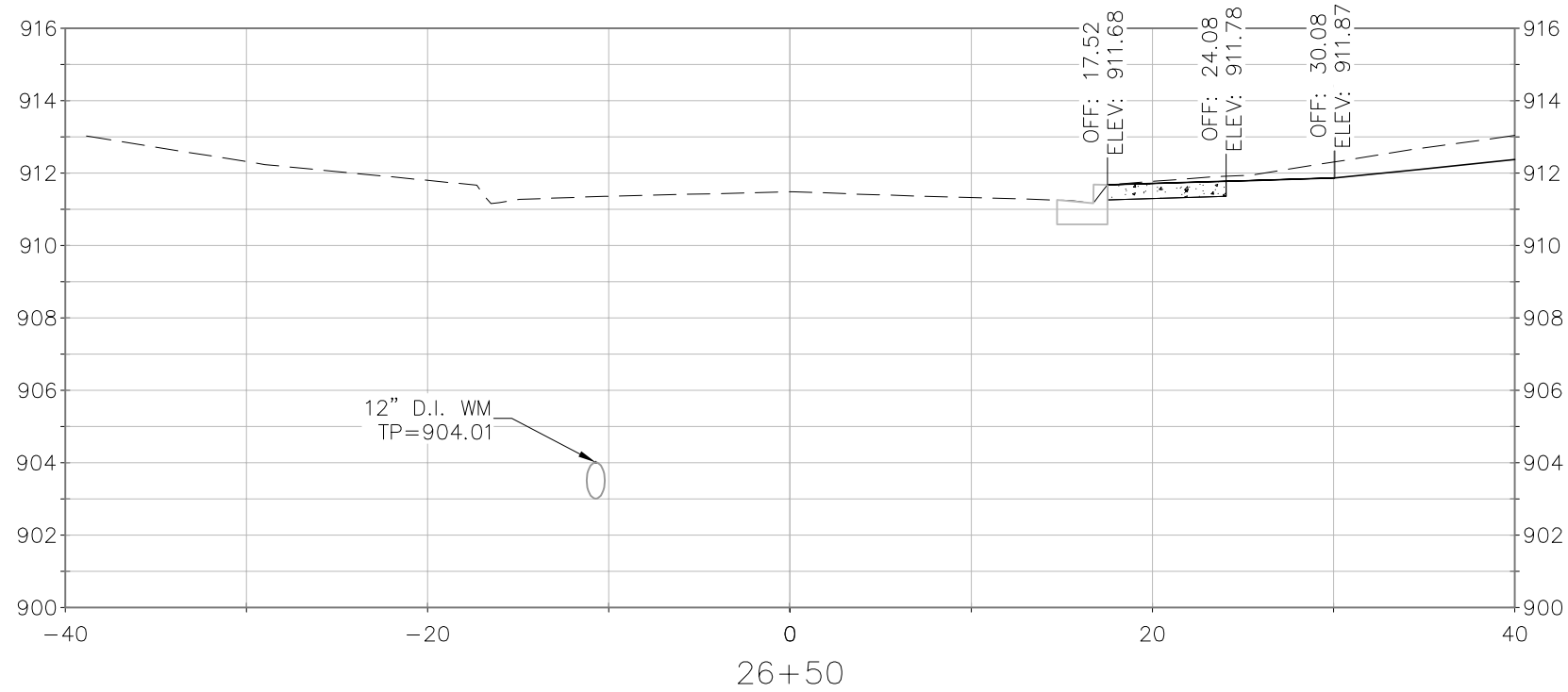
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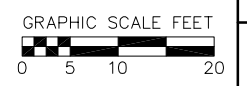
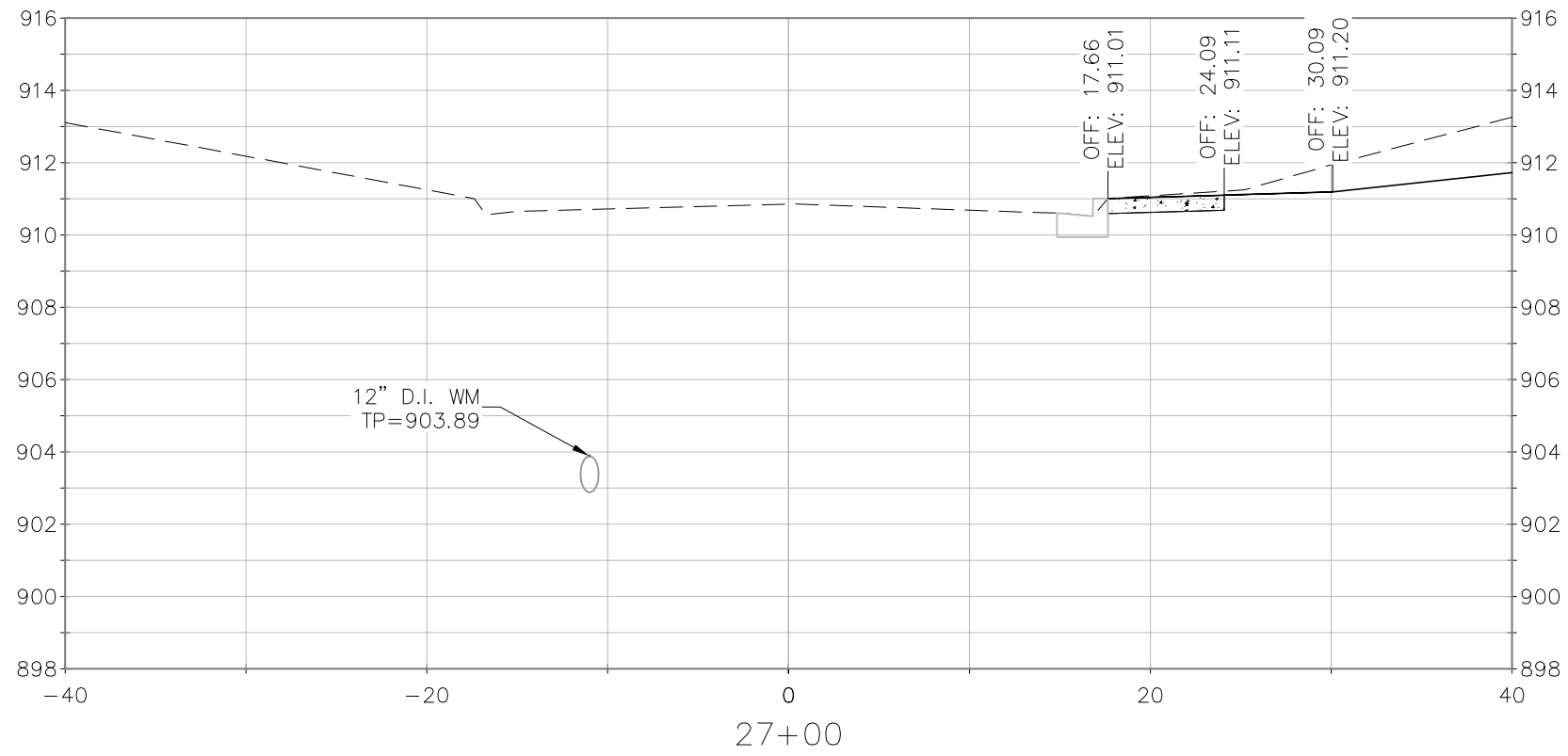
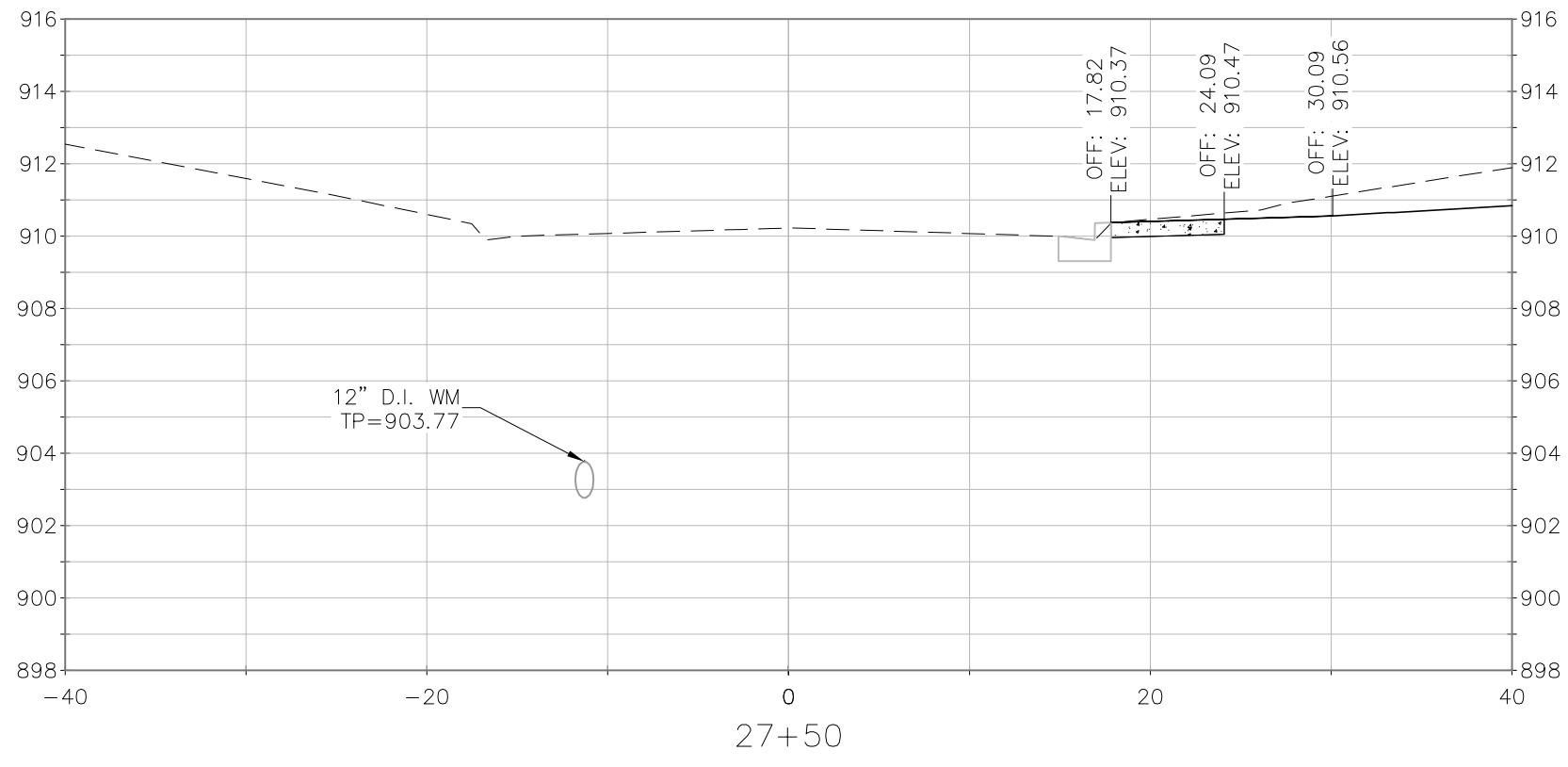
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LEGAL DESCRIPTION

All of Outlot 1, Certified Survey Map Number 15162, as recorded in Volume 107 of Certified Survey Maps, on pages 249-256, as Document Number 5498222, Dane County Registry and all of Outlot 33, Fourth Addition to Nine Springs, as recorded in Volume 60-070B of Plats, on pages 376-377, as Document Number 5303444, Dane County Registry and located in the Northeast Quarter and the Northwest Quarter of the Southeast Quarter of Section 11 and the Southwest Quarter and the Southeast Quarter of the Northeast Quarter of Section 11, all in Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin.

Containing 753,482 square feet or 17.298 acres more or less.