



MD ARCHITECTS

Thursday, January 15th, 2026

City of Fitchburg – Planning & Zoning Department
Attention: Deanna Schmidt, City Planner & Zoning Administrator
5520 Lacy Road
Fitchburg, Wisconsin 53711
deanna.schmidt@fitchburgwi.gov
608-270-4255

**RE: NVA Lakeview Veterinary Clinic
Minor Planned Development District Amendment Request
Address: 2974 Ochalla Drive, Suites 165-167, Fitchburg, WI**

I am writing to request a minor planned development district amendment to the existing Mixed Use PDD-SIP at Lot 22 of Ochalla Drive, address listed above. Current approved uses include residential development, B-G General Business and dog play area.

We are requesting the Business Highway (BH) use be added to the approval list with the intention of renovating the interior of an existing shell structure for the addition of a General Practice Veterinary Clinic.

The proposed project will be a general practice vet clinic intended for the treatment and care of the dogs and cats of local residents. No training or boarding will be conducted on the premises. Treatment and care will be limited to general health and wellness, illness treatment and minor procedures. While practitioners may require some animals to remain under observation overnight following minor procedures, there is no expectation of short- or long-term boarding. The practice will be expected to operate standard 8am-5pm business hours with some variance as needed with use of on-site parking between the hours of 7am-7pm. Twelve employee parking spaces will be provided in the adjacent parking garage by the landlord.

The project will occupy currently vacant Suites 165-167. The building also houses a local Pet Grooming business that shares the common areas of the property. The current veterinary practice is expected to move from its current location to this proposed project location after the conclusion of construction. Expected completion date is tentative for Quarter 1, 2027.

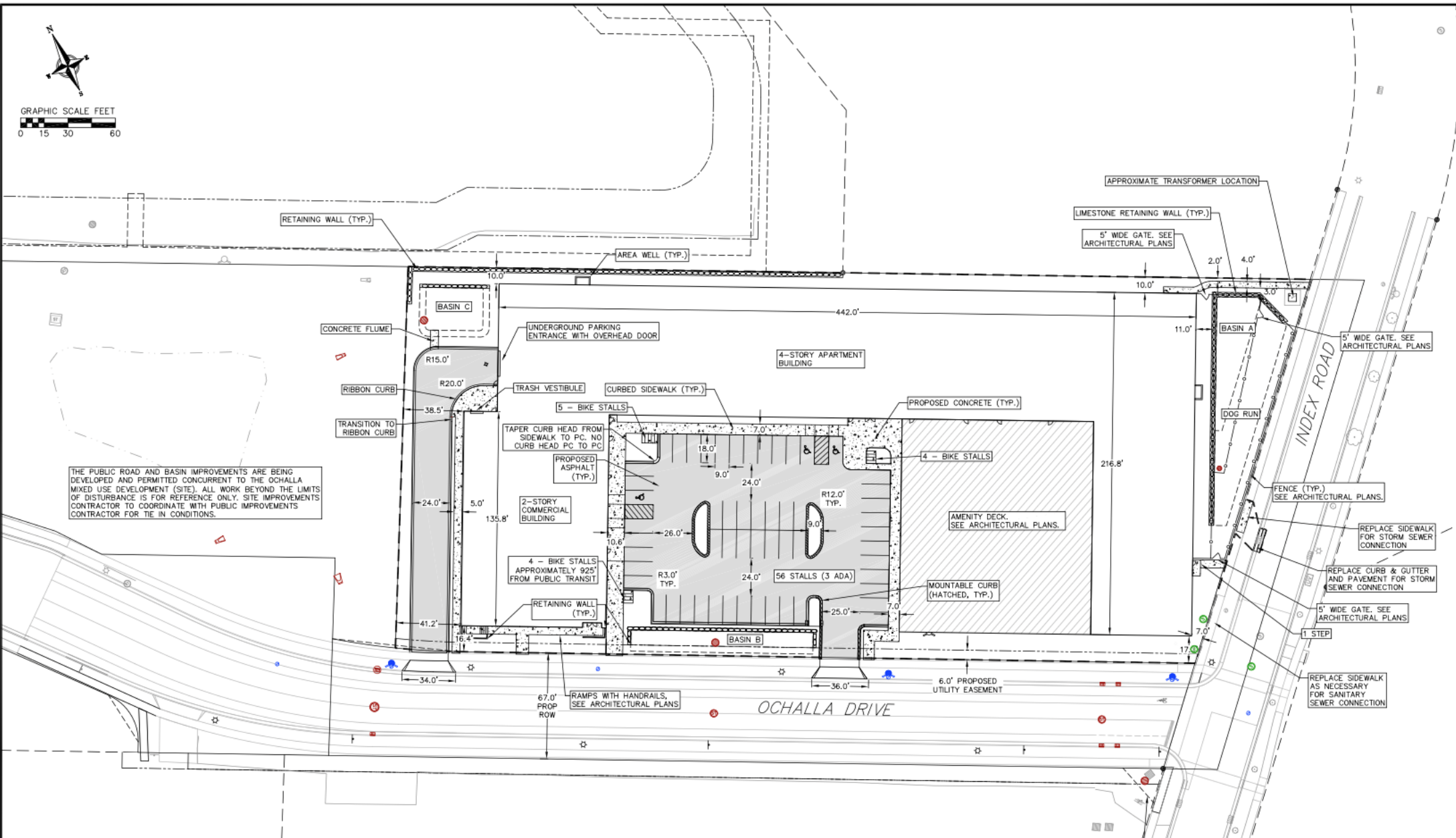
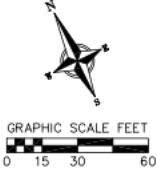
Enclosed you will find our submission documentation for review of the proposed development at the February 17th, 2026 Plan Commission meeting. Submission includes a notated copy of the existing PDD-SIP detailing the changes the project is requesting, landlord provided copies of proposed suite occupation and existing parking plans as requested by Deanna Schmidt via phone conversation on 1/14/2026.

Please feel free to reach out to discuss any information in further detail.

Best Regards,

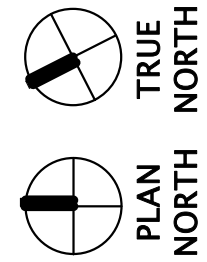
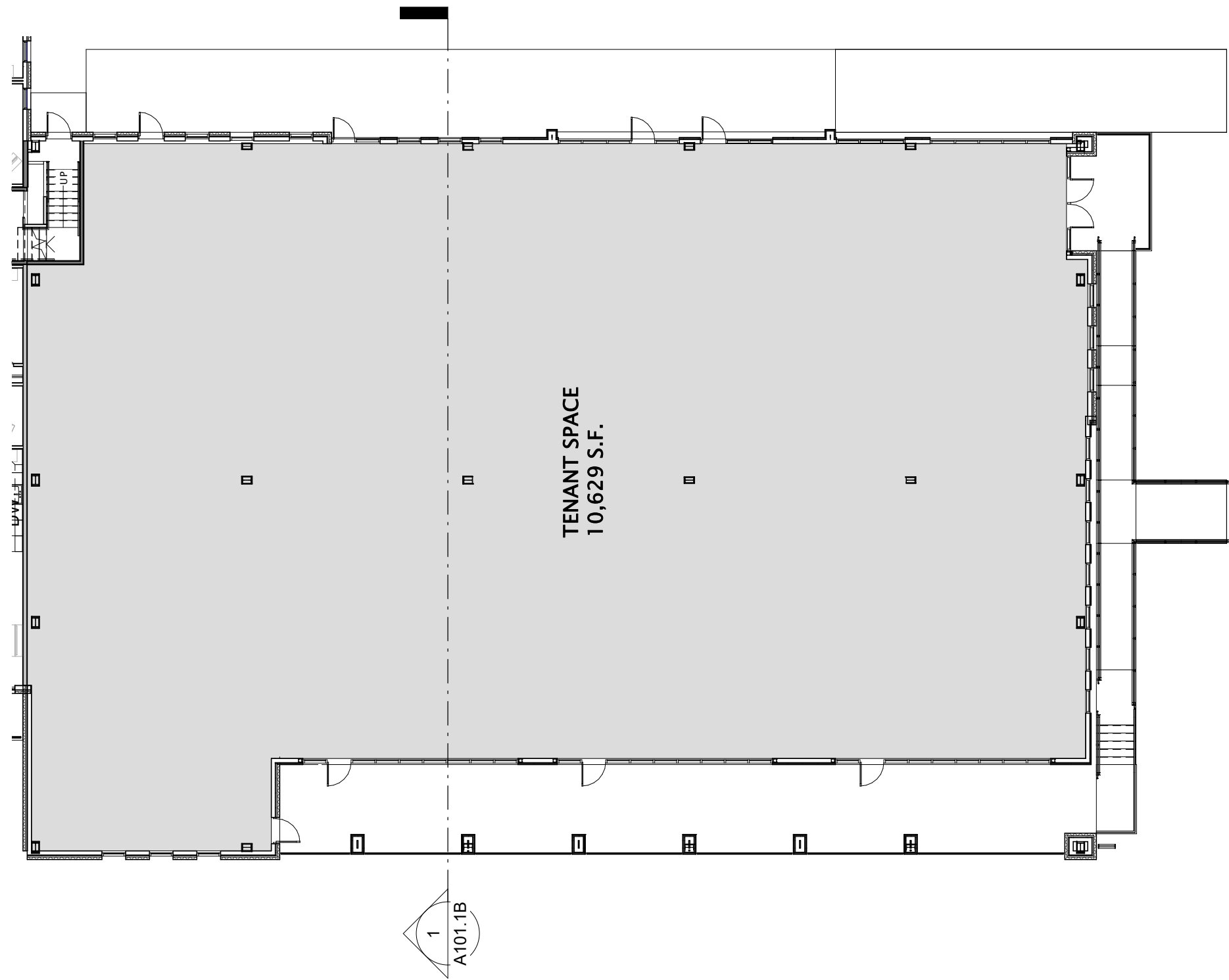
Brittany Parksey

Brittany Parksey, NCIDQ | Project Manager & Interior Designer
MD Architects
Brittanyp@mdarchitects.com
(d) 463-777-0532



THE PUBLIC ROAD AND BASIN IMPROVEMENTS ARE BEING DEVELOPED AND PERMITTED TO THE OCHALLA MIXED USE DEVELOPMENT (SITE). ALL WORK BEYOND THE LIMITS OF DISTURBANCE IS FOR REFERENCE ONLY. SITE IMPROVEMENTS CONTRACTOR TO COORDINATE WITH PUBLIC IMPROVEMENTS CONTRACTOR FOR TIE IN CONDITIONS.

REVISIONS	NO.	DATE	REVISIONS



1 TENANT SPACES OVERALL COMBINED
 1/16" = 1'-0"



OCHALLA DRIVE MIXED USE DEVELOPMENT

FIRST FLOOR COMMERCIAL - TENANT SPACES OVERALL COMBINED

JLA PROJECT No:	20-0225
DATE OF ISSUANCE:	OCTOBER 12, 2022
REVISION DATE:	

A101.1A



Request Details

Print Date: Wed 02/16/2022

Category: Rezone

Location: Maple Lawn Heights

Request ID: RZ-2431-22

Metes and Bounds:

Decision Date: 2/15/2022

Section:

House Number:

Project Name: Ochalla PDD-SIP

Street: Ochalla Dr

Comments:

Lot: 22

Zoning Conditions

- 1 No other permit or approval is waived or deemed satisfied except for the approval provided herein.

- 2 The following development standards are approved as part of this PDD-GIP approval:
 - a. Approved Use: Maximum 60-unit per acre residential development, business as permitted by Division 3. B-G General Business District of the Fitchburg Code of Ordinances and dog play area
 - b. Building Height: Maximum 65 ft. or 4 stories
 - c. Impervious Surface Ratio: Maximum 81%
 - d. Minimum Open Space: Minimum 15%
 - e. Parking: Minimum 1.45 spaces/unit and 1 space/300 sq. ft. of retail space
 - f. Setbacks:
 - i. Front: 10 ft. minimum
 - ii. Street side: 5 ft. minimum
 - iii. Side: 35 ft. minimum
 - iv. Rear: 8 ft. minimum
 - v. Exterior Stairs, Entry Stoops, Planters, Balconies, and overhangs are permitted to encroach within this Setback

- 3 Signage shall follow sign regulations for multifamily residential districts allowed under Chapter 26 sign ordinance unless a sign package is proposed and approved with PDD-SIP zoning.

ADD BH BUSINESS HIGHWAY TO APPROVED USE.

R.16.005366 1/24/22

\$875.00 RB



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the VA-1 district to the PDD-SIP district the following described property:
PPD-61P

1. **Location of Property/Street Address:** Index Road and Ochalla Drive

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Maple Lawn Heights Lot 22 except for Index Road R/W in Doc 4843372 & also except for R/W in Doc 4910148

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. **Proposed Use of Property - Explanation of Request:**

Construction of a new mixed use development with approximately 170 units of residential housing with amenities, and approximately 10,450 s.f. of commercial/retail space.

3. **Proposed Development Schedule:** Construction to start in April 2022 and finish in the summer of 2023.

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Multi-Family

Total Dwelling Units Proposed: 170 **No. Of Parking Stalls:** 252

Type of Non-residential Development (If Applicable): Commercial/Retail

Proposed Hours of Operation: TBD **No. Of Employees:** TBD

Floor Area: 10,450 s.f. **No. Of Parking Stalls:** 50

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Ochalla Drive, LLC

Address: 2820 Walton Commons Lane, Suite 125; Madison, WI **Phone No:** 608-468-6605

Contact Person: Michael Thorson

Email: michael.thorson@inventure-capital.com

Address: 2820 Walton Commons Lane; Madison, WI **Phone No:** 608-468-6605

Respectfully Submitted By: *Andrew Chitwood* **Andrew Chitwood**
Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 1/18/22 **Publish:** _____ and _____
Ordinance Section No. _____ **Fee Paid:** \$875
Permit Request No. R7-2431-22



JLA
ARCHITECTS

February 4, 2022

Lisa McNabola
City of Fitchburg — Depart of Planning & Zoning
5520 Lacy Road
Fitchburg, WI 53711

re: Ochalla Drive Mixed Use Development PDD-SIP Revised Submittal

Dear Lisa,

Enclosed you will find our revised submittal for the PDD-SIP review of our proposed development at the February 15, 2022, Plan Commission meeting. This revision includes changes made per the city staff comments provided on January 28, 2022. A copy of those comments along with replies is also included in this document, as well in a separate standalone document. Also included is the application for the Architectural design Review, at he February 15 Plan Commission.

This project proposes a mixed use development at the intersection of Index Road and an extended Ochalla Drive on what is currently a vacant lot.

The mixed use building will include areas for retail and office space, 170 residential units, and enclosed parking and bicycle storage for the tenants. The apartments will be a mix of studios, 1 bedroom, 2 bedroom, and 3 bedroom units. The building will provide the tenants with an array of amenities that include a fitness room, on site leasing office, club room, and two exterior roof top courtyards.

Please look at the submittal and let me know if you need additional information or if you have any questions.

Andy Chitwood
Project Manager
JLA Architects & Planners



Scott Endl, Director
Parks, Recreation and Forestry
5520 Lacy Road
Fitchburg, WI 53711-5318
Phone: (608)270-4288
Scott.Endl@fitchburgwi.gov

Memo

To: Lisa McNabola – Associate Planner

From: Endl – PRF

Ref.: Comment Request: RZ-2431-22 – ADR – Ochalla Drive. PDD-SIP

Date: January 25, 2022

Please be aware that the below development requirements.

- Parkland Dedication per Ordinance 24-2(d)(2)(a); Dedication of parks, playgrounds, recreation and open spaces – 2,900 square feet per dwelling unit. 170 units x 2,900 square feet = 493,000 square feet (11.32 acres).
- Fee in lieu of Parkland Dedication per Ordinance 24-2(d)(2)(e); \$4,330 (2022 rate) per dwelling unit or approximately \$65,000 per acre of deficiency.
 - 170 units x \$4,330 = \$736,100.
- Parkland Improvement fee per Ordinance 24-15(d)(5), 22-647(2);
 - PI Multi Family Residential \$160 (2022 rate) per unit: 170 units x \$160 = \$27,200.
- Street Frontage for Parks per Ordinance
 - Section 24-9(i) (2) of the City's Land Division Ordinance.

Acknowledged. These fees are shown in the SIP narrative document.

The Council, upon receiving a recommendation from the Parks Commission and Plan Commission, shall have the authority to allow alternative dimensions for frontages and the park if it can be found that the objectives of access and visibility can be fulfilled.

Please feel free to contact me with any questions.

Respectfully,
Scott Endl



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@fitchburgwi.gov

Application: RZ-2431-22_ADR_ES (Ochalla Dr PDD-SIP)
Property Location: Lot 22 Maple Lawn Heights
Review Date: January 27, 2022
Planning Staff Review #1

Planning staff has reviewed your submitted PDD-SIP Rezone, ADR, and Early Start requests. The following comments are based on this review. Please respond to each item with a detailed written response, along with appropriate updated plans; by 12 pm on Friday, February 4th or sooner. Further comments or questions may arise as additional review occurs.

1. Please be prepared to provide an overview of your project / request to the Plan Commission and to be available for questions. In-person or virtual attendance for applicants is permitted; please be sure to contact Lisa McNabola in the Planning office for virtual attendance registration in advance of the meeting.
Acknowledged.
2. After submittal of SIP request, and upon approval by the Plan Commission and Council, note that the SIP shall be signed within 30 days of Council approval and be recorded with the Dane County Register of Deeds.
Acknowledged.
3. Why were the 3-bedroom units removed? Staff would prefer to see a more balanced unit mix.
There was one stack of 4 3-bedroom units in the GIP approved plans. Detailed code review of hallway constraints revealed some issues with that original design, and detailed unit design resulted in these becoming 2mbedroom units. We don't believe its practical to add back a 3 bedroom design this late in the process.
4. Page A-31 of the city's [Bike & Ped Plan](#) shows the standards for bike parking. Multifamily should have .05 spaces/bedroom + 2 spaces for short term (13 spaces).
Acknowledged. 13 spaces have been identified on the revised plans.
5. Page 11 lists General Implementation Plan Data, please update accordingly.
The narrative for the SIP has been updated to reflect current data.

6. PDD zoning standards should describe the development as proposed. Setbacks could be written to provide some room for error. Side setback should be 35 ft. Minimum, off street parking should be 1.45 spaces per unit as that is the expectation for this development.
The setbacks have been updated in the SIP document to reflect those shown on the civil site plans, with some room for error. The number of parking spaces has not changed. The parking data table has been revised to show the 1/300 s.f. spaces required for the commercial spaces, with 1.45 spaces per residential unit.
7. Dog play area is not a suitable use in and around a stormwater facility.
We believe that the use is suitable and are not aware of formal restrictions that would prevent this use. We are happy to add additional language to our stormwater maintenance agreement to ensure that the impact of a dog play area on the stormwater facility is monitored and appropriate maintenance conducted.
8. Landscape plan no longer shows Basin A.
Acknowledged, Basin A line work has been identified on the revised plans.
9. Include Fire Access Plan in PDD-SIP & ADR.
Please refer to the Fire Access Plan that has been added to the revised SIP document.
10. Retail/office standard is 1 space/300 sq. ft. That results in 34 spaces (10,450 sq. ft./300).
 - a. The Off Street Parking Text does not correspond with the Concept Data table. Are there 30 or 50 retail stalls? Is the residential parking ratio 1.45 or 1.36? PDD-GIP has a 1.45 parking ratio.
Data in the SIP narrative has been revised to reflect 1 space/300 sf of commercial space and clarified to show the 1.45 spaces per residential unit.
11. Provide some wall lighting along east side of building for safety. Show on photometric plan.
Acknowledged. This is shown on the revised photometric plan included with SIP.
12. Add signage standards in PDD-SIP. Unless an individualized sign plan is proposed the apartment will follow Chapter 26 for multifamily districts and the commercial space will follow Chapter 26 for business districts.
Acknowledged. Once a signage subcontractor has been brought on board plans will be submitted by them to the city for permitting. The plans will be reflective of the conditions of chapter 26 and represent the design intent shown on the elevations that are part of the SIP submittal.
13. The CSM shall be recorded prior to issuance of permits.
Acknowledged
14. Signed Early Start Agreement shall be provided prior to issuance of permits.
Acknowledged. A draft is requested at your convenience.
15. Parks fees shall be paid or deferred prior to issuance of permits.
Acknowledged

**Ochalla Dr Mixed Use – Maple Lawn Heights Lot 22 except for
Index Road R/W Doc 4843372 and 4910148
Public Works Review #1**

The following comments are based on the Planned Development District (PDD-GIP October 21, 2021) submitted by Andrew Bowman dated October 21, 2021, for Maple Lawn Heights Lot 22 except for Index Road R/W Doc 4843372 and 4910148. TF 10-25-21; AM 01-26-22; TB 1-26-22; CG x-xx-21; BB 1-27-22. Additional comments beyond these may be required on future reviews.

General Comments

1. An agreement for subdivision improvements will need to be approved and executed. **Acknowledged**
2. The applicant will need to submit a Construction & Demolition Reuse/Recycling (CDRR) Plan to Building Inspection. CDRR Plans are required both for new construction and for demolition.
A construction & Demolition plan was submitted to the city on 2/2/2022.
3. Developer needs to provide a designated location for US Postal Service Centralized Mode of Delivery.
Interior mailboxes and a parcel room are being provided and shown on plans submitted with SIP.
4. A construction easement/agreement will need to be provided to the City from Valley View Apartments to make the proposed site grading modifications prior to start of construction.
Acknowledged. This process is underway.

Transportation Comments

1. Please provide specific examples of these parking rates being adequate with past projects. A general statement of based on our experience with multi-family developments is not sufficient.
JLA has recently completed two successful projects in Fitchburg, Terrace Point and Limestone Ridge, which have lower parking ratios. Parking ratios are unchanged from those approved with the GIP application.
2. Please include ADA ramps on east and west side of Index Rd for pedestrians to cross Index Rd on the north side of the intersection. **Acknowledged, ADA ramps have been identified on the revised plans.**

Water Main and Sanitary Sewer Comments

1. Any remaining assessments shall be paid prior to development.
Acknowledged
2. Water impact fees will need to be paid prior to release of any building permits. These fees will be included with the permit fee. Please provide the total number of employee hours per week at this facility and a detailed description of what this facility will be used for.
Acknowledged

**Ochalla Dr Mixed Use – Maple Lawn Heights Lot 22 except for
Index Road R/W Doc 4843372 and 4910148
Public Works Review #1**

3. MMSD fees will need to be paid prior to development.
Acknowledged
4. The City will require use of existing laterals if possible. Any laterals that are not used will be required to be abandoned at the main per City specifications.
Acknowledged
5. The City is strongly encouraging property owners to find ways to reduce chloride levels in their wastewater. Costly wastewater treatment plant upgrades will be required if the peak chloride levels are not reduced. MMSD has a grant program available for water softening. For more information in regard to this grant program please visit <https://www.madsewer.org/Programs-Initiatives/Chloride-Reduction>.
Acknowledged
6. Modifications to the new sanitary lateral proposed may be required upon further review. The City typically does not allow drop manholes in the sanitary utility.
Acknowledged. We will continue to coordinate with engineering group during plan review of the proposed public improvements.

Erosion Control and Stormwater Management (ECSWM) Comments

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval if land disturbance will exceed 4,000 s.f. The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>. It is anticipated that Dane County will be adopting additional stormwater regulations by the end of October requiring analysis and construction standards meeting a 200-year design storm. Please plan to use those standards for designing your stormwater management plans for the road and development.
Acknowledged
2. It appears that the intent is to capture eastern 250-feet of Ochalla and pipe it back to the proposed pond. Please provide supporting documentation how the 200 year developed storm for this area be captured and conveyed back to the pond to meet the pre and post stormwater design conditions
Public storm drain improvements have been submitted to the engineering group for review. We will continue to coordinate with engineering group during plan review of the proposed public improvements and any required documentation.

**Ochalla Dr Mixed Use – Maple Lawn Heights Lot 22 except for
Index Road R/W Doc 4843372 and 4910148
Public Works Review #1**

3. It is the City's preference to have the pond with access on all sides. Meet the design requirements as stated in item 9 below.
Acknowledged. We will continue to coordinate with engineering group during plan review of the proposed public improvements.
4. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g., private storm sewer, rain gardens, etc.). A draft copy of this agreement is due with the ECSWM application materials. After approval of the agreement language, a recorded copy must be provided to the City prior to issuance of the ECSWM Permit.
Acknowledged. We would appreciate a draft from the city as soon as practical for review.
5. If private stormwater measures are constructed on site, the owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link:
<http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.
Acknowledged
6. If infiltration is required to meet the ECSWM requirements, follow the DNR's Site Evaluation for Stormwater Infiltration (1002) guidelines to determine the infiltration rate used for modeling prior to submitting the Stormwater Report.
Acknowledged
7. Stormwater facilities should be designed using DNR's post-construction technical standards, available at:
https://dnr.wi.gov/topic/stormwater/standards/postconst_standards.html.
Acknowledged
8. Proposed grades cannot block offsite water that drained through the lot in pre-development conditions. Localized ponding should not be created, and drainage of offsite properties should not be impacted by proposed development.
Acknowledged
9. Any stormwater facilities to be maintained by the City of Fitchburg's Stormwater Utility must be designed in accordance with DNR technical standards and must meet the requirements listed at the website below:
<http://www.fitchburgwi.gov/DocumentCenter/View/21019/Requirements-for-New-Public-SW-Facilities>.
Acknowledged

**Ochalla Dr Mixed Use – Maple Lawn Heights Lot 22 except for
Index Road R/W Doc 4843372 and 4910148
Public Works Review #1**

10. Show minimum unprotected opening elevations (MUOE) for any at lot (including, but not limited to, lots adjacent to ponds). The MUOE shall be 2-feet above the 100-year flood elevation.

Acknowledged. The MUOE has been identified. We believe the stormwater plans demonstrate sufficient freeboard.

11. Stormwater pipe in Ochalla shall be located south of the sanitary sewer within the road with manholes located along the bike lane line.

Acknowledged.

OCHALLA DRIVE
MIXED USE DEVELOPMENT
FITCHBURG, WISCONSIN



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INVENTURE CAPITAL, LLC
 2820 Walton Commons Lane, Suite 125
 Madison, Wisconsin 53718
 Contact: Michael Thorson
 608.698.8336



JLA ARCHITECTS + PLANNERS
 800 West Broadway, Suite 200
 Monona, Wisconsin 53713
 Contact: Andy Chitwood
 608.442.3858



MCGRATH PROPERTY GROUP
 30 Williamson St. Suite 150
 Madison, WI 53703
 Contact: Mike Metzger
 608.515.5046



VIERBICHER
 999 Fourier Drive, Suite 201
 Madison, WI 53713
 Contact: Matt Schreiner
 608.826.0532

PROJECT LOCATION & GENERAL DESCRIPTION

The proposed Ochalla Drive will be a distinctive, mixed use development serving the increased demand for quality, higher density housing and commercial/retail space in the Fitchburg area over the next five years and beyond. It will be located on what is an approximately 3.78 acre parcel. The new Certified Survey Map will dedicate approximately .77 acres for a right of way to extend Ochalla Drive, leaving approximately 3.01 acres for the proposed development.

Surrounding Context

The project site is in an urban neighborhood surrounded by existing businesses and multi-family residential developments, with a nearby elementary school, golf course, and access to recreation areas and nature preserves.

Existing Topography

The project site was recently filled during the Fish Hatchery Road reconstruction project, and now gradually slopes upward from the south property line before a short steep drop to the north property line. There are no wetlands within the boundary of the parcel.

Existing Site Conditions

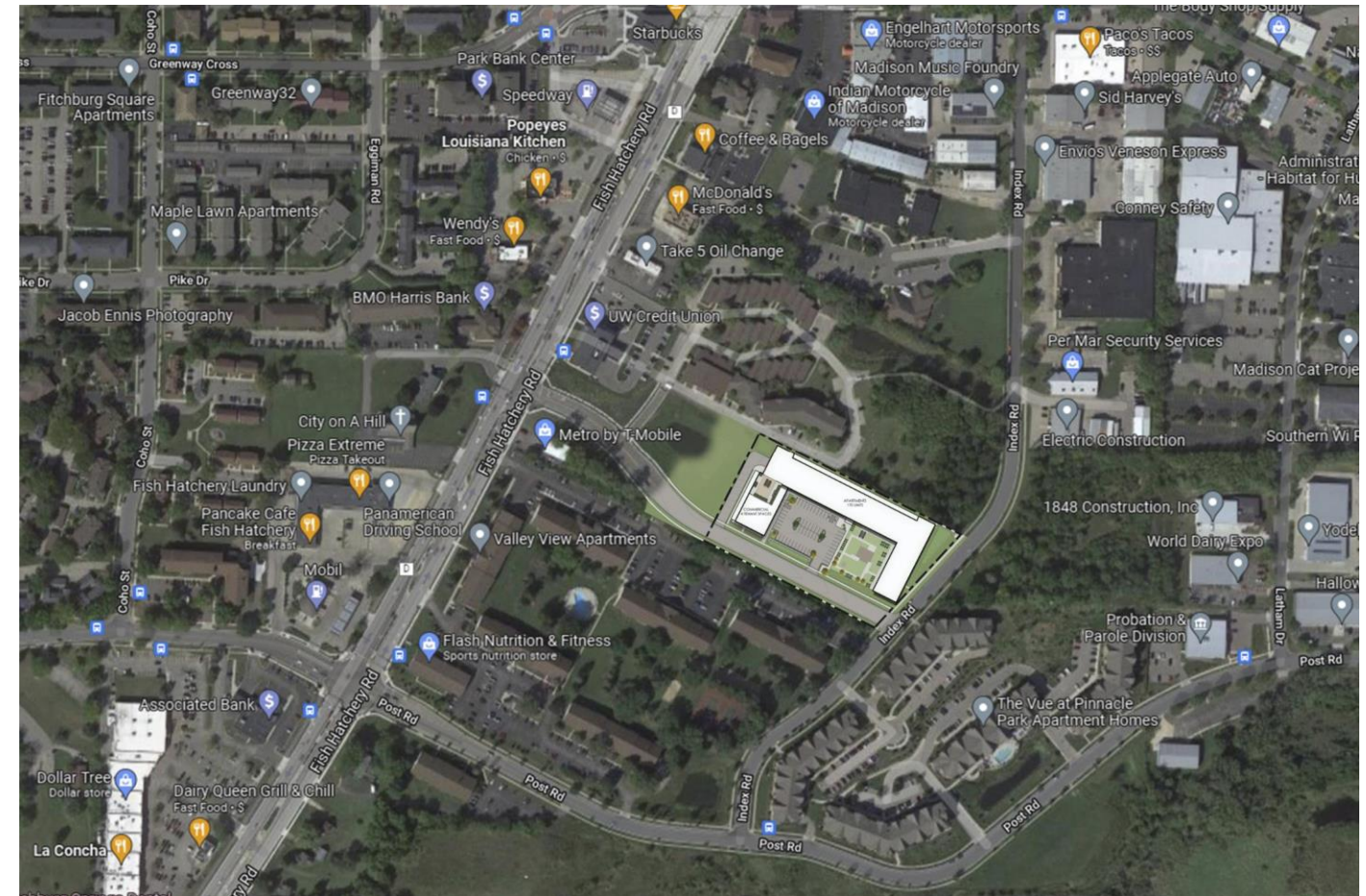
The project site currently has no vegetation other than weeds and is vacant.

