



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg WI 53711
Phone (608) 270-4200

SCAF-25-40

Article 5 Feedback Letter

Issued to: Cory Frank

Issued Date: September 16, 2025

Location: 4892 BRASSICA RD, Unit , Fitchburg, WI, 53711

Project Name:

This feedback letter contains the comments from our internal departments in regards to your recently submitted Architectural Design & Review Application.

Please read through the feedback and upload any adjusted materials to the form in our OpenGov portal. Also submit an explanation of the changes you've made in a separate attachment.

We require response to feedback to be submitted within 1 week of issuing of this letter.

Only feedback with a status of Open needs a response.

Planning & Zoning Comments

Table with 4 columns: Submitted by, Date, Status, Comment. Row 1: Dan, September 2, 2025, Open, 12 numbered feedback items with status tags like 'Noted', 'Added', 'Corrected'.

Administration Comments

Assessing Comments

Econ Dev Comments

Finance Comments

Fire Comments

Forestry Comments

Parks Comments

Long-Range Planning Comments

PW - General Comments

Tracy Foss

September 11, 2025

Open

1. Five-inch terrace concrete and associated tree grates are required to be installed between the curb & gutter and sidewalk for the subject site prior to occupancy. The material to a depth of 3' in the tree grate area is required to be replaced with topsoil. Tree grates are currently stored on site. Please coordinate installation with the developer. A r/w permit is required for this work. Please update plans to show terrace concrete and tree grates.

Noted and plan updated.

PW - Stormwater/Erosion Control Comments

Ben Schulte

September 3, 2025

Open

Erosion control permit application received on 8/12/25.

PW - Transportation Comments

Ross Kahler

August 29, 2025

Open

- Brassica Rd is incorrectly labelled as Endive Dr. Please Fix. **Corrected**
- City Right of Way (ROW) permit will be required for any work in the ROW, including driveways. This permit can be found at: <https://fitchburgwi.portal.opengov.com/categories/1085/record-types/6486>. **Noted**

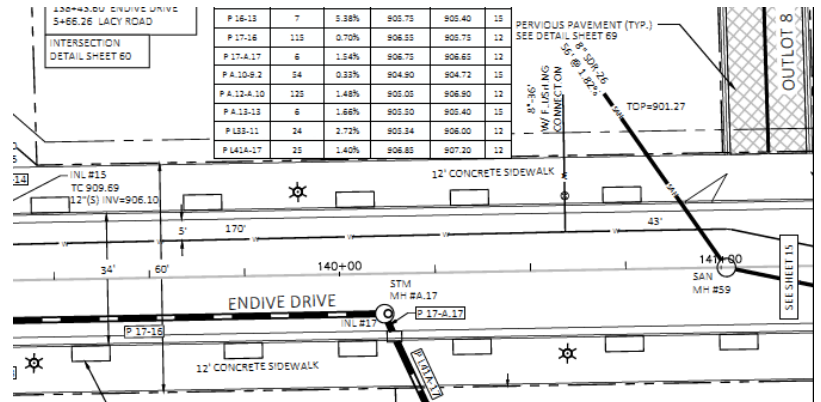
PW - Utilities Comments

Tracy Foss

September 11, 2025

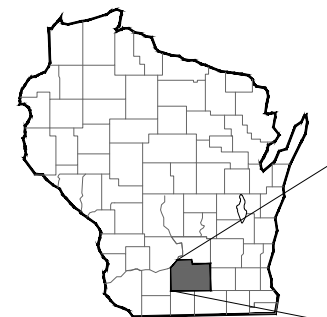
Open

1. Confirm that the existing hydrants provide the required coverage for this building with the Fire Department. **Fire hydrant added per request**
2. Please label the size of the sanitary (8") and water (8") laterals on the plans. See drawing below. **Plan updated**

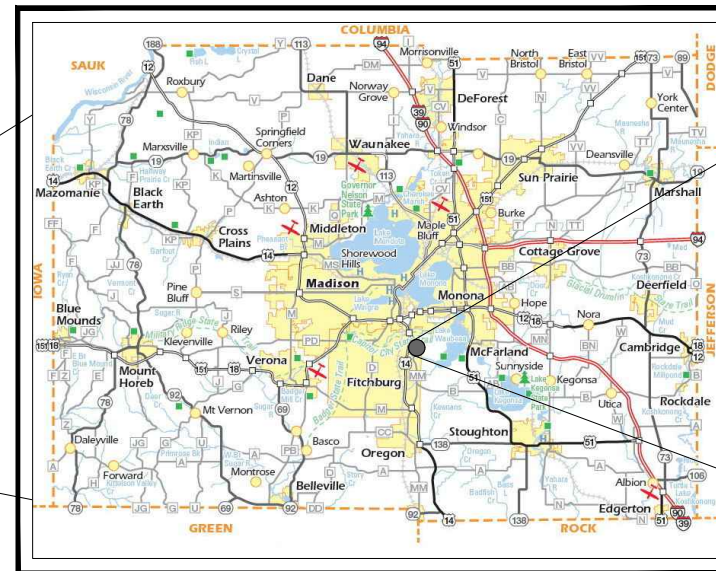


TERRAVESSA LOT 34

SECTION 12, TOWNSHIP 6N, RANGE 9E



REGIONAL MAP



DANE COUNTY



SITE LOCATION MAP

CITY OF FITCHBURG,
DANE COUNTY, WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

CAUTION:

CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. FOR EXACT LOCATION CONTACT DIGGERS HOTLINE 1-800-242-8511

Sheet List Table

Sheet Number	Sheet Title
C100	TITLE
C300	SITE PLAN
C400	GRADING PLAN
C401	EROSION CONTROL PLAN
C500	UTILITY PLAN
C700	PROJECT NOTES
C702	PROJECT DETAILS
L100	LANDSCAPE NOTES
L101	LANDSCAPE DETAILS
L200	PLANTING PLAN

MARK	REVISION	DATE	BY
4	CITY COMMENTS	09-22-25	BCA
3	CITY COMMENTS	09-18-25	BCA
2	CITY COMMENTS	09-15-25	BCA
1	CITY COMMENTS	09-12-25	BCA

Engineer: BCA	Checked By: MLC	Scale: 1" = ##'
Technician: DMS	Date: 07-29-2025	T-R-S: 06N-09E-12

Project No: 125.0892.30

Sheet C100

TERRAVESSA LOT 34

FITCHBURG, DANE COUNTY, WISCONSIN

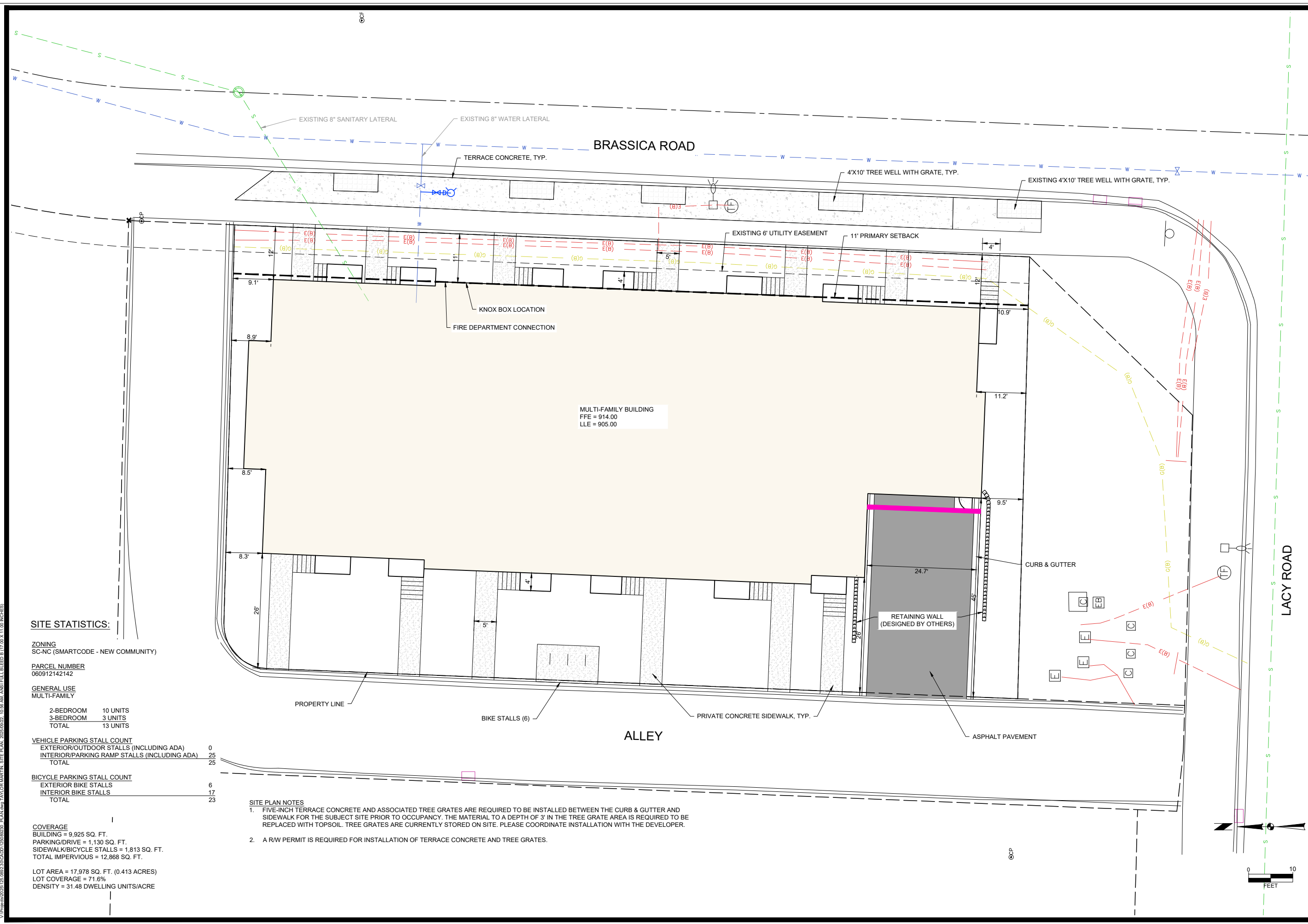
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SITE STATISTICS:

ZONING
SC-NC (SMARTCODE - NEW COMMUNITY)

PARCEL NUMBER
060912142142

GENERAL USE
MULTI-FAMILY

2-BEDROOM	10 UNITS
3-BEDROOM	3 UNITS
TOTAL	13 UNITS

VEHICLE PARKING STALL COUNT

EXTERIOR/OUTDOOR STALLS (INCLUDING ADA)	0
INTERIOR/PARKING RAMP STALLS (INCLUDING ADA)	25
TOTAL	25

BICYCLE PARKING STALL COUNT

EXTERIOR BIKE STALLS	6
INTERIOR BIKE STALLS	17
TOTAL	23

COVERAGE

BUILDING	= 9,925 SQ. FT.
PARKING/DRIVE	= 1,130 SQ. FT.
SIDEWALK/BICYCLE STALLS	= 1,813 SQ. FT.
TOTAL IMPERVIOUS	= 12,868 SQ. FT.

LOT AREA = 17,978 SQ. FT. (0.413 ACRES)
LOT COVERAGE = 71.6%
DENSITY = 31.48 DWELLING UNITS/ACRE

SITE PLAN NOTES

- FIVE-INCH TERRACE CONCRETE AND ASSOCIATED TREE GRATES ARE REQUIRED TO BE INSTALLED BETWEEN THE CURB & GUTTER AND SIDEWALK FOR THE SUBJECT SITE PRIOR TO OCCUPANCY. THE MATERIAL TO A DEPTH OF 3" IN THE TREE GRATE AREA IS REQUIRED TO BE REPLACED WITH TOPSOIL. TREE GRATES ARE CURRENTLY STORED ON SITE. PLEASE COORDINATE INSTALLATION WITH THE DEVELOPER.
- A RW PERMIT IS REQUIRED FOR INSTALLATION OF TERRACE CONCRETE AND TREE GRATES.

MARK	REVISION	DATE	BY
4	CITY COMMENTS	09-22-25	BCA
3	CITY COMMENTS	09-18-25	BCA
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Technician: DMS	Date: 07-29-2025	T-R-S: 06N-09E-12

Project No: 125.0892.30

TERRAVESSA LOT 34

SITE PLAN

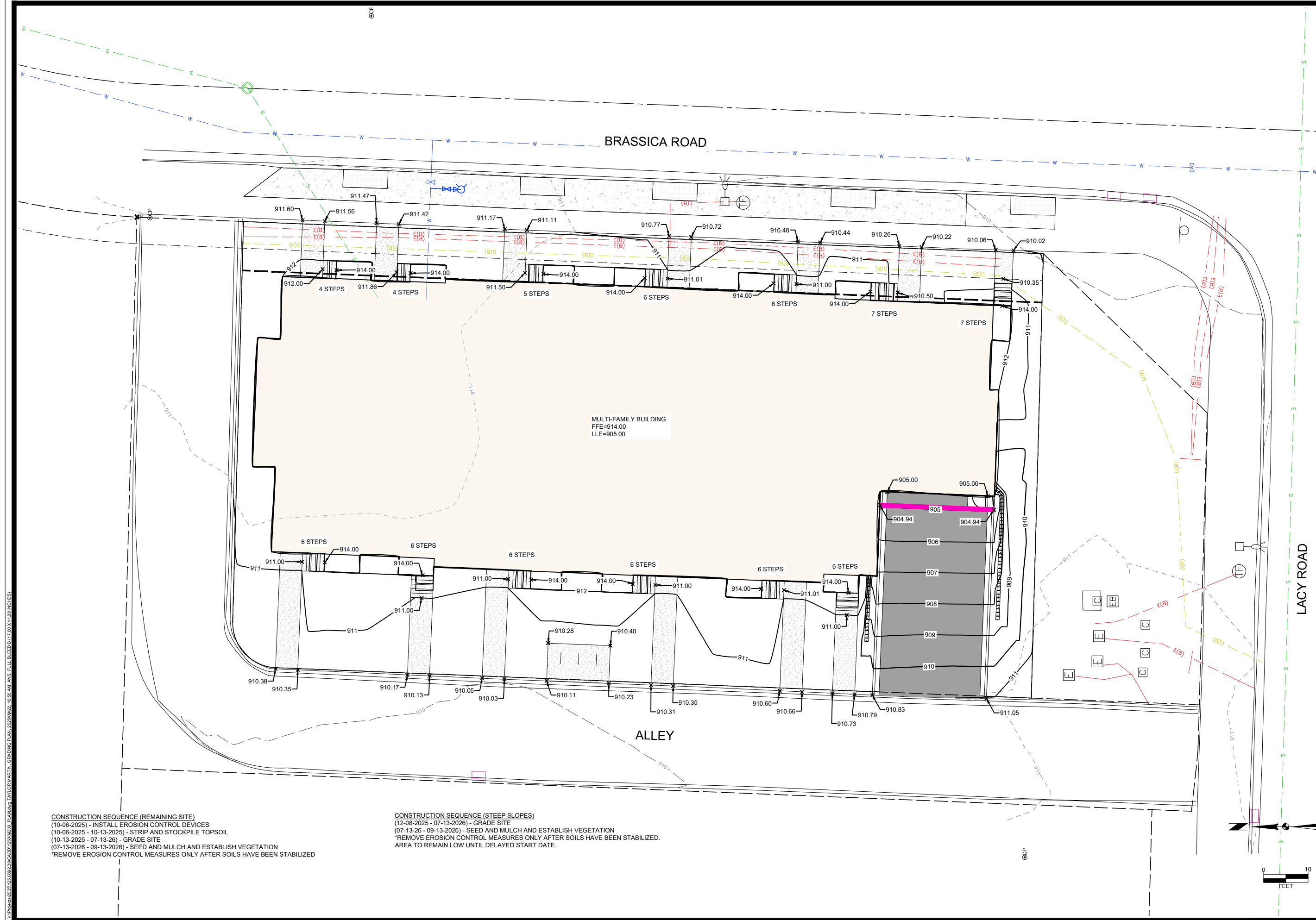
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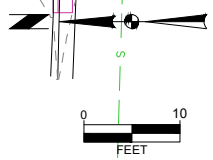
Project No: 125.0892.30

Sheet C300



CONSTRUCTION SEQUENCE (REMAINING SITE)
 (10-06-2025) - INSTALL EROSION CONTROL DEVICES
 (10-06-2025 - 10-13-2025) - STRIP AND STOCKPILE TOPSOIL
 (10-13-2025 - 07-13-26) - GRADE SITE
 (07-13-2026 - 09-13-2026) - SEED AND MULCH AND ESTABLISH VEGETATION
 *REMOVE EROSION CONTROL MEASURES ONLY AFTER SOILS HAVE BEEN STABILIZED

CONSTRUCTION SEQUENCE (STEEP SLOPES)
 (12-08-2025 - 07-13-2026) - GRADE SITE
 (07-13-26 - 09-13-2026) - SEED AND MULCH AND ESTABLISH VEGETATION
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 AREA TO REMAIN LOW UNTIL DELAYED START DATE.

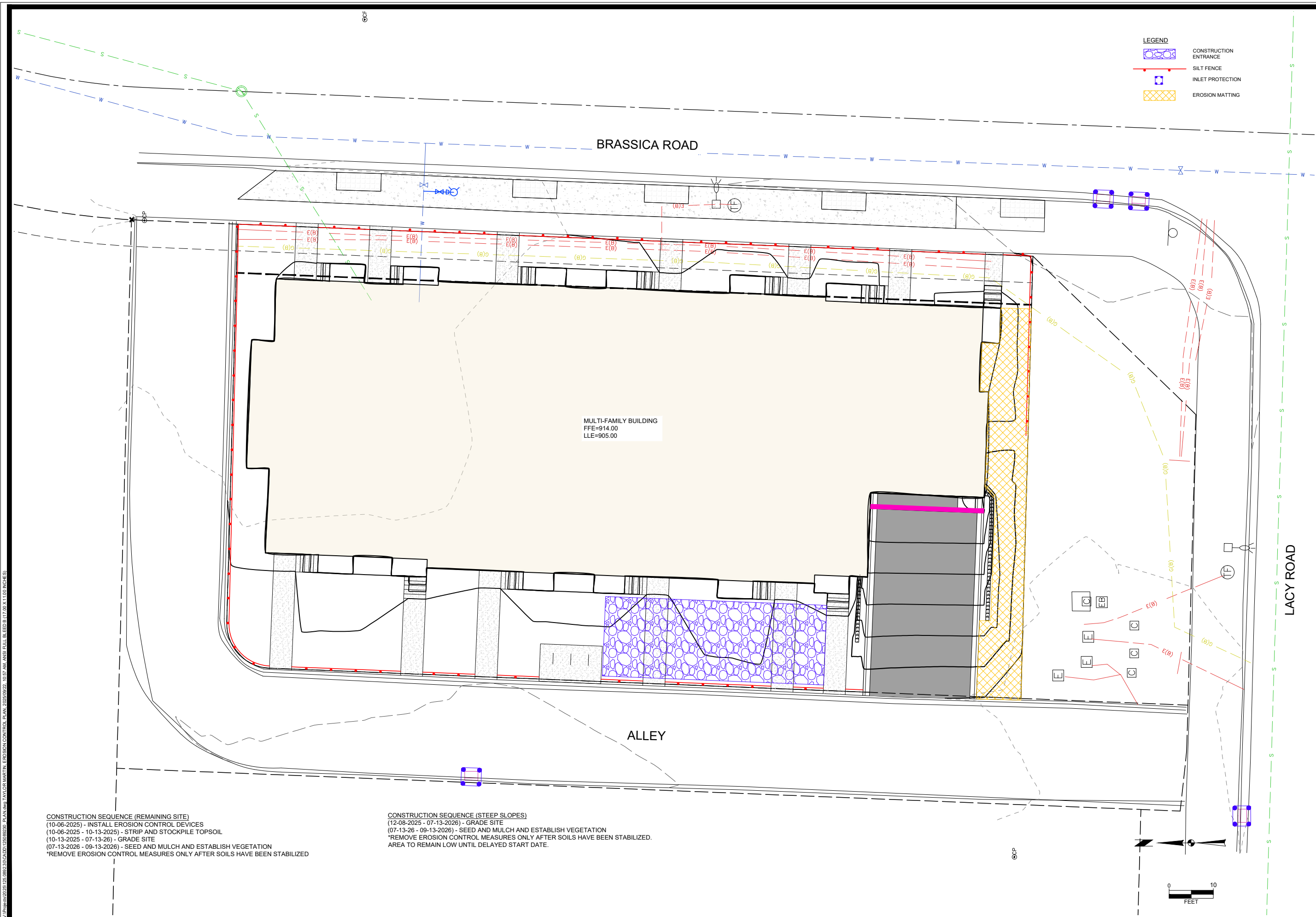


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TERRAVESSA LOT 34
GRADING PLAN
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Project No: 125.0892.30
 Sheet C400

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LEGEND

	CONSTRUCTION ENTRANCE
	SILT FENCE
	INLET PROTECTION
	EROSION MATTING

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 AREA TO REMAIN LOW UNTIL DELAYED START DATE.

