

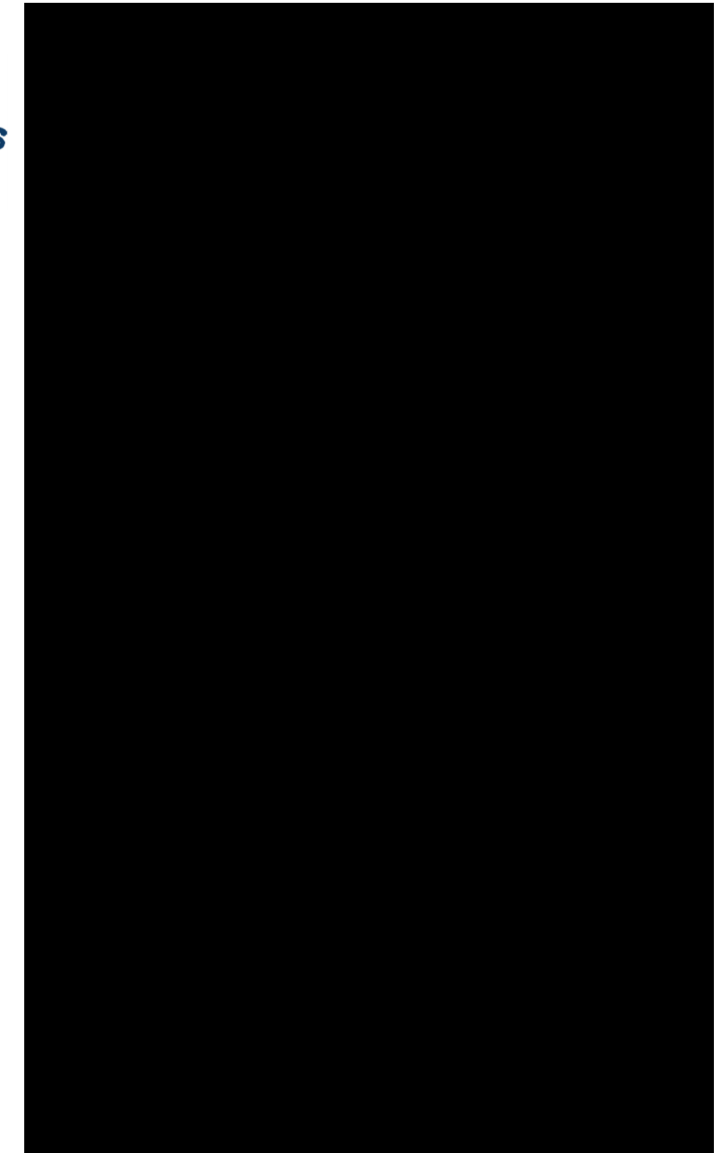
# City On A Hill Church Expansion

## FITCHBURG, WISCONSIN

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**PROJECT TEAM:**



## PROJECT LOCATION & GENERAL DESCRIPTION

This SIP submittal focuses on the proposed renovation and expansion of City on a Hill Church at 2924 Fish Hatchery Road, as the Church seeks to expand its ministry in the Fitchburg community.

The church proposes to expand its worship area by adding an addition to the east which provides new gathering spaces and facilities and transitions those former areas to expand the worship hall. In addition, a range of additional services are being added including toilets, elevators, and other storage and meeting areas to improve congregation amenity.

A GIP for the property was approved in conjunction with the Bowman Plaza – Mixed-Use Development to the south on 4.23.24.

### Surrounding Context

The project site is in an urban neighborhood surrounded by existing businesses, a public golf course, elementary schools, several parks and recreation areas, with a mix of residential apartments and homes. The properties to the north, south, and east are predominantly commercial and the properties to the west are predominantly residential.

### Existing Topography

The project site is slightly elevated relative to Fish Hatchery Road to the east, and is only partially developed with grassed area to east and west, and asphalt driveway and parking around the church to the south and west. There are no wetlands within the boundary of the parcel.

### Existing Site Conditions

The Bowman Plaza property is to the south, with no commercial tenants. Members of City on a Hill Church often use the parking at the existing commercial space during times of larger services.

### PROJECT SITE



### City on a Hill Redevelopment

In conjunction with the Bowman Plaza Redevelopment, and its coordination of access and parking, the Church is seeking approval for renovation to its Church Hall, and the addition of new meeting and storage space and facilities.

**FEES:**

The following fees are being submitted: \$

**INTRODUCTION:**

The design of the project site is being developed in conjunction with the property to the south ("The Bowman Plaza Development") and a GIP has already been submitted and approved. This is a submittal for SIP and ADR approval.

The goal of this project is to add gathering space to the existing City on a Hill Church facility and expand the existing worship space. The renovation to expand worship will increase the seating capacity of the church and the addition of gathering will allow the church to accommodate multiple services. The existing carport and entry will be removed and replaced with new entry in the same location that leads into the addition. New entries will be added on the east and north sides of the new gathering space. The existing building will be renovated to accommodate the congregation at City on a Hill church. The expanded worship space will be renovated so that an estimated 275 congregants can be seated in the space. As part of this project the entire facility will receive new sprinkler and fire alarm updates.

This addition is Phase 1 in the Master Plan of the church. The full Master Plan site plan and renderings have been included for reference.

**OPERATIONAL CONSIDERATIONS:**

Sunday | 8:30 am, 10:15 am, 2:00 pm

Services typically are 65 to 70 minutes, so there is about 20 to 25 minutes for the turnover in the parking lot between Sunday services.

Church usage other than Sunday morning, during the week, small groups (8 to 15 people) meet for Bible studies or meetings on various days. Typically, there are approximately 4 weddings and 4 funerals per year. Most average attendance of about 100.

## RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

We believe that the case was made, and accepted at the GIP application, for the need to use Planned Development District Zoning for the Bowman Mixed Use Development and the City on a Hill Expansion, to accomplish the goals of providing a quality infill development and maintaining the more urban feel desired.

As a reminder, to accomplish these goals, we referenced the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, 2,400 square feet per each 2 bedroom unit, and 2,700 square feet per each 3 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. With our proposed unit mix and total unit count of approximately 250-280 units, this standard would require a parcel substantially larger than our existing parcel size.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback (Fish Hatchery) at 30 feet. In order to fulfill our desire to provide a more urban feel, we propose a minimum setback of 10 feet.
- Section 22-146 – Dimensional Standards (5): Sets the minimum side setback at 10 feet. In order to fulfill our desire to provide a more

urban feel, we propose a minimum setback of 5-10 feet depending on location.

- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet or 3 stories, whichever is less. We are planning 5-stories of residential on top of 2 stories of a covered parking structure that is partially exposed due to grading on site. While we realize dwelling structures having greater than 3 stories is allowed as a Conditional Use (per 22-146 (8)), we desire the long-term stability afforded under a permanent zoning classification.

Beyond these code related rationales, we believe that there is a unique opportunity to coordinate parking and access between the City on a Hill Church to the north, and Bowman Plaza redevelopment to the south. Given guidance from City Staff, implementation of this shared and coordinated parking agreement required approval under a PDD zoning application.

Having received GIP approval on 4.23.24 we are now progressing an SIP approval for the City on a Hill property. It is expected that the Bowman Plaza property will apply for its own SIP in the fall.

## ECONOMIC & SOCIAL IMPACTS

As part of the combined project, we believe that this project will have positive economic & social impacts on the area. We identified the following impacts at the GIP application stage.

### Property Values and Tax Revenue

This project represents an expected total investment of \$70-80,000,000 through the redevelopment of Bowman Plaza. It is estimated that this project would have a total assessed value, upon full assessment, of over \$50,000,000. We believe that the project will generate significant additional property tax revenue for the City.

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

### Impact Fees

This project should generate Impact Fees to the City in an amount exceeding \$1,000,000 as part of its development.

### Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality mixed-use community should improve the perceived image of the immediate area.
- The addition of this quality mixed-use community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality mixed-use community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality mixed-use community could serve as an example for future development - creating higher standards in design & living amenities.

- This development will help to further the city's desire to create a vibrant urban feel to the North Fish Hatchery Road corridor and make productive use of a site which has been underutilized for a long time.
- This quality development will also help to create a welcoming environment for pedestrians with its residential, commercial, and retail mix replacing a mostly vacant site.

### Encouragement of Further Redevelopment within the Corridor

We have included significant commercial space in this location which could provide for the potential relocation of other Fitchburg businesses within the North Fish Hatchery corridor, which could then facilitate the sequential redevelopment of multiple future sites, while retaining those businesses within Fitchburg.

### Specific Benefits for Redevelopment of the City on a Hill Property

As part of this SIP submission, we include our current plans for expansion of the current church hall, but also our future concepts for the construction of a new worship hall to the north.

The current plans add capacity, access, and amenities to allow us to better serve our growing congregation.

The Church is very engaged with the Fitchburg community and this expansion will allow them to enhance their community support will improving amenities and services for the congregation.

We believe that our proposal does not hinder or limit future development in line with the City's North Fish Hatchery Visioning and Comprehensive Plan.

## **ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING**

The Environmental Benefits of using Planned Development District Zoning for this combined project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning. As we identified at the GIP application phase:

### Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would otherwise be required under the City's High Density Residential Zoning.

### Utilizing Existing Impervious Surface Area

As the site is essentially 100% developed, with virtually no pervious surfaces, the effective redevelopment of this site allows this existing impervious area to support a higher level of density. This allows population growth in the city to be accommodated with less clearing and development than other greenfield locations.

### Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm.

**CONSISTENCY WITH COMPREHENSIVE PLAN**

We believe that this combined project complies with the City of Fitchburg's Comprehensive Plan. It provides a high quality, well managed project that is an efficient use of existing resources. As was identified at the GIP application phase, specifically:

**Housing Policy Framework Goal 1:**

Provide balanced growth with a variety of housing types, to promote decent housing and a suitable living environment for all residents.

Objective 1.1: This project promotes the development of housing to meet the current and future needs of residents within the City as outlined in the Growing Fitchburg 2030 plan.

Policy 1.1.1: This project is being built with in short walking distance of existing mass transit routes on Fish Hatchery Road. In addition, it will have quick, easy access to main arterials servicing the larger metropolitan area.

Objective 1.3: This infill project will add value to the neighborhood by complimenting the existing housing developments on Index Road. In addition, it will add potential labor resources for the adjacent business district.

Policy 1.3.2: This project is focused on developing an under used parcel of land with a development that contributes to the existing neighborhood, meets goals of the North Fish Hatchery Road Vision plan, and provides affordable, market rate housing.

**Housing Policy Framework Goal 2:**

Promote the efficient use of land for housing.

Objective 2.1: This infill project provides a more efficient, compact use of the land with higher densities, quality amenities for the residents.

Policy 2.1.3 By utilizing a under used parcel located in an existing urban setting, this project will help to protect existing natural resources, environmental corridors, and open spaces.

Objective 2.2: This infill project provides the growth desired in Fitchburg without adding to sprawl at the periphery of the existing urban area.

Policy 2.2.1 This infill development will be fully served by existing urban services, including sanitary sewer and public water, and will provide convenient access to community facilities, areas of employment, and arterial highways.

**Jobs and Education Policy Framework Goal 1:**

Encourage economic development opportunities appropriate to the Resources, character, and service levels of the city.

Objective 1.1: This project will provide a compact residential development with onsite tenant amenities to serve both new and current area residents.

Policy 1.1.1: This project delivers a taller building with higher floor area ratios, as well as covered parking for the residents.

Policy 1.1.3 This development is located 1 block from Post Road, and 1 block from a controlled intersection with Fish Hatchery Road. Sidewalks included in this development will provide pedestrian access to existing mass transit lines on Fish Hatchery Road.

## CONSISTENCY WITH NORTH FISH HATCHERY VISIONING

We believe that this combined project is consistent with the City of Fitchburg's Visioning for the North Fish Hatchery Redevelopment Area. We believe that this development will address the vision goals in the following ways.

**Goal 1:** Promote economic and tax base growth and stability.

- This project will add to the tax base as outlined earlier in this proposal.
- This development provides stability to the neighborhood as it will be owned and operated by the developers, who live and operate their business in the City of Fitchburg.

**Goal 2:** Transition corridor to an urban form.

- This infill development will transform an isolated undeveloped parcel into an urban environment.

**Goal 3:** Continue stabilization of existing residential development.

- This project will continue the development of the surrounding area as an urban residential center.
- This project will be maintained by the owners and utilize a local professional property management company, with onsite managers.

**Goal 4:** Position Post Road/Fish Hatchery Road as the primary community gateway.

- Additional residents will potentially provide more customers for existing business in this area, and an expanded labor pool for employers in the immediate area.

## LAND USE & PHASING

The site is intended to remain a Church with a range of worship, administrative, educational and community uses.

The current facilities consist of a 4,490 sft church hall, with a 2000 sft office/pastorage.

The Church intends to expand and improve these facilities over a series of phases.

Site Development: Redevelopment of shared access drive and additional parking in conjunction with the development of Bowman Plaza to the south.

Phase 1: Two-story addition that is roughly 7,610 sf (footprint of 3,805 sf). The addition includes multipurpose gathering and meeting space with additional amenities and facilities. Renovations to existing worship will expand seating and worship space within the existing church hall as well.

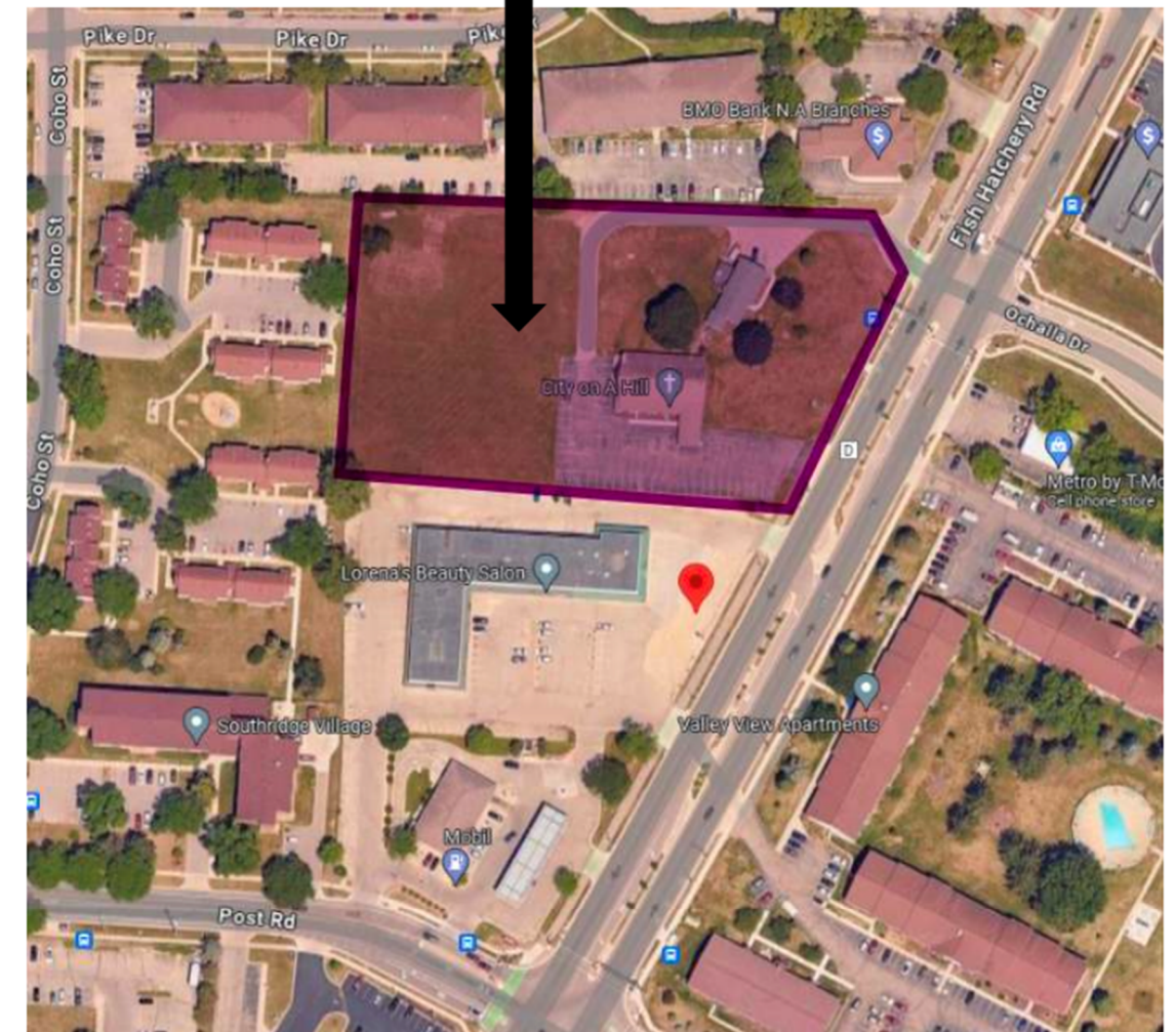
Phase 2: Demolition of the existing office/pastorage and construction of a new roughly 24,780 sf worship hall, with associated entrance and patio areas, and office/admin wing (footprint of 17,380 sf).

Phase 3: Addition of approximately 9,200 sf for additional meeting space.

Total existing building space is roughly 8,980 sf (4,490 sf footprint), with a congregation capacity of roughly 300 people and 62 parking spaces.

The completion of all phases should allow a total of roughly 50,570 sf (34,875 sf footprint) of facility spaces, with two church halls. Maximum Building Coverage Ratio: 7.2% in Phase 1, 21.9% for Master Plan.

### PROJECT SITE



## SITE DESIGN & GENERAL INFORMATION

The Masterplan for the City on A Hill Expansion Plan has been thoughtfully designed to address numerous site challenges including the existing topography and project identity.

### Masterplan Design Highlights:

- The expansion stages have been thoughtfully designed to support the existing church hall and allow development to progress in manageable stages, while allowing all of the access and parking work to be complete upfront in conjunction with the Bowman Plaza redevelopment.
- The New additions extend towards Fish Hatchery Road allowing additional massing and urban feel to be added as the expansion progresses in keeping with the City's North Fish Hatchery Visioning.
- Significant additional parking and access is added in advance to allow the expanded facilities to be fully parked.
- Expansion of the church facilities should allow the Church to conduct more outreach and support activities within the Fitchburg community.

### Off Street Parking:

The proposed layout for the church will provide 207 parking stalls on site. With the new Worship at full capacity, the max amount of seats expected would be 275. At one stall per three seats in worship, the minimum amount of stalls desired by the church would be 92. The master plan max seating capacity expected in both Worship spaces will be 675 – this translates to 225 recommended stalls.

It is our understanding that there will be no minimum parking requirement imposed by Fitchburg. The above is provided as a courtesy to show the appropriateness of the parking design. The design is also in-line with the

approved parking plan and ratios from the GIP, and exceeds the ratio that was approved at that time (1 space per 300 square feet ...  $50,570/300=169$ ).

Approximately 58 parking spaces are intended to be shared with the Bowman Plaza redevelopment to the south. As the anticipated usage of the Bowman Plaza commercial space would typically be during business hours, and most church parking will be used for evenings and weekends, we believe this is an effective synergy.

### Storm Water Management Overview:

The existing site has essentially no stormwater treatment areas, and significant vacant grass area. We will address incremental stormwater requirements during the permitting process via the addition of underground treatment and infiltration structures.

Maintenance of all storm sewer structures and pipes within the development parcel will be the responsibility of the property Owner.

**Landscape Design:**

The new landscape design for this project will meet all City of Fitchburg landscape design requirements. The landscaping plan will be developed, and additional detail and information will be provided with the subsequent Specific Implementation Plan submittals.

**General Implementation Plan Data**

At the time of this General Implementation Plan, the Masterplan Data is as follows. This data is subject to change as the design of the project proceeds. However, final Masterplan Data will meet the "Planned Development Zoning Standards" listed below.

| BICYCLE PARKING |           |                  |                 |         |       |                            |                           |
|-----------------|-----------|------------------|-----------------|---------|-------|----------------------------|---------------------------|
| BUILDING        |           |                  | BICYCLE PARKING |         |       |                            |                           |
| NAME            | EMPLOYEES | SEATING CAPACITY | COVERED         | SURFACE | TOTAL | REQUIRED                   |                           |
| CHURCH          | 20        | 400              | 2               | 8       | 10    | Short Term (Min. 2 Spaces) | Long Term (Min. 2 Spaces) |
|                 |           |                  |                 |         |       | 8                          | 2                         |

**Proposed Planned Development Zoning Standards:**

Under the proposed Planned Development Zoning (R-L Low Density District), the project shall meet the following Zoning Standards (consistent with approved GIP standards):

- Building Height: Maximum of 3 Stories or 55 feet, whichever is less
- North Setback: 30' (minimum)
- East (Fish Hatch Rd) Setback: 10' (minimum)
- West Side Yard Setback: 30' (minimum)
- South Setback: 42' (minimum)  
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Building Coverage: 25% of Parcel Area (maximum)
- Impervious Surface Ratio: 85% of Parcel Area (maximum)
- Off-Street Parking: No parking minimum required.
- Bicycle Parking: Short Term – 2% of assembly seating capacity; min 2 spaces  
  
Long Term – 1 space per 20 employees; min 2 spaces
- Permitted Uses: Places of worship, associated meeting and educational facilities, and associated office facilities.

**EXTERIOR BUILDING MATERIALS & DESIGN:**

Please see colored exterior elevations, perspective renderings and plan drawings included with this package.

**Existing Building:**

The original church building on this site was built in 1964. It is a pitched roof building with gable ends on the east and west. There is a covered carport on the south side of the building. The existing exterior walls are a combination of brick, concrete pillars, and vertical wood siding with wood trim. The roof is covered with asphalt shingle. There is a steeple with a cross on top of the east end of the existing gable. There is also a cross symbol on the east gable end wall of the existing sanctuary.

There is an existing residential structure to the north of the church building that will remain in place. This building is used as the church office and connects to the church with an underground tunnel.

**Design intent for the Proposed:**

The addition to City on a Hill church's existing facility is designed to expand the capacity and usability of the building and give it greater visual presence on Fish Hatchery so that the church can better serve the community. The new gathering space addition pulls in design elements and color tones from the existing building and presents an exciting transparent façade to Fish Hatchery road. The glassy southeast corner of the new gathering space provides visual interest to the street and showcases the ministry happening inside of City on a Hill church.

The exterior walls of the addition will be composed of prefinished engineered wood tone panels, engineered wood board and batten siding (with trim), aluminum storefront window and door systems and composite metal panel. The wood look panels add warmth to the building exterior while providing a durable and appealing finish.

The board and batten vertical siding is reminiscent of the existing building siding in both composition and color. It is also a durable and attractive product that will be easy for the church to maintain.

The existing cross symbol will remain on the east gable end of the church. A new steeple with a cross is proposed as an alternate add to the project. If it is not included initially the church intends to add it with phase 2 if not sooner.

**Screening:**

The mechanical units for the new addition are placed on the roof. These will be screened with raised parapet walls. The building's position on top of a hill combined with the raised parapet walls will obstruct the mechanical units from view.

Trash will continue to be screened within existing garage of church office building.

**Signage:**

No new exterior signage is being proposed as part of this project.

**EXTERIOR MATERIAL PRODUCT DATA:**

Prefinished Engineered Wood Panel: The basis of design is LP Smartside Panel siding with Woodtone finish. Aluminum trim reveals will be used in conjunction with the panels to provide a clean and attractive finish – basis of design, Easytrim reveals by Engage Building Products.

Engineered Wood Board & Batten Siding: The basis of design is LP Smartside board & batten siding system. Trim pieces will also be included. Two separate colors will be used – a white to match the existing building color and a cool gray to match the existing building color.

Prefinished Aluminum Storefront: The basis of design is Kawneer 451-T with a black finish.

Composite Metal Panel: The basis of design for the proposed metal panels is made by PACCLAD.

Roofing: Roofing at the church will be membrane low-slope roof.

**PETITION FOR WAIVERS:**

Brick/Masonry: At the initial meeting with city department representatives the question was raised concerning the use of brick or other masonry products. The existing building is partially composed of brick on the exterior and the church would like to continue that material in future phases of the master plan. However, for a project scope of this size the cost of brick in such a small quantity would be exorbitant. In lieu of brick, the church is using a similar colored engineered wood board and batten siding as a wainscot in this phase but would be open to replacing that in the future with brick when the quantity is much larger. City department representatives and the church were both receptive to moving forward with this strategy.

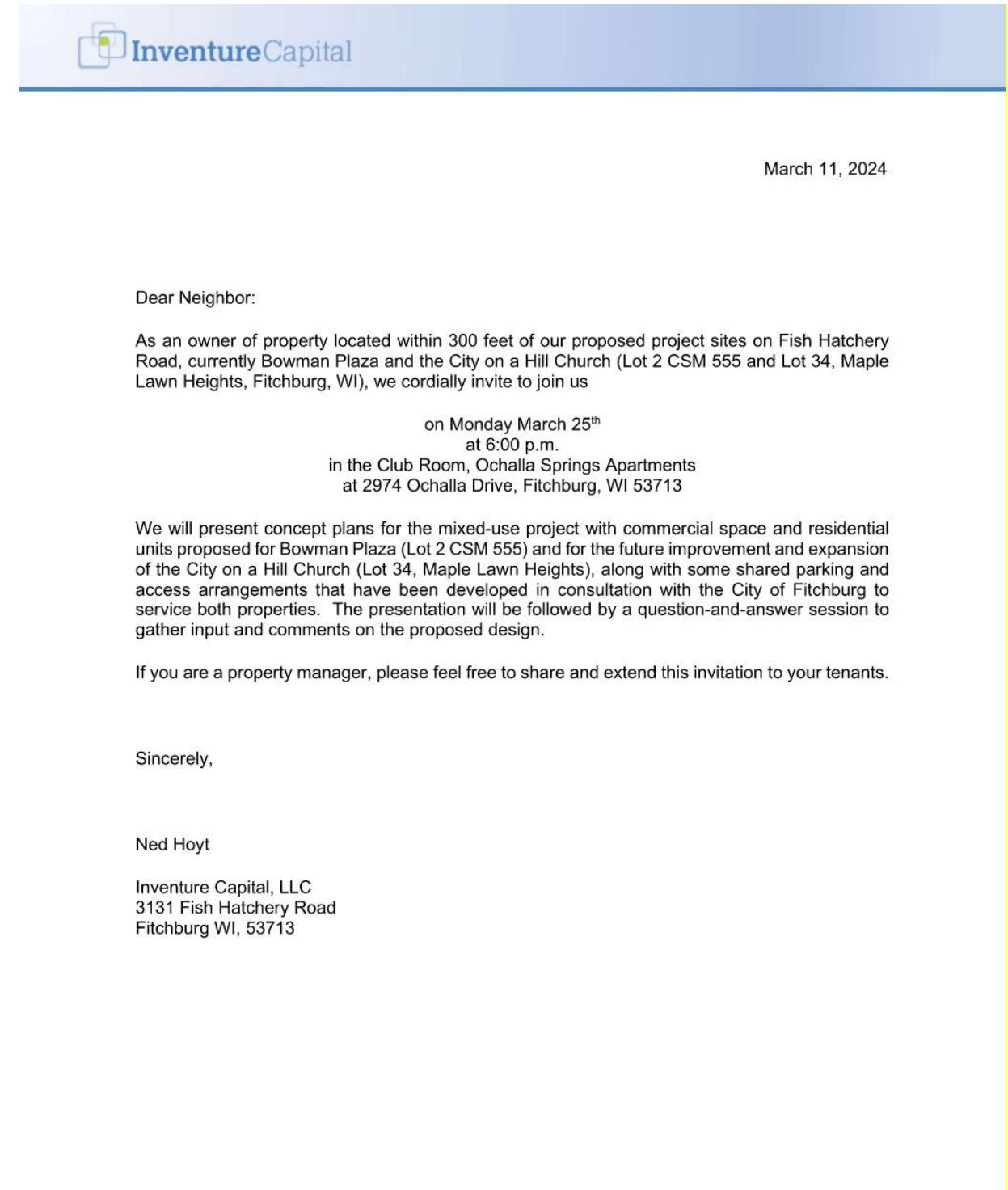
## PROJECT IMPLEMENTATION

The construction of the project located on Fish Hatchery Road is anticipated to maintain a schedule that allows for all improvements to be done completion in spring/summer of 2026. We anticipate the following stages for development:

1. Fall 2025. Completion of northern access drive and new parking on church site
2. Calendar 2026. Progression of City on a Hill renovation and extension
3. Spring 2026. Demolition of Existing Bowman Plaza and Preparation of Footings and Foundations.
4. Summer 2026 through 2027. Construction of New Bowman Plaza development.
5. Redevelopment and Expansion of Church site
  - a. Phase 1 Construction November 2025 – August 2026
  - b. Phase 2 TBD
  - c. Phase 3 TBD

## NEIGHBORHOOD INPUT

We have already worked with our immediate neighbors to incorporate their feedback on this design. Inventure is hosted a scheduled neighborhood meeting on March 25th, 2024, to provide a public forum for further feedback prior to the scheduled plan commission hearing. Adjacent on this page, is a sample of the invitation sent out to all property owners within a 300' radius of the project for the meeting. Feedback from the meeting was discussed at the GIP Plan Commission Hearing.



# APPENDIX "A"

## SIP CIVIL DRAWINGS



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
EXISTING MAILBOX
EXISTING MONITORING WELL
EXISTING POST
EXISTING SIGN (TYPE NOTED)
EXISTING CURB INLET
EXISTING FIELD INLET
EXISTING ROOF DRAIN CLEANOUT
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING SANITARY CLEANOUT
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING GAS VALVE
EXISTING GAS METER
EXISTING AIR CONDITIONING PEDESTAL
EXISTING DOWN GUY
EXISTING ELECTRIC MANHOLE
EXISTING ELECTRIC RECTANGULAR MANHOLE
EXISTING ELECTRIC PEDESTAL
EXISTING TRANSFORMER
EXISTING ELECTRIC METER
EXISTING LIGHT POLE
EXISTING GENERIC LIGHT
EXISTING UTILITY POLE
EXISTING TV PEDESTAL
EXISTING TELEPHONE MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING UNIDENTIFIED MANHOLE
EXISTING UNIDENTIFIED UTILITY VAULT
EXISTING HANDICAP PARKING
EXISTING TRAFFIC SIGNAL
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE
EXISTING ADA DETECTABLE WARNING FIELD

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING FIBER OPTIC LINE
EXISTING RETAINING WALL
EXISTING CHAIN LINK FENCE
EXISTING GENERAL FENCE
EXISTING WOOD FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING OVERHEAD GENERAL UTILITIES
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING EDGE OF TREES
EXISTING WATER MAIN (SIZE NOTED)
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING CONCRETE SURFACE
EXISTING ASPHALT SURFACE

DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
ASPHALT REMOVAL
CONCRETE REMOVAL
BUILDING REMOVAL
TREE REMOVAL
SAWCUT
UTILITY STRUCTURE REMOVAL
UTILITY LINE REMOVAL

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER (REVERSE CURB HATCHED)
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED LIGHT-DUTY ASPHALT
PROPOSED HEAVY-DUTY ASPHALT
PROPOSED SIGN
PROPOSED LIGHT POLE
PROPOSED BOLLARD
PROPOSED ADA DETECTABLE WARNING FIELD
PROPOSED HANDICAP PARKING

ABBREVIATIONS table with symbols for TC, FF, FL, SW, TW, BW.

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
SILT FENCE
DISTURBED LIMITS
BERM
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS
STONE WEEPER
VELOCITY CHECK
INLET PROTECTION
EROSION MAT CLASS I, TYPE A
EROSION MAT CLASS II, TYPE B
EROSION MAT CLASS III, TYPE C
EROSION MAT CLASS II, TYPE A
TRACKING PAD
RIP RAP

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
STORM SEWER CURB INLET
STORM SEWER CURB INLET W/MANHOLE
STORM SEWER FIELD INLET
ROOF DRAIN CLEANOUT
SANITARY SEWER PIPE (GRAVITY)
SANITARY SEWER PIPE (FORCE MAIN)
SANITARY SEWER LATERAL PIPE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER MAIN
WATER SERVICE LATERAL PIPE
FIRE HYDRANT
WATER VALVE
CURB STOP
WATER VALVE MANHOLE
PROPOSED PIPE INSULATION
GAS MAIN
ELECTRIC SERVICE

ABBREVIATIONS table with symbols for STMH, FI, CI, CB, EW, SMH.

GENERAL NOTES:

- 1. THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY...
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY...
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO INSTALLATION OF SUCH ITEM.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION...
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS...
6. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, DRIVEWAY, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
7. RETAINING WALLS TO BE DESIGNED BY OTHERS
8. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

DEMOLITION NOTES:

- 1. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION...
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY...
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY...
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS...
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE PUBLIC STREETS, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY PATCHING CRITERIA.

SITE PLAN NOTES:

- 1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED BASE COURSE UNLESS OTHERWISE NOTED.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE COURSE OF 5" COMPACTED SAND OR CRUSHED STONE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS TO BE RESTORED WITH TOPSOIL AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE...
7. SEE ARCHITECTS PLANS FOR THE BUILDING DIMENSIONS. ALL BUILDING DIMENSIONS SHALL BE COORDINATED AND VERIFIED WITH THE ARCHITECTS PLANS.

GRADING NOTES:

- 1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL NOT EXCEED 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

UTILITY NOTES:

- 1. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
2. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
3. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(C).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(D).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(C).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(H) AND SPS 382.40(8)(K).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(B).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE LOCAL MUNICIPALITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES. CONTRACTOR SHALL PROVIDE SAFE SAMPLE RESULTS TO FITCHBURG UTILITY PRIOR TO PRESSURE TESTING PRIVATE WATER MAINS.
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
21. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
22. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.
23. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
24. OPEN PICK HOLES ARE PROHIBITED ON SANITARY MANHOLES.
25. INSTALL 1 SHEET OF 4'X8'X4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
26. CONTRACTOR TO INSTALL BENDS AND CLEANOUTS AS NECESSARY ON WATER AND SEWER LATERALS.

Table with columns for REVISIONS, NO., DATE, and REMARKS.

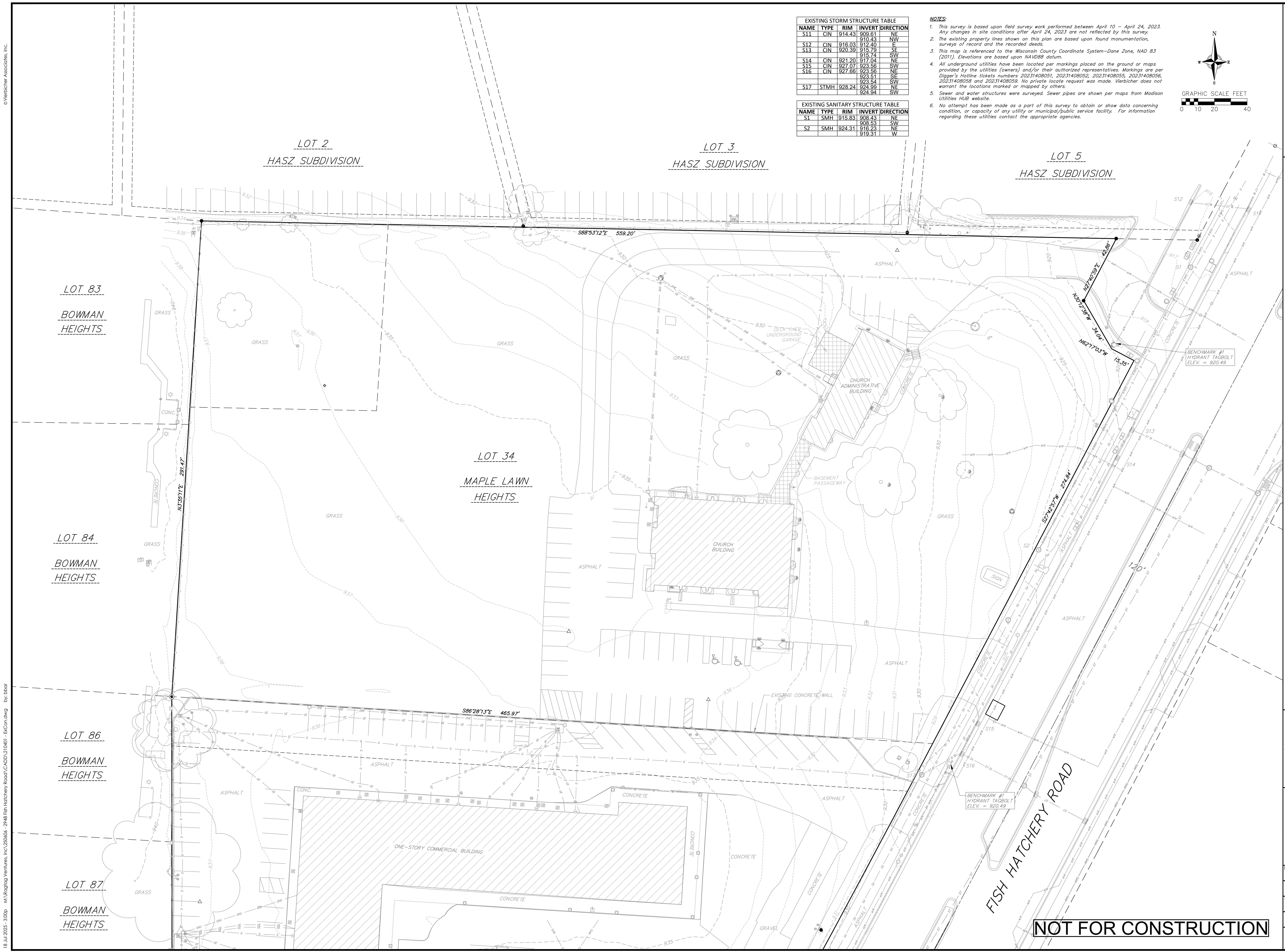
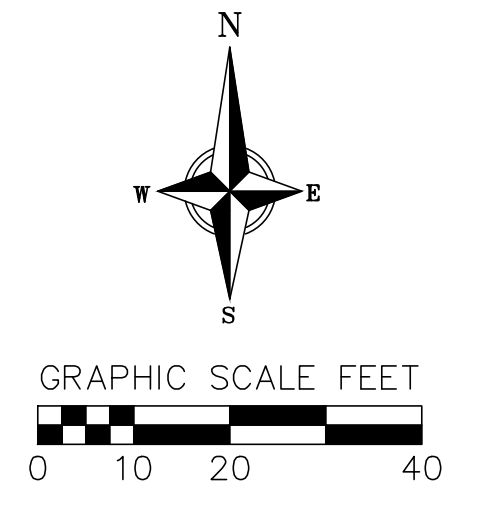
NOT FOR CONSTRUCTION

| EXISTING STORM STRUCTURE TABLE |      |        |        |           |
|--------------------------------|------|--------|--------|-----------|
| NAME                           | TYPE | RIM    | INVERT | DIRECTION |
| S11                            | CIN  | 914.43 | 909.61 | NE        |
| S12                            | CIN  | 916.03 | 910.43 | NW        |
| S13                            | CIN  | 920.39 | 915.79 | E         |
| S14                            | CIN  | 921.20 | 917.04 | NE        |
| S15                            | CIN  | 927.07 | 923.56 | SW        |
| S16                            | CIN  | 927.66 | 923.56 | NE        |
|                                |      |        | 923.54 | SW        |
|                                |      |        | 923.51 | SE        |
| S17                            | STMH | 928.24 | 924.99 | NE        |
|                                |      |        | 924.94 | SW        |

| EXISTING SANITARY STRUCTURE TABLE |      |        |        |           |
|-----------------------------------|------|--------|--------|-----------|
| NAME                              | TYPE | RIM    | INVERT | DIRECTION |
| S1                                | SMH  | 915.83 | 908.43 | NE        |
|                                   |      |        | 908.53 | SW        |
| S2                                | SMH  | 924.31 | 916.23 | NE        |
|                                   |      |        | 919.31 | W         |

NOTES:

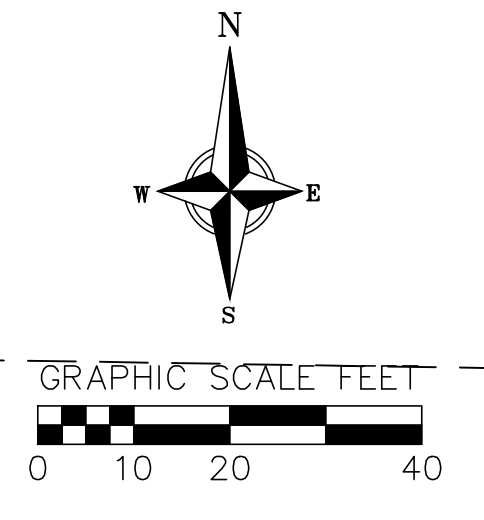
- This survey is based upon field survey work performed between April 10 - April 24, 2023. Any changes in site conditions after April 24, 2023 are not reflected by this survey.
- The existing property lines shown on this plan are based upon found monumentation, surveys of record and the recorded deeds.
- This map is referenced to the Wisconsin County Coordinate System-Dane Zone, NAD 83 (2011). Elevations are based upon NAVD88 datum.
- All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline tickets numbers 20231408051, 20231408052, 20231408053, 20231408054, 20231408055 and 20231408059. No private locate request was made. Vierbicher does not warrant the locations marked or mapped by others.
- Sewer and water structures were surveyed. Sewer pipes are shown per maps from Madison Utilities HUB website.
- No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.



