

July 18, 2025

City of Fitchburg
Attn: Deanna Schmidt
5520 Lacy Road
Fitchburg, WI 53711



Dear Deanna:

The attached PDD-SIP submittal pertains to Building A of the development plan for Lot 3 north of Lacy Road and west of South Seminole Highway. Also included with this submittal are the CSM, Sign submittal, and Stormwater and Erosion Control supporting documents.

The proposed development would consist of a portion of Lot 2 CSM 8023. The overall development would incorporate five 4-story multi-family buildings with 43-88 units per building for a total of 304 units, with both underground and surface parking areas. This submittal is for Building A only.

At the October 10, 2024, Plan Commission Meeting, the comprehensive plan was amended to have this site identified as High Density Residential land use. At the June 24, 2025 Common Council Meeting, PDD-GIP zoning was approved.

Project Name: Newcomb Seminole Development – Building A

Development Team:

Owner/
Developer:

Architect
of Record:

Engineer:

Design
Architect:

Sign
Company:

Landscape
Architect:

Introduction:

Building A is an L-shaped building on the corner of Lacy Rd and South Seminole Hwy, with 88 dwelling units, underground and surface parking. Surface parking is accessed from South Seminole Highway and underground parking is accessed by a ramp on the western side of the building surface lot.

The design favors horizontal elements in order to ease the buildings respectfully onto the land. To promote a connection between residents and their surroundings, large balconies are included featuring a unique design that offers visual screening to residents. There are broad roof overhangs to provide a sense of protection and shelter, as well as visual variety from changing shadows across the course of a day. Color selection is based in nature, with lapped siding used in two colors of green, and with accent areas in russet-colored vertical panels. The buildings are anchored by concrete bases which are sandblasted to reveal the warmth of rock aggregate within. Taken together, these elements are meant to provide a satisfying appearance from both within the site and from without.

Site Development Data (Lot 4):

Existing Zoning: PDD-GIP
Existing Parcel: 060908395704 2715 S. Seminole Hwy.

Lot Area 107,663 S.F. / 2.47 acres
Dwelling Units 88 D.U.
Lot Area / D.U. 1,223 S.F. / D.U.
Density 35.6 units / acre
Total Impervious 64,206 SF / 59.6%

Building Height: 4 Stories / 46'-6"

Preliminary Unit Mix:

Studio	11
Micro One Bedroom	8
One Bedroom	40
One Bedroom + Den	8
Two Bedroom	18
Three Bedroom	3
<hr/>	
Total per Building	88

Vehicle Parking:

Underground	87
Surface parking lots	44
<hr/>	
Total	131 vehicle stalls

Bicycle Parking:

Garage Wall-Mount	86
Guest Surface	6
<hr/>	
Total	92

Surrounding Context:

To the east along South Seminole highway, the existing properties are designated Medium Density Residential and High Density Residential. To the west, the land is identified as Industrial – Commercial and Parks & Conservancy. To the south, the land is designated as Government / Institutional and Agriculture & Open Space.

Existing Site Conditions & Topography:

The existing site is farmland with an existing residential home and numerous outbuildings. The site slopes gradually from north to south and from west to east.

Landscape Design and Site Amenities:

This project will include a variety of outdoor amenities and provide a diversity of experiences and activities for a wide range of ages, within a landscape design focusing on a natural aesthetic and native plant selection. The site is adjacent to the Badger State Trail, which will be embraced as an amenity to tenants and as a means of alternative transportation and recreation. Large areas above structured parking will be used for resident amenities such as grilling and outdoor dining, gas fire pits, lounge seating, and lush ornamental plantings. Once all phases are complete a central courtyard space will include a swimming pool with sun deck and additional outdoor lounging and grilling/dining spaces. The public areas are available for large, medium, and small groups. Individual unit patios will have access to the outdoor amenities where feasible. Plantings will work with sun and shade patterns to emphasize and support outdoor activities.

Existing site vegetation consists of mostly agricultural land and mowed lawn. The western perimeter along the Badger State Trail contains largely invasive and undesirable species, but some native tree specimens remain and may be preserved where possible. There are also existing mature trees in the residential plot near the intersection of South Seminole Highway and Minong Lane. There may be opportunities to preserve some of these, particularly along the roadway. Individual trees will be analyzed for preservation in the initial phase of construction to determine root zone and canopy pruning, as needed for construction access and building envelope. The trees remaining will be protected through construction.

New trees will be added throughout the site to soften the perimeter views from South Seminole Highway and Lacy Road and to shade interior parking lots. Tree species will be selected based on ornamental characteristics, appropriateness of mature size, cold and drought hardiness, and site microclimate considerations. The ground plane will be restored using a native prairie seed mix in designated areas and around the large stormwater basin. The basin itself will be planted with native plugs in a species mix suited to both drought and occasional inundation. Maintenance of prairie areas will be seasonal mowing or controlled burning (if and where feasible) to control invasive species and promote the proposed native species and cultivars. Open lawn areas will receive a blend of turf-type fescues and Kentucky bluegrass. Building foundations, parking lot islands, and ornamental planting beds will make use of shrubs, perennials, and ornamental grasses. Species will be selected based on hardiness, microclimate, and a demonstrated history of reliable performance. The species mix will emphasize natives because of their resiliency, friendliness to pollinators, and ornamental characteristics, but non-native species will also be included when appropriate. Absolutely no invasive species will be specified. Plantings will meet all local requirements for new development.

Zoning Request:

Planned Development District – Specific Implementation Plan (PDD-SIP)

Stormwater Management:

This site will be designed to meet new development standards per the City of Fitchburg code of ordinances. Per the ordinance, the site is required to provide sediment control, runoff rate control, and infiltration. The project is located within two internally drained watersheds, so the site must infiltrate as close to 100 percent of the average annual pre-development infiltration volume.

The overall development's stormwater management requirements will be met by four bioretention basin and two underground infiltration chamber systems. The underground chamber systems will collect runoff from some of the rooftop areas. The chambers have open bottoms to allow for infiltration into the native soil below. The bioretention basins will collect runoff from the remaining rooftops, the parking lots, and patio areas. The bioretention basins will have engineered soil, which will improve the water quality and provide oil and grease control. The bioretention basins will also promote infiltration into the native soil below. The bioretention basins will provide above ground storage volume, and the outlet structure of the basin will be designed to limit the peak discharge rate from the site.

Consistency with Comprehensive Plan:

On October 10, 2024, the City of Fitchburg Plan Commission adopted Ordinance 2024-O-30 which modified the future land use designation in Map 4.3 Future Land Use Map, for property off S Seminole Highway & Lacy Road, from BUS (Business) to HDR (High Density Residential). The comprehensive plan was amended to allow for the zoning of this lot to change from R-R to R-H. The density of a High Density Residential area should be over 15 housing units / acre; this development would be less than 45 housing units / acre

It is anticipated that construction will start in late Fall 2025 and be completed in 2027.

Please let me know if you have any questions or need additional information regarding this proposal.

Thank you,



Duane Johnson, AIA, Partner



NEWCOMB SEMINOLE DEVELOPMENT

2715 S SEMINOLE HWY, FITCHBURG, WI
53711



SHEET INDEX

PROJECT NUMBER 2440

G000 COVER SHEET

SITE

- C000 SITE LIGHTING LAYOUT
- C100 SITE PLAN
- C200 GRADING & EROSION CONTROL PLAN
- C201 GRADING & EROSION CONTROL PLAN
- C202 DETAIL GRADING PLAN
- C300 UTILITY PLAN
- C400 DETAILS
- C401 DETAILS

ARCHITECTURAL

- A100 OVERALL BASEMENT FLOOR PLAN
- A101 OVERALL FIRST FLOOR PLAN
- A102 OVERALL SECOND FLOOR & THIRD FLOOR PLAN
- A104 OVERALL FOURTH FLOOR PLAN

- A204 EXTERIOR ELEVATIONS - COLOR
- A205 EXTERIOR ELEVATIONS - COLOR
- A206 EXTERIOR ELEVATIONS - COLOR

- A901 RENDER IMAGE
- A902 RENDER IMAGE
- A903 RENDER IMAGE

LANDSCAPE

- L100 SITE FURNISHING AND SPECIALTY PAVEMENTS PLAN
- L200 LANDSCAPE PLAN
- L201 ENLARGED LANDSCAPE PLAN
- L202 ENLARGED LANDSCAPE PLAN

ISSUED DATES
SIP SUBMITTAL 2025-07-14

4 STORY, 88 UNIT APARTMENT
BUILDING; 1 LEVEL
UNDERGROUND PARKING



SHEET TITLE
COVER SHEET G000

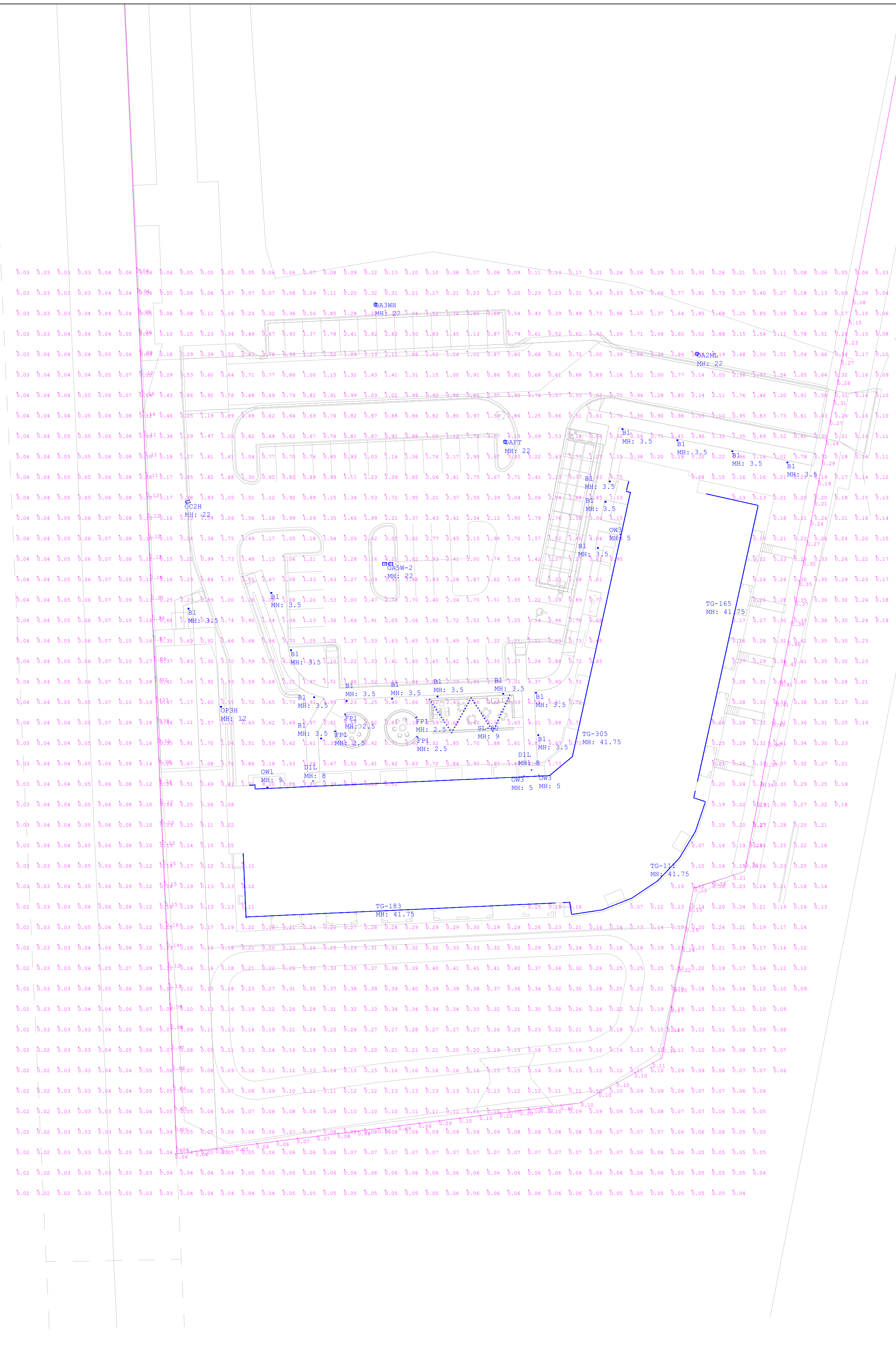
SHEET NUMBER
**knothe | bruce
ARCHITECTS**

NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.

Qty	Label	LLF	MFG	Description	Lum. Watts	Total Watts	Lum. Lumens
18	B1	0.950	US ARCH	AXMRB-42-PLED-III-W-12LED-175mA-xxK-UNV-(finish)-HS	6.5	117	699
2	D1L	0.950	LITHONIA	LDN4 ALO1 SWW1 LQ4AR LSS 80CRI MVOLT (500LM)	6	12	562
4	FP1	9.900	SPJ	SPJ-SC-9-(finish)-xxK	1	4	12
1	OA2ML	0.950	US ARCH	VLL-PLED-II-ML-40LED-700mA-xxK-UNV-1 + 20' POLE + 2' BASE	87	87	12852
1	OA3WH	0.950	US ARCH	VLL-PLED-III-W-40LED-700mA-xxK-UNV-1-HS + 20' POLE + 2' BASE	87	87	9307
1	OA5W-2	0.950	US ARCH	(2) VLL-PLED-VSQ-W-40LED-700mA-xxK-UNV-1 + 20' POLE + 2' BASE	87	174	12983
1	OAFT	0.950	US ARCH	VLL-PLED-IV-FT-40LED-700mA-xxK-UNV-1 + 20' POLE + 2' BASE	87	87	11822
1	OC2H	0.950	US ARCH	VLL-PLED-II-40LED-350mA-xxK-UNV-1-HS + 20' POLE + 2' BASE	43	43	5167
1	OP3H	0.950	US ARCH	AXMS7-12'-PLED-III-W-12LED-1050mA-xxK-UNV-HS	40	40	3037
1	OW1	0.950	LITHONIA	WDGE1 LED P2 xxK 80CRI VF MVOLT	15	15	1873
3	OW3	0.900	KUZCO	AT7935-BK	40	120	2022
1	SL-80	0.950	TIVOLI	LSL2-B-18-H-xx-C-12-80ft + mounting + power supply	N.A.	42.4	N.A.
1	TG-111	0.540	LLI	LLI-GZR-SSx-T2.5W-xxK-24V-1332IN	N.A.	426.8	N.A.
1	TG-165	0.540	LLI	LLI-GZR-SSx-T2.5W-xxK-24V-1980IN	N.A.	642.4	N.A.
1	TG-183	0.540	LLI	LLI-GZR-SSx-T2.5W-xxK-24V-2196IN	N.A.	717.201	N.A.
1	TG-305	0.540	LLI	LLI-GZR-SSx-T2.5W-xxK-24V-3660IN	N.A.	1183.603	N.A.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Presumed Property Line	Illuminance	Fc	0.18	0.41	0.04	4.50	10.25
Bldg A Common Area	Illuminance	Fc	1.74	4.6	0.3	5.80	15.33
Bldg A Parking	Illuminance	Fc	1.80	4.2	0.7	2.57	6.00
Dog Park	Illuminance	Fc	1.09	2.6	0.4	2.73	6.50
Upper Parking Area	Illuminance	Fc	1.81	2.8	0.9	2.01	3.11



REVISIONS

#	DATE	COMMENTS

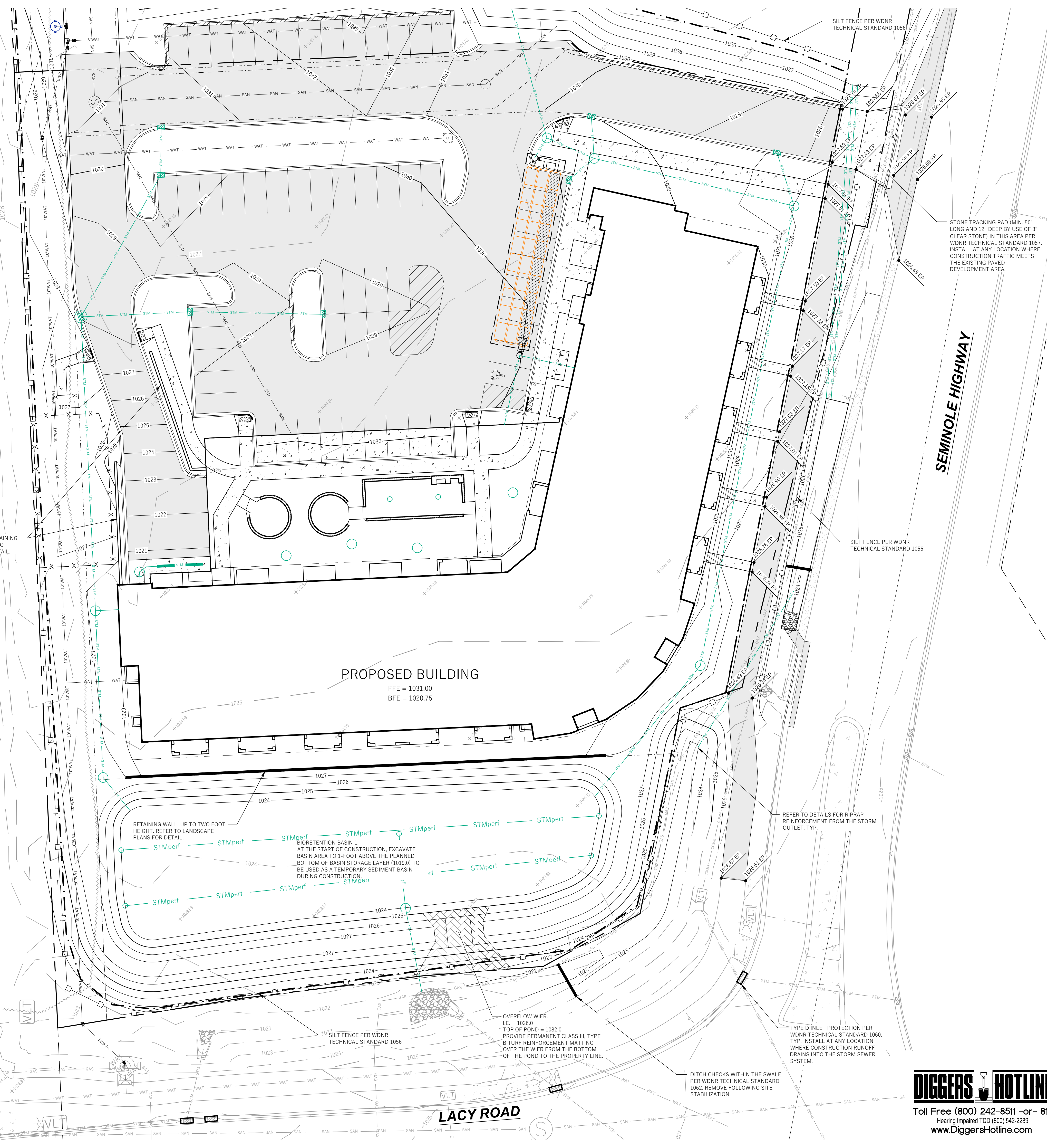
COMMENTS

DRAWN BY : JT
 DATE : JULY 14 2025
 SCALE : 1/32" = 1'

FITCHBURG APARTMENTS
 FITCHBURG, WISCONSIN
 BLDG A - SITE LIGHTING LAYOUT

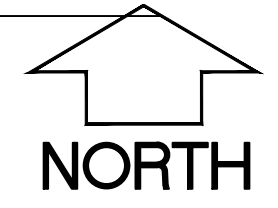
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SEE SHEET C201 FOR CONTINUATION TO THE NORTH.