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Engineer:	BCA	Checked By:	MLC	Scale:	1" = 10'
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Project No.: 125.0892.30

TERRAVESSA LOT 34
EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC.

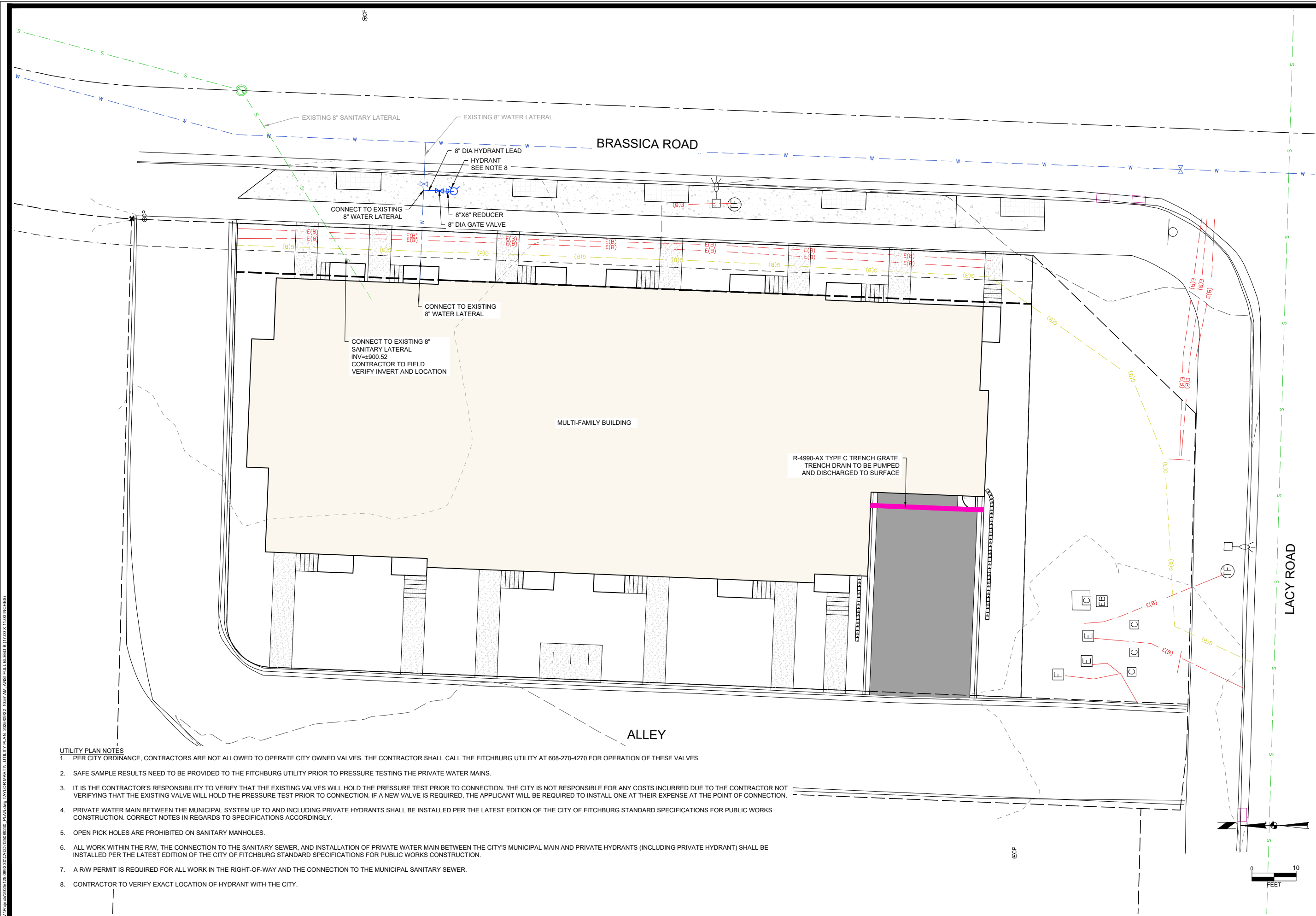
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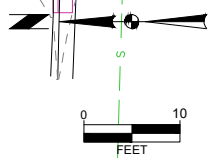
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UTILITY PLAN NOTES

1. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 608-270-4270 FOR OPERATION OF THESE VALVES.
2. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
4. PRIVATE WATER MAIN BETWEEN THE MUNICIPAL SYSTEM UP TO AND INCLUDING PRIVATE HYDRANTS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. CORRECT NOTES IN REGARDS TO SPECIFICATIONS ACCORDINGLY.
5. OPEN PICK HOLES ARE PROHIBITED ON SANITARY MANHOLES.
6. ALL WORK WITHIN THE R/W, THE CONNECTION TO THE SANITARY SEWER, AND INSTALLATION OF PRIVATE WATER MAIN BETWEEN THE CITY'S MUNICIPAL MAIN AND PRIVATE HYDRANTS (INCLUDING PRIVATE HYDRANT) SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
7. A RW PERMIT IS REQUIRED FOR ALL WORK IN THE RIGHT-OF-WAY AND THE CONNECTION TO THE MUNICIPAL SANITARY SEWER.
8. CONTRACTOR TO VERIFY EXACT LOCATION OF HYDRANT WITH THE CITY.



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TERRAVESSA LOT 34
UTILITY PLAN
SNYDER & ASSOCIATES, INC.

FITCHBURG, DANE COUNTY, WISCONSIN

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Sheet C500

GENERAL CONDITIONS

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.

CONCRETE SIDEWALK

- SIDEWALK SHALL BE A MINIMUM OF 5" THICK ON A BASE OF 4" OF 3/4" DENSE AGGREGATE BASE COURSE. SIDEWALKS ACROSS DRIVEWAYS SHALL BE A MINIMUM OF 7" THICK ON A BASE OF 4" 3/4" DENSE AGGREGATE BASE COURSE.
- SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.5%.
- CURB RAMPS AND DETECTABLE WARNING FIELDS (TRUNCATED DOMES) WILL BE REQUIRED AT ALL ADA RAMPS. DETECTABLE WARNING FIELDS SHALL BE NEENAH #4898 OR METAPANEL BY METADOME, LLC, UNPAINTED OR APPROVED EQUAL.

ADDITIONAL UTILITY NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE. SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
- PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL BE A MINIMUM OF 12-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.

CONSTRUCTION SEQUENCE

- INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXITS AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. ADDITIONALLY INSTALL CONSTRUCTION EQUIPMENT PARKING AREAS. STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE. THE TEMPORARY ACCESS POINT SHALL BE PLACED IN THE LOCATION SHOWN ON THE GRADING AND EROSION CONTROL PLAN. THE ENTRANCE/EXITS WILL BE INSPECTED DAILY. IF THE AGGREGATE WITHIN THE TEMPORARY ACCESS PADS BECOMES COVERED WITH SOIL OR IF SIGNIFICANT QUANTITIES OF SOIL ARE TRACKED ONTO THE EXISTING ROADWAY THEN ADDITIONAL AGGREGATE WILL BE INSTALLED TO ALLOW THE ENTRANCE/EXITS TO FUNCTION PROPERLY.
- INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN. THE BARRIERS MUST BE INSTALLED PARALLEL TO THE SITE CONTOURS TO THE EXTENT PRACTICABLE WITH THE ENDS EXTENDED UPSLOPE ONE TO TWO FEET TO PREVENT FLANKING OF THE RUNOFF. AT NO TIME FROM THE START OF ROUGH GRADING UNTIL SITE STABILIZATION SHALL AN UNBROKEN SLOPE EXIST BETWEEN DISTURBED AREAS AND THE RECEIVING WATERS. THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL WILL BE REFERENCED FOR THE PROPER INSTALLATION AND MAINTENANCE OF SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES ON THE SITE.
- STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED, SEEDED AND MULCHED. PLACE SOIL STOCKPILES AT LEAST 25 FEET AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, OR DITCH. ALL TOPSOIL PILES WILL HAVE SILT FENCE PLACED ON THEIR DOWNSLOPE SIDES. TOPSOIL PILES WILL BE SEEDED WITH ANNUAL RYE IF THEY ARE IN PLACE FOR MORE THAN 7 DAYS. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS WILL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH.
- GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS. THE INTENT OF THESE GRADING RESTRICTIONS IS TO PROVIDE AN UNDISTURBED BUFFER AREA ALLOWING ADDITIONAL EROSION AND SEDIMENTATION PROTECTION DURING CONSTRUCTION.

- TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS MUST BE STABILIZED IMMEDIATELY.
- INSTALL ANY UTILITIES.
- COMPLETE FINAL GRADING FOR PARKING LOT & DRIVES AND STABILIZE WITH GRAVEL.
- COMPLETE FINAL GRADE OF THE SITE.
- UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED. TOPSOIL SHALL BE REPLACED, FERTILIZED, SEEDED AND PROTECTED AS CALLED FOR BELOW IN ITEMS 11 AND 12. UTILITY CONSTRUCTION SHALL BE COORDINATED WITH OTHER GRADING ACTIVITIES SO THAT RESTORATION CAN BE COMPLETED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
- WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED. TOPSOIL SHALL BE UNIFORMLY PLACED, GRADED SMOOTH AND SCARIFIED FOR SEEDING.
- FERTILIZE ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM). INCORPORATE THE FERTILIZER INTO THE SOIL BY SCARIFYING AS INDICATED. SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEEDING MIXTURE:
30.50 LBS/ACRE OF KENTUCKY BLUEGRASS
17.50 LBS/ACRE OF RED FESCUE
17.50 LBS/ACRE OF HARD FESCUE
22.00 LBS/ACRE OF PERENNIAL RYE GRASS
THE OWNER RESERVES THE RIGHT TO REVISE THE SEEDING MIXTURE SUBJECT TO APPROVAL BY THE LOCAL MUNICIPALITY.

SOD MAY BE SUBSTITUTED FOR SEEDING ON ALL AREAS TO BE SEEDED AND IS RECOMMENDED FOR ALL AREAS WITH SLOPES OF 5:1 OR STEEPER. MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE EQUIPMENT OR STAKING WITH TWINE.

FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30.

TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE. ADDITIONAL EROSION CONTROL BARRIERS MAY BE NEEDED DOWNSLOPE OF THESE AREAS UNTIL FINAL SEEDING OR SODDING IS COMPLETED IN SPRING (BY JUNE 1). ANY AREAS WITH SLOPES GREATER THAN 6:1 MUST BE SEEDED AND MULCHED BUT NOT TOPSOILED. AREAS WITH SLOPED LESS THAN 6:1 MUST BE TOPSOILED, SEEDED AND MULCHED. ALL AREAS MUST BE TOPSOILED, SEEDED AND MULCHED AS DESCRIBED ABOVE IN THE FOLLOWING GRADING.

- WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION. TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
- SILT FENCE MAINTENANCE: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS ON THE UPSLOPE SIDE ON THE SILT FENCES SHALL BE REMOVED WHEN THE DEPOSITS REACH HALF THE HEIGHT OF THE SILT FENCE.
- GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES. SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE REMOVED IMMEDIATELY. TRACKING PADS MAY REQUIRE PERIODIC CLEANING TO MAINTAIN THE EFFECTIVENESS OF THE PRACTICE, WHICH MAY INCLUDE THE REMOVAL AND RE-INSTALLATION OF THE STONE.
- ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.

EROSION CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISDNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
- ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WisDNR) TECHNICAL STANDARD, FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
- ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL PRACTICES AS NECESSARY.
- TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
- TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WisDOT STANDARD SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
- DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1050.
- SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL AND/OR SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1063.
- TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
- DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 106B.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.
- ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.

- AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WisDNR TECHNICAL STANDARDS.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1, USE CLASS I URBAN, TYPE A EROSION CONTROL MATTING. FOR SLOPES GREATER THAN 4:1 BUT LESS THAN 2.5:1, USE CLASS I URBAN TYPE B. FOR SLOPES GREATER THAN 2.5:1 USE CLASS I TYPE B. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WisDOT'S FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WisDNR TECHNICAL STANDARDS.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE B EROSION CONTROL MATTING. ELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WisDOT'S FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WisDNR TECHNICAL STANDARDS.
- ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE COVERED WITH A BIO-DEGRADABLE EROSION MAT INCLUDING BIO-DEGRADABLE STAPLES.
- ALL BIO-DEGRADABLE EROSION MAT SHALL BE CURLEX NET FREE OR APPROVED EQUAL.
- WATERING OF NEW SEEDING SHALL BE OF A DURATION AND FREQUENCY ADEQUATE TO ENSURE PROPER ESTABLISHMENT OF NEW SEEDING.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

WATER MAIN

- WATER MAIN SHALL BE DUCTILE IRON UNLESS OTHERWISE APPROVED, AND BEDDED WITH TYPE 3 EMBEDMENT (SAND OR SAND SCREENINGS). BEDDING SHALL BE A MINIMUM OF 6" UNDER AND 12" OVER TOP OF THE PIPE.
- FIRE HYDRANT LEADS SHALL BE CLASS 52 DUCTILE IRON AND ALL JOINTS IN THE LEAD SHALL BE MECHANICAL JOINTS WITH MEGALUG GLANDS, RODDING, OR AN APPROVED LOCKING JOINT
- MECHANICAL JOINT FITTINGS WITH MEGA LUGS ARE REQUIRED FOR ALL DIRECTIONAL CHANGE FITTINGS AND WATERMAIN ENDS. ALL BOLTS SHALL BE STAINLESS STEEL. ALL FITTINGS SHALL BE "MADE IN AMERICA" CERTIFIED.
- WATER MAINS SHALL UNDERGO A PRESSURE AND LEAKAGE TEST. SERVICES SHALL BE TESTED TO THE CURB STOP. SERVICES 4" AND LARGER WITH JOINTED PIPE SHALL BE TESTED AGAINST THE VALVE WITH A SECOND TEST OUT TO THE PLUG. THE SECOND TEST MAY BE OF SHORTER DURATION AS APPROVED BY THE PUBLIC SERVICES DIRECTOR.
- EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL.
- ALL WATER MAIN CONSTRUCTION SHALL MEET THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- FIRE HYDRANTS SHALL BE WATEROUS PACER WB6 AND PAINTED RED. FIRE HYDRANTS SHALL CONFORM TO AWWA C502.
- FIRE HYDRANT MARKERS SHALL BE 48-INCH, RED, SLIMLINE FH FIRE HYDRANT MARKER MANUFACTURED BY FLEXSTAKE, INC., MODEL NO. SFH-3
- WATER VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 RESILIENT WEDGE GATE VALVES OR APPROVED EQUAL.

4	CITY COMMENTS	09-22-25	BCA
3	CITY COMMENTS	09-18-25	BCA
2	CITY COMMENTS	09-15-25	BCA
1	CITY COMMENTS	09-12-25	BCA
	REVISION	DATE	BY
	Checked By: MLC	Scale: 1" =	
	Engineer: BCA	Date: 07-29-2025	
	Technician: DMS	T-R-S: 06/18/09E-12	
Project No: 125.0892.30			
Sheet C700			

TERRAVESSA LOT 34

PROJECT NOTES

FITCHBURG, DANE COUNTY, WISCONSIN

SNYDER & ASSOCIATES, INC.

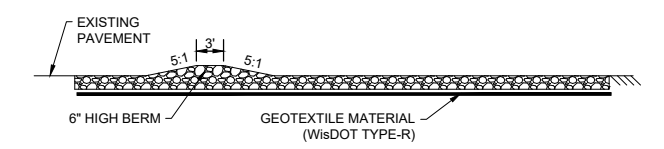
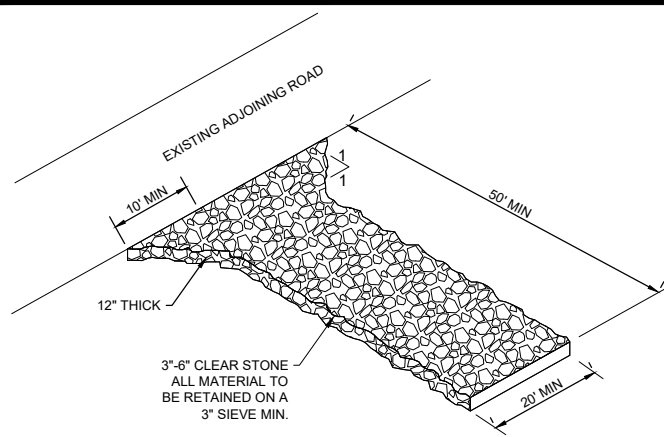
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-638-0444 | www.snyder-associates.com



Project No: 125.0892.30

Sheet C700

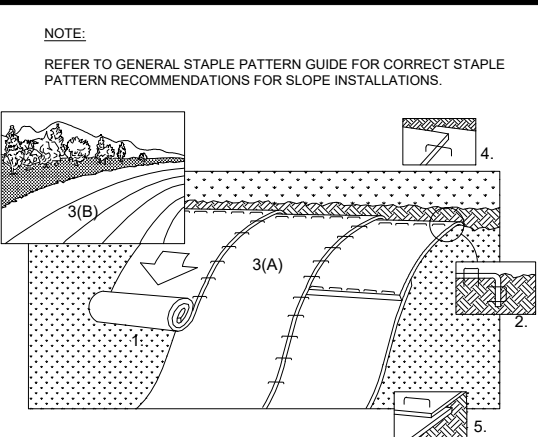
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NOTE:

1. MAINTAIN THE ROCK ENTRANCE TO PREVENT TRACKING ONTO PAVEMENT

1 **STONE ENTRANCE DETAIL**
SCALE: 3"=1'

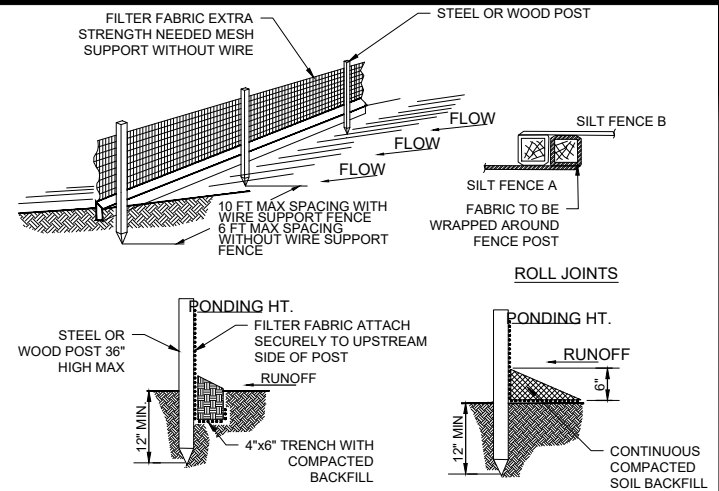


NOTE:
REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

INSTALLATION:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN THE SLOPE (B.) HORIZONTALLY ACROSS THE SLOPE
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
7. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD # 1052.