**NOT FOR CONSTRUCTION**

| REVISIONS |  | NO. | DATE | REMARKS |
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DATE: 7/18/2025  
DRAFTER: BMJM  
CHECKED: BBAR  
PROJECT NO.: 210401  
**C200**



LOT 2  
HASZ SUBDIVISION

LOT 3  
HASZ SUBDIVISION

LOT 5  
HASZ SUBDIVISION

LOT 83  
BOWMAN  
HEIGHTS

LOT 34  
MAPLE LAWN  
HEIGHTS

LOT 84  
BOWMAN  
HEIGHTS

LOT 86  
BOWMAN  
HEIGHTS

LOT 87  
BOWMAN  
HEIGHTS

REMOVE ASPHALT (TYP.)

REMOVE CURB & GUTTER (TYP.)

REMOVE CONCRETE (TYP.)

**NOT FOR CONSTRUCTION**

**Demolition Plan**

CITY OF A HILL  
CITY OF FITCHBURG  
DANE COUNTY, WISCONSIN

| NO. | DATE | REVISIONS | NO. | DATE | REVISIONS |
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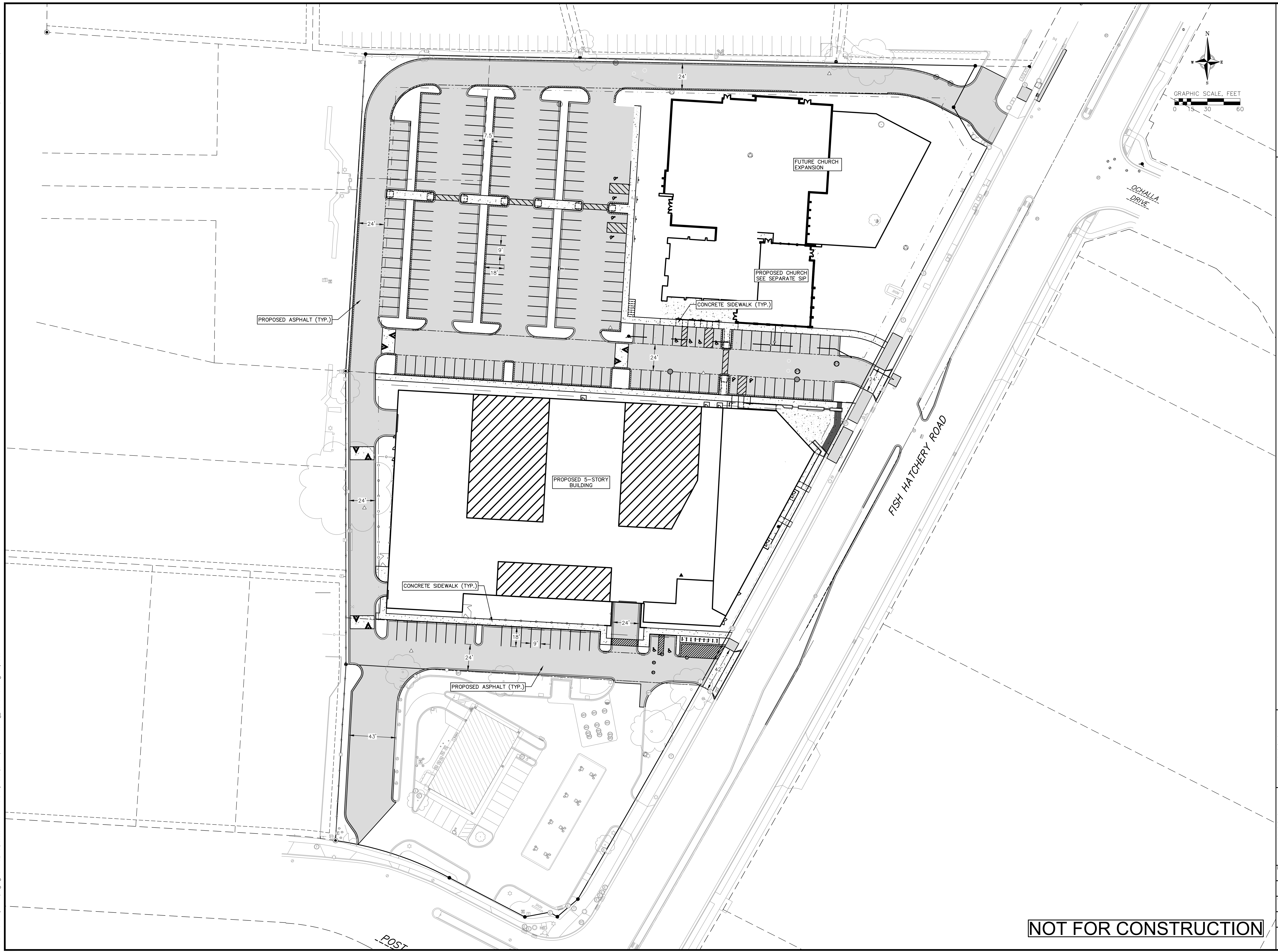
DATE  
7/18/2025

DRAFTER  
BMJM

CHECKED  
BBAR

PROJECT NO.  
210401

C300

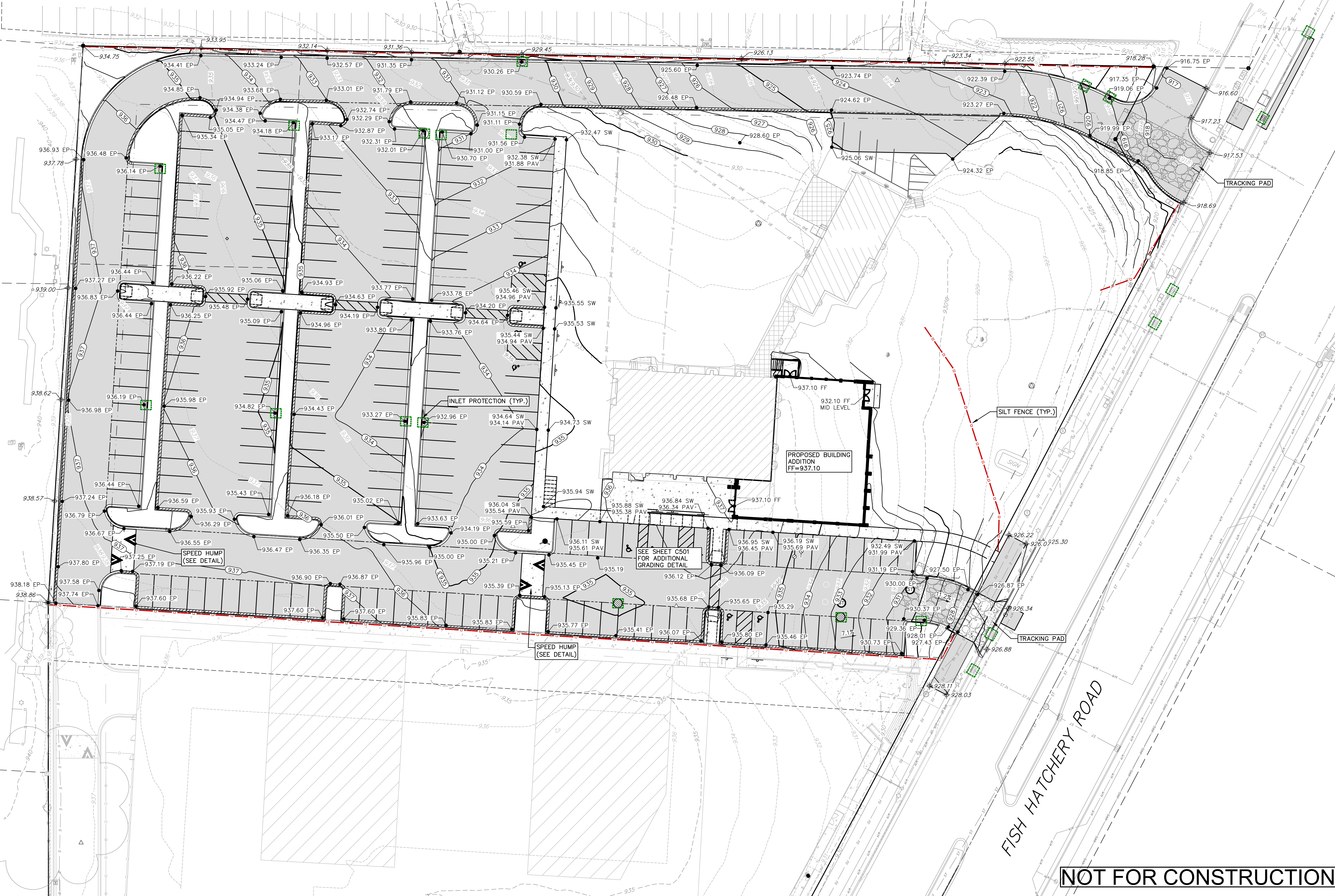
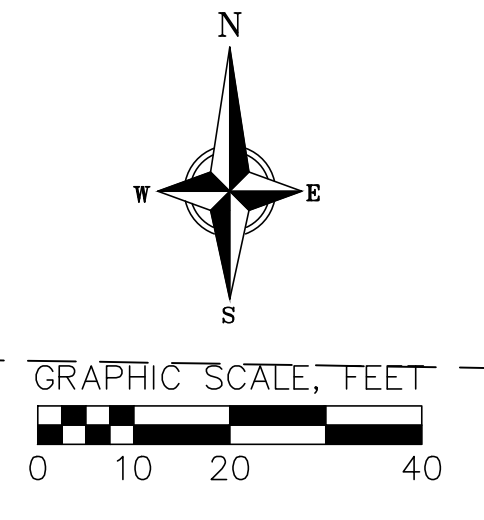


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CHECKED: TSCH  
PROJECT NO.: 210401

**NOT FOR CONSTRUCTION**





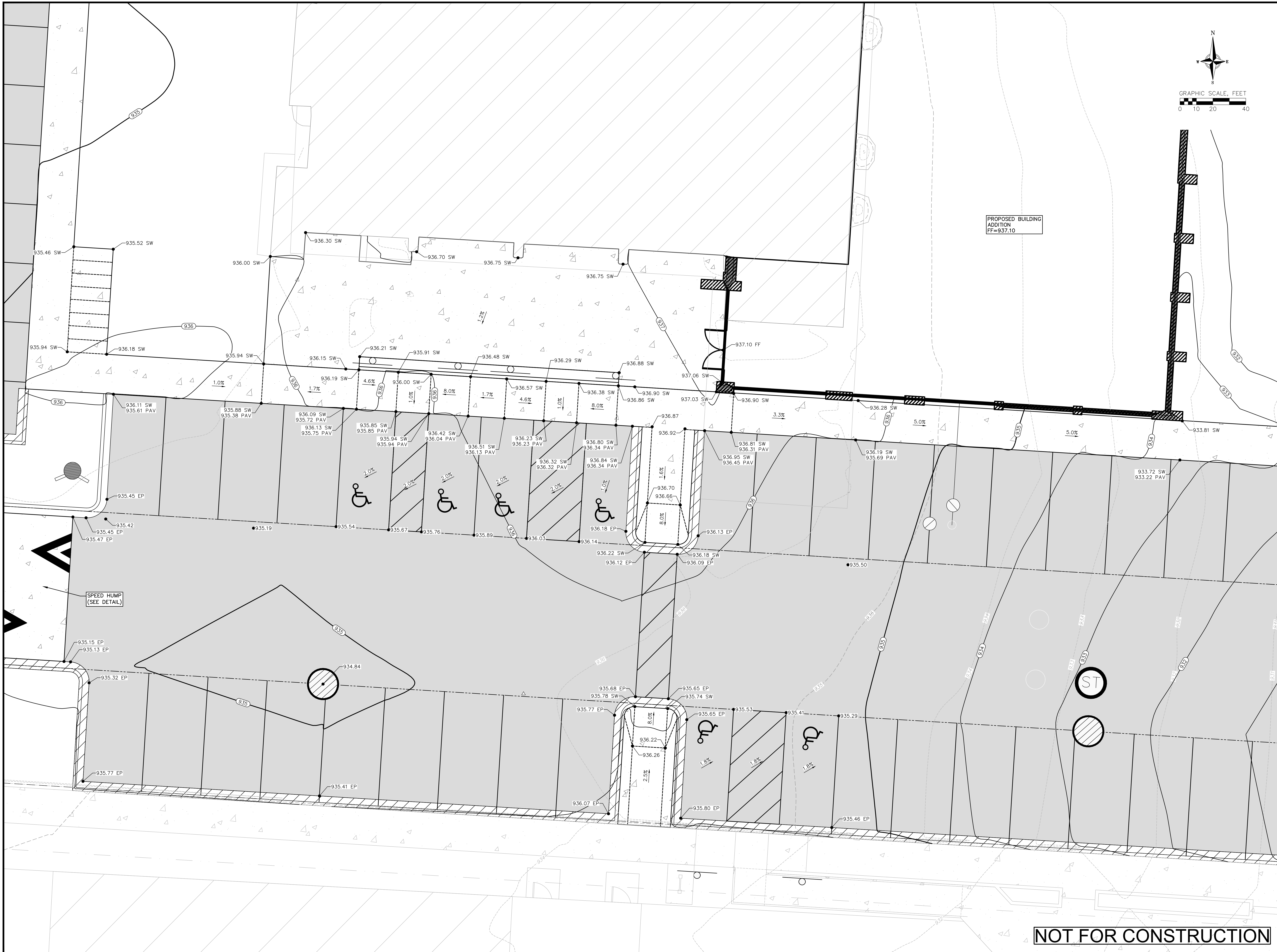
FISH HATCHERY ROAD

**NOT FOR CONSTRUCTION**

**Grading & Erosion Control Plan**  
CITY OF FITCHBURG  
DANE COUNTY, WISCONSIN

| NO. | DATE | REVISIONS | REMARKS |
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DATE: 7/18/2025  
 DRAFTER: BMJM  
 CHECKED: BBAR  
 PROJECT NO.: 210401



PROPOSED BUILDING ADDITION  
FF=937.10

SPEED HUMP  
(SEE DETAIL)

**NOT FOR CONSTRUCTION**

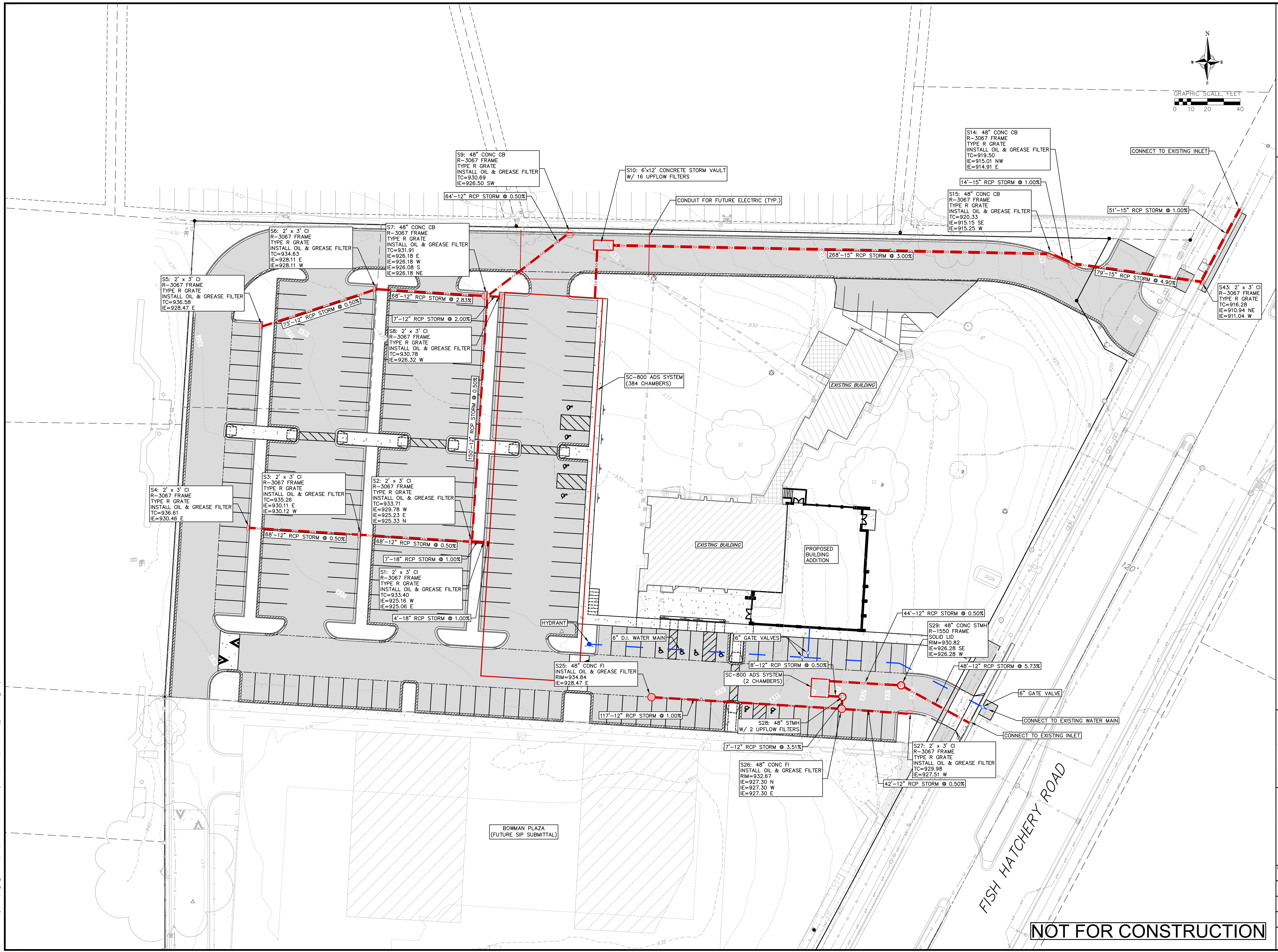
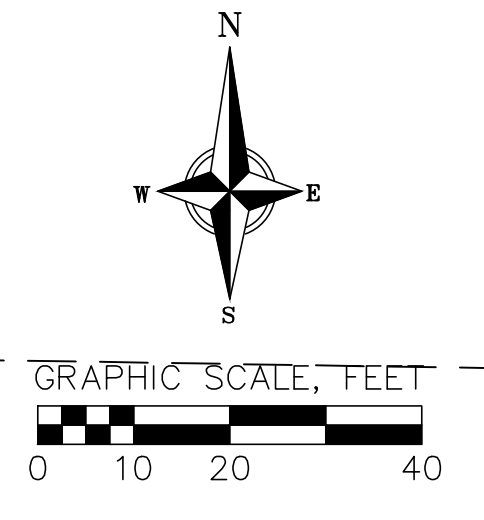
Grading - Entrance Detail

CITY OF FITCHBURG  
DANE COUNTY, WISCONSIN

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| DATE        | 7/18/2025 |
| DRAFTER     | BBAR      |
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| PROJECT NO. | 210401    |

C501



Utility Plan  
CITY OF FITCHBURG  
DANE COUNTY, WISCONSIN

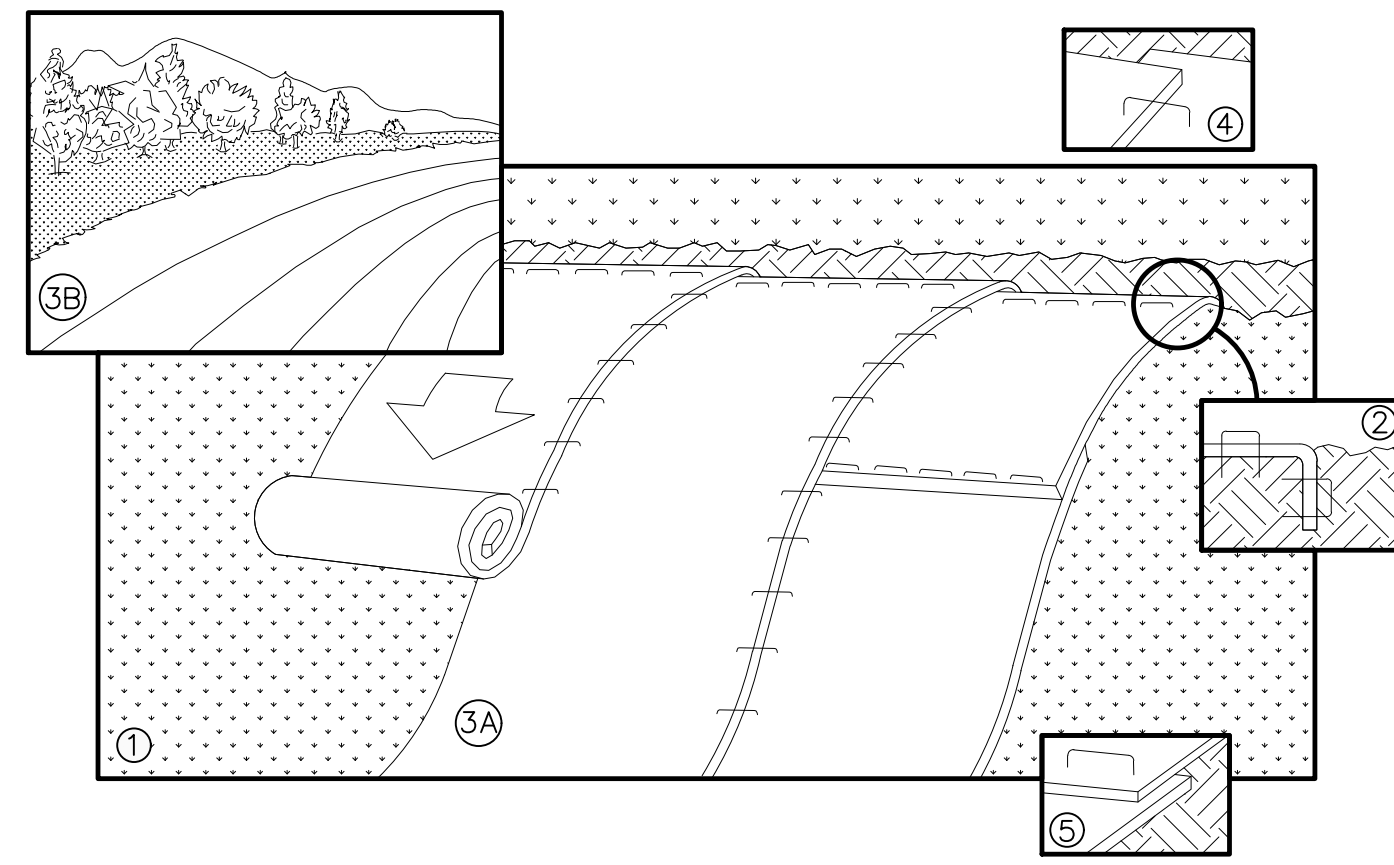
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DATE: 7/18/2025  
DRAFTER: BBAR  
CHECKED: TSCH  
PROJECT NO.: 210401  
C600

**NOT FOR CONSTRUCTION**

## EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE SHALL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL 70% ESTABLISHMENT, AS DETERMINED BY THE CITY. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF:** FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE BOTH 70% RESTORED AND PAVED.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND URBAN CLASS I TYPE A EROSION MAT. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH/E-MAT SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE AND AS DIRECTED BY ENGINEER/CITY/OWNER.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TWO TYPE III TEMPORARY ROAD CLOSED BARRICADES WITH SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY AND DNR.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

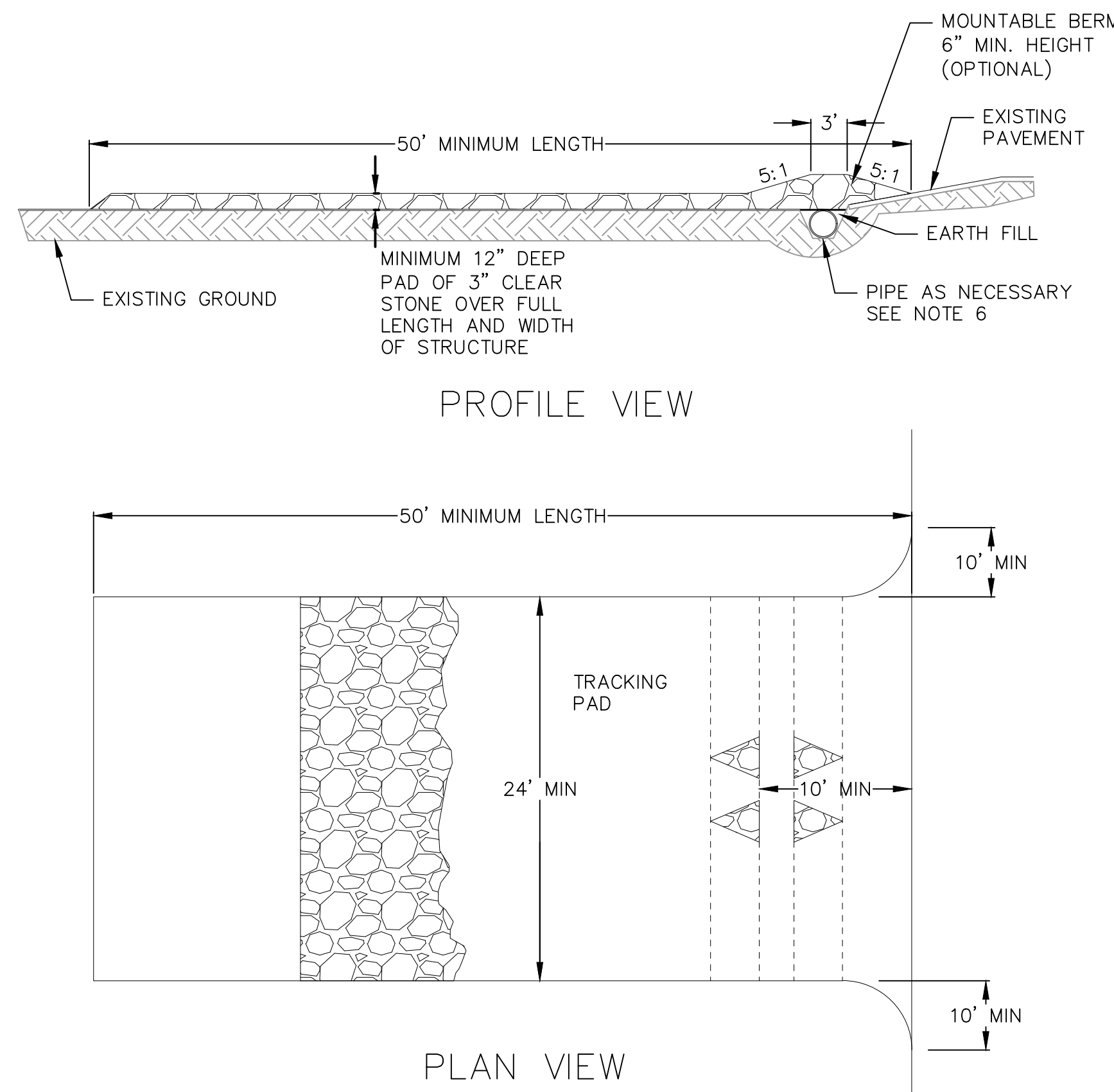


NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

## 2 EROSION MAT

700 NOT TO SCALE



**SEEDING RATES:**

**TEMPORARY:**

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

**PERMANENT:**

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

**FERTILIZING RATES:**

**TEMPORARY AND PERMANENT:**

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

**MULCHING RATES:**

**TEMPORARY AND PERMANENT:**

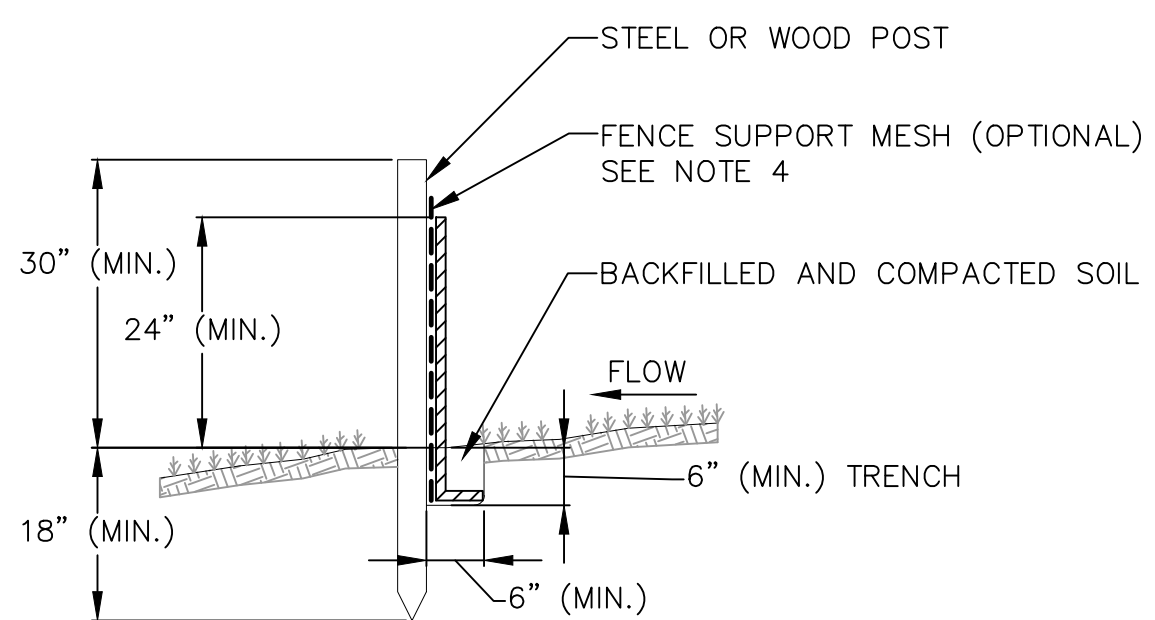
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

### CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- STRIP TOPSOIL-DETENTION BASINS
- ROUGH GRADE DETENTION BASINS
- SEED DETENTION BASINS
- STRIP TOPSOIL-STREETS & LOTS
- ROUGH GRADE STREETS & LOTS
- SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION
- CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
- RESTORE TERRACES
- REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

### NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

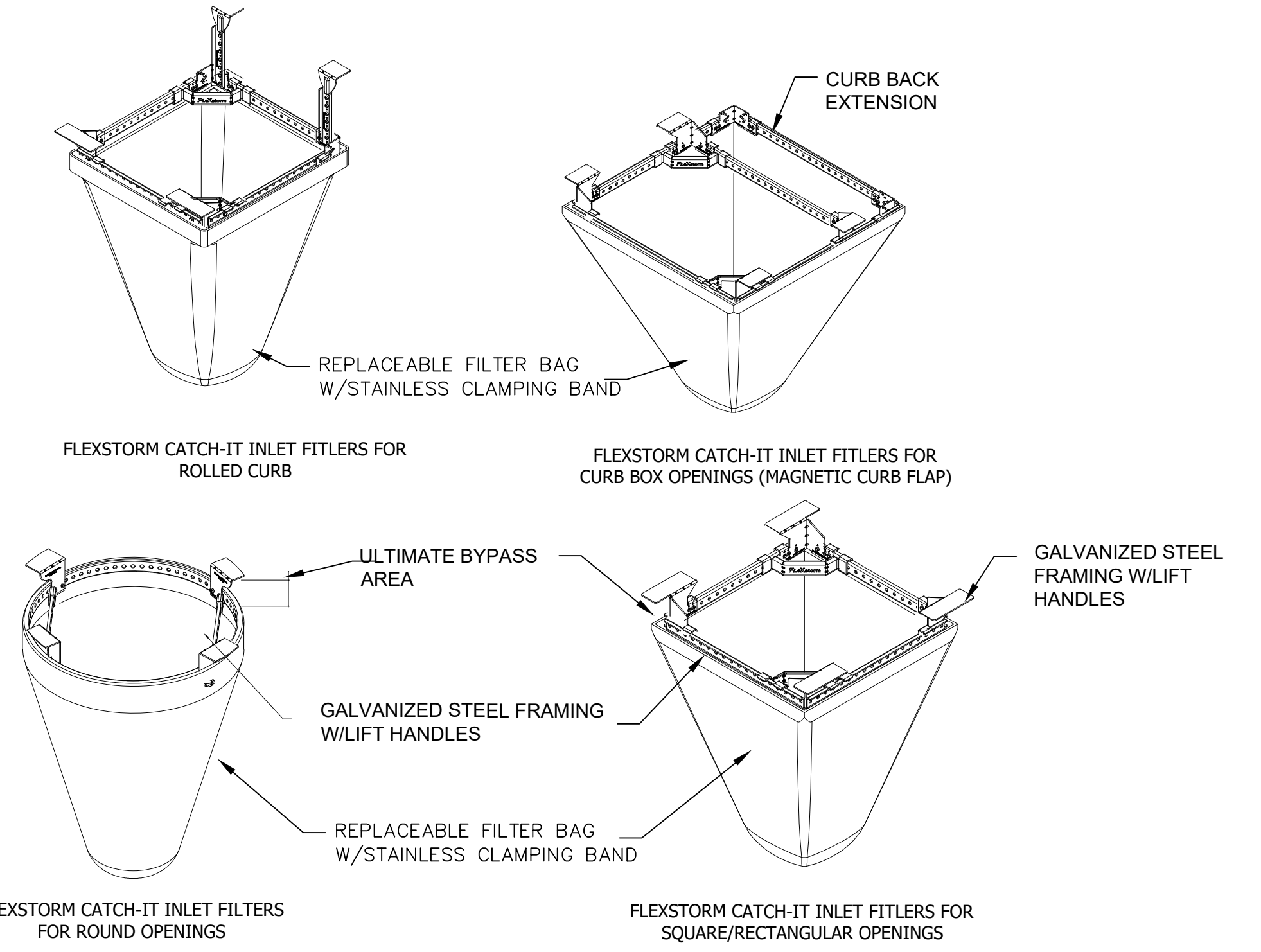


## 1 SILT FENCE

700 NOT TO SCALE

## 3 TRACKING PAD

700 NOT TO SCALE



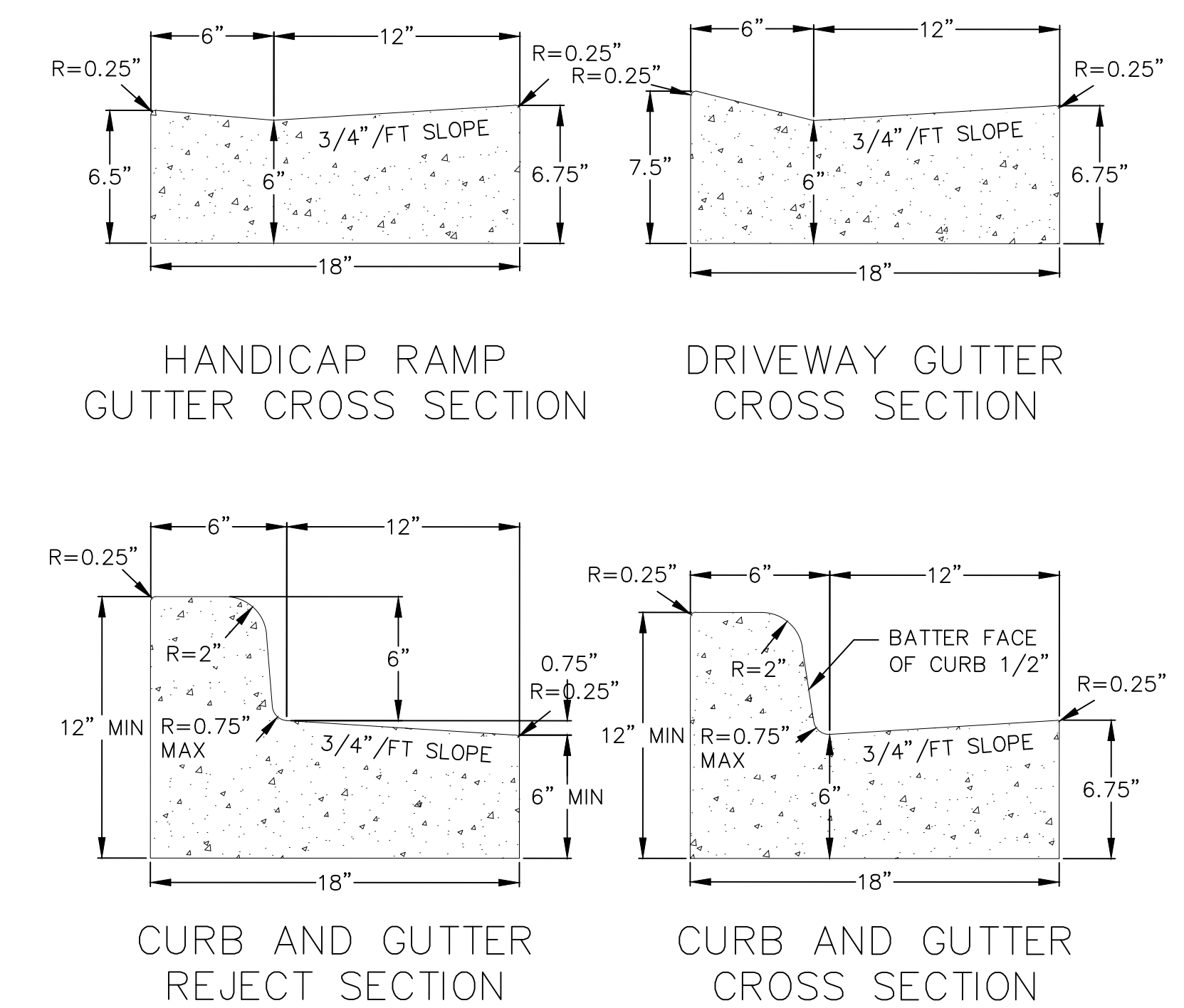
| NEENAH CASTING     | INLET TYPE  | GRATE SIZE     | OPENING SIZE | ADS PIN    |
|--------------------|-------------|----------------|--------------|------------|
| 1040/1642/1733     | ROUND       | 26             | 24           | 62MRDFX    |
| 3067 W/FLAP        | CURB BOX    | 35.25 X 17.75  | 33.0 X 15.0  | 62LCBEXTFX |
| 3067 EXTENDED BACK | CURB BOX    | 35.25 X 17.75  | 33.0 X 15.0  | 62LCBEXTFX |
| 3246A              | CURB BOX    | 35.75 X 23.875 | 33.5 X 21.0  | 62LCBFX    |
| 3030               | SQUARE/RECT | 23 X 16        | 20.5 X 13.5  | 62MCBFX    |
| 3067-C             | SQUARE/RECT | 35.25 X 17.75  | 33 X 15      | 62LSQFX    |

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.