LEGAL DESCRIPTION

Maple Lawn Heights Lot 22 except for Index Road R/W in Doc 484 3372 & also except for R/W in Doc 4910148

EXISTING PROPERTY

The existing property consists of the parcel described on the left side of this page and is currently undeveloped. This parcel will be divided, through approval and recording of a new CSM, in parallel with the PDD approval process, creating a new parcel that is approximately 3.01 acres for construction of the proposed mixed use development, with approximately .7 acres being dedicated as a right of way to construct an extension of Ochalla Drive to Index Road.



CERTIFIED SURVEY MAP

A new CSM is being submitted for review and approval simultaneously with the SIP submittal.

RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

We believe there is a need to use Planned Development District Zoning for the Ochalla Drive Mixed Use Development in order to accomplish the goals of providing a quality infill development and maintaining the more urban feel desired.

To accomplish these goals, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, 2,400 square feet per each 2 bedroom unit, and 2,700 square feet per each 3 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. With our proposed unit mix and total unit count of 170 units, this standard would require a parcel of 243,000 square feet or 5.58 acres, considerably more than our parcel size of 3.01 acres.

- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are utilizing one developable lot for this project with an area of 131,116 square feet, or 3.01 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback (Ochalla Drive) at 30 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 5 feet.
- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback (Index Road) at 25 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 5 feet.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet or 3 stories, whichever is less. We are planning 4-stories of residential on top of an underground parking structure that is partially exposed due to grading on site. While we realize dwelling structures having greater than 3 stories is allowed as a Conditional Use (per 22-146 (8)), we desire the long-term stability afforded under a permanent zoning classification.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

This project represents a total investment of \$25 - \$30,000,000. It is estimated that this project would have a total assessed value, upon full assessment, of approximately \$22,500,000. If this valuation is achieved, using the City's 2020 property tax rate the following estimated tax receipts to the community could be realized annually:

Dane County:	\$ 63,947.00
City of Fitchburg:	\$172,928.00
Madison Metropolitan School District:	\$253,676.00
<u>Madison Area Tech. College:</u>	<u>\$ 19,274.00</u>
Total Projected Annual Property Tax:	\$509,825.00

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2019 fees listed):

Land Dedication Fee	170 units x \$4,330 =	\$736,100.00
Park Improvement Fee:	170 units x \$160 =	\$ 27,200.00
Fire Protection Fee:	(121) 1BR x \$311 =	\$ 37,631.00
	(49) 2BR x \$466 =	\$ 22,834.00
Commercial Fire Fee	(10,450)S.F.x\$.288 =	\$ 3,010.00
<u>Water Impact Fee:</u>	<u>170 units x \$800 =</u>	<u>\$136,000.00</u>
Total Projected Impact Fees:		\$962,775.00

Any fee in lieu of Street Frontage for Parks per Ordinance 24-15(e) and 22-647(3), or Parkland Dedication per Ordinances 24-2(d)(2)(a) and 24-2(d)(2)(e) shall be established by the time of the Final Plat.

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality mixed use community should improve the perceived image of the immediate area.
- The addition of this quality mixed use community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality mixed use community could serve as a catalyst for other uses - such as new retail & commercial - to locate in the immediate area.
- The addition of this quality mixed use community could serve as an example for future development - creating higher standards in design & living amenities.
- This development will help to further the city's desire to create a vibrant urban feel in the North Fish Hatchery Road corridor and make use of a vacant site that has been underutilized for more than a decade.
- This quality development will also help to create more of a welcoming environment for pedestrians with its residential, office, and retail mix replacing a vacant site.

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would otherwise be required under the City's High Density Residential Zoning, freeing other areas and parcels to be less developed.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm.

CONSISTENCY WITH COMPREHENSIVE PLAN

We believe that this project complies with the City of Fitchburg's Comprehensive Plan. It provides a high quality, well managed project that is an efficient use of existing resources. Specifically:

Housing Policy Framework Goal 1:

Provide balanced growth with a variety of housing types, to promote decent housing and a suitable living environment for all residents.

Objective 1.1: This project promotes the development of housing to meet the current and future needs of residents within the City as outlined in the Growing Fitchburg 2030 plan.

Policy 1.1.1: This project is being built with in short walking distance of existing mass transit routes on Fish Hatchery Road. In addition, it will have quick, easy access to main arterials servicing the larger metropolitan area.

Objective 1.3: This infill project will add value to the neighborhood by complimenting the existing housing developments across both Index Road and the extended Ochalla Drive. In addition, it will add potential labor resources for the adjacent business district.

Policy 1.3.2: This project is focused on developing an under used parcel of land with a development that contributes to the existing neighborhood, meets goals of the North Fish Hatchery Road Vision plan, and provides affordable, market rate housing.

Housing Policy Framework Goal 2:

Promote the efficient use of land for housing.

Objective 2.1: This infill project provides a more efficient, compact use of the land with higher densities, quality amenities for the residents,

and commercial/retail space that can provide services not only to new residents, but to the existing neighborhood.

Policy 2.1.3 By utilizing a under used parcel located in an existing urban setting, this project will help to protect existing natural resources, environmental corridors, and open spaces.

Objective 2.2: This infill project provides the growth desired in Fitchburg without adding to sprawl at the periphery of the existing urban area.

Policy 2.2.1 This infill development will be fully served by existing urban services, including sanitary sewer and public water, and will provide convenient access to community facilities, areas of employment, and arterial highways.

Jobs and Education Policy Framework Goal 1:

Encourage economic development opportunities appropriate to the Resources, character, and service levels of the city.

Objective 1.1: This project will provide a compact mixed-use development with onsite tenant amenities and commercial/retail space to serve both new and current area residents.

Policy 1.1.1: This project delivers a taller building with higher floor area ratios, as well as underground parking for the residents.

Policy 1.1.3 This mixed use development is located 1 block from Post Road, and 1 block from a controlled intersection with Fish Hatchery Road. Sidewalks included in this development will provide pedestrian access to existing mass transit lines on Fish Hatchery Road.

CONSISTENCY WITH NORTH FISH HATCHERY VISIONING

We believe that this project is consistent with the City of Fitchburg’s Visioning for the North Fish Hatchery Redevelopment Area. We believe that this development will address the vision goals in the following ways.

Goal 1: Promote economic and tax base growth and stability.

- With addition of the commercial retail space this will add to the economic growth of the corridor.
- This project will add to the tax base as outlined earlier in this proposal.
- This development provides stability to the neighborhood as it will be owned and operated by the developers, who live and operate their business in the City of Fitchburg.

Goal 2: Transition corridor to an urban form.

- This infill development will transform an isolated undeveloped parcel into an urban environment.

Goal 3: Continue stabilization of existing residential development.

- This project will continue the development of the surrounding area as an urban residential center.
- This project will be maintained by the owners and utilize a local professional property management company, with onsite managers.

Goal 4: Position Post Road/Fish Hatchery Road as the primary community gateway.

- This mixed use nature of this project will add to the continued development of the Post Road/Fish Hatchery Road area as the primary community gateway.
- Additional residents will potentially provide more customers for existing business in this area, an expanded labor pool for employers in the

immediate area, and an additional commercial/retail spaces that will contribute to the goal of expanding this area as a primary community gateway.

LAND USE

When complete, this project will contain multi-family residential use. This 3.01 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 170 market rate housing units along with their associated common amenity spaces. At the time of this General Implementation Plan, the mix of residential units is as follows:

- Studio Units: 7 %
- 1 Bedroom: 45 %
- 1 Bedroom + Den: 12 %
- 2 Bedroom: 36 %

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 799 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, the project will contain various common space amenities integrated within the building or around the site. At the time of this General Implementation Plan, the anticipated common amenities are:

- On-site Management/ Leasing Office
- Community Room with Common Space Access
- Additional community room located on the 3rd floor
- Green Roof Common Space with the Following Amenities:
 - Extensive Landscaping
 - Fire Pit
 - Grilling Area for Tenant Use
- Fitness Center
- Other Green and/or Open Space for passive and active activities

ESTIMATED DAILY WATER AND SANITARY USAGE

ESTIMATED DAILY WATER AND SANITARY USAGE CALCULATIONS					
UNIT TYPE	TENANTS/UNIT	NUMBER OF UNITS	TOTAL TENANTS	GALLONS/ DAY/ TENANT	TOTAL GALLONS/ DAY
STUDIOS	1.5	12	18	54	972
1 BEDROOM	1.5	116	174	54	9,396
2 BEDROOM	2.5	42	105	54	5,670
TOTAL WATER USAGE PER DAY					16,038
TOTAL HOT WATER USAGE PER DAY					5,453
TOTAL COLD WATER USAGE PER DAY					10,585
TOTAL SANITARY DISCHARGE PER DAY					9,498

SITE DESIGN & GENERAL INFORMATION

The Masterplan for the Ochalla Drive Mixed Use Development has been thoughtfully designed to address numerous site challenges including the existing topography and project identity.

Masterplan Design Highlights:

- The building is located & orientated to address the street edge and to help define the public realm.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets and has been limited by the use of additional covered parking.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.
- The site contains an elevated green roof that creates a courtyard amenity for resident use over areas otherwise used for parking.

Off Street Parking:

The City's typical parking requirements require 2.0 parking stalls per residential dwelling unit. Based on our experience with multi-family developments, and considering the unit mix, we find that this requirement would be excessive. Therefore, we are proposing to provide approximately 226 covered parking spaces, along with approximately 56 surface spaces, with 30 of those earmarked for the commercial/retail space. This translates to a ratio of 1.45 stalls per unit for the residential portion of the project, and 1/300 s.f. for the commercial retail space. We believe that providing this level of parking will be appropriate for this project and will minimize the visual impact of surface parking lots on the site and the surrounding areas.

Bicycle Parking:

In addition to off-street vehicular parking, we are proposing dedicated bike storage areas that will provide wall hung and floor racks for the storage of 187 bicycles in the covered parking area. In addition, there will be approximately 12 bike parking areas at the exterior of the building for use by

visitors to both the residential and commercial/retail portions of the development.

Storm Water Management Overview:

Storm water management for this site will primarily be satisfied with the construction of 3 infiltration/detention basins on the site. Additional sediment removal and peak flow management needs will be handled via an expansion of the City's existing pond to the west. All City of Fitchburg ordinance requirements will be met.

Maintenance of all storm sewer structures and pipes within the development parcel will be the responsibility of the property Owner.

As per discussions with the city of Fitchburg, treatment of the extension of Ochalla Drive will occur through expansion of existing City of Fitchburg stormwater facilities to the west, where the Project will maximize the size of the pond to treat the road extension, excess peak flow and sediment removal from the site, and provide excess capacity for future City of Fitchburg needs.

CONCEPT DATA													
FLOOR	BUILDING USE	AREA (G.S.F.)	RESIDENTIAL UNITS						PARKING				
			ST.	1 BR	1BR+	2 BR	TOT	BEDS	COVERED	SURFACE RETAIL	APTS.	TOTAL	RATIO PER UNIT
4	APARTMENTS/CIRCULATION	40,132	3	21	6	15	45	60					
3	APARTMENTS/CIRCULATION	39,020	3	20	5	15	43	58					
	CLUBHOUSE	1,112											
2	APARTMENTS/CIRCULATION	40,132	3	20	5	16	44	60					
1	APARTMENTS/CIRCULATION	35,643	3	16	4	15	38	53					
	COMMONS	4,489											
	RETAIL	10,543											
LL	PARKING/CIRCULATION	73,645											
T	NEW TOTAL LIVABLE/LEASABLE	244,716	12	77	20	61	170	231	226	35	21	282	1.45
	LOT AREA	131,116											
	BUILDING FOOTPRINT	73,690											

The 35 spaces shown in the surface lot are for the retail only and not included in the Ratio Per Residential Unit of 1.45 spaces.

Landscape Design:

The new landscape design for this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'B' of this document for the Preliminary Landscape Plan. This plan will be further developed, and additional detail and information will be provided with the subsequent Specific Implementation Plan submittals.

Refuse & Recycling Storage & Removal:

This building will have a refuse & recycling room in the Lower Level with room for a minimum of (8) – 2 yard containers for refuse and recycling. The space is designed for (12-14) 2 yard containers to provide flexibility for management. A private waste management company will be contracted to provide recycling & refuse services as appropriate for the development.

General Implementation Plan Data

At the time of this General Implementation Plan, the Masterplan Data is as follows. This data is subject to change as the design of the project proceeds. However, final Masterplan Data will meet the “Planned Development Zoning Standards” listed below.

OCHALLA DRIVE - MIXED USE DEVELOPMENT VALUES – AS OF OCTOBER 19, 2021		
ZONING REQUIREMENT	CURRENT DESIGN VALUE	CALCULATIONS
SITE DENSITY	56.48 Units/Acre	170 Units / 3.01 AC. = 56.48
BUILDING COVERAGE	56.17 % of Parcel	73,645 S.F. / 131,116 S.F. = 56.17%
LANDSCAPE AREA	19.60 % of Parcel	25,701 S.F. / 131,116 S.F. = 19.60%
IMPERVIOUS SURFACE	80.40 % of Parcel	105,415 S.F. / 131,116 S.F. = 80.40%
FLOOR AREA RATIO	1.30 of Parcel	170,850 S.F. / 131,116 S.F. = 1.30

The landscape area in the table above does not include the landscaped roof deck over the lower level parking.

Proposed Planned Development Zoning Standards

Under the proposed Planned Development Zoning, the project shall meet the following Zoning Standards:

- Residential Density: 60 units per acre (maximum)
- Building Height: Maximum of 4 Stories and Maximum 65 feet
- Front Street Setback: 10' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Street Setback: 5' (minimum) (Index Road side)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 35' (minimum) (West side)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Rear Yard Setback: 8' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Building Coverage: 60% of Parcel Area (maximum)
- Floor Area Ratio: 1.5 (maximum)
- Impervious Surface Ratio: 80.4% of Parcel Area (maximum)
- Off-Street Parking: 1.25 Auto Spaces per Dwelling Unit (minimum)
- Off-Street Bicycle Parking: .5 Bike Spaces per Dwelling Unit (minimum)
- Permitted Uses: Multi-family residential; Business as permitted by Division 3. B-G General Business District of the Fitchburg Code of Ordinances.

OCHALLA DRIVE MIXED USE DEVELOPMENT BICYCLE PARKING – AS OF FEBRUARY 4, 2022					
BUILDING		BICYCLE PARKING			
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO
RESIDENTIAL	170	187	4	191	1.1 PER UNIT (.5 Required)
EXTERIOR			13	13	

ORGANIZATIONAL STRUCTURE – INVENTURE CAPITAL

Inventure Capital is an investment group whose broad range of assets include Multi-Family and Mixed-Use development. Their team has experience developing properties in both the United States and Australia, with its most recent projects being:

Garver Point in Madison - Located at 171 South Fair Oaks Avenue, this was an infill project that replaced outdated commercial space with a mixed used development that included on site amenities similar to those proposed with this project.

Terrace Point in Fitchburg – Located at 3101 South Fish Hatchery Road, this was also an infill project that replaced an outdated manufacturing facility with a mixed use development that included on site amenities similar to those proposed with this project.

PROPERTY MANAGEMENT- MCGRATH PROPERTY GROUP

At McGrath Property Group, we manage our clients' properties from an owner's perspective with expertise that has developed during an extended period of property ownership by the company's principals. We apply the same thoughtful, aggressive, goal-oriented approach to the management of our clients' properties as we do in successfully managing our own. We understand the importance of protecting their assets, providing customer service to their tenants and being cost efficient. Our residential management group manages residential apartment homes throughout the Madison area with extensive experience in market rate and mixed use developments.

McGrath is a Madison-based company; our management group and owners reside locally and are long time area residents. We know the market, we know the vendors, and most importantly we know how to manage real estate at the highest level.

Property Management Team

McGrath Property Group continuously recruits individuals that have a passion for real estate, an unwavering commitment to continuous improvement, and an understanding that integrity and excellence are the cornerstones of success. We believe that our associates are our most valuable resource, enabling us to maintain a distinct advantage within our industry.

PROJECT IMPLEMENTATION

The construction of the project located on Ochalla Drive is anticipated to maintain a schedule that allows for all improvements to be done in one single phase with completion in June of 2023.

NEIGHBORHOOD INPUT

The owner has worked with city staff to solicit feedback from landowners in the area. Inventure held a neighborhood meeting on October 18th, prior to the submission of this application. Adjacent on this page, is a sample of the invitation sent out on September 28, 2021, to all property owners within a 500' radius of the project for the meeting.

Feedback from neighbors was primarily supportive of the project in general, with some discussion about the Ochalla Drive extension, parking arrangements for the new project, and general conditions in the neighborhood.

September 28, 2021

CURRENT OWNER
CURRENT ADDRESS
City, State, Zip

Dear Madam or Sir:

As an owner of property located within 500 feet of Lot 22, Maple Lawn Heights, Fitchburg, WI (Parcel Number - 225/0609-031-1222-3), located at the future intersection of Index Road and Ochalla Drive, you are cordially invited to join us

on October 18th
at 6:00 p.m.
in the Club Room, Terrace Point Apartments
at 3101 Fish Hatchery Road, Fitchburg, WI 53713

We will present concept plans for the mixed-use project with commercial space and residential units proposed for Lot 22, Maple Lawn Heights, followed by a question-and-answer session to gather input and comments on the proposed design.

If you are a property manager, please feel free to share and extend this invitation to your tenants.

All current government requirements and protocols for the prevention of CoVid-19 spread that are in effect at the time of this meeting will be followed.

Sincerely,

Inventure Capital, LLC

APPENDIX “A”
SPECIFIC IMPLEMENTATION PLAN
CONCEPTUAL MASTER PLAN



COMMERCIAL
4 TENANT SPACES

56 SURFACE SPACES

APARTMENTS
170 UNITS



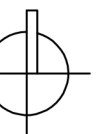
JLA
ARCHITECTS

OCHALLA MIXED USE

RENDERED SITE PLAN

1"=60'

18 JANUARY, 2022



APPENDIX 'B'
SPECIFIC IMPLEMENTATION PLAN
CIVIL SITE, GRADING, UTILITY & FIRE ACCESS PLANS

OCHALLA DRIVE MIXED USE DEVELOPMENT

CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

AGENCIES:

EMERGENCY – FIRE, RESCUE, AMBULANCE, POLICE
DIAL 911

UNITED STATES POSTAL OFFICE
3000 CAHILL MAIN
FITCHBURG, WI 53711
608-273-3565

FITCHBURG POLICE DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
608-270-4300 (NON EMERGENCY)

FITCHBURG FIRE DEPARTMENT
5791 LACY ROAD
FITCHBURG, WI 53711
608-278-2980 (NON EMERGENCY)

ENGINEER – VIERBICHER ASSOCIATES INC.
ATTN: JOHNATHAN LILLEY
999 FOURIER DRIVE, SUITE 201
MADISON, WI 53717
OFFICE: 608-826-0530


CITY OF FITCHBURG – PUBLIC WORKS
BILL BALKE – DIRECTOR OF PUBLIC WORKS/CITY ENGINEER
5520 LACY ROAD
FITCHBURG, WI 53711
608-270-4264




PROJECT LOCATION



SITE BENCHMARKS

 BENCHMARK #1
HYDRANT TOP NUT
ELEV=915.85

 BENCHMARK #2
HYDRANT TOP NUT
ELEV=912.58



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

SHEET NO.	DESCRIPTION
C0	TITLE SHEET
C1	NOTES & LEGENDS
C2	EXISTING CONDITIONS PLAN
C3	DEMOLITION PLAN
C4	SITE PLAN
C5	GRADING & EROSION CONTROL PLAN
C6	UTILITY PLAN
C7-C7.5	CONSTRUCTION DETAILS
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAILS

TITLE SHEET
OCHALLA MIXED USE DEVELOPMENT
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE
2-4-2022
DRAFTER
CLAN
CHECKED
TSCH
PROJECT NO.
200124

NOT FOR CONSTRUCTION

C0

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING SIGN
EXISTING CURB INLET
EXISTING FIELD INLET
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING GAS VALVE
EXISTING DOWN GUY
EXISTING LIGHT POLE
EXISTING UTILITY POLE
EXISTING TELEPHONE MANHOLE
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINework LEGEND

- EXISTING UNDERGROUND CABLE TV
EXISTING UNDERGROUND FIBER OPTIC LINE
EXISTING UNDERGROUND TELEPHONE
EXISTING RETAINING WALL
EXISTING GUARD RAIL
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING OVERHEAD UTILITY LINES
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING WATER MAIN (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR

DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
ASPHALT REMOVAL
CONCRETE REMOVAL
BUILDING REMOVAL
TREE REMOVAL
SAWCUT
UTILITY STRUCTURE REMOVAL
UTILITY LINE REMOVAL

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER (REVERSE CURB HATCHED)
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED LIGHT-DUTY ASPHALT
PROPOSED HEAVY-DUTY ASPHALT
PROPOSED SIGN
PROPOSED LIGHT POLE
PROPOSED BOLLARD
PROPOSED ADA DETECTABLE WARNING FIELD
PROPOSED HANDICAP PARKING

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
STORM SEWER CURB INLET
STORM SEWER CURB INLET W/MANHOLE
STORM SEWER FIELD INLET
ROOF DRAIN CLEANOUT
SANITARY SEWER PIPE (GRAVITY)
SANITARY SEWER PIPE (FORCE MAIN)
SANITARY SEWER LATERAL PIPE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER MAIN
WATER SERVICE LATERAL PIPE
FIRE HYDRANT
WATER VALVE
CURB STOP
WATER VALVE MANHOLE
PROPOSED PIPE INSULATION

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
SILT FENCE
DISTURBED LIMITS
BERM
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS
STONE WEEPER
VELOCITY CHECK
INLET PROTECTION
CHANNEL MAT CLASS I TYPE B
EROSION MAT CLASS II TYPE B
TRACKING PAD
RIP RAP

ABBREVIATIONS

- TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALK
TW - TOP OF WALL
BW - BOTTOM OF WALL

ABBREVIATIONS

- STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

GENERAL NOTES:

- 1. THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY...
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY...
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO INSTALLATION OF SUCH ITEM...
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE...
5. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, DRIVEWAY, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION...
6. RETAINING WALLS TO BE DESIGNED BY OTHERS

DEMOLITION NOTES:

- 1. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION...
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION...
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT...
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS...
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY...
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS...
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE PUBLIC STREETS, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY PATCHING CRITERIA.

SITE PLAN NOTES:

- 1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED BASE COURSE UNLESS OTHERWISE NOTED.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE COURSE OF 5" COMPACTED SAND OR CRUSHED STONE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS TO BE RESTORED WITH TOPSOIL AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION...
7. SEE ARCHITECTS PLANS FOR THE BUILDING DIMENSIONS. ALL BUILDING DIMENSIONS SHALL BE COORDINATED AND VERIFIED WITH THE ARCHITECTS PLANS.

GRADING NOTES:

- 1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL NOT EXCEED 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
9. MINIMUM UNPROTECTED OPENING ELEVATION (MUOE) IS 907.

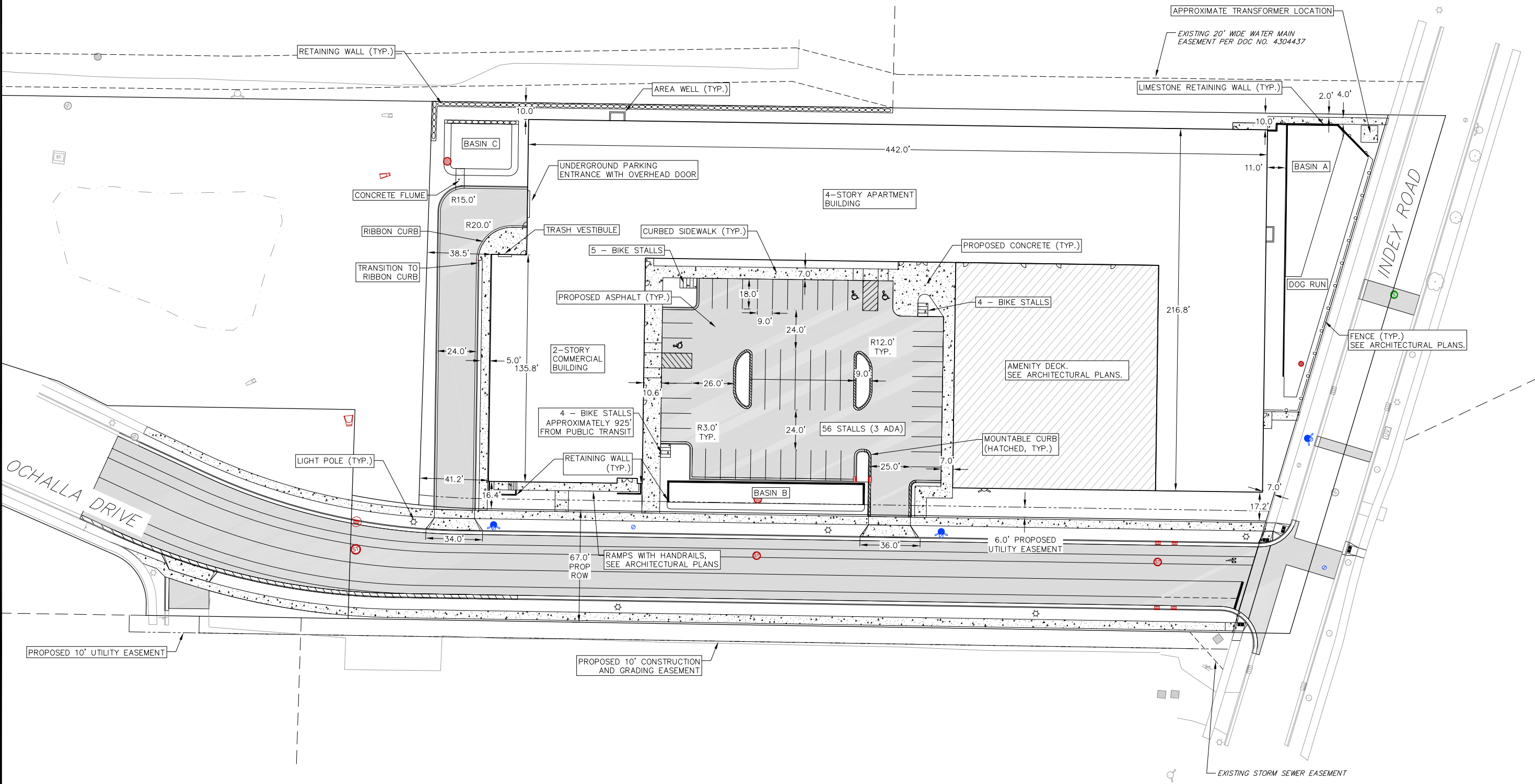
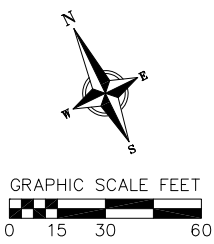
UTILITY NOTES:

- 1. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
2. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
3. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(C).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(D).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(C).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(H) AND SPS 382.40(8)(K).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(B).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE LOCAL MUNICIPALITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
21. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
22. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
23. INSTALL 1 SHEET OF 4'X8'X4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
24. CONTRACTOR TO INSTALL BENDS AND CLEANOUTS AS NECESSARY ON WATER AND SEWER LATERALS.