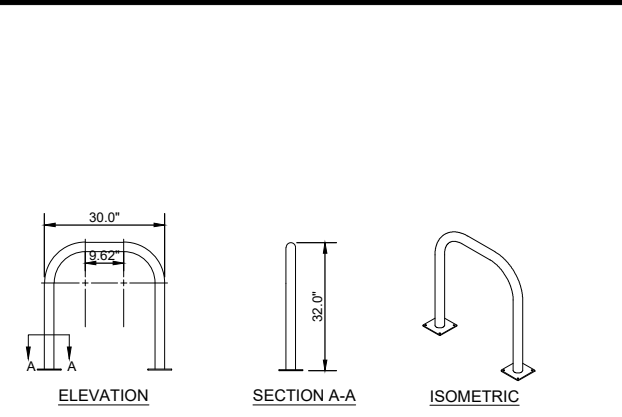
2 **EROSION CONTROL MAT - SLOPE INSTALLATION**
N.T.S.



NOTE:

1. INSPECT FENCE WEEKLY AND AFTER EACH RAIN EVENT OF 0.5 INCHES AND REPAIR IF REQUIRED. REMOVE SEDIMENT WHEN NECESSARY OR WHEN SEDIMENT REACHES 1/2 OF FENCE HEIGHT.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
4. SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.

3 **SILT FENCE DETAIL**
N.T.S.



6 **BIKE RACK DETAIL**
N.T.S.

(2) 6" X 6" X 25" SQUARE FLANGE MOUNTING PLATES WITH (4) 5/8" Ø MOUNTING HOLES

NOTE:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

NOTES:

1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
3. UPON ORDERING THE ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

***FLOW RATINGS SHOWN ARE 50% MAXIMUM**

INSTALLATION:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)							
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft ²)	Flow Ratings (CFS)		ADS P/N
					FX	Bypass	
1040/1642/1733	Round	26	24	1.9	1.5	5.4	62MRDFX
3067 w/FLAP	Curb Box	35.25 x 17.75	33.0 x 15.0	3.8	1.9	5.6	62LCBEXTFX
3067 EXTENDED BACK	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62LCBEXTFX
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	2.2	3.3	62LCBFX
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	1.4	2.2	62MCBFX
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	2.0	5.2	62LSQFX

4 **INLET PROTECTION DETAIL**
N.T.S.

NOTES:

1. HMA PAVEMENT SHALL BE TYPE LT 58-28.
2. ASPHALT PAVING SHALL BE COMPLETED IN CONFORMANCE WITH APPLICABLE WisDOT SPECIFICATION.
3. THE CONSTRUCTED BASE COURSE SHALL PASS A PROOF ROLL PRIOR TO PLACEMENT OF ASPHALT PAVING.

5 **MEDIUM DUTY ASPHALT PAVING DETAIL**
N.T.S.

NOTE:

- 1) RESTRAIN ENTIRE LENGTH OF HYDRANT LEAD FROM THE TEE THROUGH THE VALVE TO THE HYDRANT
- 2) INSTALL 8 MIL POLYETHYLENE FILM ON HYDRANT LEAD PER MANUFACTURER'S REQUIREMENTS
- 3) INSTALL 8"x6" REDUCER PER PLAN.

7 **FIRE HYDRANT STANDARD DETAIL DRAWING**
N.T.S.

GENERAL LANDSCAPE NOTES

- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
- ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY LANDSCAPE ARCHITECT. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW, ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR LANDSCAPE ARCHITECT WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
- CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY AND THEFT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. IF IRRIGATION IS INCLUDED, COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12".
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION PER RATE IDENTIFIED BY A SOIL TEST.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.

GENERAL LANDSCAPE NOTES CONT.

- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.

GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 17" X 11" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- GEOTECHNICAL SOILS REPORT RECOMMENDATIONS SHALL BE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.

GENERAL NOTES CONT.

- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THE LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
TREES						
	GP	2	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2.5" Cal.	B&B
	GT	4	Gleditsia triacanthos inermis 'Skyline'	Skyline Honey Locust	2.5" Cal.	B&B
	QS	2	Quercus robur 'Fastigiata'	Skyrocket® English Oak	2.5" Cal.	B&B
	UF	2	Ulmus carpinifolia x parvifolia 'Frontier'	Frontier Elm	1.5" Cal.	B&B
EVERGREEN TREES						
	JS	7	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	4' Ht.	B&B
	TB	7	Thuja occidentalis 'Brandon'	Brandon Arborvitae	4' Ht.	B&B
ORNAMENTAL TREES						
	MB	6	Malus x 'Red Barron'	Red Barron Crabapple	1.5" Cal.	B&B
	PC2	5	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	1.5" Cal.	B&B
SHRUBS						
	AE	9	Aronia melanocarpa	Black Chokeberry	3 gal.	Pot
	CF	4	Cornus sericea 'Farrow' TM	Arctic Fire Red Twig Dogwood	3 gal.	Pot
	JB2	7	Juniperus horizontalis 'Blue Rug'	Blue Rug Juniper	3 gal.	Pot
	PO	10	Physocarpus opulifolius 'Donna May' TM	Little Devil Dwarf Ninebark	3 gal.	Pot
	PP2	11	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	3 gal.	Pot
	SO	12	Syringa x 'SMNJRP1' TM	Bloomerang Dwarf Pink Lilac	3 gal.	Pot
GRASSES						
	PS	26	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 gal.	Pot
	SH2	27	Sporobolus heterolepis	Prairie Dropseed	1 gal.	Pot
GROUND COVERS						
	RM	3,021 sf	Rock Mulch	See Construction Notes for Type	---	
	TD	1,283 sf	Turf Seed Drought Tolerant Dwarf Fescue Blend	See Construction Notes for Type	seed	
	TB2	992 sf	Turf Sod Bluegrass	See Construction Notes for Type	sod	

TERRAVESSA LOT 34

LANDSCAPE NOTES

FITCHBURG, DANE COUNTY, WISCONSIN

SNYDER & ASSOCIATES, INC. |

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

Project No: 125.0892.30

Sheet L100



Project No: 125.0892.30

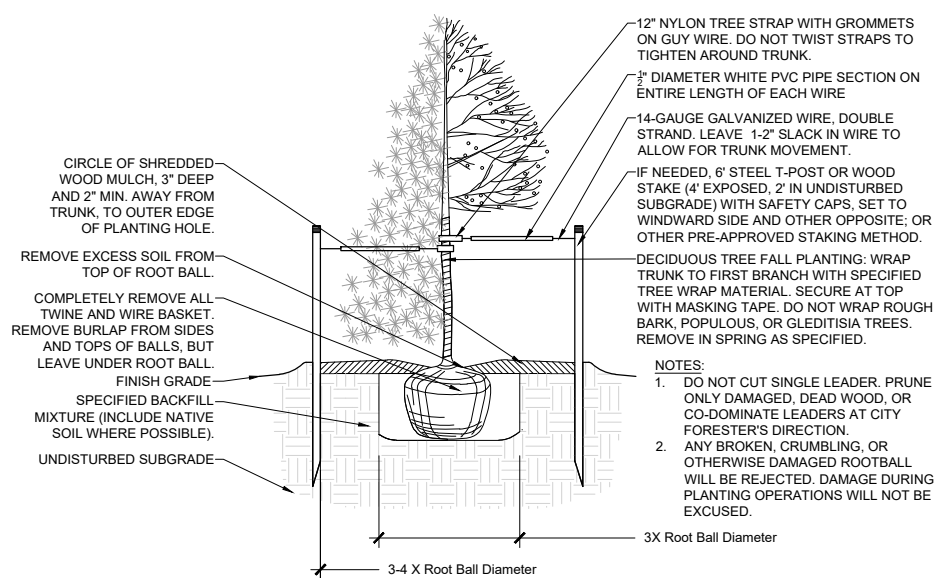
Sheet L100

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

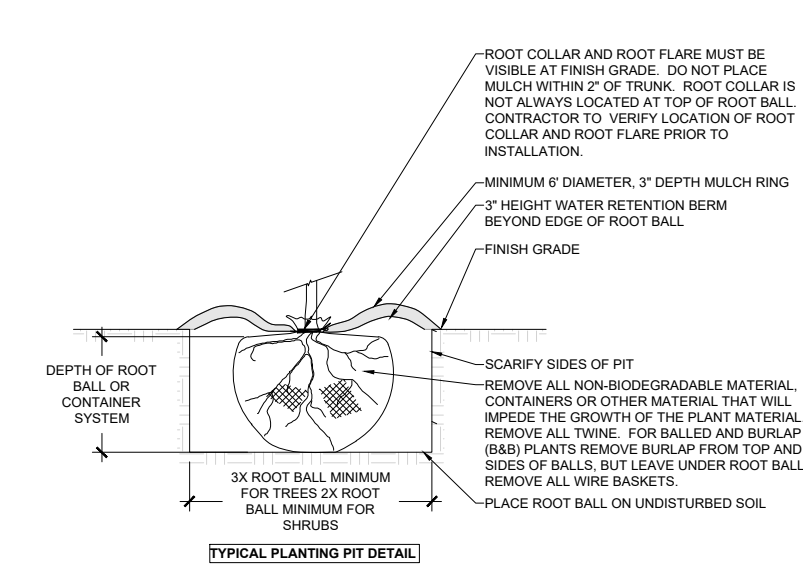
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

L:\Projects\12508230\125.0892.30\DWG\LANDSCAPE NOTES - 2/25/2024 - 10:49 AM. ANSIE FULL BLEED 8.11.20 X 17.20 INCHES



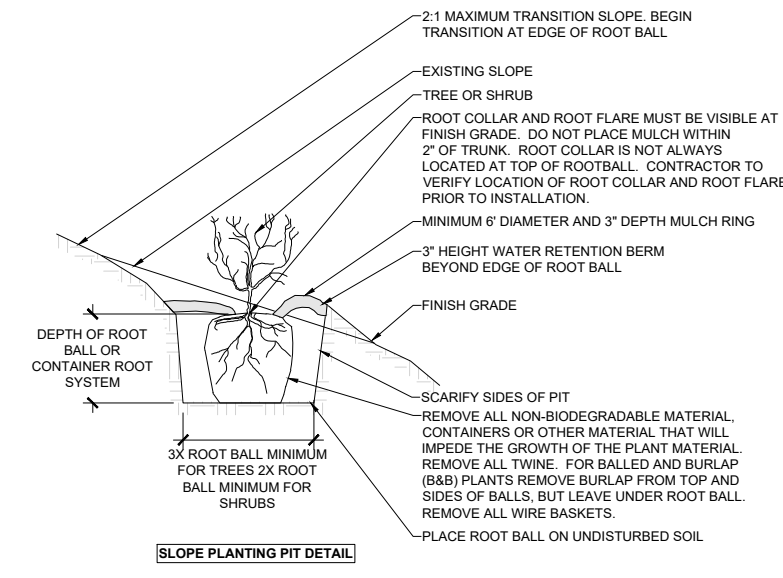
1 TREE PLANTING

SCALE: 1/2" = 1'-0"

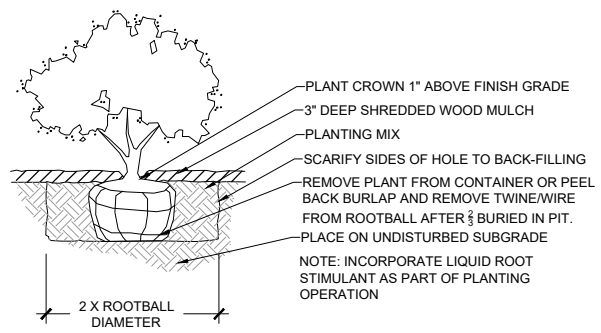


2 PLANTING PIT

NO SCALE



3 SLOPE PLANTING PIT DETAIL



3 SHRUB PLANTING

SCALE: 1/2" = 1'-0"

4 SPADE CUT EDGE

SCALE: 1/2" = 1'-0"

4	CITY COMMENTS	09-29-25	BCA
3	CITY COMMENTS	09-18-25	BCA
2	CITY COMMENTS	09-15-25	BCA
1	CITY COMMENTS	09-12-25	BCA
MARK	REVISION	DATE	BY
Engineer: BCA	Checked By: MLC	Date: 07-29-2025	Scale: 1" = 1' #
Technician: DMS	T-R-S: 06N-09E-12		

TERRAVESSA LOT 34
 LANDSCAPE DETAILS
 FITCHBURG, DANE COUNTY, WISCONSIN
 SNYDER & ASSOCIATES, INC. |
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-839-0444 | www.snyder-associates.com

Project No: 125.0892.30
 Sheet L101

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City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, Wi 53711 (608-270-4200)

SMARTCODE BUILDING/SITE PLAN APPLICATION (ARTICLE 5)

1. Location of Property:

Street Address: _____
Legal Description - (Metes & Bounds, or Lot No. And Plat): _____

2. Description of Project: _____

3. Existing Transect Zone: _____ **Article 3 or Article 4 approval date:** _____

4. Size of Site: _____ **Site Density (if applicable):** _____

5. Building/Site Plan applications shall provide plans and information showing the following:

- | | |
|-------------------------------------------------------------------------------|-----------------------------------------------------------------------|
| <input type="checkbox"/> 1. Building Disposition | <input type="checkbox"/> 13. Signage Standards |
| <input type="checkbox"/> 2. Building Configuration | <input type="checkbox"/> 14. Special Requirements, if any |
| <input type="checkbox"/> 3. Building Use | <input type="checkbox"/> 15. Architectural Standards |
| <input type="checkbox"/> 4. Parking calculation & location | <input type="checkbox"/> 16. Fencing Standards |
| <input type="checkbox"/> 5. Number of dwelling units | <input type="checkbox"/> 17. Lighting Standards |
| <input type="checkbox"/> 6. Base Residential Density | <input type="checkbox"/> 17. Grading Plan |
| <input type="checkbox"/> 7. Building square footage | <input type="checkbox"/> 18. Statistics, maps and other documentation |
| <input type="checkbox"/> 8. All requests for Administrative Waivers, if any | showing how the Article 5 application, in |
| <input type="checkbox"/> 9. All requests for Administrative Approvals, if any | combination with the past approved Article 5 |
| <input type="checkbox"/> 10. All known requests for Conditional Use | plans, will meet the approved Community |
| Permits, if any | Regulating Plan, and the standards of this |
| <input type="checkbox"/> 11. Civic Building design(s) | Chapter. |
| <input type="checkbox"/> 12. Landscape Standards | |

*****Also submit all mapping in either CADD or GIS files**

Current Owner(s) of Property: _____

Address: _____ **Phone No.:** _____

Contact Person: _____ **E-mail:** _____

Address: _____ **Phone No.:** _____

Respectfully Submitted By: Cory Frank **Date:** 08/17/2025

Owner's or Authorized Agent's Signature

*(If multiple owners, application shall include statement of consent by all property owners)

PLEASE NOTE – Applicants shall be responsible for legal or outside consultant costs incurred by the City. It is the responsibility of the owner/applicant to insure compliance with all local and state requirements.

*Application shall be accompanied by one (1) PDF document of complete submittal, one (1) full-size set of plans, two (2) reduced sets of plans (11" x 17"), and the required CADD or GIS files for mapping.

FOR CITY USE ONLY

Date Received: _____ **Permit Request No.:** _____

SITE PLAN REVIEW CHECKLIST:

YES

NO

_____	_____	Signed and completed Building / Site Plan – Article 5 Application
_____	_____	Proposals / design compliant with Ch. 23 SmartCode District
_____	_____	Vicinity map (no larger than 11 x 17)
_____	_____	2 (two) reduced size (11 x 17) plan sets
_____	_____	1 (one) full set of bounded drawings, include landscape plans
_____	_____	1 (one) electronic copy (.tif or .pdf) of the plan set
_____	_____	CADD or GIS files for all mapping
		<u>Plans to include existing and proposed information on the following:</u>
_____	_____	Location of structures, improvements and landscaping
_____	_____	North arrow and scale bar
_____	_____	Site boundaries
_____	_____	Setback distance from property lines
_____	_____	Rights-of-way, property lines and easements
_____	_____	Location & dimensions of driveways, streets and sidewalks
_____	_____	On-site parking and circulation
_____	_____	Location of loading spaces, if applicable
_____	_____	Location of trash receptacle enclosure
_____	_____	Location of all outdoor electrical, plumbing and mechanical equipment
_____	_____	Landscaping Plan for site
_____	_____	Signage Plan for site (type & fixtures)
_____	_____	Elevations for each side of the building detailing the materials & colors
_____	_____	Fencing Plan (if installing fence)
_____	_____	Lighting Plan (in footcandles) & fixtures cut-sheets
_____	_____	Grading Plan
_____	_____	Site plan data table containing: transect zone, site size in square feet or acres, lot coverage by building in square feet and percentage, residential density in units per acre (if applicable), square feet of impervious surface and parking and landscaping calculations.