## 4 FRAMED INLET PROTECTION

700 NOT TO SCALE



## 5 18" CONCRETE CURB AND GUTTER

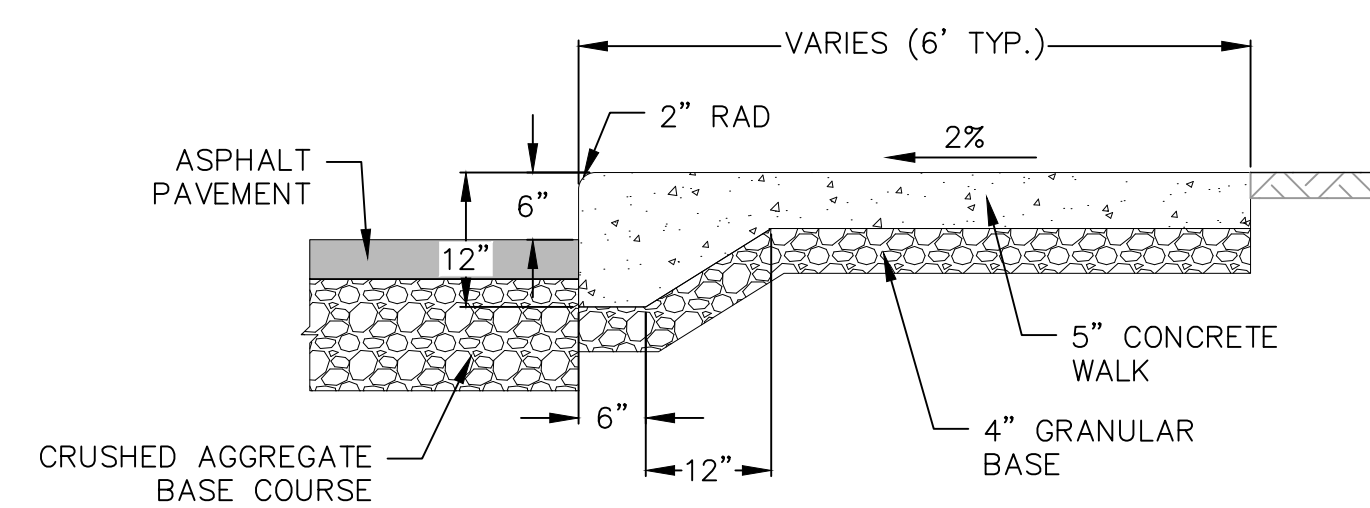
700 NOT TO SCALE

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

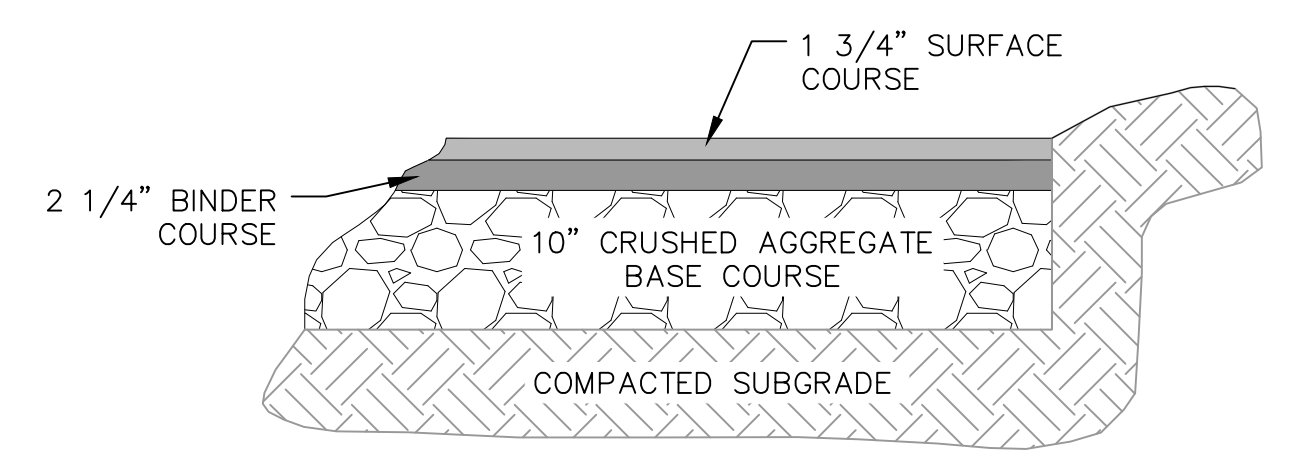
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DATE: 7/18/2025  
DRAFTER: BBAR  
CHECKED: TSCH  
PROJECT NO.: 210401

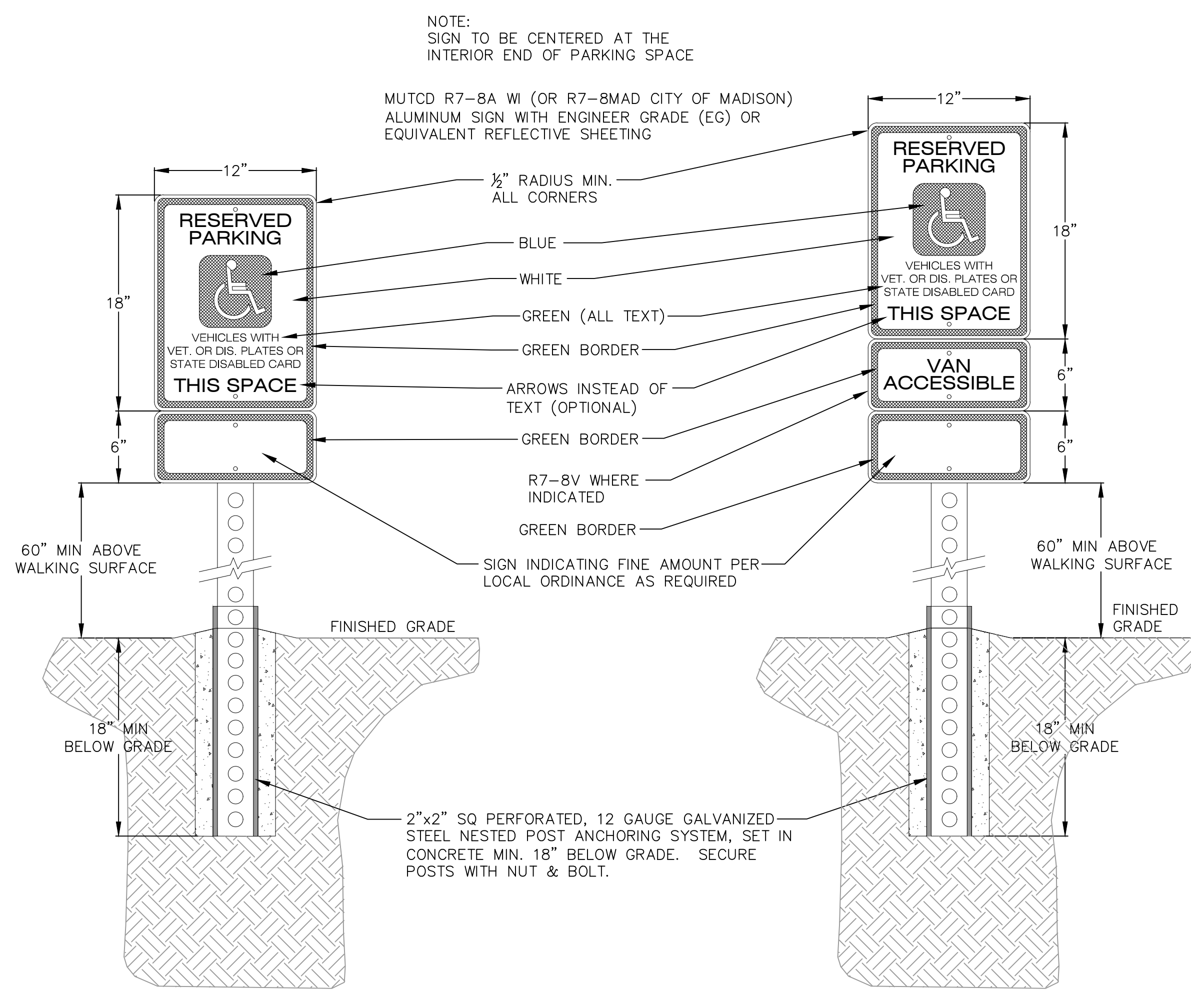
**NOT FOR CONSTRUCTION**



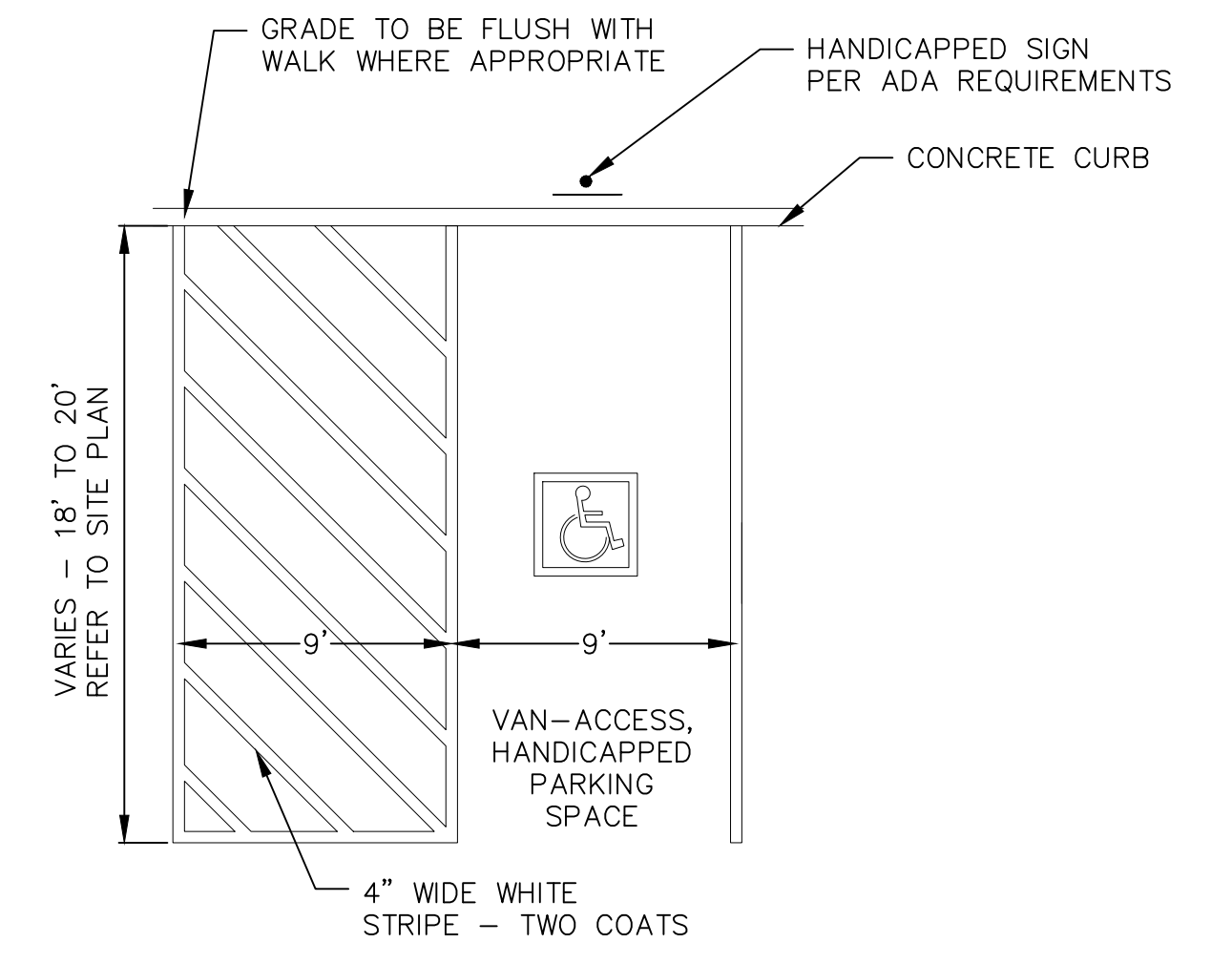
**1 CURBED SIDEWALK SITE DETAIL**  
NOT TO SCALE



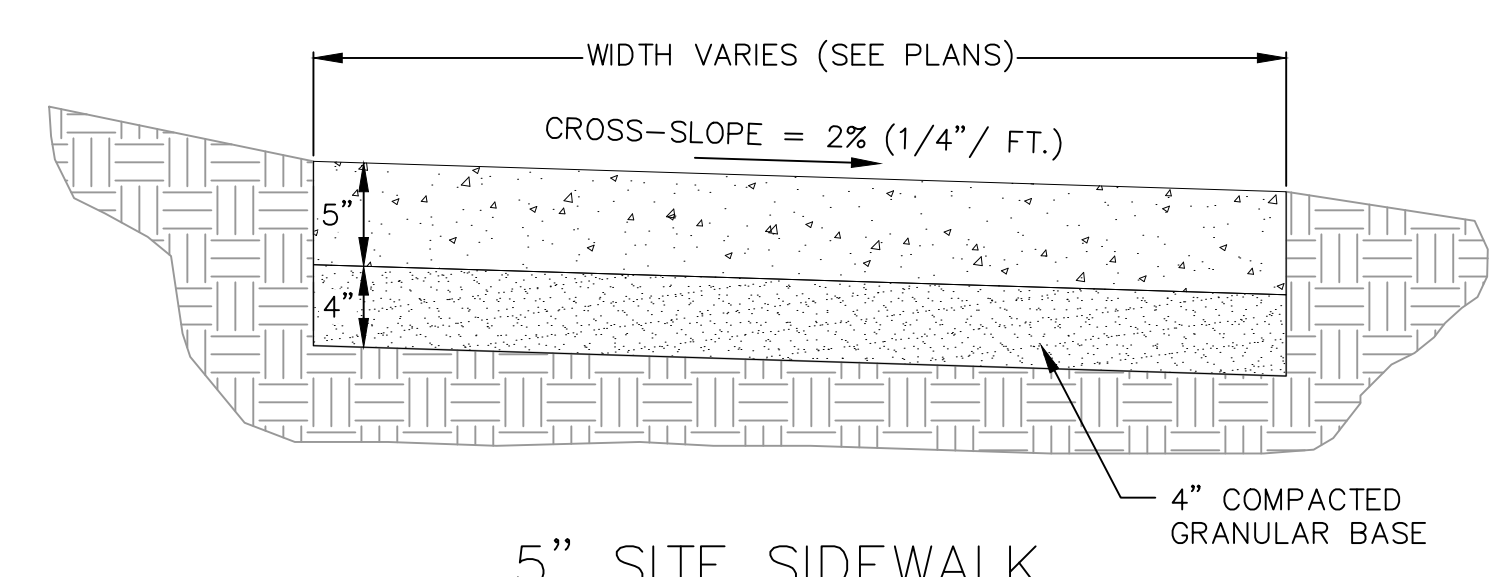
**2 ASPHALT PAVEMENT**  
NOT TO SCALE



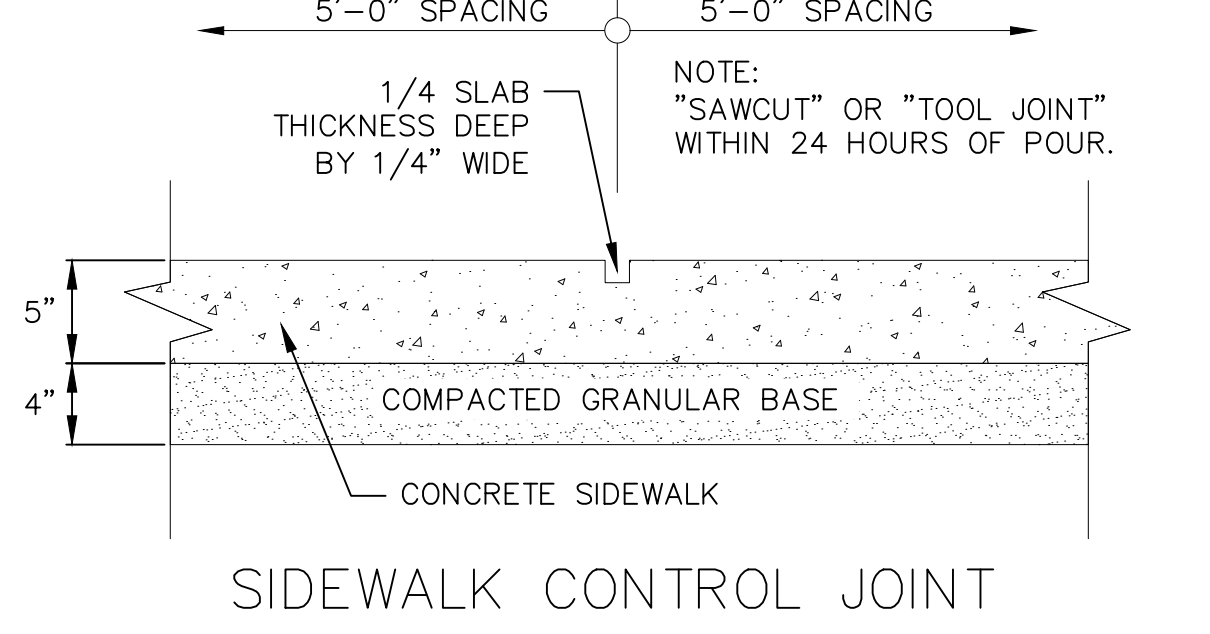
**4 HANDICAP SIGN DETAIL**  
NOT TO SCALE



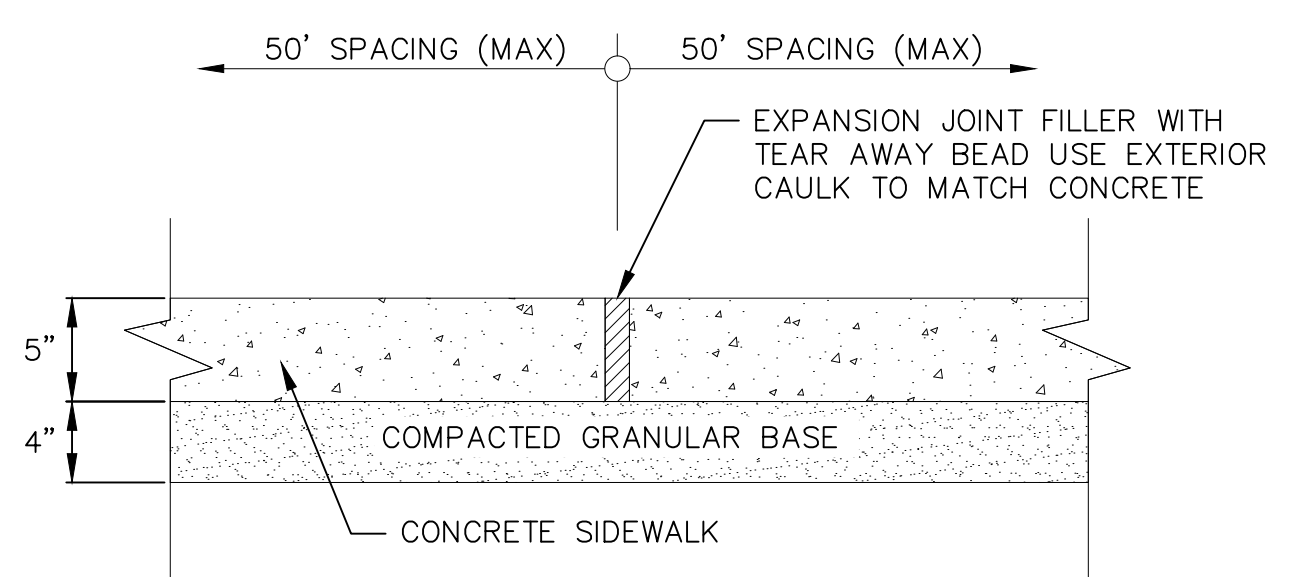
**6 HANDICAP STRIPING**  
NOT TO SCALE



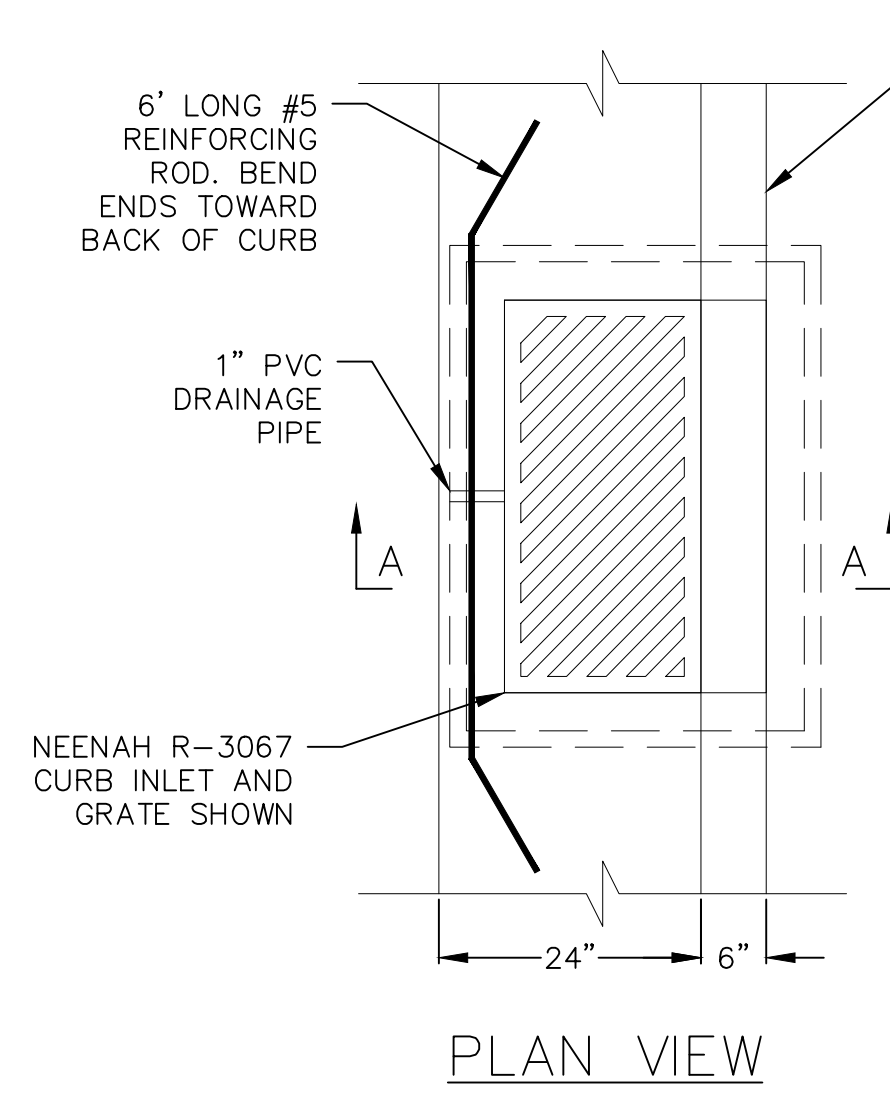
**3 5 inch SIDEWALK**  
NOT TO SCALE



**SIDEWALK CONTROL JOINT**



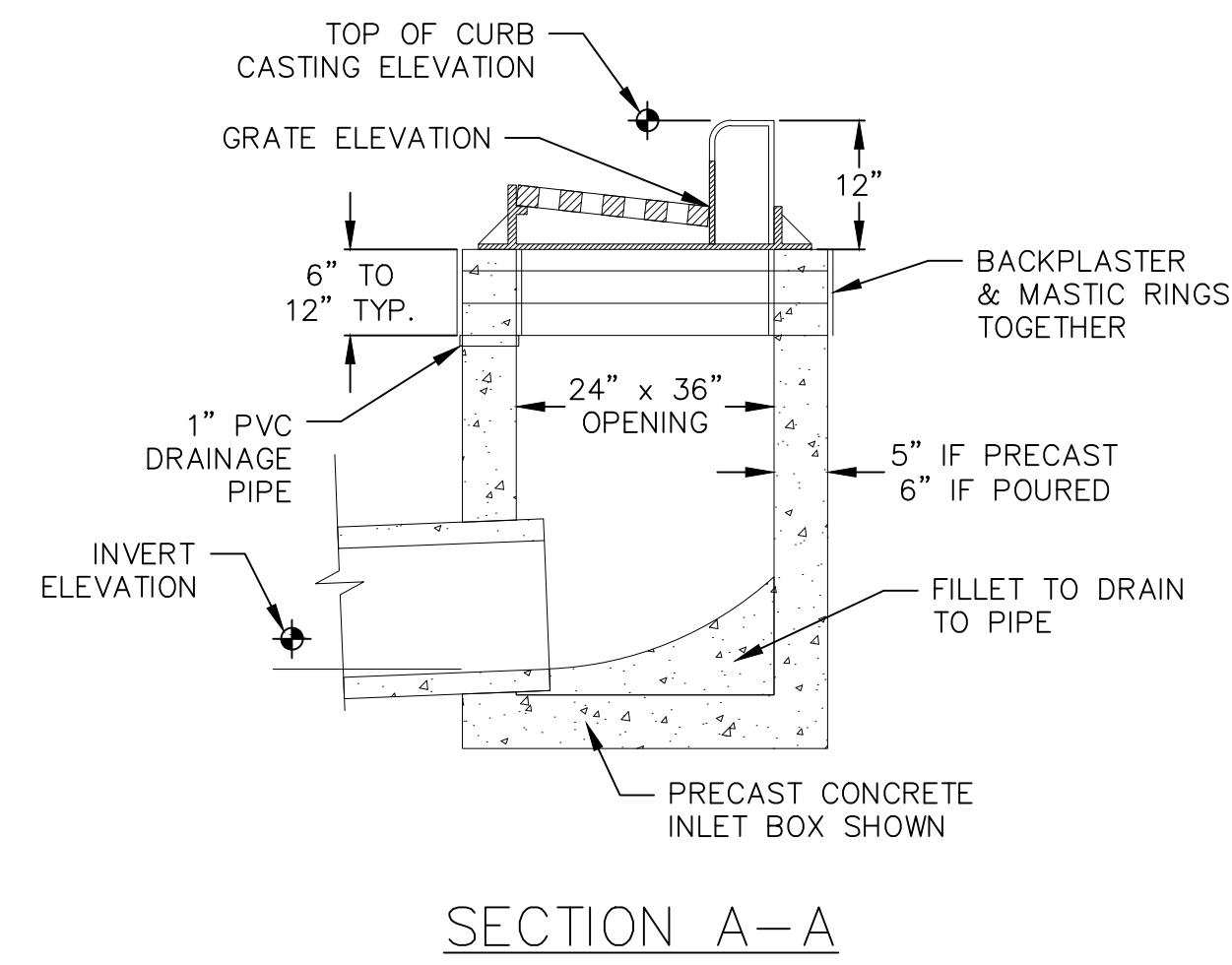
**SIDEWALK EXPANSION JOINT**



**5 RECTANGULAR STREET INLET**  
NOT TO SCALE

STANDARD CURB SECTION SEE DETAIL 02522-A

NOTES:  
- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.  
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.11" FROM STRAIGHT CUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.  
- THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL FLOWS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.  
- FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.



**SECTION A-A**

**SPECIFIER CHART**

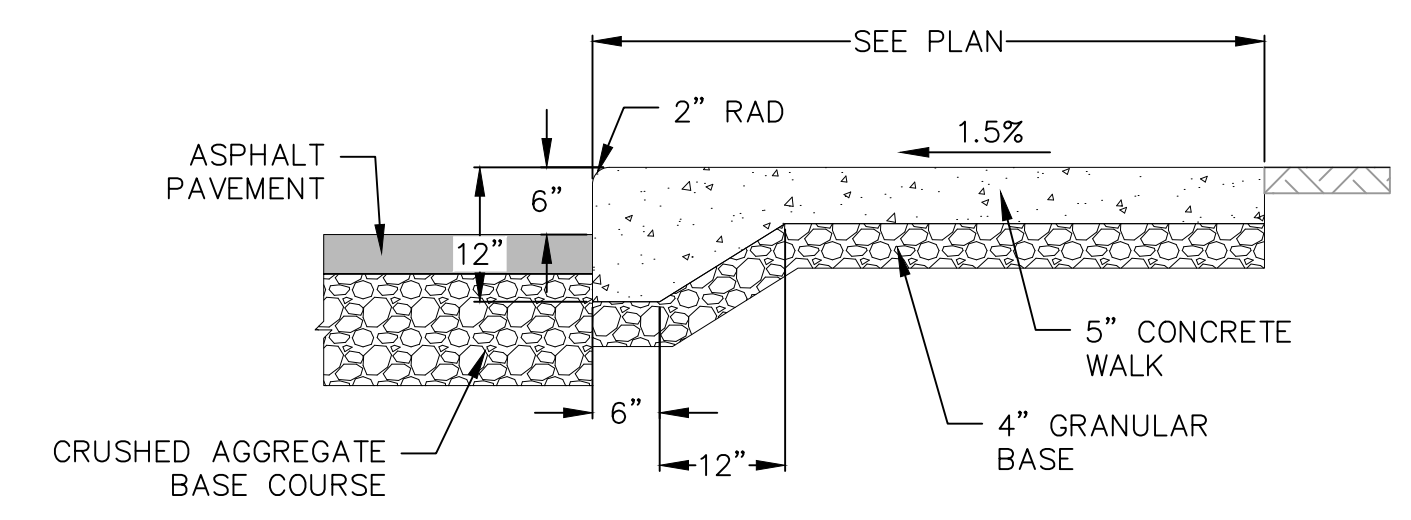
| MODEL              | INLET ID  | GRATE OD  | COMMENTS          |
|--------------------|-----------|-----------|-------------------|
| FF-12D             | 12" X 12" | 15" X 15" | GRATED INLET      |
| FF-16D             | 16" X 16" | 18" X 18" | GRATED INLET      |
| FF-18D             | 18" X 18" | 20" X 20" | GRATED INLET      |
| FF-1836SD          | 18" X 36" | 18" X 40" | GRATED INLET      |
| FF-1836DGO         | 18" X 36" | 18" X 40" | COMBINATION INLET |
| FF-24D             | 24" X 24" | 26" X 26" | GRATED INLET      |
| FF-2436SD          | 24" X 36" | 24" X 40" | GRATED INLET      |
| FF-24DGO           | 24" X 24" | 18" X 26" | COMBINATION INLET |
| FF-2436DGO         | 24" X 36" | 24" X 40" | COMBINATION INLET |
| FF-36D (2 PIECE)   | 36" X 36" | 36" X 40" | GRATED INLET      |
| FF-3648D (2 PIECE) | 36" X 48" | 40" X 48" | GRATED INLET      |

**FloGard® Catch Basin Insert Filter**  
Grated Inlet Style

**Oldcastle Stormwater Solutions**  
701 Southpark Plaza, Suite 200 | Madison, WI 53719 | Ph: 608.979.8918 | oldcastlestormwater.com

NOTES:  
1. Filter insert shall have a high flow bypass feature.  
2. Filter support frame shall be constructed from stainless steel Type 304.  
3. Filter medium shall be Fossil Rock™, installed and maintained in accordance with manufacturer specifications.  
4. Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.

**7 OIL & GREASE INLET FILTER**  
NOT TO SCALE

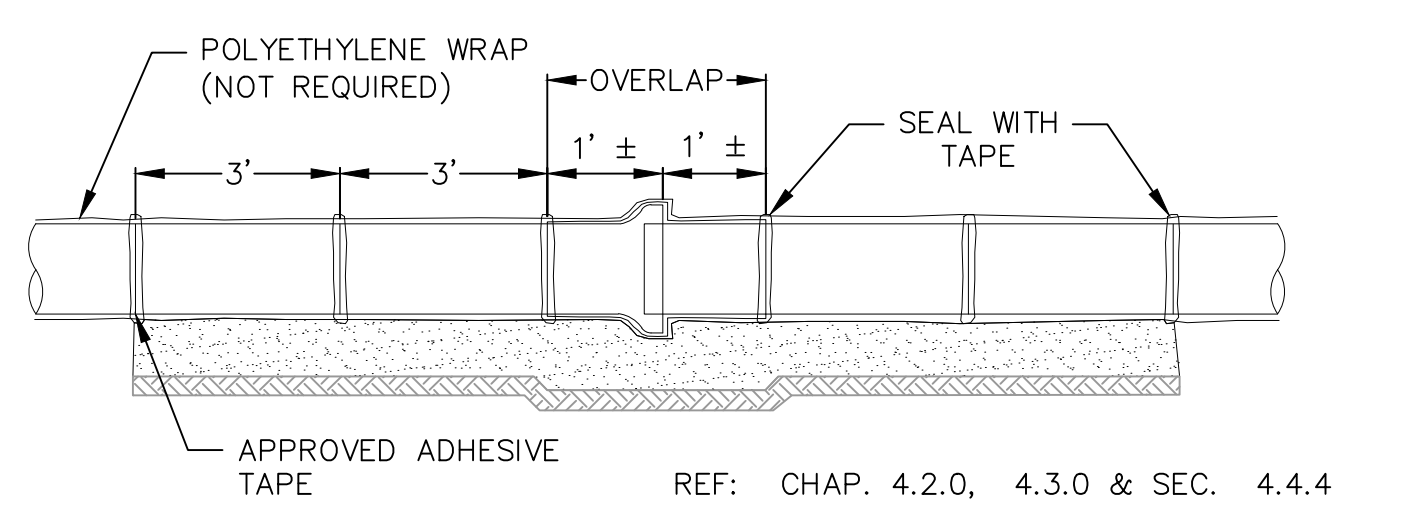
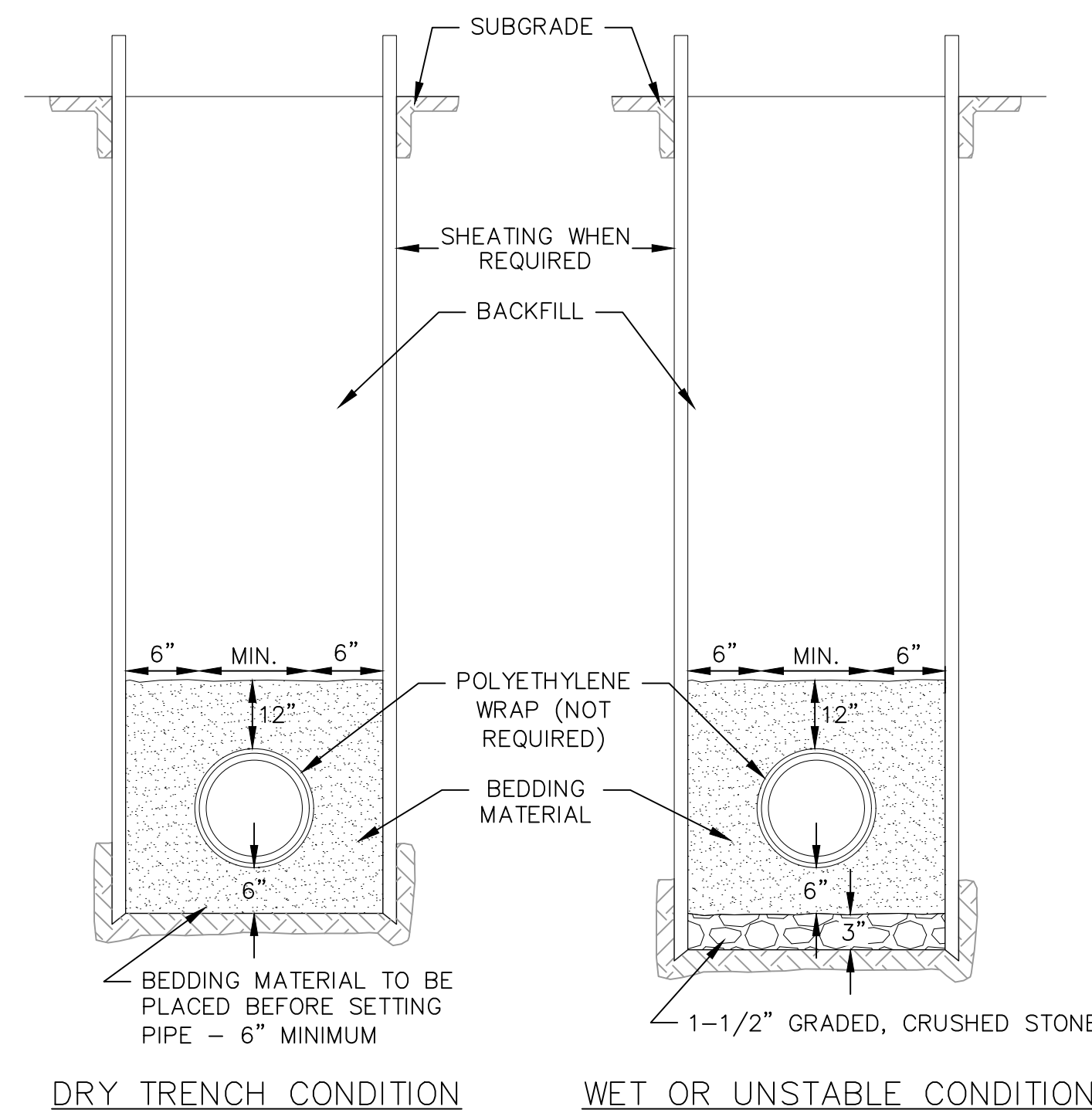


**8 CURBED SIDEWALK SITE DETAIL**  
NOT TO SCALE

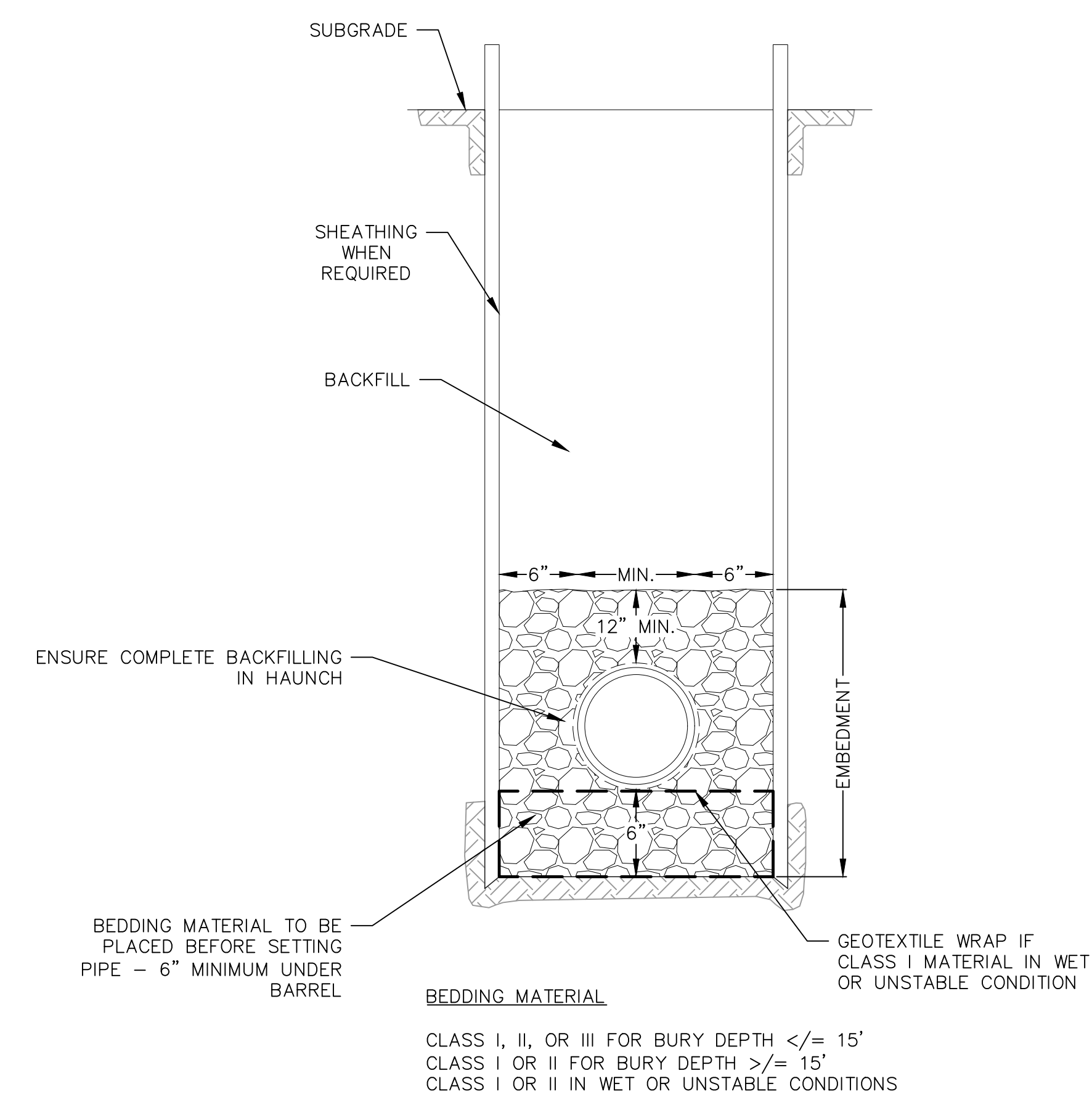
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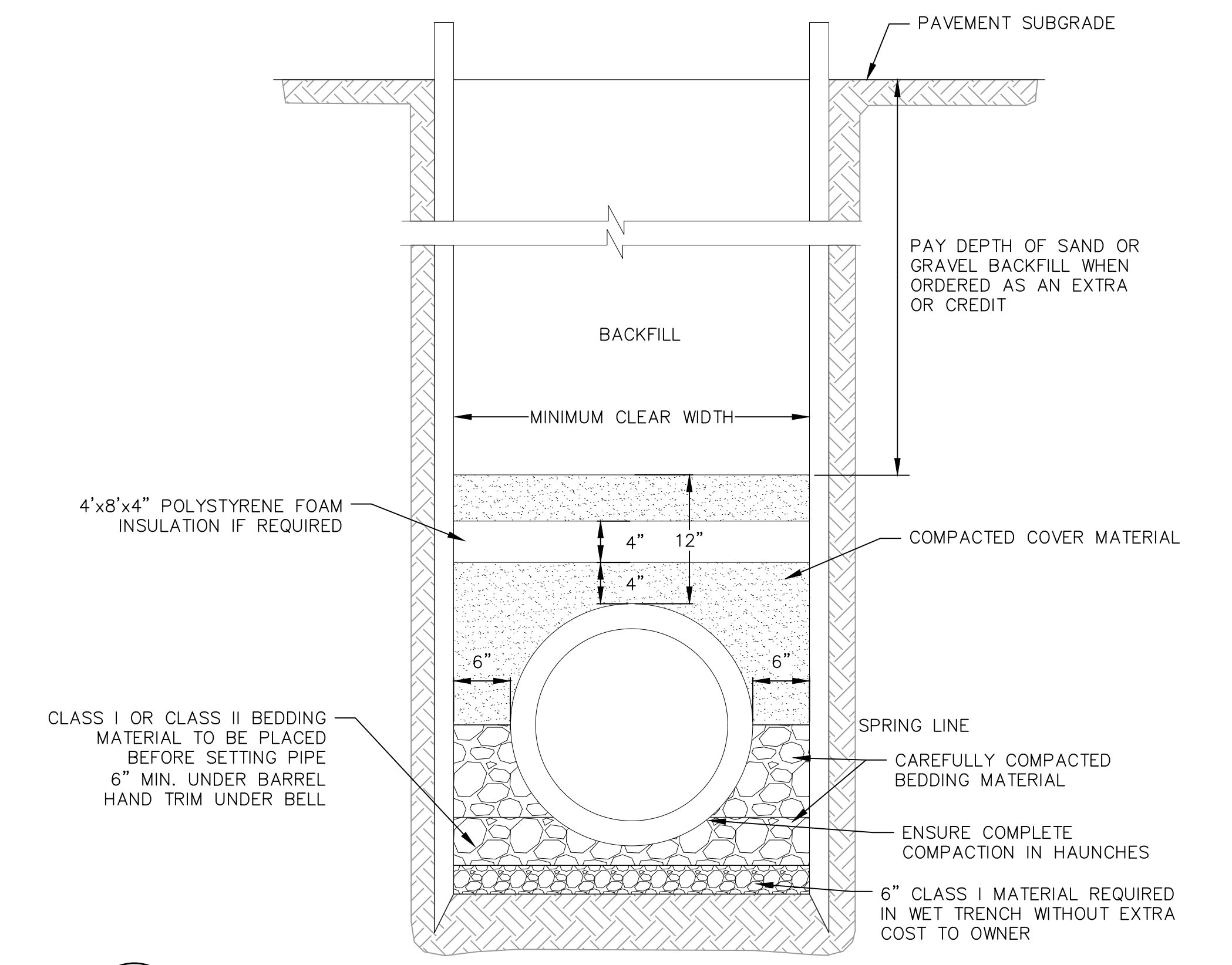
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| DRAFTER     | BBAR      |
| CHECKED     | TSCH      |
| PROJECT NO. | 210401    |