LEGEND (PROPOSED)

- PROPERTY BOUNDARY
EASEMENT
BUILDING FOOTPRINT
18" CURB AND GUTTER
ASPHALT PAVEMENT
CONCRETE PAVEMENT
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
PROPOSED STORM SEWER
SILT FENCE
INLET PROTECTION
DITCH CHECK



GENERAL NOTES

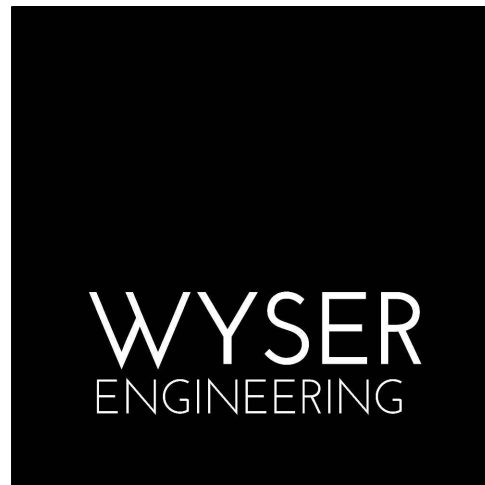
- 1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON JUNE 6, 2024. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FITCHBURG STANDARD SPECIFICATIONS.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- 1. POST WDNR CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF FITCHBURG / DANE COUNTY LAND CONSERVATION / WDNR HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF FITCHBURG BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS). MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE. MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
9. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES.
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
15. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 5 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1063.
16. CONSTRUCT AND PROTECT THE BIOFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1044.
17. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
18. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
19. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERMEDIATE MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
20. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
21. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TRACKER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A PDS YMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
22. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
23. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
24. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
25. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
26. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERRS).
27. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1062.
28. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1063.
29. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
30. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WQR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT RACKING SYSTEM (IBRRTS) PUBLIC DATABASE AT: http://dnr.wi.gov/bowr/.
31. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 823-F-11-006: https://www.epa.gov/nrdes/pubs/concretestwashout.pdf. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

GRADING, SEEDING & RESTORATION NOTES

- 1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014)
6. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
7. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
b. WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.



2747 S. SEMINOLE HIGHWAY
FITCHBURG, WI 53711

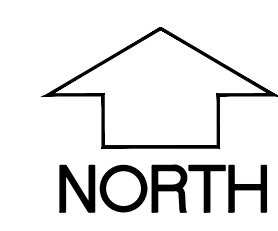
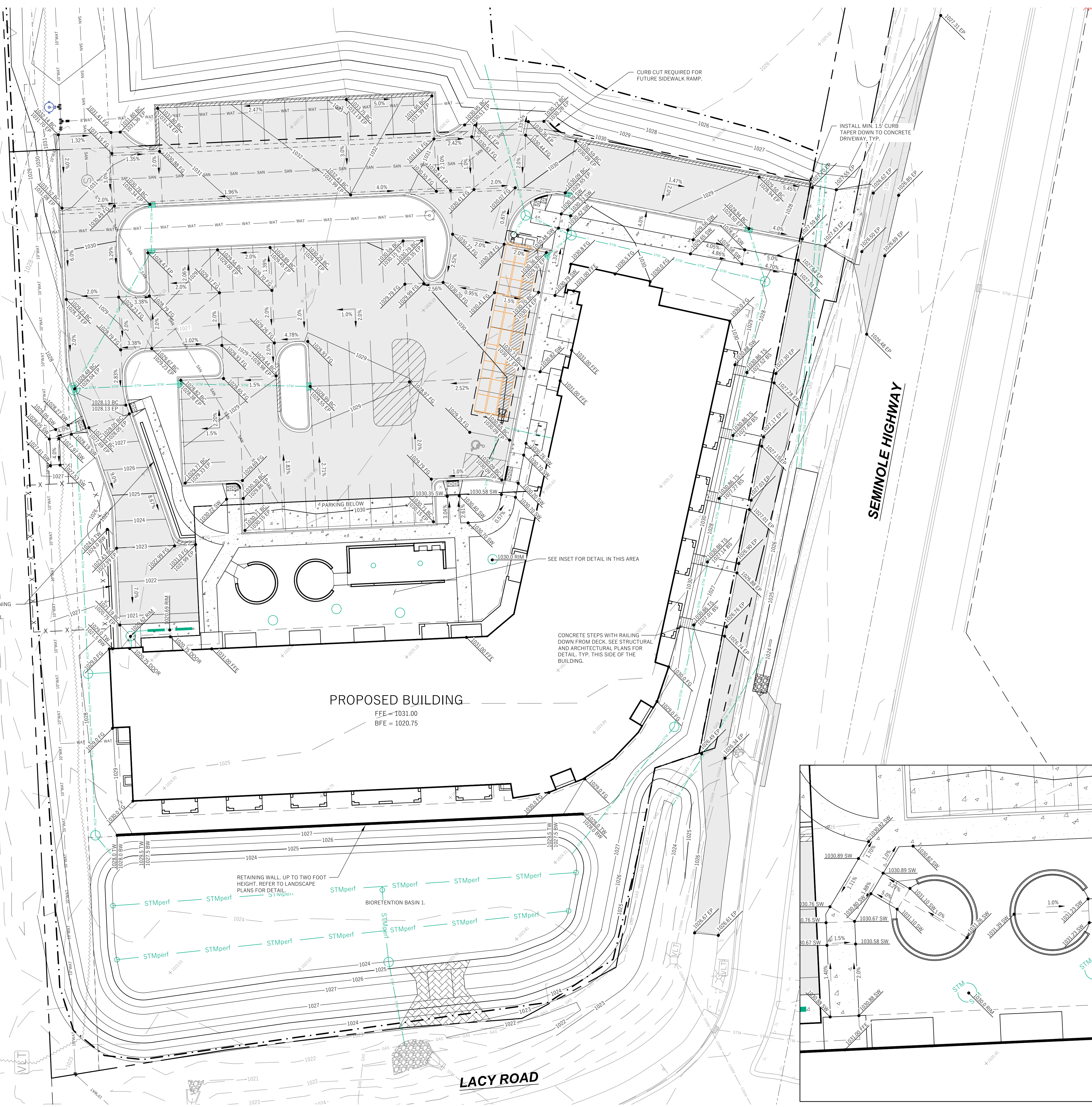
GUSTO! LOT 4 SIP
CITY OF FITCHBURG, DANE COUNTY, WI
Sheet Title: GRADING & EROSION CONTROL PLAN

Table with 3 columns: No., Date, Description. Includes a Revisions section and a scale bar (0' 5' 10' 20' 30').

DIGGERS HOTLINE logo and contact information: Toll Free (800) 242-8511 or 811, Hearing Impaired TDD (800) 542-2289, www.DiggersHotline.com

File: W:\2024\241243_Newcomb - Seminole & Lacy, Fitchburg, DWG\Lot 1 SIP\241243_Civil Design\Lot 1.dwg Layout: Grading Plan (3) User: dschneider Plotted: Jul 14, 2025 - 10:51am

SEE SHEET C201 FOR CONTINUATION TO THE NORTH.



LEGEND (PROPOSED)

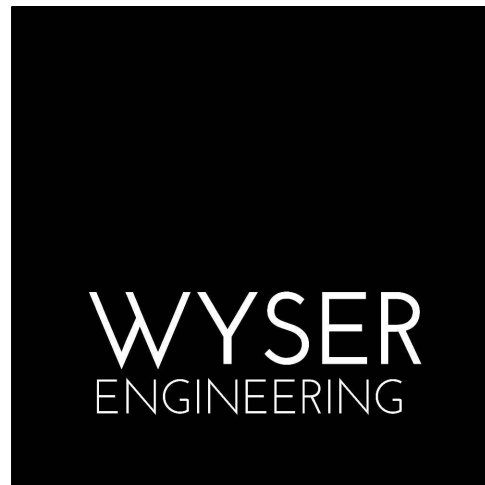
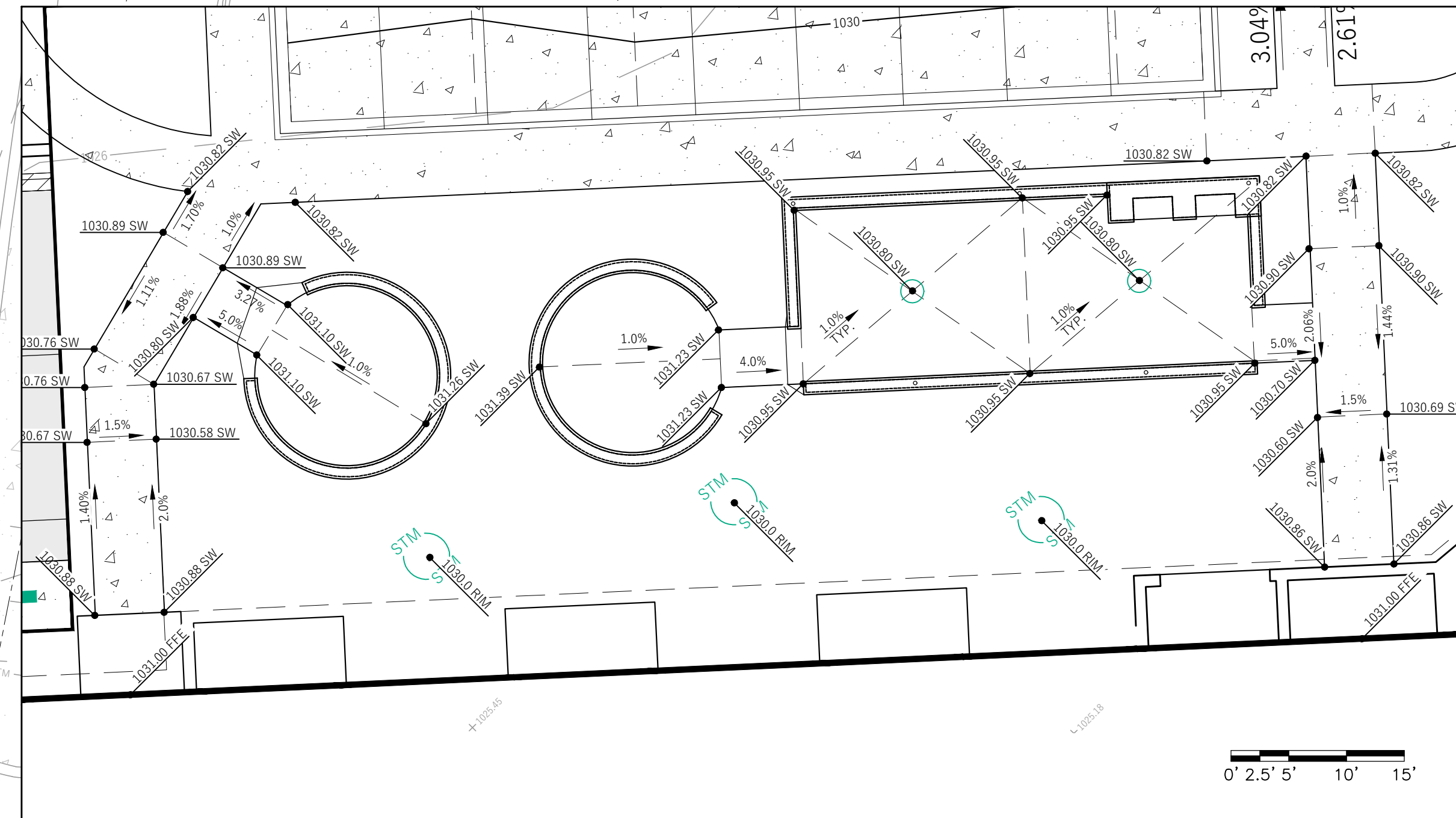
	PROPERTY BOUNDARY
	EASEMENT
	BUILDING FOOTPRINT
	18" CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM SEWER
	SPOT GRADE
	DRAINAGE GRADE BREAK
	DRAINAGE ARROW

1.0%

- GENERAL NOTES**
- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON JUNE 6, 2024. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
 - THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 - WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FITCHBURG STANDARD SPECIFICATIONS.

NOTE:
SPOT GRADES ARE AS FOLLOWS:
FFE - FINISHED FLOOR GRADE
EP - EDGE OF ASPHALT PAVEMENT
EC - EDGE OF CONCRETE PAVEMENT
BC - BACK OF CURB
SW - EDGE OF SIDEWALK
FG - FINISH GRADE
TW - FINISH GRADE ADJACENT TOP OF WALL
BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)

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GUSTO!
LOT 4 SIP
CITY OF FITCHBURG, DANE COUNTY, WI
Sheet Title: DETAIL GRADING PLAN

Revisions:

No.	Date:	Description:

Graphic Scale	
Wysers Number	24-1243
Set Type	SIP
Date Issued	07/15/2025
Sheet Number	C202

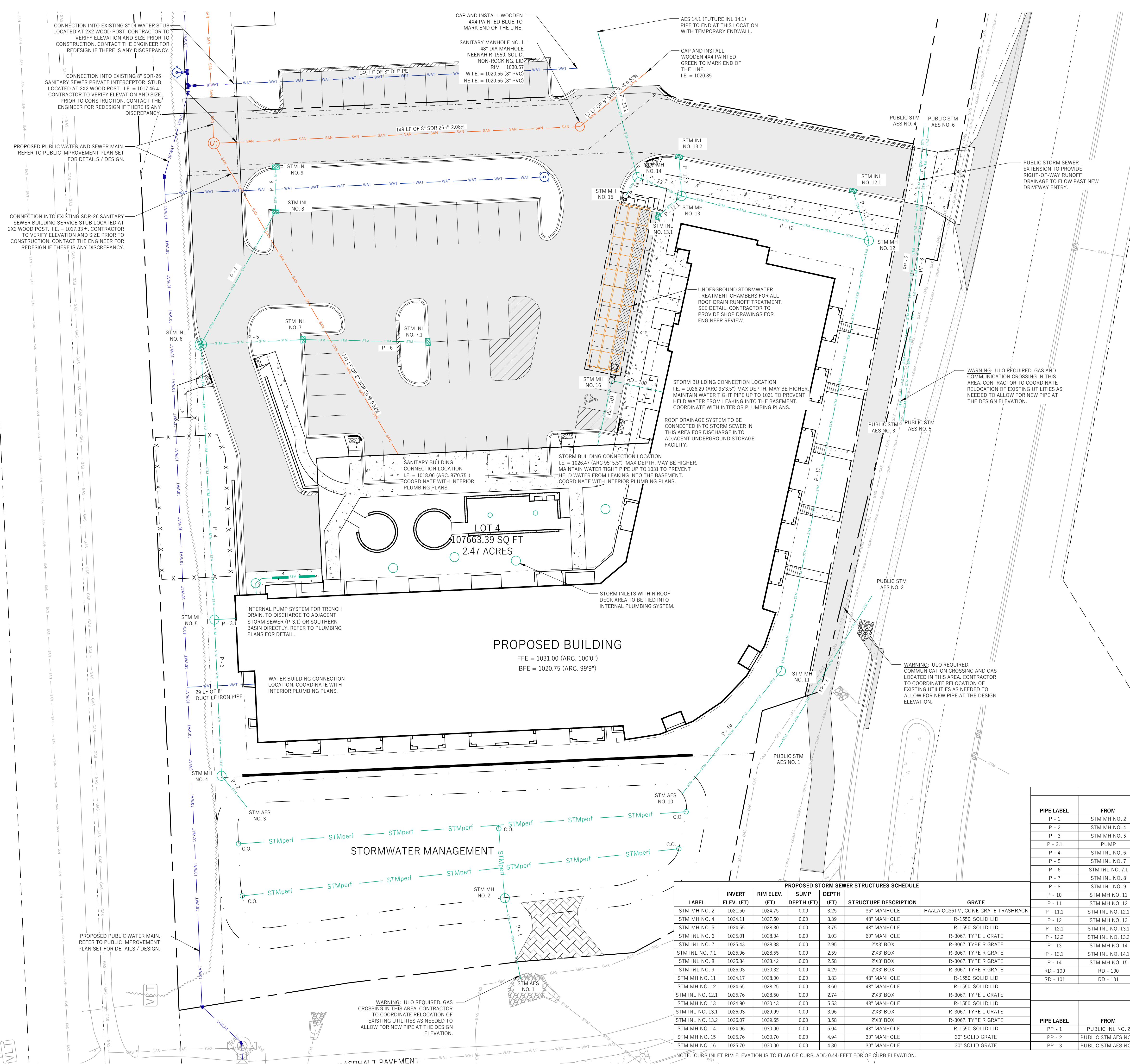
LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT - PROPOSED WATER MAIN
- SAN - PROPOSED SANITARY SEWER
- STM - PROPOSED STORM SEWER
- GAS - PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E - PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
- STORMWATER TREATMENT FACILITY