ARTICLE 5 SUPPLEMENTAL FORM:

Building Disposition:

Lot(s) _____ Plat _____

Transect Zone: _____

Lot Width _____ Lot Coverage _____

Type of Building: Edgeyard Sideyard Rearyard Courtyard Specialized

Principal Building Setbacks: Front (principal) _____ Front (secondary) _____ Side _____ Rear _____

Primary Setback: _____ feet Frontage buildout (if applicable): _____%

Outbuilding: Yes No

Outbuilding Setbacks: Front _____ Side _____ Rear _____

Building Configuration:

Type of Private Frontage: Common Yard Porch & Fence Light court Forecourt

Stoop Shopfront Gallery Arcade

Parking Lot Common Entry & Planter

% of clear glass of 1st story Façade: _____%

Overall building height: _____ feet _____ stories

1st story: _____ feet

2nd story: _____ feet

[X] story: _____ feet

Building Use:

Use of principal building: _____

of residential dwelling units in principal building (if applicable): _____ dwelling units

Use of accessory building: _____

*If multiple uses in building, please provide square footage of each type of use.

Parking & Density:

of parking stalls provided within the Lot: _____

of parking stalls along parking lane corresponding to the Lot Frontage: _____

of parking stalls by lease or purchase from a Civic Parking Reserve within the Community Unit: _____

If looking to use Effective Parking standards, applicant shall provide completed Parking Occupancy Rate Table (Table 20)

Current density for transect zone within the block: _____ (per 5.9.2f)

Parking Location:

Drive width: _____

Material of parking / drive areas: _____

Landscape:

% of landscape area of 1st Layer of Principal Frontage: _____% (minimum 30%)

% of landscape area of 1st Layer of Secondary Frontage: _____% (minimum 30%)

of trees planted within the 1st Layer: _____

Requirements: T3 – 1 tree shall be planted within the 1st Layer for every 800 sq. ft of landscape area

T4 – minimum of 1 Understory Tree or 6 shrubs planted within 1st Layer for every 500 sq. ft. of 1st Layer landscape area.

T5 – Trees not required in 1st Layer.

Signage:

A or B grid street: _____

Type of sign: _____

(* note: A sign permit is required for all signs)

Architectural:

Type of building materials: _____

(See Section 5.13.4.c for requirements if using vinyl product.)

For single-family Edgeyard & Sideyard Residential, durable material used in height of 2 ft. above grade:

Fence: Yes No

If yes, fence at the 1st Layer shall be painted or stained.

Balcony or porch: Yes No

If yes, material of railings: _____

Fencing:

Height of fence (if applicable): _____ feet

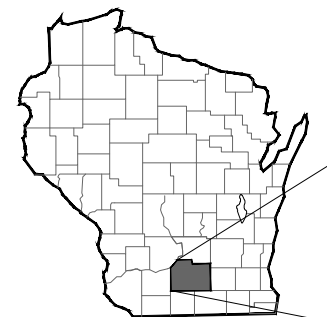
Lighting:

Are all parking lot and exterior building lighting on private lots dark sky approved or full cut-off fixtures? Yes No

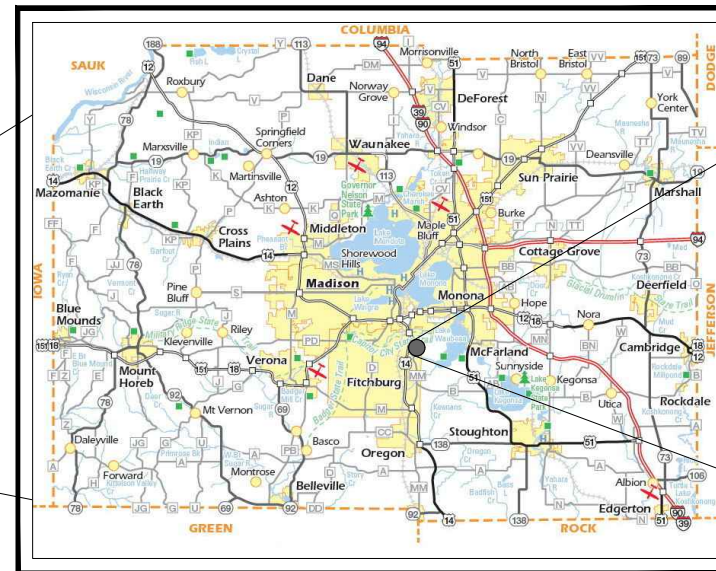
Average lighting levels, in footcandles, at the building frontage line: _____

TERRAVESSA LOT 34

SECTION 12, TOWNSHIP 6N, RANGE 9E



REGIONAL MAP



DANE COUNTY



SITE LOCATION MAP

CITY OF FITCHBURG,
DANE COUNTY, WISCONSIN



Sheet List Table

Sheet Number	Sheet Title
C100	TITLE
C300	SITE PLAN
C400	GRADING PLAN
C401	EROSION CONTROL PLAN
C500	UTILITY PLAN
C700	PROJECT NOTES
C702	PROJECT DETAILS
L100	LANDSCAPE NOTES
L101	LANDSCAPE DETAILS
L200	PLANTING PLAN


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

CAUTION:
 CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. FOR EXACT LOCATION CONTACT DIGGERS HOTLINE 1-800-242-8511

MARK	REVISION	DATE	BY
3	CITY COMMENTS	09-18-25	BCA
2	CITY COMMENTS	09-15-25	BCA
1	CITY COMMENTS	09-12-25	BCA

Engineer: BCA
 Checked By: MLC
 Date: 07-29-2025
 Technician: DMS
 Scale: 1" = ##'
 T-R-S: 06N-09E-12
 Project No: 125.0892.30
Sheet C100

TERRAVESSA LOT 34

TITLE

FITCHBURG, DANE COUNTY, WISCONSIN

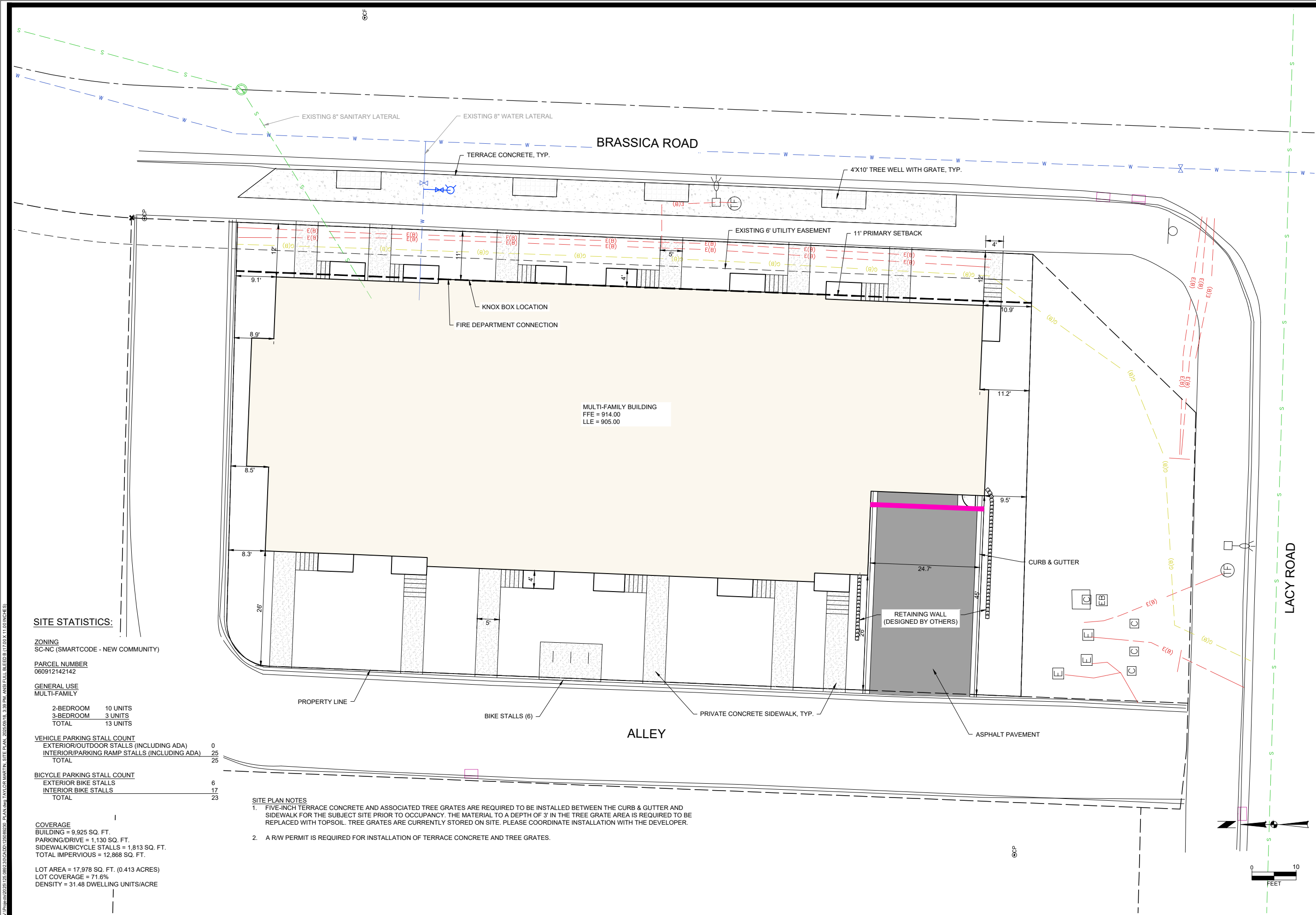
SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-835-0444 | www.snyder-associates.com



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SITE STATISTICS:

ZONING
SC-NC (SMARTCODE - NEW COMMUNITY)

PARCEL NUMBER
060912142142

GENERAL USE
MULTI-FAMILY

2-BEDROOM	10 UNITS
3-BEDROOM	3 UNITS
TOTAL	13 UNITS

VEHICLE PARKING STALL COUNT

EXTERIOR/OUTDOOR STALLS (INCLUDING ADA)	0
INTERIOR/PARKING RAMP STALLS (INCLUDING ADA)	25
TOTAL	25

BICYCLE PARKING STALL COUNT

EXTERIOR BIKE STALLS	6
INTERIOR BIKE STALLS	17
TOTAL	23

COVERAGE
 BUILDING = 9,925 SQ. FT.
 PARKING/DRIVE = 1,130 SQ. FT.
 SIDEWALK/BICYCLE STALLS = 1,813 SQ. FT.
 TOTAL IMPERVIOUS = 12,868 SQ. FT.

LOT AREA = 17,978 SQ. FT. (0.413 ACRES)
 LOT COVERAGE = 71.6%
 DENSITY = 31.48 DWELLING UNITS/ACRE

SITE PLAN NOTES

- FIVE-INCH TERRACE CONCRETE AND ASSOCIATED TREE GRATES ARE REQUIRED TO BE INSTALLED BETWEEN THE CURB & GUTTER AND SIDEWALK FOR THE SUBJECT SITE PRIOR TO OCCUPANCY. THE MATERIAL TO A DEPTH OF 3" IN THE TREE GRATE AREA IS REQUIRED TO BE REPLACED WITH TOPSOIL. TREE GRATES ARE CURRENTLY STORED ON SITE. PLEASE COORDINATE INSTALLATION WITH THE DEVELOPER.
- A RW PERMIT IS REQUIRED FOR INSTALLATION OF TERRACE CONCRETE AND TREE GRATES.

TERRAVESSA LOT 34

SITE PLAN



Project No: 125.0892.30

Sheet C300

FITCHBURG, DANE COUNTY, WISCONSIN

SNYDER & ASSOCIATES, INC.

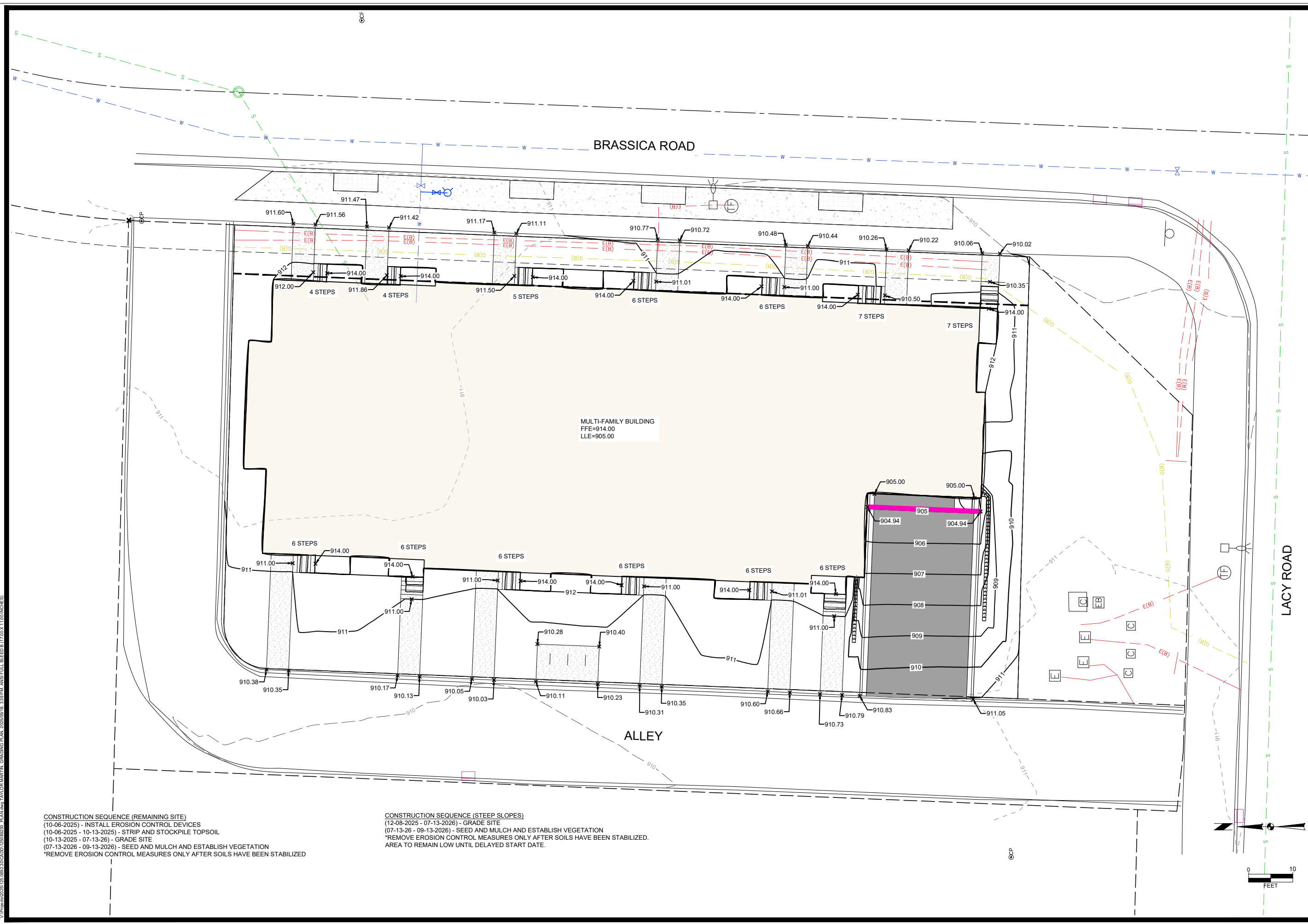
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 MADISON, WISCONSIN 53718
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MARK	REVISION	DATE	BY
3	CITY COMMENTS	09-18-25	BCA
2	CITY COMMENTS	09-15-25	BCA
1	CITY COMMENTS	09-12-25	BCA

Engineer: BCA	Checked By: MLC	Scale: 1" = 10'
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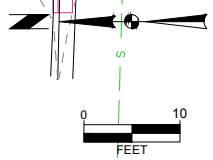
Project No: 125.0892.30

Sheet C300



CONSTRUCTION SEQUENCE (REMAINING SITE)
 (10-06-2025) - INSTALL EROSION CONTROL DEVICES
 (10-06-2025 - 10-13-2025) - STRIP AND STOCKPILE TOPSOIL
 (10-13-2025 - 07-13-26) - GRADE SITE
 (07-13-2026 - 09-13-2026) - SEED AND MULCH AND ESTABLISH VEGETATION
 *REMOVE EROSION CONTROL MEASURES ONLY AFTER SOILS HAVE BEEN STABILIZED

CONSTRUCTION SEQUENCE (STEEP SLOPES)
 (12-08-2025 - 07-13-2026) - GRADE SITE
 (07-13-26 - 09-13-2026) - SEED AND MULCH AND ESTABLISH VEGETATION
 *REMOVE EROSION CONTROL MEASURES ONLY AFTER SOILS HAVE BEEN STABILIZED.
 AREA TO REMAIN LOW UNTIL DELAYED START DATE.



MARK	REVISION	DATE	BY
3	CITY COMMENTS	09-18-25	BCA
2	CITY COMMENTS	09-15-25	BCA
1	CITY COMMENTS	09-12-25	BCA

Engineer:	Checked By:	M.L.C	Scale:	1" = 10'
BCA	BCA			

Technician:	Date:	T-R-S:
DMS	07-29-2025	06N-09E-12

TERRAVESSA LOT 34
GRADING PLAN
SNYDER & ASSOCIATES, INC.