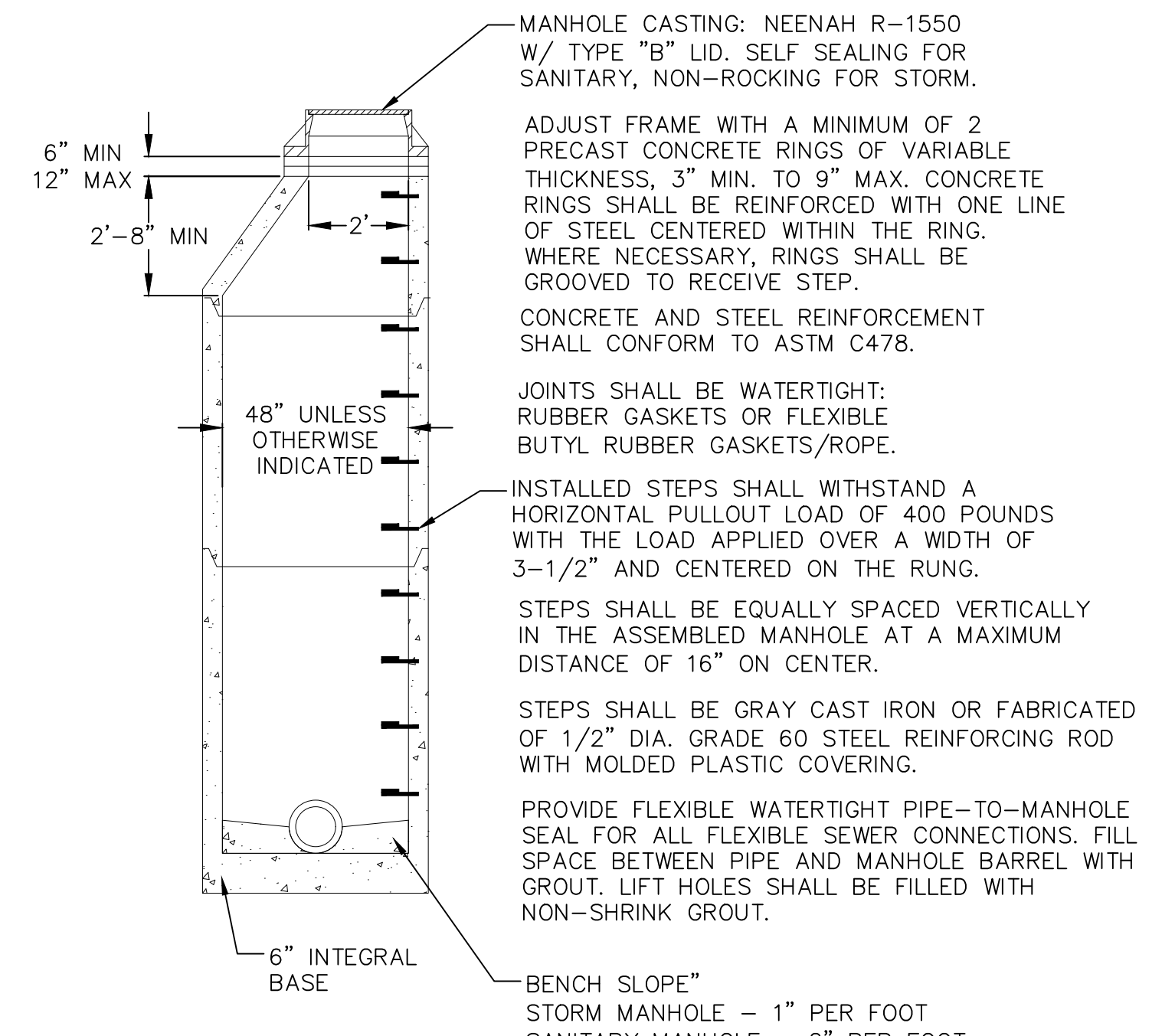
**1 STANDARD WATER MAIN TRENCH SECTION**  
702 NOT TO SCALE



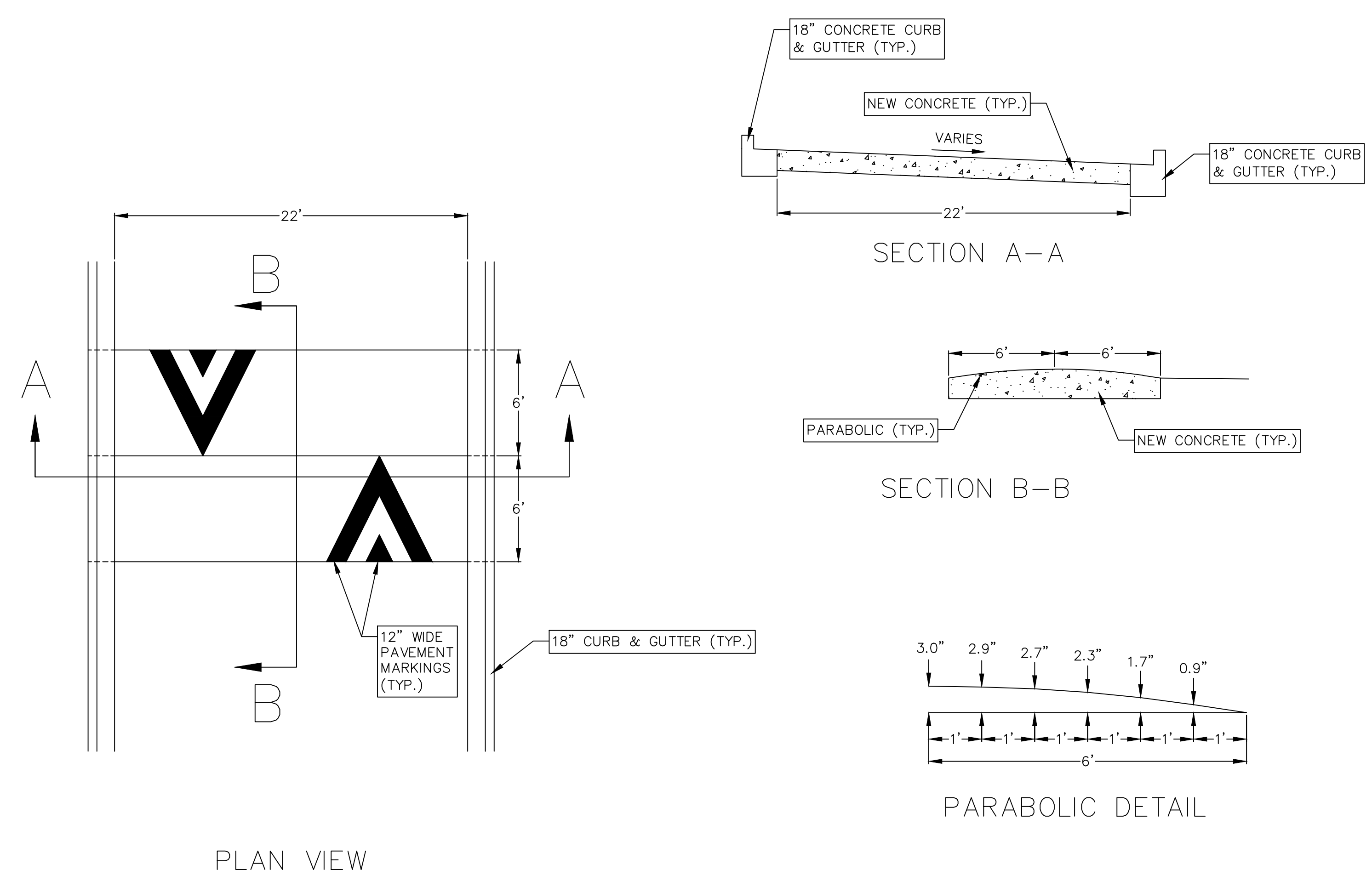
**3 STANDARD SANITARY TRENCH SECTION**  
702 NOT TO SCALE



**4 STORM PIPE TRENCH SECTION**  
702 NOT TO SCALE



**2 PRECAST CONCRETE MANHOLE**  
702 NOT TO SCALE



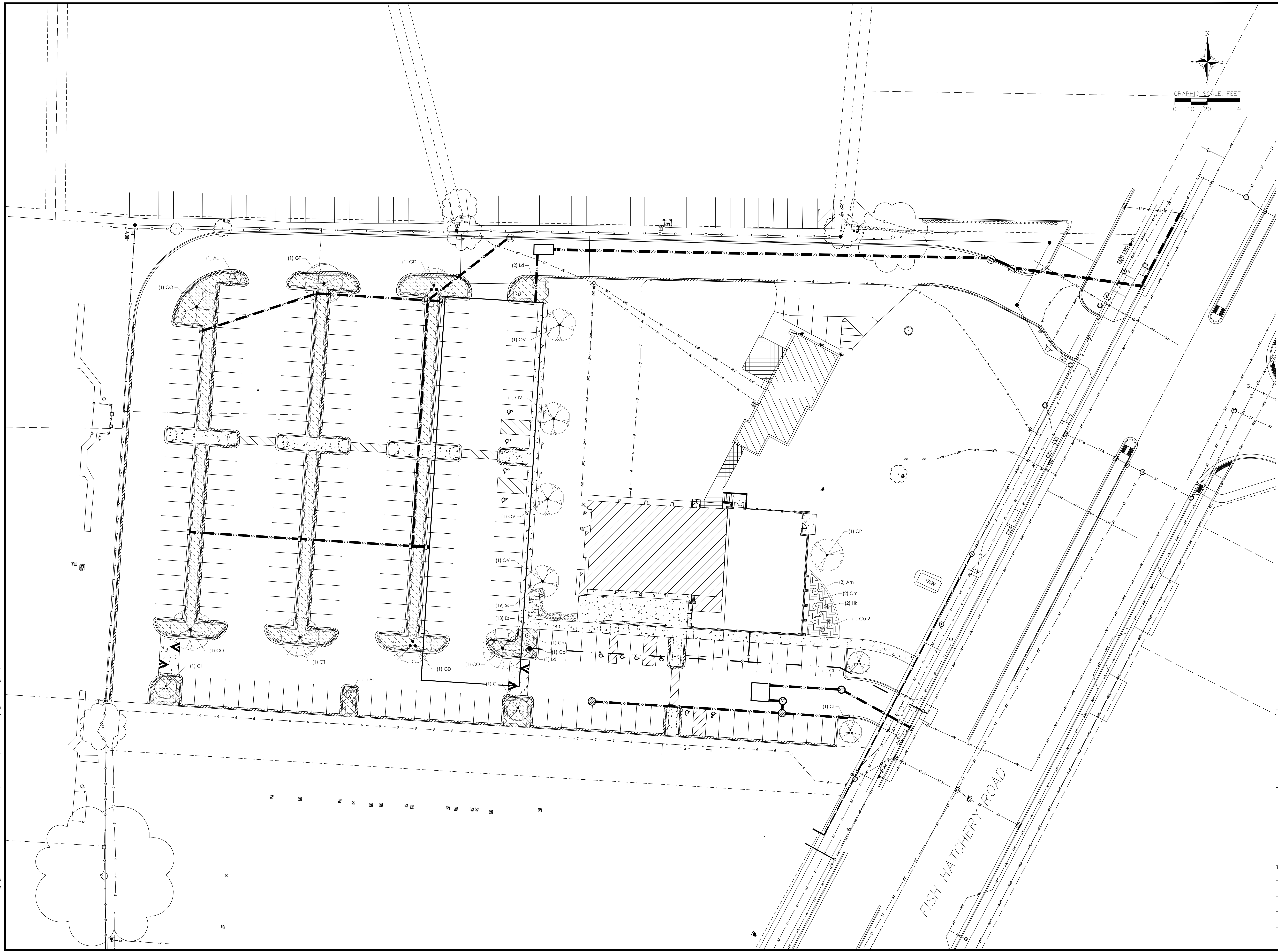
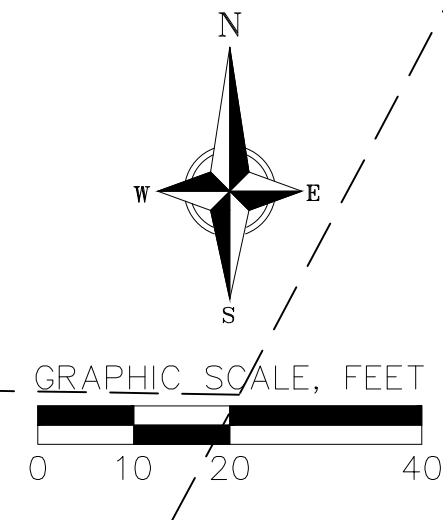
**5 SPEED HUMP**  
702 NOT TO SCALE

Construction Details  
 CITY OF A HILL  
 CITY OF FITCHBURG  
 DANE COUNTY, WISCONSIN

| REVISIONS |      | REVISIONS |      |
|-----------|------|-----------|------|
| NO.       | DATE | NO.       | DATE |
|           |      |           |      |
|           |      |           |      |

DATE: 7/18/2025  
 DRAFTER: BBAR  
 CHECKED: TSCH  
 PROJECT NO.: 210401

**NOT FOR CONSTRUCTION**



**Landscape Plan**  
CITY OF FITCHBURG  
DANE COUNTY, WISCONSIN

| NO. | DATE | REVISIONS | NO. | DATE | REVISIONS |
|-----|------|-----------|-----|------|-----------|
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DATE: 7/18/2025  
DRAFTER: EGOR  
CHECKED: TSCH  
PROJECT NO.: 210401

PLANT SCHEDULE

| CODE                    | BOTANICAL / COMMON NAME  | ROOT COND. | SIZE   | NOTES      | QTY |
|-------------------------|--|------------|--------|------------|-----|
| <b>DECIDUOUS TREES</b>  |  |            |        |            |     |
| CO                      | Cellis occidentalis / Common Hackberry                                 | B & B      | 2' Cal |            | 3   |
| GT                      | Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust | B & B      | 2' Cal |            | 2   |
| GD                      | Gymnocladus dioica 'Espresso' / Kentucky Coffeetree                    | B & B      | 2' Cal |            | 2   |
| OV                      | Ostrya virginiana / American Hophornbeam                               | B & B      | 2' Cal |            | 4   |
| <b>UNDERSTORY TREES</b> |  |            |        |            |     |
| AL                      | Amelanchier laevis / Allegheny Serviceberry                            | B & B      | 4' ht. | Multi-Stem | 2   |
| CP                      | Corpinus caroliniana / American Hornbeam                               | B & B      | 7' ht. |            | 1   |
| CI                      | Crataegus crus-galli inermis / Thornless Cockspur Hawthorn             | B & B      | 5' ht. |            | 4   |
| <b>DECIDUOUS SHRUBS</b> |  |            |        |            |     |
| Am                      | Aronia melanocarpa / Black Chokeberry                                  | Cont.      | 5 Gal. |            | 3   |
| Cm                      | Ceanothus americanus / New Jersey Tea                                  | Cont.      | 3 Gal. |            | 3   |
| Cb                      | Cephalanthus occidentalis 'Ballistics' / Fiber Optics® Buttonbush      | Cont.      | 7 Gal. |            | 1   |
| Co-2                    | Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood            | Cont.      | 5 Gal. |            | 1   |
| Hk                      | Hypericum kalmianum / Kalm St. Johnswort                               | Cont.      | 5 Gal. |            | 2   |
| Ld                      | Lonicera diervilla / Honeysuckle                                       | Cont.      | 3 Gal. |            | 3   |
| <b>PERENNIALS</b>       |  |            |        |            |     |
| ES                      | Eragrostis spectabilis / Purple Lovegrass                              | Cont.      | 1 Gal. |            | 13  |
| SS                      | Schizochyrium scoparium / Little Bluestem                              | Cont.      | 1 Gal. |            | 19  |

CONCEPT PLANT SCHEDULE

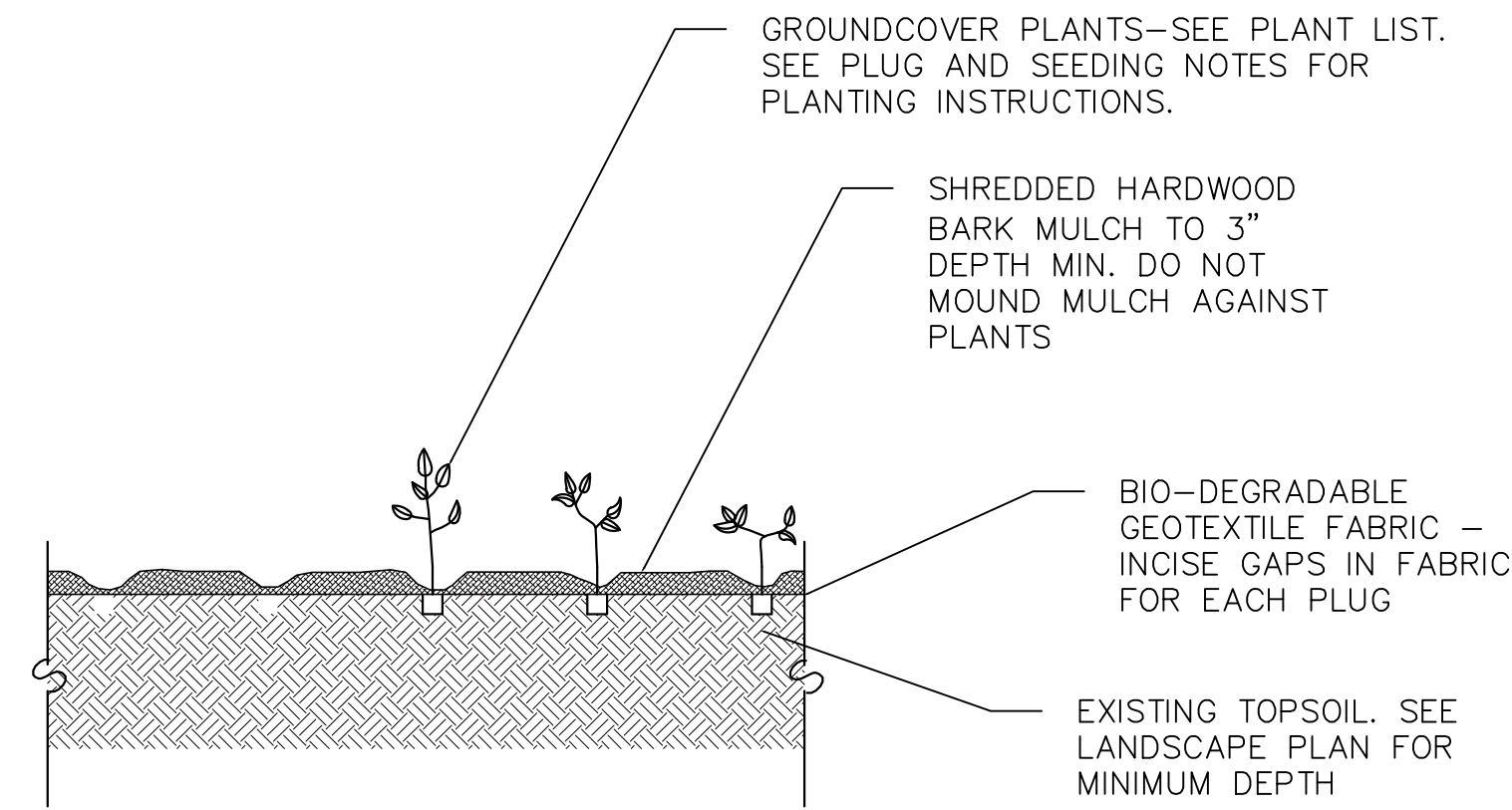
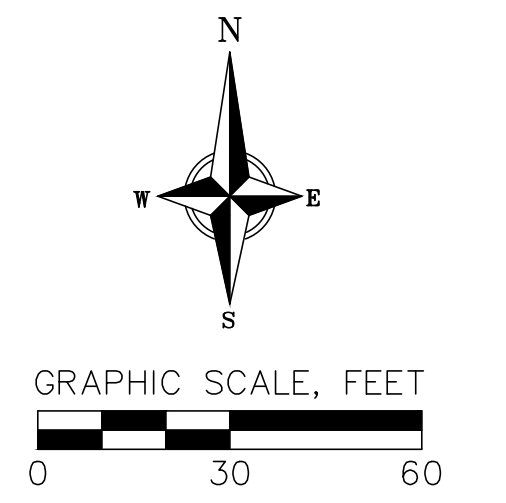
|   |       |          |
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| <b>GROUNDCOVER #1</b>                     |       | 5,635 sf |
| Allium cernuum / Nodding Onion            | 118   |          |
| Baptisia alba / White Wild Indigo         | 235   |          |
| Bouteloua curtipendula / Side Oats Grama  | 235   |          |
| Carex breviflor / Oval Sedge              | 467   |          |
| Carex palmata / Still Ticksedge           | 235   |          |
| Eragrostis spectabilis / Purple Lovegrass | 467   |          |
| Liatris aspera / Rough Blazing Star       | 350   |          |
| Phlox pilosa / Downy Phlox                | 235   |          |
| Sporobolus heterolepis / Prairie Dropseed | 3,513 |          |
| <b>GROUNDCOVER #2</b>                     |       | 424 sf   |
| Antennaria plantaginifolia / Pussytoes    | 35    |          |
| Carex bromoides / Brome-like Sedge        | 330   |          |
| Geum triflorum / Prairie Smoke            | 35    |          |
| Polemonium reptans / Greek Valerian       | 18    |          |
| Ruellia humilis / Wild Petunia            | 18    |          |
| <b>WASHED STONE</b>                       |       | 2,347 sf |

NOTES:

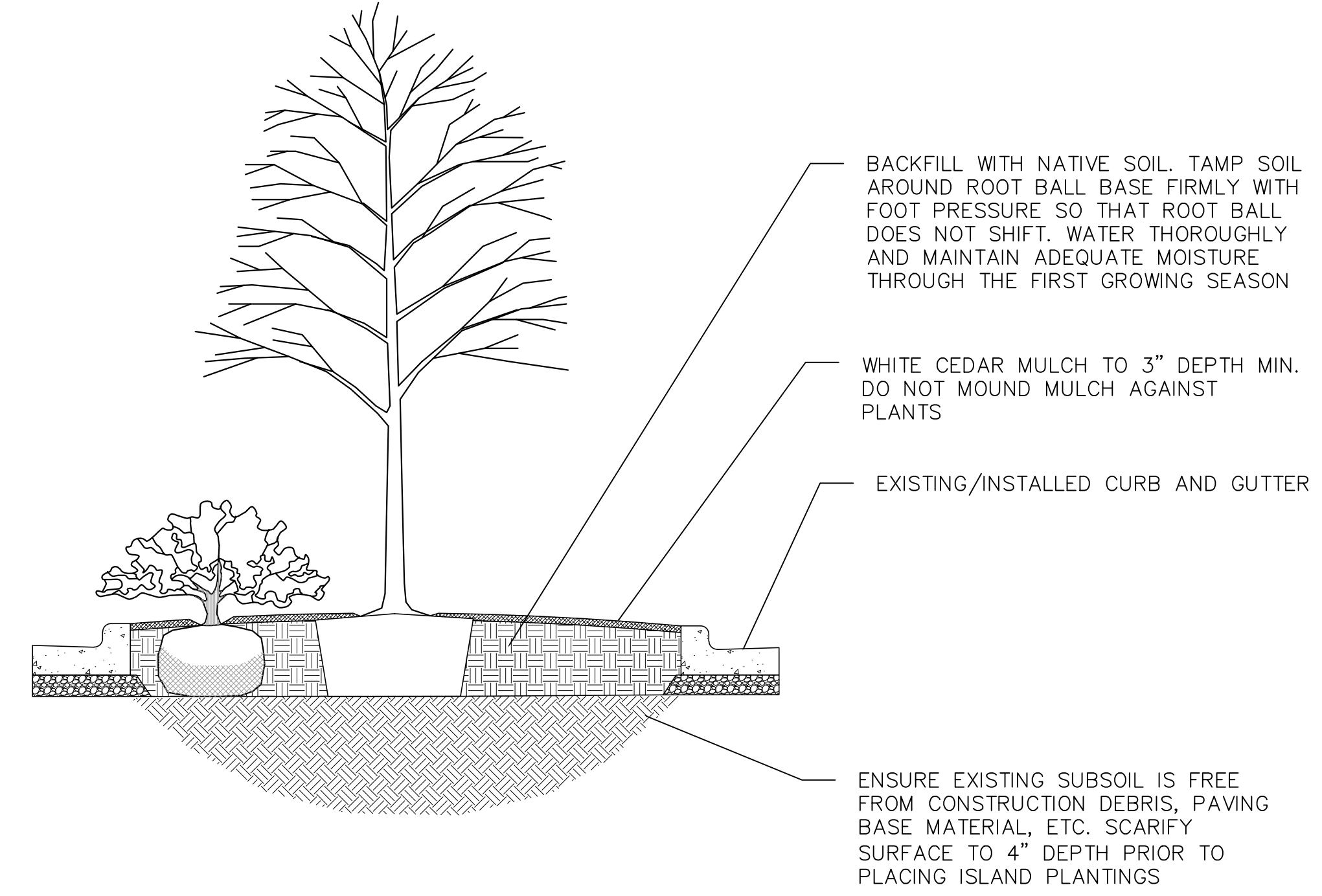
1. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES AS SHOWN IN THE CONCEPT PLANT SCHEDULE THROUGHOUT PLANTING.
2. WHERE PLANTINGS ABOUT WALKWAYS AND STRUCTURES, MAINTAIN A 12" BORDER OF MULCH CONTAINING NO PLUGS.
3. WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.

NOTES:

1. PARKING ISLAND TO BE FREE OF AGGREGATE TO A MINIMUM DEPTH OF 24"
2. ANY PAVEMENT BASE MATERIALS REMAINING FROM PAVEMENT INSTALLATION WITHIN PLANTING AREA SHALL BE REMOVED AND REPLACED WITH NATIVE SOIL PRIOR TO PLANTING



1 GROUNDCOVER PLANTING DETAIL  
1 NOT TO SCALE



1 PARKING ISLAND PLANTING AREA  
1 NOT TO SCALE

PLANT MATERIAL NOTES:

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
5. EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
3. LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
4. LANDSCAPE AREAS IDENTIFIED AS WASHED STONE ARE TO BE INSTALLED USING 1"-2" WASHED STONE TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
5. LANDSCAPE BEDS, STONE BORDERS, AND SEEDED AREAS ARE SEPARATED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOCK CLEANLINE 1/2"X4" OR EQUAL, COLOR BLACK ANODIZED.
6. ALL TREES AND/OR SHRUBS PLANTED IN SEEDED AREAS TO BE INSTALLED WITH A 6" DIAMETER UNDYED SHREDDED HARDWOOD BARK MULCH RING AT A DEPTH OF 3" AND SHOVEL CUT EDGE. A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULATE SHOULD BE APPLIED TOPICALLY AT TIME OF PLANTING PRIOR TO MULCH

SEEDING AND GROUNDCOVER NOTES:

1. ALL UNLABELED DISTURBED AREAS AND AREAS SHOWN AS TURF GRASS TO BE SEEDED WITH 'MADISON PARKS' SEED MIX BY LA CROSSE SEED OR EQUIVALENT. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"-6") PRIOR TO SEEDED AREAS. APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA FOLLOWING SEEDING. APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
2. INSTALL GROUNDCOVERS (GC) AS 2.5" PLUGS OR EQUAL PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES AS SHOWN IN THE CONCEPT PLANT SCHEDULE THROUGHOUT PLANTING. PLUG NUMBERS ARE APPROXIMATE BASED ON ARTIST'S CONCEPT TO CONFIRM QUANTITIES. QUANTITIES IN SCHEDULE REPRESENT TOTAL PLUGS PER SPECIES FOR ALL GROUNDCOVER AREAS SHOWN, EACH AREA TO RECEIVE A REPRESENTATIVE FRACTION OF PLUGS BASED ON THE SQUARE FOOTAGE OF EACH RESPECTIVE PLANTING LOCATION SPECIFIED. WHERE SHRUBS/TREES ARE SHOWN WITHIN GROUNDCOVER AREAS, SUBSTITUTE SHRUB/TREE FOR PLUG AND SPACE SURROUNDING PLUGS 12" FROM SHRUB/TREE ROOT MASS, PATTERN ACCORDING. WHERE PLANTINGS ABOUT WALKWAYS AND STRUCTURES, MAINTAIN A 12" BORDER OF MULCH CONTAINING NO PLUGS. APPLY BIO-DEGRADABLE NON-WOVEN GEOTEXTILE WEED BARRIER FABRIC TO SOIL SURFACE PRIOR TO PLANTING, INCISE GAPS IN FABRIC FOR EACH PLUG. APPLY 1/2" WATER DAILY FOR 4 WEEKS FOLLOWING INSTALLATION. APPLY AN INITIAL APPLICATION OF PRE-EMERGENT HERBICIDE PER MANUFACTURER'S INSTRUCTIONS AND STATE REGULATIONS. REPEAT APPLICATIONS THROUGHOUT ESTABLISHMENT PERIOD PER MANUFACTURER'S RECOMMENDATIONS. APPLY 2" OF SHREDDED HARDWOOD MULCH AT TIME OF PLANTING. SUGGESTED MAINTENANCE INCLUDES MULCH, WEED REMOVAL, AND PRE-EMERGENT HERBICIDE TREATMENTS FOR THE FIRST 5 YEARS. ANNUAL MAINTENANCE IS SUGGESTED TO INCLUDE A CUT BACK TREATMENT DURING THE EARLY SPRING SEASON PRIOR TO PLANT EMERGENCE.

GENERAL LANDSCAPE NOTES:

1. CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
2. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
3. CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
4. ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
5. PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
6. ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
7. LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.

18 Jul 2025 - 5:48p MA:Vogelg Ventures, Inc\_V206066 - 2948 Fish Hatchery Road\_CADD\_V210401 - Landscape\_Churching.dwg by: tbar

| NO. | DATE | REVISIONS | REMARKS |
|-----|------|-----------|---------|
|     |      |           |         |
|     |      |           |         |
|     |      |           |         |

# APPENDIX 'B'

## SIP ARCHITECTURAL DRAWINGS

# INDEX OF DRAWINGS

\*X INDICATES ISSUED FOR REVIEW/CONSTRUCTION  
 \*O INDICATES ISSUED FOR REFERENCE ONLY

| CITY SUBMITTAL | CONSTRUCTION DOCUMENTS | No.     | Sheet Name                                     |
|----------------|------------------------|---------|--|
| O              |                        | G001    | TITLE SHEET, SHEET INDEX, LOCATION MAP         |
|                |                        | G002    | GENERAL INFORMATION                            |
| O              |                        | G101    | CODE INFORMATION                               |
|                |                        | A001    | WALL TYPES                                     |
|                |                        | A002    | GENERAL ARCH DETAILS                           |
|                |                        | A003    | GENERAL ARCH DETAILS                           |
|                |                        | AS101   | ARCHITECTURAL SITE PLAN                        |
| O              |                        | AD101   | DEMOLITION PLANS                               |
| O              |                        | A100    | FLOOR PLAN - BASEMENT                          |
| O              |                        | A101    | FLOOR PLAN - LEVEL 1                           |
| O              |                        | A102    | ROOF PLAN                                      |
|                |                        | A110    | REFLECTED CEILING PLAN - BASEMENT              |
|                |                        | A111    | REFLECTED CEILING PLAN - LEVEL 1               |
|                |                        | A120    | FINISH SCHEDULE                                |
|                |                        | A121    | FINISH FLOOR PLAN - BASEMENT                   |
|                |                        | A122    | FINISH FLOOR PLAN - LEVEL 1                    |
|                |                        | A201    | BUILDING ELEVATIONS                            |
| O              |                        | A301    | BUILDING SECTIONS                              |
| O              |                        | A302    | BUILDING SECTIONS                              |
| O              |                        | A311    | WALL SECTIONS                                  |
| O              |                        | A312    | WALL SECTIONS                                  |
| O              |                        | A313    | WALL SECTIONS                                  |
| O              |                        | A314    | WALL SECTIONS                                  |
|                |                        | A320    | STAIR / ELEVATOR PLANS & SECTIONS              |
|                |                        | A410    | ENLARGED PLANS, INTERIOR ELEVATIONS - BASEMENT |
|                |                        | A411    | ENLARGED PLANS, INTERIOR ELEVATIONS - LEVEL 1  |
|                |                        | A450    | ENLARGED TOILET PLANS, INTERIOR ELEVATIONS     |
|                |                        | A500    | GENERAL EXTERIOR DETAILS                       |
|                |                        | A550    | GENERAL INTERIOR DETAILS                       |
|                |                        | A551    | GENERAL INTERIOR DETAILS                       |
|                |                        | A600    | DOOR SCHEDULE & TYPES                          |
|                |                        | A650    | WINDOW TYPES                                   |
|                |                        | A660    | WINDOW AND DOOR DETAILS                        |
| O              |                        | PC201   | COLORED ELEVATIONS                             |
| O              |                        | PC201.1 | COLORED ELEVATIONS - MASTER PLAN               |
| O              |                        | PC202   | AERIAL VIEWS                                   |
| O              |                        | PC202.1 | AERIAL VIEWS - MASTER PLAN                     |
| O              |                        | PC203   | PERSPECTIVE VIEWS                              |
| O              |                        | PC203.1 | PERSPECTIVE VIEWS - MASTER PLAN                |



**GROTH**  
 Design  
 Group

| PROJECT TEAM   | SEAL |
|--|------|
| <b>ARCHITECT</b><br><br><b>GROTH</b> Design Group<br>1555 W6181 Columbia Road<br>Cedarburg, WI 53012<br>www.gdg-architects.com<br><br>PH (262) 377-8001<br>FX (262) 377-8003 |      |
| <b>CIVIL:</b><br><br><b>VIERBICHER</b><br>999 FOURIER DRIVE<br>SUITE 201<br>MADISON, WI 53717<br>(608) 821 3983  |      |
| <b>STRUCTURAL:</b><br><br><b>CORE4 ENGINEERING</b><br>12308 NORTH CORPORATE PKWY<br>SUITE 300<br>MEQUON, WI 53092  |      |
| <b>MECHANICAL:</b><br><br><b>DESIGN BUILD</b>  |      |
| <b>PLUMBING:</b><br><br><b>DESIGN BUILD</b>  |      |
| <b>ELECTRICAL:</b><br><br><b>DESIGN BUILD</b>  |      |

**PROJECT**

**CITY ON A HILL  
 ADDITION**

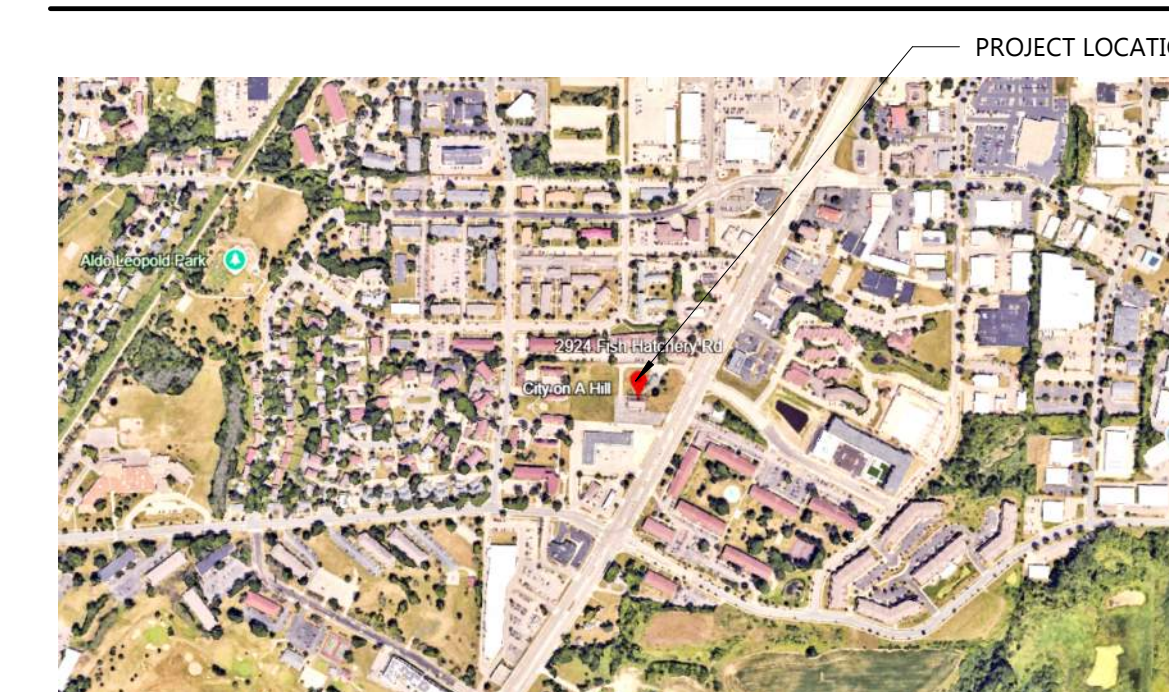
**2924 FISH  
 HATCHERY RD.  
 FITCHBURG,  
 WISCONSIN  
 53713**

# CITY ON A HILL

## ADDITION

**2924 FISH HATCHERY RD.  
 FITCHBURG, WISCONSIN 53713**

LOCATION MAP



**PROGRESS  
 DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

**PROJECT INFO**

Date: 07.21.25  
 Project No.: 25.005

**SHEET TITLE**

TITLE SHEET, SHEET INDEX, LOCATION MAP

**G001**

DESIGN DEVELOPMENT SET





GROTH Design Group

N58 W6181 COLUMBIA RD. P.O. BOX 332 CEDARBURG, WISCONSIN 53012  
PH. (262) 377-8001  
FX. (262) 377-8003

PROJECT

CITY ON A HILL ADDITION

2924 FISH HATCHERY RD. FITCHBURG, WISCONSIN 53713

NO. REV. DATE DESCRIPTION

PROGRESS DOCUMENTS

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PROJECT INFO

Date: 07.21.25  
Project No.: 25.005

SHEET TITLE

DEMOLITION PLANS

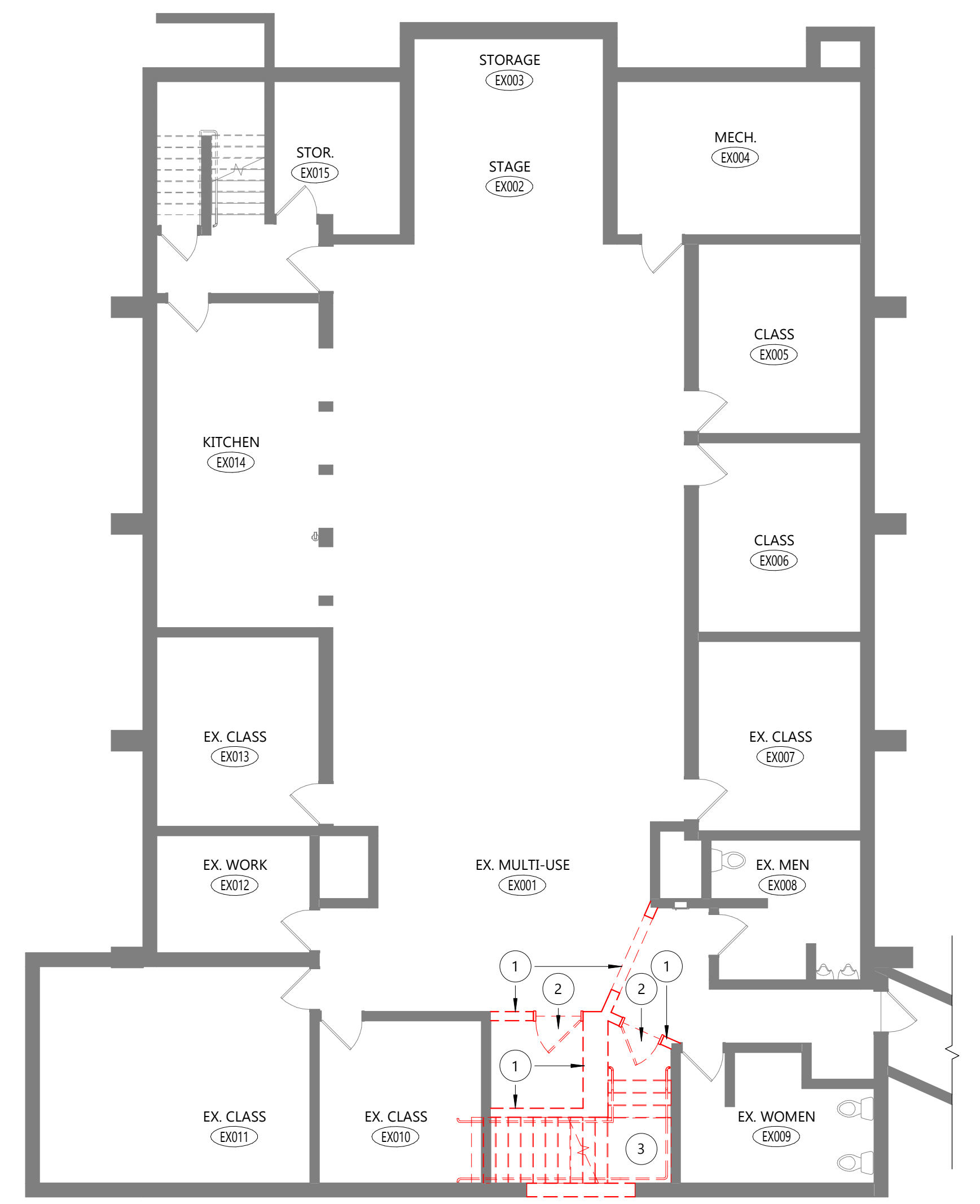
AD101

© Groth Design Group, Inc.