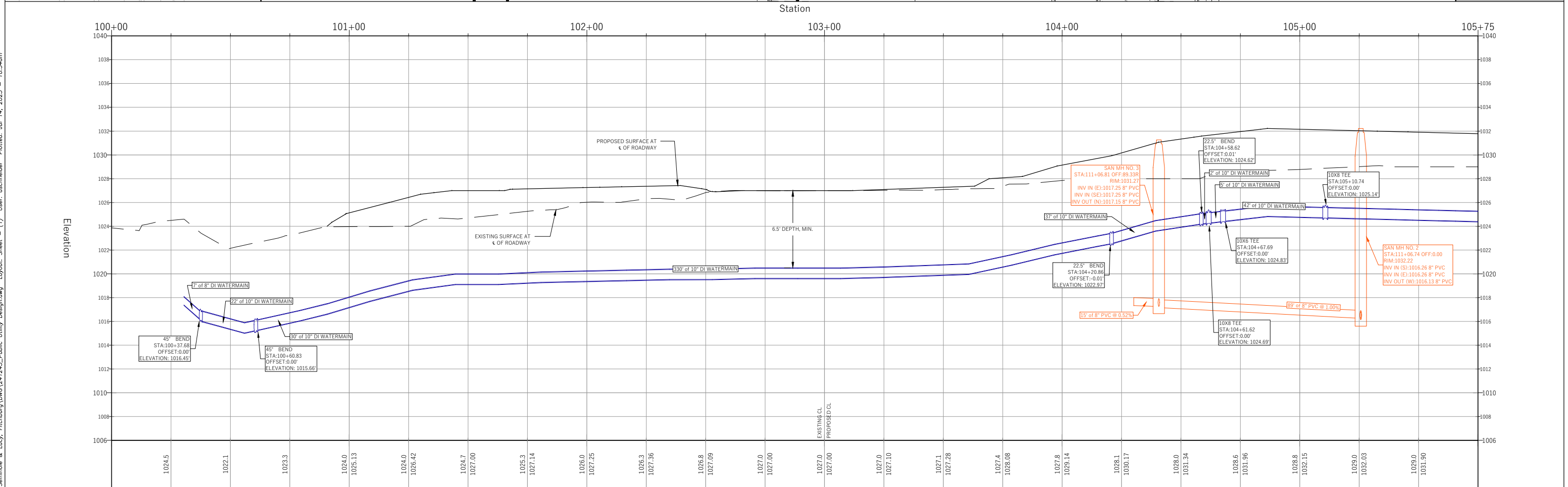
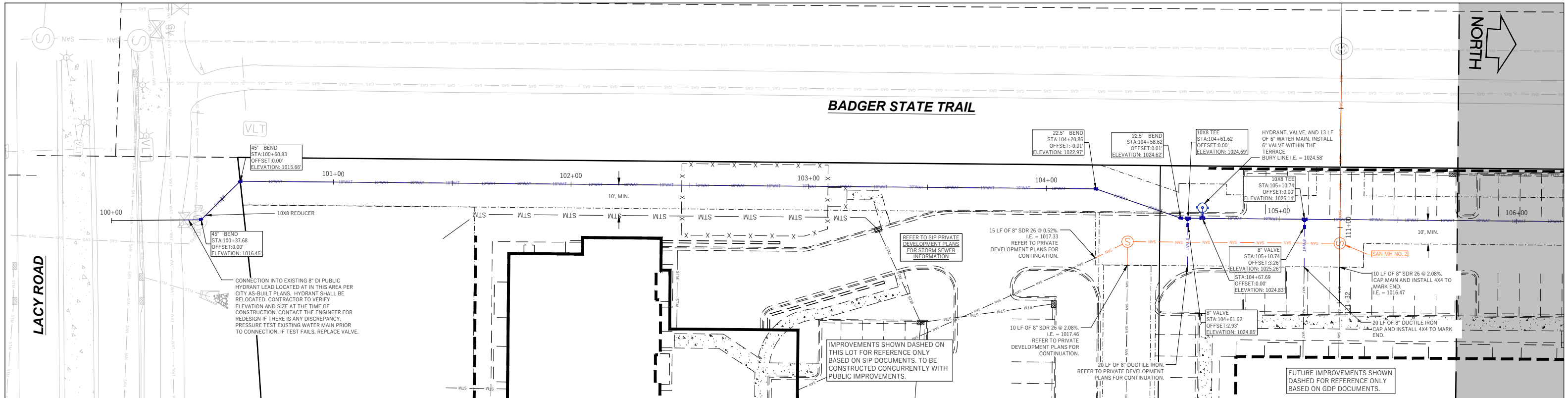
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 - THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 - WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF FITCHBURG STANDARD SPECIFICATIONS.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISPSDS, AND WDMR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
 - ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
 - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
 - CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
 - ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
 - EXTERIOR CLEANOUTS SHALL BE PROVIDED AS REQUIRED BY SPS 382.35. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.30(2)(c).
 - ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
 - ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
 - ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SEPARATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(B).
 - THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
 - INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IS IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
 - CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

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NOTE: CURB INLET RIM ELEVATION IS TO FLAG OF CURB. ADD 0.44 FEET FOR CURB ELEVATION.



GUSTO!

WYSER ENGINEERING

CITY OF FITCHBURG, DANE COUNTY, WI

Sheet Title:
 PLAN AND PROFILE
 PUBLIC SANITARY SEWER AND WATER MAIN
 STA 100+00 TO 105+75

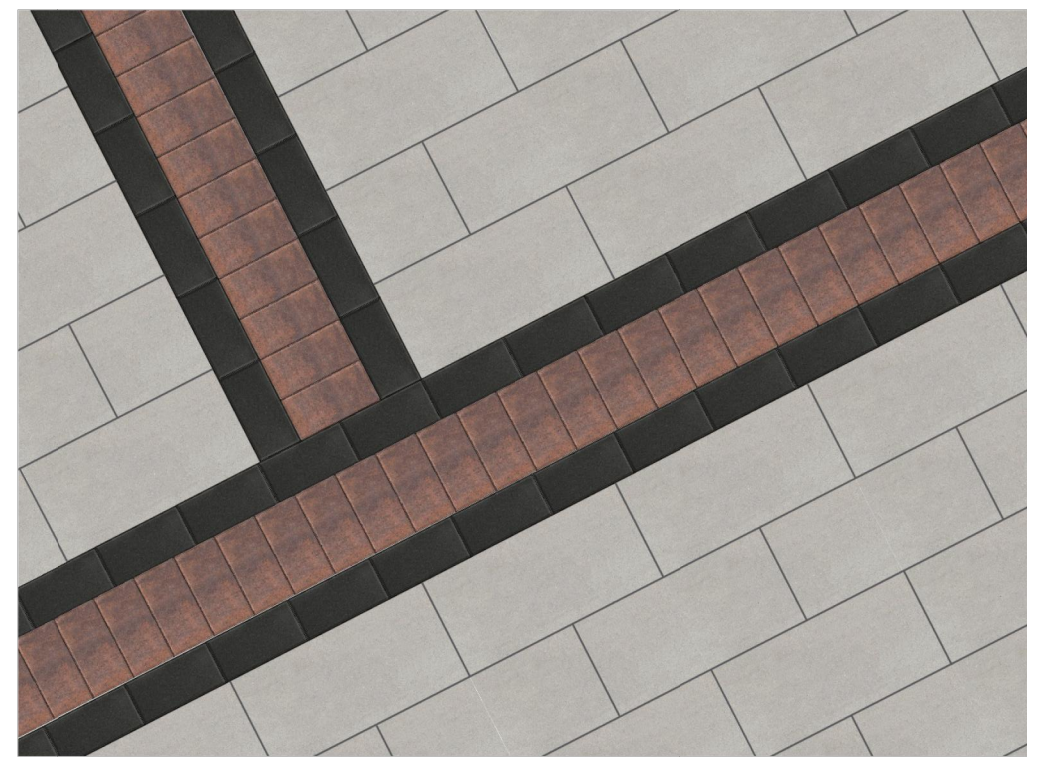
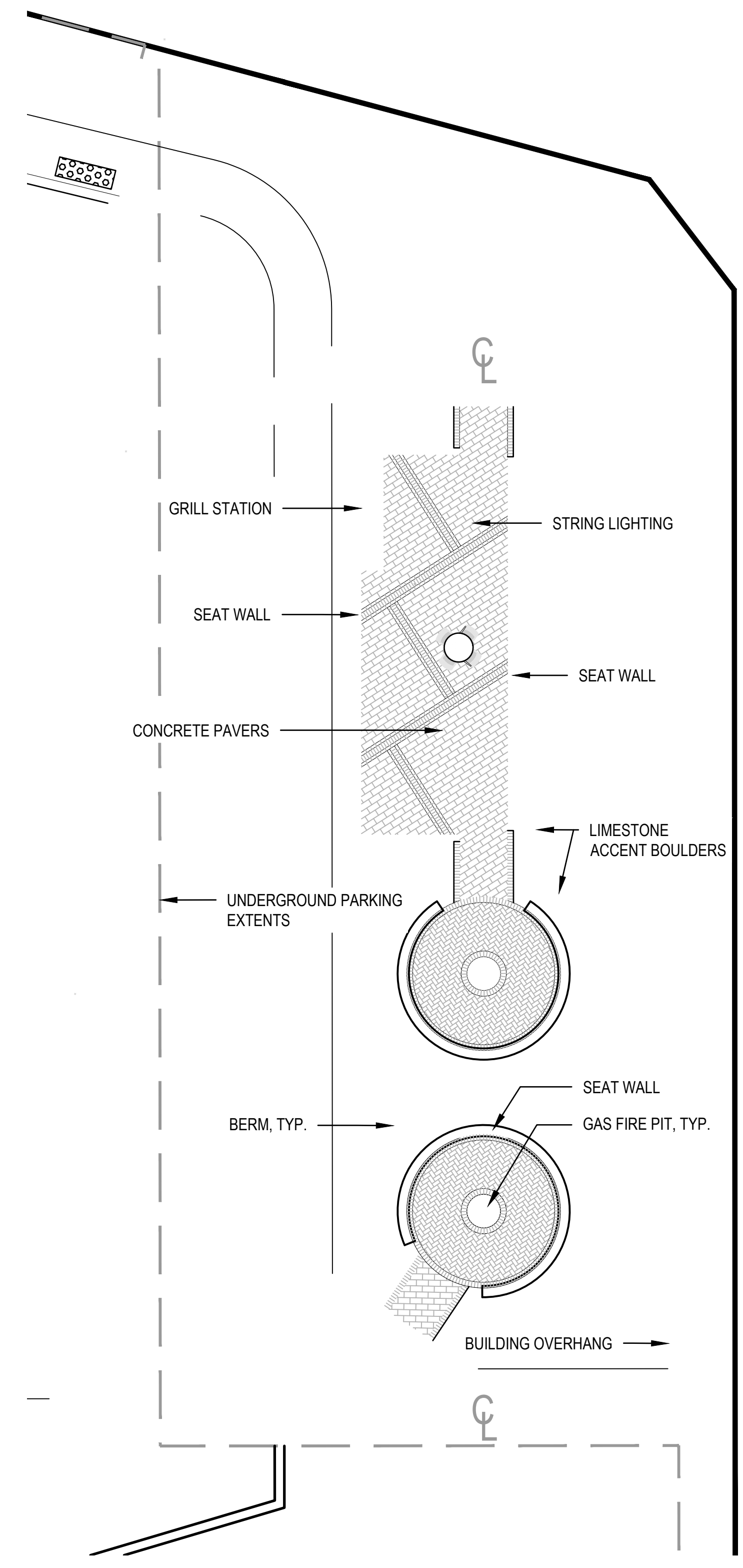
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Graphic Scale	0' 5' 10' 20' 30'	1" = 40'
Revisions:	No.	Date
Wyser Number	24-1243	
Set Type	SIP	
Date Issued	07/11/2025	
Sheet Number	P-1	

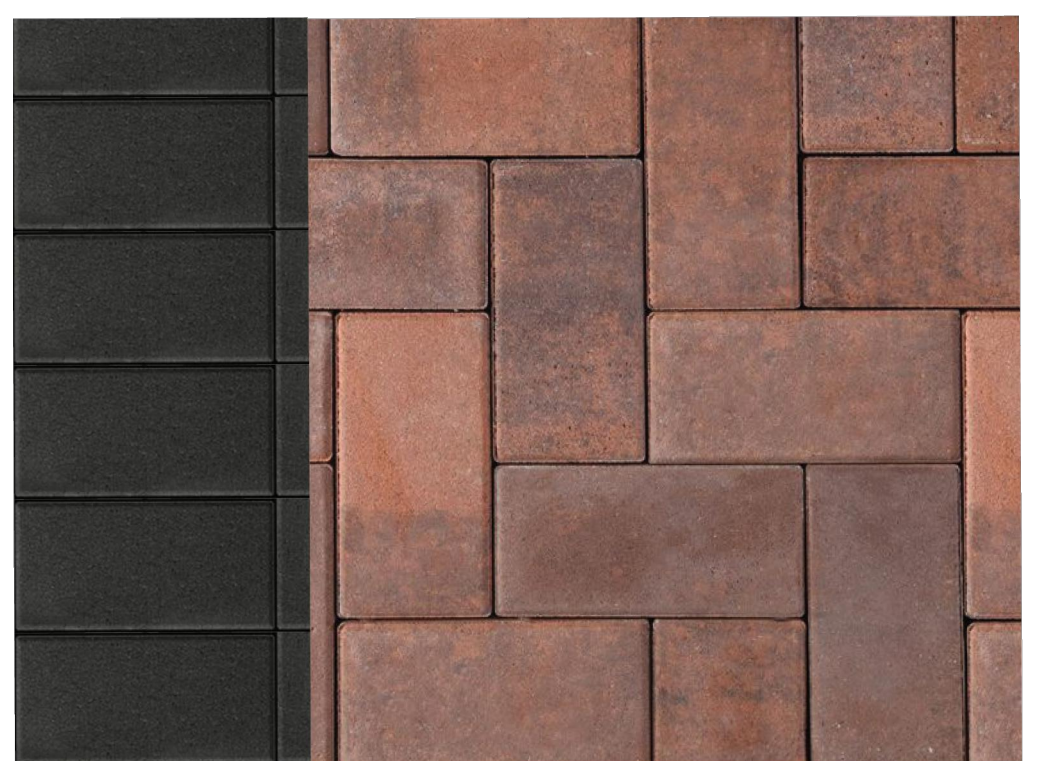
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CONCRETE PAVERS, PRIMARY PATIO

FIELD: URBAN SLABS BY UNILOCK, LINEN BUFF COLOR

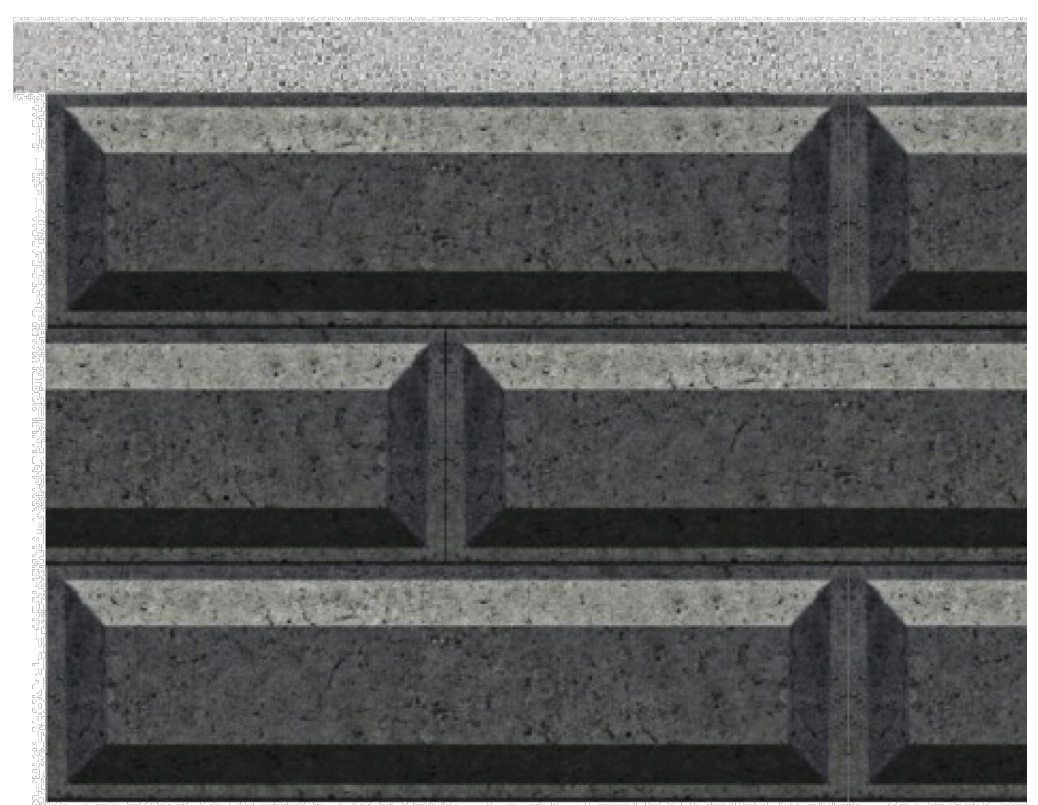
ACCENT BANDS: HOLLAND PREMIER BY UNILOCK, HERITAGE BROWN AND DARK CHARCOAL COLOR