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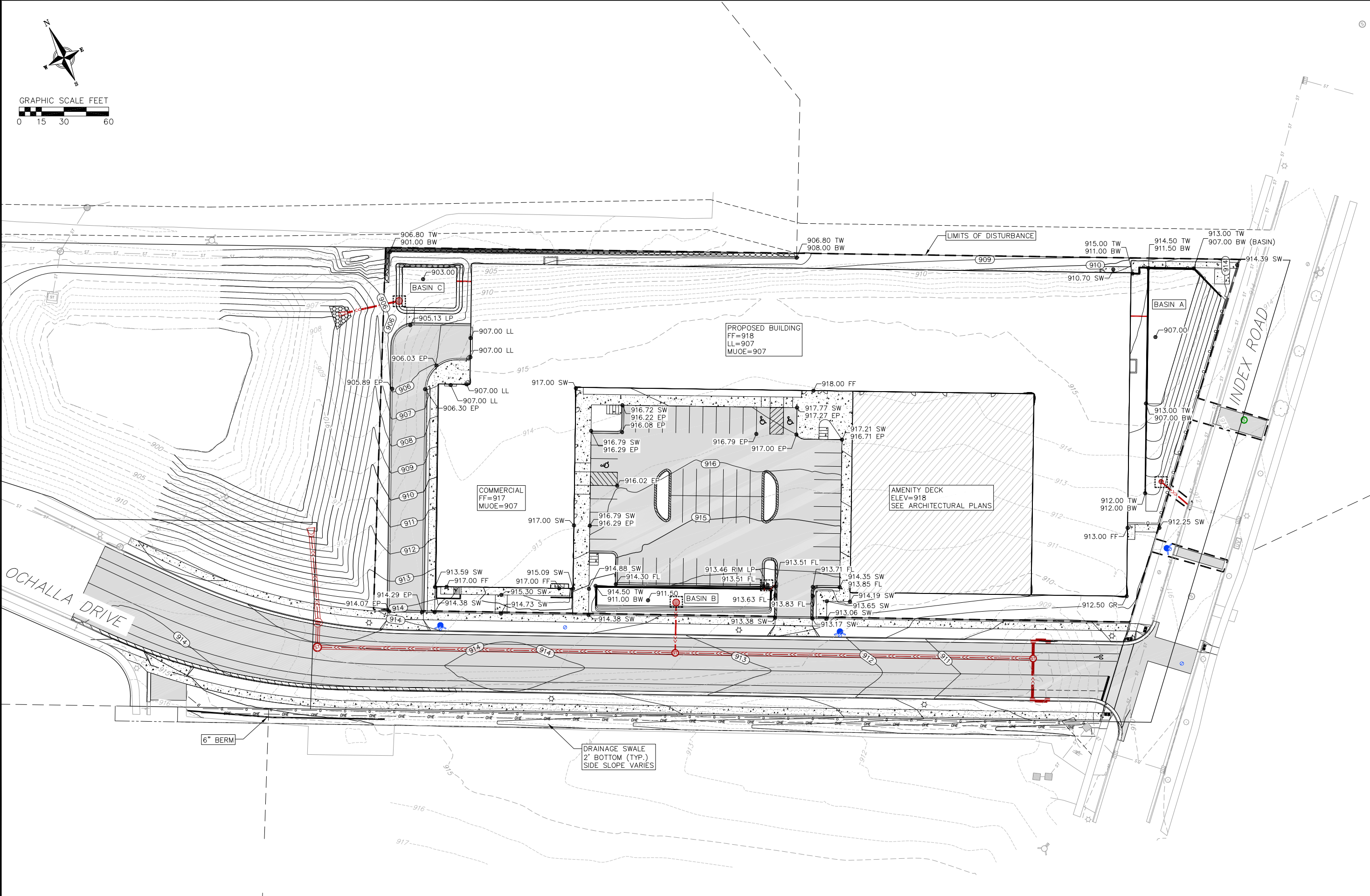
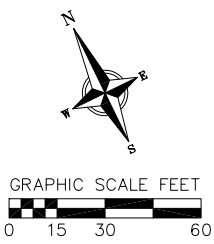
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SITE PLAN
OCHALLA MIXED USE DEVELOPMENT
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2-4-2022
 DRAFTER: CLAN
 CHECKED: TSCH
 PROJECT NO.: 200124

C4



GRADING & EROSION CONTROL PLAN
OCHALLA MIXED USE DEVELOPMENT
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

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C5

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE SHALL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL 70% ESTABLISHMENT, AS DETERMINED BY THE CITY. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF:** FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE BOTH 70% RESTORED AND PAVED.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND URBAN CLASS I TYPE A EROSION MAT. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH/E-MAT SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE AND AS DIRECTED BY ENGINEER/CITY/OWNER.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TWO TYPE III TEMPORARY ROAD CLOSED BARRICADES WITH SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY AND DNR.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

SEEDING RATES:

TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT (TERRACE):

- USE WISCONSIN D.O.T. SEED MIX #30 AT 5 LB./1,000 S.F.

PERMANENT (OTHER):

- USE WISCONSIN D.O.T. SEED MIX #40 AT 5 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE B AT 7 LB./1,000 S.F.

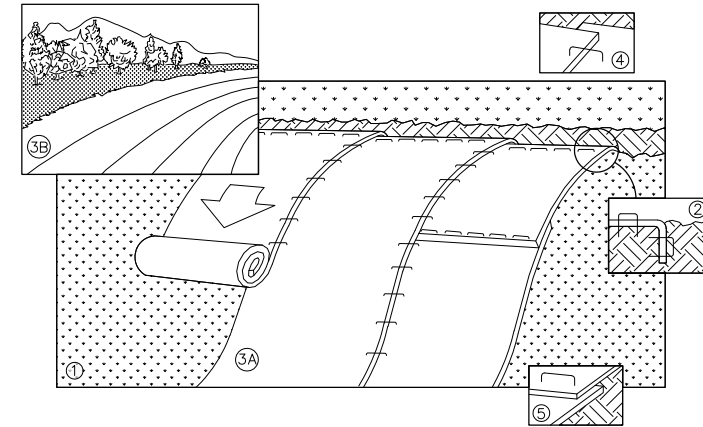
MULCHING RATES:

TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

CONSTRUCTION SEQUENCE:

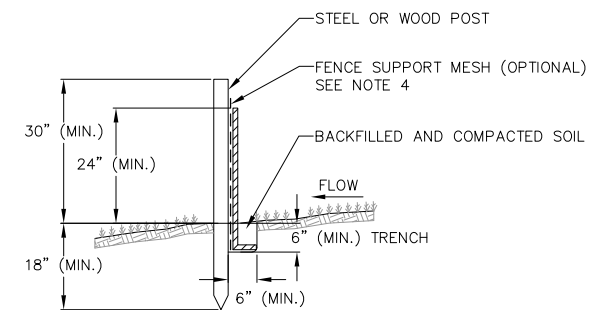
- INSTALL EROSION CONTROL MEASURES
- CONDUCT DEMOLITION
- STRIP TOPSOIL (UNWORKED AREAS MAY REMAIN NON-STABILIZED FOR A MAXIMUM OF 14 DAYS)
- ROUGH GRADE SITE
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION IN NEW INLETS
- FINAL GRADE AND RESTORE DISTURBED AREA
- CONSTRUCT PAVEMENT
- REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE 70% RESTORED OR PAVED



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING BIODEGRADABLE STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 BIODEGRADABLE EROSION MAT
1 NOT TO SCALE



NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

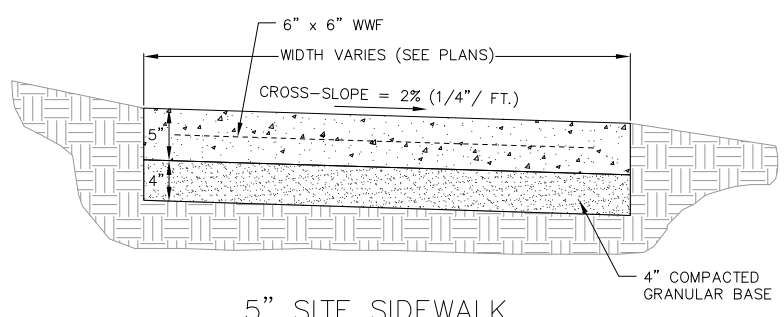
1 SILT FENCE
1 NOT TO SCALE

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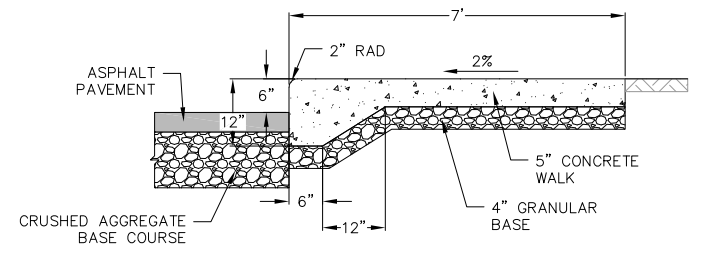


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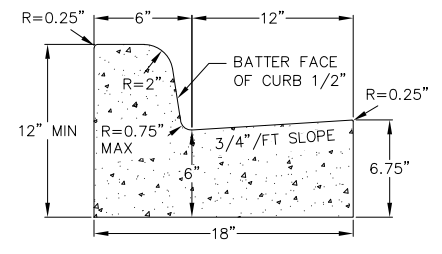
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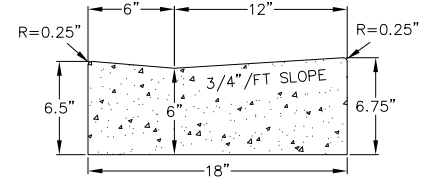
5" SITE SIDEWALK



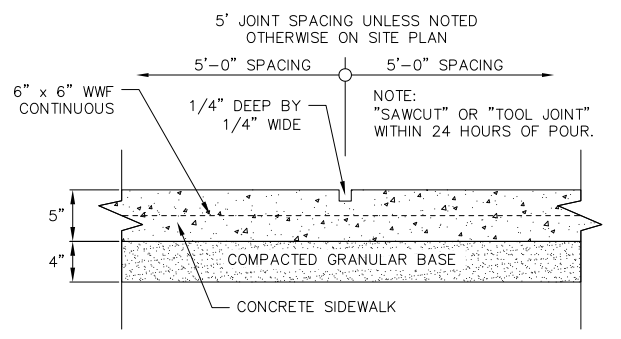
1 CURBED SIDEWALK SITE DETAIL
1 NOT TO SCALE



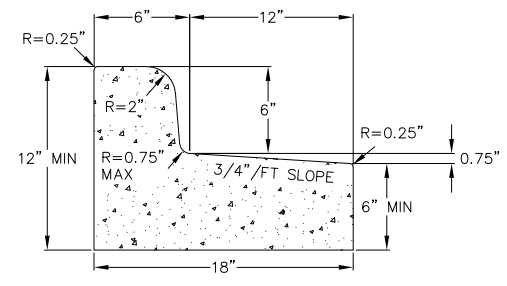
CURB AND GUTTER CROSS SECTION



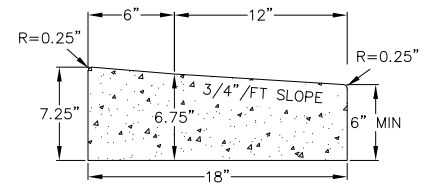
HANDICAP RAMP GUTTER CROSS SECTION



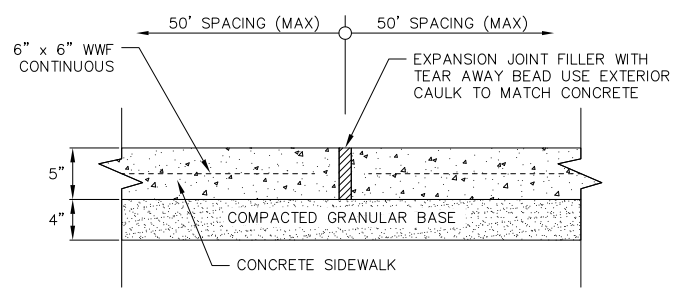
SIDEWALK CONTROL JOINT



CURB AND GUTTER REJECT SECTION

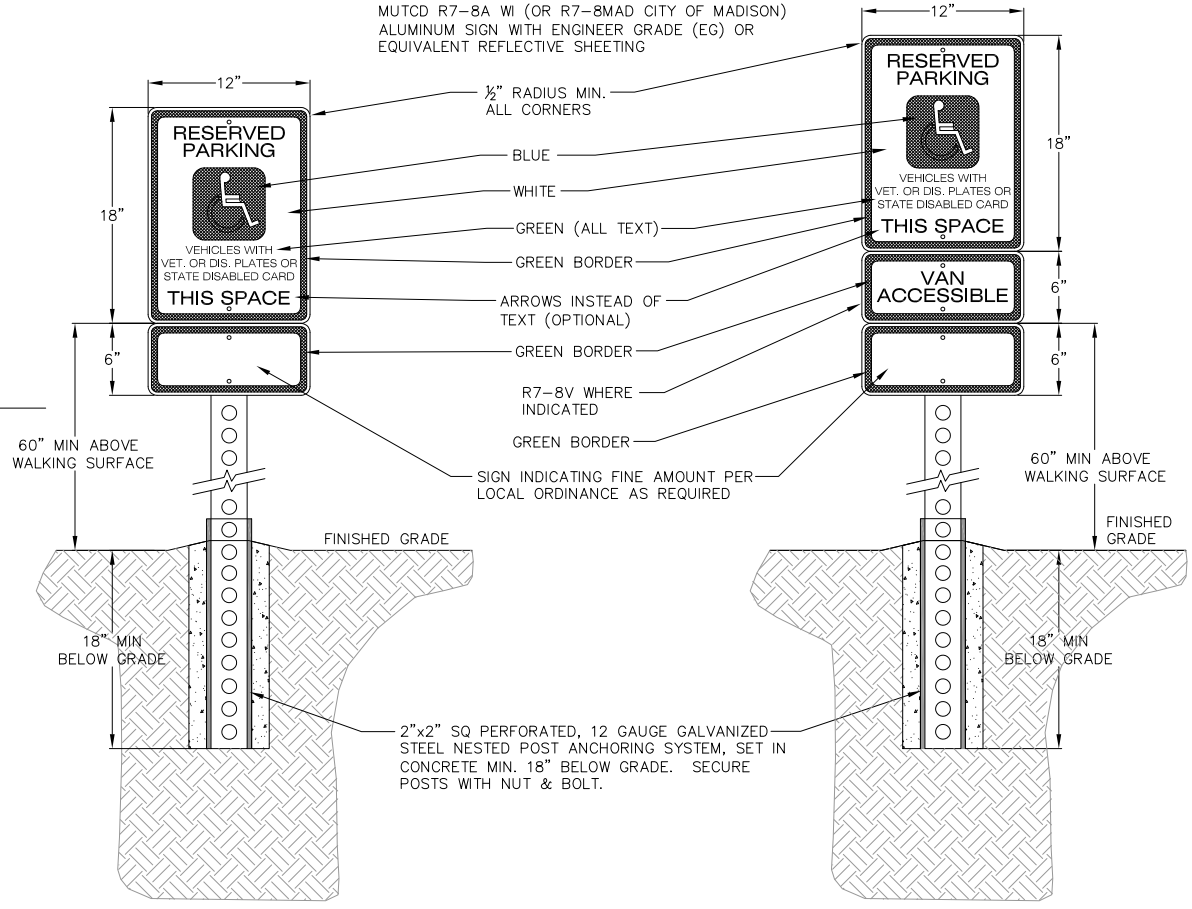


HANDICAP RAMP GUTTER REJECT SECTION



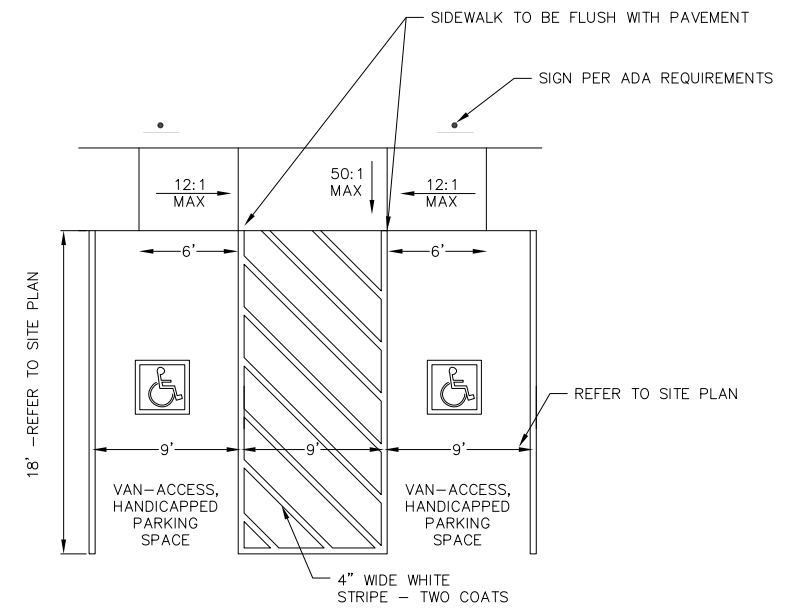
SIDEWALK EXPANSION JOINT

NOTE:
SIGN TO BE CENTERED AT THE INTERIOR END OF PARKING SPACE
MUTCD R7-8A W1 (OR R7-8MAD CITY OF MADISON)
ALUMINUM SIGN WITH ENGINEER GRADE (EG) OR EQUIVALENT REFLECTIVE SHEETING

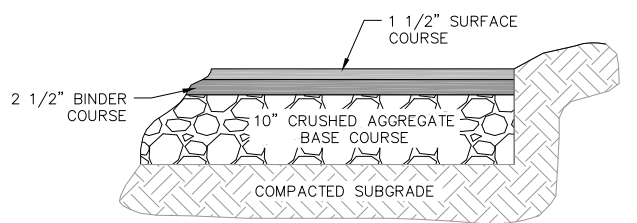


1 HANDICAP SIGN DETAIL
1 NOT TO SCALE

1 18" CONCRETE CURB AND GUTTER
1 NOT TO SCALE



1 ADA STRIPING
1 NOT TO SCALE



BITUMINOUS PAVEMENT DRIVES

1 5" SIDEWALK
1 NOT TO SCALE

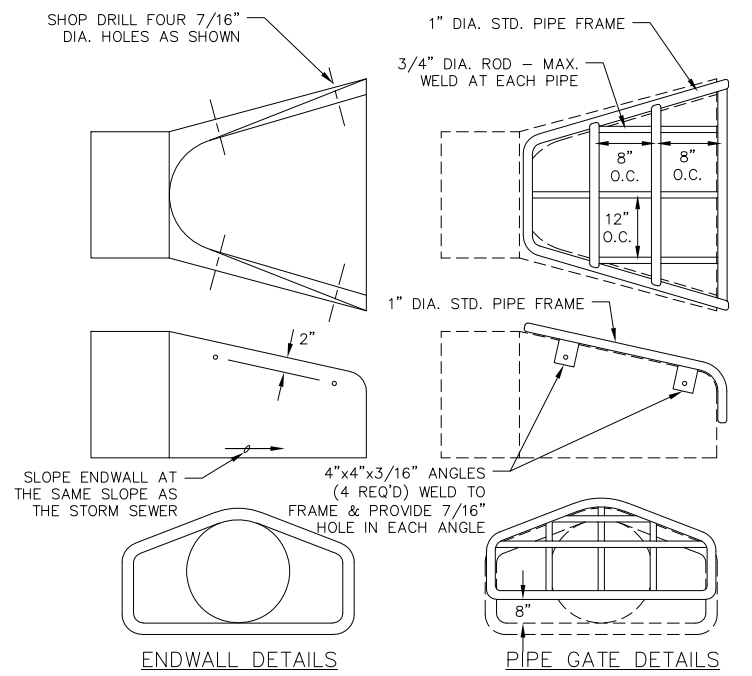
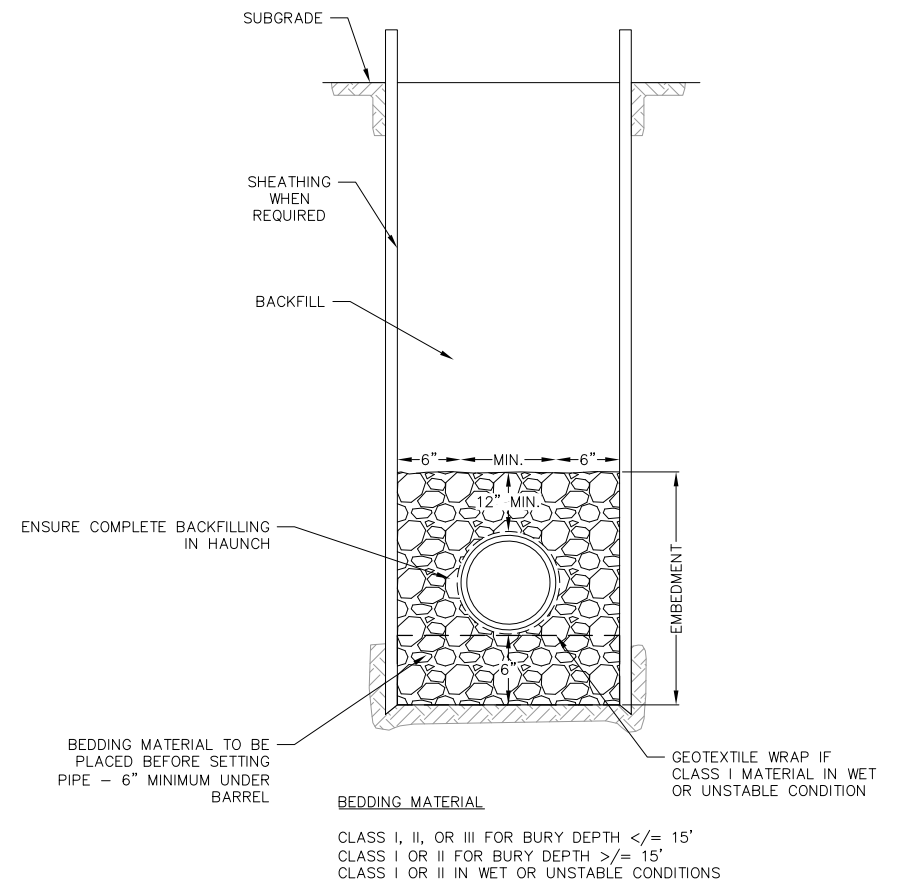
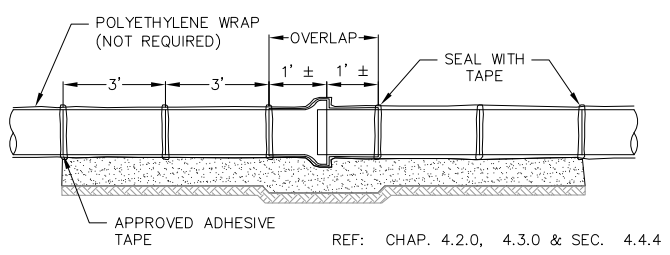
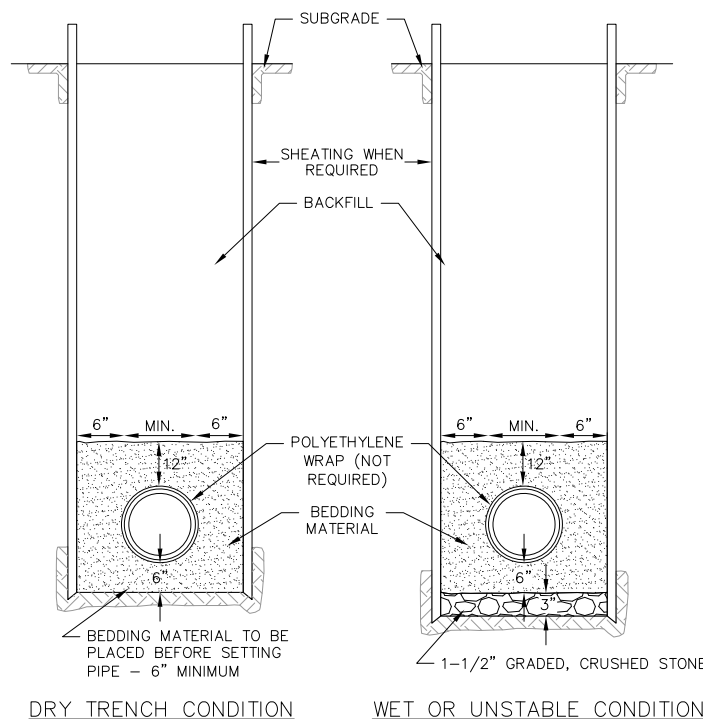
1 ASPHALT PAVEMENT
1 NOT TO SCALE

CONSTRUCTION DETAILS
OCHALLA MIXED USE DEVELOPMENT
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

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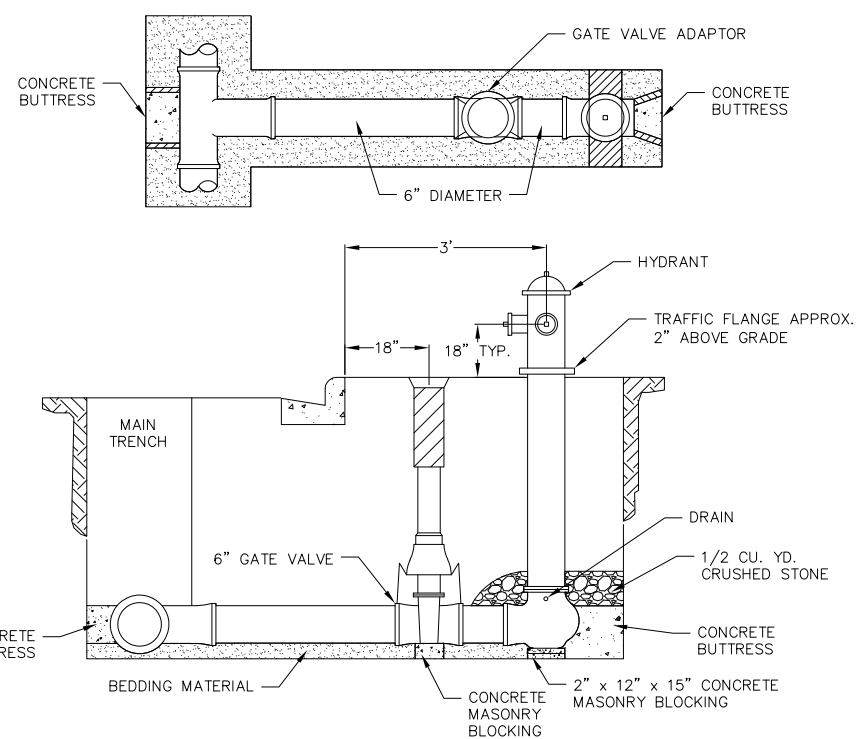
NOTES:
- THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.

PAINTING SPECIFICATIONS:
- THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

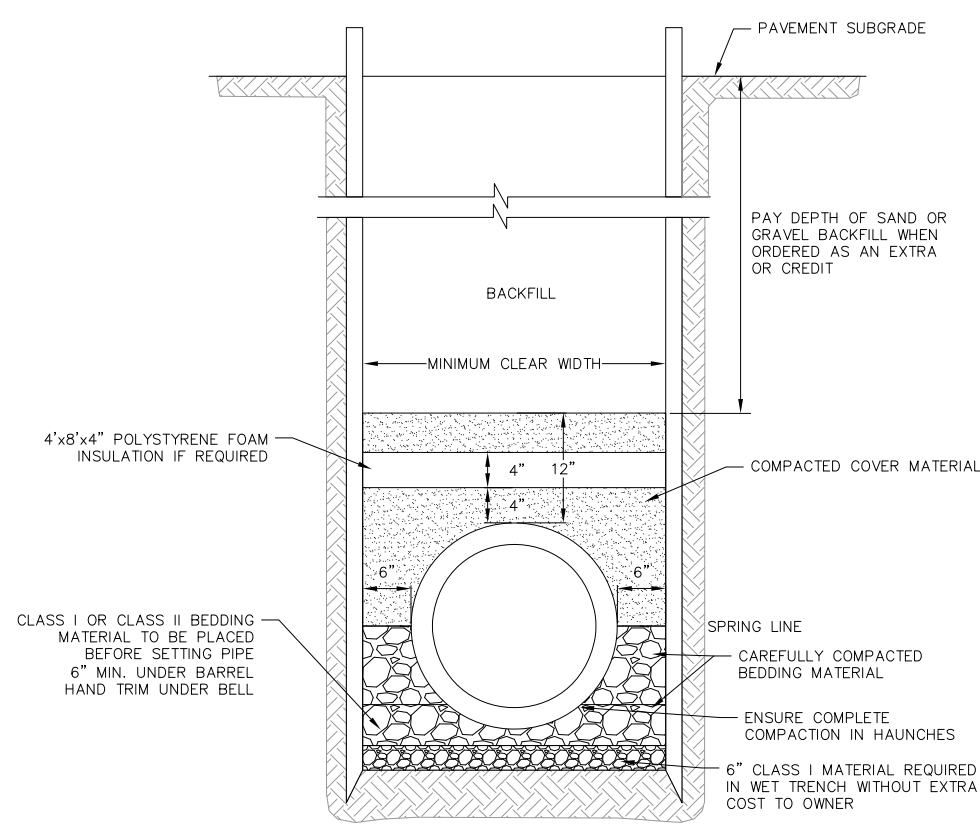
PREPARATION STEPS:
1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
3. ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

1 STANDARD SANITARY TRENCH SECTION
1 NOT TO SCALE

1 STANDARD WATER MAIN TRENCH SECTION
1 NOT TO SCALE

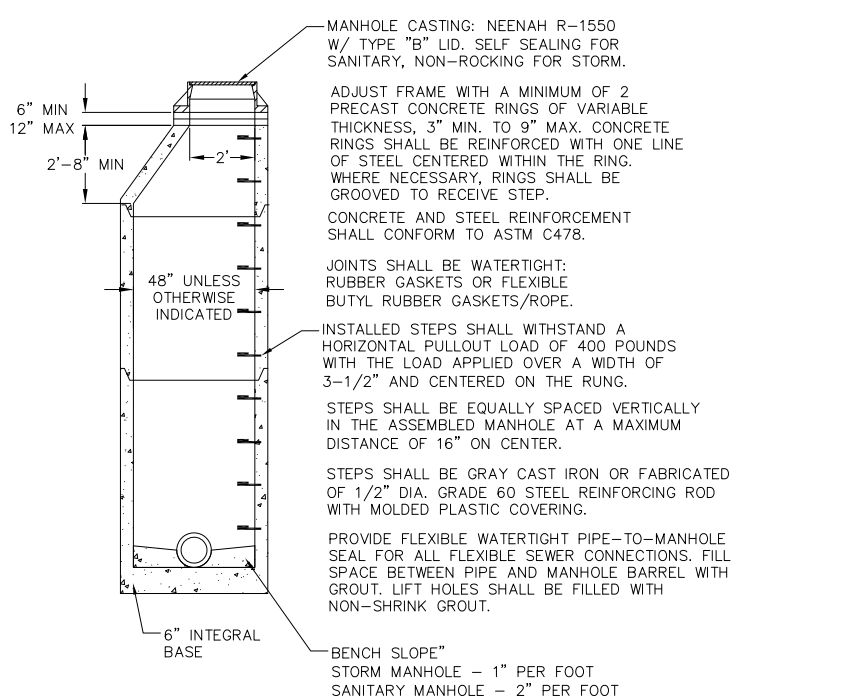


1 STANDARD HYDRANT SETTING
1 NOT TO SCALE



1 STORM PIPE TRENCH SECTION
1 NOT TO SCALE

1 STANDARD ENDWALL
1 NOT TO SCALE



1 PRECAST CONCRETE MANHOLE
1 NOT TO SCALE

NOT FOR CONSTRUCTION

CONSTRUCTION DETAILS
OCHALLA MIXED USE DEVELOPMENT
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

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BIO-RETENTION AREA RESTORATION SPECIFICATIONS:

BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) – OR ENGINEER APPROVED EQUAL.