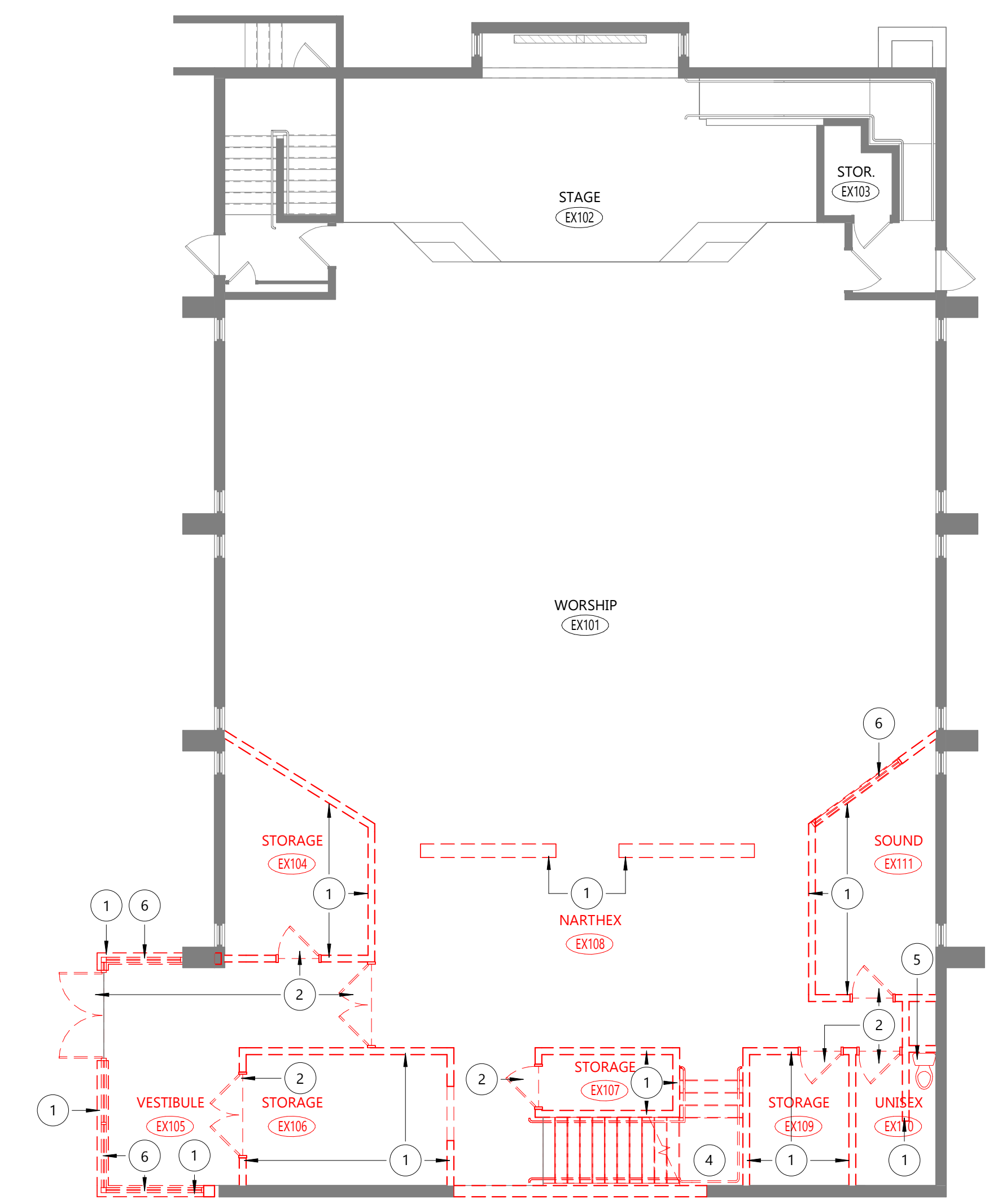
DESIGN DEVELOPMENT SET

DEMOLITION PLAN GENERAL NOTES:

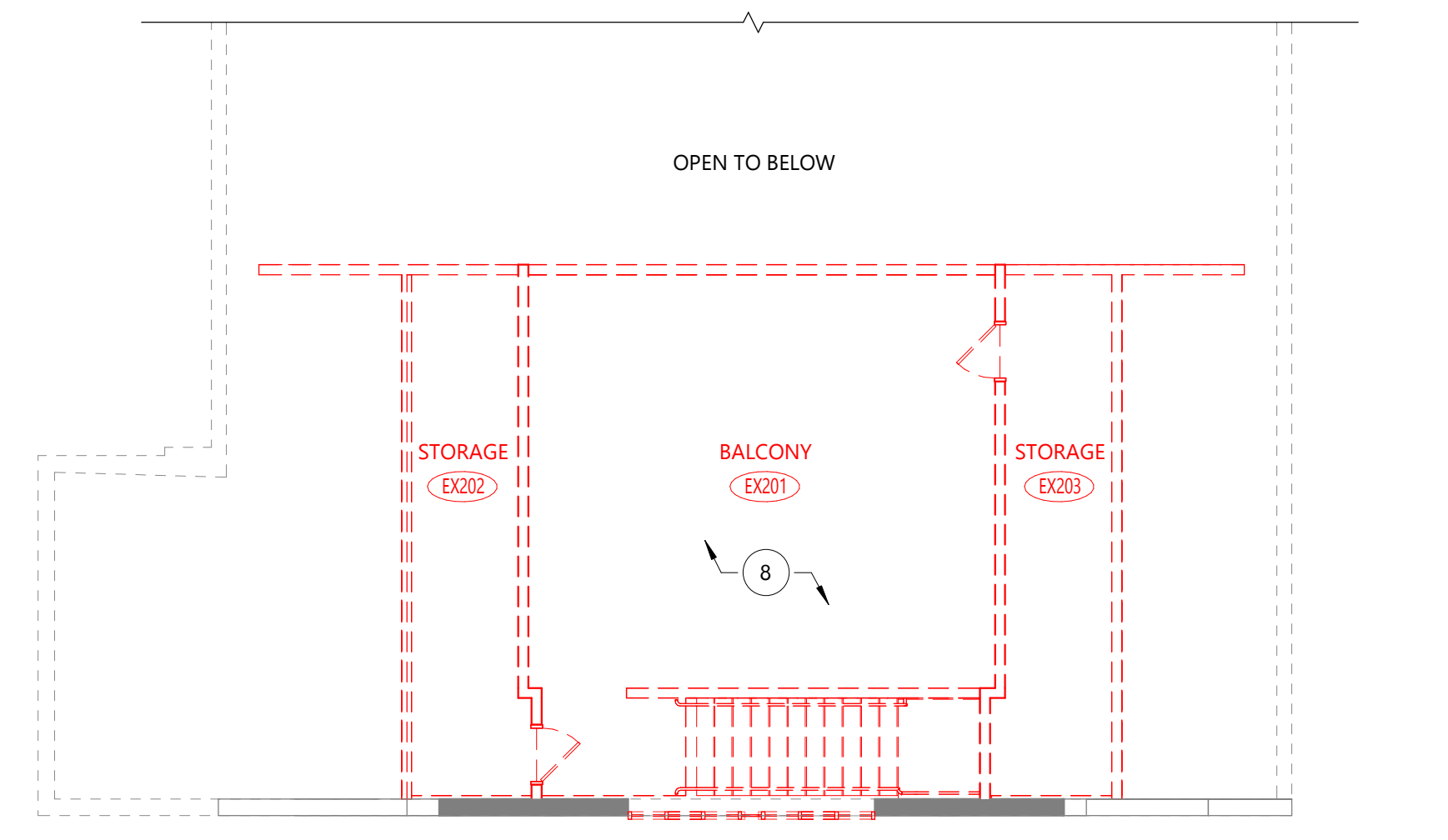
- A. CONTRACTOR TO REVIEW SCOPE OF NEW CONSTRUCTION IN CONJUNCTION WITH DEMOLITION PLANS TO COORDINATE SCOPE OF WORK. CONTRACTOR TO CONTACT OWNER & ARCHITECT WITH ANY QUESTIONS OR CONCERNS PRIOR TO MATERIAL REMOVAL.
- B. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING BUILDING AMENITIES NOT SLATED FOR DEMOLITION OR REMODELING.
- C. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO START OF WORK. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED OR ALTERED. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- D. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. COORDINATE WORK WITH MEP REQUIREMENTS.
- E. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE W/ OWNER MINIMUM 72 HOURS IN ADVANCE FOR ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM THE WORK OR TO MODIFY EXISTING PIPING, DUCTWORK, OR ASSOCIATED EQUIPMENT.
- F. SCOPE OF DEMOLITION SHOWN CONSTITUTES MINIMUM AMOUNT NEEDED TO MEET DESIGN INTENT. ADDITIONAL DEMOLITION, REMOVAL, PATCHING, REPAIRS, OR REPLACEMENT OF ITEMS MAY BE REQUIRED TO ACCOMMODATE CONTRACTOR PHASING, SEQUENCING, OR MEANS & METHODS. THE ARCHITECT SHALL BE NOTIFIED OF ADDITIONAL SCOPE REQUIRED TO COMPLETE THE WORK PRIOR TO REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY REMOVED ITEMS SHOWN IN THE DOCUMENTS AS EXISTING TO REMAIN.
- G. REMOVE ALL EXISTING INCIDENTAL CONDITIONS AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT, INCLUDING BUT NOT LIMITED TO FASTENERS, CLIPS, MOULDINGS, OUTLETS, CONDUIT, WIRING, PIPING, FIXTURES, FITTINGS, AND OTHER SYSTEMS. REROUTE CIRCUITS, PLUMBING, AND DUCTWORK AS REQUIRED TO MAINTAIN SERVICEABILITY OF SYSTEMS TO REMAIN.
- H. ALL HAZARDOUS MATERIALS TO BE DISPOSED OF PER APPLICABLE STATE, LOCAL, OR FEDERAL CODES & REGULATIONS.
- I. PATCH ANY OPENINGS OR GAPS IN EXISTING FLOORS, WALLS, ROOF, OR FIRE RESISTIVE ASSEMBLIES CAUSED BY THE WORK TO MAINTAIN THE INTEGRITY OF FIRE RATINGS, WEATHER RESISTANCE, VAPOR BARRIERS, ETC. ANY DEFICIENCIES FOUND IN THE EXISTING CONSTRUCTION SHOULD BE BROUGHT TO THE ARCHITECT AND OWNER'S ATTENTION IMMEDIATELY.
- J. CONTRACTOR TO VERIFY EXISTING WALL CONSTRUCTION. CONTRACTOR TO PATCH AND REPAIR EXISTING WALLS TO REMAIN WITH LIKE CONSTRUCTION UNLESS NOTED OTHERWISE AND PROVIDE A SUITABLE SURFACE TO RECEIVE NEW FINISHES.
- K. REMOVE EXISTING FLOOR FINISHES SLATED FOR DEMOLITION TO SUB FLOOR AND PREPARE FOR NEW FINISHES. SEE ROOM FINISH SCHEDULE.
- L. SALVAGE EXISTING DOORS AND HARDWARE FOR REUSE, REMOVE OR RETURN EXCESS DOORS AND HARDWARE TO OWNER.
- M. SALVAGE EXISTING CASEWORK FOR REUSE, REMOVE OR RETURN EXCESS CASEWORK TO OWNER AT OWNER DISCRETION.
- N. SALVAGE EXISTING PLUMBING FIXTURES FOR REUSE, REMOVE OR RETURN EXCESS FIXTURES TO OWNER AT OWNER DISCRETION. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- O. SALVAGE EXISTING LIFE SAFETY EQUIPMENT, FIRE EXTINGUISHERS, EXIT SIGNS, FIRE ALARMS, ETC. FOR REUSE, REMOVE OR RETURN EXCESS EQUIPMENT TO OWNER AT OWNER DISCRETION. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- P. SALVAGE EXISTING HVAC GRILLES AND LOUVERS FOR REUSE, REMOVE OR RETURN EXCESS TO OWNER AT OWNER DISCRETION. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- Q. SALVAGE EXISTING OUTLETS AND SWITCHES AND LIGHT FIXTURES FOR REUSE. PULL ALL ABANDONED WIRE FROM CONDUIT. RETURN EXCESS MATERIAL TO OWNER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- R. SALVAGE EXISTING APPLIANCES, TOILET ACCESSORIES, SIGNAGE, AND EQUIPMENT FOR REUSE. REMOVE OR RETURN TO OWNER AT OWNER DISCRETION.
- S. LIFE SAFETY FEATURES ARE TO REMAIN IN OPERATION THROUGH ALL PHASES OF CONSTRUCTION INCLUDING SMOKE DETECTION AND OTHER SYSTEMS TO MEET ALL APPLICABLE CODES & REGULATIONS. VERIFY WITH OWNER AND LIFE SAFETY PLAN(S) FOR THE PROJECT.



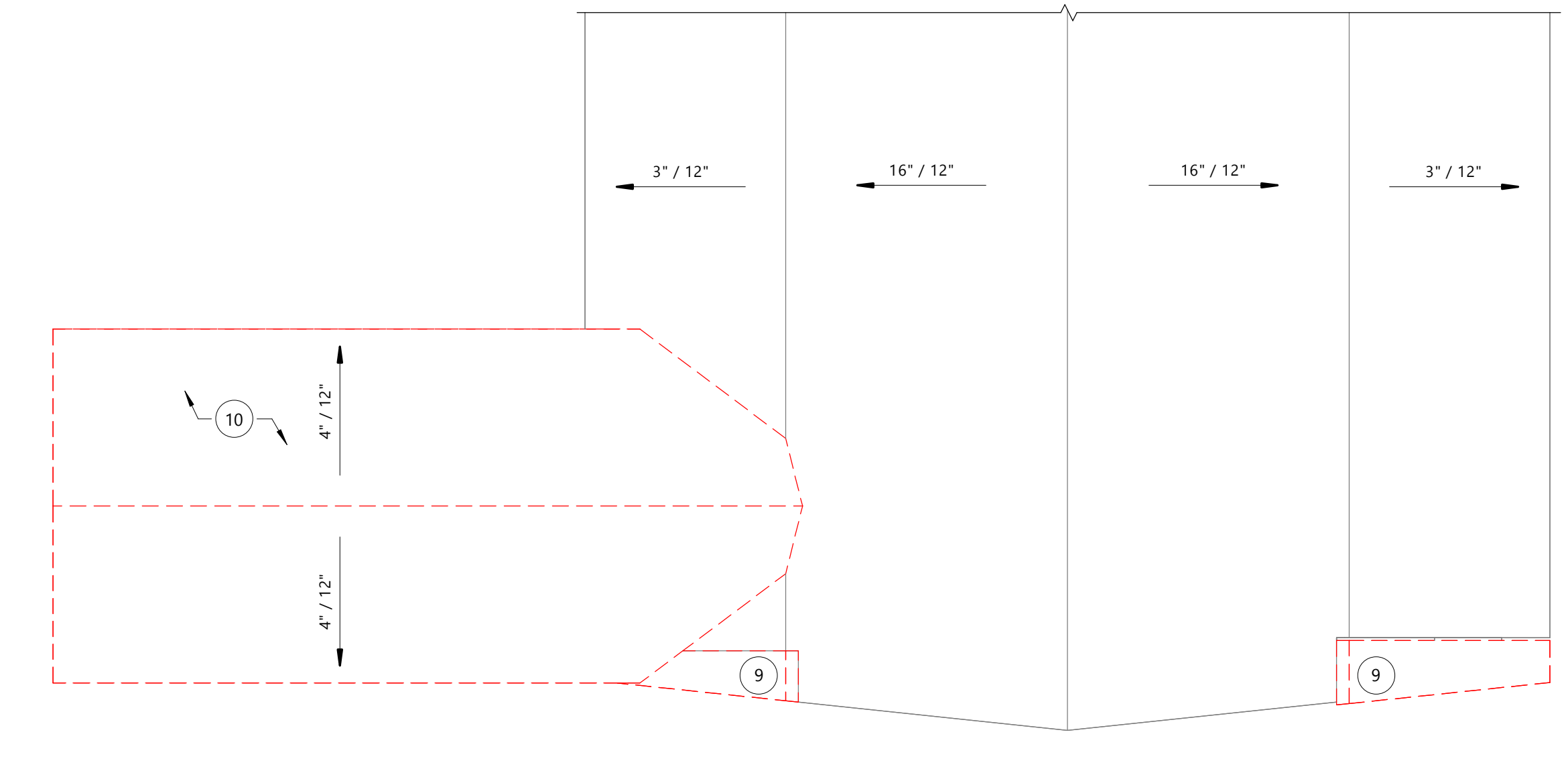
1 DEMOLITION PLAN - BASEMENT  
AD101 1/8" = 1'-0"



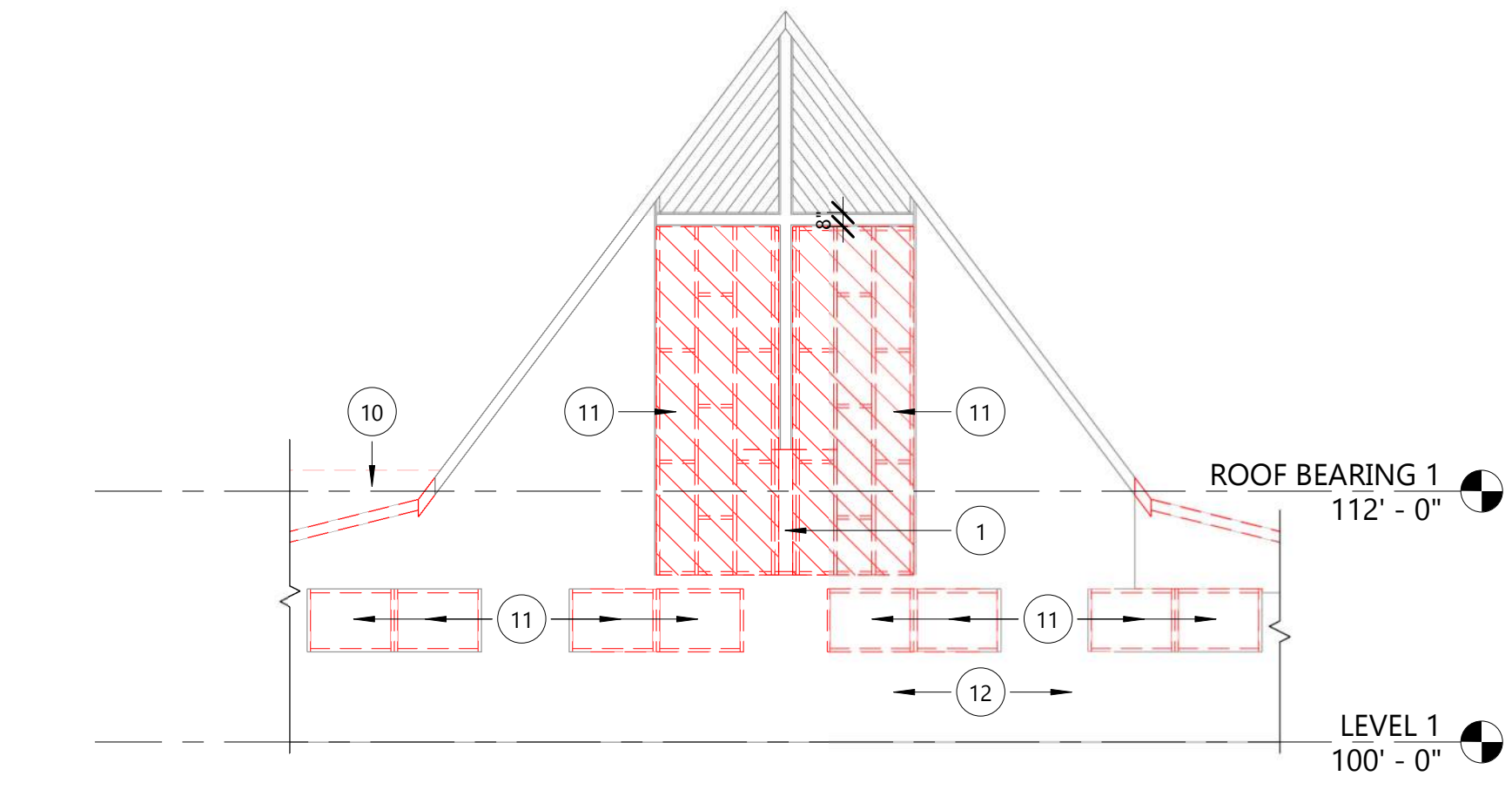
2 DEMOLITION PLAN - LEVEL 1  
AD101 1/8" = 1'-0"



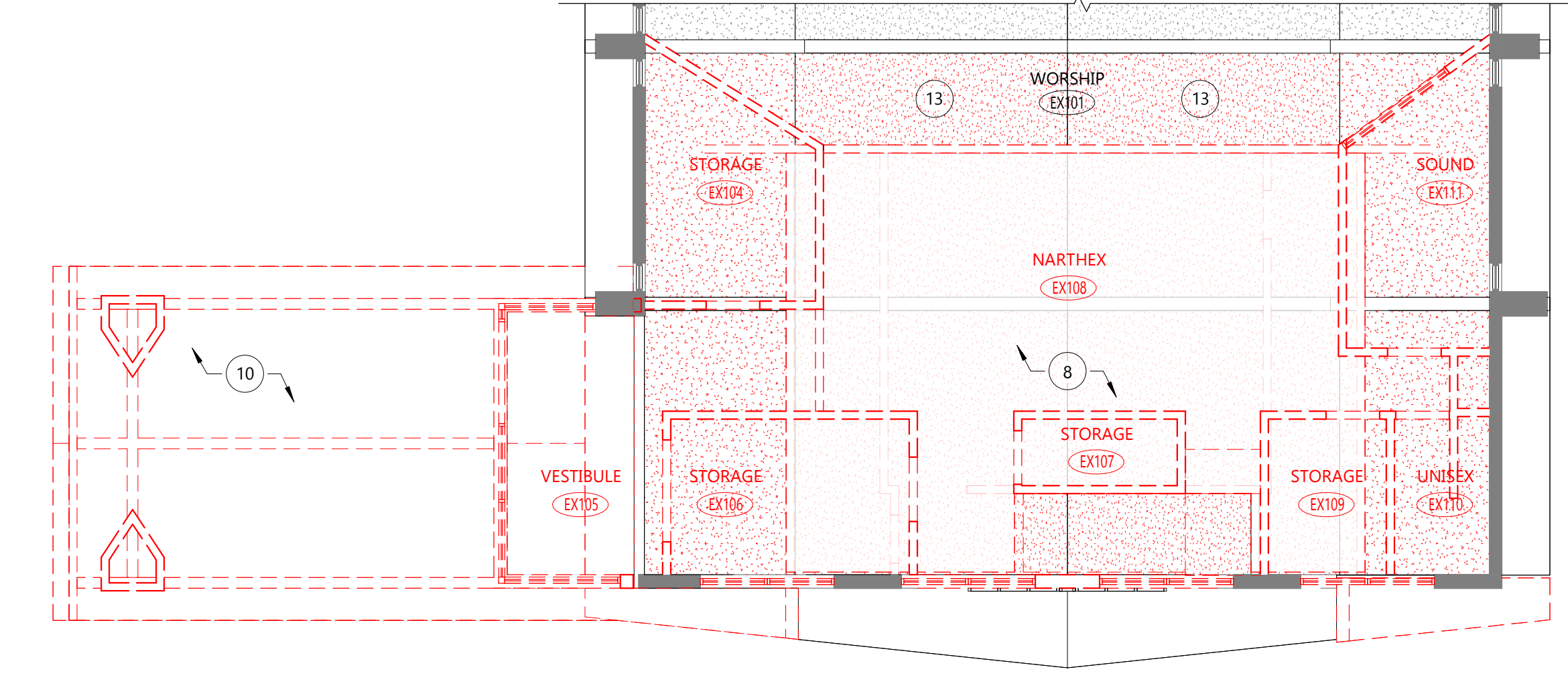
3 DEMOLITION PLAN - BALCONY  
AD101 1/8" = 1'-0"



4 DEMOLITION PLAN - ROOF  
AD101 1/8" = 1'-0"



6 DEMOLITION ELEVATION  
AD101 1/8" = 1'-0"



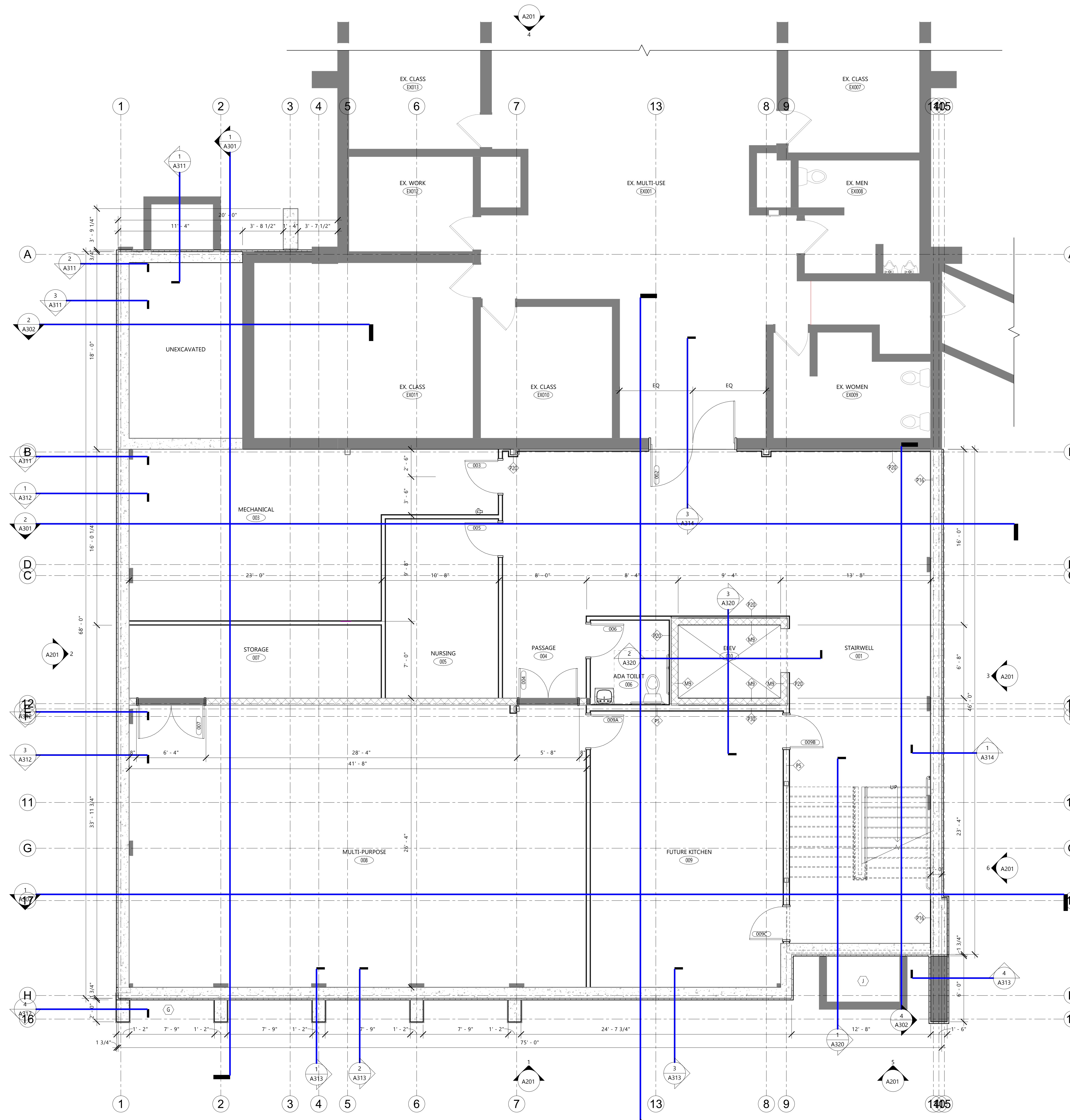
5 DEMOLITION PLAN - RCP - LEVEL 1  
AD101 1/8" = 1'-0"

DEMOLITION PLAN - SYMBOL KEY

- EXISTING WALL TO REMAIN
- REMOVED WALL
- NEW WALL
- EXISTING ACoustic CEILING TILE TO REMAIN
- EXISTING PAINTED GYP. BD. CEILING, BULKHEAD, HEADER, OR SOFFIT TO REMAIN
- ACoustic CEILING TILE AND GRID TO BE REMOVED
- GYP. BD. CEILING AND FRAMING TO BE REMOVED
- EXISTING DOOR TO REMAIN
- REMOVED DOOR
- NEW DOOR

KEYED DEMOLITION PLAN NOTES

| TAG # | DESCRIPTION  |
|-------|--|
| 1     | DEMO SECTION OF EXISTING PARTITION. COORDINATE EXTENT WITH NEW CONSTRUCTION. REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, AND CONDUIT BACK TO NEAREST JUNCTION BOX. REROUTE ALL NECESSARY WIRING AND CONDUIT. (NOTE: EXISTING STEEL COLUMNS AND BEAMS ARE TO REMAIN.) PATCH AND REPAIR ADJACENT SURFACES AS NEEDED.   |
| 2     | REMOVE EXISTING DOOR, FRAME, & SIDE LITE(S) IN ITS ENTIRETY. IF POCKET DOOR, REMOVE PARTITION AT POCKET AS NECESSARY TO REMOVE HARDWARE. PATCH PARTITION TO MATCH ADJACENT PARTITION CONSTRUCTION AND FINISH. PROVIDE SMOOTH, PLUMB TRANSITIONS. DISCONNECT ALL  |
| 3     | DEMO EXISTING STAIR AND HANDRAILS AND SURROUNDING PLANKS AS NECESSARY FOR NEW FLOOR INFILL - COORDINATE EXTENTS OF DEMOLITION WITH NEW FLOOR INFILL PER STRUCTURAL.  |
| 4     | REMOVE EXISTING STAIR AND HANDRAILS  |
| 5     | REMOVE EXISTING PLUMBING FIXTURES AND ACCESSORIES. PREPARE FOR NEW FIXTURES OR REMOVE PIPING BACK TO NEAREST BRANCH PIPE. INSTALL VALVE AND CAP PLUMBING. COORDINATE W/ NEW CONSTRUCTION. PATCH PARTITION TO MATCH ADJACENT PARTITION CONSTRUCTION. PATCH AND REPAIR   |
| 6     | REMOVE EXISTING WINDOW   |
| 7     | DEMO EXISTING COLUMN AND CANOPY ELEMENTS. COORDINATE EXTENTS WITH NEW CONSTRUCTION.  |
| 8     | DEMO EXISTING BALCONY IN ITS ENTIRETY: FLOOR, WALLS, STAIRS, FINISHES, DOORS, AND OTHER MISCELLANEOUS ELEMENTS ASSOCIATED WITH THE BALCONY IN ORDER TO OPEN THIS SPACE UP AND ALLOW FOR WORSHIP EXPANSION PER NEW PLAN. COORDINATE EXTENT WITH NEW CONSTRUCTION. REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, AND CONDUIT BACK TO NEAREST JUNCTION BOX. REROUTE ALL NECESSARY WIRING AND OTHER MECHANICAL ELEMENTS. (NOTE: EXISTING STEEL COLUMNS AND BEAMS ARE TO REMAIN.) |
| 9     | REMOVE EXISTING ROOF BACK TO EXTERIOR WALL SHEATHING AND PREP SURFACES FOR NEW CONSTRUCTION. COORDINATE EXTENT OF DEMO WITH NEW CONSTRUCTION.  |
| 10    | REMOVE EXISTING CANOPY IN ITS ENTIRETY: WALLS, BEAMS, ROOF FRAMING AND FINISHES, AND OTHER MISCELLANEOUS ELEMENTS ASSOCIATED WITH THE CANOPY. COORDINATE EXTENT WITH NEW CONSTRUCTION. REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, AND CONDUIT BACK TO NEAREST JUNCTION BOX. REROUTE ALL NECESSARY WIRING AND OTHER APPLICABLE MECHANICAL ELEMENTS.  |
| 11    | REMOVE EXISTING WINDOW SYSTEM AT EXTENT SHOWN AND INFILL WALL TO MATCH ADJACENT CONSTRUCTION   |
| 12    | DEMO EXISTING EXTERIOR WALL SURFACE BACK TO SUBSTRATE AS NEEDED TO PROVIDE CONDITIONS SHOWN ON NEW PLAN. COORDINATE WITH STRUCTURAL DEMO EXISTING CEILING AND PREP SUBSTRATE FOR NEW CONSTRUCTION.   |
| 13    |  |



- FLOOR PLAN GENERAL NOTES:**
- A. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.
  - B. SEE 19 / A002 FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.
  - C. PROVIDE BLOCKING AT ALL MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 13 / A002 - ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED WOOD IN BUILDINGS OF NONCOMBUSTIBLE CONSTRUCTION (IBC TYPE I & II) AND IN RATED WALLS IN BUILDINGS OF COMBUSTIBLE CONSTRUCTION (IBC TYPE III, IV, & V).
  - D. PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES. ALL OUTSIDE CORNERS NOT SHOWN RECEIVING CORNER GUARDS ARE TO BE VERIFIED WITH ARCHITECT DURING BIDDING.
  - E. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OF WALL, U.N.O. SEE DETAIL 23 / A002 FOR MORE INFORMATION.
  - F. ALL EXTERIOR DIMENSIONS ARE PER DETAIL 22 / A002, U.N.O.
  - G. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
  - H. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.
  - I. A THERMAL BREAK IN THE CONCRETE FLOOR SLAB IS REQUIRED AT ALL EXTERIOR DOOR LOCATIONS. SEE DOOR DETAILS FOR MORE INFORMATION.
  - J. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED TO MEET REQUIRED RATINGS. UTILIZE UL-APPROVED METHODS.
  - K. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES.
  - L. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR. COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.
  - M. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP. UNLESS NOTED OTHERWISE.
  - N. ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION.
  - O. ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK ABOVE UNLESS NOTED OTHERWISE.