CONCRETE PAVERS, FIRE PIT PATIOS

FIELD: HOLLAND PREMIER BY UNILOCK, HERITAGE BROWN COLOR

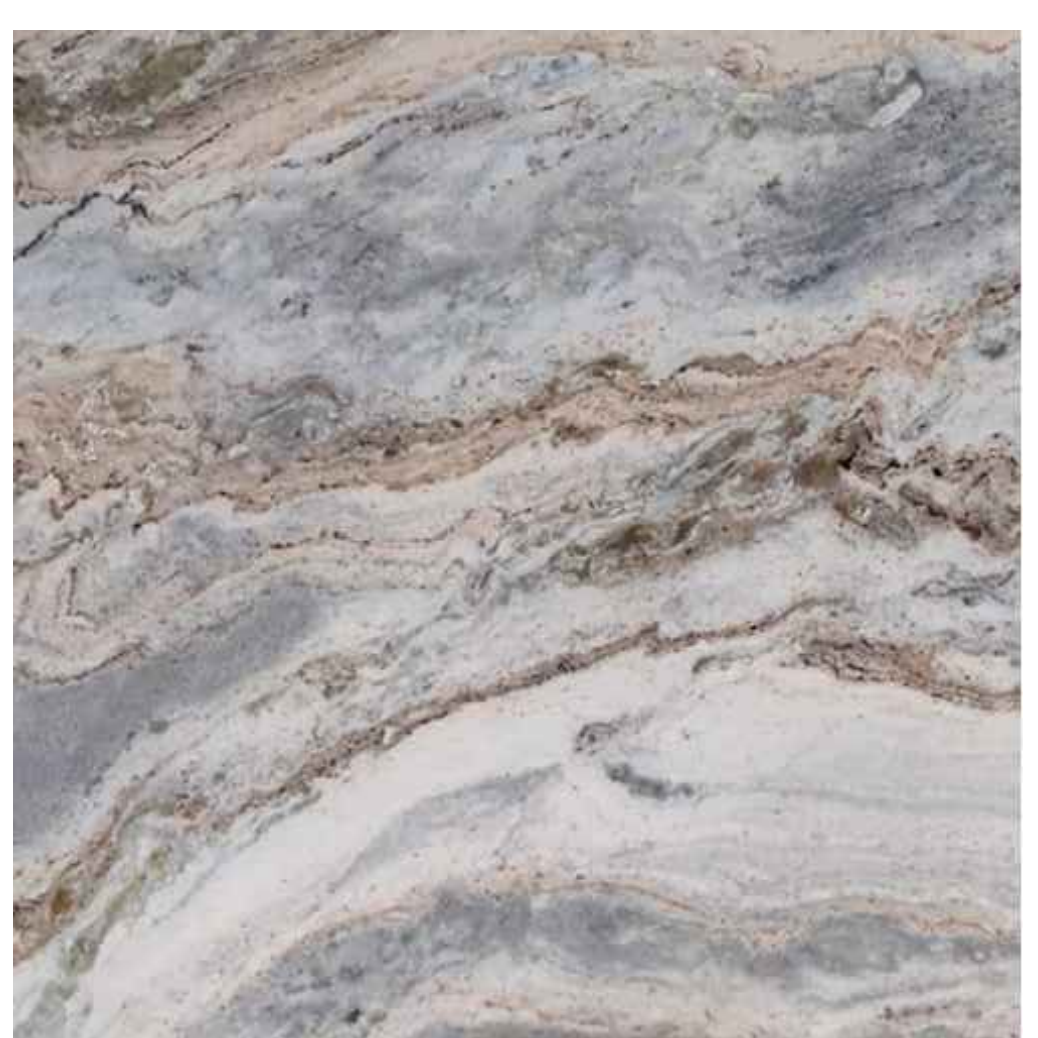
BORDER: HOLLAND PREMIER BY UNILOCK, DARK CHARCOAL COLOR



SEAT WALLS

U-CARA SYSTEM BY UNILOCK, SUBWAY STYLE, DARK CHARCOAL COLOR

UNIVERSAL WALL COPING BY UNILOCK, GREY COLOR



COUNTER TOP

GRANITE SLAB BY HALQUIST STONE, RIVER BLUE BRUSHED COLOR, LEATHER FINISH



GAS FIRE PIT

42" COVE EDGE ROUND GAS FIRE PIT BOWL BY THE OUTDOOR GREAT ROOM, NATURAL GREY FINISH



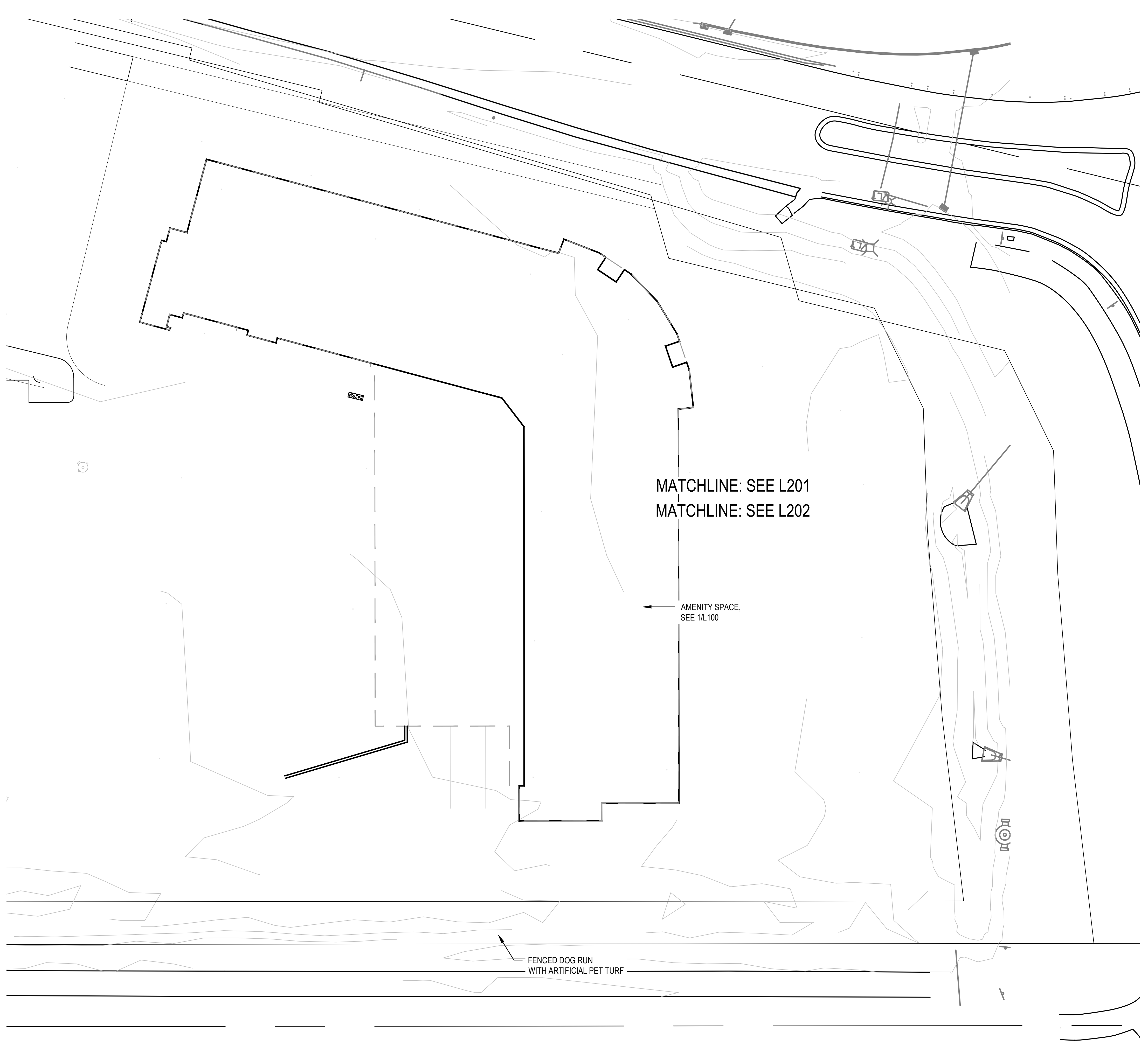
GAS GRILLS

SUMMIT SB38 S BUILT-IN NATURAL GAS GRILL BY WEBER; STAINLESS STEEL FINISH



BIKE RACK

SQUARE UX BIKE RACK BY MADRAX; BLACK COLOR



PLANT SCHEDULES

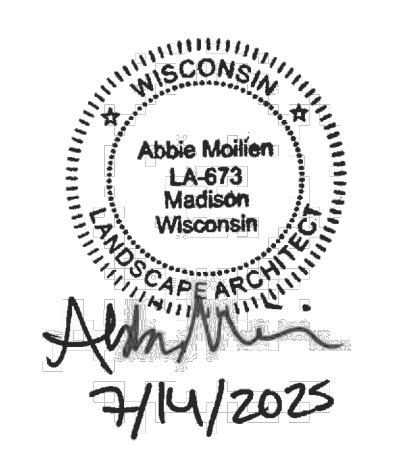
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
BIO-FILTRATION PLUG MIX 14,107 sf						
		Allium cernuum / Nodding Onion	326			
		Asclepias incarnata / Swamp Milkweed	326			
		Baptisia alba / White Wild Indigo	326			
		Carex bicknellii / Prairie Sedge	652			
		Carex hystericina / Porcupine Sedge	652			
		Cornus sericea 'Alleman's Compact' / 'Alleman's Compact' Red Twig Dogwood	49			
		Elymus canadensis / Canada Wild Rye	196			
		Eupatorium perfoliatum / Common Boneset	326			
		Iris virginica shrevei / Shreve's Iris	326			
		Liatis spicata / Spike Gayfeather	326			
		Monarda fistulosa / Bergamot	326			
		Panicum virgatum / Switch Grass	196			
		Rudbeckia subtomentosa / Sweet Black-eyed Susan	326			
		Rudbeckia triloba / Brown Eyed Susan	326			
		Solidago rigida / Stiff Goldenrod	196			
		Sorghastrum nutans / Indian Grass	196			
		Symphotrichum novae-angliae / New England Aster	326			
		Verberna hastata / Blue Vervain	326			

	BLUEGRASS LAWN "Madison Parks Mix" seed blend by La Crosse Seed	13,639 sf
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	NO-MOW LAWN "Care-Free Mix" seed blend by La Crosse Seed	3,835 sf
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	NATIVE PRAIRIE SEED "Diverse Prairie for Dry Soils" seed blend by Prairie Nursery	5,410 sf
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SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
EVERGREEN TREES						
	PD	Pinus glauca densata / Black Hills Spruce	8.8 B	8' HT (MIN)		4
	PF	Pinus resinosa 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	8.8 B	5' HT (MIN)		8
	PR	Pinus resinosa / Red Pine	8.8 B	8' HT (MIN)		3
ORNAMENTAL TREES						
	AC	Acer glabrum 'Autumn Brilliance' / Autumn Brilliance Serviceberry	8.8 B	6' HT (MIN)	MIN. 3, MAX 5 LEADERS	4
	CC	Cornus canadensis / American Hornbeam	8.8 B	2' Cal	MIN. 3, MAX 5 LEADERS	2
	CW	Crataegus viridis 'Winter King' / Winter King Hawthorn	8.8 B	2' Cal	SINGLE, STRAIGHT LEADER	3
	HO	Hamelis verticillata / Oak Witchhazel	8.8 B	4' HT (MIN)		3
	HW	Hamelis virginiana / Common Witch Hazel	8.8 B	6' HT (MIN)	MULTI-STEMMED	4
	MB	Magnolia x Butterfly / Butterfly Magnolia	8.8 B	6' HT (MIN)	MULTI-STEMMED	2
	ML	Malus x Louisa / Louisa Crabapple	8.8 B	2' Cal	SINGLE, STRAIGHT LEADER	6
	MP	Malus x Prairiemoor / Prairiemoor Crabapple	8.8 B	2' Cal		1
DECIDUOUS TREES						
	AF	Acer x Freemanii 'Sensation TM' / Sensation Green Maple	8.8 B	3' Cal		3
	BC	Betula nigra 'Cody TM' / Heritage River Birch	8.8 B	10' HT (MIN)		2
	CD	Celtis occidentalis / Common Hackberry	8.8 B	3' Cal	SPECIMEN FORM	1
	CK	Cercidiphyllum japonicum / Katsura Tree	8.8 B	2' Cal	SINGLE, STRAIGHT LEADER	1
	CE	Cercis canadensis / Eastern Redbud	8.8 B	2' Cal	SINGLE, STRAIGHT LEADER	1
	GA	Ginkgo biloba 'Autumn Gold TM' / Autumn Gold Malesian Tree	8.8 B	23' Cal	SINGLE, STRAIGHT LEADER	4
	LT	Liriodendron tulipifera / Tulip Tree	8.8 B	23' Cal	SINGLE, STRAIGHT LEADER	1
	MG	Missequia gypsolepis / Dawn Redwood	8.8 B	6' HT (MIN)	SINGLE, STRAIGHT LEADER	1
	OB	Quercus bicolor / Swamp White Oak	8.8 B	3' Cal		2



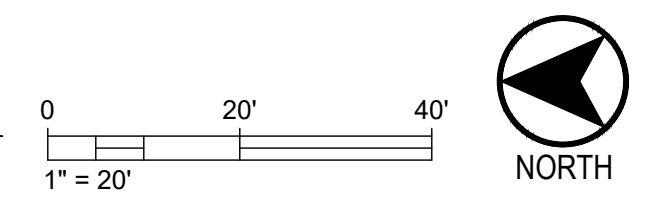
**NEWCOMB SEMINOLE DEVELOPMENT
BUILDING A**

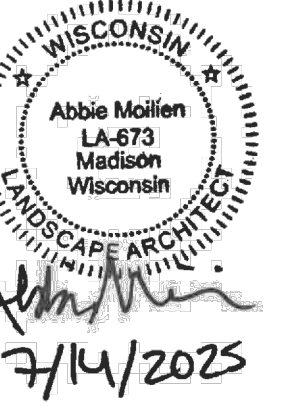
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FITCHBURG, WI 53711

Revisions:

No.	Date:	Description:

Set Type	PD-SIP
Date Issued	07/14/2025
Sheet Number	L200

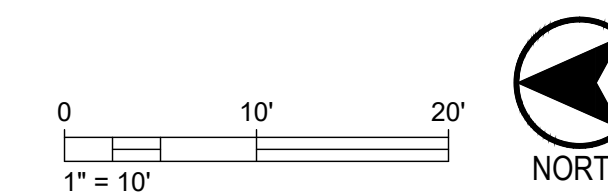
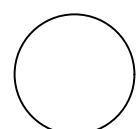


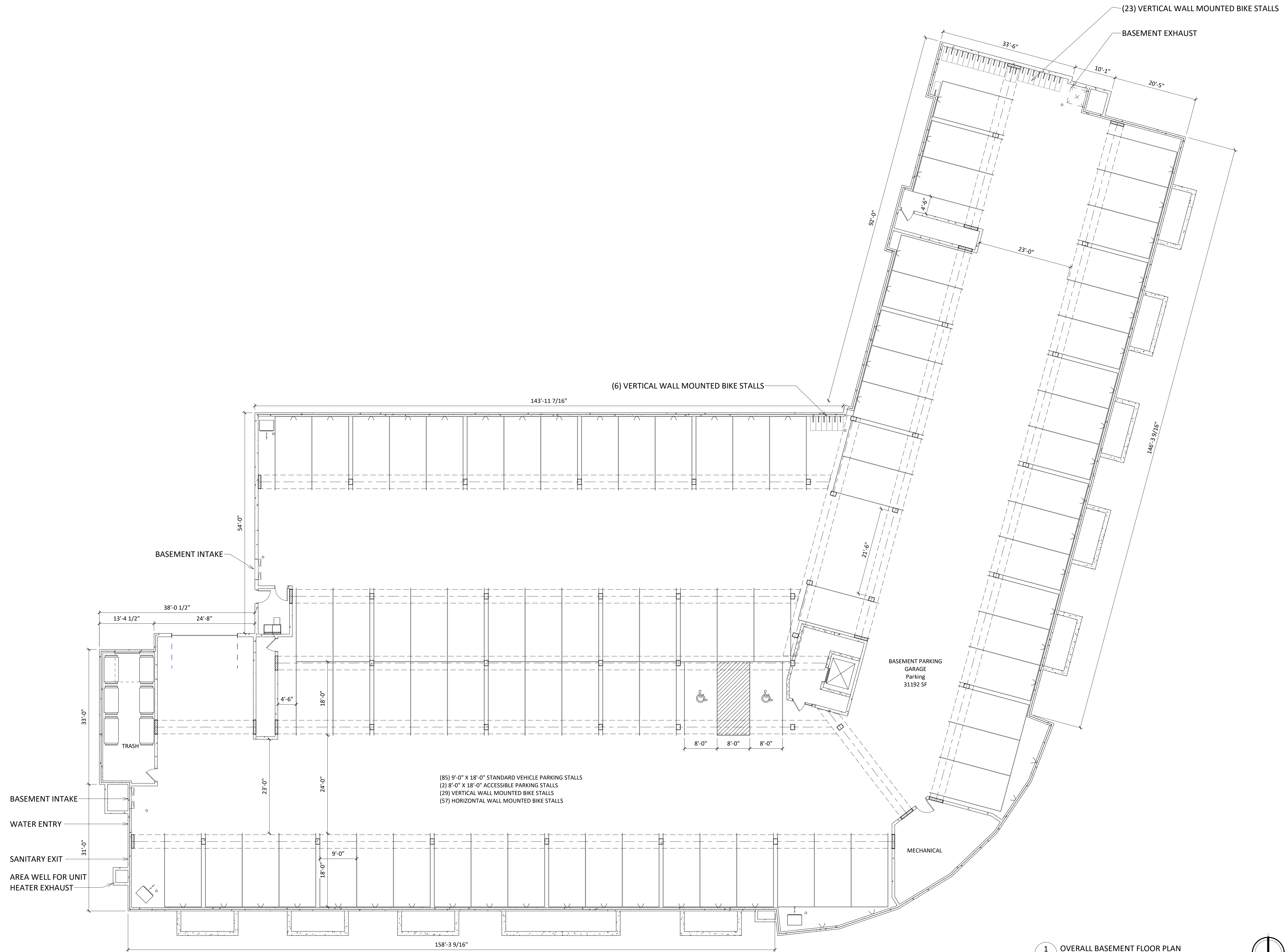


PLANT SCHEDULE - EAST ENLARGEMENT

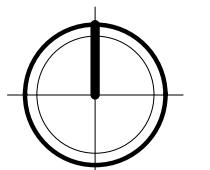
AW	Arnoa metrorhiza 'Low Scope Hedge' / Low Scope Hedge Chokeberry	2 gal	CONT.	18" HT. (MNL)	3
AI	Arnoa metrorhiza 'Milton' TM / Milton Beauty Black Chokeberry	3 gal	CONT.	36" HT. (MNL)	7
CH	Cobonaster x 'Hess' / Hesse Cotoneaster	3 gal	CONT.		1
DC	Devillea torrens 'Copper' / Copper Low Bush Honeyuckle	2 gal	CONT.	18" HT. (MNL)	11
HA	Hydrangea abnormis 'Annabelle' / Annabelle Hydrangea	3 gal	CONT.		6
HB	Hydrangea paniculata 'Bobo' / Bobo Hydrangea	3 gal	CONT.	24" HT. (MNL)	7
HQ	Hydrangea paniculata 'Little Quik Fire' / Little Quik Fire Hydrangea	3 gal	CONT.	24" HT. (MNL)	3
HR	Hydrangea quercifolia 'Ruby Slippers' / Ruby Slippers Hydrangea	5 gal	CONT.	36" HT. (MNL)	2
IS	Ilex verticillata 'Spiree' TM / Little Henry Sawtooth	3 gal	CONT.		9
PN	Physocarpus opulifolius 'Doris May' TM / Little Devil Ninebark	3 gal	CONT.	18" HT. (MNL)	1
RA	Rhododendron x 'P.J.M.' / P.J.M. Rhododendron	5 gal	CONT.	30" HT. (MNL)	6
SI	Spirea helioides 'Tur' / Birchleaf Spirea	3 gal	CONT.	18" HT. (MNL)	3
VV	Viburnum cedrici 'Spice Island' / Korean Spice Viburnum	8 & B	30" HT. (MNL)	24" HT. (MNL)	1
VI	Viburnum dentatum 'XLMaverick' TM / Little Joe Viburnum	8 & B	30" HT. (MNL)		6
EVERGREEN SHRUBS					
Mp	Microbiota decussata 'Cello-Pole' / Cello-Pole Siberian Cypress	3 gal	CONT.		5
Pls	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal	CONT.		1
Td	Taxus x media 'Densata' / Dense Yew	3 gal	CONT.	24" HT. (MNL)	3
Tnt	Taxus x media 'Taurini' / Taurini Yew	5 gal	CONT.	24" HT. (MNL)	3
Tlo	Thuja occidentalis 'Bobocare' TM / Bob. Bowling Ball Arborvitae	2 gal	CONT.		5
GRASSES					
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.		8
ala	Solidago nemoralis 'Little Bluestem'	1 gal	CONT.		4
sp	Sporobolus heterolepis 'Prairie Dropseed'	1 gal	CONT.		7
st	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal	CONT.		11
PERENNIALS					
alb	Alum x 'Summer Beauty' / Summer Beauty Alum	1 gal	CONT.		14
ala	Amorpha tuberosa 'Halfway to Arkansas' / Arkansas Blue-violet	1 gal	CONT.		3
avp	Astilbe chinensis 'Vision in Pink' / Vision in Pink Chinese Astilbe	1 gal	CONT.		9
ang	Astilbe x arendii 'White Glow' / False Spirea	1 gal	CONT.		3
cm	Callirhoe septentrionalis 'White Cabaret' / White Cabaret	1 gal	CONT.		5
cl	Chelone lyonii 'Red Lips' / Red Lips Pink Turtlehead	1 gal	CONT.		4
df	Dieris x grandifolia 'Fireworks' / Fireworks Dianthus	1 gal	CONT.		6
gpb	Hemerocallis x 'Gong Bananas' / Gong Bananas Daylily	1 gal	CONT.		3
hps	Heuchera x 'Peppermint Spice' / Coral Bell	1 gal	CONT.		5
hcb	Heuchera x 'Obsidian' / Obsidian Coral Bell	1 gal	CONT.		9
hst	Hosta x 'Nelson' / Nelson Plantain Lily	1 gal	CONT.		12
hjn	Hosta x 'June' / June Hosta	1 gal	CONT.		7
hr	Hosta x 'Kross Regal' / Kross Regal Plantain Lily	1 gal	CONT.		3
lr	Ligularia x 'Hess' 'Little Rock' / Little Rock Rapeseed	1 gal	CONT.		1
pk	Penstemon atriplicatus 'Little Spire' / Little Spire Russian Sage	1 gal	CONT.		6