PLANT PLUGS AT 1 PER SQUARE FOOT.

INFILTRATION AREA RESTORATION SPECIFICATIONS:

NOTE: INFILTRATION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

INFILTRATION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1003 (INFILTRATION BASIN)

PLANTING, MULCH, AND MAINTENANCE NOTES:

NATIVE (PRAIRIE) SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (BETWEEN MAY 1 AND JUNE 20), OR PLUGS SHALL BE USED.

MULCH SHALL CONFORM TO THE CRITERIA LOCATED IN WDNR CONSERVATION PRACTICE STANDARD MULCHING FOR CONSTRUCTION SITES (1058).

HEAVILY WATER AREA AT THE TIME OF SEEDING, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING.

MAINTENANCE OF NATIVE VEGETATION (MOWING, CUTTING OR BURNING SHALL BE USED TO MAINTAIN VEGETATION:

1. ESTABLISHMENT– THE FIRST MORNING OF NEWLY PLANTED SEED SHALL OCCUR ONCE IT REACHES A HEIGHT OF 10 TO 12 INCHES.
2. MOWING–MOWING SHALL REDUCE THE HEIGHT OF PLANTS TO 5 TO 6 INCHES. IF AFTER ESTABLISHMENT, IF BURNING CANNOT BE ACCOMMODATED, MOWING SHALL OCCUR ONCE IN THE FALL AFTER NOVEMBER 1). THE AREA SHALL BE MOWED TO A HEIGHT OF 5 TO 6 INCHES.
3. BURNING
 - A. ROUTINE MAINTENANCE – BEGINNING THE SECOND YEAR, BURNING SHALL OCCUR IN THE EARLY SPRING (PRIOR TO MAY 1ST) OR IN THE LATE FALL (AFTER NOVEMBER 1ST)
 - B. BURNING SHALL BE DONE TWO CONSECUTIVE YEARS AND THEN UP TO THREE YEARS CAN PASS BEFORE THE NEXT BURNING.
 - C. UNDER NO CIRCUMSTANCES SHALL BURNING OCCUR EVERY OTHER YEAR

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):

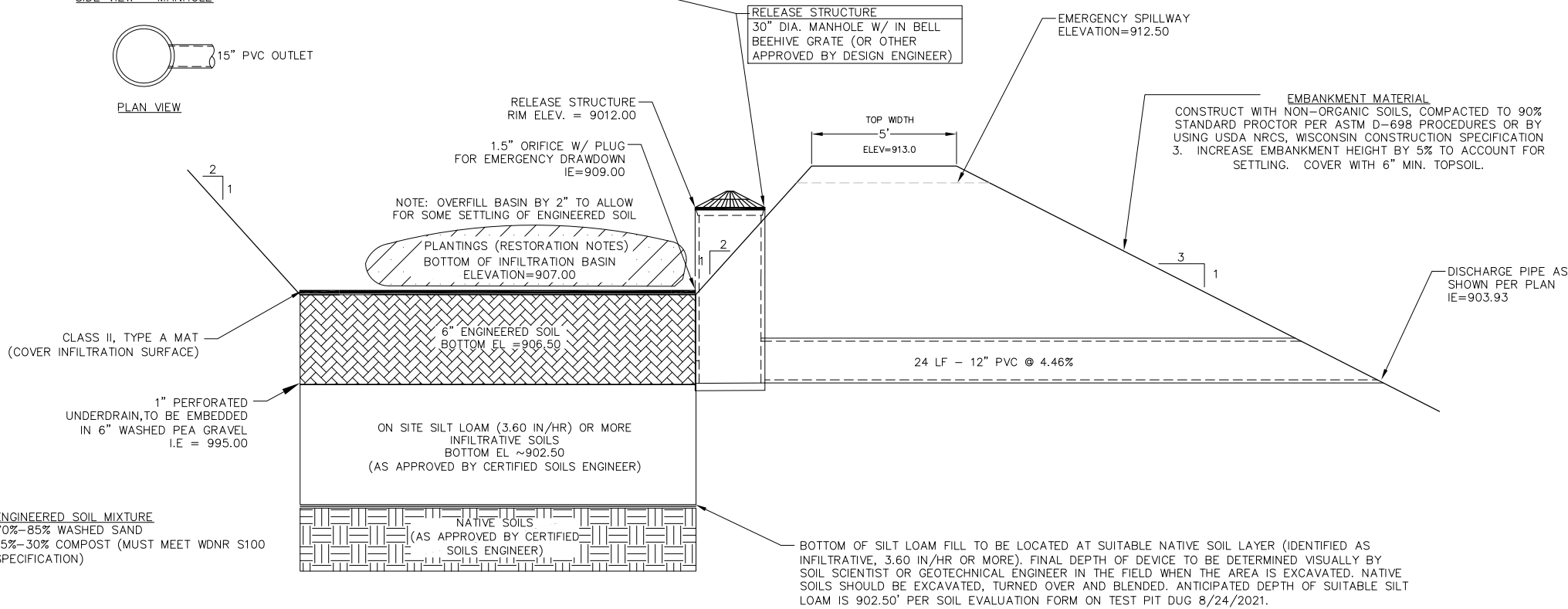
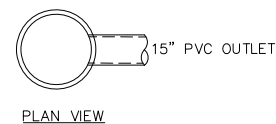
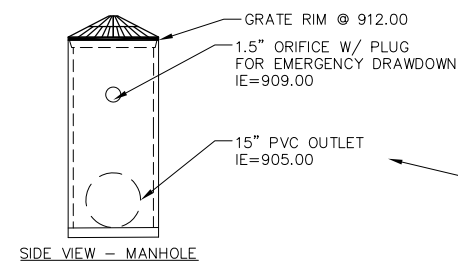
1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
3. SEED, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.

GRANULAR FILL

MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:

- USDA COARSE SAND (0.02–0.04 INCHES)
- ASTM C33 (FINE AGGREGATE CONCRETE SAND)
- WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5.3.4 (FINE AGGREGATE CONCRETE SAND) 2005 EDITION, OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY.

BIORETENTION BASIN OUTLET STRUCTURE DETAIL
NOT TO SCALE



1 BASIN A INFILTRATION CROSS-SECTION
NOT TO SCALE

CONSTRUCTION DETAILS
OCHALLA MIXED USE DEVELOPMENT
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	
		REMARKS	

DATE	2-4-2022
DRAFTER	CLAN
CHECKED	TSCH
PROJECT NO.	200124

C7.3

NOT FOR CONSTRUCTION

BIO-RETENTION AREA RESTORATION SPECIFICATIONS:

BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.

PLANT PLUGS AT 1 PER SQUARE FOOT.

INFILTRATION AREA RESTORATION SPECIFICATIONS:

NOTE: INFILTRATION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

INFILTRATION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1003 (INFILTRATION BASIN)

PLANTING, MULCH, AND MAINTENANCE NOTES:

NATIVE (PRAIRIE) SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (BETWEEN MAY 1 AND JUNE 20), OR PLUGS SHALL BE USED.

MULCH SHALL CONFORM TO THE CRITERIA LOCATED IN WDNR CONSERVATION PRACTICE STANDARD MULCHING FOR CONSTRUCTION SITES (1058).

HEAVILY WATER AREA AT THE TIME OF SEEDING, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING.

MAINTENANCE OF NATIVE VEGETATION (MOWING, CUTTING OR BURNING SHALL BE USED TO MAINTAIN VEGETATION:

1. ESTABLISHMENT- THE FIRST MORNING OF NEWLY PLANTED SEED SHALL OCCUR ONCE IT REACHES A HEIGHT OF 10 TO 12 INCHES.
2. MOWING-MOWING SHALL REDUCE THE HEIGHT OF PLANTS TO 5 TO 6 INCHES. IF AFTER ESTABLISHMENT, IF BURNING CANNOT BE ACCOMMODATED, MOWING SHALL OCCUR ONCE IN THE FALL AFTER NOVEMBER 1). THE AREA SHALL BE MOWED TO A HEIGHT OF 5 TO 6 INCHES.
3. BURNING
 - A. ROUTINE MAINTENANCE - BEGINNING THE SECOND YEAR, BURNING SHALL OCCUR IN THE EARLY SPRING (PRIOR TO MAY 1ST) OR IN THE LATE FALL (AFTER NOVEMBER 1ST)
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RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):

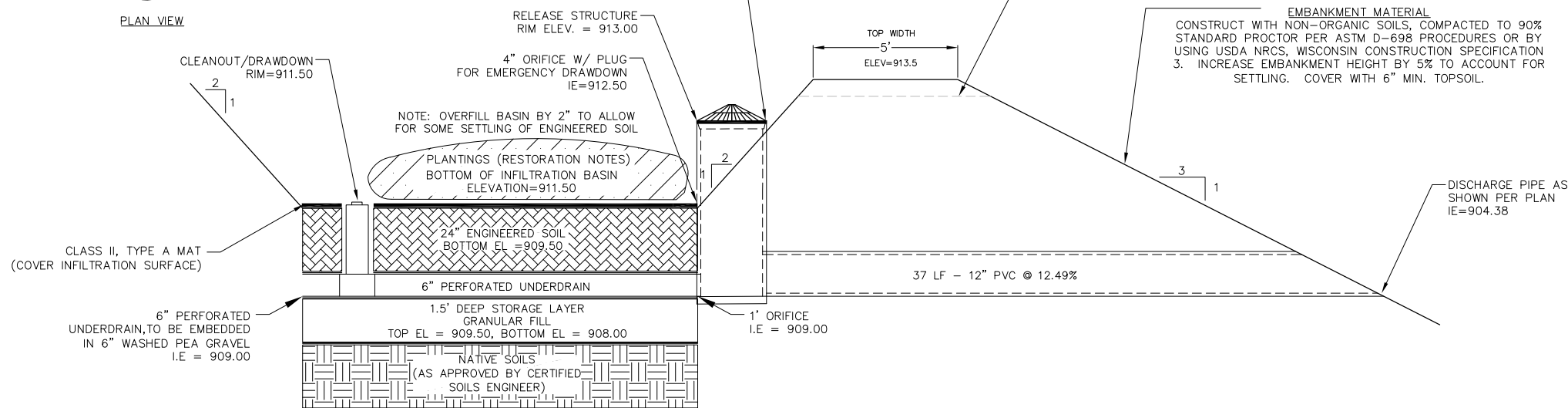
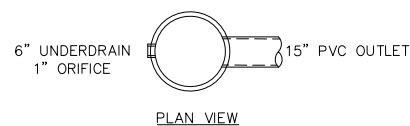
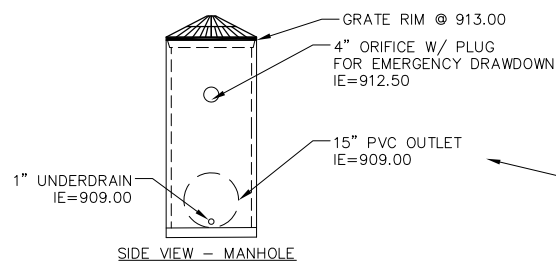
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2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
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GRANULAR FILL

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BIORETENTION BASIN OUTLET STRUCTURE DETAIL
NOT TO SCALE



ENGINEERED SOIL MIXTURE
70%-85% WASHED SAND
15%-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)

1 BASIN B BIO-RETENTION CROSS-SECTION
1 NOT TO SCALE

NOT FOR CONSTRUCTION

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2-4-2022
DRAFTER: CLAN
CHECKED: TSCH
PROJECT NO.: 200124
C7.4

BIO-RETENTION AREA RESTORATION SPECIFICATIONS:

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USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.

PLANT PLUGS AT 1 PER SQUARE FOOT.

INFILTRATION AREA RESTORATION SPECIFICATIONS:

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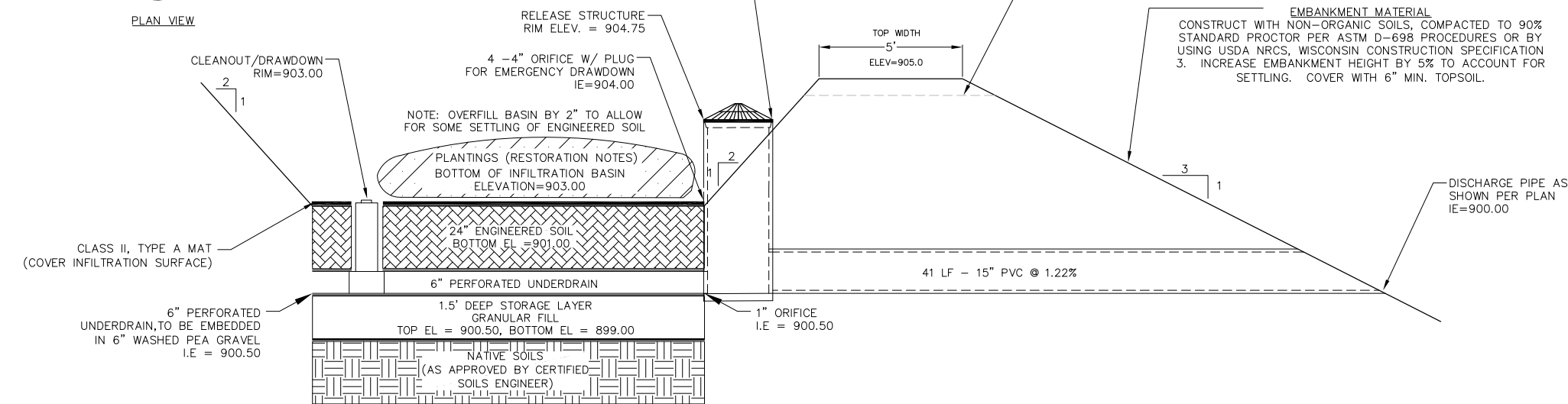
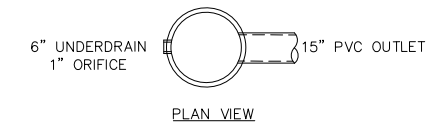
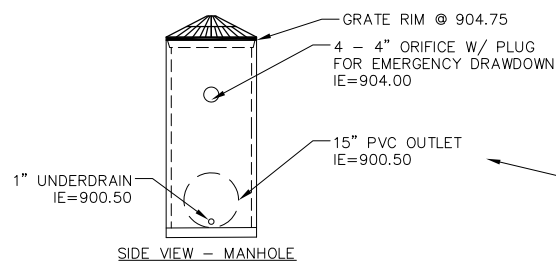
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GRANULAR FILL

MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:

- USDA COARSE SAND (0.02-0.04 INCHES)
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- WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5.3.4 (FINE AGGREGATE CONCRETE SAND) 2005 EDITION, OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY.

BIORETENTION BASIN OUTLET STRUCTURE DETAIL
NOT TO SCALE



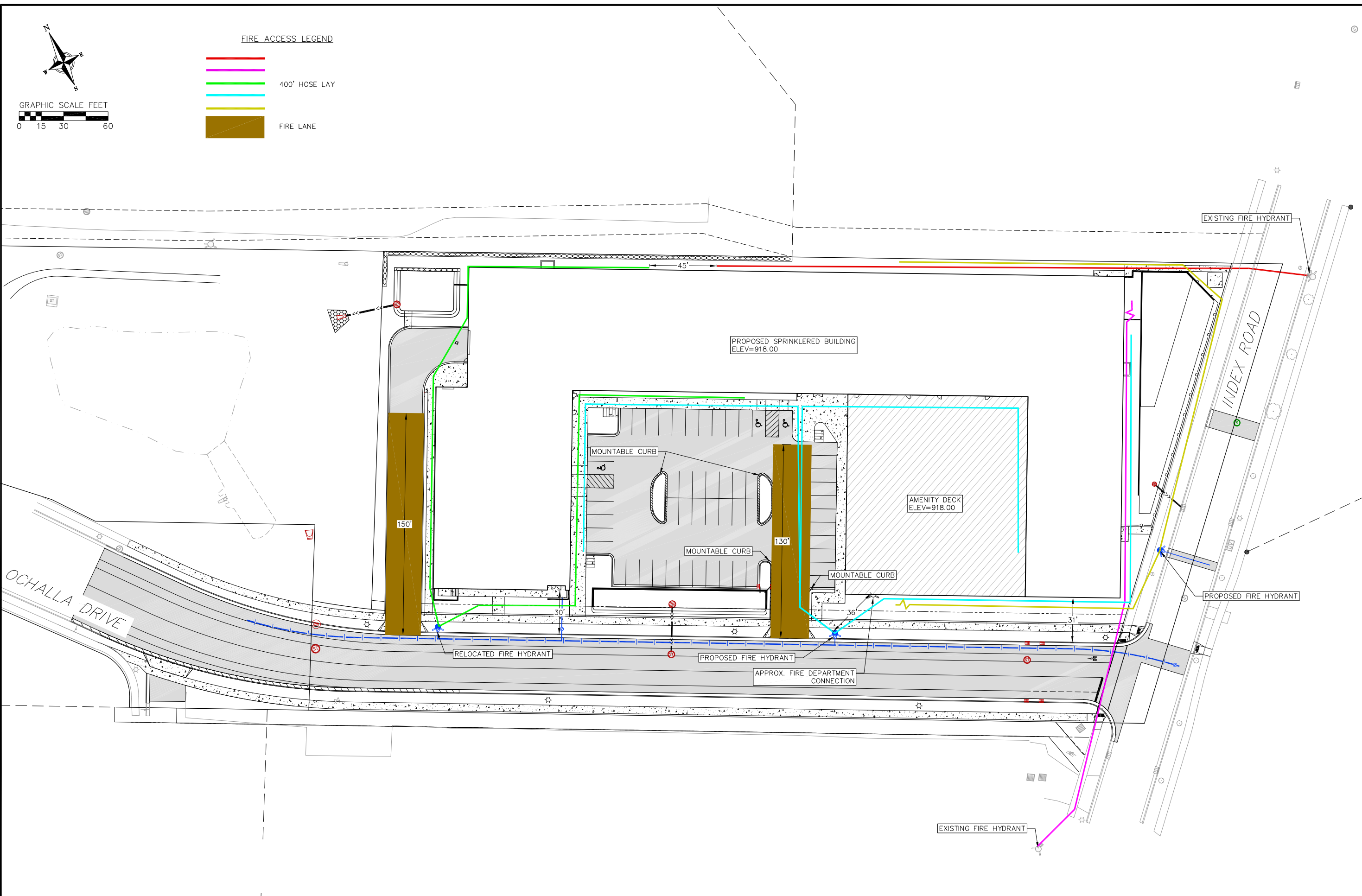
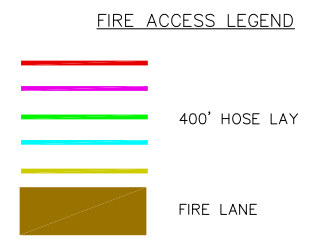
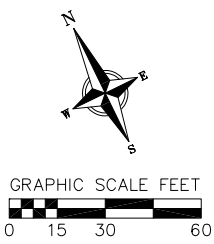
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70%-85% WASHED SAND
15%-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)

1 BASIN C BIO-RETENTION CROSS-SECTION
1 NOT TO SCALE

NOT FOR CONSTRUCTION

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2-4-2022
DRAFTER: CLAN
CHECKED: TSCH
PROJECT NO.: 200124
C7.5



FIRE ACCESS PLAN
OCHALLA MIXED USE DEVELOPMENT
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

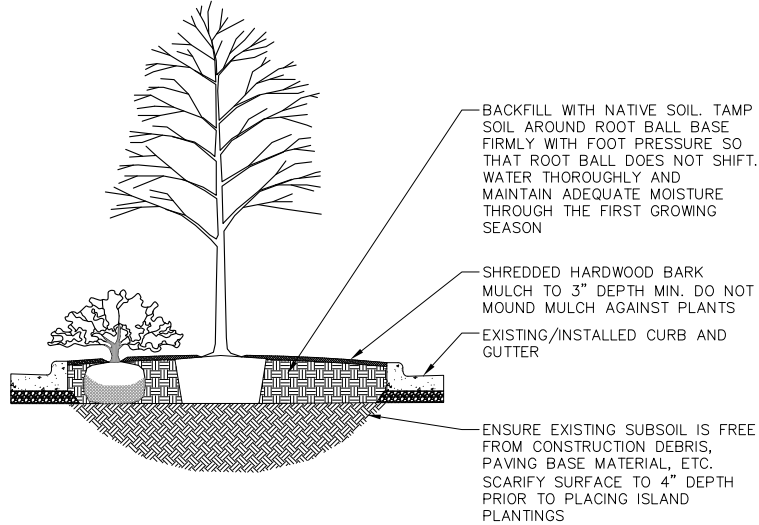
DATE: 2-4-2022
 DRAFTER: CLAN
 CHECKED: JULIL
 PROJECT NO.: 200124

NOT FOR CONSTRUCTION

APPENDIX 'C'
SPECIFIC IMPLEMENTATION PLAN
PRELIMINARY LANDSCAPING PLANS

NOTES:

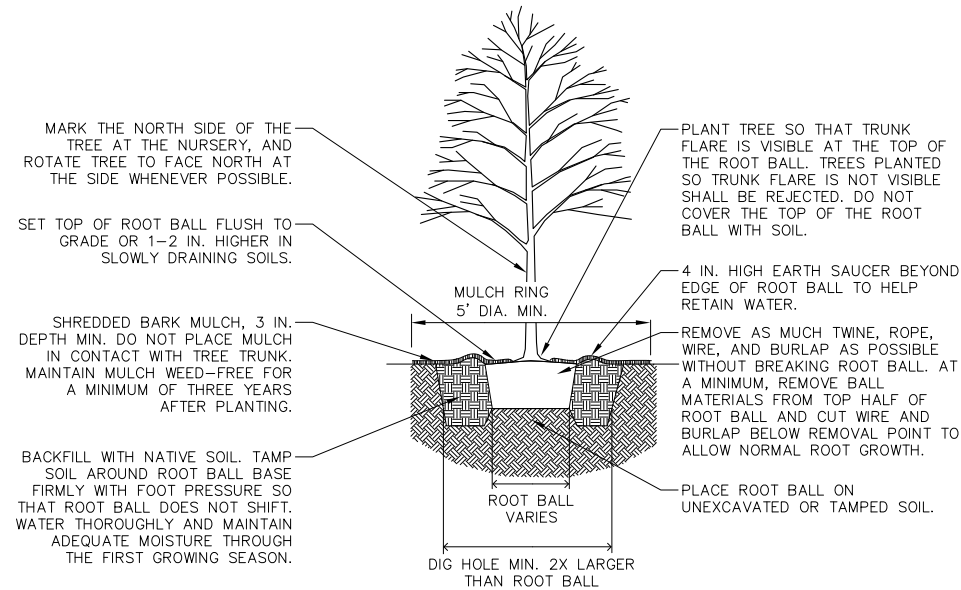
1. PARKING ISLAND TO BE FREE OF AGGREGATE TO A MINIMUM DEPTH OF 24"
2. ANY PAVEMENT BASE MATERIALS REMAINING FROM PAVEMENT INSTALLATION WITHIN PLANTING AREA SHALL BE REMOVED AND REPLACED WITH NATIVE SOIL PRIOR TO PLANTING



1 PARKING ISLAND PLANTING AREA
1 NOT TO SCALE

NOTES:

1. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
3. WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.



1 B&B TREE PLANTING DETAIL
1 NOT TO SCALE

PLANT MATERIAL NOTES:

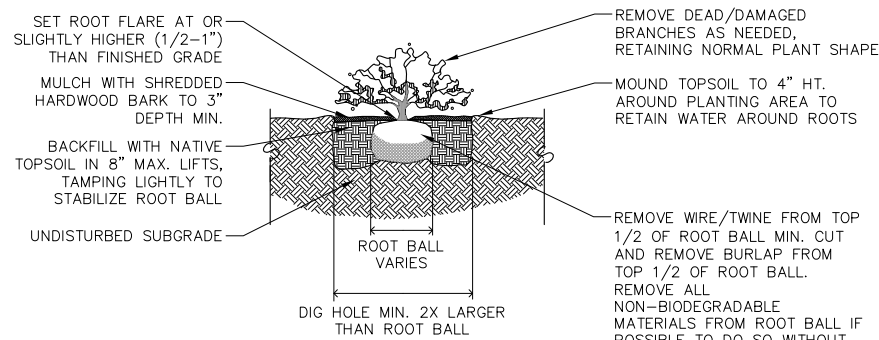
1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

LANDSCAPE MATERIAL NOTES:

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 3/8"x4" OR EQUAL, COLOR BLACK ANODIZED.
3. ALL TREES AND/OR SHRUBS PLANTED IN LAWN AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING AND SHOVEL CUT EDGE. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH AS WELL AS TOPICALLY APPLIED TO TREE RING.

SEEDING AND PLUG PLANTING NOTES:

1. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEEDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.
2. INSTALL BIORETENTION PLUG PLANTINGS AS 2" X 2" X 4" DEEP PLUGS, 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES IN ODD NUMBERED GROUPS OF 5-9 PLANTS, DISTRIBUTING EACH SPECIES RANDOMLY ACROSS PLANTING AREA FOR NATURAL APPEARANCE.