- FLOOR PLAN - SYMBOL KEY**
- EXISTING WALL TO REMAIN
  - REMOVED WALL
  - NEW WALL
  - WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION.
  - DOOR TAG
  - WINDOW TAG
  - MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS.
  - FIRE EXTINGUISHERS
    - FE-1 - RECESSED CABINET
    - FE-2 - SEMI-RECESSED CABINET
    - FE-3 - SURFACE MOUNTED CABINET
    - FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY
  - PUSH PAD DOOR ACTUATOR
  - TOUCHLESS SENSOR DOOR ACTUATOR
  - CARD READER
  - CONTROL JOINT

| KEYED FLOOR PLAN NOTES |             |
|------------------------|-------------|
| TAG #                  | DESCRIPTION |
|                        |             |

**1 FLOOR PLAN - BASEMENT**  
 1/4" = 1'-0"



**PROJECT**

**CITY ON A HILL ADDITION**

**2924 FISH HATCHERY RD. FITCHBURG, WISCONSIN 53713**

| NO. | REV. DATE | DESCRIPTION |
|-----|-----------|-------------|
|     |           |             |

**PROGRESS DOCUMENTS**

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**PROJECT INFO**

Date: 07.21.25  
 Project No.: 25.005

**SHEET TITLE**  
 FLOOR PLAN - BASEMENT

**A100**

DESIGN DEVELOPMENT SET



**GROTH**  
Design  
Group

N58 W6181 COLUMBIA RD.  
P.O. BOX 332  
CEDARBURG, WISCONSIN 53012  
PH. (262) 377-8001  
FX. (262) 377-8003

**PROJECT**

**CITY ON A HILL  
ADDITION**

**2924 FISH  
HATCHERY RD.  
FITCHBURG,  
WISCONSIN  
53713**

NO. REV. DATE DESCRIPTION

**PROGRESS  
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**PROJECT INFO**

Date: 07.21.25  
Project No.: 25.005

**SHEET TITLE**

FLOOR PLAN - LEVEL 1

**A101**

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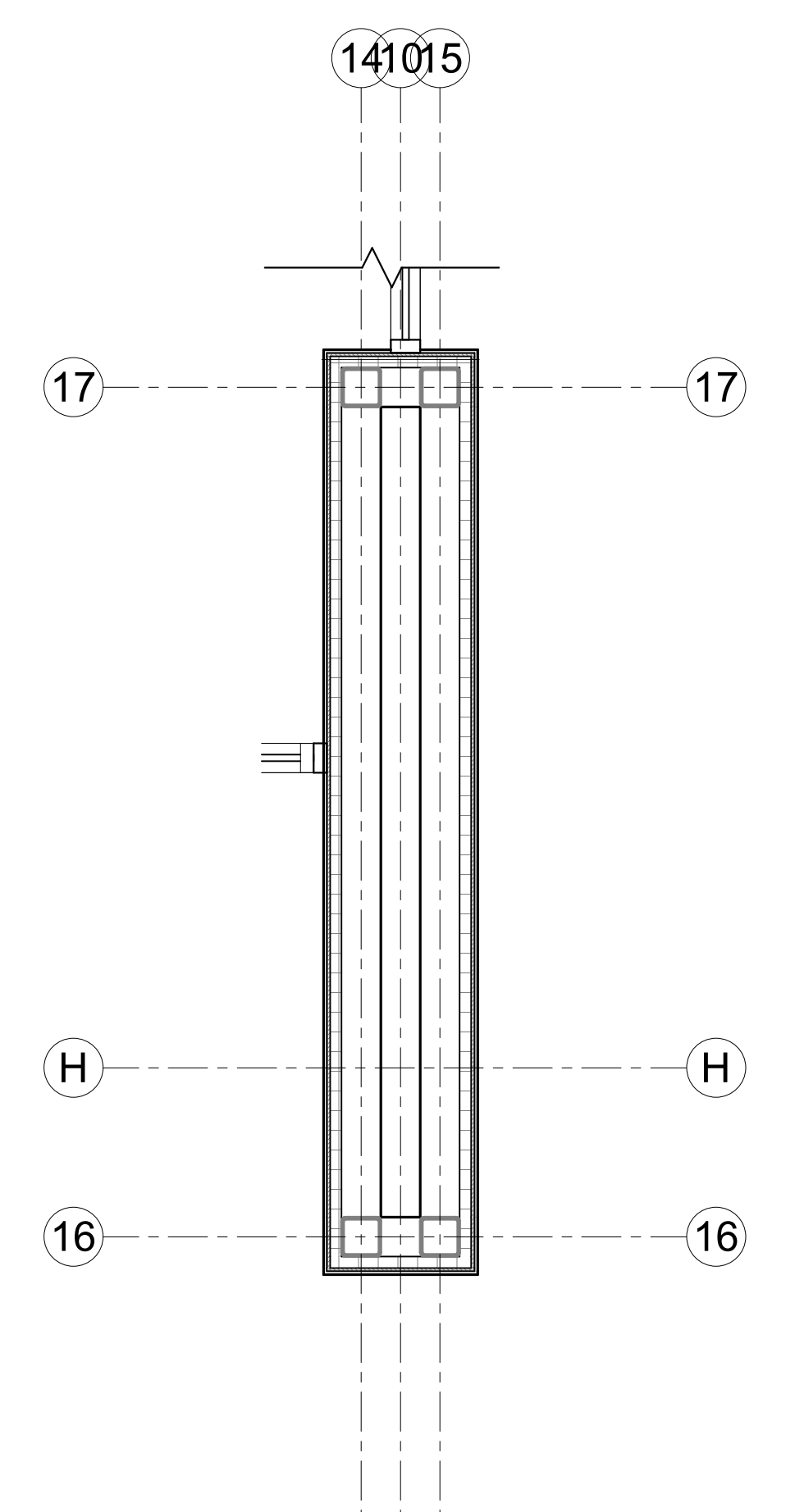
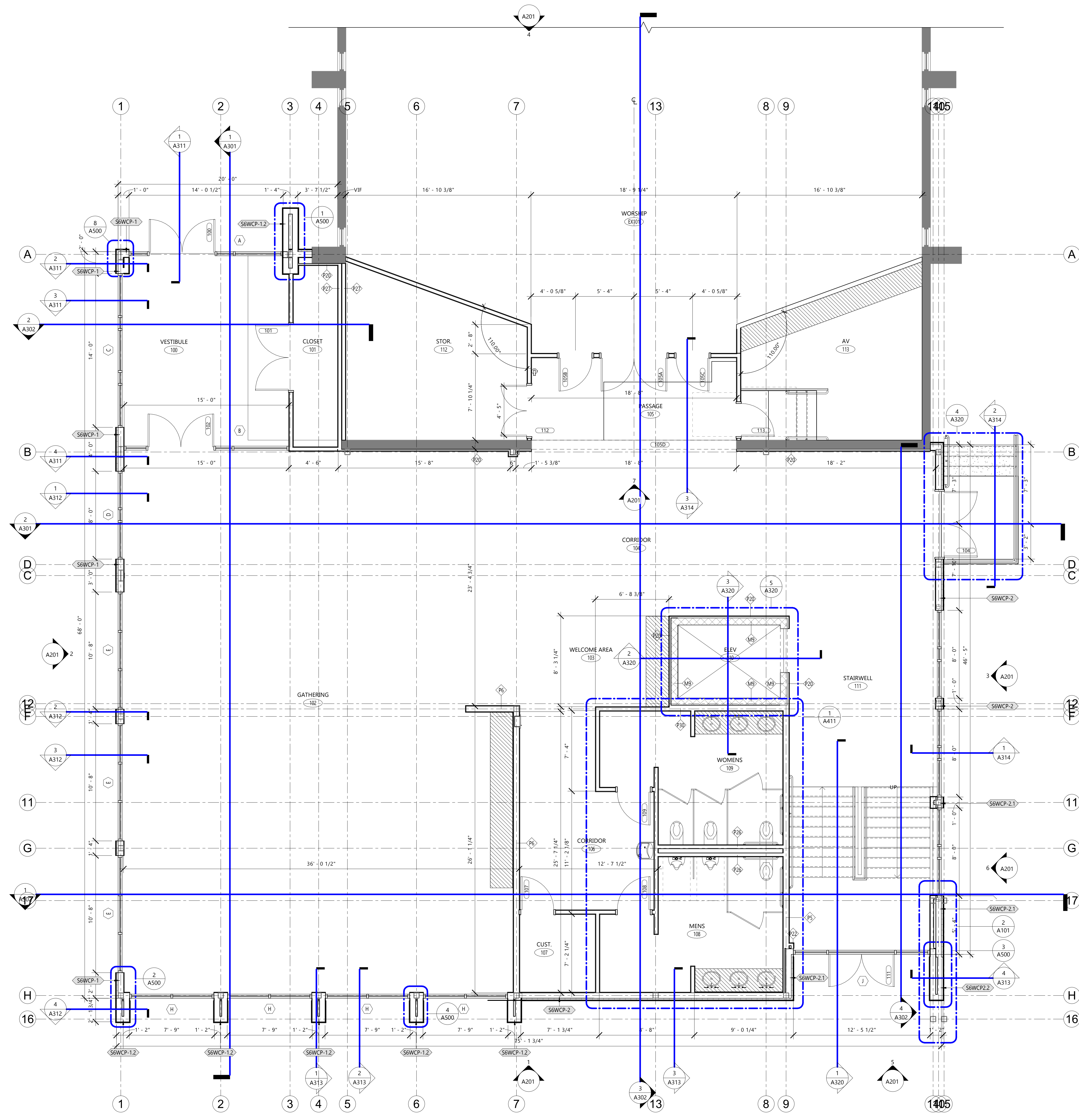
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- C. PROVIDE BLOCKING AT ALL MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 13 / A002. ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED WOOD IN BUILDINGS OF NONCOMBUSTIBLE CONSTRUCTION (IBC TYPE I & II) AND IN RATED WALLS IN BUILDINGS OF COMBUSTIBLE CONSTRUCTION (IBC TYPE III, IV, & V).
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- K. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES.
- L. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR. COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.
- M. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP, UNLESS NOTED OTHERWISE.
- N. ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION.
- O. ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK ABOVE UNLESS NOTED OTHERWISE.

**FLOOR PLAN - SYMBOL KEY**

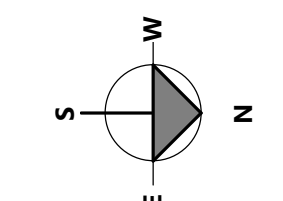
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- REMOVED WALL
- == NEW WALL
- ◇ WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION
- DOOR TAG
- ▨ MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS
- FE-# FIRE EXTINGUISHERS
  - FE-1 - RECESSED CABINET
  - FE-2 - SEMI-RECESSED CABINET
  - FE-3 - SURFACE MOUNTED CABINET
  - FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY
- PP PUSH PAD DOOR ACTUATOR
- TS TOUCHLESS SENSOR DOOR ACTUATOR
- CR CARD READER
- CJ CONTROL JOINT

| KEYED FLOOR PLAN NOTES |             |
|------------------------|-------------|
| TAG #                  | DESCRIPTION |
|                        |             |



**2 NE CORNER ALTERNATE**  
A101 1/2" = 1'-0"

**1 FLOOR PLAN - LEVEL 1**  
A101 1/4" = 1'-0"





**GROTH**  
Design  
Group

N58 W6181 COLUMBIA RD.  
P.O. BOX 332  
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PH. (262) 377-8001  
FX. (262) 377-8003

**ROOF PLAN GENERAL NOTES:**

- A. [R#] INDICATES ROOF TYPE. SEE SCHEDULE FOR ROOF TYPE INFORMATION.
- B. CONTRACTOR SHALL COORDINATE ROOFING INSTALLATION WITH MECHANICAL & PLUMBING DRAWINGS. PROVIDE CURBING AND FLASHING AS REQUIRED AT ROOF PENETRATIONS TO MAINTAIN INTEGRITY OF ROOF MEMBRANE.
- C. ALL GRAVEL STOPS AND COPINGS TO HAVE CONTINUOUS HOLD-DOWN CLIPS.
- D. PROVIDE TAPERED EDGE STRIPS AS NECESSARY AT ROOF EDGES.
- E. CONCRETE PAVERS: PROVIDE PAVERS AS SPECIFIED FROM ROOF SCUTTLERS AND LADDERS TO ALL SERVICE AREAS OF MECHANICAL EQUIPMENT.
- F. ALL ROOF PENETRATIONS AND EQUIPMENT CURBS TO BE FLASHED PER MANUFACTURER'S REQUIREMENTS.
- G. COORDINATE WITH PLUMBING DRAWINGS FOR ALL ROOF DRAIN LOCATIONS.
- H. PROVIDE APPROVED TRANSITIONS BETWEEN EXISTING ROOFING AND NEW ROOFING TO MAINTAIN EXISTING ROOF WARRANTY.
- I. AT SHINGLE ROOFING, PROVIDE PERIMETER UNDERLAYMENT AT ALL ROOF VALLEYS AND TO 3'-0" IN FROM EXISTING FACE OF WALL AT ROOF EAVES, AND AS SPECIFICALLY NOTED ON THE DRAWINGS.

| KEYED ROOF PLAN NOTES |             |
|-----------------------|-------------|
| TAG #                 | DESCRIPTION |

1 DASHED LINE REPRESENTS EXTERIOR FACE OF STUD BELOW

| ROOF TYPES |  |
|------------|--|
| TYPE MARK  | DESCRIPTION  |
| R1         | 60MIL BLACK EPDM, FULLY ADHERED<br>1/2" GLASS-MAT GYPSUM COVERBOARD<br>- TAPERED POLYISOCYANURATE INSULATION<br>- MINIMUM 5" (R-30) POLYISOCYANURATE INSULATION<br>(2 LAYERS W/ STAGGERED JOINTS)<br>- 30 MIL VAPOR RETARDER<br>- 5/8" GLASS-MAT GYPSUM SUBSTRATE BOARD<br>- METAL DECK, SEE STRUCTURAL<br>- FRAMING, SEE STRUCTURAL |

PROJECT

CITY ON A HILL  
ADDITION

2924 FISH  
HATCHERY RD.  
FITCHBURG,  
WISCONSIN  
53713

NO. REV. DATE DESCRIPTION

PROGRESS  
DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

**PROJECT INFO**

Date: 07.21.25  
Project No.: 25.005

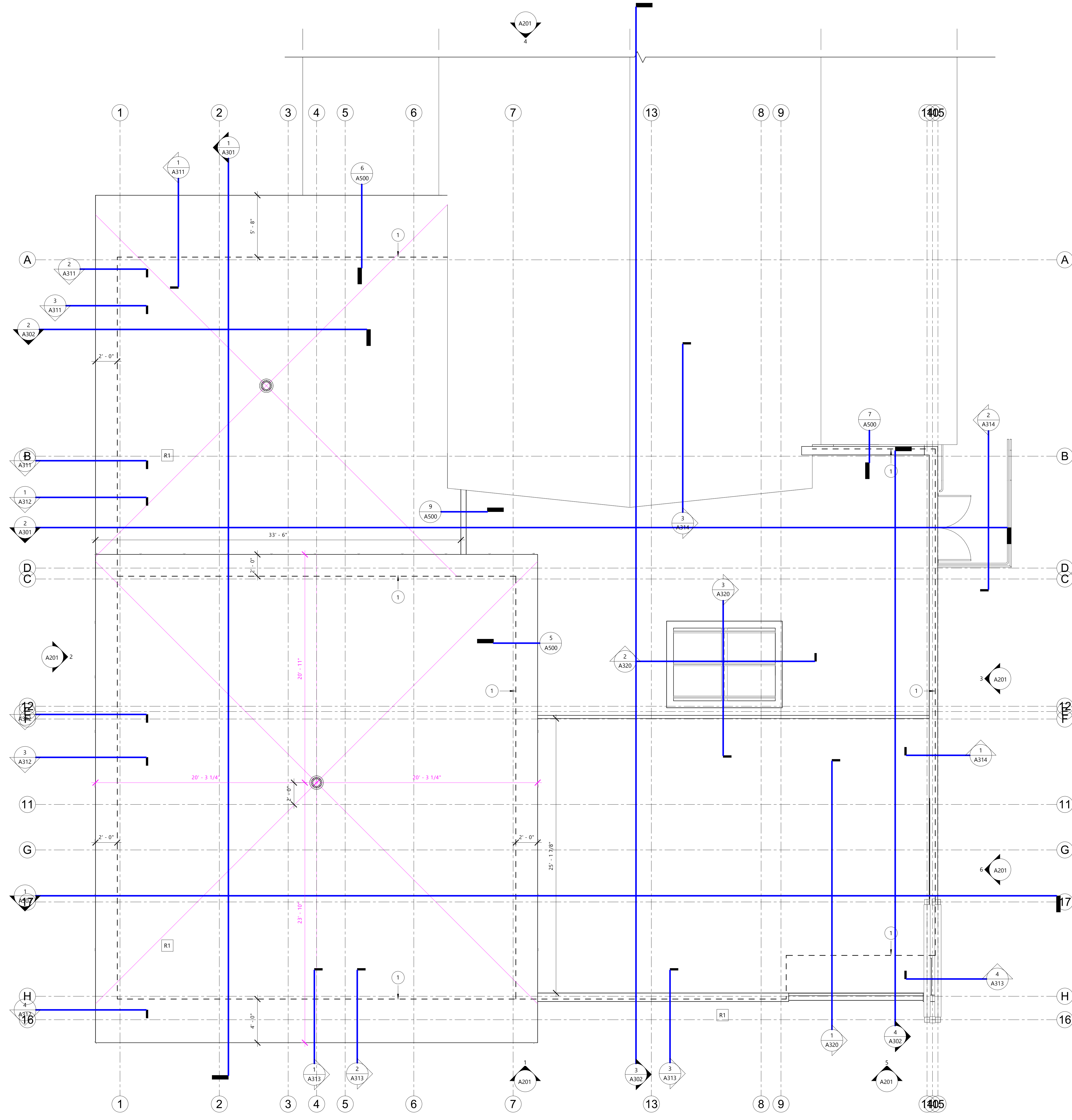
**SHEET TITLE**

ROOF PLAN

**A102**

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DESIGN DEVELOPMENT SET



7/18/2025 4:52:10 PM

**BUILDING SECTION GENERAL NOTES:**

- A. ALL STRUCTURAL, MECHANICAL, FIRE PROTECTION, PLUMBING, AND ELECTRICAL SHOWN IN THIS DRAWING SHOWN FOR REFERENCE ONLY. COORDINATE WITH RESPECTIVE DRAWINGS FOR ADDITIONAL INFORMATION.
- B. BUILDING SECTIONS ARE SCHEMATIC AND SHOWN TO GIVE SENSE OF HEIGHT & SCALE ONLY. SEE PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.



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PROJECT

CITY ON A HILL  
ADDITION

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07.21.25

Project No.:

25.005

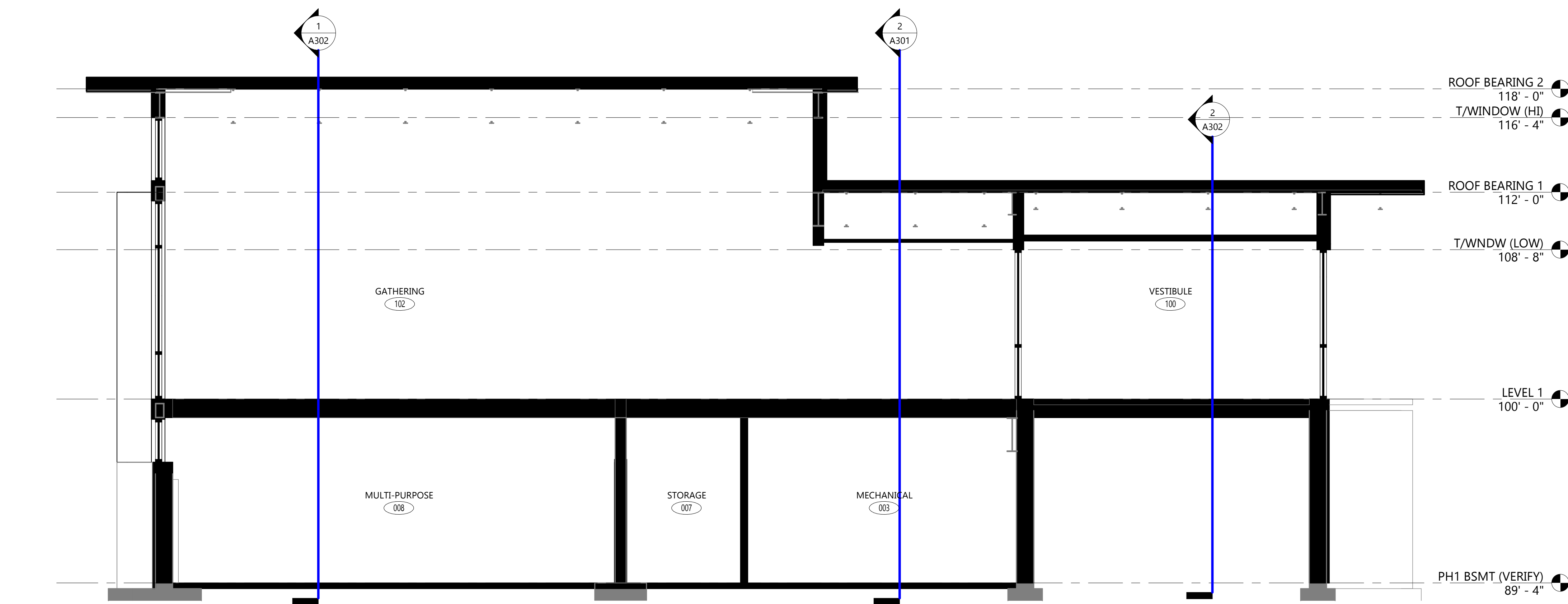
SHEET TITLE

BUILDING SECTIONS

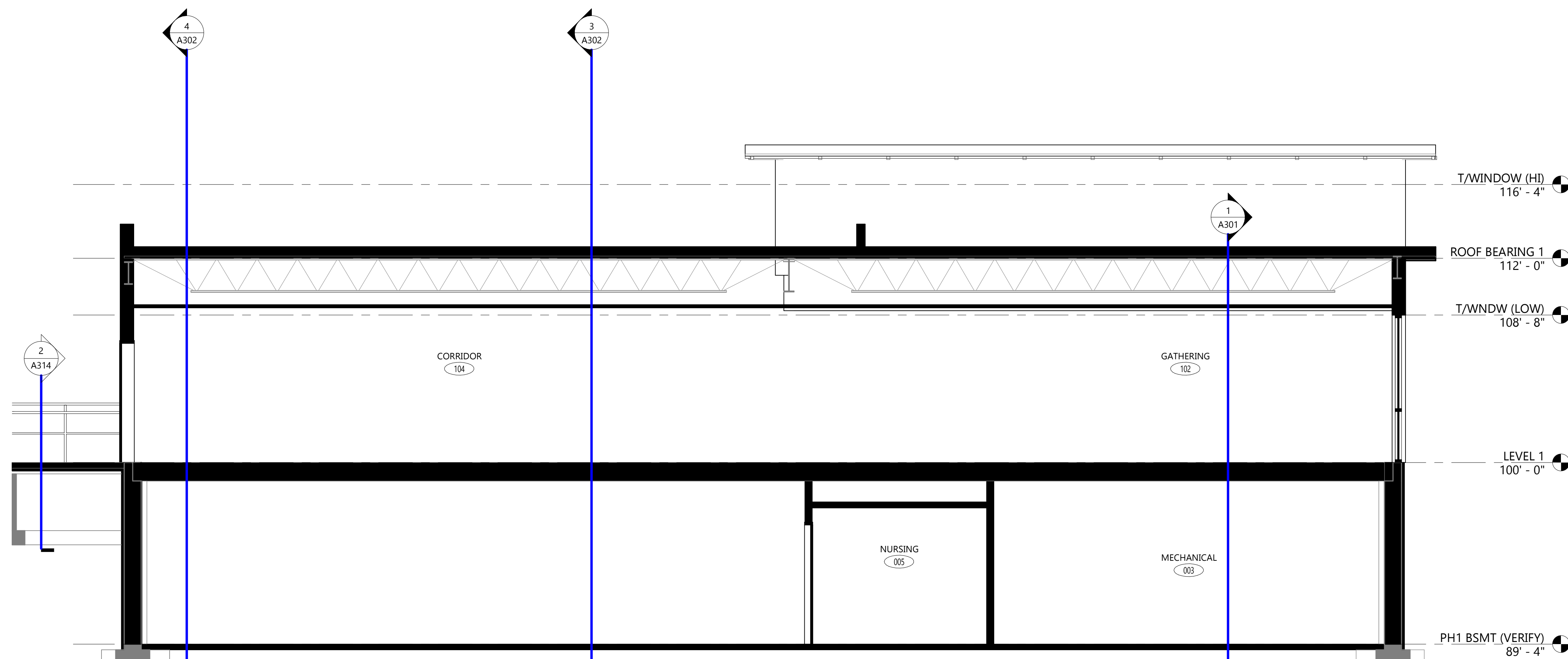
**A301**

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DESIGN DEVELOPMENT SET



**1 BUILDING SECTION 1**  
A301 1/4" = 1'-0"



**2 BUILDING SECTION 2**  
A301 1/4" = 1'-0"

**BUILDING SECTION GENERAL NOTES:**

- A. ALL STRUCTURAL, MECHANICAL, FIRE PROTECTION, PLUMBING, AND ELECTRICAL SHOWN IN THIS DRAWING SHOWN FOR REFERENCE ONLY. COORDINATE WITH RESPECTIVE DRAWINGS FOR ADDITIONAL INFORMATION.
- B. BUILDING SECTIONS ARE SCHEMATIC AND SHOWN TO GIVE SENSE OF HEIGHT & SCALE ONLY. SEE PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.



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PROJECT

CITY ON A HILL  
ADDITION

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HATCHERY RD.  
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53713

NO. REV. DATE DESCRIPTION

**PROGRESS DOCUMENTS**

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**PROJECT INFO**

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Project No.:

25.005

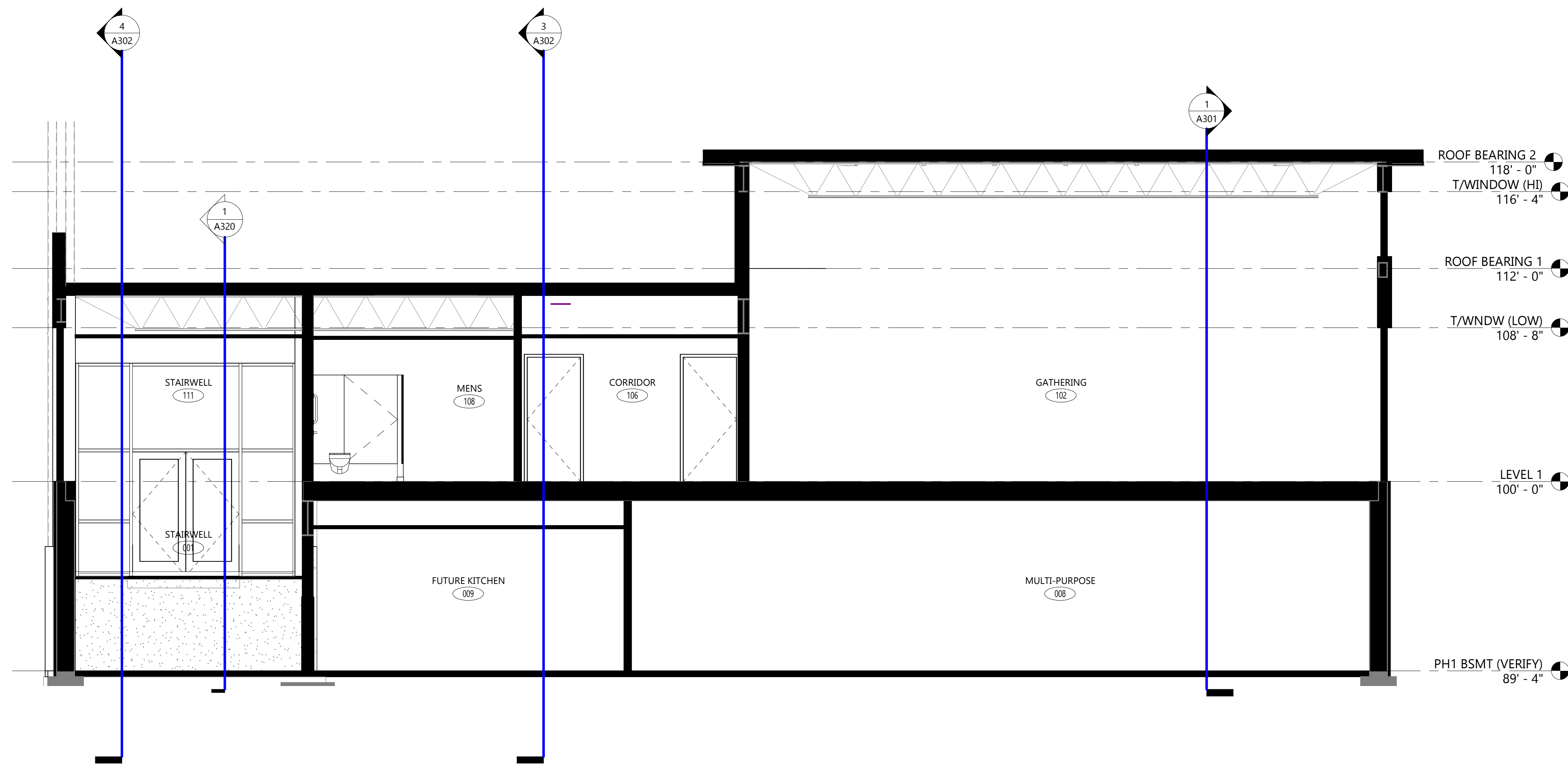
**SHEET TITLE**

BUILDING SECTIONS

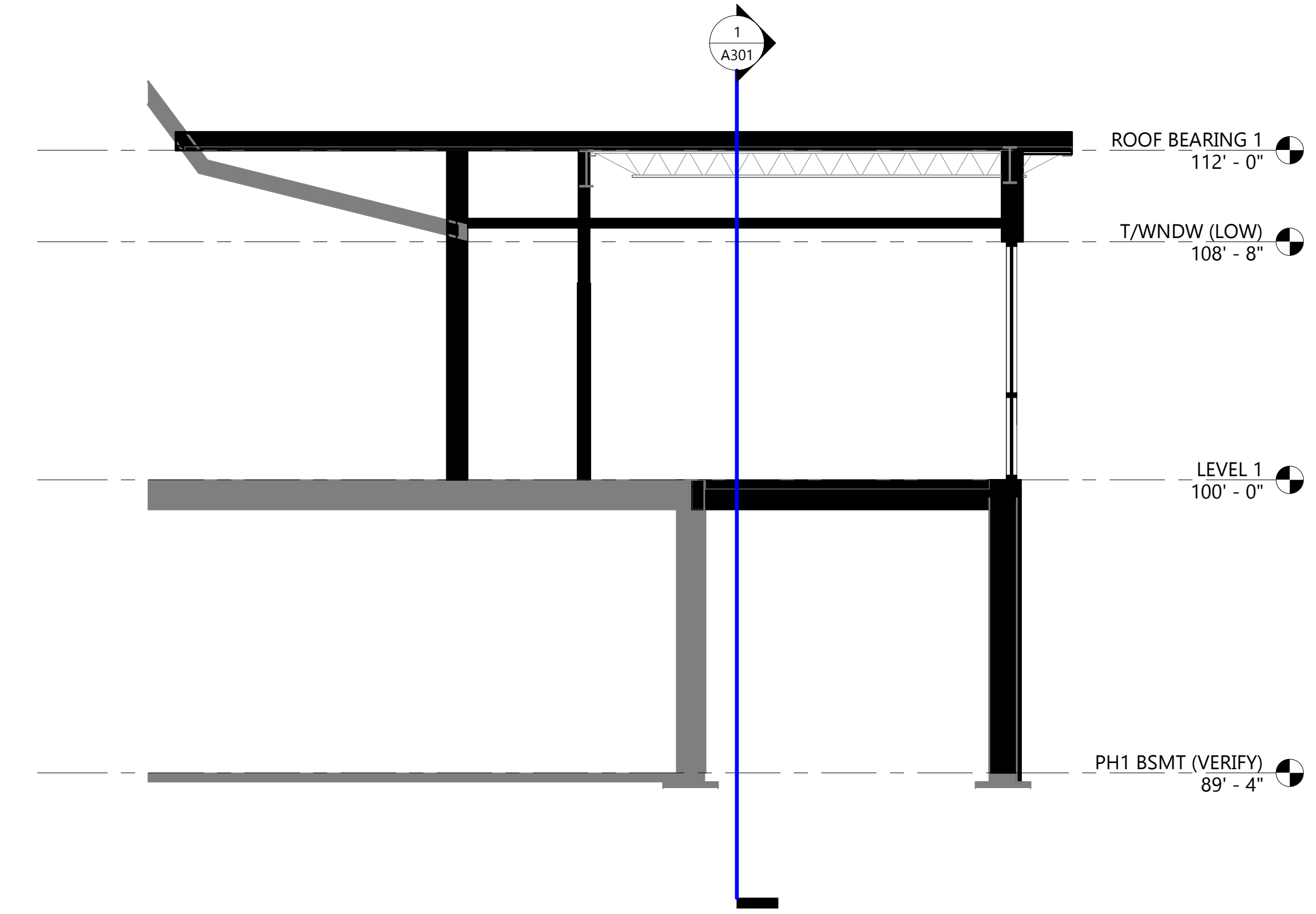
**A302**

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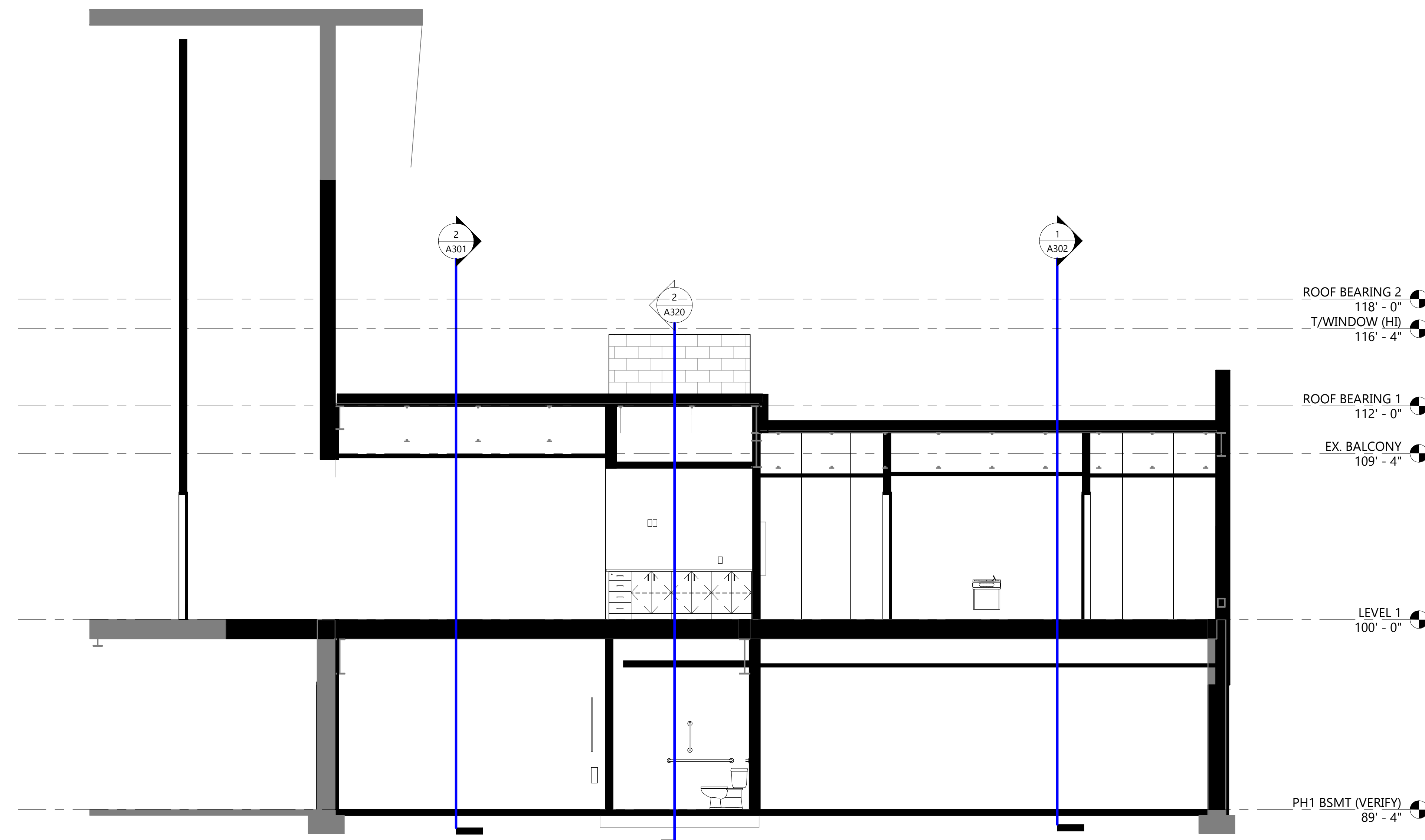
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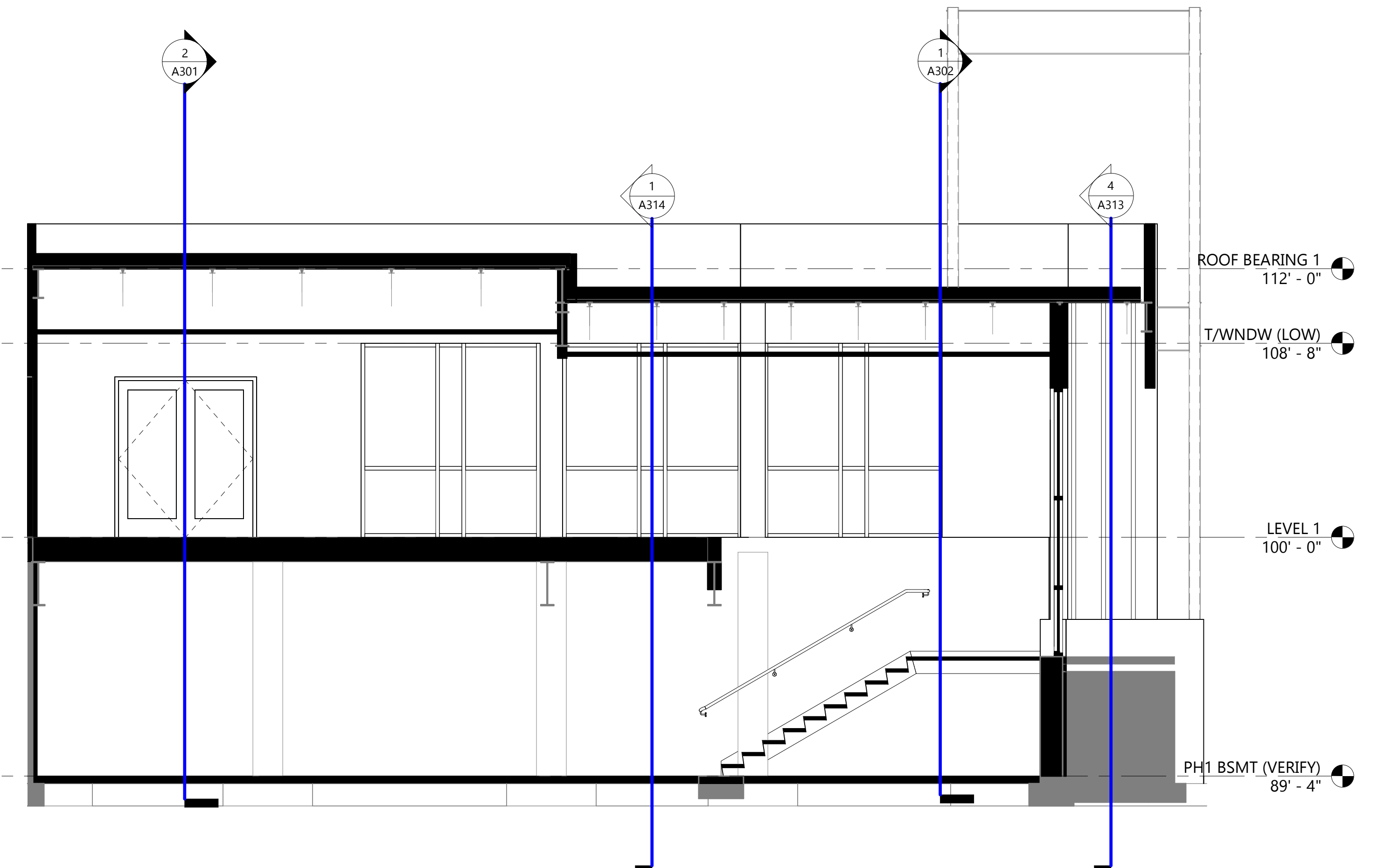
**1** BUILDING SECTION 3  
A302 1/4" = 1'-0"