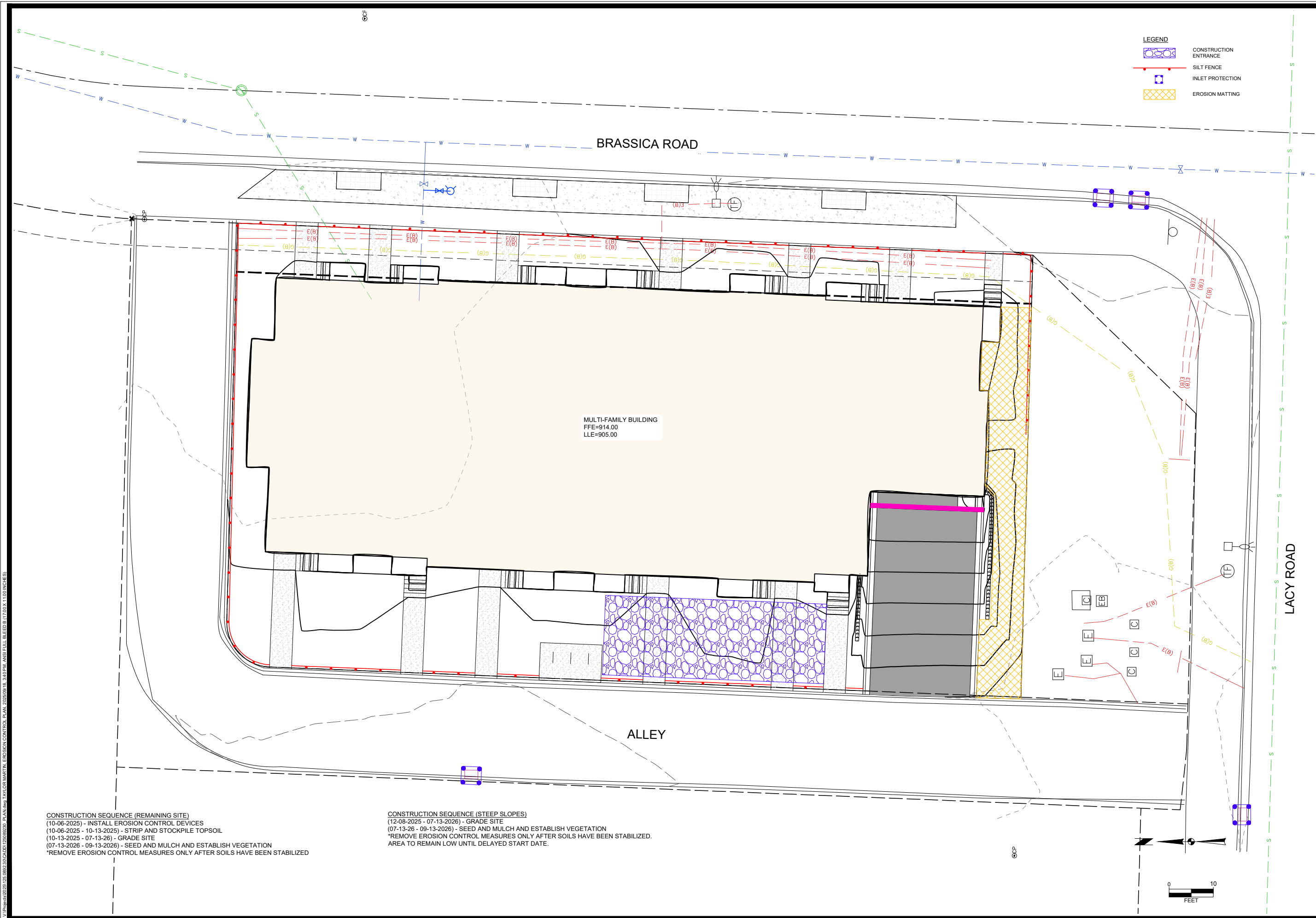
FITCHBURG, DANE COUNTY, WISCONSIN

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

Project No: 125.0892.30
 Sheet C400

V:\proj\102201\125.0892.30\CADD\125089230_Plan.dwg TAYLOR MARTIN, GRADING PLAN, 2025/09/18, 3:39 PM, ANS FILL BLEED 8 (17.00 X 11.00 INCHES)

U:\p\2025\125.0892.30\CD\125089230_Plan.dwg TAYLOR MARTIN, EROSION CONTROL PLAN 20250918 3:40PM ANSIFULL BLEED B (17.00 X 11.00 INCHES)



LEGEND

	CONSTRUCTION ENTRANCE
	SILT FENCE
	INLET PROTECTION
	EROSION MATTING

CONSTRUCTION SEQUENCE (REMAINING SITE)
 (10-06-2025) - INSTALL EROSION CONTROL DEVICES
 (10-06-2025 - 10-13-2025) - STRIP AND STOCKPILE TOPSOIL
 (10-13-2025 - 07-13-26) - GRADE SITE
 (07-13-2026 - 09-13-2026) - SEED AND MULCH AND ESTABLISH VEGETATION
 *REMOVE EROSION CONTROL MEASURES ONLY AFTER SOILS HAVE BEEN STABILIZED

CONSTRUCTION SEQUENCE (STEEP SLOPES)
 (12-08-2025 - 07-13-2026) - GRADE SITE
 (07-13-26 - 09-13-2026) - SEED AND MULCH AND ESTABLISH VEGETATION
 *REMOVE EROSION CONTROL MEASURES ONLY AFTER SOILS HAVE BEEN STABILIZED.
 AREA TO REMAIN LOW UNTIL DELAYED START DATE.


MARK	REVISION	DATE	BY
3	CITY COMMENTS	09-18-25	BCA
2	CITY COMMENTS	09-15-25	BCA
1	CITY COMMENTS	09-12-25	BCA

Engineer: BCA	Checked By: MLC	Scale: 1" = 10'
Technician: DMS	Date: 07-29-2025	T-R-S: 06N-09E-12

TERRAVESSA LOT 34
EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC.

FITCHBURG, DANE COUNTY, WISCONSIN

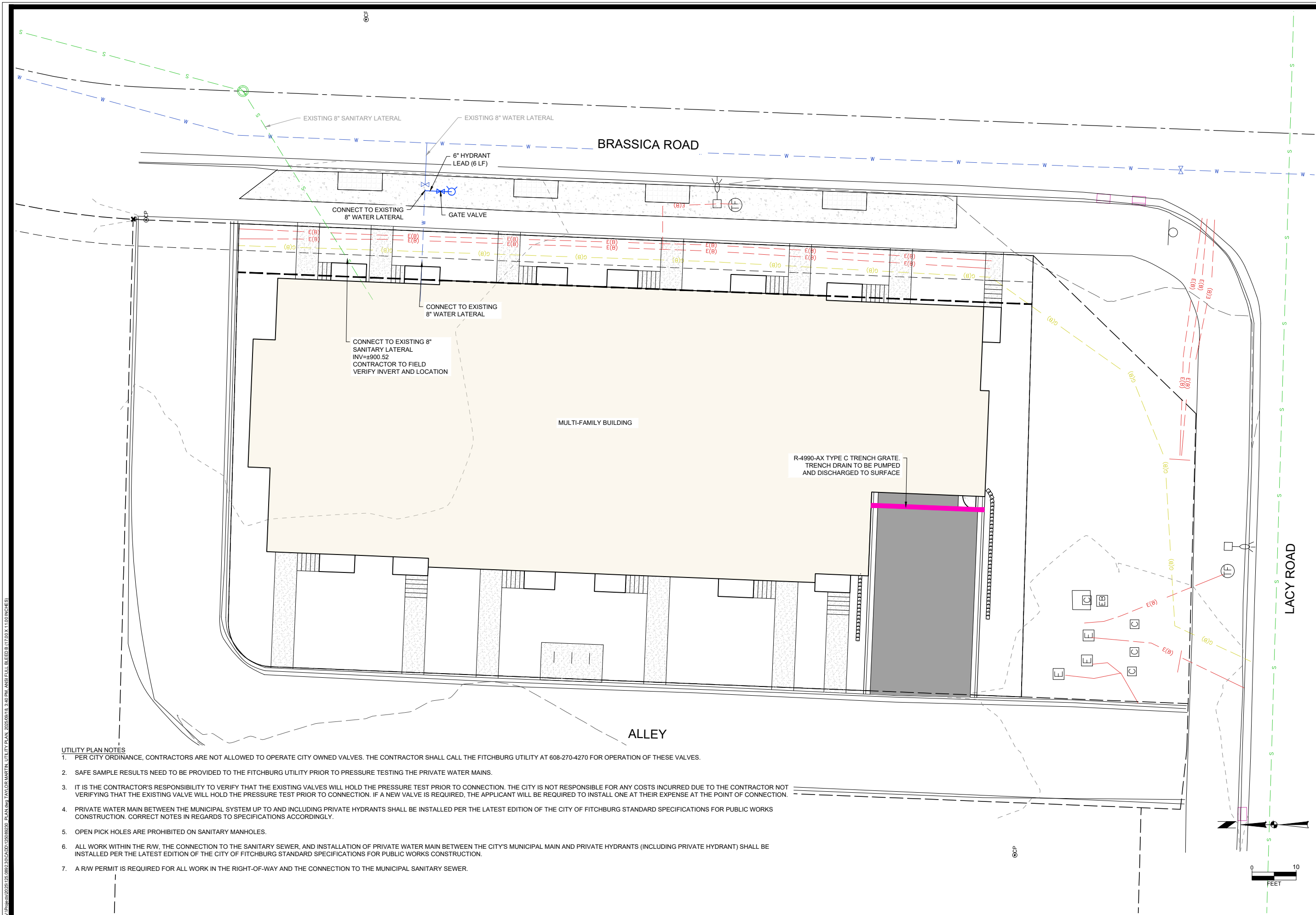
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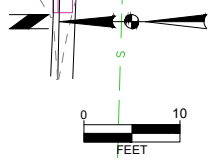
Project No: 125.0892.30
 Sheet C401

V:\Projects\11092021\125.0892.30\CD\125089230_Plan.dwg TAYLOR MARTIN, UTILITY PLAN, 2025.06.18, 3:40 PM, ANSI FULL BLEED B (17.00 x 11.00 INCHES)



UTILITY PLAN NOTES

1. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 608-270-4270 FOR OPERATION OF THESE VALVES.
2. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
4. PRIVATE WATER MAIN BETWEEN THE MUNICIPAL SYSTEM UP TO AND INCLUDING PRIVATE HYDRANTS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. CORRECT NOTES IN REGARDS TO SPECIFICATIONS ACCORDINGLY.
5. OPEN PICK HOLES ARE PROHIBITED ON SANITARY MANHOLES.
6. ALL WORK WITHIN THE R/W, THE CONNECTION TO THE SANITARY SEWER, AND INSTALLATION OF PRIVATE WATER MAIN BETWEEN THE CITY'S MUNICIPAL MAIN AND PRIVATE HYDRANTS (INCLUDING PRIVATE HYDRANT) SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
7. A RW PERMIT IS REQUIRED FOR ALL WORK IN THE RIGHT-OF-WAY AND THE CONNECTION TO THE MUNICIPAL SANITARY SEWER.



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Engineer: BCA	Checked By: MLC	Scale: 1" = 10'
Technician: DMS	Date: 07-29-2025	T-R-S: 06N-09E-12

TERRAVESSA LOT 34
UTILITY PLAN
SNYDER & ASSOCIATES, INC.

FITCHBURG, DANE COUNTY, WISCONSIN

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Project No: 125.0892.30
Sheet C500

SNYDER & ASSOCIATES

Project No: 125.0892.30
Sheet C500

GENERAL CONDITIONS

- 1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.

CONCRETE SIDEWALK

- 1. SIDEWALK SHALL BE A MINIMUM OF 5" THICK ON A BASE OF 4" OF 3/4" DENSE AGGREGATE BASE COURSE. SIDEWALKS ACROSS DRIVEWAYS SHALL BE A MINIMUM OF 7" THICK ON A BASE OF 4" 3/4" DENSE AGGREGATE BASE COURSE.
2. SIDEWALKS SHALL MEET ADA REQUIREMENTS.
3. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.5%.
4. CURB RAMPS AND DETECTABLE WARNING FIELDS (TRUNCATED DOMES) WILL BE REQUIRED AT ALL ADA RAMPS. DETECTABLE WARNING FIELDS SHALL BE NEEHAW #4898 OR METAPANEL BY METADOME, LLC, UNPAINTED OR APPROVED EQUAL.

ADDITIONAL UTILITY NOTES

- 1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
3. PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.

- 5. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE. SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
6. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
7. PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
9. TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL BE A MINIMUM OF 12-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.

CONSTRUCTION SEQUENCE

- 1. INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXITS AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. ADDITIONALLY INSTALL CONSTRUCTION EQUIPMENT PARKING AREAS. STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE. THE TEMPORARY ACCESS POINT SHALL BE PLACED IN THE LOCATION SHOWN ON THE GRADING AND EROSION CONTROL PLAN. THE ENTRANCE/EXITS WILL BE INSPECTED DAILY. IF THE AGGREGATE WITHIN THE TEMPORARY ACCESS PADS BECOMES COVERED WITH SOIL OR IF SIGNIFICANT QUANTITIES OF SOIL ARE TRACKED ONTO THE EXISTING ROADWAY THEN ADDITIONAL AGGREGATE WILL BE INSTALLED TO ALLOW THE ENTRANCE/EXITS TO FUNCTION PROPERLY.
2. INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN. THE BARRIERS MUST BE INSTALLED PARALLEL TO THE SITE CONTOURS TO THE EXTENT PRACTICABLE WITH THE ENDS EXTENDED UPSLOPE ONE TO TWO FEET TO PREVENT FLANKING OF THE RUNOFF. AT NO TIME FROM THE START OF ROUGH GRADING UNTIL SITE STABILIZATION SHALL AN UNBROKEN SLOPE EXIST BETWEEN DISTURBED AREAS AND THE RECEIVING WATERS. THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL WILL BE REFERENCED FOR THE PROPER INSTALLATION AND MAINTENANCE OF SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES ON THE SITE.
3. STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED, SEEDED AND MULCHED. PLACE SOIL STOCKPILES AT LEAST 25 FEET AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, OR DITCH. ALL TOPSOIL PILES WILL HAVE SILT FENCE PLACED ON THEIR DOWNSLOPE SIDES. TOPSOIL PILES WILL BE SEEDED WITH ANNUAL RYE IF THEY ARE IN PLACE FOR MORE THAN 7 DAYS. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS WILL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH.
4. GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS. THE INTENT OF THESE GRADING RESTRICTIONS IS TO PROVIDE AN UNDISTURBED BUFFER AREA ALLOWING ADDITIONAL EROSION AND SEDIMENTATION PROTECTION DURING CONSTRUCTION.

- 5. TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS MUST BE STABILIZED IMMEDIATELY.
6. INSTALL ANY UTILITIES.
7. COMPLETE FINAL GRADING FOR PARKING LOT & DRIVES AND STABILIZE WITH GRAVEL.
8. COMPLETE FINAL GRADE OF THE SITE.
9. UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED. TOPSOIL SHALL BE REPLACED, FERTILIZED, SEEDED AND PROTECTED AS CALLED FOR BELOW IN ITEMS 11 AND 12. UTILITY CONSTRUCTION SHALL BE COORDINATED WITH OTHER GRADING ACTIVITIES SO THAT RESTORATION CAN BE COMPLETED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
10. WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED. TOPSOIL SHALL BE UNIFORMLY PLACED, GRADED SMOOTH AND SCARIFIED FOR SEEDING.
11. FERTILIZE ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM). INCORPORATE THE FERTILIZER INTO THE SOIL BY SCARIFYING AS INDICATED. SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEEDING MIXTURE:
30.50 LBS/ACRE OF KENTUCKY BLUEGRASS
17.50 LBS/ACRE OF RED FESCUE
17.50 LBS/ACRE OF HARD FESCUE
22.00 LBS/ACRE OF PERENNIAL RYE GRASS
THE OWNER RESERVES THE RIGHT TO REVISE THE SEEDING MIXTURE SUBJECT TO APPROVAL BY THE LOCAL MUNICIPALITY.

SOD MAY BE SUBSTITUTED FOR SEEDING ON ALL AREAS TO BE SEEDED AND IS RECOMMENDED FOR ALL AREAS WITH SLOPES OF 5:1 OR STEEPER. MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE EQUIPMENT OR STAKING WITH TWINE.

FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30.

TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE. ADDITIONAL EROSION CONTROL BARRIERS MAY BE NEEDED DOWNSLOPE OF THESE AREAS UNTIL FINAL SEEDING OR SODDING IS COMPLETED IN SPRING (BY JUNE 1). ANY AREAS WITH SLOPES GREATER THAN 6:1 MUST BE SEEDED AND MULCHED BUT NOT TOPSOILED. AREAS WITH SLOPED LESS THAN 6:1 MUST BE TOPSOILED, SEEDED AND MULCHED. ALL AREAS MUST BE TOPSOILED, SEEDED AND MULCHED AS DESCRIBED ABOVE IN THE FOLLOWING SPRING.

- 12. WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION. TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
13. SILT FENCE MAINTENANCE: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS ON THE UPSLOPE SIDE ON THE SILT FENCES SHALL BE REMOVED WHEN THE DEPOSITS REACH HALF THE HEIGHT OF THE SILT FENCE.
14. GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES. SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE REMOVED IMMEDIATELY. TRACKING PADS MAY REQUIRE PERIODIC CLEANING TO MAINTAIN THE EFFECTIVENESS OF THE PRACTICE, WHICH MAY INCLUDE THE REMOVAL AND RE-INSTALLATION OF THE STONE.
15. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.

EROSION CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISDNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
3. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WisDNR) TECHNICAL STANDARD, FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL PRACTICES AS NECESSARY.
6. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
7. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WisDOT STANDARD SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
8. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1050.
9. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
10. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL AND/OR SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1063.
12. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
13. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 106B.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.
15. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.

- 16. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.
17. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
18. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WisDNR TECHNICAL STANDARDS.
19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
20. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1, USE CLASS I URBAN, TYPE A EROSION CONTROL MATTING. FOR SLOPES GREATER THAN 4:1 BUT LESS THAN 2.5:1, USE CLASS I URBAN TYPE B. FOR SLOPES GREATER THAN 2.5:1 USE CLASS I TYPE B. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WisDOT'S FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WisDNR TECHNICAL STANDARDS.
21. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE B EROSION CONTROL MATTING. ELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WisDOT'S FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WisDNR TECHNICAL STANDARDS.
22. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE COVERED WITH A BIO-DEGRADABLE EROSION MAT INCLUDING BIO-DEGRADABLE STAPLES.
23. ALL BIO-DEGRADABLE EROSION MAT SHALL BE CURLEX NET FREE OR APPROVED EQUAL.
24. WATERING OF NEW SEEDING SHALL BE OF A DURATION AND FREQUENCY ADEQUATE TO ENSURE PROPER ESTABLISHMENT OF NEW SEEDING.
25. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

WATER MAIN

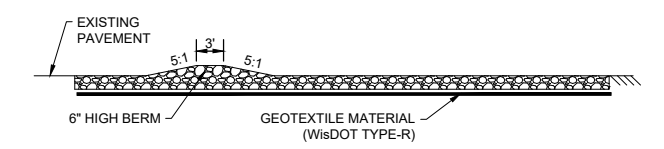
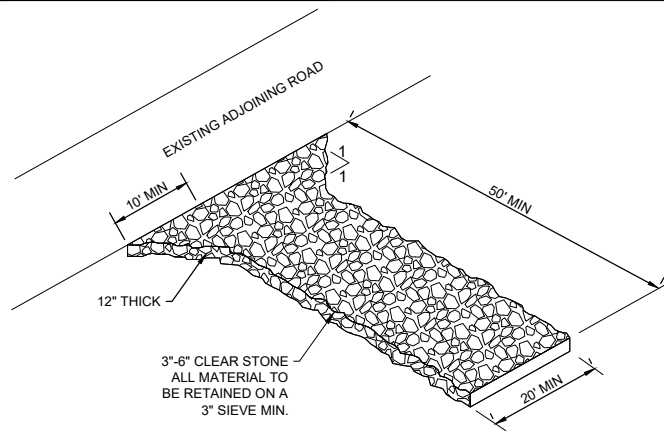
- 1. WATER MAIN SHALL BE DUCTILE IRON UNLESS OTHERWISE APPROVED, AND BEDDED WITH TYPE 3 EMBEDMENT (SAND OR SAND SCREENINGS). BEDDING SHALL BE A MINIMUM OF 6" UNDER AND 12" OVER TOP OF THE PIPE.
2. FIRE HYDRANT LEADS SHALL BE CLASS 52 DUCTILE IRON AND ALL JOINTS IN THE LEAD SHALL BE MECHANICAL JOINTS WITH MEGALUG GLANDS, RODDING, OR AN APPROVED LOCKING JOINT
3. MECHANICAL JOINT FITTINGS WITH MEGA LUGS ARE REQUIRED FOR ALL DIRECTIONAL CHANGE FITTINGS AND WATERMAIN ENDS. ALL BOLTS SHALL BE STAINLESS STEEL. ALL FITTINGS SHALL BE "MADE IN AMERICA" CERTIFIED.
4. WATER MAINS SHALL UNDERGO A PRESSURE AND LEAKAGE TEST. SERVICES SHALL BE TESTED TO THE CURB STOP. SERVICES 4" AND LARGER WITH JOINTED PIPE SHALL BE TESTED AGAINST THE VALVE WITH A SECOND TEST OUT TO THE PLUG. THE SECOND TEST MAY BE OF SHORTER DURATION AS APPROVED BY THE PUBLIC SERVICES DIRECTOR.
5. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL.
6. ALL WATER MAIN CONSTRUCTION SHALL MEET THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
7. FIRE HYDRANTS SHALL BE WATEROUS PACER WB6 AND PAINTED RED. FIRE HYDRANTS SHALL CONFORM TO AWWA C502.
8. FIRE HYDRANT MARKERS SHALL BE 48-INCH, RED, SLIMLINE FH FIRE HYDRANT MARKER MANUFACTURED BY FLEXSTAKE, INC., MODEL NO. SFH-3
9. WATER VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 RESILIENT WEDGE GATE VALVES OR APPROVED EQUAL.