1 SHRUB PLANTING DETAIL
1 NOT TO SCALE

PLANT SCHEDULE

EVERGREEN TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
JF	Juniperus chinensis 'Falrvlew' / Falrvlew Juniper	B & B	6' ht.	10
TO	Tuja occidentalis x plicata 'Wintergreen' / Wintergreen Arborvitae	B & B	6' ht.	10
UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Sr	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2"Cal	3
DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Gtd	Gleditsia triacanthos 'Draves' / Street Keeper Honey Locust	B & B	2.5"Cal	7
GD	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2.5"Cal	5
Qe	Quercus ellipsoidalis / Hills Oak	B & B	2.5"Cal	1
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
DI	Diervilla lonicera / Dwarf Bush Honeysuckle	Cont.	3 Gal.	18
Hpq	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	Cont.	5 Gal.	19
Sr	Salix repens 'Bridal Rice' / Bridal Rice Creeping Willow	Cont.	3 Gal.	7
Vd	Viburnum dentatum 'Christom' TM / Blue Muffin Arrowwood Viburnum	Cont.	5 Gal.	21
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Jhb	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	Cont.	5 Gal.	13
Js	Juniperus sabina 'Blue Forest' / Blue Forest Juniper	Cont.	5 Gal.	7
Tm	Taxus x media 'Everlow' / Everlow Yew	Cont.	5 Gal.	11
Tom	Tuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	Cont.	5 Gal.	8
Th	Tuja occidentalis 'Holmstrup' / Holmstrup Arborvitae	Cont.	7 Gal.	13
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
ax	Allium x 'Summer Beauty' / Summer Beauty Allium	Cont.	4 In	29
am	Amsorla x 'Blue Ice' / Blue Ice Bluestar	Cont.	1 Gal.	48
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	Cont.	1 Gal.	74
nf	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	Cont.	4 In	6
pa	Perovskia atriplicifolia / Russian Sage	Cont.	1 Gal.	26
rf	Rudbeckia fulgida 'Goldsturm' / Goldsturm Coneflower	Cont.	1 Gal.	86
sn	Salvia nemorosa 'Blue Hill' / Woodland Sage	Cont.	1 Gal.	26
ss	Schizachyrium scoparium / Little Bluestem Grass	Cont.	1 Gal.	42
sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	55

BASIN PLANTING & STONE SCHEDULE

	BIORETENTION MIX	2,335 sf
	Asclepias incarnata / Swamp Milkweed	170
	Carex bicknellii / Prairie Sedge	170
	Carex comosa / Bottlebrush Sedge	170
	Carex cristatella / Crested Oval Sedge	170
	Carex lurida / Lurid Sedge	170
	Coreopsis tripteris / Tall Coreopsis	170
	Elymus virginicus / Virginia Wild Rye	195
	Iris virginica / Blue Flag Iris	170
	Liatris spicata / Spike Gayfeather	170
	Lobelia cardinalis / Cardinal Flower	170
	Panicum virgatum / Switch Grass	195
	Rudbeckia triloba / Browneyed Susan	170
	Spartina pectinata / Prairie Cordgrass	170
	Symphoricarum novae-angliae / New England Aster	170
	WASHED STONE	1,287 sf
	NATIVE GRASS SLOPE MIX	459 sf
	Bouteloua curtipendula / Side Oats Grama	72
	Elymus canadensis / Canada Wild Rye	72
	Schizachyrium scoparium / Little Bluestem	168
	Sporobolus heterolepis / Prairie Dropseed	168

REVISIONS	NO.	DATE	REMARKS

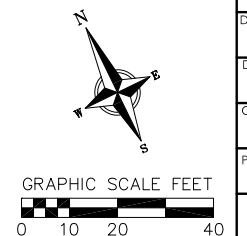
DATE: 2-4-2022

DRAFTER: SVN
CHECKED: TSCH

PROJECT NO.: 200124

L2

NOT FOR CONSTRUCTION



APPENDIX 'D'
SPECIFIC IMPLEMENTATION PLAN
PRELIMINARY FLOOR PLANS



JLA
ARCHITECTS

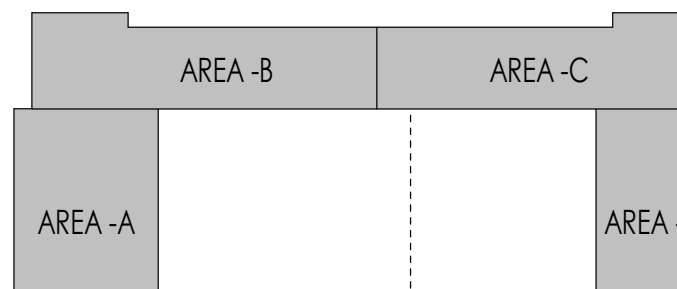
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0225



OCHALLA DRIVE
MIXED USE
DEVELOPMENT

SIP SUBMITTAL



KEY PLAN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: JANUARY 27, 2022

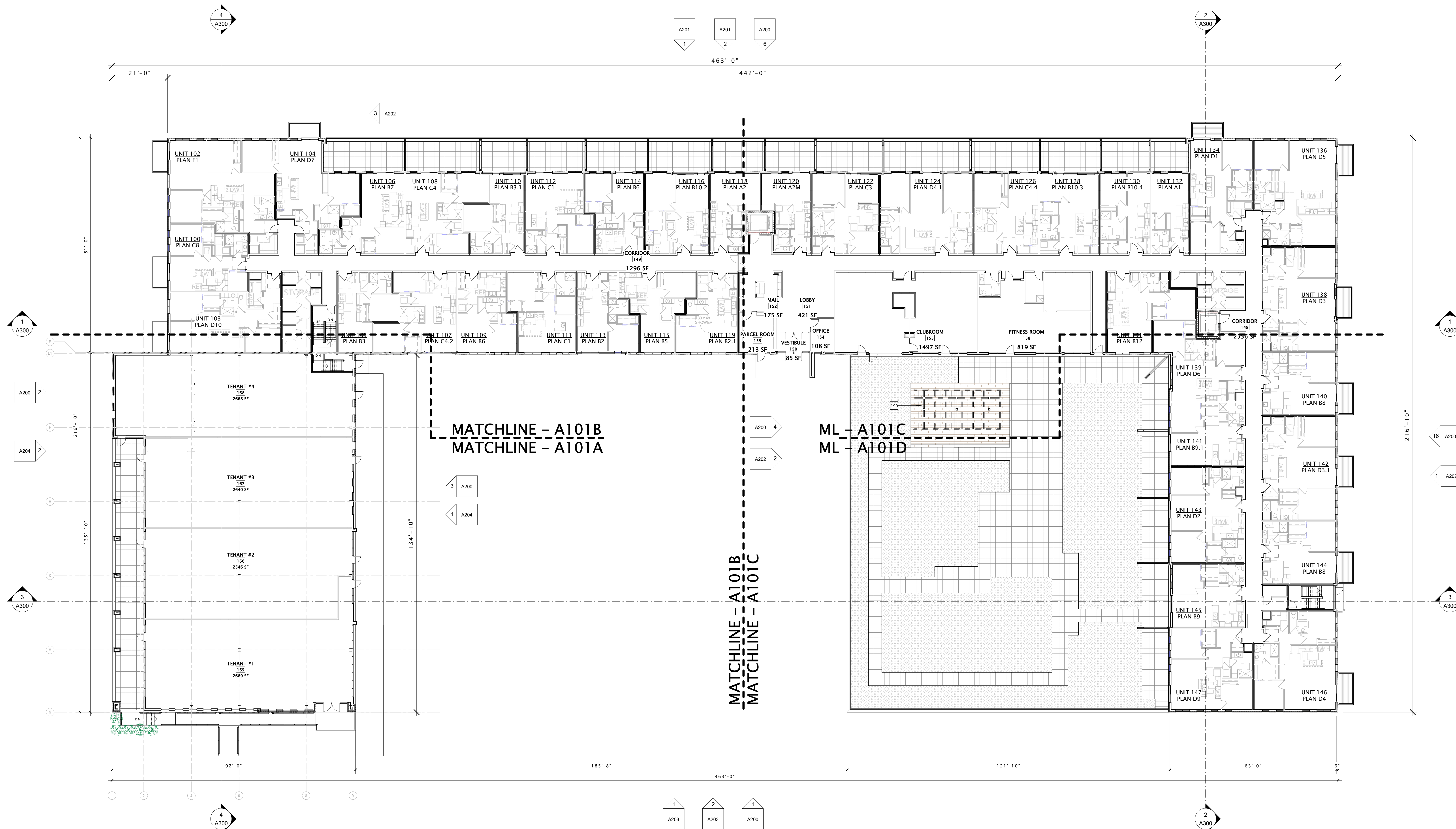
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Mark	Description	Date

SHEET TITLE

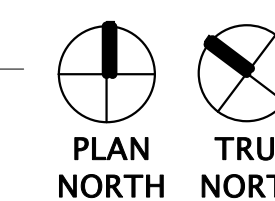
OVERALL FIRST
FLOOR PLAN

SHEET NUMBER

A101



16 OVERALL FIRST FLOOR PLAN
1/16" = 1'-0"





JLA
ARCHITECTS

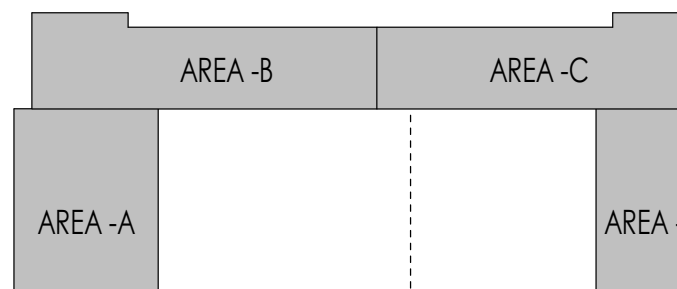
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0225



OCHALLA DRIVE
MIXED USE
DEVELOPMENT

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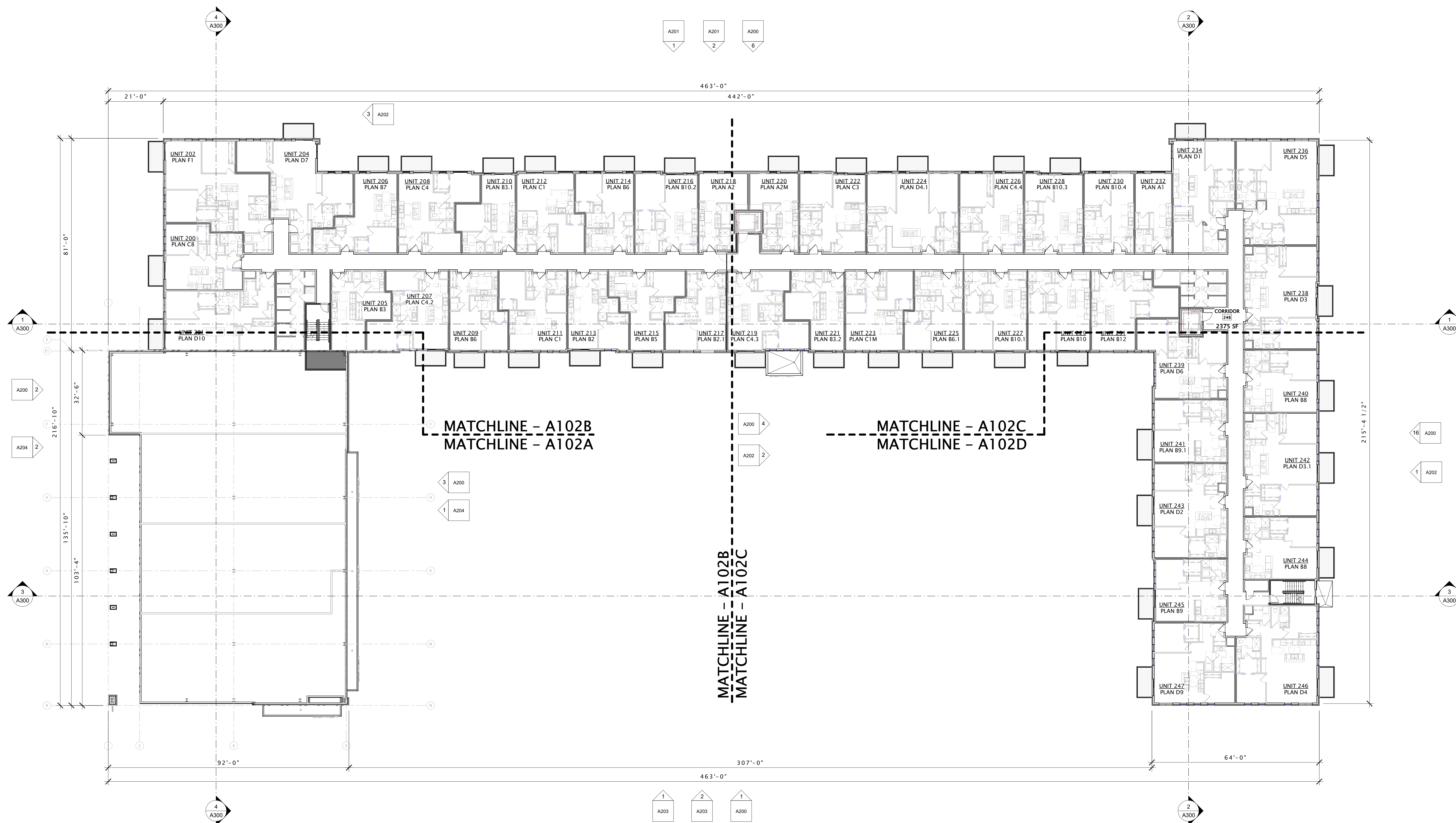
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Mark	Description	Date

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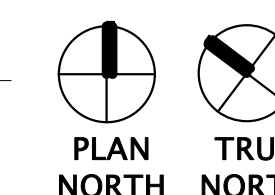
OVERALL SECOND FLOOR PLAN

SHEET NUMBER

A102



16 OVERALL SECOND FLOOR PLAN
1/16" = 1'-0"





JLA
ARCHITECTS

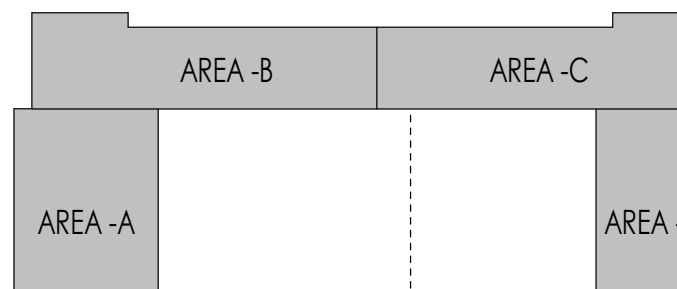
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0225



OCHALLA DRIVE
MIXED USE
DEVELOPMENT

SIP SUBMITTAL



KEY PLAN

PROGRESS DOCUMENTS

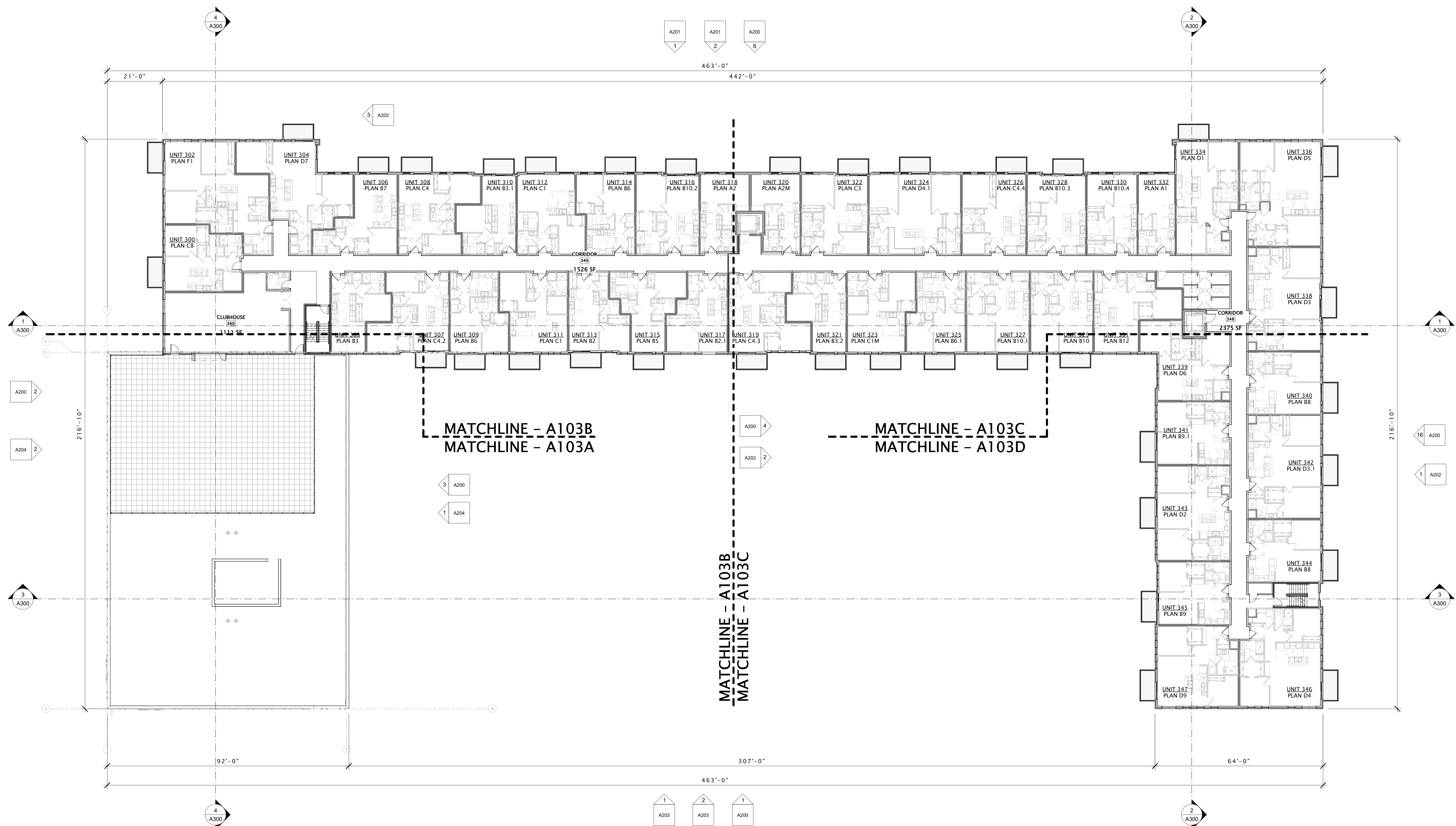
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DATE OF ISSUANCE: JANUARY 27, 2022

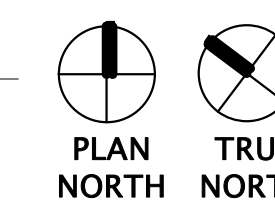
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
OVERALL THIRD FLOOR PLAN

SHEET NUMBER
A103



16 OVERALL THIRD FLOOR PLAN
1/16" = 1'-0"





JLA
ARCHITECTS

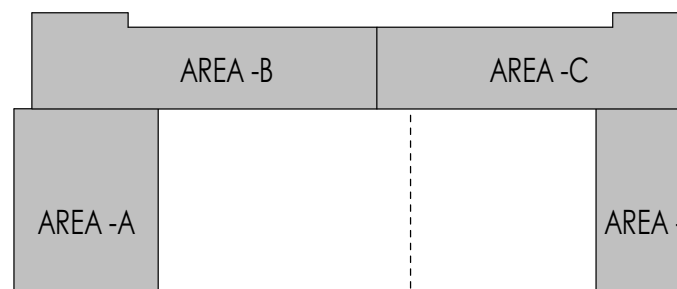
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0225



OCHALLA DRIVE
MIXED USE
DEVELOPMENT

SIP SUBMITTAL



KEY PLAN

PROGRESS DOCUMENTS

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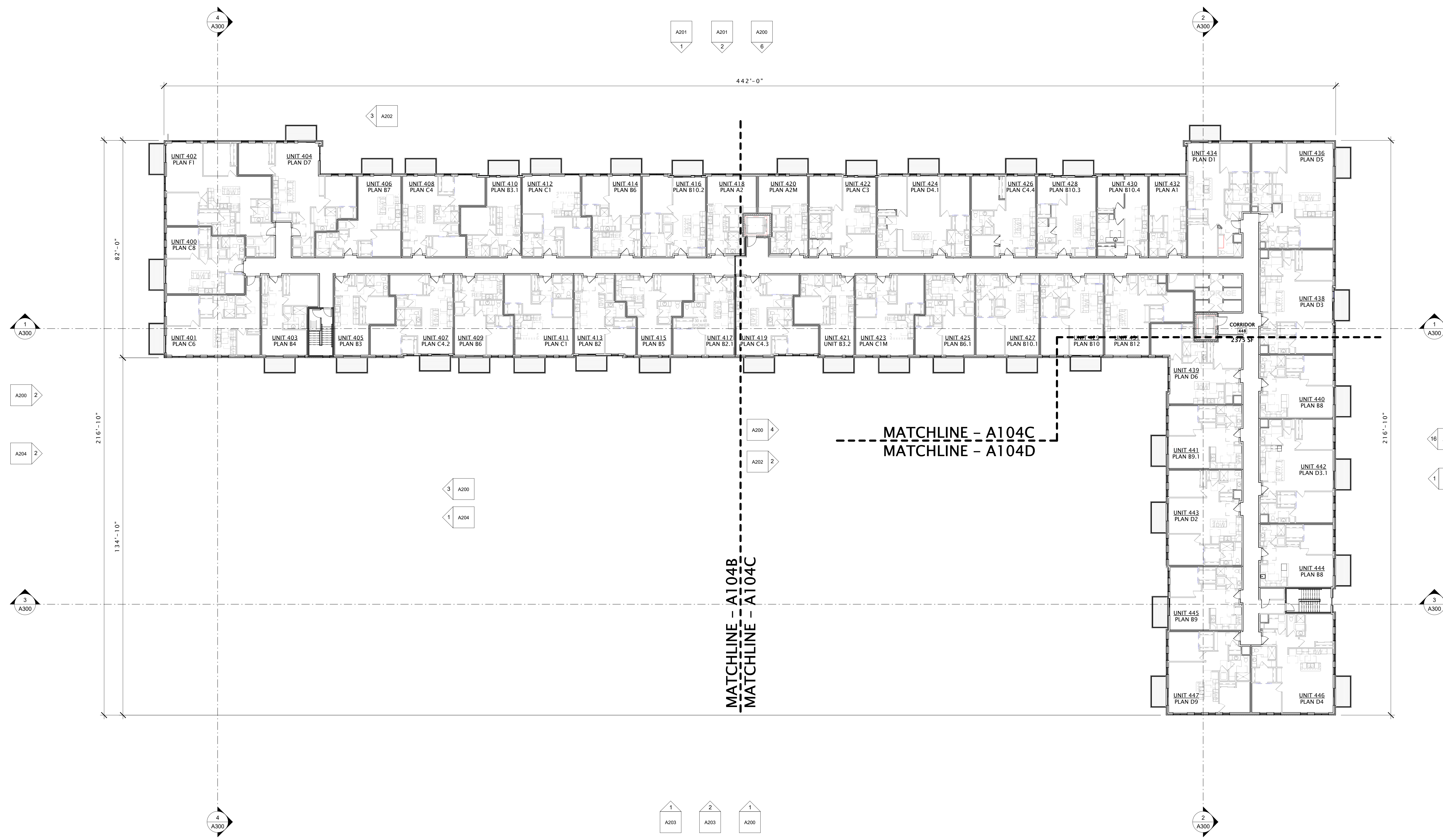
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Mark	Description	Date

SHEET TITLE

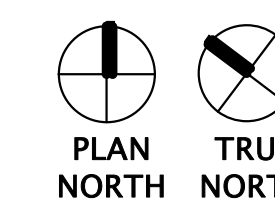
OVERALL FOURTH
FLOOR PLAN

SHEET NUMBER

A104



16 OVERALL FOURTH FLOOR PLAN
1/16" = 1'-0"



APPENDIX “E”
SPECIFIC IMPLEMENTATION PLAN
ELEVATIONS AND PERSPECTIVES



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MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0225

NOTE: REFER TO SHEETS A201, A202, A203 & A204 FOR BUILDING MATERIALS



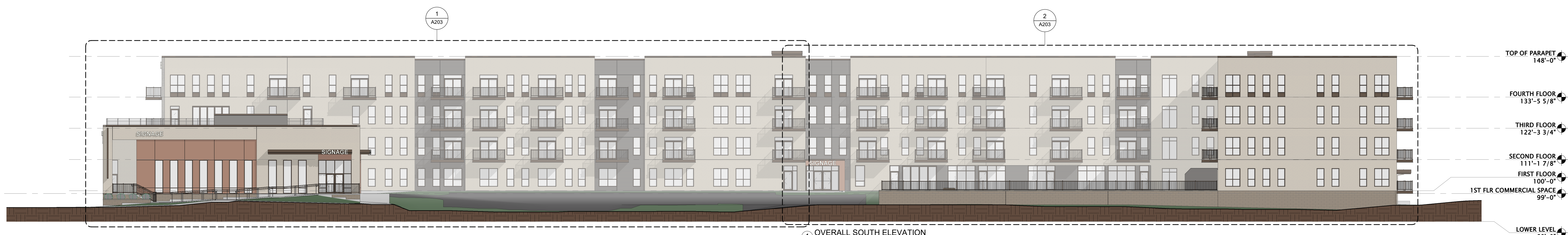
6 OVERALL NORTH ELEVATION
1/16" = 1'-0"



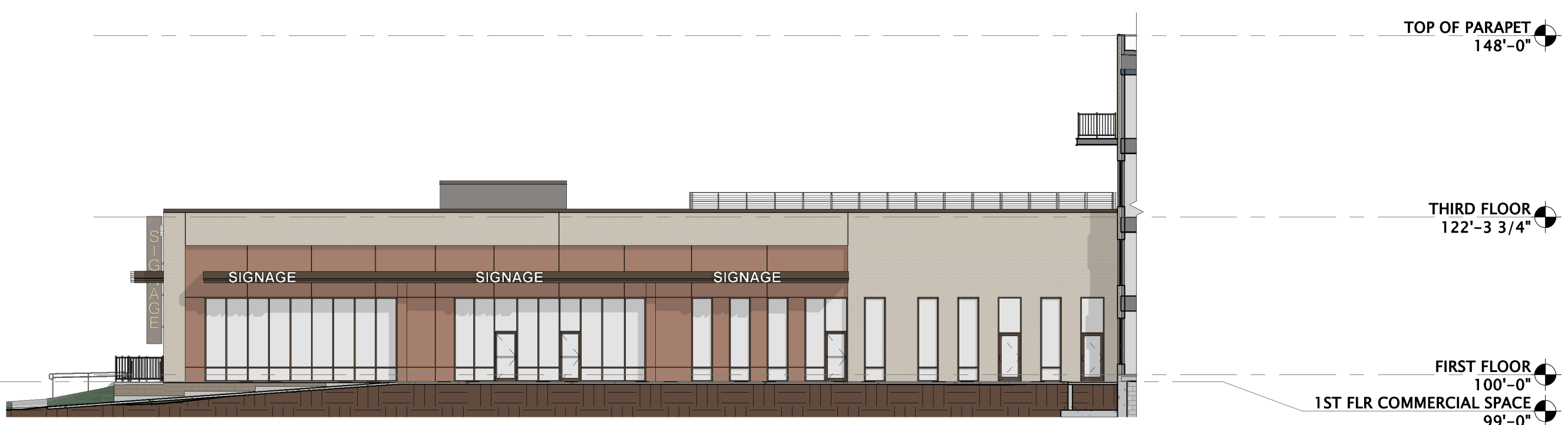
4 OVERALL NORTHEAST ELEVATION (PARKING LOT)
1/16" = 1'-0"



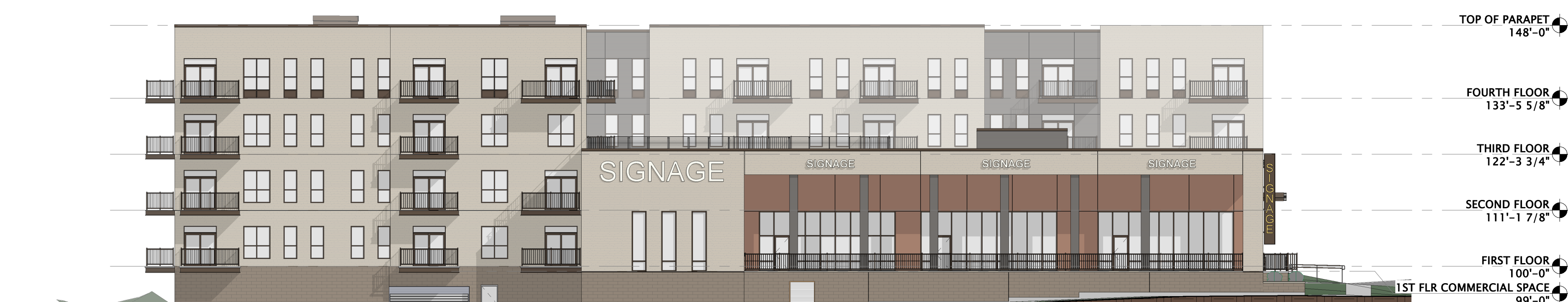
16 OVERALL EAST ELEVATION
1/16" = 1'-0"



1 OVERALL SOUTH ELEVATION
1/16" = 1'-0"



3 OVERALL NORTHWEST ELEVATION (PARKING LOT)
1/16" = 1'-0"



2 OVERALL WEST ELEVATION
1/16" = 1'-0"

OCHALLA DRIVE
MIXED USE
DEVELOPMENT

100% DD REVIEW SET

PROGRESS DOCUMENTS

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DATE OF ISSUANCE FEBRUARY 02, 2022