**2** BUILDING SECTION 4  
A302 1/4" = 1'-0"



**3** BUILDING SECTION 6  
A302 1/4" = 1'-0"



**4** BUILDING SECTION 5  
A302 1/4" = 1'-0"



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PROJECT

**CITY ON A HILL  
ADDITION**

**2924 FISH  
HATCHERY RD.  
FITCHBURG,  
WISCONSIN  
53713**

NO. REV. DATE DESCRIPTION

**PROGRESS  
DOCUMENTS**

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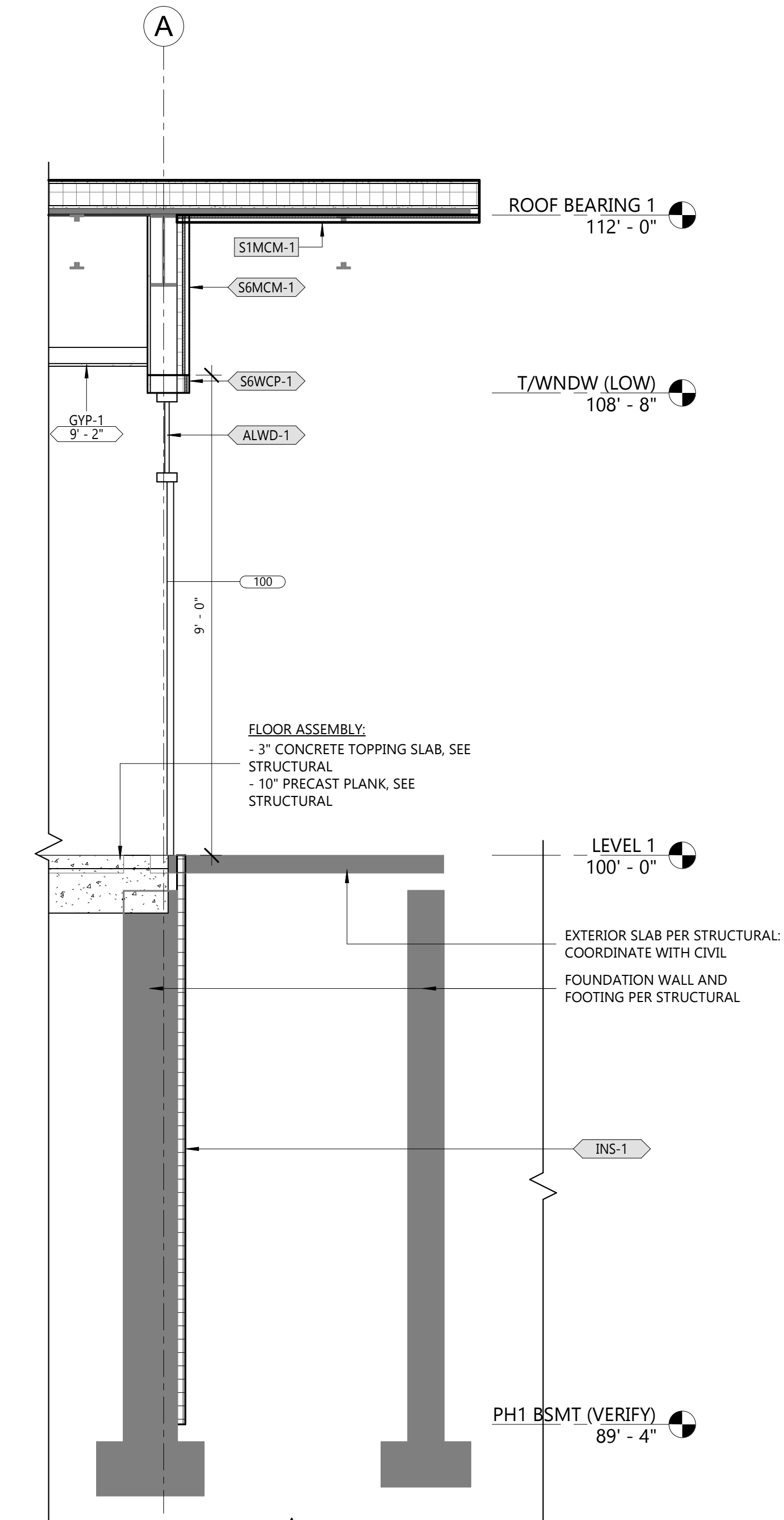
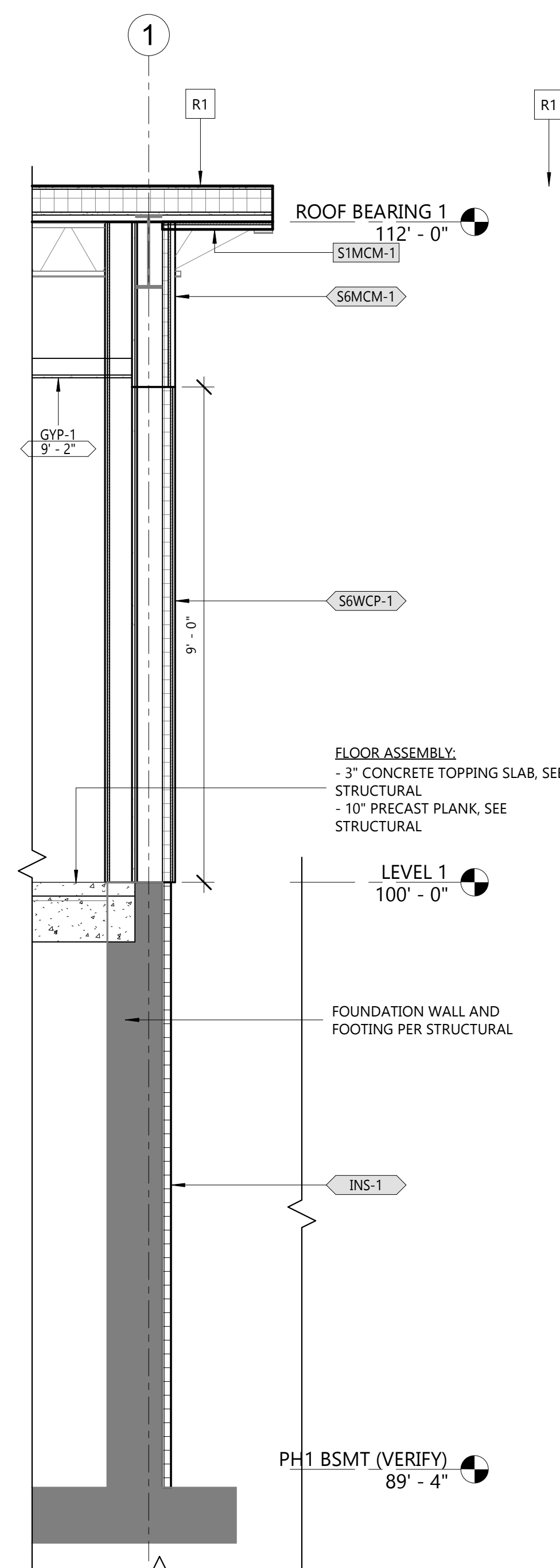
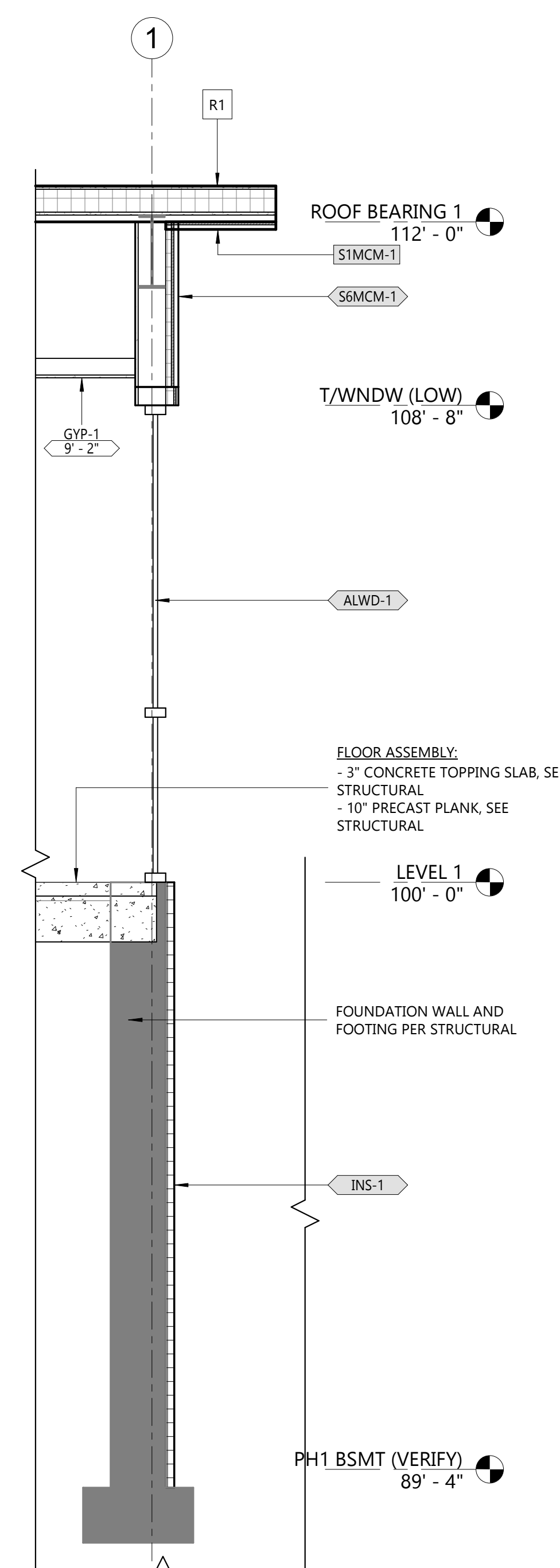
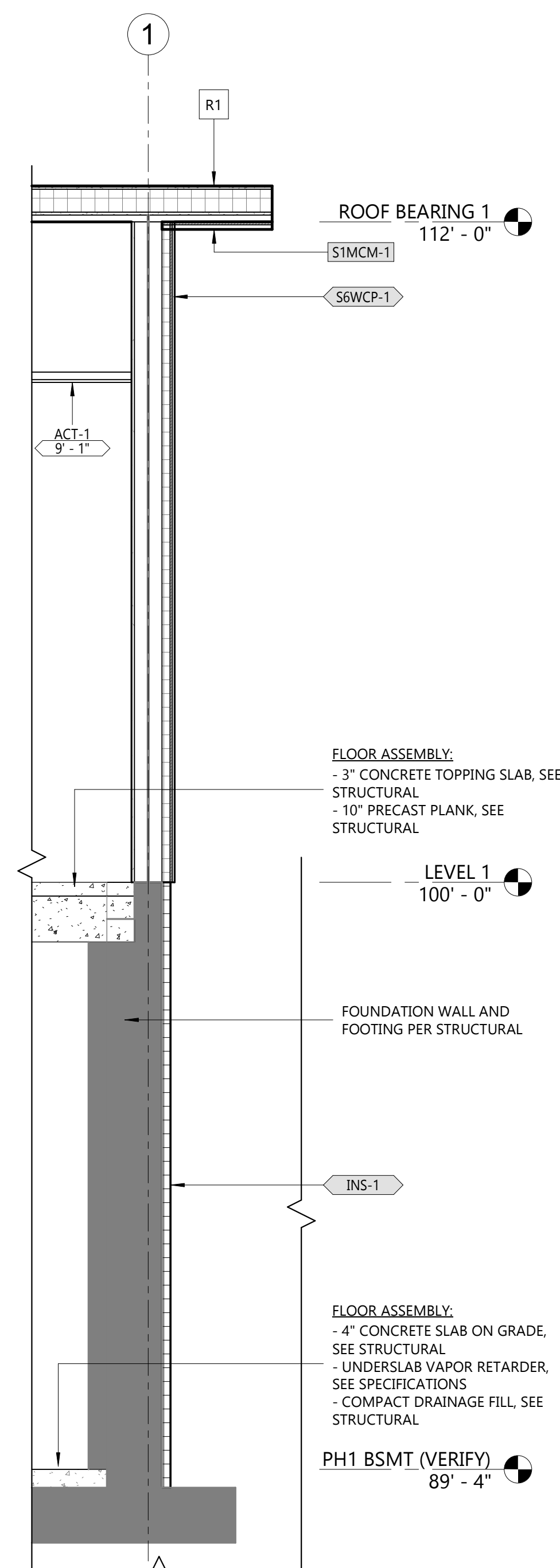
**SHEET TITLE**

WALL SECTIONS

**A311**

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| WALL SECTION SCHEDULE <sup>1A</sup> |   |
|-------------------------------------|---|
| CODE                                | DESCRIPTION   |
| <b>EXTERIOR WALL</b>                |   |
| EPDM-1                              | - BLACK FOUNDATION COVERBOARD<br>- 1/2" POLYISOCYANURATE INSULATION   |
| INS-1                               | - BLACK FOUNDATION COVERBOARD<br>- 1/2" POLYISOCYANURATE INSULATION   |
| SEMCM-1                             | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD  |
| SEMCM-1.2                           | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 3 5/8" METAL STUD FRAMING  |
| SWWCP2.2                            | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 6" METAL STUD FRAMING   |
| SWWCP-1                             | - WCP-1 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD   |
| SWWCP-1.2                           | - WCP-1 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 6" METAL STUD FRAMING   |
| SWWCP-2                             | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD   |
| SWWCP-2.1                           | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER  |
| <b>FLOOR</b>                        |   |
| FLR-1                               | - 4" CONCRETE SLAB ON GRADE, SEE STRUCTURAL<br>- UNDERSLAB VAPOR RETARDER, SEE SPECIFICATIONS<br>- COMPACT DRAINAGE FILL, SEE STRUCTURAL  |
| FLR-2                               | - 3" CONCRETE TOPPING SLAB, SEE STRUCTURAL<br>- 10" PRECAST PLANK, SEE STRUCTURAL   |
| <b>ROOF</b>                         |   |
| R1                                  | - 60MIL BLACK EPDM, FULLY ADHERED<br>- 1/2" GLASS-MAT GYPSUM COVERBOARD<br>- TAPERED POLYISOCYANURATE INSULATION<br>- MINIMUMUM 5" (R-30) POLYISOCYANURATE INSULATION (2 LAYERS W/ STAGGERED JOINTS)<br>- 30 MIL VAPOR RETARDER<br>- 5/8" GLASS-MAT GYPSUM SUBSTRATE BOARD<br>- METAL DECK, SEE STRUCTURAL<br>- FRAMING, SEE STRUCTURAL |
| <b>SOFFIT</b>                       |   |
| S1MCM-1                             | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 3 5/8" METAL STUD FRAMING  |
| <b>WINDOW SYSTEM - ALUMINUM</b>     |   |
| ALWD-1                              | - ALUMINUM STOREFRONT SYSTEM<br>- BASIS OF DESIGN KAWNEER 4511 CENTER SET   |



**4** WALL SECTION 4  
A311 1/2" = 1'-0"

**3** WALL SECTION 3  
A311 1/2" = 1'-0"

**2** WALL SECTION 2  
A311 1/2" = 1'-0"

**1** WALL SECTION 1  
A311 1/2" = 1'-0"



**GROTH**  
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PROJECT

**CITY ON A HILL  
ADDITION**

**2924 FISH  
HATCHERY RD.  
FITCHBURG,  
WISCONSIN  
53713**

NO. REV. DATE DESCRIPTION

**PROGRESS  
DOCUMENTS**

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**PROJECT INFO**

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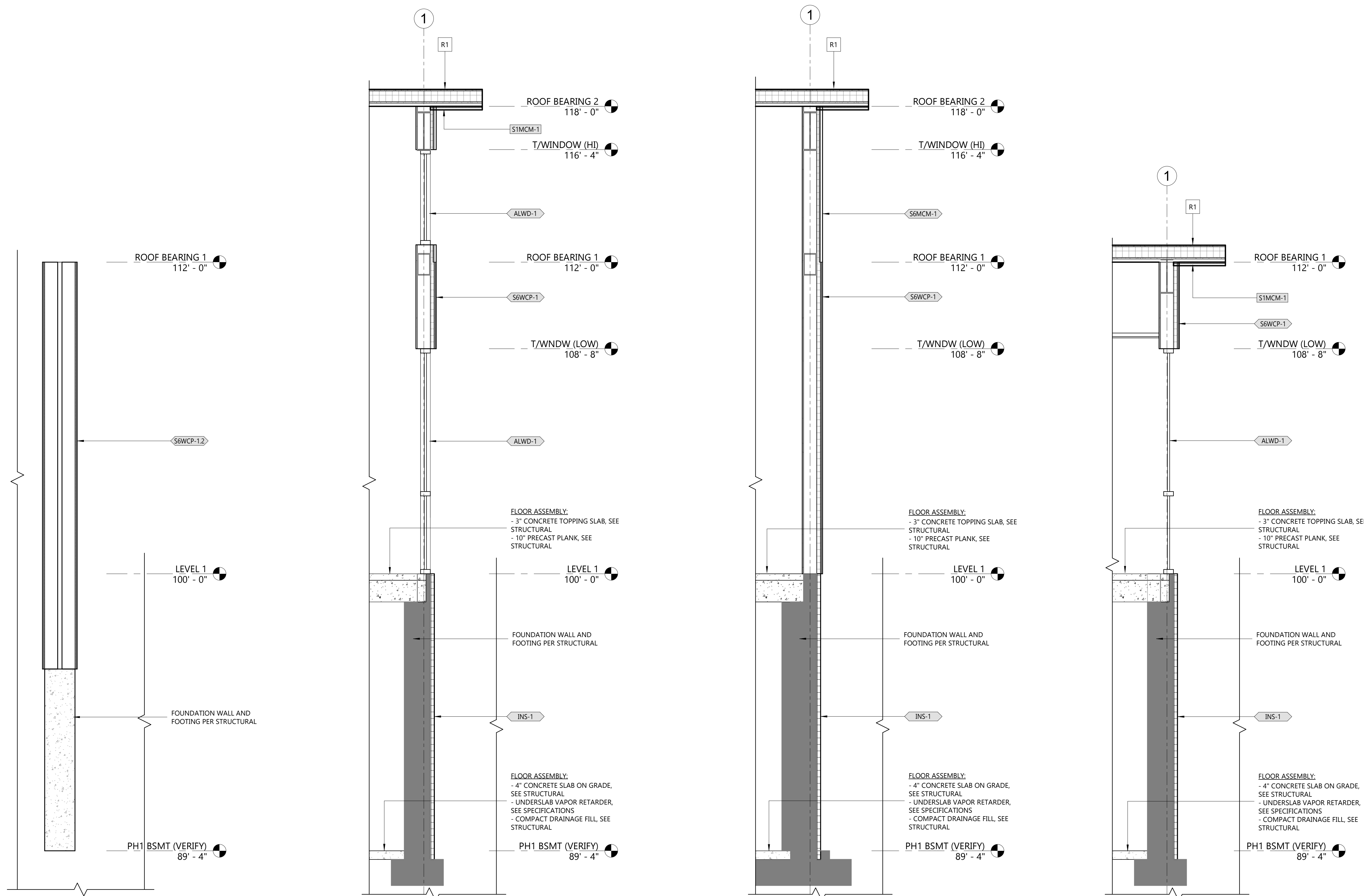
**SHEET TITLE**

WALL SECTIONS

**A312**

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DESIGN DEVELOPMENT SET



| WALL SECTION SCHEDULE <sup>1</sup> |   |
|------------------------------------|---|
| CODE                               | DESCRIPTION   |
| <b>EXTERIOR WALL</b>               |   |
| EPDM-1                             | - BLACK FOUNDATION COVERBOARD<br>- 3/4" POLYISOCYANURATE FOUNDATION INSULATION  |
| INS-1                              | - BLACK FOUNDATION COVERBOARD<br>- 3/4" POLYISOCYANURATE FOUNDATION INSULATION  |
| SMCM-1                             | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD  |
| SMCM-1.2                           | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 3 5/8" METAL STUD FRAMING  |
| SWWCP2.2                           | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 6" METAL STUD FRAMING   |
| SWWCP-1                            | - WCP-1 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD   |
| SWWCP-1.2                          | - WCP-1 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 6" METAL STUD FRAMING   |
| SWWCP-2                            | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD   |
| SWWCP-2.1                          | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER  |
| <b>FLOOR</b>                       |   |
| FLR-1                              | - 4" CONCRETE SLAB ON GRADE, SEE STRUCTURAL<br>- UNDERSLAB VAPOR RETARDER, SEE SPECIFICATIONS<br>- COMPACT DRAINAGE FILL, SEE STRUCTURAL  |
| FLR-2                              | - 3" CONCRETE TOPPING SLAB, SEE STRUCTURAL<br>- 10" PRECAST PLANK, SEE STRUCTURAL   |
| <b>ROOF</b>                        |   |
| R1                                 | - 60MIL BLACK EPDM, FULLY ADHERED<br>- 1/2" GLASS-MAT GYPSUM COVERBOARD<br>- TAPERED POLYISOCYANURATE INSULATION<br>- MINIMUM 5" (R-30) POLYISOCYANURATE INSULATION (2 LAYERS W/ STAGGERED JOINTS)<br>- 30 MIL VAPOR RETARDER<br>- 5/8" GLASS-MAT GYPSUM SUBSTRATE BOARD<br>- METAL DECK, SEE STRUCTURAL<br>- FRAMING, SEE STRUCTURAL |
| <b>SOFFIT</b>                      |   |
| S1MCM-1                            | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 3 5/8" METAL STUD FRAMING  |
| <b>WINDOW SYSTEM - ALUMINUM</b>    |   |
| ALWD-1                             | - ALUMINUM STOREFRONT SYSTEM<br>- BASIS OF DESIGN KAWNEER 451T CENTER SET   |

**4** WALL SECTION 8  
A312 1/2" = 1'-0"

**3** WALL SECTION 7  
A312 1/2" = 1'-0"

**2** WALL SECTION 6  
A312 1/2" = 1'-0"

**1** WALL SECTION 5  
A312 1/2" = 1'-0"

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PROJECT

**CITY ON A HILL  
ADDITION**

**2924 FISH  
HATCHERY RD.  
FITCHBURG,  
WISCONSIN  
53713**

NO. REV. DATE DESCRIPTION

**PROGRESS  
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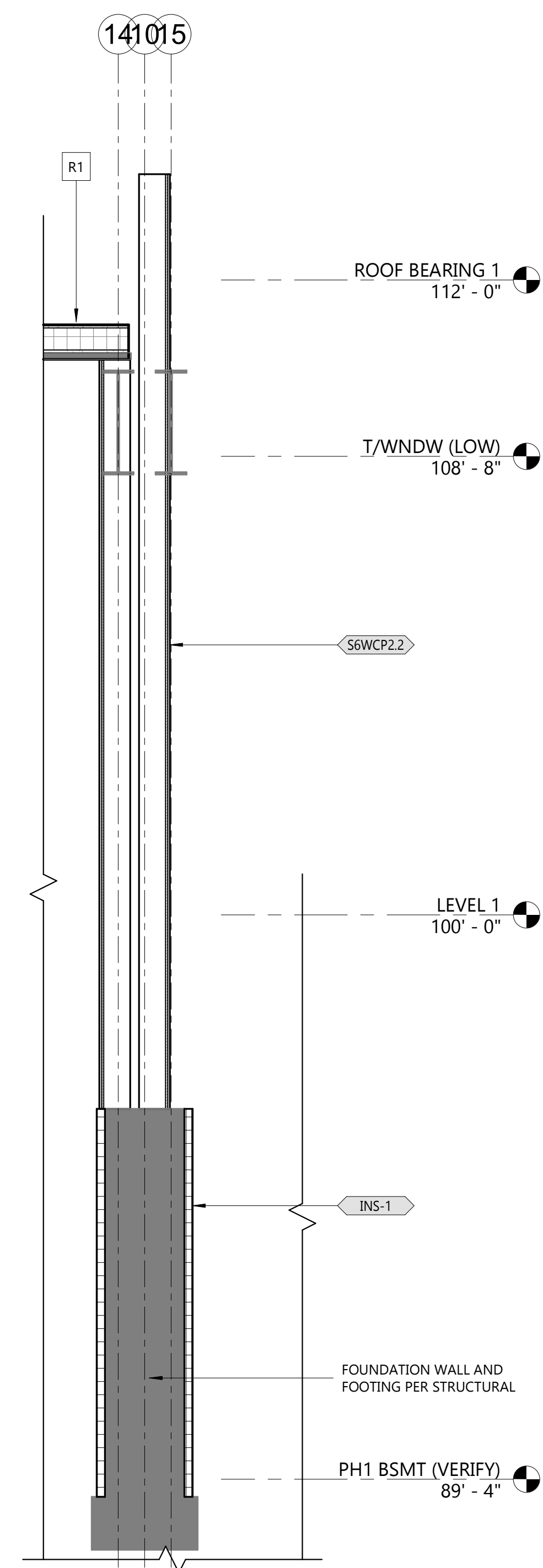
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WALL SECTIONS

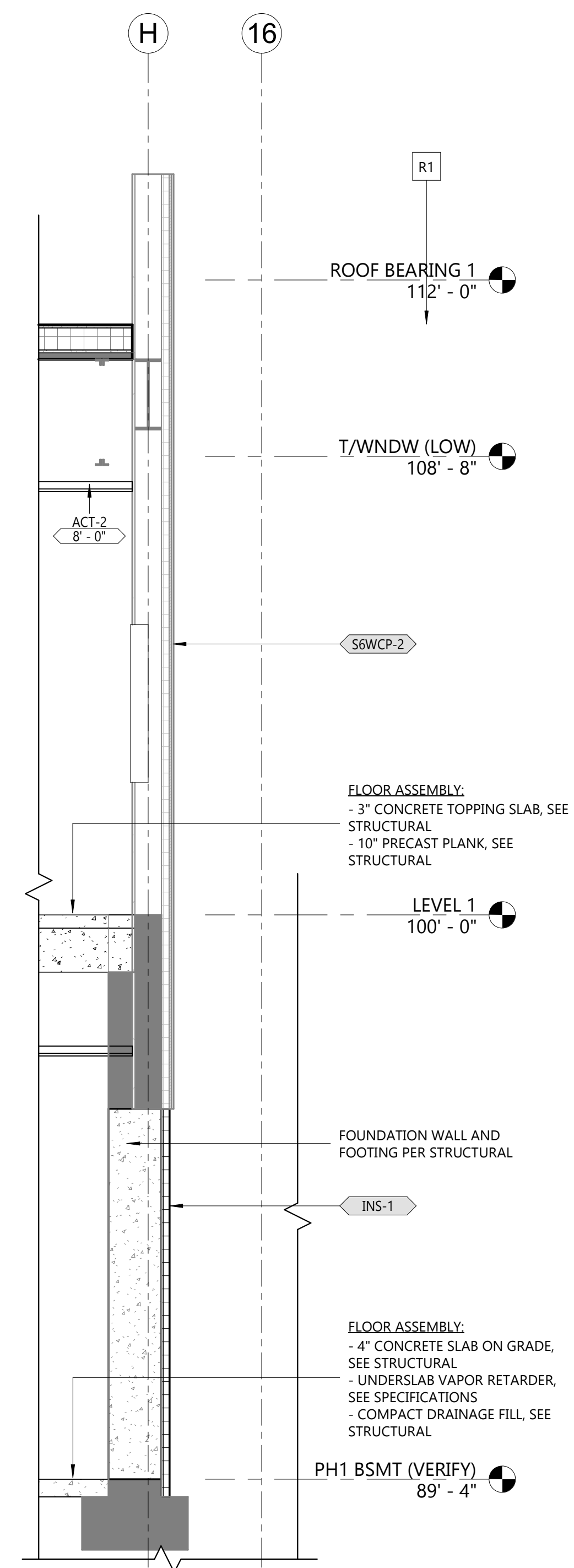
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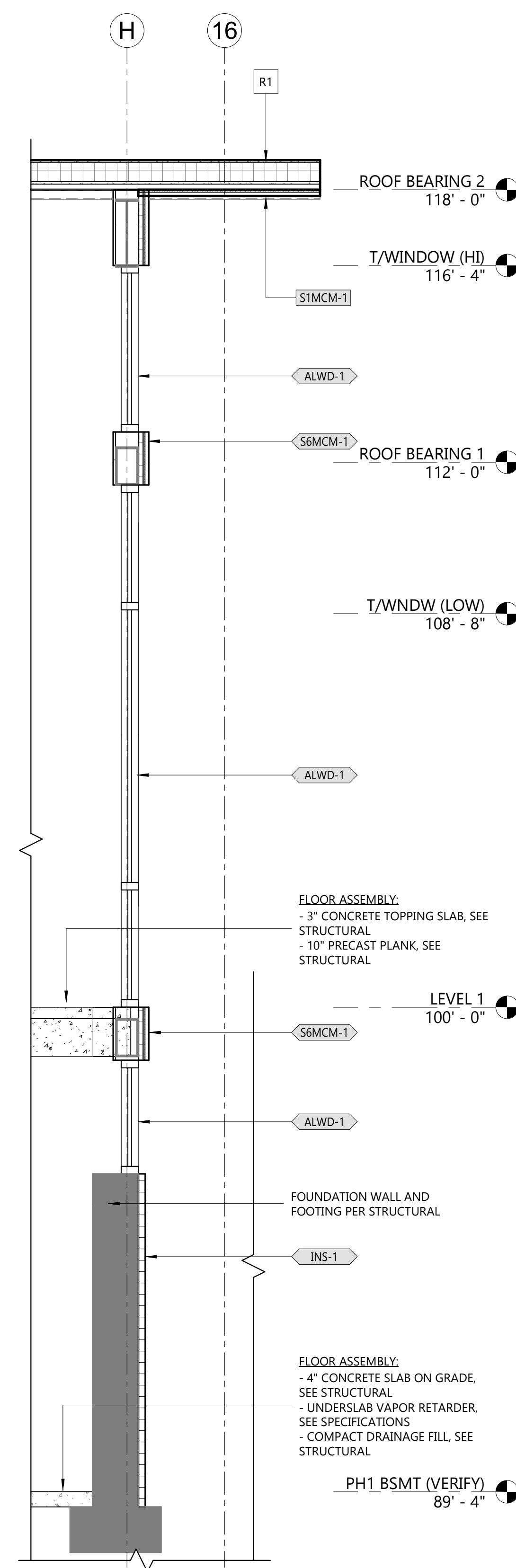
DESIGN DEVELOPMENT SET



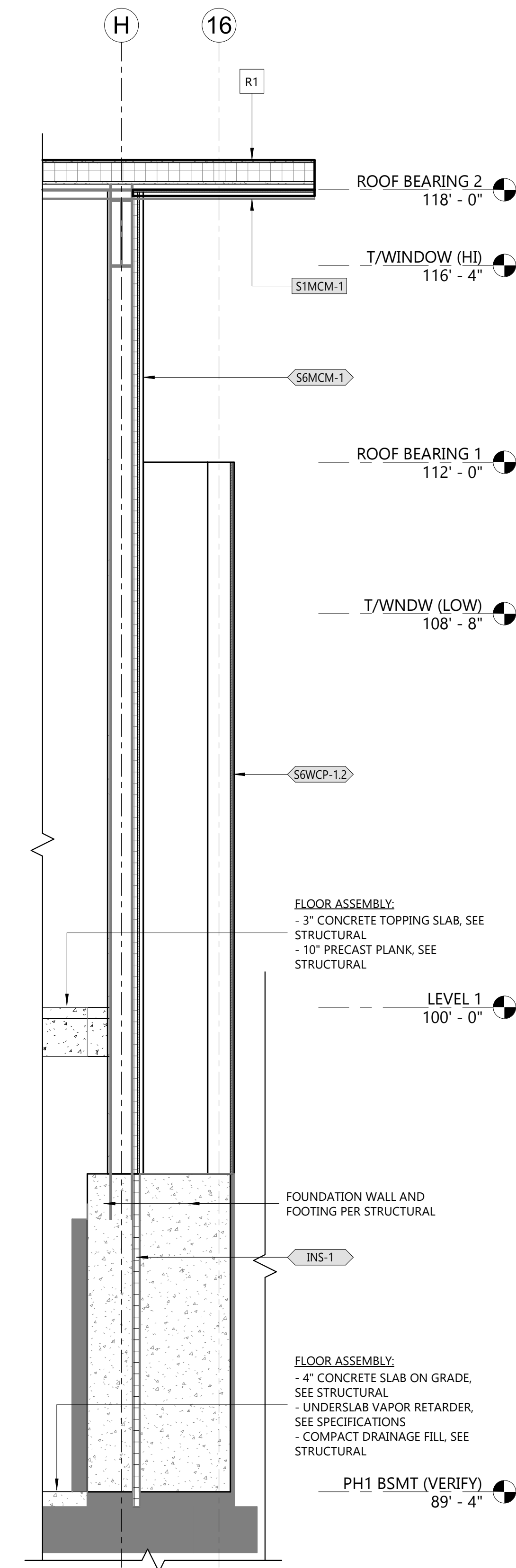
**4** WALL SECTION 12  
A313 1/2" = 1'-0"



**3** WALL SECTION 11  
A313 1/2" = 1'-0"



**2** WALL SECTION 10  
A313 1/2" = 1'-0"



**1** WALL SECTION 9  
A313 1/2" = 1'-0"

| WALL SECTION SCHEDULE <sup>1</sup> |   |
|------------------------------------|---|
| CODE                               | DESCRIPTION   |
| <b>EXTERIOR WALL</b>               |   |
| EPDM-1                             | - BLACK FOUNDATION COVERBOARD<br>- 1 3/4" POLYISOCYANURATE FOUNDATION INSULATION  |
| INS-1                              | - BLACK FOUNDATION COVERBOARD<br>- 1 3/4" POLYISOCYANURATE FOUNDATION INSULATION  |
| 56MCM-1                            | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 1/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD  |
| 56MCM-1.2                          | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 3 5/8" METAL STUD FRAMING  |
| 56WCP-2.2                          | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 6" METAL STUD FRAMING   |
| 56WCP-1                            | - WCP-1 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD   |
| 56WCP-1.2                          | - WCP-1 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 6" METAL STUD FRAMING   |
| 56WCP-2                            | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD   |
| 56WCP-2.1                          | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER  |
| <b>FLOOR</b>                       |   |
| FLR-1                              | - 4" CONCRETE SLAB ON GRADE, SEE STRUCTURAL<br>- UNDERSLAB VAPOR RETARDER, SEE SPECIFICATIONS<br>- COMPACT DRAINAGE FILL, SEE STRUCTURAL  |
| FLR-2                              | - 3" CONCRETE TOPPING SLAB, SEE STRUCTURAL<br>- 10" PRECAST PLANK, SEE STRUCTURAL   |
| <b>ROOF</b>                        |   |
| R1                                 | - 60MIL BLACK EPDM, FULLY ADHERED<br>- 1/2" GLASS-MAT GYPSUM COVERBOARD<br>- TAPERED POLYISOCYANURATE INSULATION<br>- MINIMUM 5" (R-30) POLYISOCYANURATE INSULATION (2 LAYERS W/ STAGGERED JOINTS)<br>- 30 MIL VAPOR RETARDER<br>- 5/8" GLASS-MAT GYPSUM SUBSTRATE BOARD<br>- METAL DECK, SEE STRUCTURAL<br>- FRAMING, SEE STRUCTURAL |
| <b>SOFFIT</b>                      |   |
| 51MCM-1                            | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 3 5/8" METAL STUD FRAMING  |
| <b>WINDOW SYSTEM - ALUMINUM</b>    |   |
| ALWD-1                             | - ALUMINUM STOREFRONT SYSTEM<br>- BASIS OF DESIGN KAWNEER 451T CENTER SET   |



**GROTH**  
Design  
Group

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PROJECT

**CITY ON A HILL  
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WISCONSIN  
53713**

NO. REV. DATE DESCRIPTION

**PROGRESS  
DOCUMENTS**

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**PROJECT INFO**

Date:

07.21.25

Project No.:

25.005

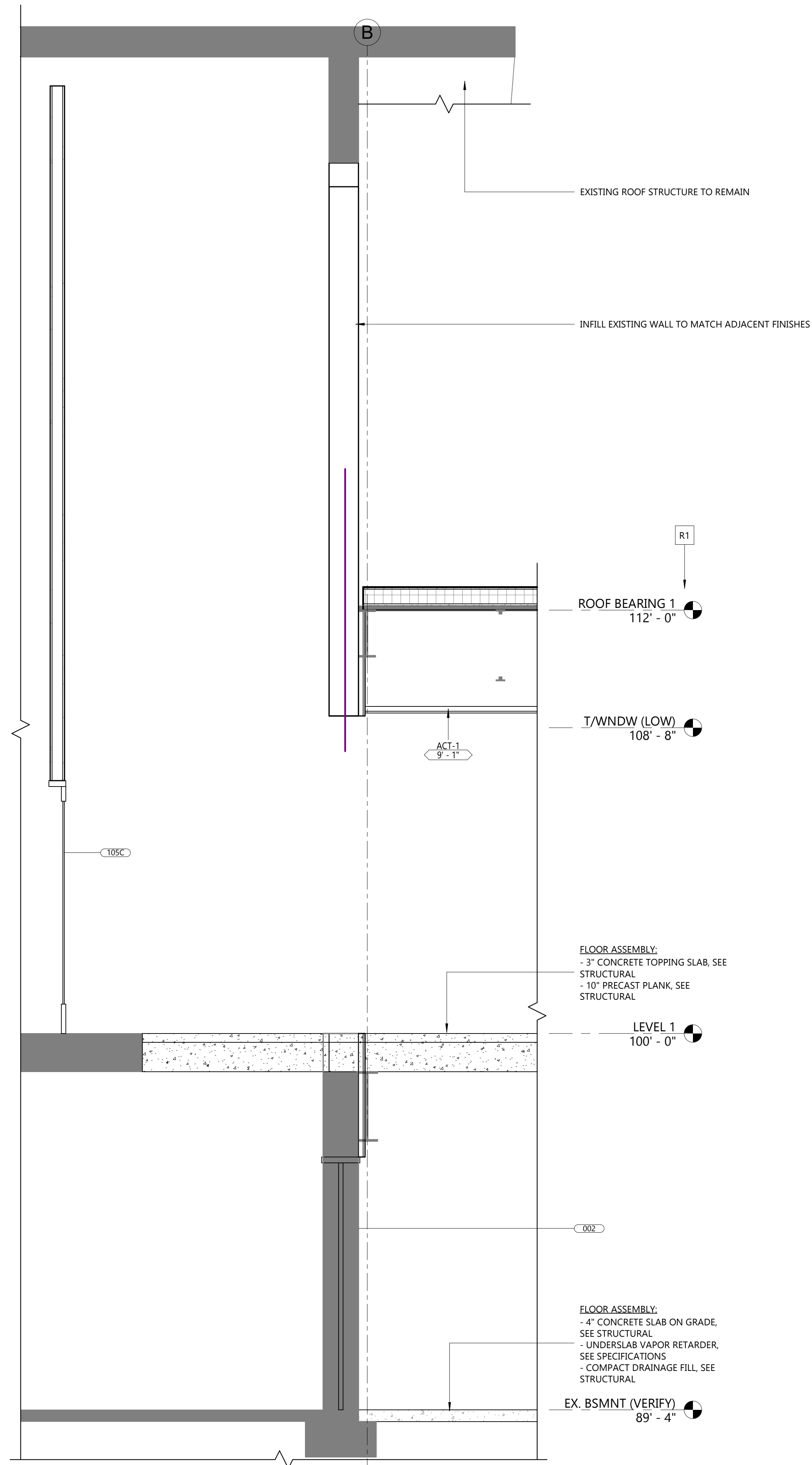
**SHEET TITLE**

WALL SECTIONS

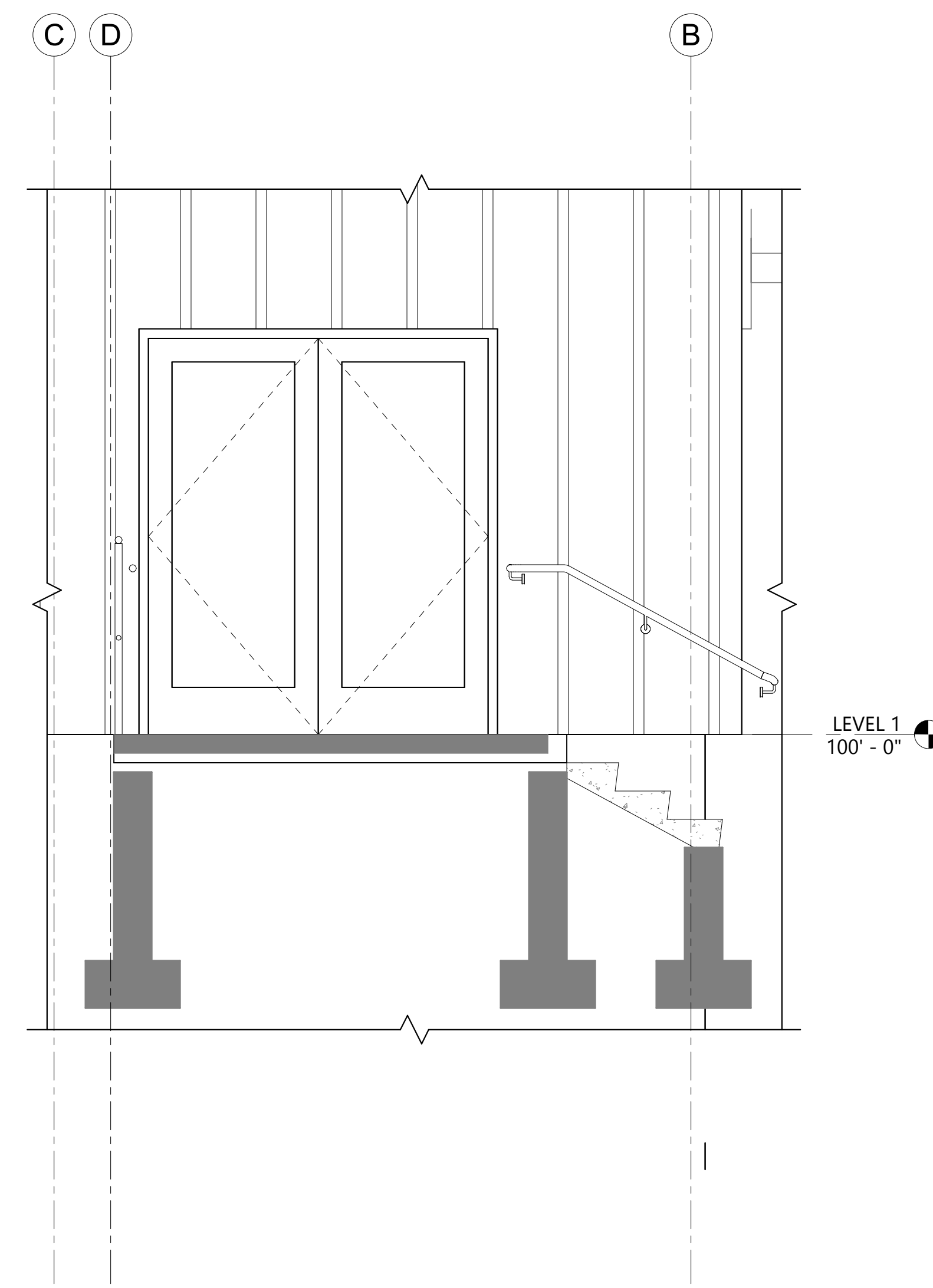
**A314**

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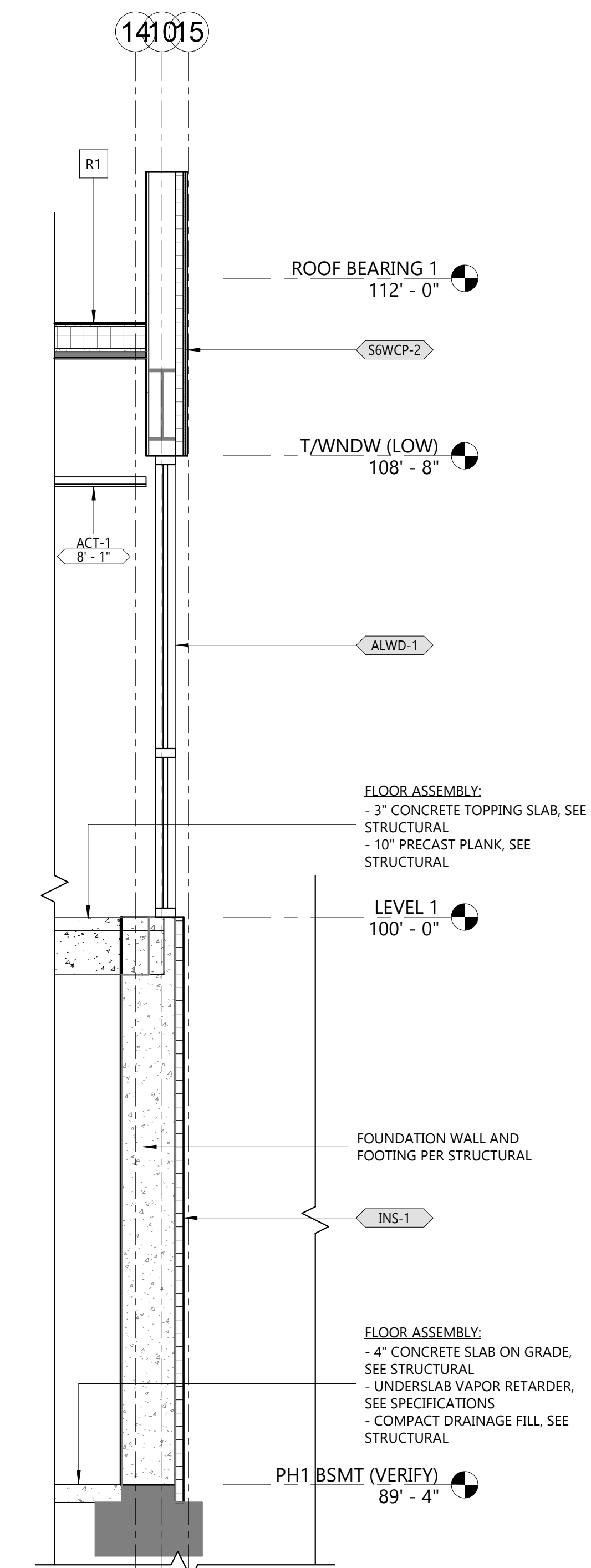
DESIGN DEVELOPMENT SET