V:\proj\15025125_089230CAD\125089230 DETL NOTE.dwg TAYLOR MARTIN PROJ.CE/NOTES 2/25/2018 3:40 PM ANSI FULL BLEED B 17.00 X 11.00 INCHES

Table with 4 columns: CITY COMMENTS, REVISION, Checked By, Date. Includes revision history for the drawing.

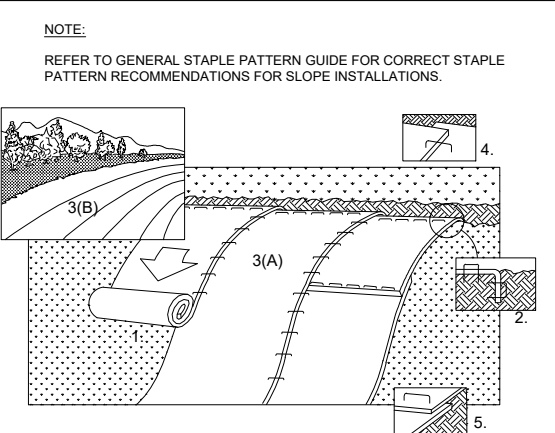
TERRAVESSA LOT 34
PROJECT NOTES
FITCHBURG, DANE COUNTY, WISCONSIN
SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-638-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES logo and contact information. Project No: 125.0892.30. Sheet C700.



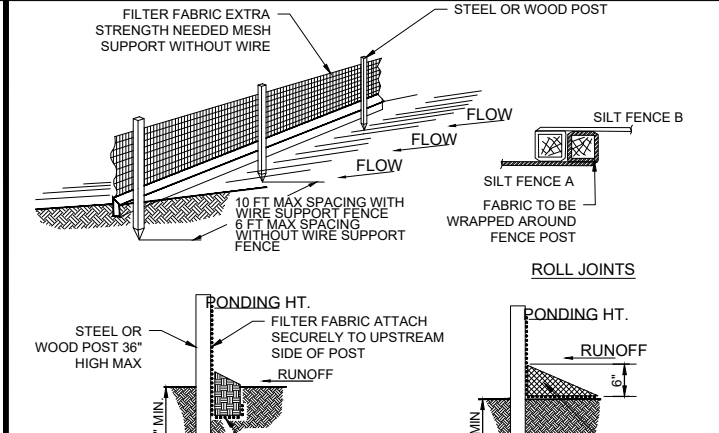
- NOTE:**
1. MAINTAIN THE ROCK ENTRANCE TO PREVENT TRACKING ONTO PAVEMENT

1 **STONE ENTRANCE DETAIL**
SCALE: 3"=1'



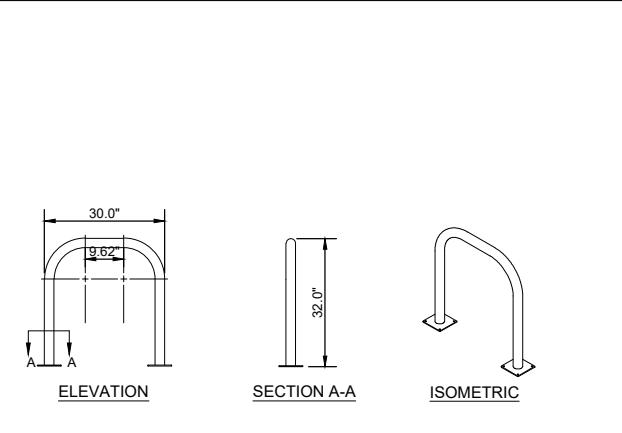
- NOTE:**
REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
- INSTALLATION:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE BLANKETS (A.) DOWN THE SLOPE (B.) HORIZONTALLY ACROSS THE SLOPE
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
 6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
 7. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD # 1052.

2 **EROSION CONTROL MAT - SLOPE INSTALLATION**
N.T.S.



- NOTE:**
1. INSPECT FENCE WEEKLY AND AFTER EACH RAIN EVENT OF 0.5 INCHES AND REPAIR IF REQUIRED. REMOVE SEDIMENT WHEN NECESSARY OR WHEN SEDIMENT REACHES 1/2 OF FENCE HEIGHT.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 4. SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.

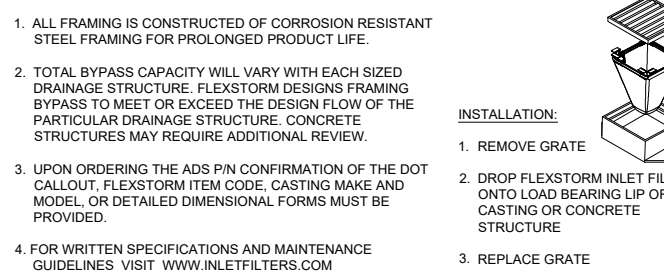
3 **SILT FENCE DETAIL**
N.T.S.



- NOTE:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

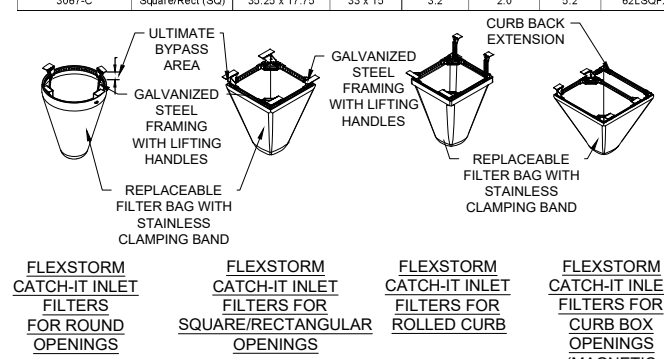
6 **BIKE RACK DETAIL**
N.T.S.

- NOTES:**
1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
 2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
 3. UPON ORDERING THE ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
 4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM



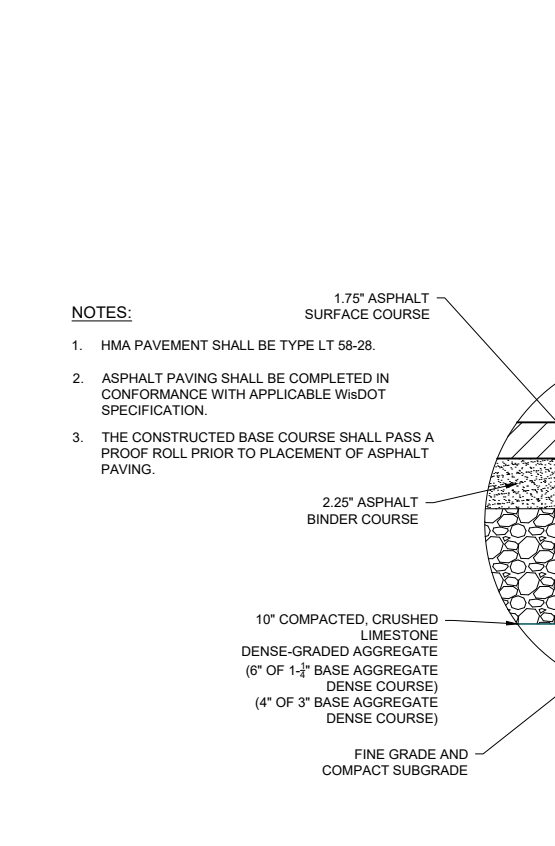
Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)

Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft ²)	Flow Ratings (CFS)		ADS P/N
					FX	Bypass	
1040/1642/1733	Round	26	24	1.9	1.5	5.4	62MRDFX
3067 w/FLAP	Curb Box	35.25 x 17.75	33.0 x 15.0	3.8	1.9	5.6	62LCBEXTFX
3067 EXTENDED BACK	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62LCBEXTFX
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	2.2	3.3	62LCBFX
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	1.4	2.2	62MCBFX
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	2.0	5.2	62LSQFX

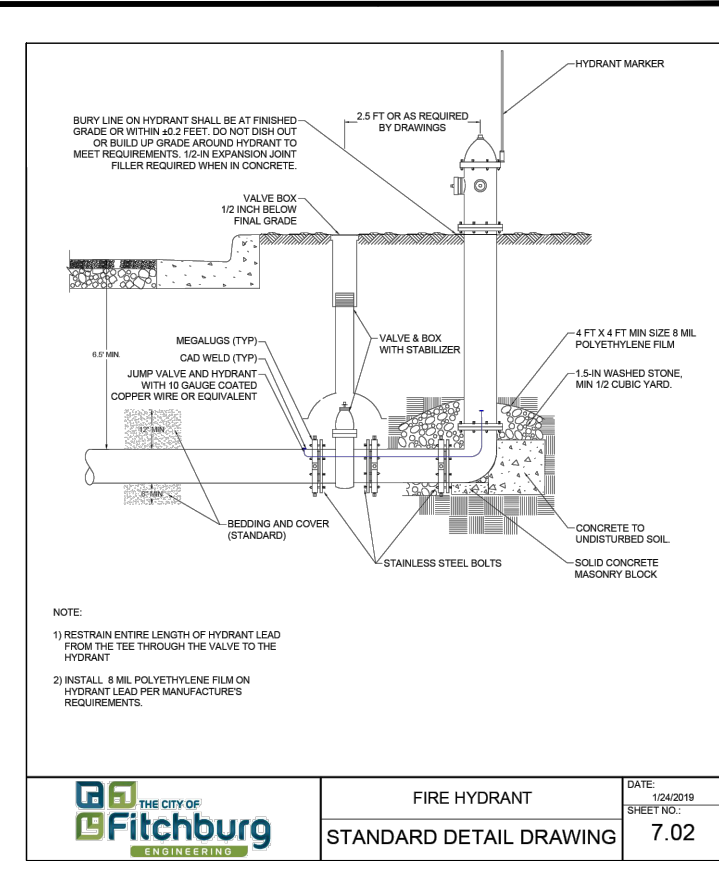


4 **INLET PROTECTION DETAIL**
N.T.S.

- NOTES:**
1. HMA PAVEMENT SHALL BE TYPE LT 58-28.
 2. ASPHALT PAVING SHALL BE COMPLETED IN CONFORMANCE WITH APPLICABLE WisDOT SPECIFICATION.
 3. THE CONSTRUCTED BASE COURSE SHALL PASS A PROOF ROLL PRIOR TO PLACEMENT OF ASPHALT PAVING.



5 **MEDIUM DUTY ASPHALT PAVING DETAIL**
N.T.S.



7 **FIRE HYDRANT STANDARD DETAIL DRAWING**
N.T.S.

MARK	REVISION	DATE	BY
3	CITY COMMENTS	08-18-25	BCA
2	CITY COMMENTS	08-15-25	BCA
1	CITY COMMENTS	08-12-25	BCA

Engineer: BCA
Checked By: MLC
Date: 07-29-2025
Technician: DMS
Scale: 1" = 10'
T-R-S: 06N-09E-12

FITCHBURG, DANE COUNTY, WISCONSIN

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-835-0444 | www.snyder-associates.com

TERRAVESSA LOT 34

PROJECT DETAILS

SNYDER & ASSOCIATES, INC.



Project No: 125.0892.30
Sheet C702

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GENERAL LANDSCAPE NOTES

- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
- ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY LANDSCAPE ARCHITECT. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW, ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR LANDSCAPE ARCHITECT WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
- CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY AND THEFT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. IF IRRIGATION IS INCLUDED, COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12".
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION PER RATE IDENTIFIED BY A SOIL TEST.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.

GENERAL LANDSCAPE NOTES CONT.

- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.

GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 17" X 11" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- GEOTECHNICAL SOILS REPORT RECOMMENDATIONS SHALL BE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.

GENERAL NOTES CONT.

- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THE LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
TREES						
	GP	2	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2.5" Cal.	B&B
	GT	4	Gleditsia triacanthos inermis 'Skyline'	Skyline Honey Locust	2.5" Cal.	B&B
	QS	2	Quercus robur 'Fastigiata'	Skyrocket® English Oak	2.5" Cal.	B&B
	UF	2	Ulmus carpinifolia x parvifolia 'Frontier'	Frontier Elm	1.5" Cal.	B&B
EVERGREEN TREES						
	JS	7	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	4' Ht.	B&B
	TB	7	Thuja occidentalis 'Brandon'	Brandon Arborvitae	4' Ht.	B&B
ORNAMENTAL TREES						
	MB	6	Malus x 'Red Barron'	Red Barron Crabapple	1.5" Cal.	B&B
	PC2	5	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	1.5" Cal.	B&B
SHRUBS						
	AE	9	Aronia melanocarpa	Black Chokeberry	3 gal.	Pot
	CF	4	Cornus sericea 'Farrow' TM	Arctic Fire Red Twig Dogwood	3 gal.	Pot
	JB2	7	Juniperus horizontalis 'Blue Rug'	Blue Rug Juniper	3 gal.	Pot
	PO	10	Physocarpus opulifolius 'Donna May' TM	Little Devil Dwarf Ninebark	3 gal.	Pot
	PP2	11	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	3 gal.	Pot
	SO	12	Syringa x 'SMNJRP' TM	Bloomerang Dwarf Pink Lilac	3 gal.	Pot
GRASSES						
	PS	26	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 gal.	Pot
	SH2	27	Sporobolus heterolepis	Prairie Dropseed	1 gal.	Pot
GROUND COVERS						
	RM	3,021 sf	Rock Mulch	See Construction Notes for Type	---	
	TD	1,283 sf	Turf Seed Drought Tolerant Dwarf Fescue Blend	See Construction Notes for Type	seed	
	TB2	992 sf	Turf Sod Bluegrass	See Construction Notes for Type	sod	

L:\Projects\1250892\1250892_001\23\LANDSCAPE\LANDSCAPE NOTES_20250918_3-18 PM_ANSI BULEEDED (11.00 x 17.00).RVT

09-18-25	BCA	CITY COMMENTS	DATE	BY
09-18-25	BCA			
09-18-25	BCA			
09-18-25	BCA	REVISION	1	1
Checked By: MLC		Scale: 1" = 100'		
Engineer: BCA		Date: 07-29-2025		
Technician: DMS		T-R-S: 09N-09E-12		

TERRAVESSA LOT 34

LANDSCAPE NOTES

FITCHBURG, DANE COUNTY, WISCONSIN

SNYDER & ASSOCIATES, INC. |

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 125.0892.30

Sheet L100

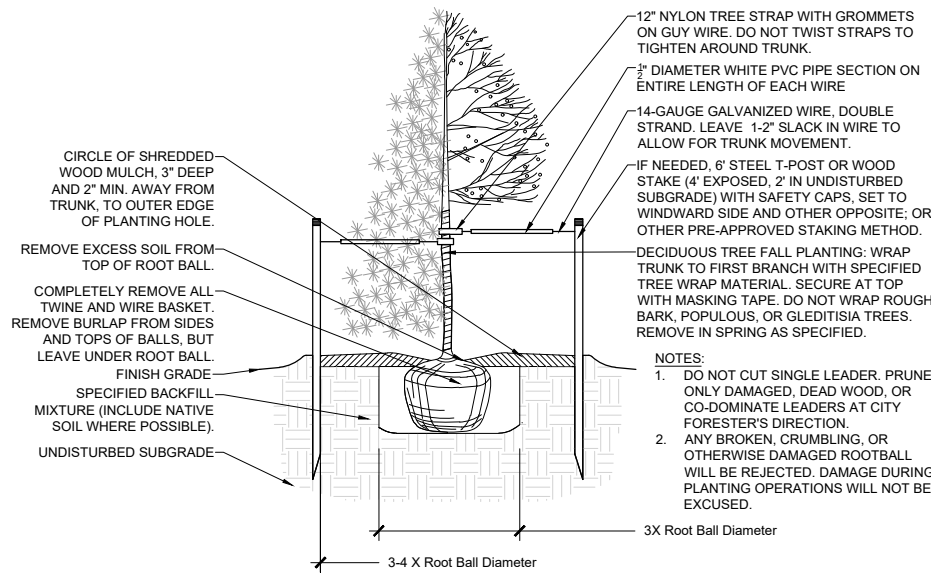
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE

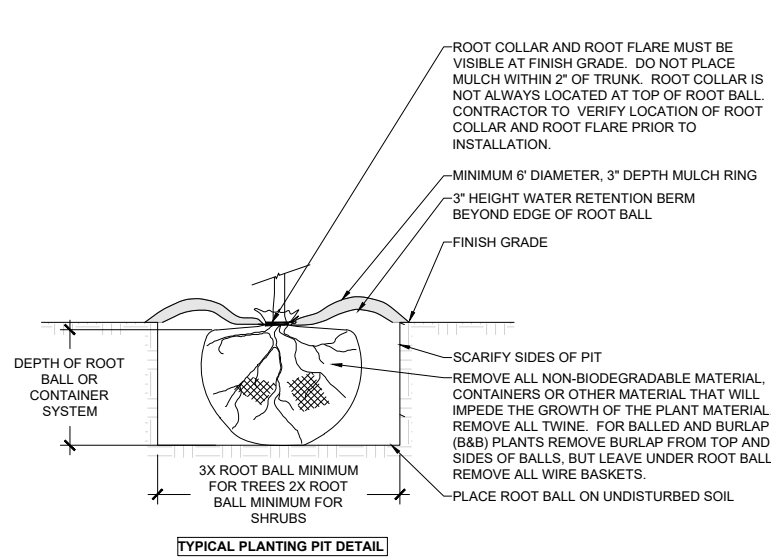
1-800-242-8511

TOLL FREE

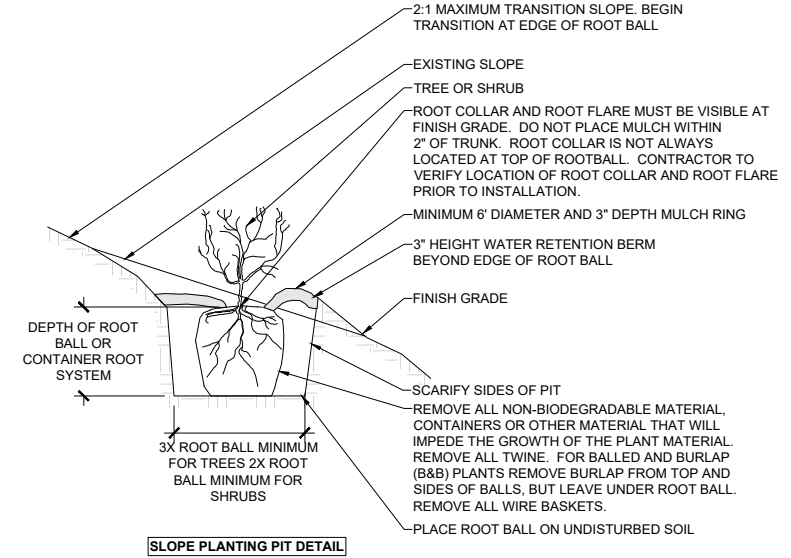
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