MATCHLINE: SEE L202





1 OVERALL BASEMENT FLOOR PLAN
A100 3/32" = 1'-0"

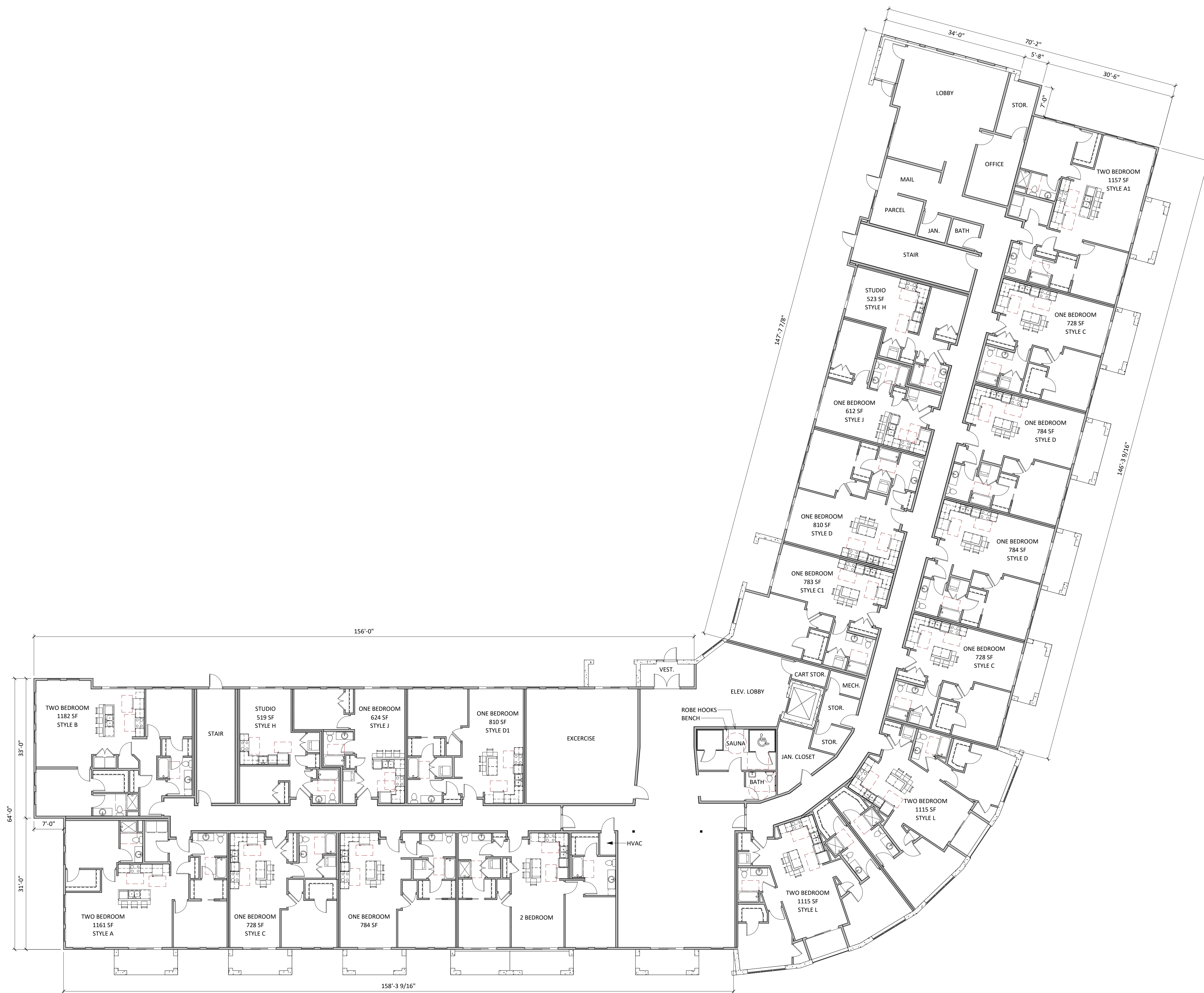




knothe • bruce
ARCHITECTS
Phone: 8401 Greenway Blvd., Suite 900
608.836.3690 Middleton, WI 53562

KEY PLAN

ISSUED
SIP SUBMITTAL 2025-07-14



PROJECT TITLE
**NEWCOMB
SEMINOLE
DEVELOPMENT**

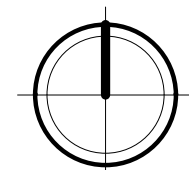
2715 S SEMINOLE HWY,
FITCHBURG, WI 53711
SHEET TITLE
**OVERALL FIRST
FLOOR PLAN**

SHEET NUMBER

A101

PROJECT NUMBER
2440

1 OVERALL FIRST FLOOR PLAN
A101 3/32" = 1'-0"





knothe • bruce
ARCHITECTS

Phone: 8401 Greenway Blvd., Suite 900
608.836.3690 Middleton, WI 53562

KEY PLAN

ISSUED
SIP SUBMITTAL 2025-07-14

PROJECT TITLE
NEWCOMB
SEMINOLE
DEVELOPMENT

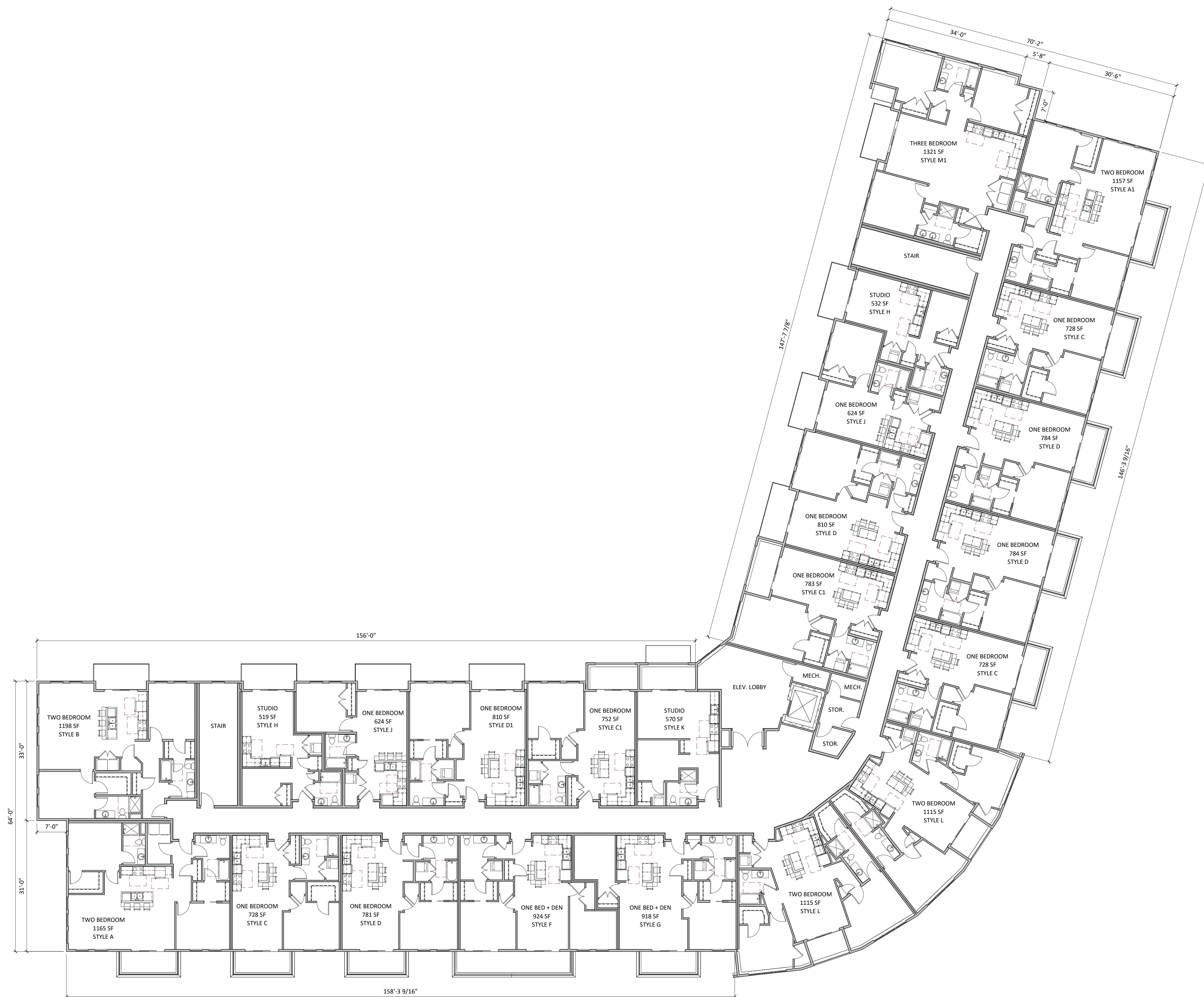
2715 S SEMINOLE HWY,
FITCHBURG, WI 53711
SHEET TITLE
OVERALL SECOND
FLOOR & THIRD
FLOOR PLAN

SHEET NUMBER

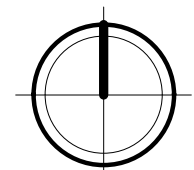
A102

PROJECT NUMBER
2440

© Knothe & Bruce Architects, LLC



1 OVERALL SECOND/THIRD FLOOR PLAN
A102 3/32" = 1'-0"





knothe bruce
ARCHITECTS

Phone: 8401 Greenway Blvd., Suite 900
608.836.3690 Middleton, WI 53562

ISSUED
SIP SUBMITTAL 2025-07-14

PROJECT TITLE
**NEWCOMB
SEMINOLE
DEVELOPMENT**

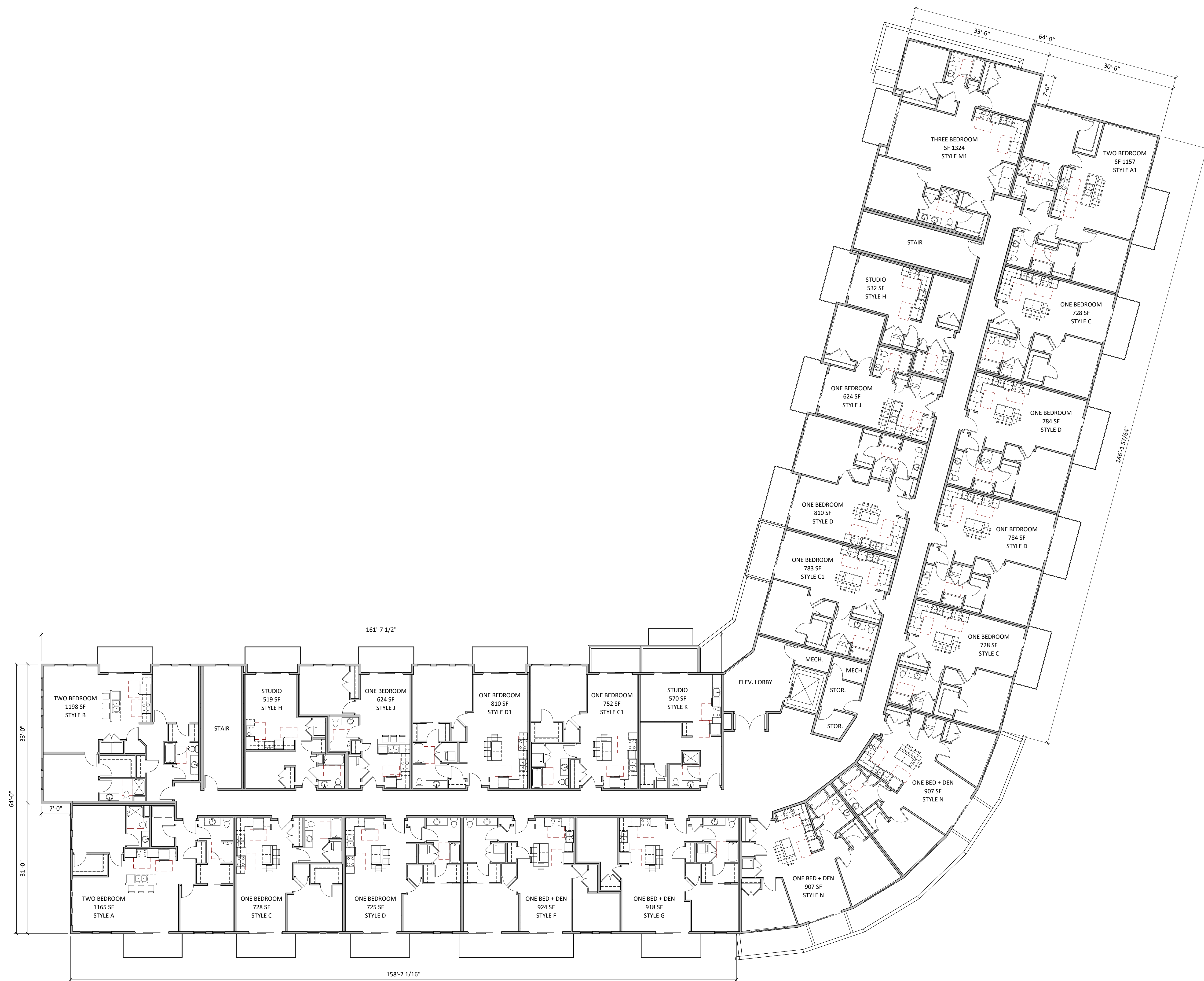
2715 S SEMINOLE HWY,
FITCHBURG, WI 53711
SHEET TITLE
**OVERALL FOURTH
FLOOR PLAN**

SHEET NUMBER

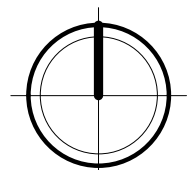
A104

PROJECT NUMBER
2440

© Knothe & Bruce Architects, LLC



1 OVERALL FOURTH FLOOR PLAN
A104 3/32" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
1	ALUMINUM SIDING	LONGBOARD	GOLDEN GATE
2	COMPOSITE SIDING PANEL	JAMES HARDIE	GRAY SHADOW
3	COMPOSITE SIDING PANEL	JAMES HARDIE	SKYSCRAPER GRAY
4	PRECAST CONCRETE WALL PANEL	N/A	GRAY (FINISH TBD)
5	ALUMINUM STOREFRONT	N/A	DARK BRONZE ANODIZED
6	RAILINGS AND HANDRAILS	TBD	MATCH GOLDEN GATE
7	PARAPET CAPS	TBD	MATCH GOLDEN GATE
8	PARAPET CAPS	TBD	MATCH GRAY SHADOW
9	PARAPET CAPS	TBD	MATCH SKYSCRAPER GRAY
10	COMPOSITE WINDOWS	TBD	DARK BRONZE
11	CAST STONE VENEER	TBD	GRAY

KEY PLAN

ISSUED
SIP SUBMITTAL 2025-07-14



1 COLOR - NORTH ELEVATION
1/8" = 1'-0"



2 COLOR - WEST ELEVATION
1/8" = 1'-0"

PROJECT TITLE
**NEWCOMB
SEMINOLE
DEVELOPMENT**

2715 S SEMINOLE HWY,
FITCBURG, WI 53711
SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLOR**

SHEET NUMBER
A204

PROJECT NUMBER
2440

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
1	ALUMINUM SIDING	LONGBOARD	GOLDEN GATE
2	COMPOSITE SIDING PANEL	JAMES HARDIE	GRAY SHADOW
3	COMPOSITE SIDING PANEL	JAMES HARDIE	SKYSCRAPER GRAY
4	PRECAST CONCRETE WALL PANEL	N/A	GRAY (FINISH TBD)
5	ALUMINUM STOREFRONT	N/A	DARK BRONZE ANODIZED
6	RAILINGS AND HANDRAILS	TBD	MATCH GOLDEN GATE
7	PARAPET CAPS	TBD	MATCH GOLDEN GATE
8	PARAPET CAPS	TBD	MATCH GRAY SHADOW
9	PARAPET CAPS	TBD	MATCH SKYSCRAPER GRAY
10	COMPOSITE WINDOWS	TBD	DARK BRONZE
11	CAST STONE VENEER	TBD	GRAY

KEY PLAN



ISSUED
SIP SUBMITTAL 2025-07-14

1 COLOR - SOUTH ELEVATION
A205 1/8" = 1'-0"



PROJECT TITLE
**NEWCOMB
SEMINOLE
DEVELOPMENT**

2715 S SEMINOLE HWY,
FITCHBURG, WI 53711
SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLOR**

SHEET NUMBER

A205

PROJECT NUMBER
2440

2 COLOR - SOUTH EAST ELEVATION
A205 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
1	ALUMINUM SIDING	LONGBOARD	GOLDEN GATE
2	COMPOSITE SIDING PANEL	JAMES HARDIE	GRAY SHADOW
3	COMPOSITE SIDING PANEL	JAMES HARDIE	SKYSCRAPER GRAY
4	PRECAST CONCRETE WALL PANEL	N/A	GRAY (FINISH TBD)
5	ALUMINUM STOREFRONT	N/A	DARK BRONZE ANODIZED
6	RAILINGS AND HANDRAILS	TBD	MATCH GOLDEN GATE
7	PARAPET CAPS	TBD	MATCH GOLDEN GATE
8	PARAPET CAPS	TBD	MATCH GRAY SHADOW
9	PARAPET CAPS	TBD	MATCH SKYSCRAPER GRAY
10	COMPOSITE WINDOWS	TBD	DARK BRONZE
11	CAST STONE VENEER	TBD	GRAY

KEY PLAN



1 COLOR - NORTH WEST ELEVATION
A206 1/8" = 1'-0"

ISSUED
SIP SUBMITTAL 2025-07-14



2 COLOR - NORTH EAST ELEVATION
A206 1/8" = 1'-0"

PROJECT TITLE
**NEWCOMB
SEMINOLE
DEVELOPMENT**

2715 S SEMINOLE HWY,
FITCHBURG, WI 53711
SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLOR**

SHEET NUMBER
A206

PROJECT NUMBER
2440



knothe • bruce
ARCHITECTS

Phone: 608.836.3690 8401 Greenway Blvd, Suite 900
Middleton, WI 53562

KEY PLAN



ISSUED
SIP SUBMITTAL 2025-07-14

PROJECT TITLE
**NEWCOMB
SEMINOLE
DEVELOPMENT**

2715 S SEMINOLE HWY,
FITCBURG, WI 53711
SHEET TITLE
RENDER IMAGE

SHEET NUMBER

A901

PROJECT NUMBER

2440



knothe • bruce
ARCHITECTS

Phone: 8401 Greenway Blvd, Suite 900
608.836.3690 Middleton, WI 53562

KEY PLAN

ISSUED
SIP SUBMITTAL 2025-07-14

PROJECT TITLE
NEWCOMB
SEMINOLE
DEVELOPMENT

2715 S SEMINOLE HWY,
FITCBURG, WI 53711
SHEET TITLE
RENDER IMAGE

SHEET NUMBER

A902

PROJECT NUMBER

2440

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ARCHITECTS

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KEY PLAN



ISSUED
SIP SUBMITTAL 2025-07-14

PROJECT TITLE
**NEWCOMB
SEMINOLE
DEVELOPMENT**

2715 S SEMINOLE HWY,
FITCHBURG, WI 53711
SHEET TITLE
RENDER IMAGE

SHEET NUMBER

A903

PROJECT NUMBER

2440

Ryan Signs, Inc.