REVISION SCHEDULE

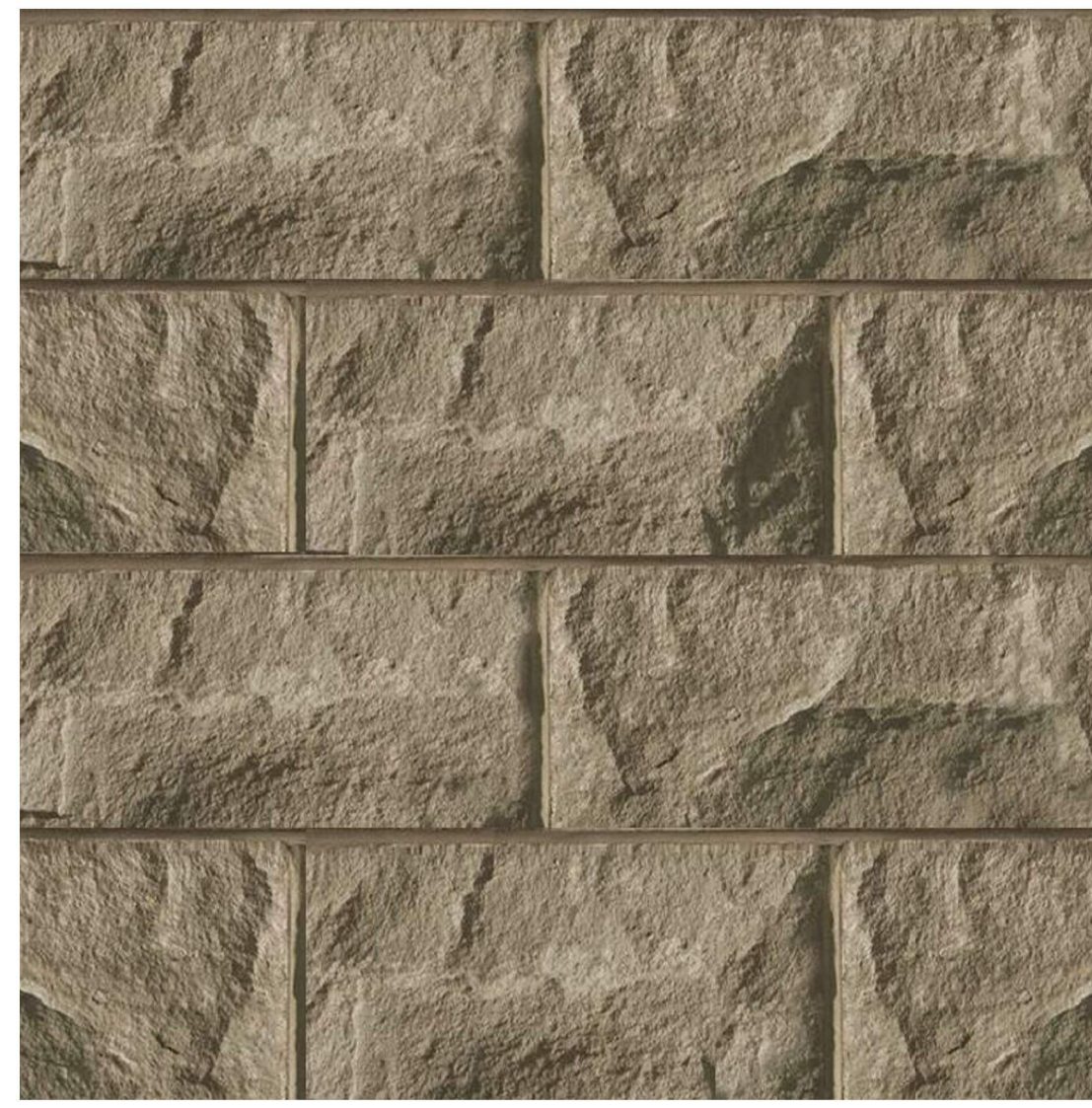
Mark	Description	Date

SHEET TITLE

OVERALL EXTERIOR
ELEVATIONS

SHEET NUMBER

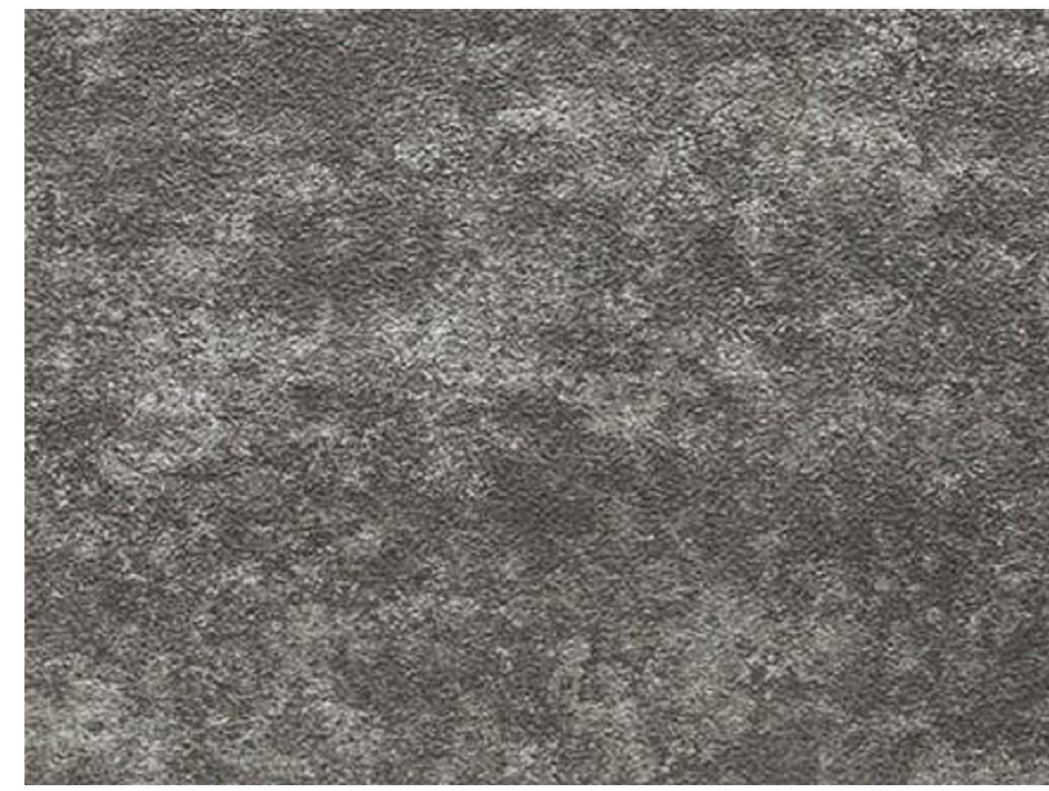
A200



MANUFACTURED STONE VENEER



MANUFACTURED BRICK VENEER

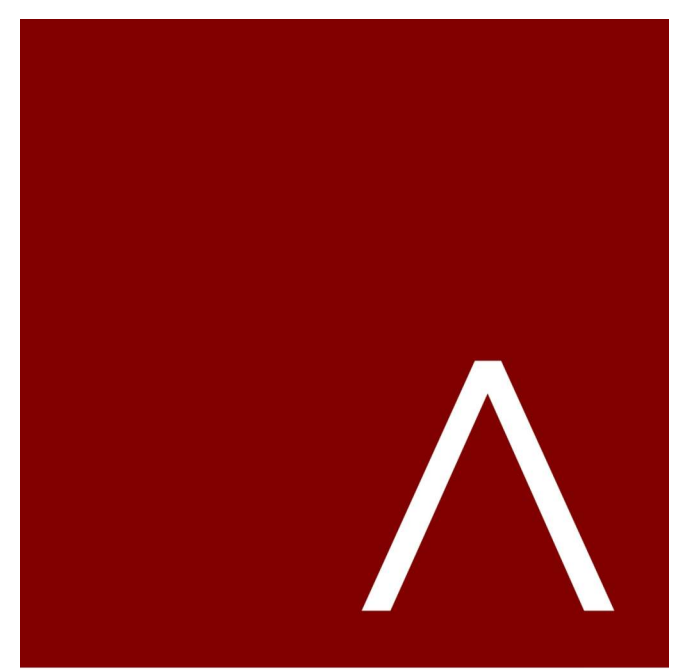


COMPOSITE FINISH PANEL TYPE-1



COMPOSITE FINISH PANEL TYPE-2

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD	PREFABRICATED METAL COPING	SEE PLANS	BRONZE	
2	METAL SILL FLASHING	PAC-CLAD	PREFABRICATED METAL SILL FLASHING	SEE PLANS	BRONZE	
3	MANUFACTURED STONE VENEER	ARTISANART BUILDING STONE	LIQUIDSTONE - CERAMIC RESEMBLANCE	SEE PLANS		
4	MANUFACTURED BRICK VENEER	ARTISANART BUILDING STONE	OPAL - ARCHITECTURAL LINEAR SERIES	SEE PLANS		
5	CONCRETE PRECAST BAND	TBD	TBD	SEE PLANS	BRONZE	PROVIDE THERMALLY BROKEN FRAMES
6	1" LOW-E INSULATED CLEAR GLAZING	FAWNEER OR EQUAL	TBD	SEE PLANS		PROVIDE REVEALS AS SHOWN
7	CERACLAD METAL PANEL TYPE-1	CERACLAD	MODERN THIN STRIP	SEE PLANS		PROVIDE REVEALS AS SHOWN
8	CERACLAD METAL PANEL TYPE-2	CERACLAD	TBD	SEE PLANS	BRONZE	
9	METAL PANEL SYSTEM	PAC-CLAD	TBD	SEE PLANS		
10	VINYL WINDOWS	MARVIN WINDOWS	TBD	SEE PLANS		
11	VINYL DOORS AND TRANSOMS	MARVIN WINDOWS	TBD	SEE PLANS		
12	HIGH SPEED OVERHEAD GARAGE DOOR	TBD	TBD	SEE PLANS	INSULATED	
13	ALUM. CHAIRRAIL AND RAILING	TBD	TBD	SEE PLANS	BRONZE	
14	ALUM. SQUARE CHAIRRAIL AND POST WITH HORIZONTAL CABLE RAILS	TBD	TBD	SEE PLANS	BRONZE	
15	PREFINISHED ALUM. DECK EDGE	PAC-CLAD	PREFABRICATED TIBED METAL	SEE PLANS	BRONZE	
16	ALUMINUM DOWNSPOUT	TBD	TBD	SEE PLANS	BRONZE	COLOR TO MATCH ADJACENT WALL FINISH



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ARCHITECTS

MADISON : MILWAUKEE
jla-op.com

JLA PROJECT NUMBER: 20-0225



1 PARTIAL NORTH ELEVATION 1
1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION 2
1/8" = 1'-0"

OCHALLA DRIVE
MIXED USE
DEVELOPMENT

100% DD REVIEW SET

PROGRESS DOCUMENTS

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DATE OF ISSUANCE FEBRUARY 02, 2022

REVISION SCHEDULE

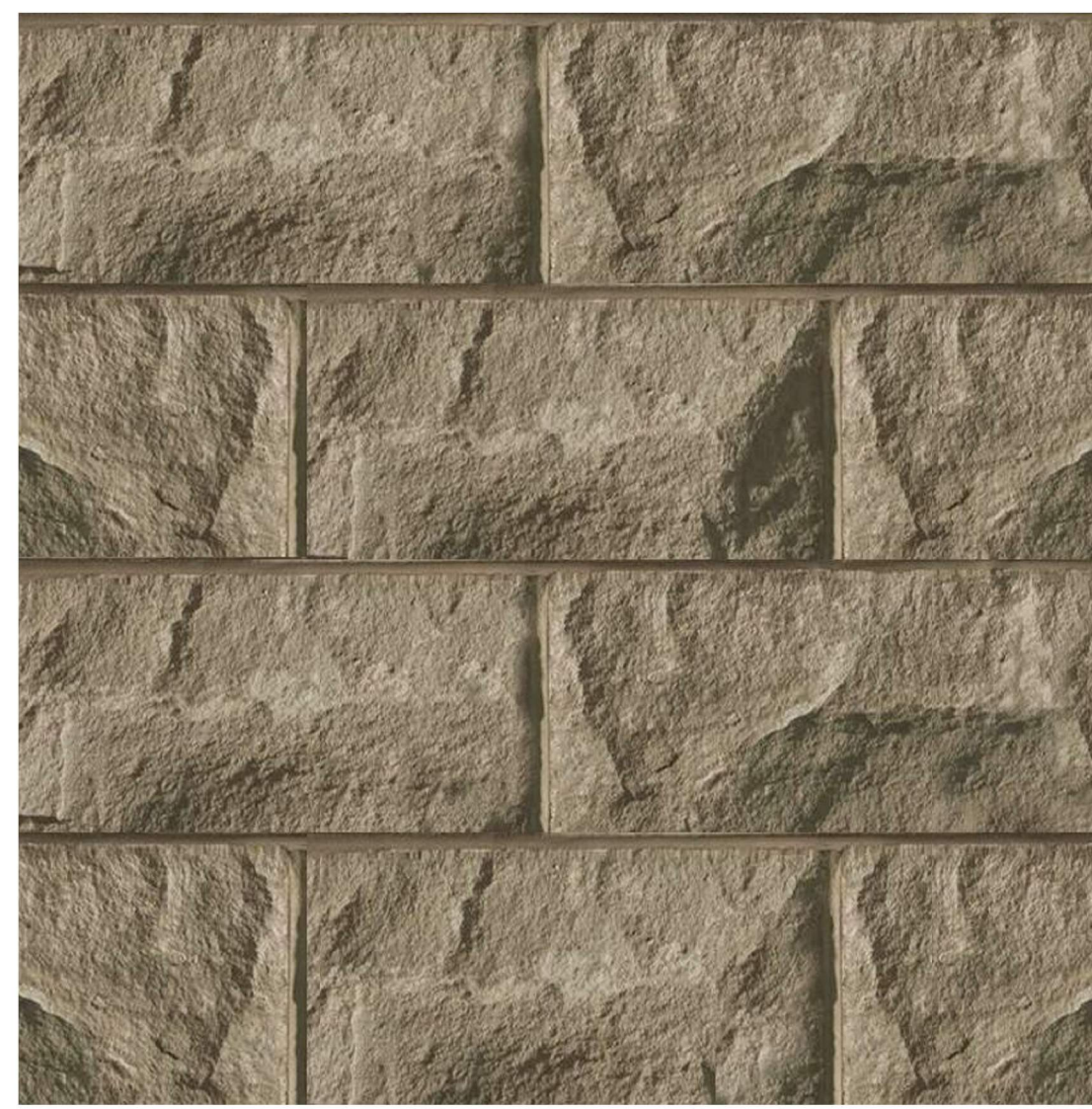
Mark	Description	Date

SHEET TITLE

ENLARGED EXTERIOR ELEVATIONS

SHEET NUMBER

A201



MANUFACTURED STONE VENEER



MANUFACTURED BRICK VENEER



COMPOSITE FINISH PANEL TYPE-1



COMPOSITE FINISH PANEL TYPE-2

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD	PREFABRICATED METAL COPING	SEE PLANS	BRONZE	
2	METAL SILL FLASHING	PAC-CLAD	PREFABRICATED METAL SILL FLASHING	SEE PLANS	BRONZE	
3	MANUFACTURED STONE VENEER	ARRICRAFT BUILDING STONE	LIMESTONE - GEORGIA BRASSANCE			
4	MANUFACTURED BRICK VENEER	ARRICRAFT BUILDING STONE	OPAL - ARCHITECTURAL LINEAR SERIES			
5	CONCRETE PRECAST BAND	TBD	TBD			
6	1" LOW-E INSULATED CLEAR GLAZING	RAWNEER OR EQUAL	-	SEE PLANS	BRONZE	PROVIDE THERMALLY BROKEN FRAMES
7	CERACLAD METAL PANEL TYPE-1	CERACLAD	MODERN THIN STRIP	SEE PLANS		PROVIDE REVEALS AS SHOWN
8	CERACLAD METAL PANEL TYPE-2	CERACLAD	TBD	SEE PLANS		PROVIDE REVEALS AS SHOWN
9	METAL PANEL SYSTEM	PAC-CLAD	-		BRONZE	
10	VINYL WINDOWS	MAXVIN WINDOWS	-			
11	VINYL DOORS AND TRANSOMS	MAXVIN WINDOWS	-			
12	HIGH SPEED OVERHEAD GARAGE DOOR	TBD	TBD			INSULATED
13	ALUM. SQUARE GUARDRAIL AND RAILING	TBD	TBD			
14	ALUM. SQUARE GUARDRAIL AND POST WITH HORIZONTAL CABLE RAIS	TBD	TBD			
15	PREFINISHED ALUM. SICK EDGE	PAC-CLAD	PREFABRICATED THERD METAL	SEE PLANS	BRONZE	
16	ALUMINUM DOWNSPOUT	TBD	TBD			COLOR TO MATCH ADJACENT WALL FINISH



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ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0225

OCHALLA DRIVE
MIXED USE
DEVELOPMENT

100% DD REVIEW SET

PROGRESS DOCUMENTS

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DATE OF ISSUANCE FEBRUARY 02, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
ENLARGED EXTERIOR
ELEVATIONS

SHEET NUMBER
A202

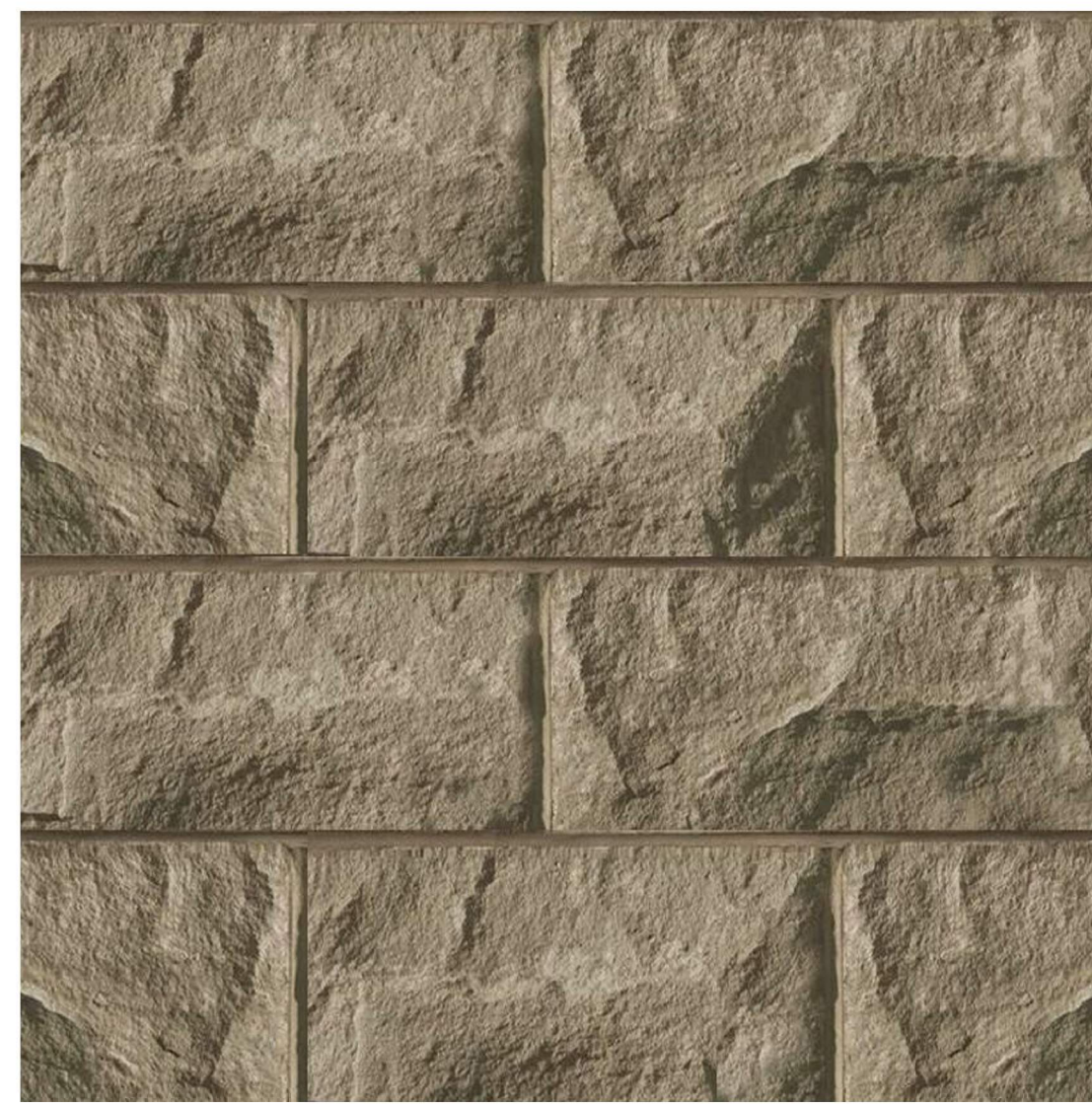


2 NORTHEAST ELEVATION (PARKING LOT)
1/8" = 1'-0"

3 OVERALL NW & NE ELEVATIONS (PATIO SIDES)
1/8" = 1'-0"



1 ENLARGED EAST ELEVATION
1/8" = 1'-0"



MANUFACTURED STONE VENEER



MANUFACTURED BRICK VENEER



COMPOSITE FINISH PANEL TYPE-1



COMPOSITE FINISH PANEL TYPE-2

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD	PREFABRICATED METAL COPING	SEE PLANS	BRONZE	
2	METAL SILL FINISHING	PAC-CLAD	PREFABRICATED METAL SILL FINISHING	SEE PLANS	BRONZE	
3	MANUFACTURED STONE VENEER	ABRESCRAFT BUILDING STONE	LIMESTONE - GEORGIA RENAISSANCE			
4	MANUFACTURED BRICK VENEER	ABRESCRAFT BUILDING STONE	OPAL - ARCHITECTURAL LINEAR SERIES			
5	CONCRETE PRECAST BAND	TBD		SEE PLANS		
6	1" LOW-E INSULATED CLEAR GLAZING	KAWNEER OR EQUAL		SEE PLANS	BRONZE	PROVIDE THERMALLY BROKEN FRAMES
7	CERACLAD METAL PANEL TYPE-1	CERACLAD	MODERN THIN STRIP	SEE PLANS		PROVIDE REVEALS AS SHOWN
8	CERACLAD METAL PANEL TYPE-2	CERACLAD		SEE PLANS		PROVIDE REVEALS AS SHOWN
9	METAL PANEL SYSTEM	PAC-CLAD			BRONZE	
10	VINYL WINDOWS	MARVIN WINDOWS				
11	VINYL DOORS AND TRANSOMS	MARVIN WINDOWS				
12	HIGH SPEED OVERHEAD GARAGE DOOR	TBD				INSULATED
13	ALUM. GUARDRAIL AND RAILING	TBD				
14	ALUM. SQUARE GUARDRAIL AND POST WITH HORIZONTAL CABLE RAILS	TBD				
15	PREFINISHED ALUM. DECK EDGES	PAC-CLAD	PREFABRICATED THIRDED METAL	SEE PLANS	BRONZE	
16	ALUMINUM DOWNSPOUT	TBD				COLOR TO MATCH ADJACENT WALL FINISH



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ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0225



1 PARTIAL SOUTH ELEVATION 1
1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION 2
1/8" = 1'-0"

OCHALLA DRIVE
MIXED USE
DEVELOPMENT

100% DD REVIEW SET

PROGRESS DOCUMENTS

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REVISION SCHEDULE

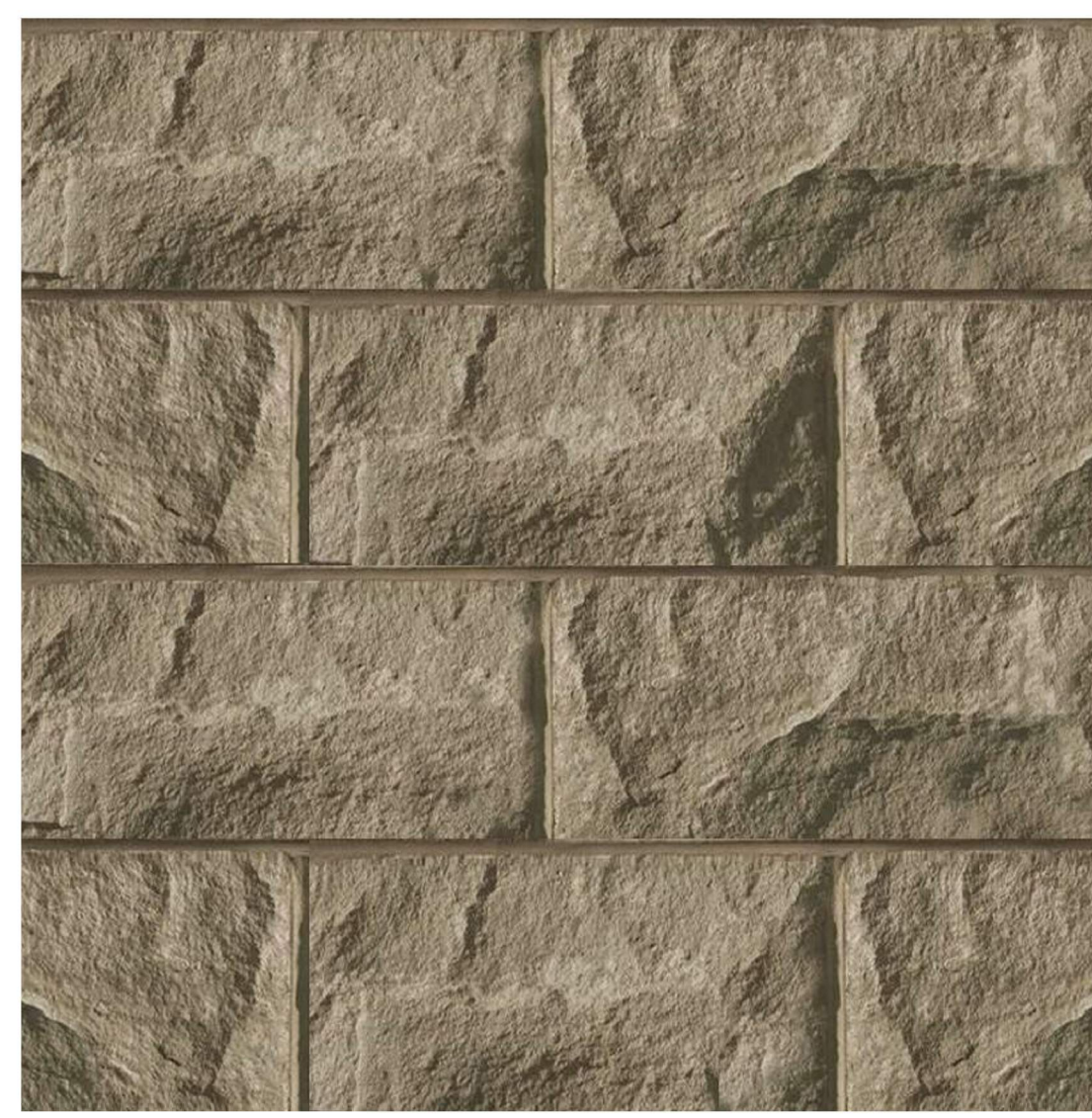
Mark	Description	Date

SHEET TITLE

ENLARGED EXTERIOR
ELEVATIONS

SHEET NUMBER

A203



MANUFACTURED STONE VENEER



MANUFACTURED BRICK VENEER

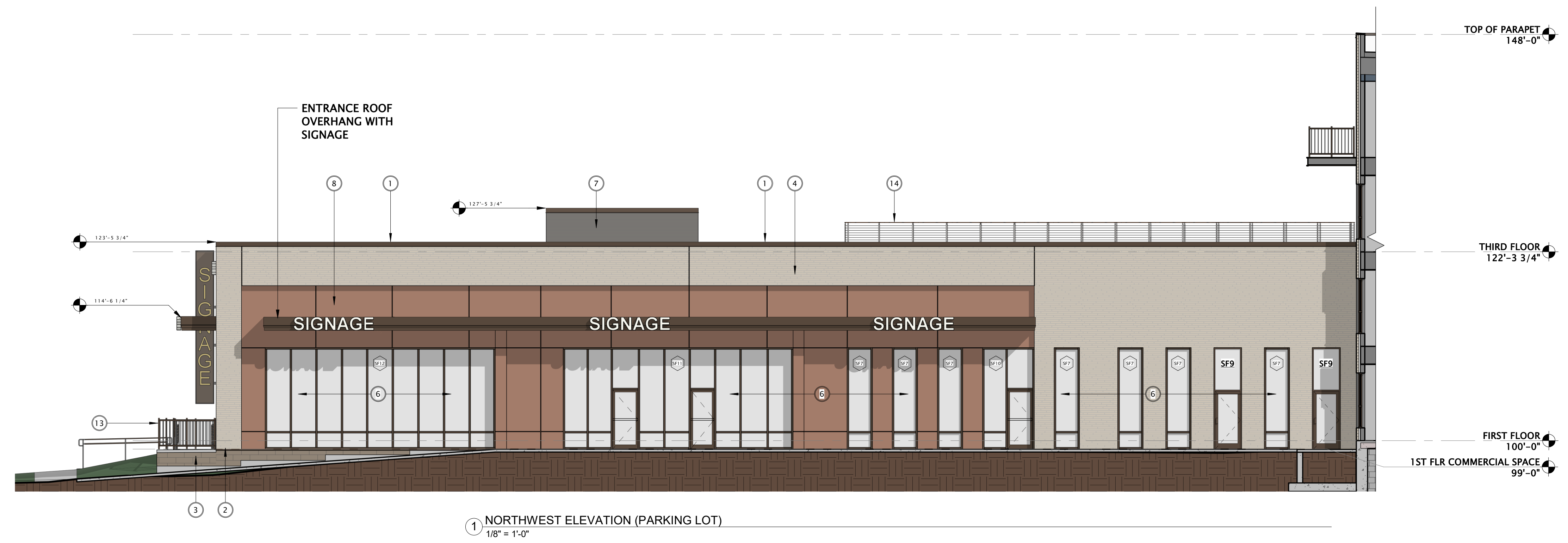


COMPOSITE FINISH PANEL TYPE-1



COMPOSITE FINISH PANEL TYPE-2

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD	PREFABRICATED METAL COPING	SEE PLANS	BRONZE	
2	METAL SILL FLASHING	PAC-CLAD	PREFABRICATED METAL SILL FLASHING	SEE PLANS	BRONZE	
3	MANUFACTURED STONE VENEER	PARIS-CRAFT BUILDING STONE	LIMESTONE - GEORGIA RENAISSANCE			
4	MANUFACTURED BRICK VENEER	PARIS-CRAFT BUILDING STONE	OPAL - ARCHITECTURAL LINEAR SERIES			
5	CONCRETE PRECAST BAND	TBD	TBD	SEE PLANS	BRONZE	PROVIDE THERMALLY BROKEN FRAMES
6	1" LOW-E INSULATED CLEAR GLAZING	RAMBER OR EQUAL		SEE PLANS		PROVIDE REVEALS AS SHOWN
7	CERACLAD METAL PANEL TYPE-1	CERACLAD	MODERN THIN STRIP	SEE PLANS		PROVIDE REVEALS AS SHOWN
8	CERACLAD METAL PANEL TYPE-2	CERACLAD	TBD	SEE PLANS		
9	METAL PANEL SYSTEM	PAC-CLAD			BRONZE	
10	VINYL WINDOWS	WARVIN WINDOWS				
11	VINYL DOORS AND TRANSOMS	WARVIN WINDOWS				INSULATED
12	HIGH SPEED OVERHEAD GARAGE DOOR	TBD	TBD			
13	ALUM. GUARDRAIL AND RAILING	TBD	TBD		BRONZE	
14	ALUM. SQUARE GUARDRAIL AND POST WITH HORIZONTAL CABLE RAILS	TBD	TBD		BRONZE	
15	PREFINISHED ALUM. DECK EDGE	PAC-CLAD	PREFABRICATED TIERED METAL	SEE PLANS	BRONZE	
16	ALUMINUM DOWNPOUT	TBD	TBD			COLOR TO MATCH ADJACENT WALL FINISH



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ARCHITECTS

MADISON : MILWAUKEE
jla-op.com

JLA PROJECT NUMBER: 20-0225

OCHALLA DRIVE
MIXED USE
DEVELOPMENT

100% DD REVIEW SET

PROGRESS DOCUMENTS

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DATE OF ISSUANCE FEBRUARY 02, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ENLARGED EXTERIOR
ELEVATIONS