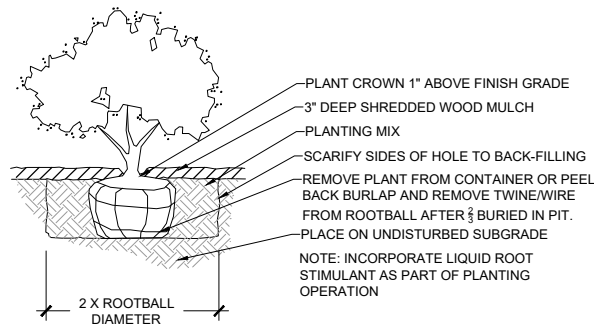
1 TREE PLANTING
SCALE: 1/2" = 1'-0"



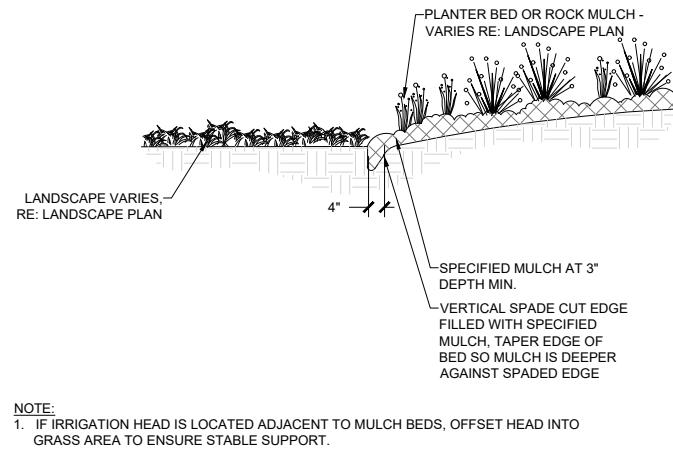
2 PLANTING PIT
NO SCALE



SLOPE PLANTING PIT DETAIL



3 SHRUB PLANTING
SCALE: 1/2" = 1'-0"



4 SPADE CUT EDGE
SCALE: 1/2" = 1'-0"

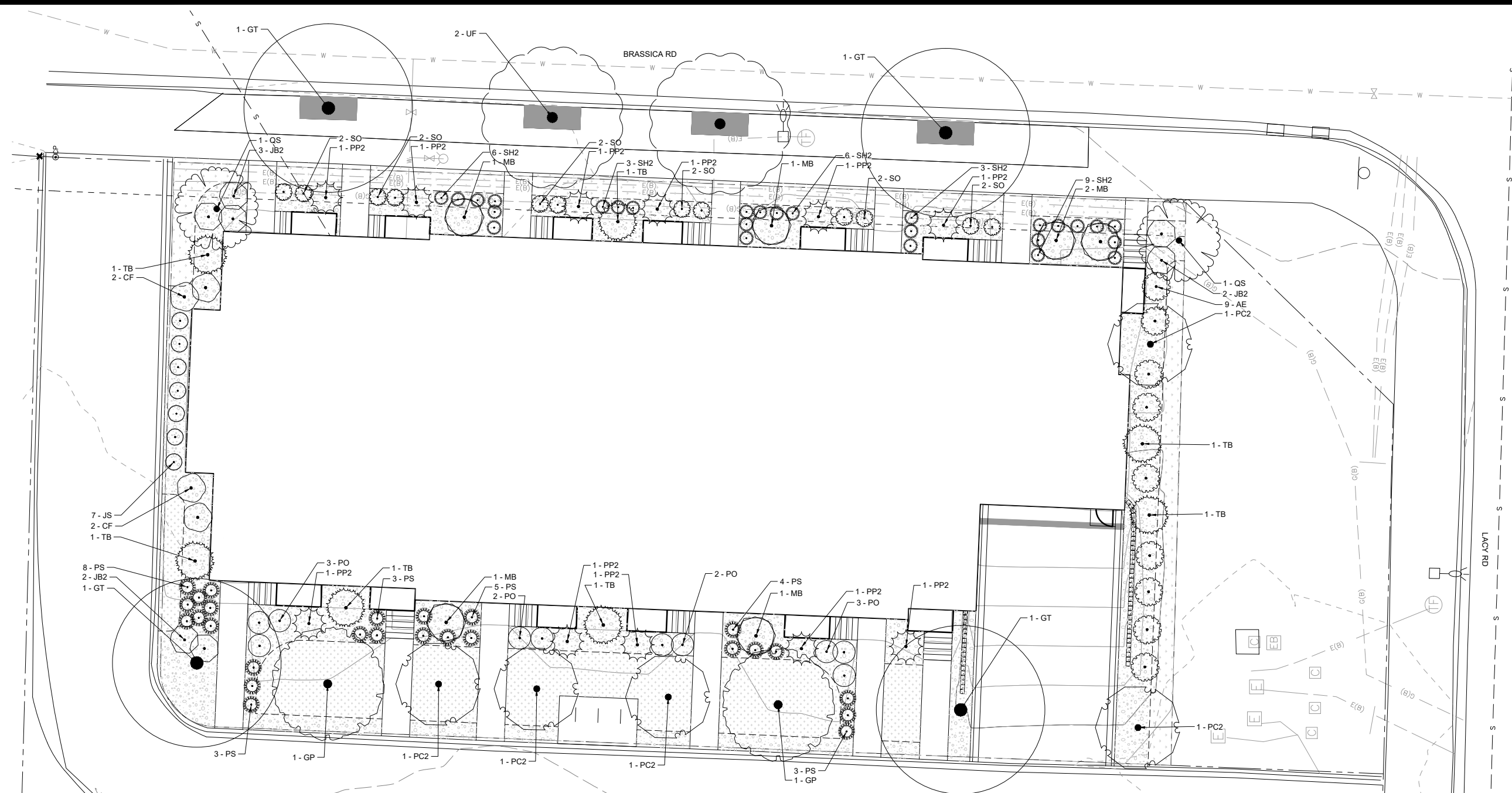
3	CITY COMMENTS	09-18-25	BCA
2	CITY COMMENTS	09-15-25	BCA
1	CITY COMMENTS	09-12-25	BCA
MARK	REVISION	DATE	BY
Engineer: BCA	Checked By: MLC	Date: 07-29-2025	Scale: 1" = 10'
Technician: DMS	T-R-S: 06N-09E-12		

TERRAVESSA LOT 34
LANDSCAPE DETAILS
FITCHBURG, DANE COUNTY, WISCONSIN
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-839-0444 | www.snyder-associates.com
SNYDER & ASSOCIATES, INC. |
Project No: 125.0892.30
Sheet L101



V:\Projects\125.0892.34\CAD\125089234.LAND.PLAN.PDF BACKGROUNDS LANDSCAPE DETAILS 20250918 3:18 PM ANSIFULL.BEEDER (11.00X 17.00 INCHES)

V:\Projects\125.0892.34\125.0892.34\LAND PLAN.dwg RAC/DAVIS, R. ANTINE/ELAN 2025/05/05 3:15 PM ANSI BLUE B LEEDS 9 (11.00 x 17.00 INCHES)



PLANT SCHEDULE		
	CODE	COMMON NAME
TREES		
	UF	Frontier Elm
	GP	Princeton Sentry Maidenhair Tree
	GT	Skyline Honey Locust
	QS	Skyrocket® English Oak
EVERGREEN TREES		
	TB	Brandon Arborvitae
	JS	Skyrocket Juniper
ORNAMENTAL TREES		
	PC2	Columnar Sargent Cherry
	MB	Red Barron Crabapple
SHRUBS		
	CF	Arctic Fire Red Twig Dogwood
	AE	Black Chokeberry
	SO	Bloomerang Dwarf Pink Lilac
	JB2	Blue Rug Juniper
	PP2	Dwarf Mugo Pine
	PO	Little Devil Dwarf Ninebark
GRASSES		
	SH2	Prairie Dropseed
	PS	Shenandoah Switch Grass
SYMBOL CODE COMMON NAME		
GROUND COVERS		
	RM	See Construction Notes for Type
	TD	See Construction Notes for Type
	TB2	See Construction Notes for Type

- LANDSCAPE CONSTRUCTION NOTES**
- ROCK MULCH: 3" AMERICAN WASHSTONE PROVIDED BY CIRCLE B LANDSCAPE SUPPLY (<https://circlebonline.com/>) OR APPROVED EQUAL. PROVIDE 3" DEPTH ROCK MULCH IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADE CUT EDGER WHEN PERIMETER IS NOT CONCRETE CURB. NO WEED FABRIC AT GROUND COVER OR PERENNIAL PLANTS.
 - TURF SEED: MADISON PARKS GRASS SEED BLEND.
 - SOD: BLACK BEAUTY TALL FESCUE KENTUCKY BLUEGRASS (TFKB SOD) PROVIDED BY PAUL'S TURF AND TREE NURSERY (<https://www.paulsturfandtree.com/>) OR APPROVED EQUAL.
 - WOOD MULCH: PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER.
- LANDSCAPE LEGEND**
- SPADE CUT EDGER, RE: DETAIL 4/L101
 - 4' X10' TREE WELL WITH GRATE

TERRAVESSA LOT 34

PLANTING PLAN

SNYDER & ASSOCIATES, INC. |



Project No: 125.0892.30

Sheet L200

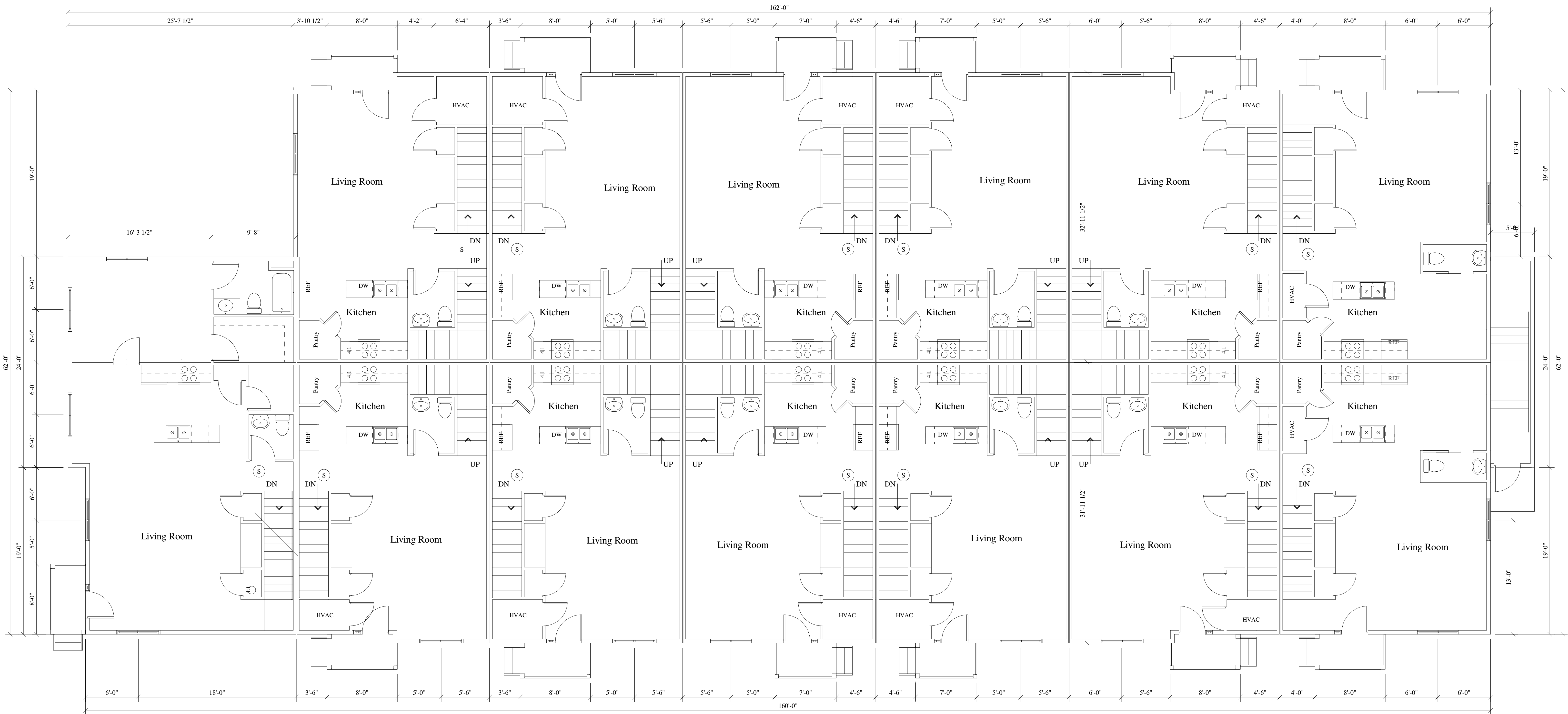
MARK	REVISION	DATE	BY
3	CITY COMMENTS	05-18-25	BCA
2	CITY COMMENTS	05-15-25	BCA
1	CITY COMMENTS	05-12-25	BCA

Checked By: MLC
 Engineer: BCA
 Technician: DMS
 Date: 07-29-2025
 T-R-S: 06N-09E-12
 Scale: 1" = 10'

Project No: 125.0892.30
 Sheet L200

FITCHBURG, DANE COUNTY, WISCONSIN

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



First Floor Plan
Scale = 3/16"=1'-0"

Jeffery Groenier, Architect
W125 Amidon Road
Brooklyn, WI 53521
608-698-3196
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Concepts
in
Architecture, LLC

Proposed for: CF Investments, LLC
Address: 3636 Skytop Road
McFarland 53558
608-576-4309

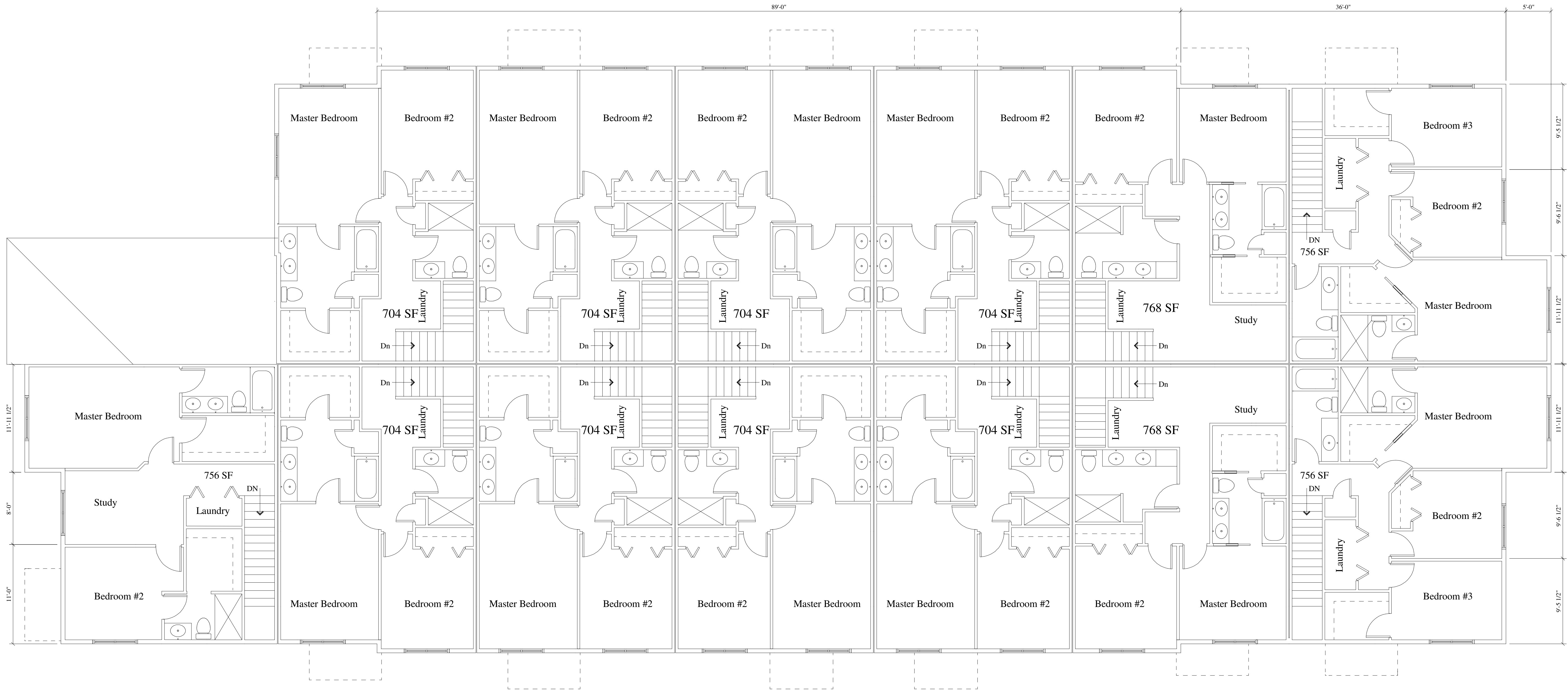
Project: 13 Unit
Address: Fitchburg, WI
Sheet Title: First Floor Plan

Date: 07-21-2025

Scale: As Noted

Job #: 05-01

SHEET
A2



Second Floor Plan
Scale = 3/16"=1'-0"