3007 Perry Street
Madison, WI 53713
608-271-7979 Phone
mbgrowneyselene@ryansigns.net

July 17, 2025

**NEWCOMB CONSTRUCTION COMPANY, INC.
2715 S. SEMINOLE HWY.
SIGNAGE SUBMITTAL FOR PROJECT SIP
CITY OF FITCHBURG**

For consider and inclusion in SIP for 2715 S. Seminole Hwy., Ryan Signs, Inc. offers the following signage submittal.

1. DESIGN 1A or 1B

Placed at the corner of Lacy Road and Seminole Hwy.

- Signable area not to exceed 40 square feet on one face
- Individual letters and logo attached to ground or subsurface structure
- Either internally illuminated or backlit

2. DESIGN 2A or 2B or 2C

Placed at driveway entrance to 2715 S. Seminole Hwy.

- Development name/logo not to exceed 16 square feet, per face, excluding wayfinding information
- Fabricated aluminum structure
- Either illuminated or non-illuminated

3. DESIGN 3A or 3B or 3C

Placed on the interior of the development

- Fabricated aluminum structure
- Non-illuminated
- Development name/logo not to exceed 16 square feet, per face, excluding wayfinding information

4. DESIGN 4A or 4B

Placed on Seminole Hwy. (East) elevation of the building

- Illuminated or non-illuminated
- Overall sign or address not to exceed 10% of East elevation wall

5. DESIGN 5A/5C or 5B/5D

Placed on private drive, (North) elevation of the building

- Overall sign or address not to exceed 10% of East elevation wall
- Illuminated or non-illuminated

6. DESIGN 6A or 6B

Placed on West elevation, adjacent to resident parking

- Overall sign not to exceed 10% of West elevation wall
- Illuminated or non-illuminated

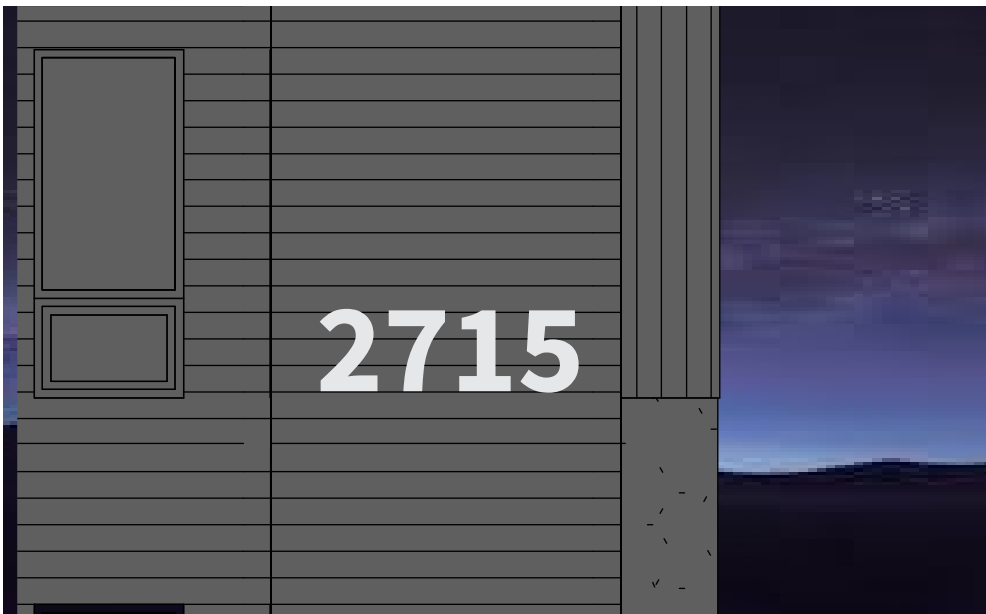
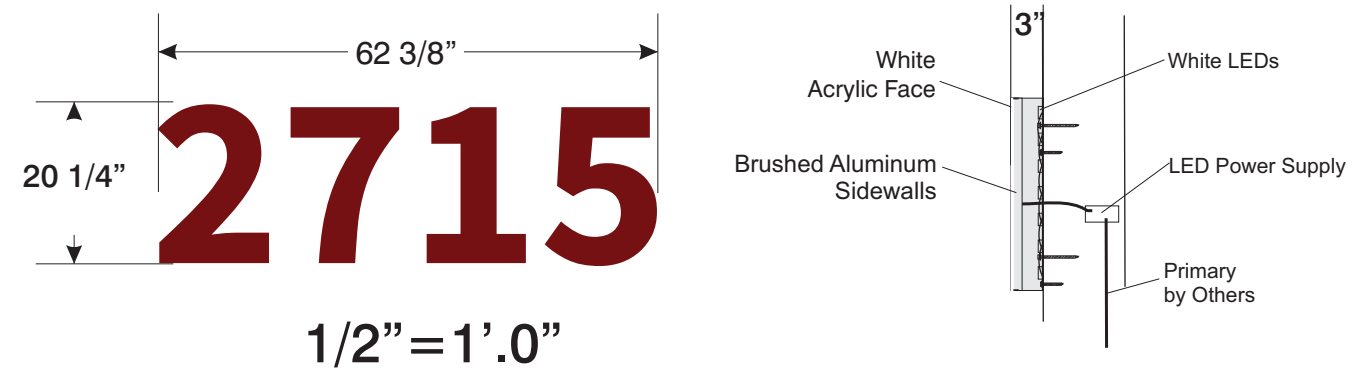
General Notes:

- a. Total signage shall not exceed 150 square feet.
- b. All final sign designs shall be submitted with appropriate sign permit applications.

4A Southeast Elevation - Address Letters - Internally Illuminated



1/8" = 1'.0"

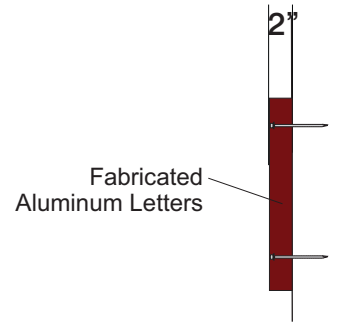
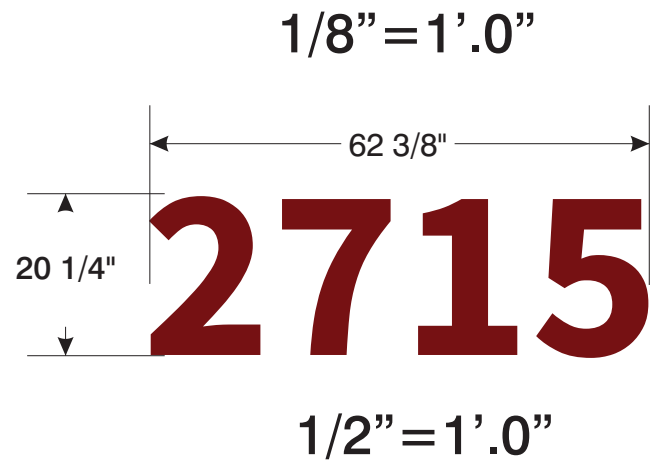


<input type="checkbox"/> White Acrylic Faces	<input type="checkbox"/> Dual Color Film - Color TBD
Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Compliance Statement: White LEDs Meets City of Madison Maximum Requirements
Construction: Internally Illuminated Letters Mounted to Building Surface	

Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853		SCALE: VARIES	APPROVED:
NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		DATE: 7/9/25	
These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc., Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.		REVISIONS:	© Copyright 2025 by Ryan Signs, Inc.
client signature		DRAWN BY: KW	DRAWING NUMBER: 8124

Print to Scale on 11" x 17" Paper

4B Southeast Elevation - Address Letters - Non Illuminated



<p>■ Faces & Side Painted - Color TBD</p>		
<p>Wind Load Compliance Statement: Withstand up to 75 MPH Winds</p>	<p>Illumination Compliance Statement: N/A</p>	<p>Construction: Non Illuminated Letters Mounted to Building Surface</p>

Print to Scale on 11" x 17" Paper

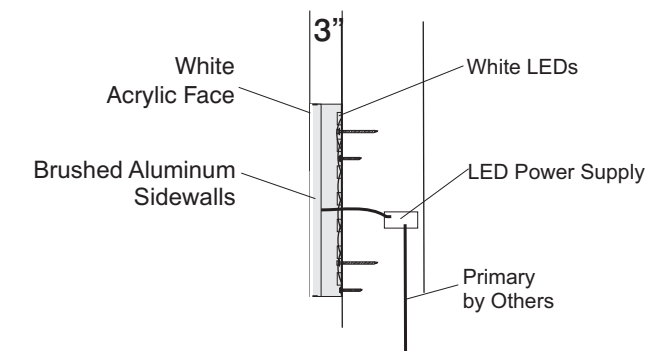
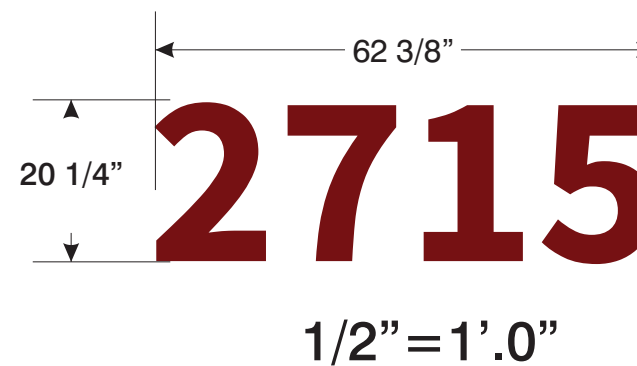
<p>Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853</p>		<p>SCALE: VARIES DATE: 7/9/25</p>	<p>APPROVED:</p>
<p>NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY</p>		<p>REVISED: DRAWN BY: KW</p>	<p>© Copyright 2025 by Ryan Signs, Inc.</p>
<p><small>These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc., Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.</small></p>			<p>DRAWING NUMBER: 8124</p>

client signature _____

5A Northeast Elevation - Address Letters - Internally Illuminated



1/8" = 1'.0"



Print to Scale on 11" x 17" Paper

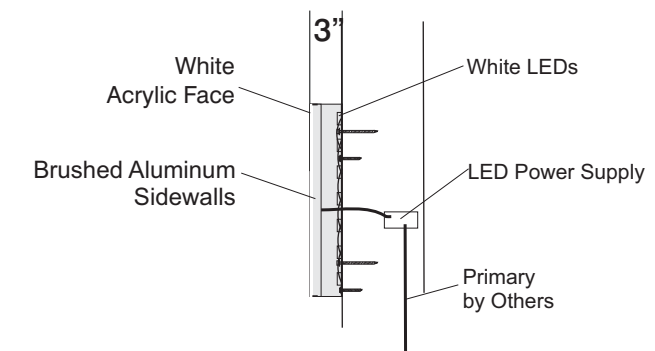
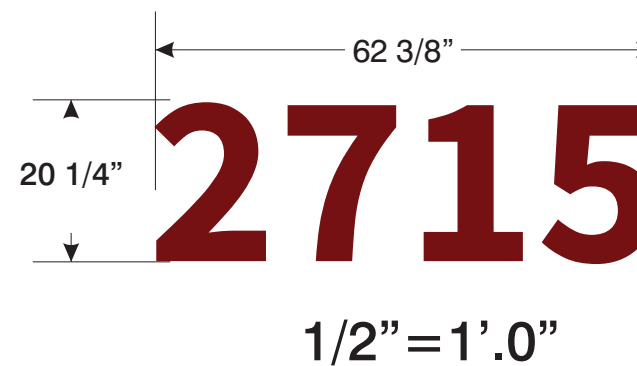
<input type="checkbox"/> White Acrylic Faces	Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Compliance Statement: White LEDs Meets City of Madison Maximum Requirements	Construction: Internally Illuminated Letters Mounted to Building Surface
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Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853		SCALE: VARIES DATE: 7/9/25	APPROVED:
NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		REVISED:	© Copyright 2025 Ryan Signs, Inc.
These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc., Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.		DRAWN BY: KW	DRAWING NUMBER: 8124
client signature _____			

5B Northeast Elevation - Address Letters - Internally Illuminated



1/8" = 1'.0"



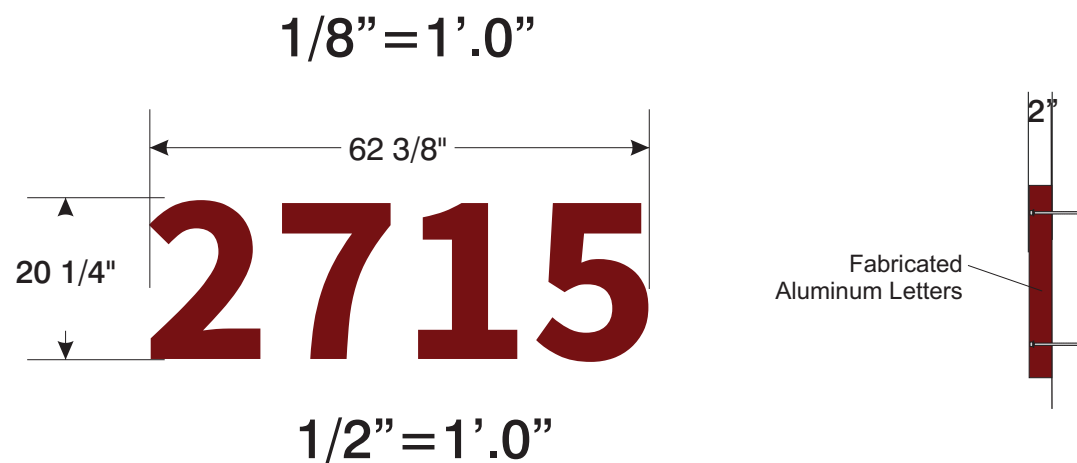
Print to Scale on 11" x 17" Paper



<input type="checkbox"/> White Acrylic Faces	<input type="checkbox"/> Dual Color Film - Color TBD
Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Compliance Statement: White LEDs Meets City of Madison Maximum Requirements
Construction: Internally Illuminated Letters Mounted to Building Surface	

Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853		SCALE: VARIES DATE: 7/9/25	APPROVED:
NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		REVISED:	© Copyright 2025 Ryan Signs, Inc.
These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc., Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.		DRAWN BY: KW	DRAWING NUMBER: 8124
client signature _____			

5C Northeast Elevation - Address Letters - Non Illuminated



■ Faces & Side Painted - Color TBD		
Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Compliance Statement: N/A	Construction: Non Illuminated Letters Mounted to Building Surface

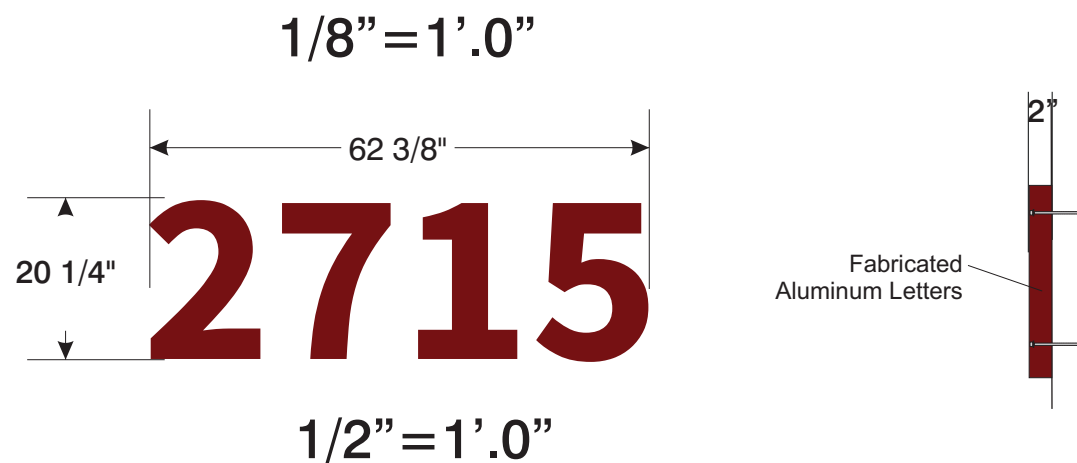
Print to Scale on 11" x 17" Paper

Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853		SCALE: VARIES DATE: 7/9/25	APPROVED:
NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		REVISED:	© Copyright 2025 by Ryan Signs, Inc.
		DRAWN BY: KW	DRAWING NUMBER: 8124

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client signature _____

5D Northeast Elevation - Address Letters - Non Illuminated



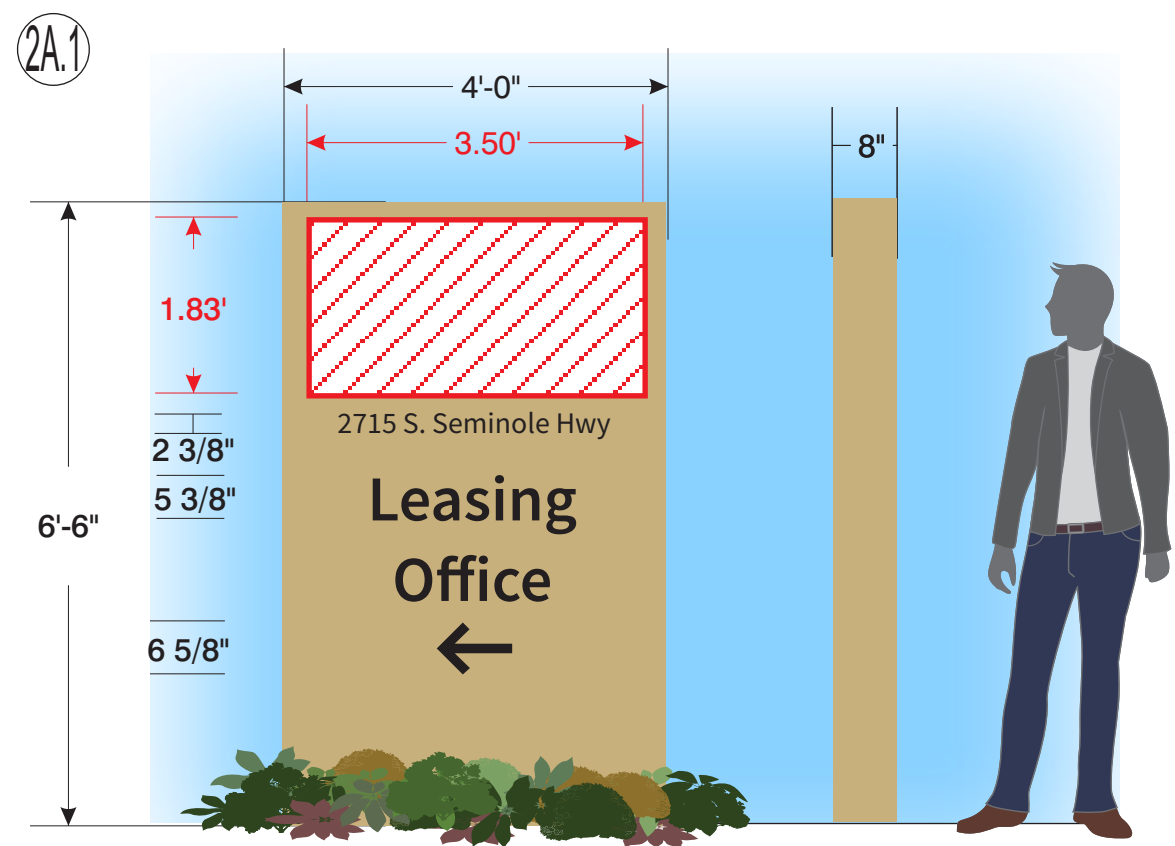
Fabricated Aluminum Letters

<p>■ Faces & Side Painted - Color TBD</p>		
<p>Wind Load Compliance Statement: Withstand up to 75 MPH Winds</p>	<p>Illumination Compliance Statement: N/A</p>	<p>Construction: Non Illuminated Letters Mounted to Building Surface</p>