SHEET NUMBER

A204



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OCHALLA MIXED-USE DEVELOPMENT
DD EXTERIOR DESIGN REVIEW

FEBRUARY 4, 2022



JLA
ARCHITECTS

OCHALLA MIXED-USE DEVELOPMENT
DD EXTERIOR DESIGN REVIEW

FEBRUARY 4, 2022



JLA
ARCHITECTS

OCHALLA MIXED-USE DEVELOPMENT
DD EXTERIOR DESIGN REVIEW

FEBRUARY 4, 2022

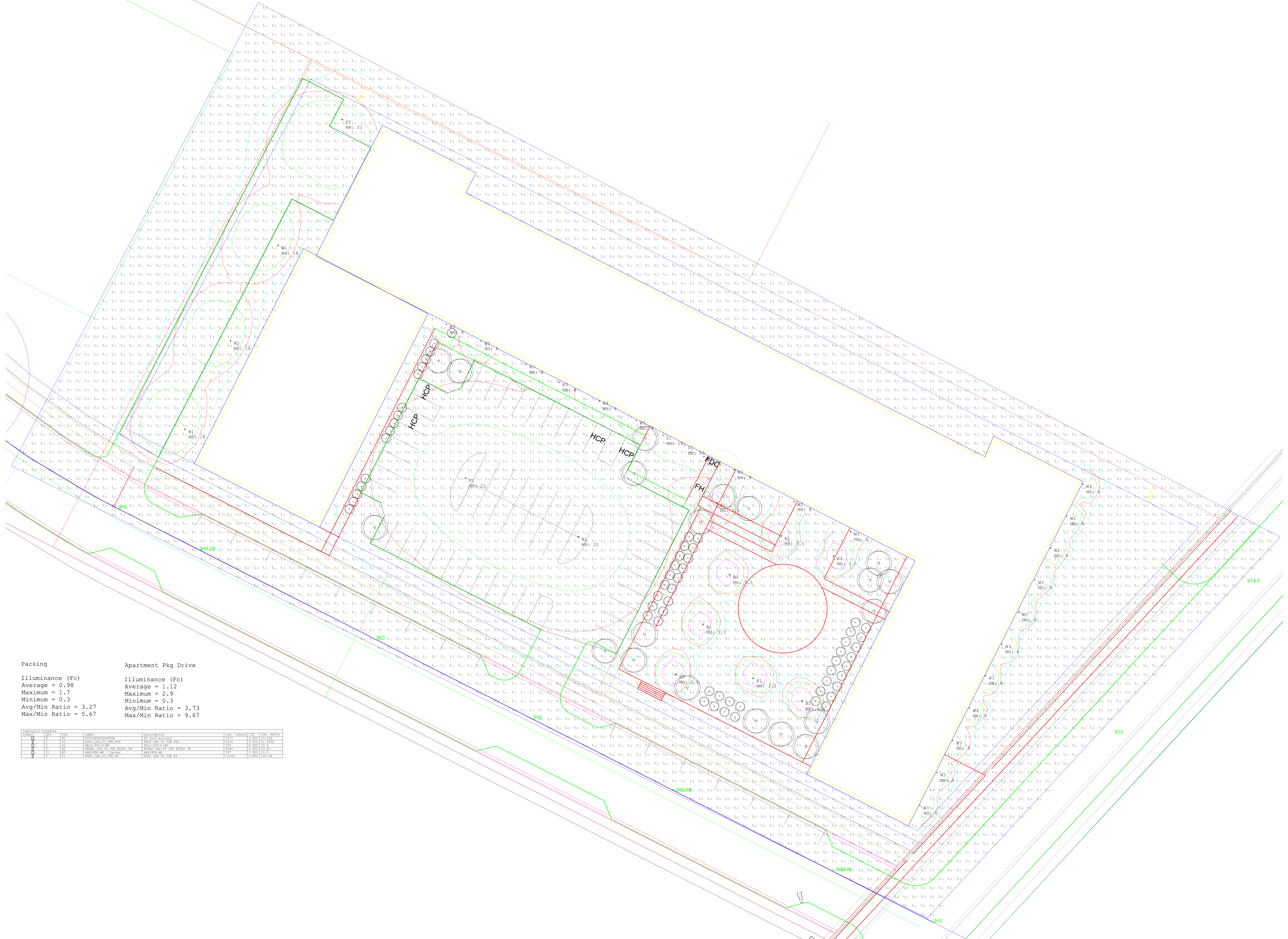


JLA
ARCHITECTS

OCHALLA MIXED-USE DEVELOPMENT
DD EXTERIOR DESIGN REVIEW

FEBRUARY 4, 2022

APPENDIX 'F'
SPECIFIC IMPLEMENTATION PLAN
EXTERIOR LIGHTING AND
PHOTOMETRIC PLANS



Parking
 Illuminance (Fc)
 Average = 0.98
 Maximum = 1.7
 Minimum = 0.3
 Avg/Min Ratio = 3.27
 Max/Min Ratio = 5.67

Apartment Pkg Drive
 Illuminance (Fc)
 Average = 1.12
 Maximum = 2.9
 Minimum = 0.3
 Avg/Min Ratio = 3.73
 Max/Min Ratio = 9.67

Symbol	Color	Label	Description	Symbol	Color	Label	Description
W1	Blue	W1	W1 MH: 8	W2	Blue	W2	W2 MH: 8
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W9	Blue	W9	W9 MH: 8	W10	Blue	W10	W10 MH: 8
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W83	Blue	W83	W83 MH: 8	W84	Blue	W84	W84 MH: 8
W84	Blue	W84	W84 MH: 8	W85	Blue	W85	W85 MH: 8
W85	Blue	W85	W85 MH: 8	W86	Blue	W86	W86 MH: 8
W86	Blue	W86	W86 MH: 8	W87	Blue	W87	W87 MH: 8
W87	Blue	W87	W87 MH: 8	W88	Blue	W88	W88 MH: 8
W88	Blue	W88	W88 MH: 8	W89	Blue	W89	W89 MH: 8
W89	Blue	W89	W89 MH: 8	W90	Blue	W90	W90 MH: 8
W90	Blue	W90	W90 MH: 8	W91	Blue	W91	W91 MH: 8
W91	Blue	W91	W91 MH: 8	W92	Blue	W92	W92 MH: 8
W92	Blue	W92	W92 MH: 8	W93	Blue	W93	W93 MH: 8
W93	Blue	W93	W93 MH: 8	W94	Blue	W94	W94 MH: 8
W94	Blue	W94	W94 MH: 8	W95	Blue	W95	W95 MH: 8
W95	Blue	W95	W95 MH: 8	W96	Blue	W96	W96 MH: 8
W96	Blue	W96	W96 MH: 8	W97	Blue	W97	W97 MH: 8
W97	Blue	W97	W97 MH: 8	W98	Blue	W98	W98 MH: 8
W98	Blue	W98	W98 MH: 8	W99	Blue	W99	W99 MH: 8
W99	Blue	W99	W99 MH: 8	W100	Blue	W100	W100 MH: 8

FCBT690



Date:	Approved:
Type:	
Fixture:	
Project:	

FCBT690 Exterior die-cast aluminum bollard with right angle head position tower. Available in 42" and 36" height. Designed and built to illuminate the ground and/or pathways safely without glare. **FCBT690** has an extremely wide-throw beam pattern covering 30'–35' wide and still measuring greater than 1 foot candle. It also has a forward throw of approximately 14 feet. Matches up with FCBT690S, 24" high version.

SPECIFICATIONS

PHYSICAL

dimensions	42"H or 36"H x 8"W x 9"D at top (3"D at base)
weight	12 lbs
housing	marine grade, corrosion resistant, heavy guage aluminum
lens	impact resistant, UV stabilized, clear, polycarbonate diffuser
mounting	heavy gauge base bracketing for bollard installation provides a unique mounting solution, so the tower body anchors flush to the ground without the appearance of a base plate, anchor bolts included (j-box by others)
ingress protection	IP66: dry, damp, or wet locations with extruded silicone gasket to seal out contaminants
finish	Six stage chemical iron phosphate conversion pre-treatment. Polyester powder coat finish, 18 µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida / AAMA 2604 specification.

PERFORMANCE

color temperature	2700K	3000K	3500K	4000K
lumen output offerings	479 lm	958 lm	1436 lm	1915 lm
lifetime	> 70,000 hours / L70 or better			
color consistency	3 SDCM / 85 CRI			
operating temperature	-49°F to 104°F (-45°C to 40°C)			
junction temperature	73°C @ T ^a 25°C			
warranty	5-Year limited warranty (refer to website for details)			

ELECTRICAL

input voltage	Universal 120-277VAC optional: 347 VAC (integral) 480 VAC (integral)
power supply	Integral Class II, electronic, high power factor > 94% @120V
certification	ETL/cETL Listed
standards	UL1598 / CSA C22.2 No. 250.0; UI 8750 / CSA C22.2 No. 250.13 / IES LM-79 / LM-80
power consumption	7W (479 lm) minimum, 26W (1915 lm) maximum
dimming	standard: 0-10V (10%) optional: ELV (120V only) / DMX (integral)/DALI (integral)

Z QUICK SHIP PRODUCT visit fclighting.com

Due to continuous development and improvements, specifications are subject to change without notice. FC Lighting reserves the right to change lab test details or specifications without notice. Product use certifies agreement to FC Lighting terms and conditions. FCC Series Cylinder Lights are engineered and produced in our Illinois manufacturing facility.

US Commercial Lighting Manufacturer Since 1982

Specification Sheet



Ordering Information

ORDERING INFORMATION

SERIES	VOLTAGE	HEIGHT	CCT	LUMENS	FINISH	OPTIONS	
FCBT690	UNV UNV 120V-277V	42 42"	27K 2700K	5L 479 lm (7W)	BK Black	CD Cane Detector	
	347V 347V AC (<i>Integral</i>)	36 36"	3K 3000K	10L 958 lm (13W)	BZ Bronze	LD 0-10V Dimming (Standard)	
	480V 480V AC (<i>Integral</i>)			35K 3500K	14L 1436 lm (20W)	SL Silver	ELV ELV Dimming (<i>120 Only</i>)
				4K 4000K	19L 1915 lm (26W)	WH White	DMX DMX Dimming (<i>Integral</i>)
					CC Custom Color	DALI DALI Dimming (<i>Integral</i>)	
						SP20 20kV Surge Protector	
						BBU Battery Backup, Integral (Not w/ ELV)	
						SP20-BBU (2) 20kV Surge Protectors (1/LED driver, 1/BBU) and Battery Backup (Integral)	
						HS 180° House Shield	
						HS2 270° House Shield	

Consult Factory for other options and configurations.

To ensure you receive proper configurations for your lighting specifications, contact us directly about any unique application requirements. This may include but not be limited to lumen output, mounting needs, or electrical components.



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Physical

PRODUCT DIMENSIONS - STANDARD PRODUCT		MOUNTING	
height	42"H or 36"H	mounting plate depth	3" D
width	8" W	mounting plate width	8" W
depth	9" D top	anchor bolt size	3/8"Ø x 12"L x 2" Tang
depth	3" D base		

Anchor Bolt Part #	94523B-4
Quantity Required	4 for each bollard

mounting hole pattern

Base Mount Detail

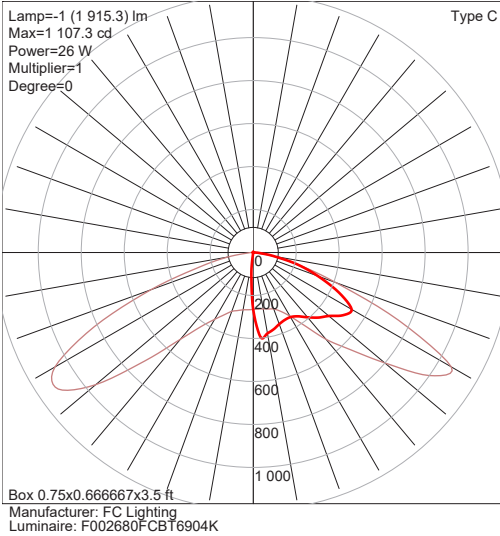
Bollard uniquely attaches flush at the base to the mounting surface with no visual sign of a base plate.

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Photometry & Accessories

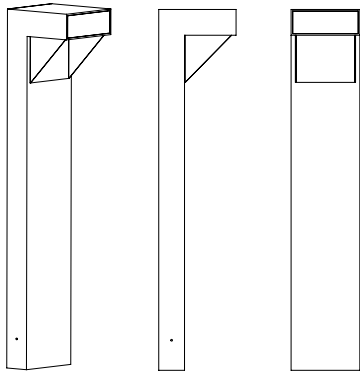
OPTICAL DISTRIBUTION



ACCESSORIES

FIND IES FILES ON FCLIGHTING.COM

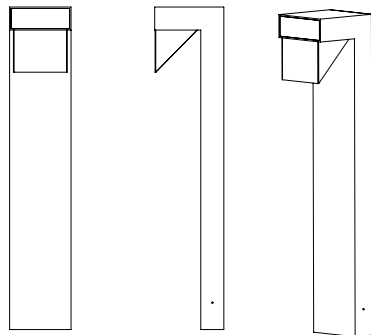
HS - House Shield that blocks light out the sides



Use the 180° House Side Shield (HS) to protect beach side areas where fixtures are installed.

HS Height: 5.5" H

HS2 - House Shield that blocks light out the front



Use the (HS2) front House Shield to protect beach side areas where fixtures are installed.

HS Height: 5.5" H

CD - Cane Detector

foot depth	add 3" D at column base
foot width	8" W

SHOWS FCBT690 W/ CANE DETECTION



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RSX1 LED Area Luminaire

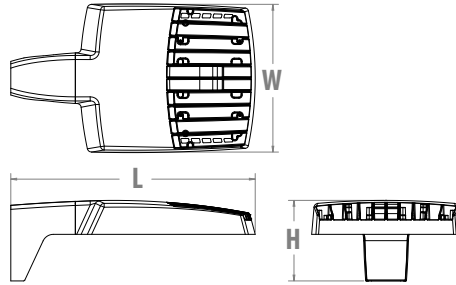


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA (ft²@0°):	0.57 ft ² (0.05 m ²)
Length:	21.8" (55.4 cm) (SPA mount)
Width:	13.3" (33.8 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight: (SPA mount):	22.0 lbs (10.0 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Ordering Information

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1 P2 P3 P4	30K 3000K 40K 4000K 50K 5000K	R2 Type 2 Wide R3 Type 3 Wide R3S Type 3 Short R4 Type 4 Wide R4S Type 4 Short R5 Type 5 Wide ¹ R5S Type 5 Short ¹ AFR Automotive Front Row AFRR90 Automotive Front Row Right Rotated AFRL90 Automotive Front Row Left Rotated	MVOLT (120V-277V) ² HVOLT (347V-480V) ³ XVOLT (277V-480V) ⁴ (use specific voltage for options as noted) 120 ³ 277 ⁵ 208 ³ 347 ⁵ 240 ³ 480 ⁵	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°) RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁶ WBA Wall bracket ¹ WBASC Wall bracket with surface conduit box AASP Adjustable tilt arm square pole mounting ⁶ AARP Adjustable tilt arm round pole mounting ⁶ AAWB Adjustable tilt arm with wall bracket ⁶ AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁶

Options	Finish
<p>Shipped Installed</p> <p>HS House-side shield⁷</p> <p>PE Photocontrol, button style^{8,9}</p> <p>PEX Photocontrol external threaded, adjustable^{9,10}</p> <p>PER7 Seven-wire twist-lock receptacle only (no controls)^{9,11,12,13}</p> <p>CE34 Conduit entry 3/4" NPT (Qty 2)</p> <p>SF Single fuse (120, 277, 347)⁵</p> <p>DF Double fuse (208, 240, 480)⁵</p> <p>SPD20KV 20KV Surge pack (10KV standard)</p> <p>FAO Field adjustable output^{9,13}</p> <p>DMG 0-10V dimming extend out back of housing for external control (control ordered separate)^{9,13}</p>	<p>Shipped Installed</p> <p>*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)</p> <p>NLTAIR2 nLight AIR generation 2^{13,14,15}</p> <p>PIRHN Networked, Bi-Level motion/ambient sensor (for use with NLTAIR2)^{13,15,16}</p> <p>BAA Buy America(n) Act Compliant</p> <p>*Note: PIRHN with nLight Air can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted.</p> <p>Shipped Separately (requires some field assembly)</p> <p>EGS External glare shield⁷</p> <p>EGFV External glare full visor (360° around light aperture)⁷</p> <p>BS Bird spikes¹⁷</p>
	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DDBTXD Textured Dark Bronze</p> <p>DBLTXD Textured Black</p> <p>DNATXD Textured Natural Aluminum</p> <p>DWHGXD Textured White</p>



Ordering Information

Accessories

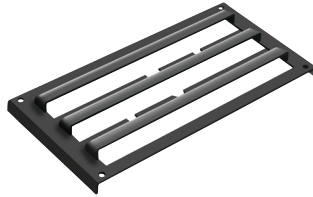
Ordered and shipped separately.

RSX1HS	RSX1 House side shield (includes 1 shield)
RSX1HSAFRUR	RSX1 House side shield for AFR rotated optics (includes 1 shield)
RSX1EGS (FINISH) U	External glare shield (specify finish)
RSX1EGFV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) ¹⁸
DLL347F 1.5 CUL JU	Photocell -SSL twist-lock (347V) ¹⁸
DLL480F 1.5 CUL JU	Photocell -SSL twist-lock (480V) ¹⁸
DSHORT SBK U	Shorting cap ¹⁸

NOTES

- 1 Any Type 5 distribution, is not available with WBA.
- 2 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 3 HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- 4 XVOLT driver not available with P1 or P2. XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE or PEX.
- 5 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 6 Maximum tilt is 90° above horizontal.
- 7 It may be ordered as an accessory.
- 8 Requires MVOLT or 347V.
- 9 Not available in combination with other light sensing control options (following options cannot be combined: PE, PEX, PER7, FAO, DMG, PIRHN).
- 10 Requires 120V, 208V, 240V or 277V.
- 11 Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included. Dimming leads capped for future use.
- 12 For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
- 13 Two or more of the following options cannot be combined including DMG, PER7, FAO and PIRHN.
- 14 Must be ordered with PIRHN.
- 15 Requires MVOLT or HVOLT.
- 16 Must be ordered with NLTAIR2. For additional information on PIRHN visit [here](#).
- 17 Must be ordered with fixture for factory pre-drilling.
- 18 Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

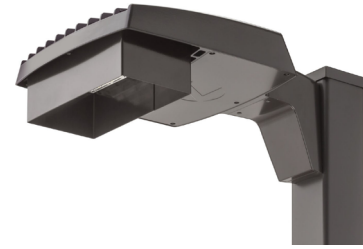
External Shields



House Side Shield



External Glare Shield

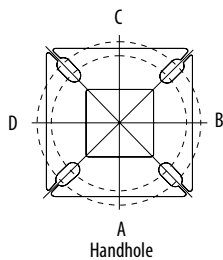


External 360 Full Visor

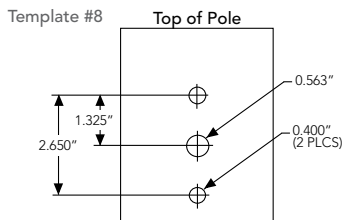
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

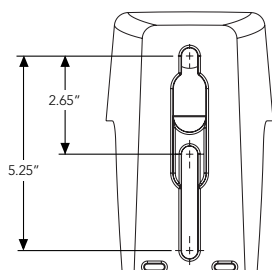
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM & ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
2 - 3/8"	RPA, AARP	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
2 - 7/8"	RPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill/Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
#8	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX1 - Luminaire EPA

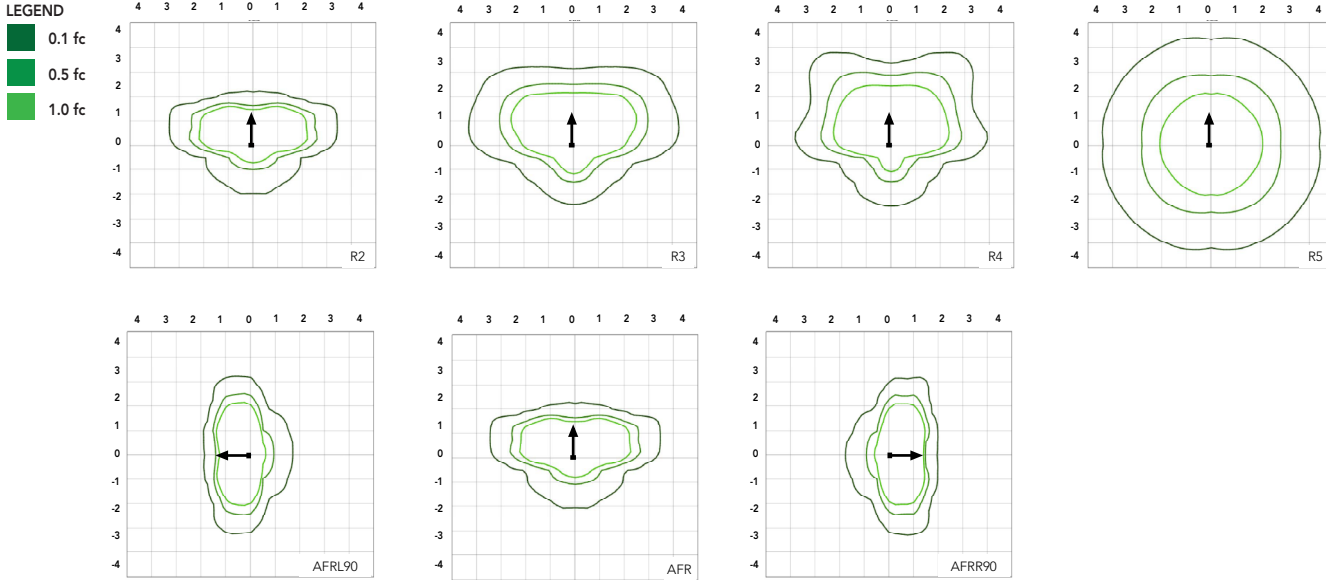
*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side	
SPA - Square Pole Adaptor	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26	
RPA - Round Pole Adaptor	0.62	1.08	1.15	1.62	1.46	2.13	1.36	1.8	2.36	
MA - Mast Arm Adaptor	0.49	0.95	0.89	1.36	1.2	1.87	1.23	1.54	2.1	
IS - Integral Slipfitter AASP/AARP - Adjustable Arm Square/Round Pole	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
	10°	0.68	1.34	1.33	2	1.74	2.64	1.35	2.03	2.71
	20°	0.87	1.71	1.73	2.56	2.26	3.42	1.75	2.62	3.49
	30°	1.24	2.19	2.3	3.21	2.87	4.36	2.49	3.73	4.97
	40°	1.81	2.68	2.98	3.85	3.68	5.30	3.62	5.43	7.24
	45°	2.11	2.92	3.44	4.2	4.08	5.77	4.22	6.33	8.44
	50°	2.31	3.17	3.72	4.52	4.44	6.26	4.62	6.94	9.25
	60°	2.71	3.66	4.38	5.21	5.15	7.24	5.43	8.14	10.86
	70°	2.78	3.98	4.54	5.67	5.47	7.91	5.52	8.27	11.03
	80°	2.76	4.18	4.62	5.97	5.76	8.31	5.51	8.27	11.03
90°	2.73	4.25	4.64	6.11	5.91	8.47	5.45	8.18	10.97	

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [RSX Area homepage](#).

Isofootcandle plots for the RSX1 LED P4 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	51W	0.42	0.25	0.21	0.19	0.14	0.11
P2	72W	0.60	0.35	0.30	0.26	0.21	0.15
P3	109W	0.91	0.52	0.45	0.39	0.31	0.23
P4	133W	1.11	0.64	0.55	0.48	0.38	0.27

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.



COMMERCIAL OUTDOOR

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

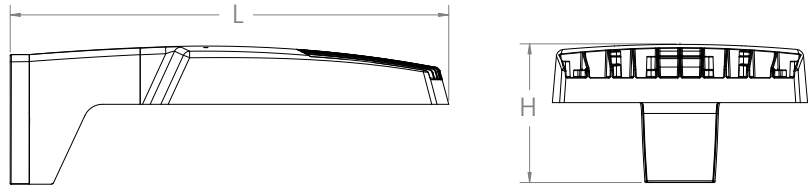
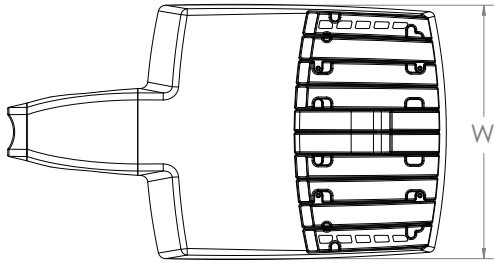
Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	51W	R2	6,482	1	0	1	126	7,121	1	0	1	139	7,121	1	0	1	139
		R3	6,459	1	0	2	127	7,096	1	0	2	139	7,096	1	0	2	139
		R3S	6,631	1	0	1	129	7,286	1	0	2	142	7,286	1	0	2	142
		R4	6,543	1	0	2	128	7,189	1	0	2	141	7,189	1	0	2	141
		R4S	6,313	1	0	1	124	6,936	1	0	1	136	6,936	1	0	1	136
		R5	6,631	3	0	2	130	7,286	3	0	2	143	7,286	3	0	2	143
		R5S	6,807	3	0	1	133	7,479	3	0	1	147	7,479	3	0	1	147
		AFR	6,473	1	0	1	127	7,112	1	0	1	139	7,112	1	0	1	139
		AFRR90	6,535	2	0	2	127	7,179	2	0	2	140	7,179	2	0	2	140
		AFRL90	6,562	2	0	1	128	7,210	2	0	2	140	7,210	2	0	2	140
P2	72W	R2	8,991	2	0	1	123	9,878	2	0	1	135	9,878	2	0	1	135
		R3	8,959	2	0	2	124	9,843	2	0	2	137	9,843	2	0	2	137
		R3S	9,198	2	0	2	126	10,106	2	0	2	139	10,106	2	0	2	139
		R4	9,077	2	0	2	126	9,972	2	0	2	139	9,972	2	0	2	139
		R4S	8,757	1	0	2	122	9,622	2	0	2	134	9,622	2	0	2	134
		R5	9,198	4	0	2	128	10,106	4	0	2	140	10,106	4	0	2	140
		R5S	9,443	3	0	1	131	10,374	3	0	1	144	10,374	3	0	1	144
		AFR	8,979	2	0	1	125	9,865	2	0	1	137	9,865	2	0	1	137
		AFRR90	9,064	3	0	2	124	9,959	3	0	2	137	9,959	3	0	2	137
		AFRL90	9,102	3	0	2	125	10,001	3	0	2	137	10,001	3	0	2	137
P3	109W	R2	12,808	2	0	1	117	14,072	2	0	2	129	14,072	2	0	2	129
		R3	12,763	2	0	2	117	14,023	2	0	2	129	14,023	2	0	2	129
		R3S	13,104	2	0	2	120	14,397	2	0	2	132	14,397	2	0	2	132
		R4	12,930	2	0	2	119	14,206	2	0	2	130	14,206	2	0	2	130
		R4S	12,475	2	0	2	114	13,707	2	0	2	126	13,707	2	0	2	126
		R5	13,104	4	0	2	120	14,397	4	0	2	132	14,397	4	0	2	132
		R5S	13,452	3	0	2	123	14,779	3	0	2	136	14,779	3	0	2	136
		AFR	12,791	2	0	1	117	14,053	2	0	2	129	14,053	2	0	2	129
		AFRR90	12,913	3	0	3	118	14,187	3	0	3	130	14,187	3	0	3	130
		AFRL90	12,967	3	0	2	118	14,247	3	0	3	130	14,247	3	0	3	130
P4	133W	R2	14,943	2	0	2	112	16,417	2	0	2	123	16,417	2	0	2	123
		R3	14,890	2	0	3	112	16,360	2	0	3	123	16,360	2	0	3	123
		R3S	15,287	2	0	2	115	16,796	2	0	2	126	16,796	2	0	2	126
		R4	15,085	2	0	3	113	16,574	2	0	3	125	16,574	2	0	3	125
		R4S	14,554	2	0	2	109	15,991	2	0	2	120	15,991	2	0	2	120
		R5	15,287	4	0	2	115	16,796	4	0	2	126	16,796	4	0	2	126
		R5S	15,693	4	0	2	118	17,242	4	0	2	130	17,242	4	0	2	130
		AFR	14,923	2	0	2	112	16,395	2	0	2	123	16,395	2	0	2	123
		AFRR90	15,065	3	0	3	113	16,551	3	0	3	124	16,551	3	0	3	124
		AFRL90	15,128	3	0	3	114	16,621	3	0	3	125	16,621	3	0	3	125

Dimensions & Weights

Luminaire Weight by Mounting Type

Mounting Configuration	Total Luminaire Weight
SPA	22 lbs
RPA	24 lbs
MA	22 lbs
WBA	25 lbs
WBASC	28 lbs
IS	25 lbs
AASP	25 lbs
AARP	27 lbs
AAWB	28 lbs
AAWSC	31 lbs

RSX1 with Round Pole Adapter (RPA)

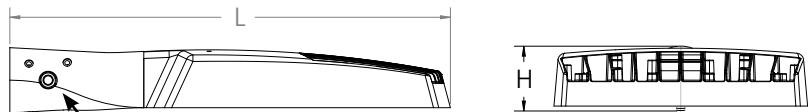
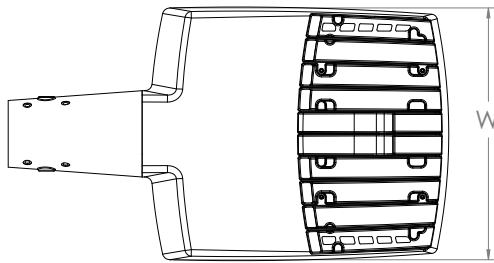


Note: RPA — Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



Length: 22.8" (57.9 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.4 cm) Arm

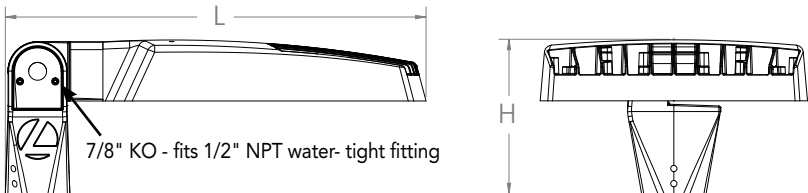
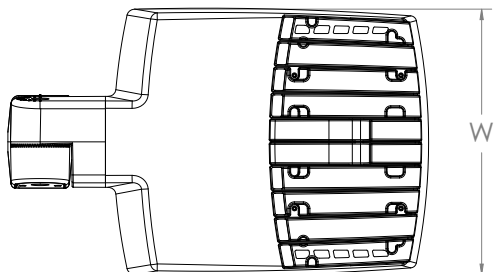
RSX1 with Mast Arm Adapter (MA)



7/16" locking thru bolt/nut provided

Length: 23.2" (59.1 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 3.5" (8.9 cm) Arm

RSX1 with Adjustable Slipfitter (IS)



7/8" KO - fits 1/2" NPT water-tight fitting

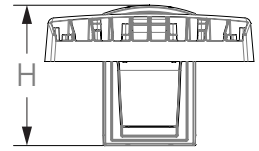
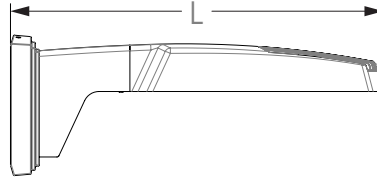
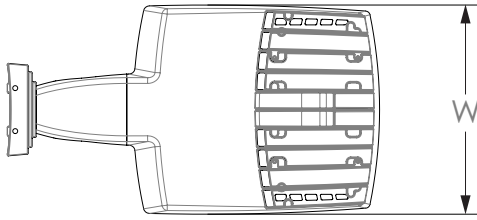
Length: 20.7" (52.7 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.6" (19.3 cm) Arm