**3** WALL SECTION 15  
A314 1/2" = 1'-0"



**2** WALL SECTION 14  
A314 1/2" = 1'-0"



**1** WALL SECTION 13  
A314 1/2" = 1'-0"

| WALL SECTION SCHEDULE <sup>1</sup> |   |
|------------------------------------|---|
| CODE                               | DESCRIPTION   |
| <b>EXTERIOR WALL</b>               |   |
| EPDM-1                             | - BLACK FOUNDATION COVERBOARD<br>- 1 3/4" POLYISOCYANURATE FOUNDATION INSULATION  |
| INS-1                              | - BLACK FOUNDATION COVERBOARD<br>- 1 3/4" POLYISOCYANURATE FOUNDATION INSULATION  |
| SEMCM-1                            | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 1/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD  |
| SEMCM-1.2                          | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 3 5/8" METAL STUD FRAMING  |
| SWWCP2.2                           | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 6" METAL STUD FRAMING   |
| SWWCP-1                            | - WCP-1 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD   |
| SWWCP-1.2                          | - WCP-1 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 6" METAL STUD FRAMING   |
| SWWCP-2                            | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER<br>- 5/8" GYPSUM BOARD   |
| SWWCP-2.1                          | - WCP-2 WOOD COMPOSITE PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 1 3/4" POLYISOCYANURATE INSULATION<br>- 6" METAL STUD FRAMING<br>- VAPOR BARRIER  |
| <b>FLOOR</b>                       |   |
| FLR-1                              | - 4" CONCRETE SLAB ON GRADE, SEE STRUCTURAL<br>- UNDERSLAB VAPOR RETARDER, SEE SPECIFICATIONS<br>- COMPACT DRAINAGE FILL, SEE STRUCTURAL  |
| FLR-2                              | - 3" CONCRETE TOPPING SLAB, SEE STRUCTURAL<br>- 10" PRECAST PLANK, SEE STRUCTURAL   |
| <b>ROOF</b>                        |   |
| R1                                 | - 60MIL BLACK EPDM, FULLY ADHERED<br>- 1/2" GLASS-MAT GYPSUM COVERBOARD<br>- TAPERED POLYISOCYANURATE INSULATION<br>- MINIMUM 5" (R-30) POLYISOCYANURATE INSULATION (2 LAYERS W/ STAGGERED JOINTS)<br>- 30 MIL VAPOR RETARDER<br>- 5/8" GLASS-MAT GYPSUM SUBSTRATE BOARD<br>- METAL DECK, SEE STRUCTURAL<br>- FRAMING, SEE STRUCTURAL |
| <b>SOFFIT</b>                      |   |
| S1MCM-1                            | - MCM-1 METAL PANEL<br>- SHEET APPLIED PERMEABLE WEATHER BARRIER<br>- 1/2" FIRE-RETARDANT PLYWOOD SHEATHING<br>- 3 5/8" METAL STUD FRAMING  |
| <b>WINDOW SYSTEM - ALUMINUM</b>    |   |
| ALWD-1                             | - ALUMINUM STOREFRONT SYSTEM<br>- BASIS OF DESIGN KAWNEER 451T CENTER SET   |



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Group

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PROJECT

CITY ON A HILL  
ADDITION

2924 FISH  
HATCHERY RD.  
FITCHBURG,  
WISCONSIN  
53713

NO. REV. DATE DESCRIPTION

PROGRESS  
DOCUMENTS

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Date: 07.21.25  
Project No.: 25.005

SHEET TITLE

COLORED ELEVATIONS

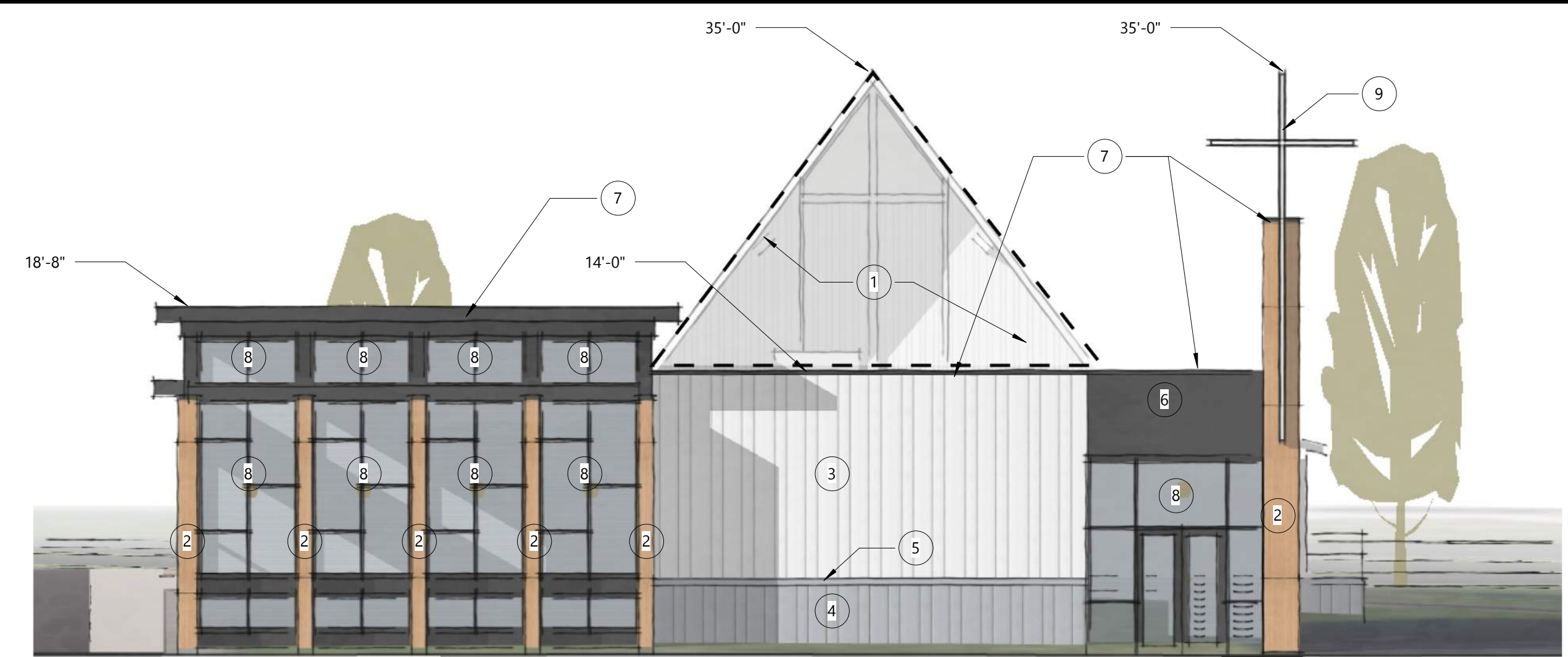
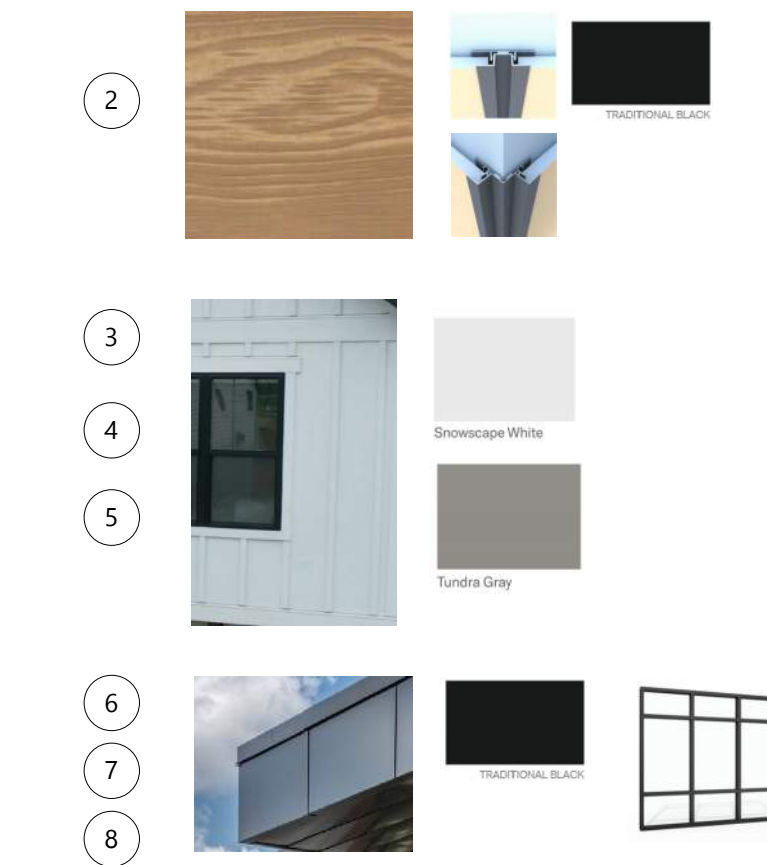
PC201

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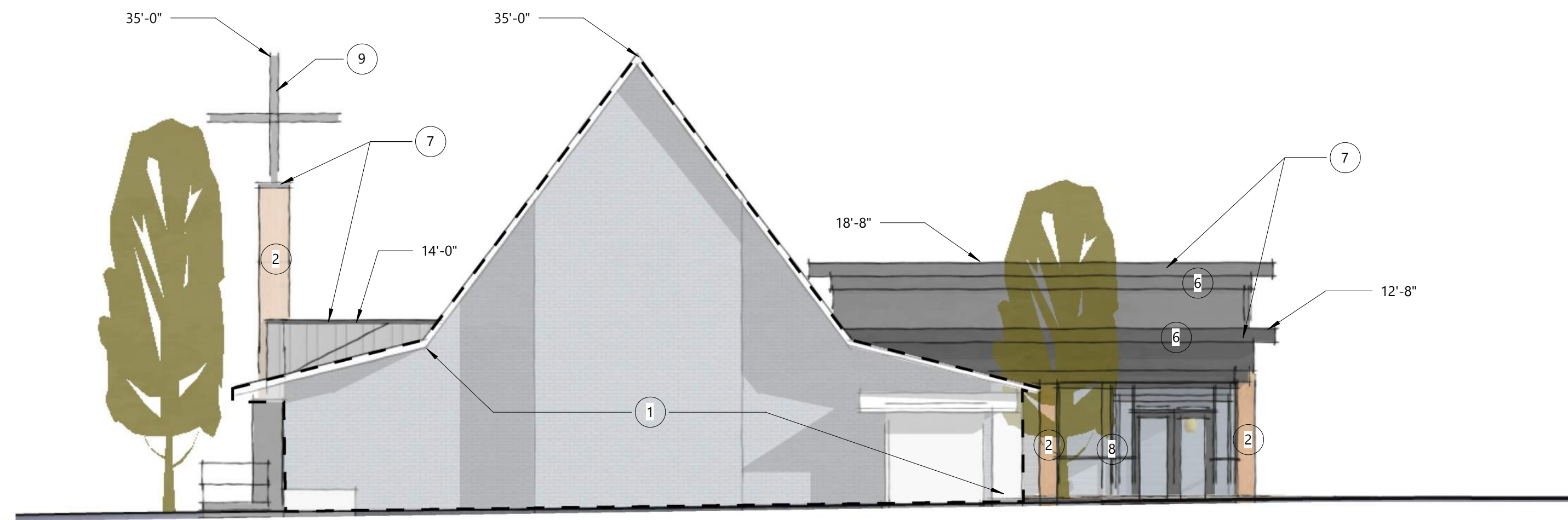
DESIGN DEVELOPMENT SET

| KEYED EXTERIOR ELEVATIONS (PC) |  |
|--------------------------------|--|
| TAG #                          | DESCRIPTION  |
| 1                              | EXISTING BUILDING TO REMAIN.   |
| 2                              | WOOD LOOK PANEL WITH REVEALS - LP SMARTSIDE WITH WOODTONE FINISH AND EASY TRIM REVEALS |
| 3                              | BOARD & BATTEN SIDING - LP SMARTSIDE WHITE (TO MATCH EXISTING SIDING)                  |
| 4                              | TRIM - LP SMARTSIDE COOL GRAY (TO MATCH EXISTING BRICK)                                |
| 5                              | METAL PANEL - FACCLAD PANEL - BLACK  |
| 6                              | PREFINISHED METAL ROOF EDGE/COPING - BLACK   |
| 7                              | PREFINISHED ALUMINUM STORFRONT SYSTEM - BLACK  |
| 8                              | DECORATIVE METAL CROSS   |
| 9                              | ROOF TOP MECHANICAL UNIT - SCREENED BY PARAPET WALL                                    |

PROPOSED FINISHES



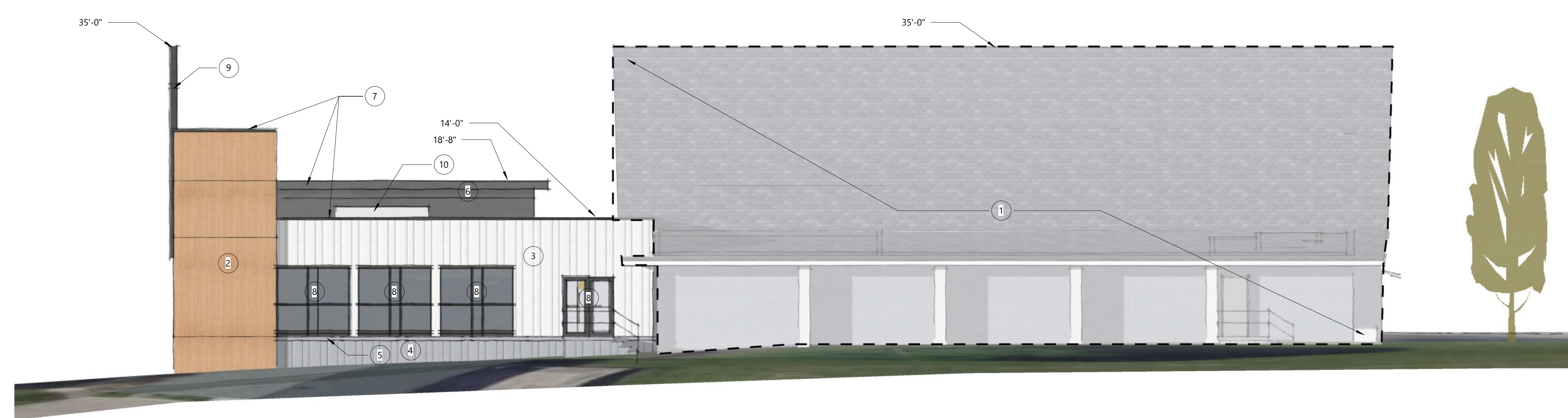
EAST ELEVATION  
SCALE: 1/8" = 1'-0"



WEST ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



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EAST ELEVATION  
SCALE: 1/8" = 1'-0"



WEST ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

MASTER PLAN  
RENDERINGS PROVIDED  
FOR REFERENCE ONLY.  
NOT PART OF CURRENT  
SCOPE.

PROJECT

CITY ON A HILL  
ADDITION

2924 FISH  
HATCHERY RD.  
FITCHBURG,  
WISCONSIN  
53713

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Date: 07.21.25  
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SHEET TITLE

COLOR ELEVATIONS - MASTER PLAN

PC201.1

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DESIGN DEVELOPMENT SET

7/18/2025 4:52:11 PM



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PROJECT

CITY ON A HILL  
ADDITION

2924 FISH  
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FITCHBURG,  
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Date: 07.21.25

Project No.: 25.005

**SHEET TITLE**

AERIAL VIEWS

**PC202**

DESIGN DEVELOPMENT SET



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**PROJECT**

**CITY ON A HILL  
 ADDITION**

**2924 FISH  
 HATCHERY RD.  
 FITCHBURG,  
 WISCONSIN  
 53713**

NO. REV. DATE DESCRIPTION

**PROGRESS  
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Date: 07.21.25

Project No.: 25.005

**SHEET TITLE**

AERIAL VIEWS - MASTER PLAN

**PC202.1**

DESIGN DEVELOPMENT SET



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PROJECT

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ADDITION

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HATCHBURG RD.  
FITZBURG,  
WISCONSIN  
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SHEET TITLE

PERSPECTIVE VIEWS

PC203

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PROJECT

CITY ON A HILL  
ADDITION

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HATCHERY RD.  
FITCHBURG,  
WISCONSIN  
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DOCUMENTS

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Date: 07.21.25

Project No. 25.005

SHEET TITLE

PERSPECTIVE VIEWS - MASTER PLAN

PC203.1

DESIGN DEVELOPMENT SET

MASTER PLAN  
RENDERINGS PROVIDED  
FOR REFERENCE ONLY.  
NOT PART OF CURRENT  
SCOPE.

# APPENDIX 'C'

## GIP CONCEPTUAL PLANS FOR THE BOWMAN PLAZA

# BOWMAN PLAZA - MIXED-USE

March 19, 2024

| BUILDING DATA              |                    |                     |                      |                     |                       |              |                 |                 |                |                 |               |               |             |             |   |
|----------------------------|--------------------|---------------------|----------------------|---------------------|-----------------------|--------------|-----------------|-----------------|----------------|-----------------|---------------|---------------|-------------|-------------|---|
| FLOORS                     | GROSS AREA PARKING | GROSS AREA FINISHED | NET AREA RESIDENTIAL | NET AREA COMMERCIAL | TOTAL NET AREA (S.F.) | EFFICIENCY   | (1) TOTAL UNITS | COVERED PARKING | RETAIL PARKING | SURFACE PARKING | TOTAL PARKING | PARKING RATIO |             |             |   |
|                            |                    |                     |                      |                     |                       |              |                 |                 |                |                 |               | PER UNIT      | PER BR      | COV UNIT    |   |
| F<br>L<br>O<br>O<br>R<br>S | -                  | -                   | -                    | -                   | -                     | -            | 0               | -               | -              | -               | -             | -             | -           | -           |   |
|                            | -                  | -                   | -                    | -                   | -                     | -            | 0               | -               | -              | -               | -             | -             | -           | -           |   |
|                            | -                  | -                   | -                    | -                   | -                     | -            | 0               | -               | -              | -               | -             | -             | -           | -           |   |
|                            | -                  | -                   | -                    | -                   | -                     | -            | 0               | -               | -              | -               | -             | -             | -           | -           |   |
|                            | -                  | -                   | -                    | -                   | -                     | -            | 0               | -               | -              | -               | -             | -             | -           | -           |   |
|                            | -                  | -                   | -                    | -                   | -                     | -            | 0               | -               | -              | -               | -             | -             | -           | -           |   |
|                            | -                  | -                   | -                    | -                   | -                     | -            | 0               | -               | -              | -               | -             | -             | -           | -           | - |
|                            | 6th                | -                   | 46,250               | 38,850              | -                     | 38,850       | 84.0%           | 52              | -              | -               | -             | -             | -           | -           | - |
|                            | 5th                | -                   | 49,304               | 42,401              | -                     | 42,401       | 86.0%           | 57              | -              | -               | -             | -             | -           | -           | - |
|                            | 4th                | -                   | 49,304               | 42,401              | -                     | 42,401       | 86.0%           | 57              | -              | -               | -             | -             | -           | -           | - |
| 3rd                        | -                  | 49,304              | 42,401               | -                   | 42,401                | 86.0%        | 57              | -               | -              | -               | -             | -             | -           | -           |   |
| 2nd                        | -                  | 49,304              | 39,443               | -                   | 39,443                | 80.0%        | 53              | -               | -              | -               | -             | -             | -           | -           |   |
| 1st                        | 54,825             | -                   | -                    | -                   | -                     | 100.0%       | 0               | 162             | -              | -               | 162           | -             | -           | -           |   |
| LL                         | 54,825             | 1,960               | 1,960                | 9,583               | 11,543                | 100.0%       | 0               | 149             | 58             | 23              | 172           | -             | -           | -           |   |
| <b>TOTALS</b>              | <b>109,650</b>     | <b>245,426</b>      | <b>207,458</b>       | <b>9,583</b>        | <b>217,041</b>        | <b>88.4%</b> | <b>276</b>      | <b>311</b>      | <b>58</b>      | <b>23</b>       | <b>334</b>    | <b>1.21</b>   | <b>0.93</b> | <b>1.13</b> |   |

**NOTES:**

- 1 TOTAL UNIT/FLOOR ASSUMES AVERAGE UNIT SIZE BASED ON ASSUMED UNIT MIX
- 2 DATA ASSUMES 4 UNITS ARE ELIMINATED ON THE 2nd FLOOR FOR AMENITY SPACES
- 3 DATA ASSUMES THAT 2 UNITS ARE ELIMINATED ON THE 6th FLOOR FOR CLUBROOM
- 4 SURFACE PARKING INCLUDES 24 RESIDENTIAL SPACES ON THE SOUTH & 58 RETAIL SPACES ON THE NORTH OF THE BUILDING

786 average N.S.F. per unit  
889 average G.S.F per unit

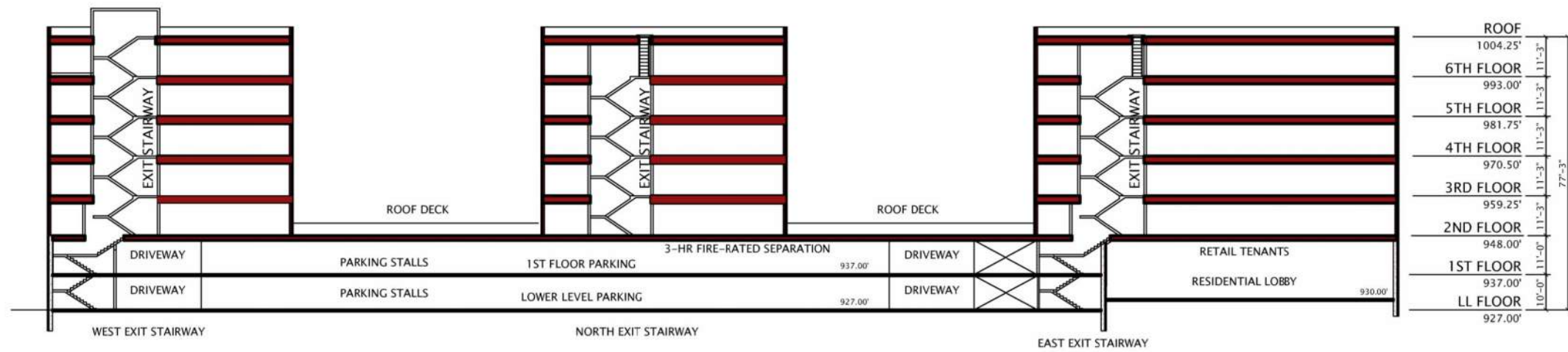
368 LL s.f. per covered parking space

338 1st s.f. per covered parking space

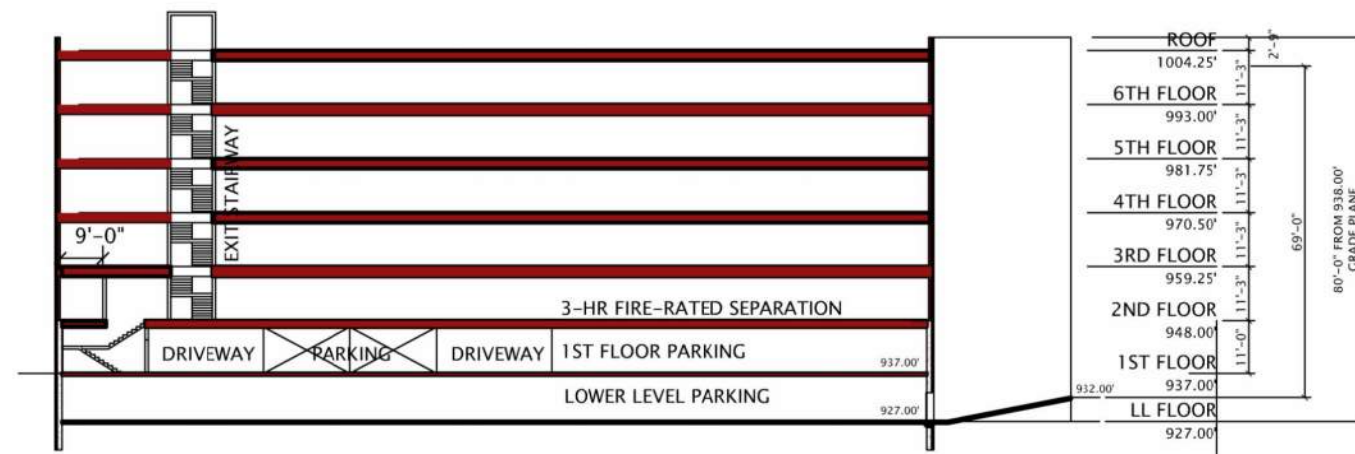
6.1 / 1000 SF Commercial Parking

| ASSUMPTIONS             |                           |            |
|-------------------------|---------------------------|------------|
| ASSUMED UNIT SIZE & MIX |                           |            |
| %                       | TYPE                      | ASF        |
| 5                       | STUDIO                    | 425        |
| 55                      | 1 BEDROOM                 | 600        |
| 15                      | 1 BEDROOM +               | 750        |
| 15                      | 2 BEDROOM                 | 1,050      |
| 5                       | 2 BEDROOM +               | 1,250      |
| 5                       | 3 BEDROOM                 | 1,325      |
| <b>100</b>              | <b>AVERAGE UNIT SIZE:</b> | <b>750</b> |
| ESTIMATED UNIT COUNT    |                           |            |
| 14                      | STUDIO UNITS              |            |
| 152                     | 1 BEDROOM UNITS           |            |
| 41                      | 1 BEDROOM + UNITS         |            |
| 41                      | 2 BEDROOM UNITS           |            |
| 14                      | 2 BEDROOM + UNITS         |            |
| 14                      | 3 BEDROOM UNITS           |            |
| <b>276</b>              | <b>TOTAL UNITS</b>        |            |
| ESTIMATED BEDROOM COUNT |                           |            |
| 14                      | STUDIO UNITS              |            |
| 152                     | 1 BEDROOM UNITS           |            |
| 41                      | 1 BEDROOM + UNITS         |            |
| 82                      | 2 BEDROOM UNITS           |            |
| 28                      | 2 BEDROOM + UNITS         |            |
| 43                      | 3 BEDROOM UNITS           |            |
| <b>360</b>              | <b>TOTAL BEDROOMS</b>     |            |





BUILDING SECTION "A"



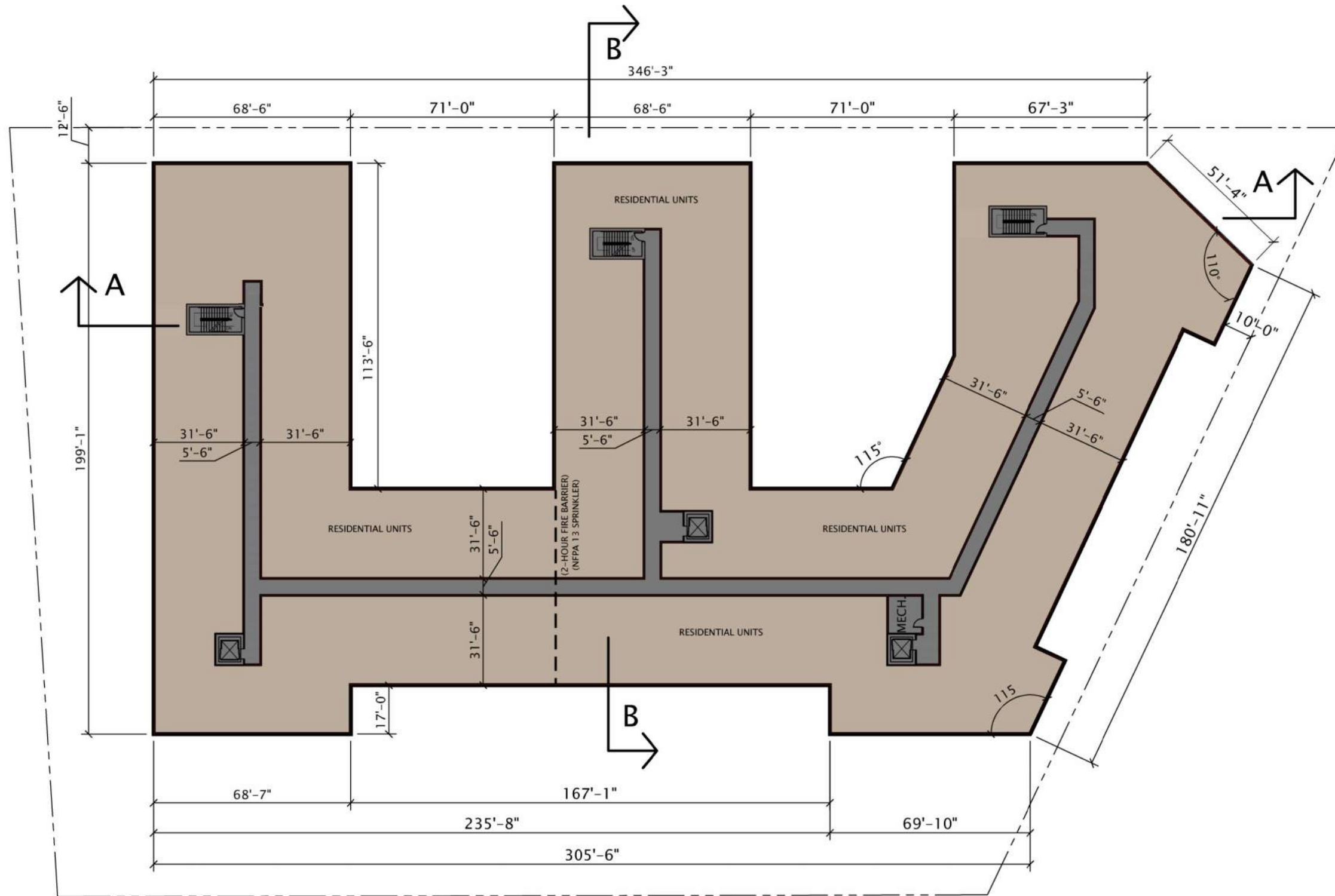
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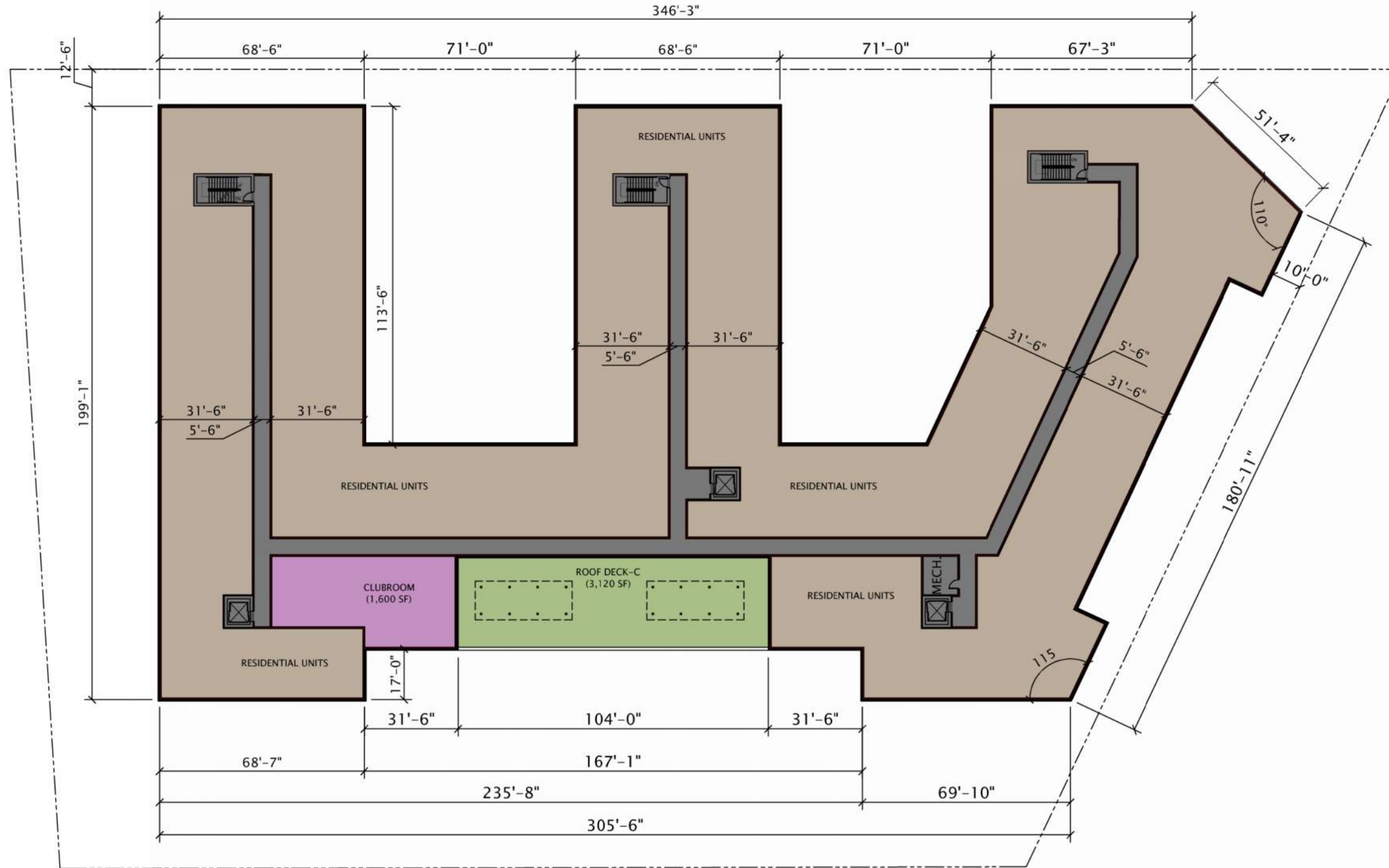


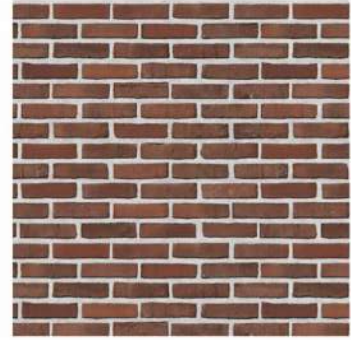












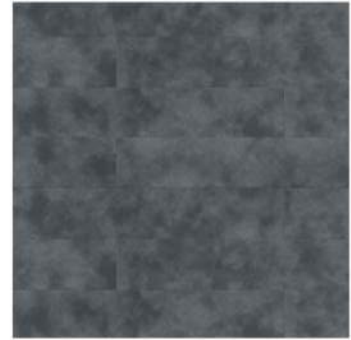
BRICK VENEER-1



BRICK VENEER-2



STONE VENEER



PANEL-1



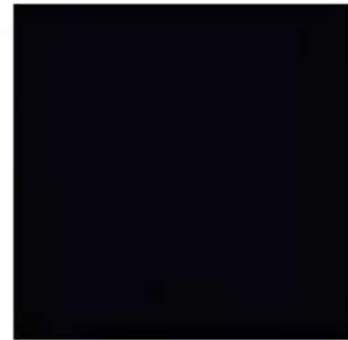
PANEL-2



FIBER-CEMENT SIDING



WINDOW FRAME-1



WINDOW FRAME-2



ALUMINUM RAILING  
(MEDIUM BRONZE)





## Conditional Use - Owner or Authorized Agent Acknowledgement

\*\* It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting a CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

By signing below, I certify that the information included with this Conditional Use application is true and correct, to the best of my knowledge. Any agent signing below verifies that he/she has the consent of the owner to file the application.

---

Owner's or Authorized Agent's Signature

---

Date (DD/MM/YYYY)