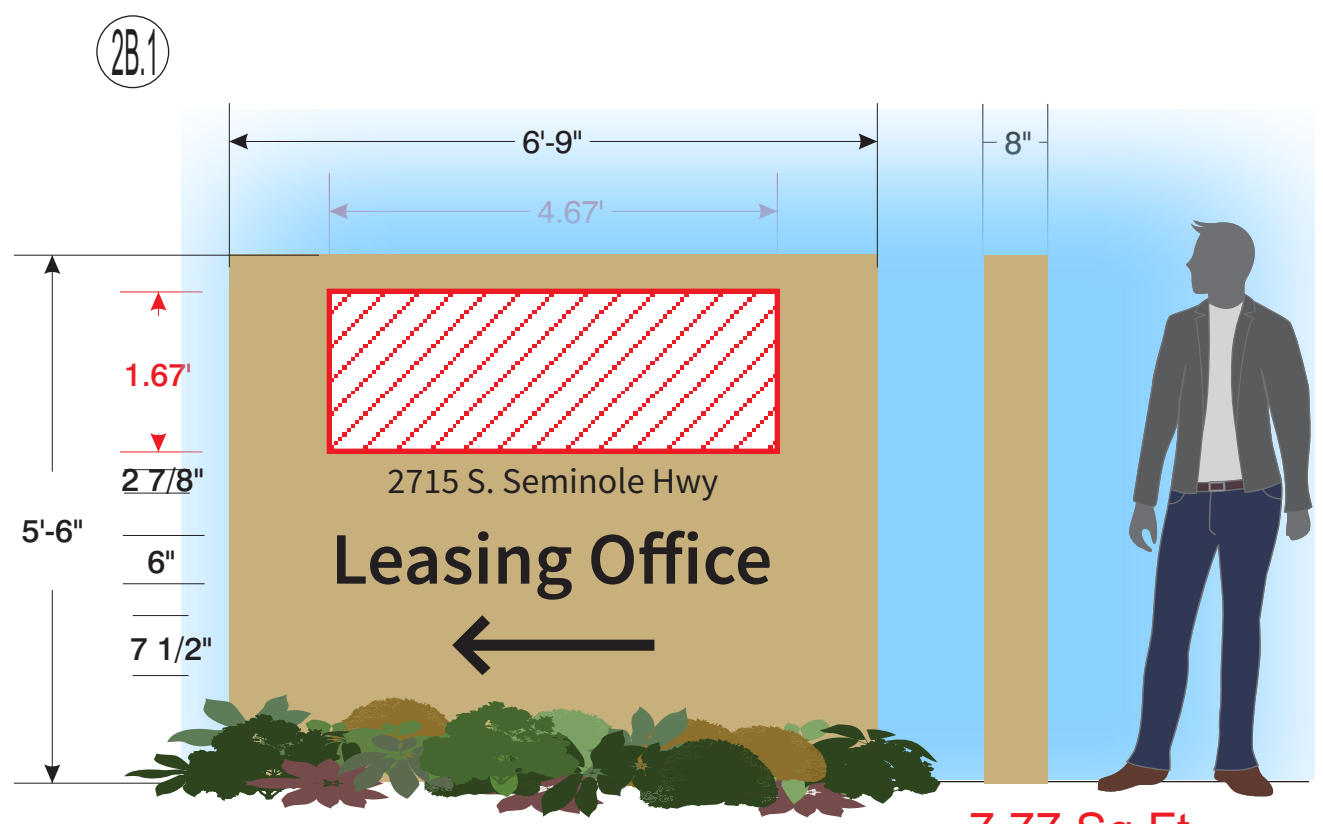
Print to Scale on 11" x 17" Paper

<p>Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853</p>		<p>SCALE: VARIES DATE: 7/9/25</p>	<p>APPROVED: _____ © Copyright 2025 by Ryan Signs, Inc.</p>
<p>NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY</p>		<p>REVISED: DRAWN BY: KW</p>	<p>DRAWING NUMBER: 8124</p>
<p><small>These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc., Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.</small></p>			
<p>client signature _____</p>			

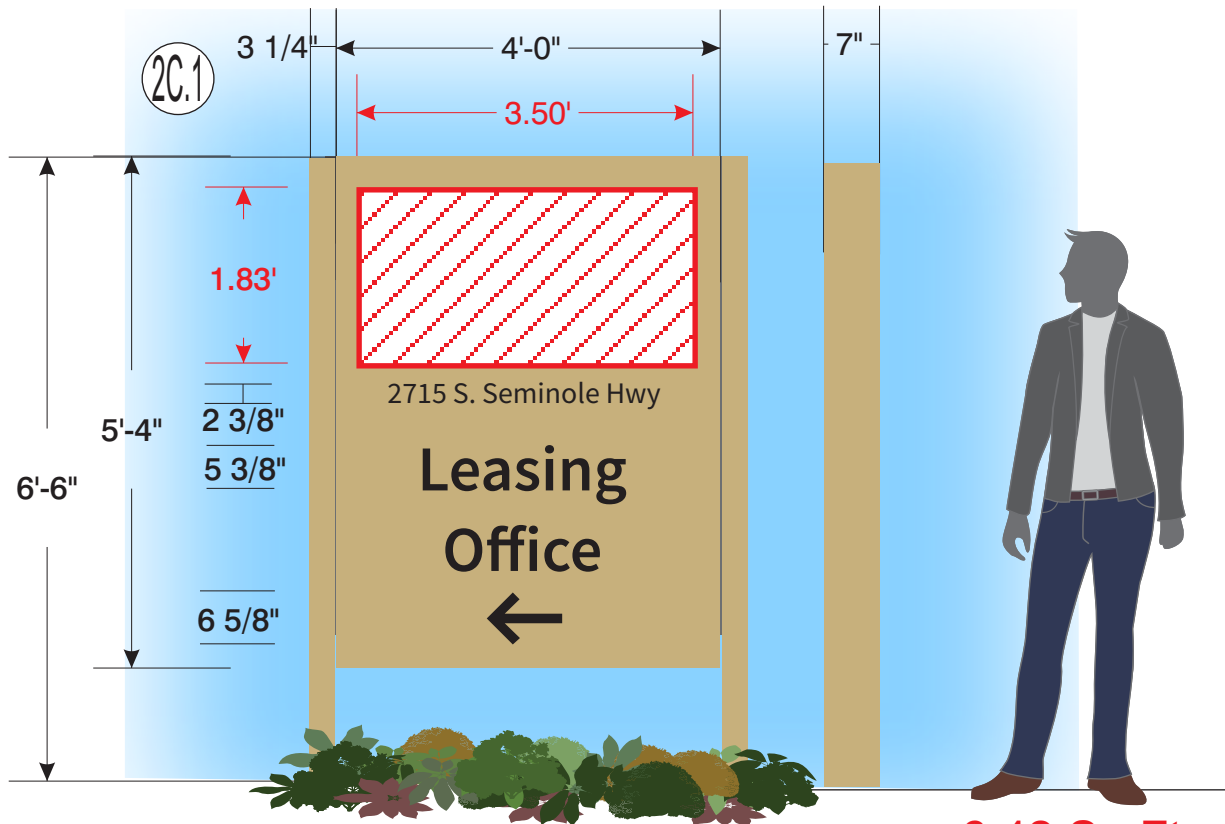
Larger Freestanding Directional Signs - Illuminated OR Non Illuminated



Fabricated Aluminum Cabinet, w/ Posts Mounted Below Grade Colors TBD **6.42 Sq Ft Per Side**



Fabricated Aluminum Cabinet, w/ Posts Mounted Below Grade Colors TBD **7.77 Sq Ft Per Side**



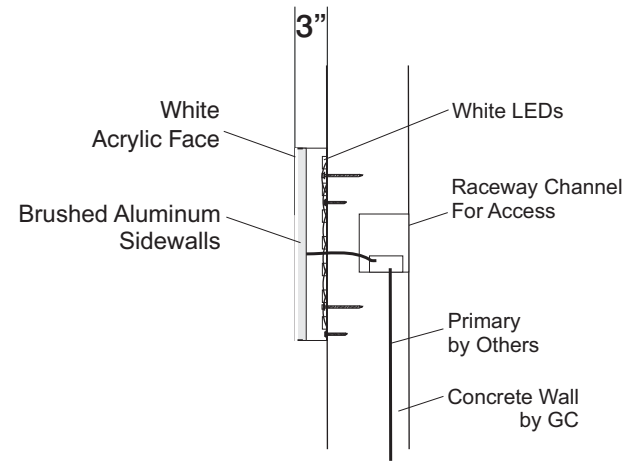
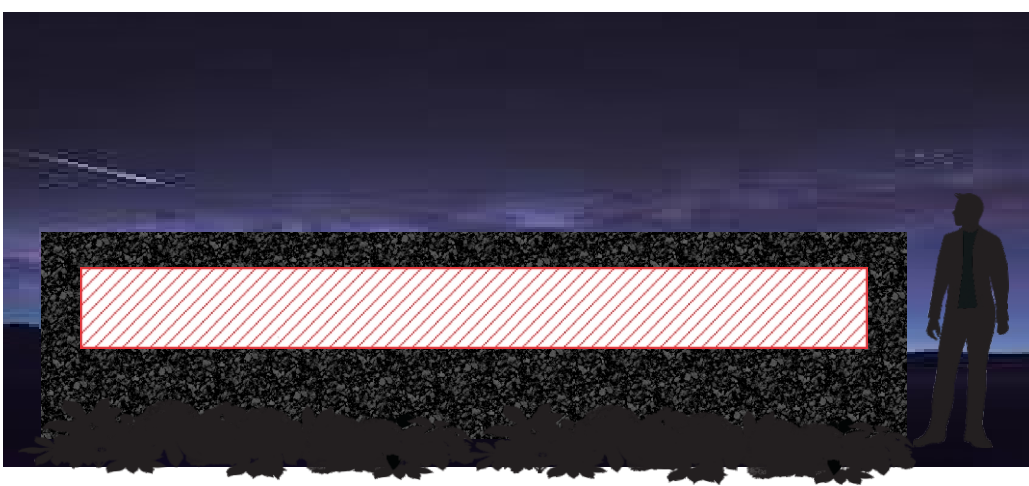
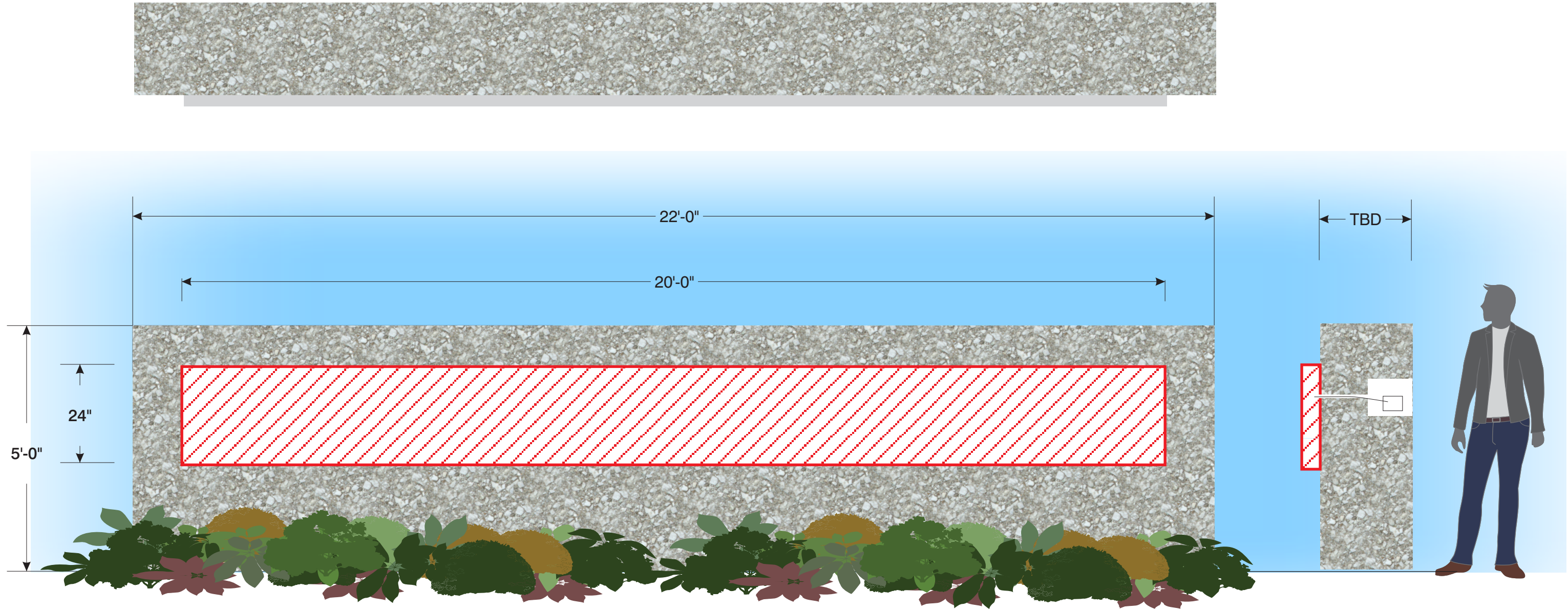
Aluminum Post & Panel, w/ Posts Mounted Below Grade Colors TBD **6.42 Sq Ft Per Side**



Print to Scale on 11" x 17" Paper

Ryan Signs, Inc.		SCALE: 1/2" = 1'.0"	APPROVED:
3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853		DATE: 7/9/25	
NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		REVISED: 7/14/25	© Copyright 2025 by Ryan Signs, Inc.
		DRAWN BY: KW	
<small>These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc., Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.</small>			DRAWING NUMBER:
<small>client signature</small>			8124

1A.1 Concrete Wall - Internally Illuminated Letters
 40 Sq Ft

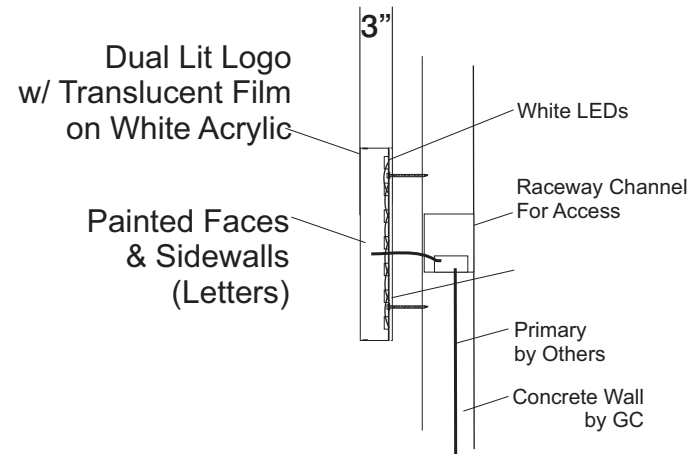
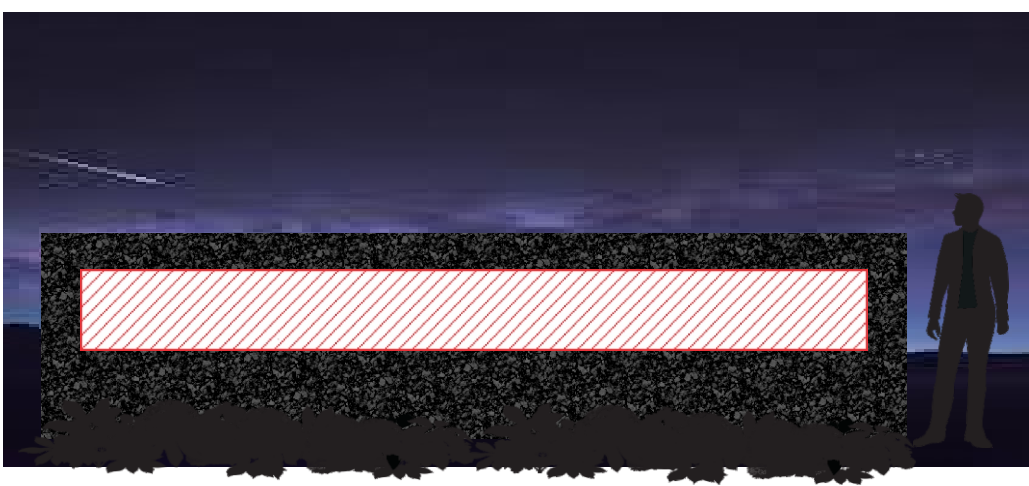
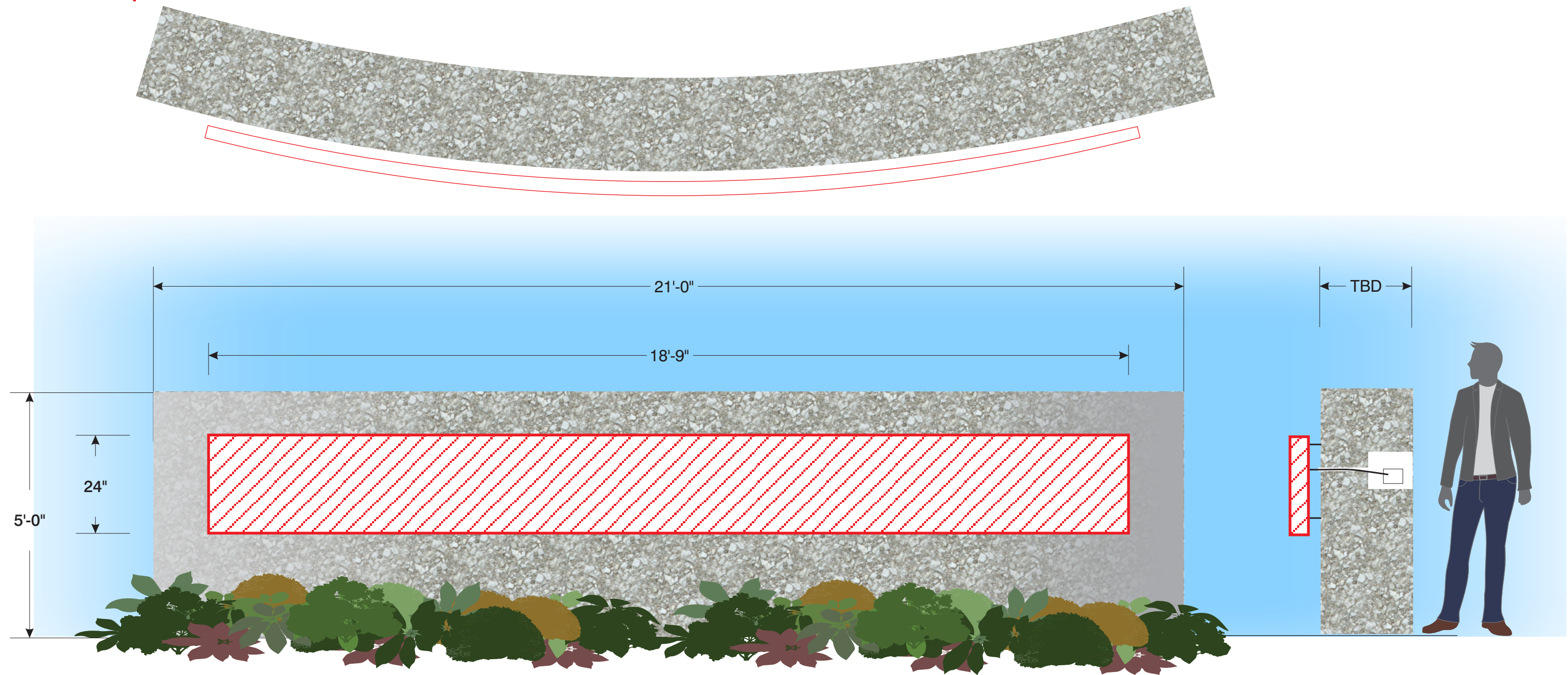