COMMERCIAL OUTDOOR

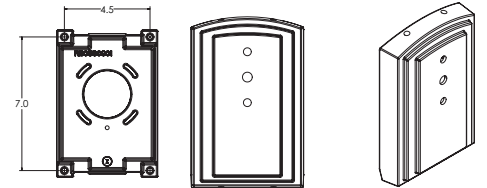
Dimensions

RSX1 with Wall Bracket (WBA)

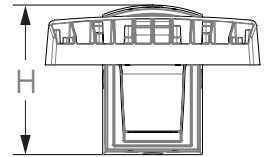
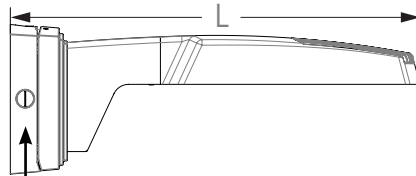
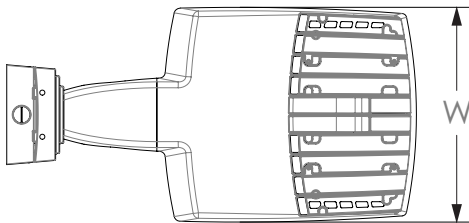


Length: 23.6" (59.9 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



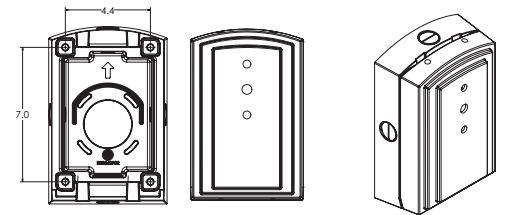
RSX1 with Wall Bracket with Surface Conduit Box (WBASC)



3/4" NPT taps with plugs - Qty (4) provided

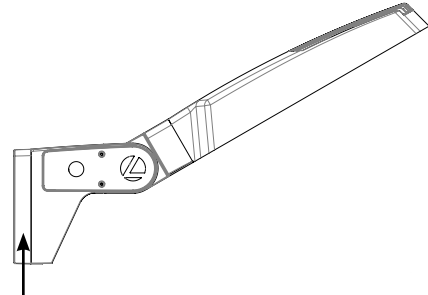
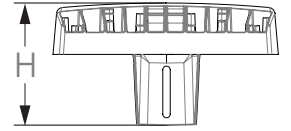
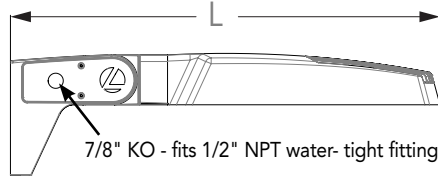
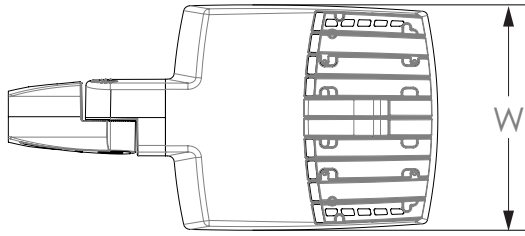
Length: 25.3" (64.3 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

Surface Conduit Box (SCB) Mounting Detail



Dimensions

RSX1 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



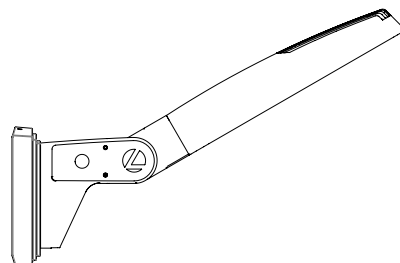
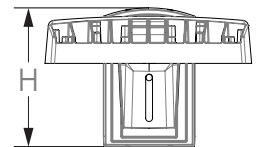
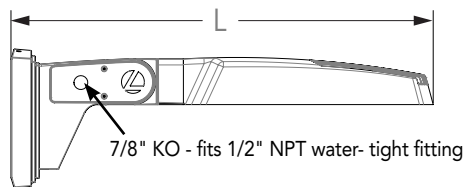
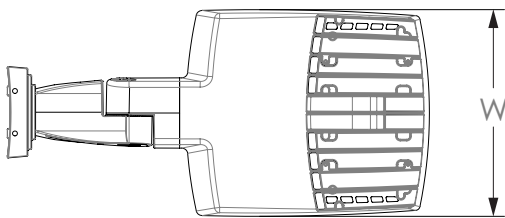
Length: 25.3" (65.3 cm) **AASP**
26.3" (66.8 cm) **AARP**
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.2 cm) Arm

Notes

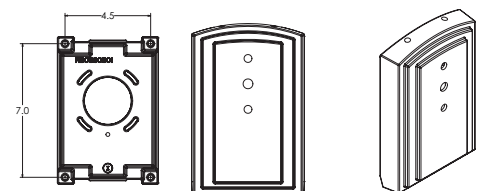
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

RSX1 with Adjustable Tilt Arm with Wall Bracket (AAWB)



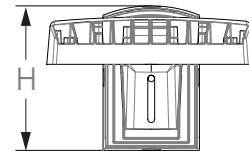
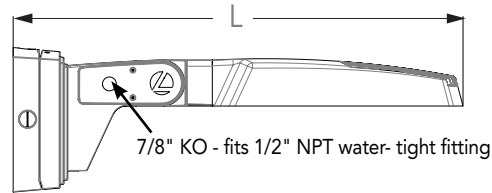
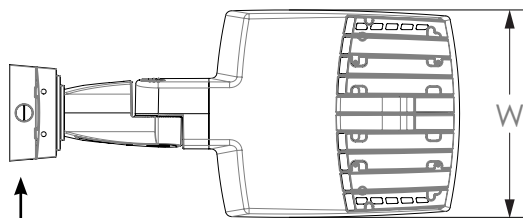
Wall Bracket (WBA) Mounting Detail



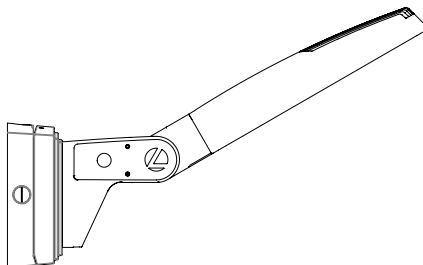
Length: 27.1" (68.8 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
8.9" (22.6 cm) Arm

Dimensions

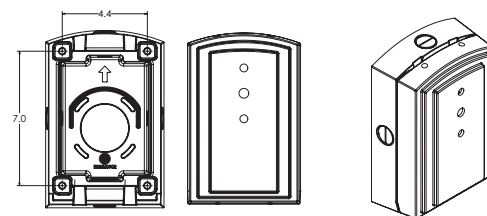
RSX1 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)



3/4" NPT taps with plugs - Qty (4) provided

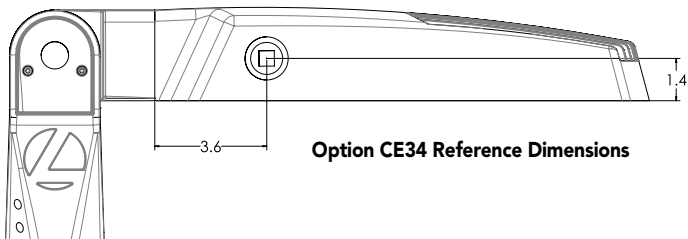


Surface Conduit Box (SCB) Mounting Detail



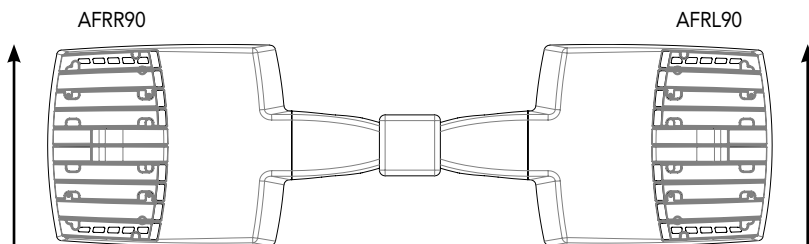
Length: 28.8" (73.2 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

Additional Reference Drawings



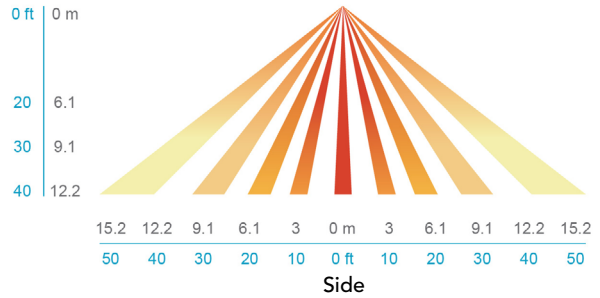
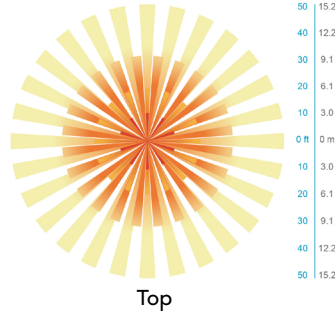
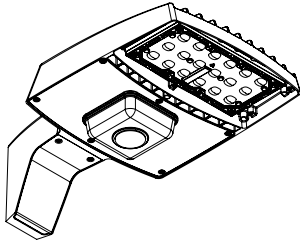
Option CE34 Reference Dimensions

Automotive Front Row - Rotated Optics (AFRL90/R90)



(Example: 2@180 - arrows indicate direction of light exiting the luminaire)

nLight Sensor Coverage Pattern NLTAIR2 PIRHN



Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
NLTAIR2 PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: NLTAIR2 PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clairity Pro App. Sensor coverage pattern shown with luminaire at 0°. Sensor coverage pattern is affected when luminaire is tilted.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX1 delivers 7,000 to 17,000 lumens and is ideal for replacing 70W to 400W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. All mountings are rated for minimum 1.5 G vibration load per ANSI C136.31. 3G Mountings: Include SPA, RPA, MA, IS, AASP, and AARP rated for 3G vibration. 1.5G Mountings: Include WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warrantied not to crack or peel.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row), and AFR rotated AFR90 and ARFL90.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note, the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S. Patent No. D882, 146S

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

JUNO

Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

4" BASICS SERIES™ LED SURFACE MOUNT FIXTURE

 FOR J-BOX OR RECESSED HOUSING
INSTALLATION

4RLS (07LM)


PRODUCT DESCRIPTION

Sleek, ultra-low profile energy efficient LED surface mount fixture • Installs directly onto industry standard junction boxes and round mudrings • When used with accessory retrofit kit, can be installed into 4" IC or non-IC recessed housings • Replaces traditional 65W incandescent fixture performance, delivering 700 lumens • Dimmable with most standard incandescent dimmers and electronic low voltage dimmer • LED surface mount fixture is designed to provide over 50,000 hours of life • 5 year warranty.

PRODUCT SPECIFICATIONS

Construction Decorative beveled aluminum trim frame with white finish • Diffusing dome lens conceals the LEDs from direct view and provides uniform lens luminance.

LED Light Engine LED board mounted directly to aluminum housing designed to provide superior thermal management and ensure long life • 3000K LED color temperature • LED's binned for 3-step MacAdam ellipse color consistency • 90 CRI minimum • Accommodates 120 volts AC at 60Hz • Dimmable with most standard incandescent, magnetic low voltage and electronic low voltage dimmers • For a list of compatible dimmers, see [JUNORETROBASICS-DIM](#).

Electrical Connections Fixture provided with leads for direct wire connection in j-box • Low profile fixture design is free from external electrical components, so j-box volume and box fill is not compromised • Accessory retrofit kit ships with a medium base socket adapter whip for installation as a retrofit trim into 4" incandescent housings with medium base sockets.

Life Rated for 50,000 hours at >70% lumen maintenance.

Labels ENERGY STAR® certified • UL listed for US and Canada • Suitable for damp locations • Suitable for wet locations (indoor covered ceilings) when fixture is sealed to ceiling with field applied caulk (see instruction sheet for details).

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Specifications subject to change without notice.

INSTALLATION

Junction Box Mounting Installs directly to industry standard junction boxes • Compatible boxes include 3-1/2" and 4" octagon junction boxes (1-1/2" minimum depth), round mud rings with 2-3/4" mounting centers, and 3" & 4" diameter non-metallic boxes • Quick-mount strap and spring securement system provides fast installation of fully assembled fixture to junction box • Suitable for ceiling or wall mount • Suitable for use within closet storage spaces when installed per NEC requirements.

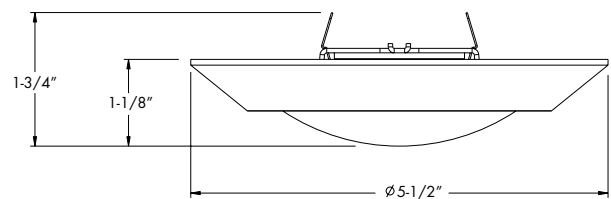
Recessed Housing Mounting (must use 4RLSRETROKIT) The 4RLS fixture is compatible with most 4" recessed housings with an inside diameter between 4" and 4-1/2", and a minimum height of 4".

Compatible 4" Juno housings include:

Juno housings: IC1 and TC1 Series

VuLite housings: V4IC and V4TC Series

DIMENSIONS



ACCESSORY

Catalog Number	Description
4RLSRETROKIT	Allows 4RLS to retrofit in 4" recessed housing. Kit contains: medium base adapter, mounting springs, and electrical connectors.

PERFORMANCE DATA

	30K 90CRI
Input Voltage	120V
Input Power Typical	10W
Frequency	60Hz
EMI/RFI	FCC Title 47, Part 15 Class B (consumer)
Minimum starting temp	-40°C (-40°F)
CRI	90 min.
CCT	3000K

ACCESSORY

Catalog Number	Description
4RLS 07LM 30K 90CRI 120 FRPC WH	4" Juno Basics Surface Mount, 3000K

4" BASICS SERIES™ LED SURFACE MOUNT FIXTURE

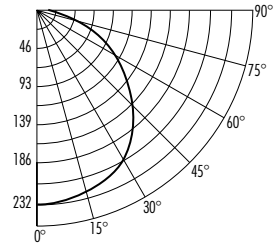
FOR J-BOX OR RECESSED HOUSING INSTALLATION

4RLS (07LM)

PHOTOMETRICS

PHOTOMETRIC REPORT

Test Report#: PT11153002R
 Catalog No: 4RLS 07LM 30K 90CRI 120
 FRPC WH
 Luminaire Spacing Criteria: 1.28
 Luminaire LPW: 70



CANDLEPOWER DISTRIBUTION (Candelas)

Degrees Vertical	0°
0	232
5	231
15	225
25	210
35	188
45	161
55	128
65	94
75	59
85	30
90	19

AVERAGE INITIAL FOOTCANDLES

Multiple Units (Square Array, 60'x60' room)

Ceiling 80%, Walls 50%, Floors 20%

Spacing	RCR1	RCR3	RCR5
4'	46	35	28
5'	30	22	18
6'	21	16	12
7'	17	13	10
8'	13	10	8
9'	10	8	6
10'	7	6	4

ZONAL LUMEN SUMMARY

Zone	Lumens	%Lamp	%Fixture
0-30°	182	N/A	25.1
0-40°	300	N/A	41.3
0-60°	538	N/A	74.1
0-90°	726	N/A	100.0

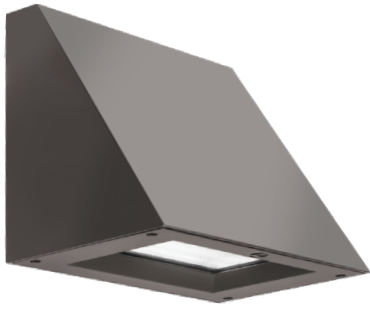
INITIAL FOOTCANDLES

(One Unit: 10.4W, 117° Beam)

Distance to Illuminated Plane (Feet)	Footcandles Beam Center	Beam Diameter
4'	14.5	13.1
6'	6.4	19.6
8'	3.6	26.2
10'	2.3	32.7

LUMINANCE (Average cd/m²)

Angle in Degrees	Average 0-90°
45°	28560
55°	28130
65°	27819
75°	28419
85°	43209



WEDGE2 LED

Architectural Wall Sconce

Visual Comfort Optic



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

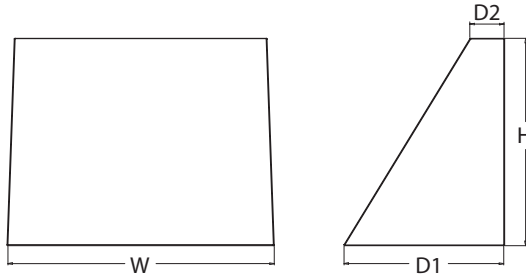
Introduction

The WEDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WEDGE family provides additional energy savings and code compliance.

WEDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WEDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs
(without options)



WEDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WEDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WEDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WEDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WEDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	
WEDGE2 LED	P1 ¹	P1SW	27K 2700K	VF Visual comfort forward throw	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ²	
	P2 ¹	P2SW	30K 3000K				90CRI
	P3 ¹	P3SW	35K 3500K	VW Visual comfort wide	480 ³		
	P4 ¹	Door with small window (SW) is required to accommodate sensors. See page 2 for more details.					40K 4000K
	P5 ¹	50K ² 5000K					

Shipped separately
 AWS 3/8inch Architectural wall spacer
 PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options	Finish
E4WH Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min) E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min) E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min) PE⁴ Photocell, Button Type DS⁵ Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) DMG⁶ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
Standalone Sensors/Controls (only available with P1SW, P2SW & P3SW) PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls (only available with P1SW, P2SW & P3SW) NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	



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WEDGE2 LED
 Rev. 08/31/21

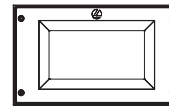
Accessories

Ordered and shipped separately.

WDGEAWS DDBXD	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE2P8BW DDBXD U	WDGE2 surface-mounted back box (specify finish)

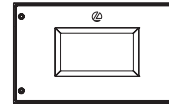
NOTES

- 1 P1-P5 not available with sensors/controls. Sensors/controls only available with P1SW, P2SW and P3SW.
- 2 50K not available in 90CRI
- 3 347V and 480V not available with E4WH, E10WH, E20WC or DS.
- 4 PE not available in 480V or with sensors/controls
- 5 DS option not available with E4WH, E10WH, E20WC or sensors/controls.
- 6 DMG option not available with sensors/controls
- 7 Not qualified for DLC. Not available with emergency battery backup or sensors/controls



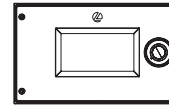
Default configuration with no sensors/controls.

Power Packages: P1, P2, P3, P4, P5



Small Window (SW) configuration

Power Packages: P1SW, P2SW, P3SW



Configuration with sensors/controls

Power Packages: P1SW, P2SW, P3SW

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1 / P1SW	10W	VF	1,166	119	0	0	0	1,209	123	0	0	0	1,251	128	0	0	0	1,256	128	0	0	0	1,254	128	0	0	0
		VW	1,197	122	0	0	0	1,241	126	0	0	0	1,284	131	0	0	0	1,289	131	0	0	0	1,286	131	0	0	0
P2 / P2SW	15W	VF	1,878	129	1	0	0	1,947	134	1	0	0	2,015	139	1	0	0	2,023	139	1	0	0	2,019	139	1	0	0
		VW	1,927	133	1	0	0	1,997	137	1	0	0	2,067	142	1	0	0	2,075	143	1	0	0	2,071	143	1	0	0
P3 / P3SW	23W	VF	2,908	129	1	0	0	3,015	134	1	0	0	3,119	138	1	0	0	3,132	139	1	0	0	3,126	139	1	0	0
		VW	2,983	132	1	0	0	3,093	137	1	0	0	3,200	142	1	0	0	3,213	143	1	0	0	3,206	142	1	0	0
P4	35W	VF	4,096	117	1	0	1	4,247	121	1	0	1	4,394	126	1	0	1	4,412	126	1	0	1	4,403	126	1	0	1
		VW	4,202	120	1	0	0	4,357	125	1	0	1	4,508	129	1	0	1	4,526	129	1	0	1	4,517	129	1	0	1
P5	48W	VF	5,567	115	1	0	1	5,772	119	1	0	1	5,972	123	1	0	1	5,996	124	1	0	1	5,984	124	1	0	1
		VW	5,711	118	1	0	1	5,921	122	1	0	1	6,127	126	1	0	1	6,151	127	1	0	1	6,139	127	1	0	1

Electrical Load

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1 / P1SW	10W	0.082	0.049	0.043	0.038	--	--
	13W	--	--	--	--	0.046	0.033
P2 / P2SW	15W	0.132	0.081	0.072	0.064	--	--
	18W	--	--	--	--	0.056	0.041
P3 / P3SW	23W	0.195	0.114	0.100	0.088	--	--
	26W	--	--	--	--	0.079	0.058
P4	35W	0.302	0.175	0.152	0.134	--	--
	38W	--	--	--	--	0.115	0.086
P5	48W	0.434	0.241	0.211	0.184	--	--
	52W	--	--	--	--	0.157	0.119

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647
E10WH	VF	1,658
	VW	1,701
E20WC	VF	2,840
	VW	2,913

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier	
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



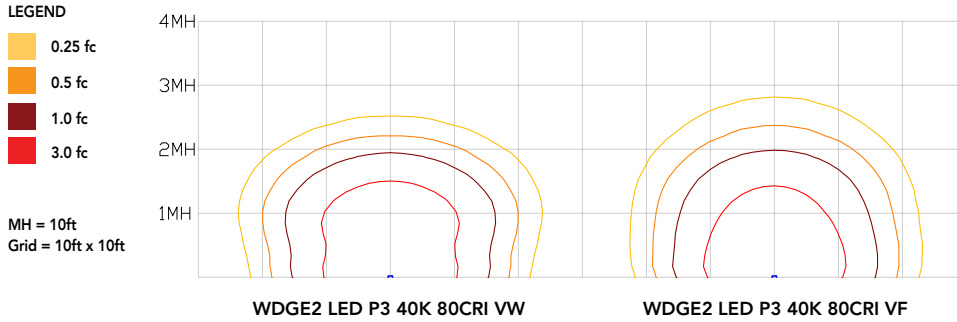
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WDGE2 LED
Rev. 08/31/21

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.



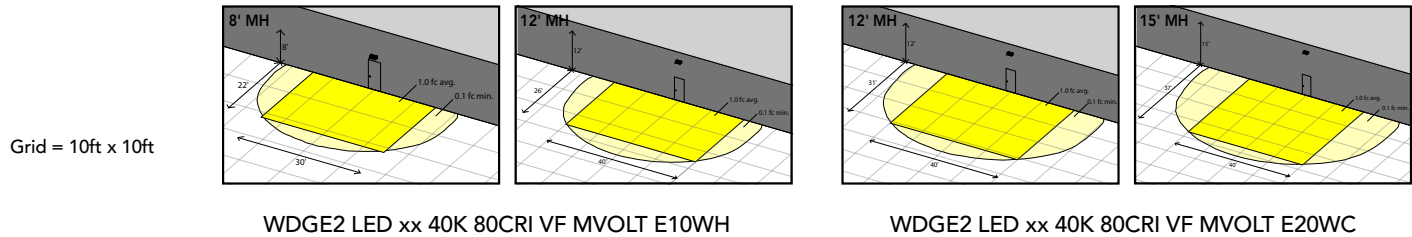
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

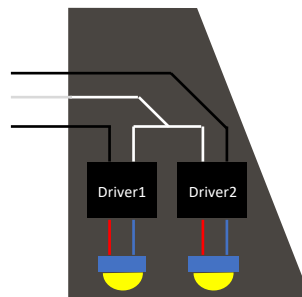
The examples below show illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E10WH or E20WC and VF distribution.



Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Motion/Ambient Sensor (PIR_, PIRH_)

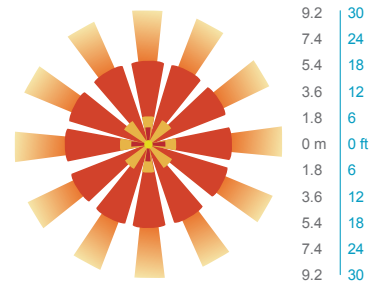
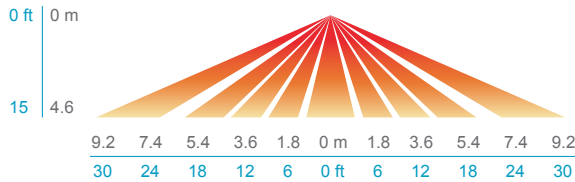
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

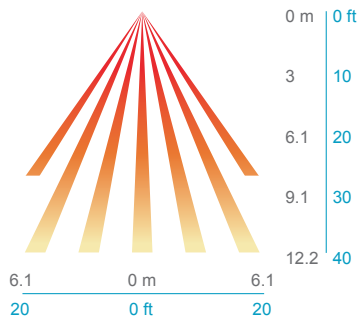
PIR

HIGH VIEW

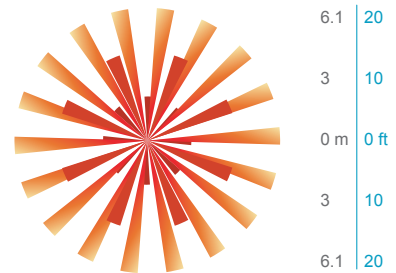


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



NLTAIR2 PIR – nLight AIR Motion/Ambient Sensor

D = 7"

H = 11"

W = 11.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"

H = 9"

W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FARS, DFARS and DOT. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

**CARSON
EW61806**

WALL

PROJECT



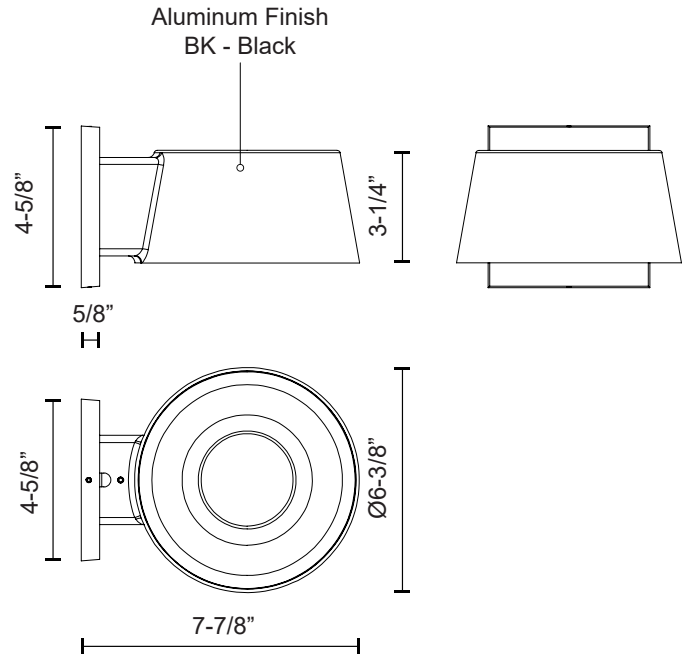
DESCRIPTION

Architectural exterior wall sconce, die-cast aluminum conical body with glossy white reflector for even illumination. Rated IP65.

SPECIFICATION DETAILS

* For custom options, consult factory for details.

Fixture Dimensions	W6-3/8" x H3-1/4" x E7-7/8"
Light Source	LED with DC Driver
Wattage	11W
Total Lumens	1155lm
Delivered Lumens	BK-741lm
Voltage	120-277V
Color Temperature	3000K
CRI (Ra)	80CRI
Optional Color Temps	2700K - 5000K Available, Minimum Order Quantities Apply
LED Rated Life	50,000 hours
Dimming	Non-Dimming
Diffuser Details	Clear PC
Location	Wet, IP65
Warranty	5 Years
Canopy Dimensions	W4-5/8" x H4-5/8" x E1/2"
Finish Option(s)	Black



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CANADA

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COMMENT



RE: Ochalla SIP Revised Submittal 1 of 4

Michael Thorson <michael.thorson@inventure-capital.com>

Fri 2/4/2022 6:44 PM

To: Lisa McNabola <Lisa.McNabola@fitchburgwi.gov>; Deanna Schmidt <Deanna.Schmidt@fitchburgwi.gov>

Cc: 'Andrew Chitwood' <achitwood@jla-ap.com>; 'Ned Hoyt' <ned@happenstancegroup.com.au>; 'Johnathan Lilley' <jlil@vierbicher.com>

 1 attachments (335 KB)

220204 Ochalla Drive Response to Staff Comments.pdf;

EXTERNAL EMAIL: BEWARE OF UNKNOWN ATTACHMENTS AND LINKS.

Please change the reply to Planning Staff Review 1, Comment 3 (on page 2 of the pdf) to the following (it was not reflected in Andy's attached response memo):

3. Why were the 3-bedroom units removed? Staff would prefer to see a more balanced unit mix.

"During design progression, issues were identified with hallway/stairwell fire access code requirements that caused us to modify the single stack of 4 3BR units to a large 2BR unit. We also prefer a diverse unit mix and are exploring ways to return the 3 BR unit stack to the mix, as well as larger 2 BR Den units."

Additionally, please note we had a development team meeting this afternoon to further progress the unit mix and layouts, and we believe we have identified an opportunity to add back the stack of four 3BR units, as well as an additional six 2BR + Den units by shifting some interior walls.

Have a great weekend!

Best

Mike

From: Andrew Chitwood achitwood@jla-ap.com

Sent: Friday, February 4, 2022 2:10 PM

To: Lisa McNabola <Lisa.McNabola@fitchburgwi.gov>; Deanna Schmidt <Deanna.Schmidt@fitchburgwi.gov>

Cc: Michael Thorson <michael.thorson@inventure-capital.com>; Ned Hoyt <ned@happenstancegroup.com.au>; Johnathan Lilley <jlil@vierbicher.com>

Subject: Ochalla SIP Revised Submittal 1 of 4

Lisa,

Attached is the first of 4 PDFs that comprise the revised SIP application reflecting City of Fitchburg staff comments. Answers to each question are included in the overall document as well as a stand alone document in this email. I will be dropping off a hard copy of the submittal this afternoon.

Please look these over and let me know if you need any additional information.

Thanks,
Andy

Andrew Chitwood
Project Manager



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