Jeffery Groenier, Architect
W125 Amidon Road
Brooklyn, WI 53521
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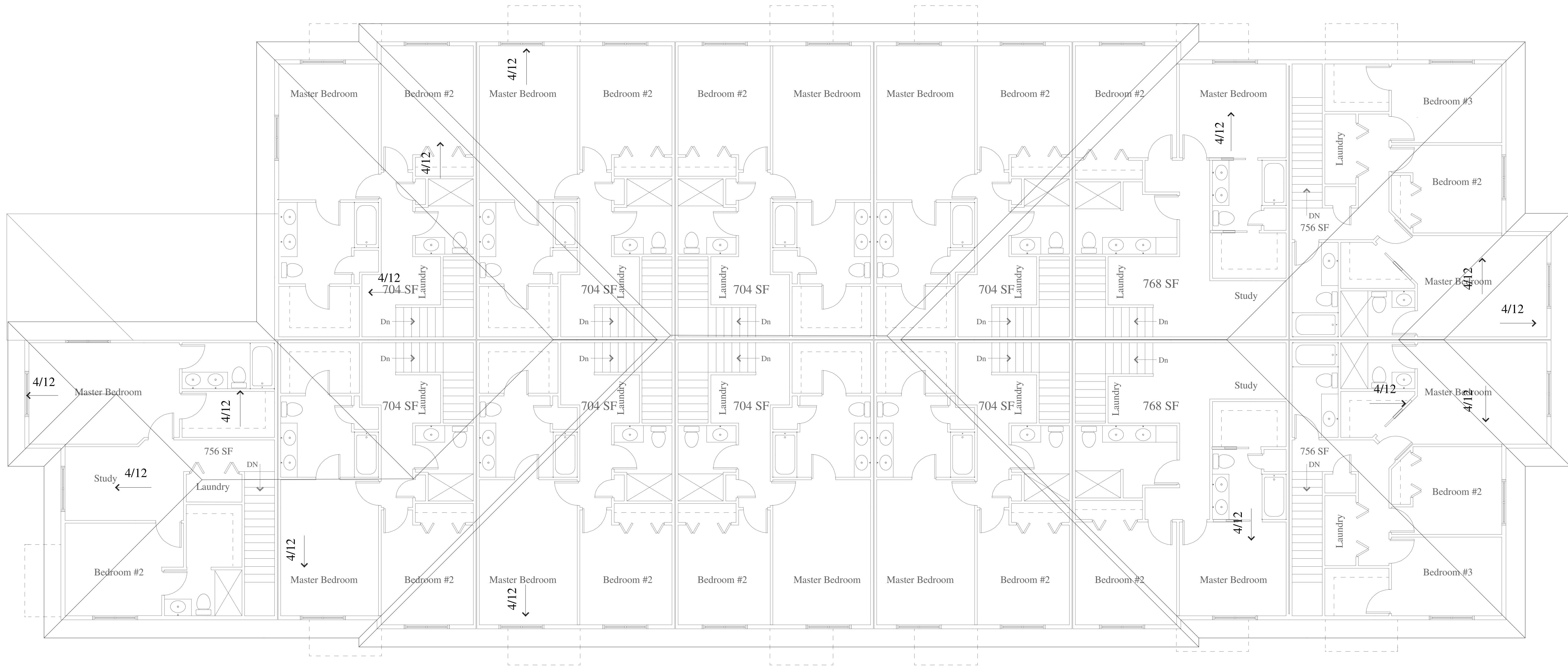
Concepts
in
Architecture, LLC

Proposed for: CF Investments, LLC
Address: 3636 Skytop Road
McFarland 53558
608-576-4309

Project: 13 Unit
Address: Fitchburg, WI
Sheet Title: Second Floor Plan

Date: 07-30-2025
Scale: As Noted
Job #: 05-01

SHEET
A3



Jeffery Groenier, Architect
 W125 Amidon Road
 Brooklyn, WI 53521
 608-698-3196
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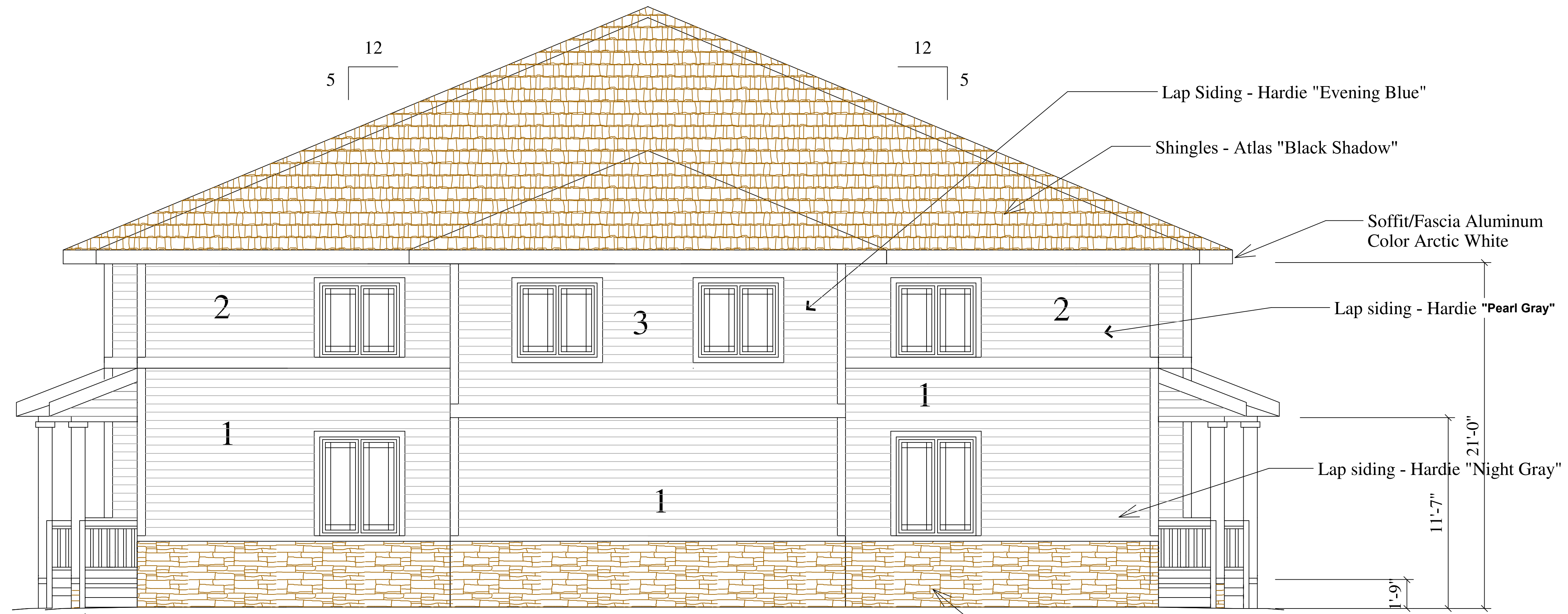
Proposed for: **Concepts in Architecture, LLC**

Project: **CF Investments, LLC**
 Address: 3636 Skytop Road
 McFarland 53558
 608-576-4309

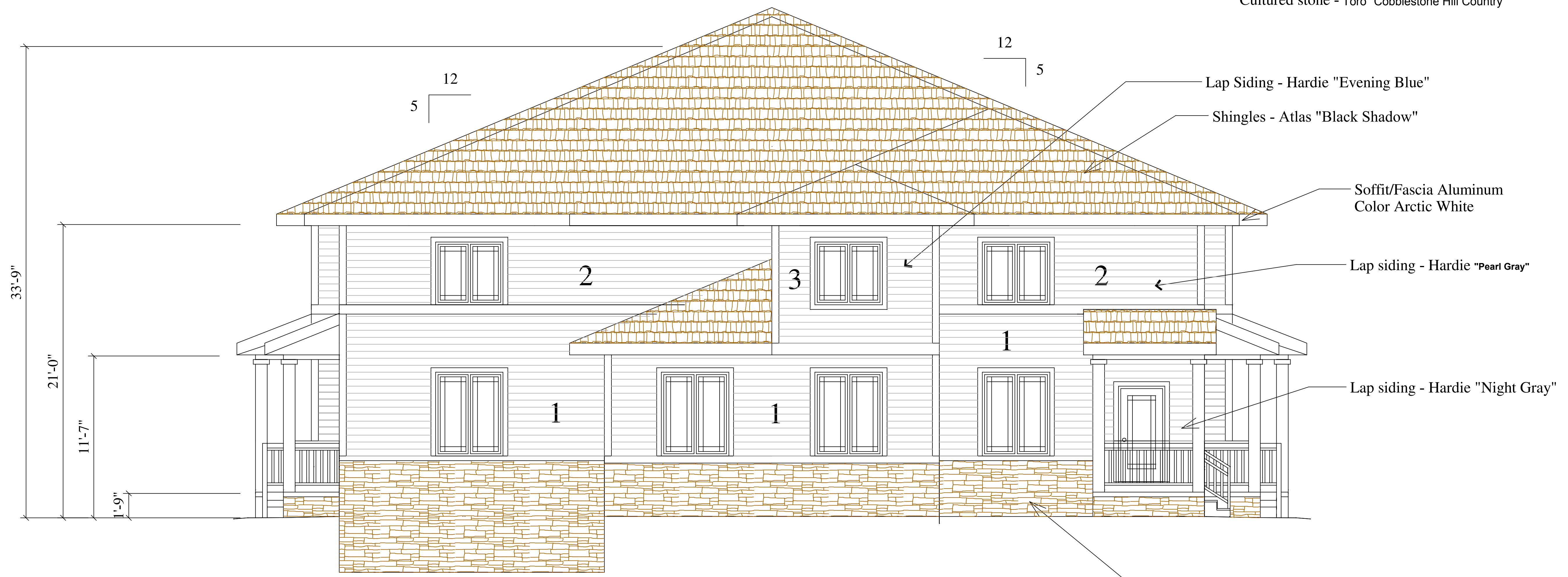
Project: **13 Unit**
 Address: Fitchburg, WI
 Sheet Title: **Roof Plan**

Date: 07-30-2025
 Scale: As Noted
 Job #: 05-01

SHEET
A4



○ West Elevation
Scale = 1/4"=1'-0"



○ East Elevation
Scale = 1/4"=1'-0"

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W125 Amidon Road
Brooklyn, WI 53521
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in
Architecture, LLC

Proposed for: CF Investments, LLC
Address: 3636 Skytop Road
McFarland 53558
608-576-4309

Project: 13 Unit
Address: Fitchburg, WI
Sheet Title: Elevations

Date: 08-08-2025
Scale: As Noted
Job #: 05-01

SHEET
A5

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 Brooklyn, WI 53521
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Concepts
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Proposed for: **CF Investments, LLC**
 Address: 3636 Skytop Road
 McFarland 53558
 608-576-4309

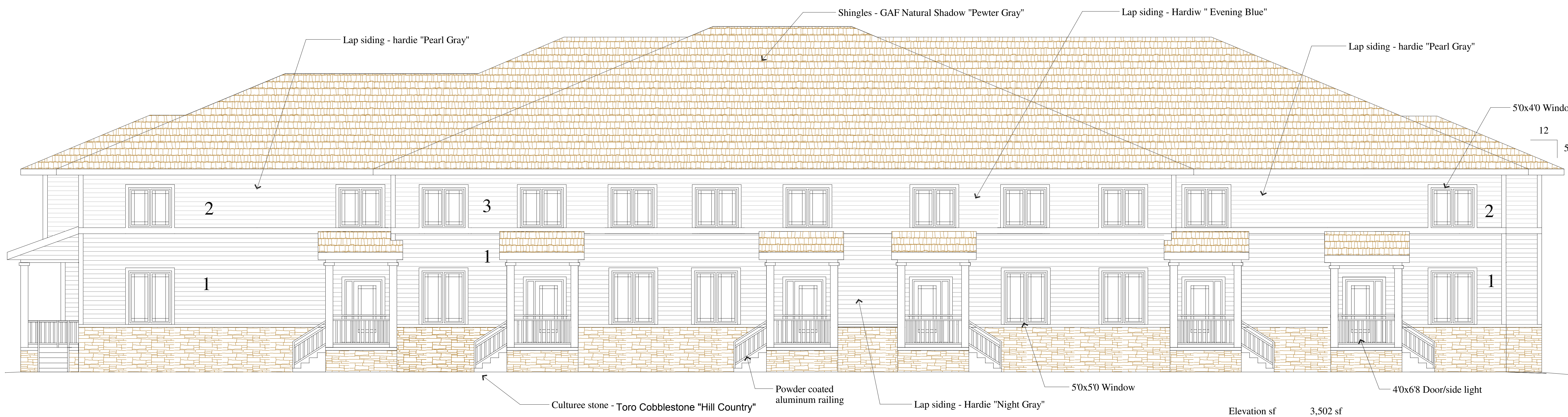
Project: **14 Unit**
 Address: Fitchburg, WI
 Sheet Title: **Elevations**

Date: 08-13-2025
 Scale: As Noted
 Job #: 05-01

SHEET
A6



South Elevation
 Scale = 3/16"=1'-0"



North Elevation
 Scale = 3/16"=1'-0"

Elevation sf	3,502 sf	
Siding sf	2,294 sf	
Brick sf	635 sf	34.5%
Window/door sf	573 sf	

50x50 Window
 40x68 Door/side light

Powder coated aluminum railing

50x40 Window

13-unit Exterior Materials

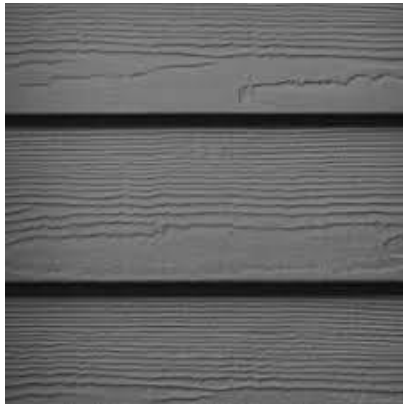
Stone: Toro "Cobblestone Hill Country"



Shingles: Atlas "Black Shadow"



Siding 1: Hardie "Night Gray"



Siding 2: Hardie "Evening Blue"



Siding 3: Hardie "Pearl Gray"



Trim and band boards: White

Soffit/fascia: White

Gutters: White

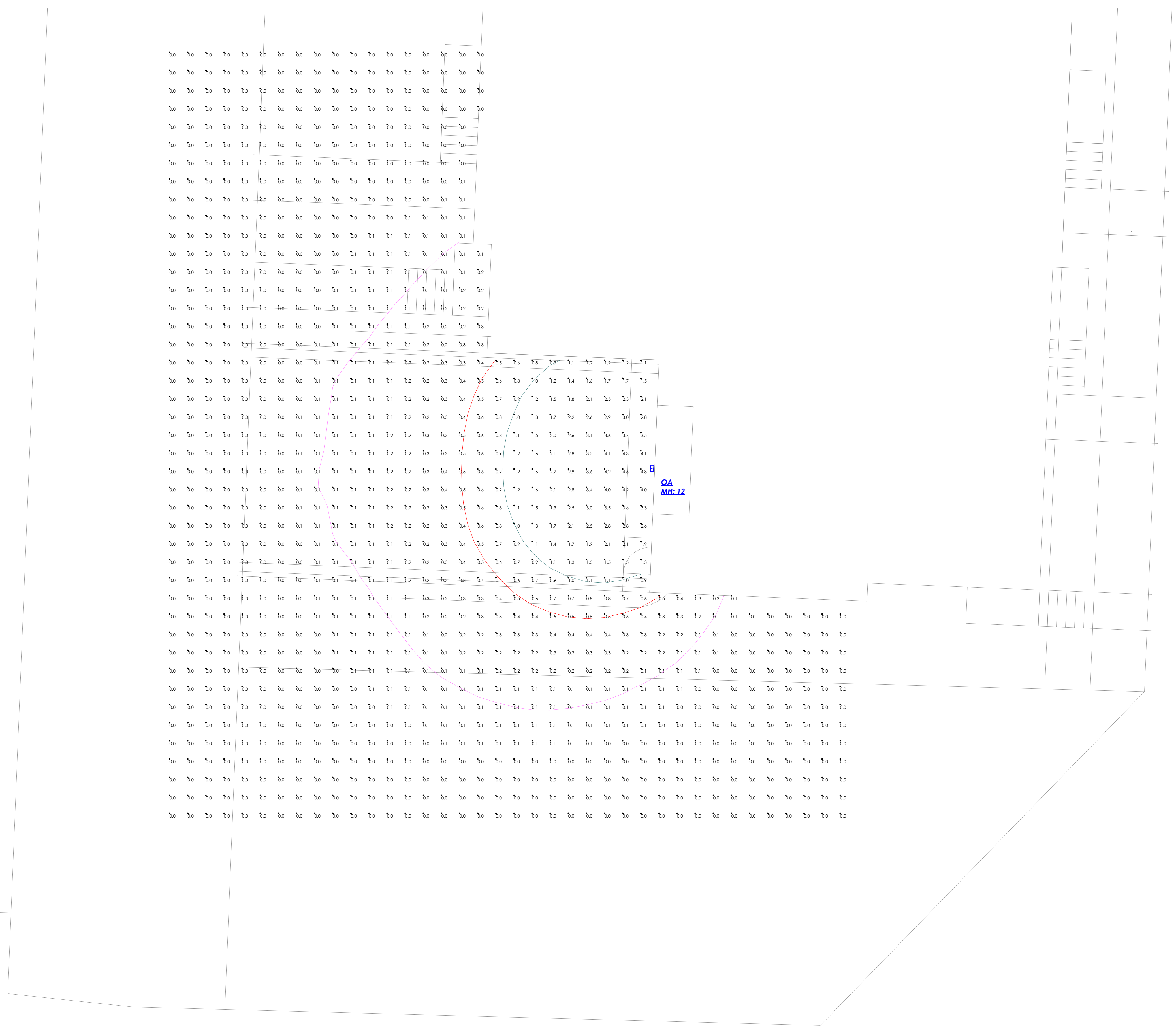
Garage door: White

Windows: White

1. Standard Reflectance of 80/50/20 unless noted otherwise
2. Not a Construction Document, for Design purposes only
3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. Egress calc points @ 0" A.F.F.
6. Mlazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.26	4.5	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF	
□	1	OA	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	AXCS1A	Single	1806	13.5	0.900	



PHOTOMETRIC SITE PLAN
TERRAVESSA
FITCHBURG, WI

RLMA Project #: 176594
 Drawn By: EP
 Date: 8/13/2025
 Scale: 1" = 6'

#	Date	Comments
Revisions		



MLAZGAR ASSOCIATES
 14350 W. GIENDALE DR.
 NEW BERLIN, WI 53151
 (P) 414-943-1915
 (F) 952-943-8088
 www.mlazgar.com

Project Name

Location

Prepared By



NUVO 65-748

LED SMALL WALL PACK W/PHOTOCEL

Notes

[www] 08-08-2023 09:00:09

General

Status	Active
Fixture Type	Wall Pack
Finish	Bronze
Wattage	20W
Lumen Output	2608.9L/2920.8L/2703.4L
CCT (Kelvin)	3000K/4000K/5000K
Temperature	Warm to Cool White
IP Rating	IP65
Indoor or Outdoor Fixture	Outdoor

Specifications

Technology	LED
CRI	80+
Voltage	120V-277V
Beam Angle	100
Rated Hours	50000
Operating Temperature	-20C (-4F) to +45C (+113F)
Dimmable	Yes-Dimmable
Dimming Note	0-10V Dimming
Photocell or Sensor	Has Photocell
Lens Material	Polycarbonate (PC)
Surge Protection	Built-in surge protection - 2.5KV
Weight (lb.)	1.98
Material	Cast Aluminum

Dimensions

Height (in.)	8.59
Width (in.)	5.81
Extension (in.)	3.09

Compliance

Safety Listing	cULus - Certified
Location Rating	Wet
ENERGY STAR	No
DLC Approved	Yes
DLC ID	S-GL6EYJ
ADA Compliant	Yes
B.U.G. Rating	B1-U3-G2
NSF Approved	Yes
California Status	Lawful for sale in California
Title 20 / 24 Status	Lawful for sale
California Prop 65	Lead
RoHS Compliant	Yes
FCC Compliant	Yes
Canadian Standard ICES-005	Class A
SDS Sheet	LED_Fixture

Additional Information

Warranty	5-Years
----------	---------