<input type="checkbox"/> White Acrylic Faces	<input checked="" type="checkbox"/> Concrete Wall
<input checked="" type="checkbox"/> Dual Color Film - Color TBD	
Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Compliance Statement: White LEDs Meets City of Madison Maximum Requirements
Construction: Internally Illuminated Letters Mounted to Concrete Wall	

Print to Scale on 11" x 17" Paper

Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853		SCALE: 1/2" = 1'.0"	APPROVED:
NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		DATE: 7/9/25	© Copyright 2025 by Ryan Signs, Inc.
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client signature _____		DRAWN BY: KW	8124

1B.1 Concrete Wall - Dual Lit Graphic & Reverse Channel Back Lit Letters
40 Sq Ft



White Acrylic Faces	Concrete Wall
Dual Color Film	
Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Compliance Statement: White LEDs Meets City of Madison Maximum Requirements
Construction: Internally Illuminated Letters Mounted to Concrete Wall	

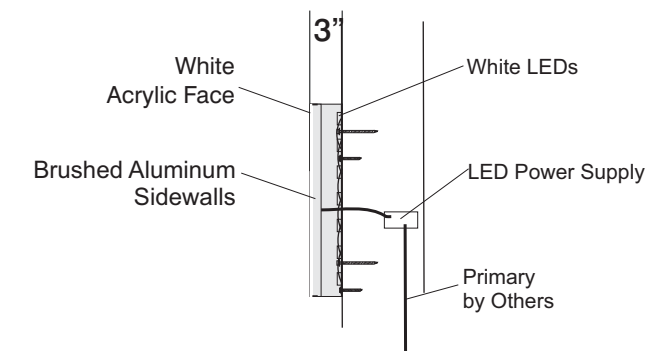
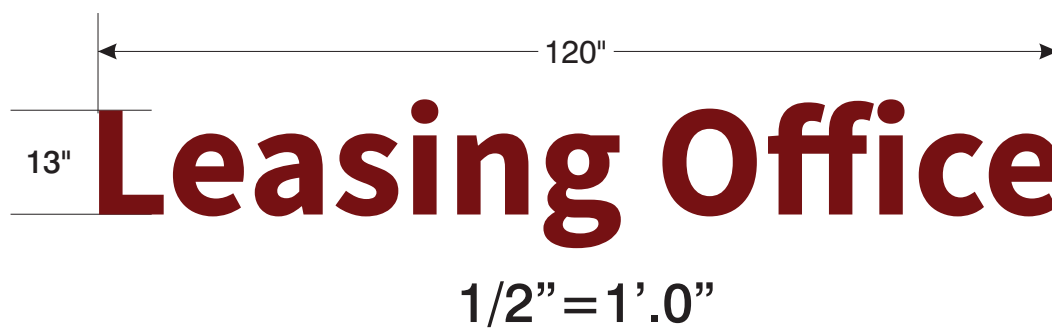
Print to Scale on 11" x 17" Paper

Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853		SCALE: 1/2" = 1'-0"	APPROVED:
NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		DATE: 7/9/25	© Copyright 2025 by Ryan Signs, Inc.
These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc., Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.		REVISED: 7/14/25	DRAWING NUMBER:
client signature _____		DRAWN BY: KW	8124

6A Northwest Elevation - Leasing Office Letters - Internally Illuminated



1/8" = 1'.0"



<input type="checkbox"/> White Acrylic Faces	Wind Load Compliance Statement: Withstand up to 75 MPH Winds	Illumination Compliance Statement: White LEDs Meets City of Madison Maximum Requirements	Construction: Internally Illuminated Letters Mounted to Building Surface
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NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		REVISIONS: DRAWN BY: KW	© Copyright 2025 Ryan Signs, Inc.
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client signature			

Print to Scale on 11" x 17" Paper

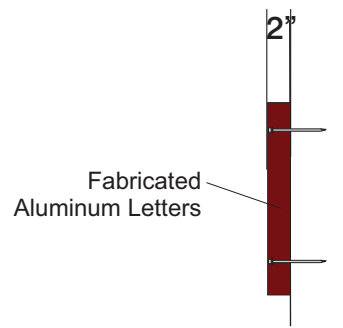
6B Northwest Elevation - Leasing Office Letters - Non Illuminated



1/8" = 1'.0"

13" **Leasing Office** 120"

1/2" = 1'.0"

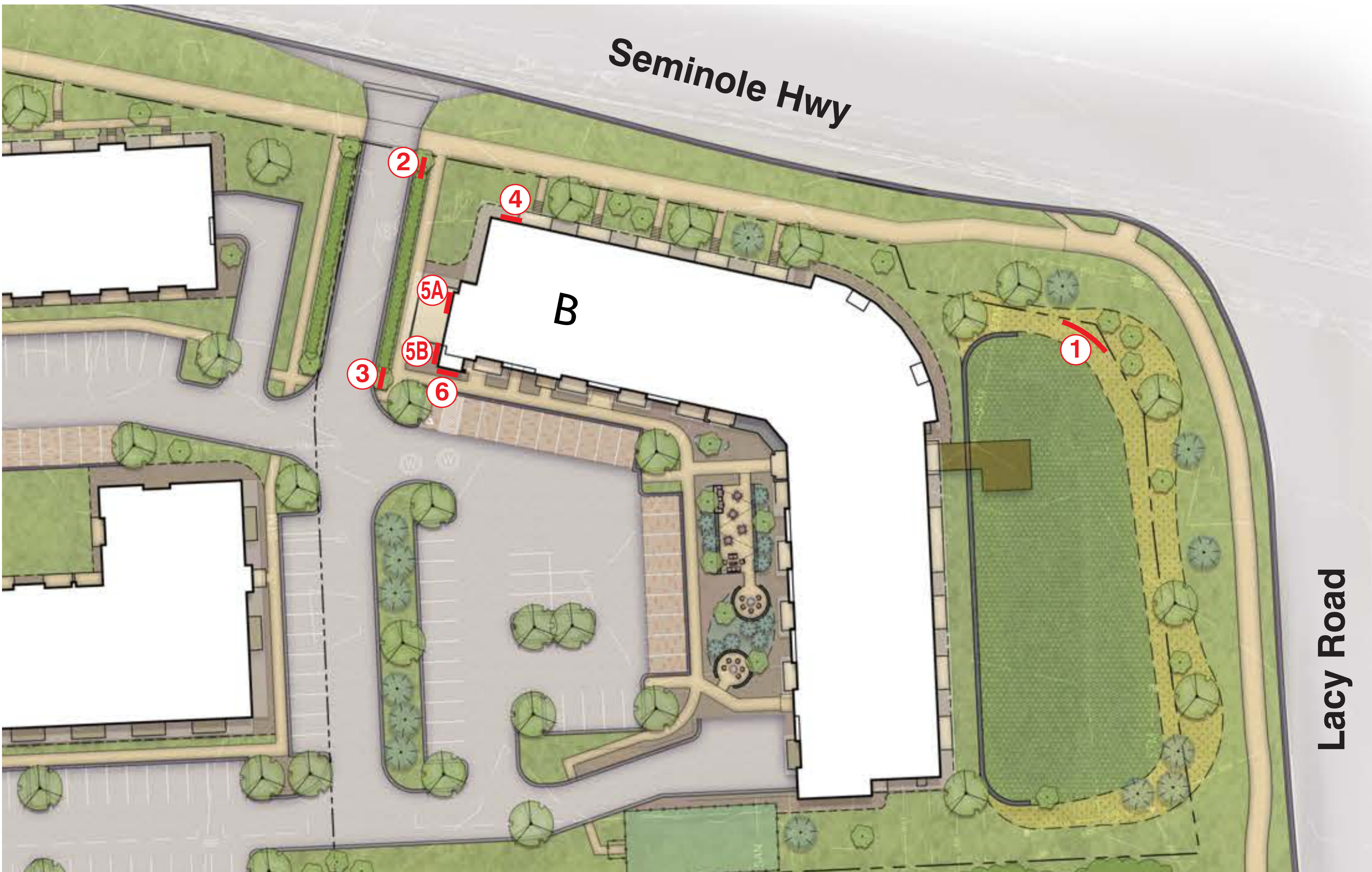


■ Faces & Side Painted - Color TBD
Wind Load Compliance Statement: Withstand up to 75 MPH Winds
Illumination Compliance Statement: N/A
Construction: Non Illuminated Letters Mounted to Building Surface

Print to Scale on 11" x 17" Paper

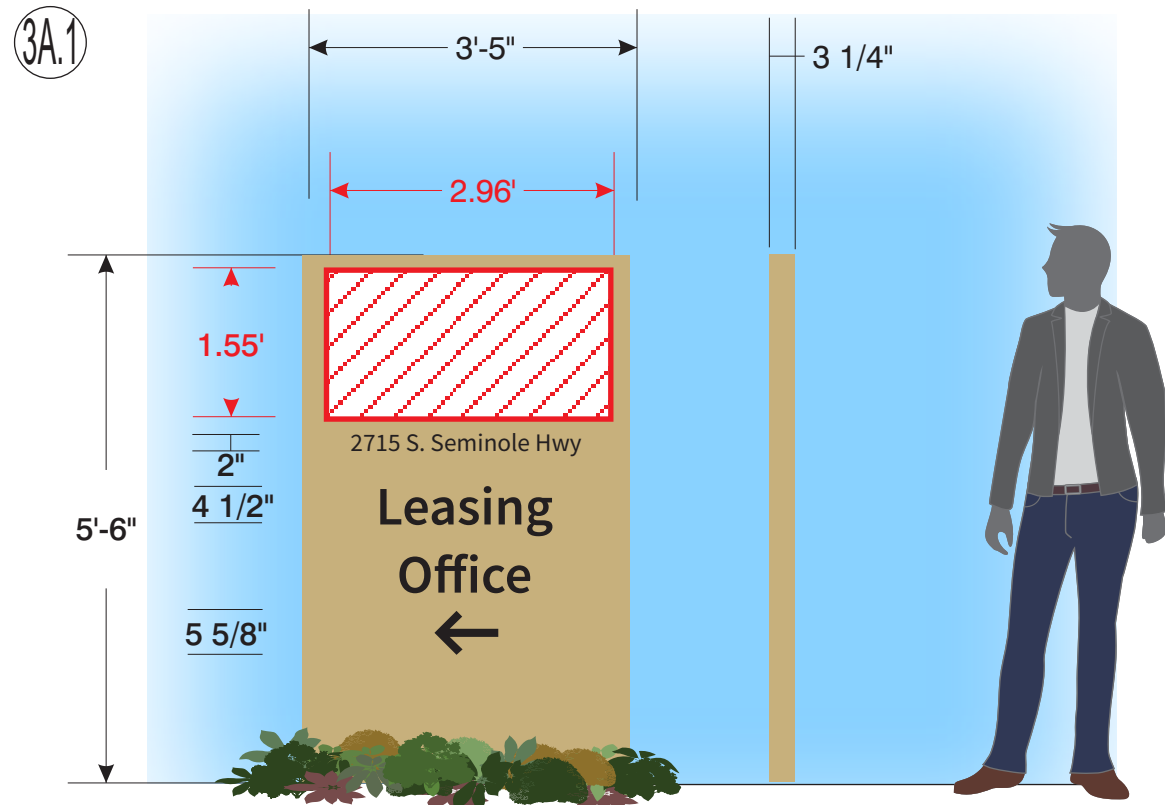
Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853		SCALE: VARIES	APPROVED:
NEWCOMB CONST. - GUSTO - 2715 S. SEMINOLE HWY		DATE: 7/9/25	REVISOR:
		DRAWN BY: KW	© Copyright 2025 by Ryan Signs, Inc.
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client signature _____			8124

Seminole Hwy

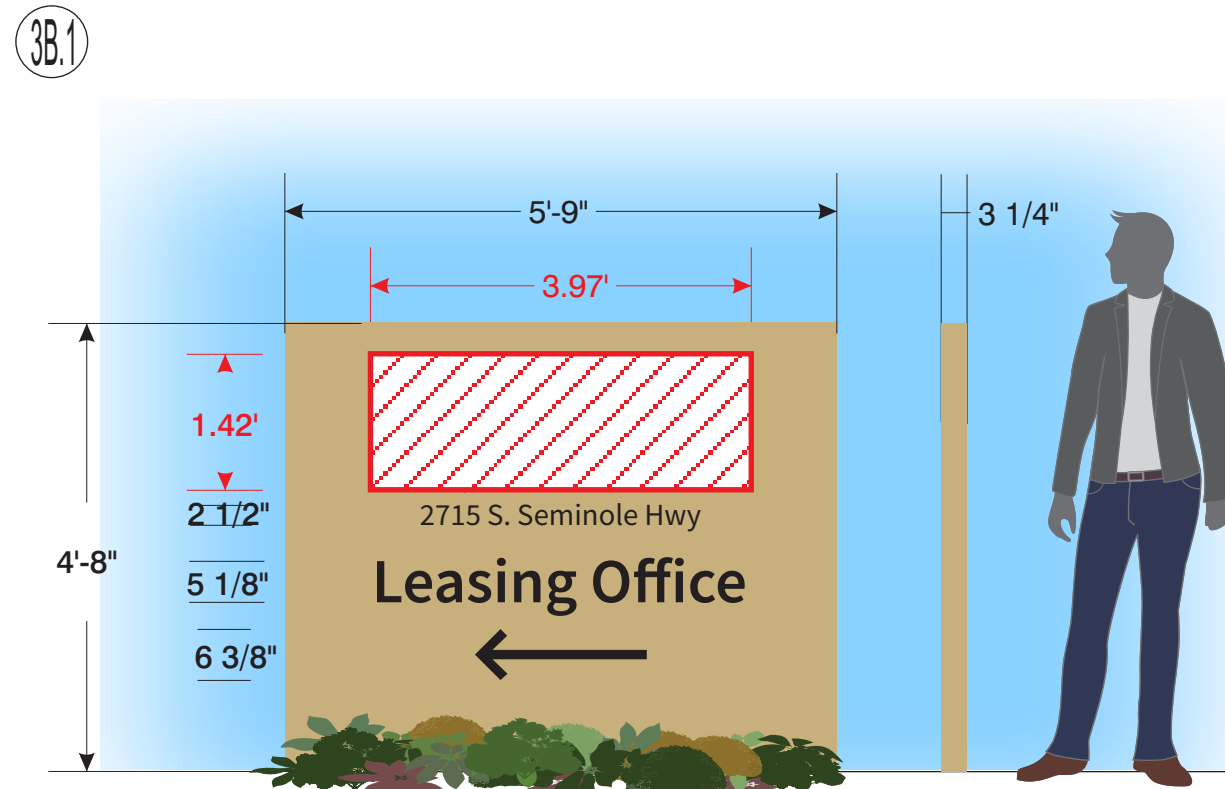


Lacy Road

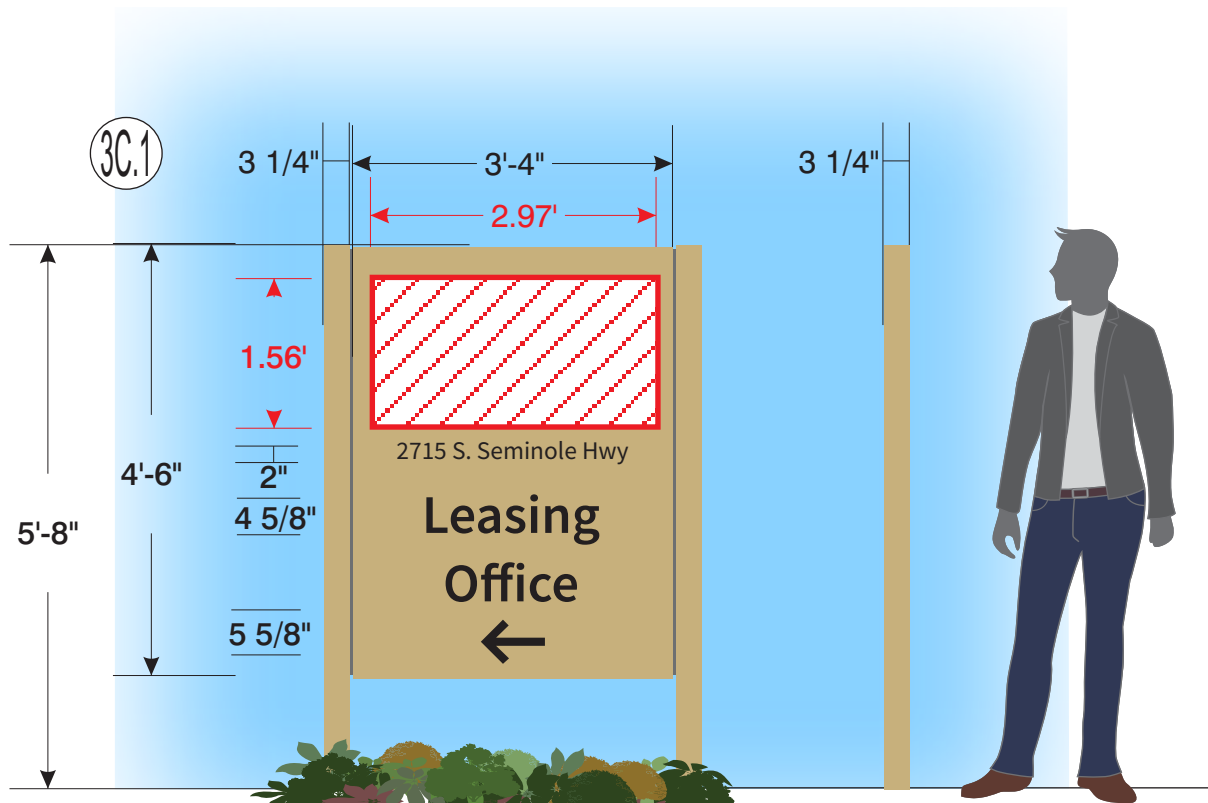
Smaller Freestanding Directional Signs - Non Illuminated



Fabricated Aluminum Cabinet,
w/ Posts Mounted Below Grade Colors TBD **4.64 Sq Ft Per Side**



Fabricated Aluminum Cabinet,
w/ Posts Mounted Below Grade Colors TBD **5.62 Sq Ft Per Side**



Aluminum Post & Panel,
w/ Posts Mounted Below Grade Colors TBD **4.64 Sq Ft Per Side**

Print to Scale on 11" x 17" Paper

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