



July 21, 2025

City of Fitchburg Planning & Zoning
Attn: Deanna Schmidt, City Planner & Zoning Administrator
5520 Lacy Road Fitchburg, WI 53711

Dear Planning & Zoning Staff,

On behalf of Sunnyside Solar Partners, LLC (“Applicant”), please accept this cover letter and narrative to a Conditional Use Permit (“CUP”) application to extend the construction completion deadline for CUP CDUS-24-1, and its affiliated Architectural Design Review (“ADR”) ADR-25-22 and ADR-24-2.

The Plan Commission (“Commission”) granted CDUS-24-1 and ADR-24-2 on February 20, 2024, for the construction and operation of an up to 20 MW_{AC} solar and 40 MW_{AC} by 4-hour battery energy storage project known as Sunnyside Energy Center (“Project”). Since that time, Applicant has worked to complete relevant ADR and CUP Conditions of Approval. Project design has also further honed since that time, prompting City Planning and Zoning staff to complete an administrative ADR on the updated Project site plan issue ADR-25-22 on July 03, 2025.

Pursuant to Section 22-640(10) of the Fitchburg Zoning Code, Applicant is requesting a 12-month extension of the construction completion deadline of CDUS-24-1, to February 20, 2027, as Project construction will not be complete by the current CUP deadline of February 20, 2026. Good Cause for this extension request is primarily attributable to a 12-month period the Wisconsin Public Service Commission (“PSCW”) took to issue a Certificate of Authority (“CA”), a key state-level approval needed for the Project. Applicant was unable to apply for City construction permits (e.g., stormwater, building, electrical) until after the CA was secured from the PSCW in May 2025, which has caused significant delay to the Project’s construction timeline.

Applicant has submitted this letter narrative and attachments supporting the CUP extension application to the City’s OpenGov permit portal, including the ADR-approved updated site plan. We appreciate your time and assistance, and we are available to answer any questions you may have.

Sincerely,

Torry van Slyke
Manager, Project Development
EDF power solutions DSP

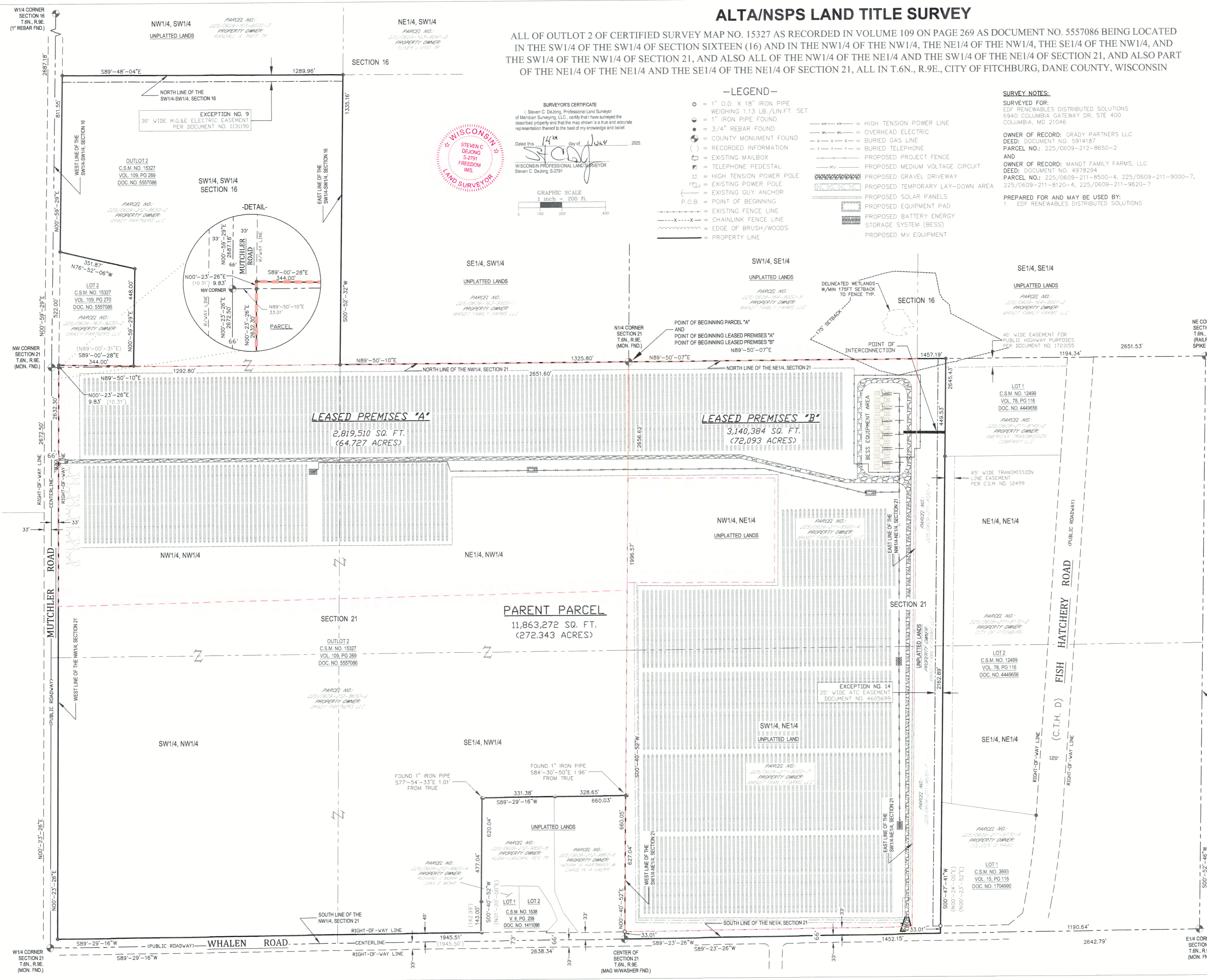
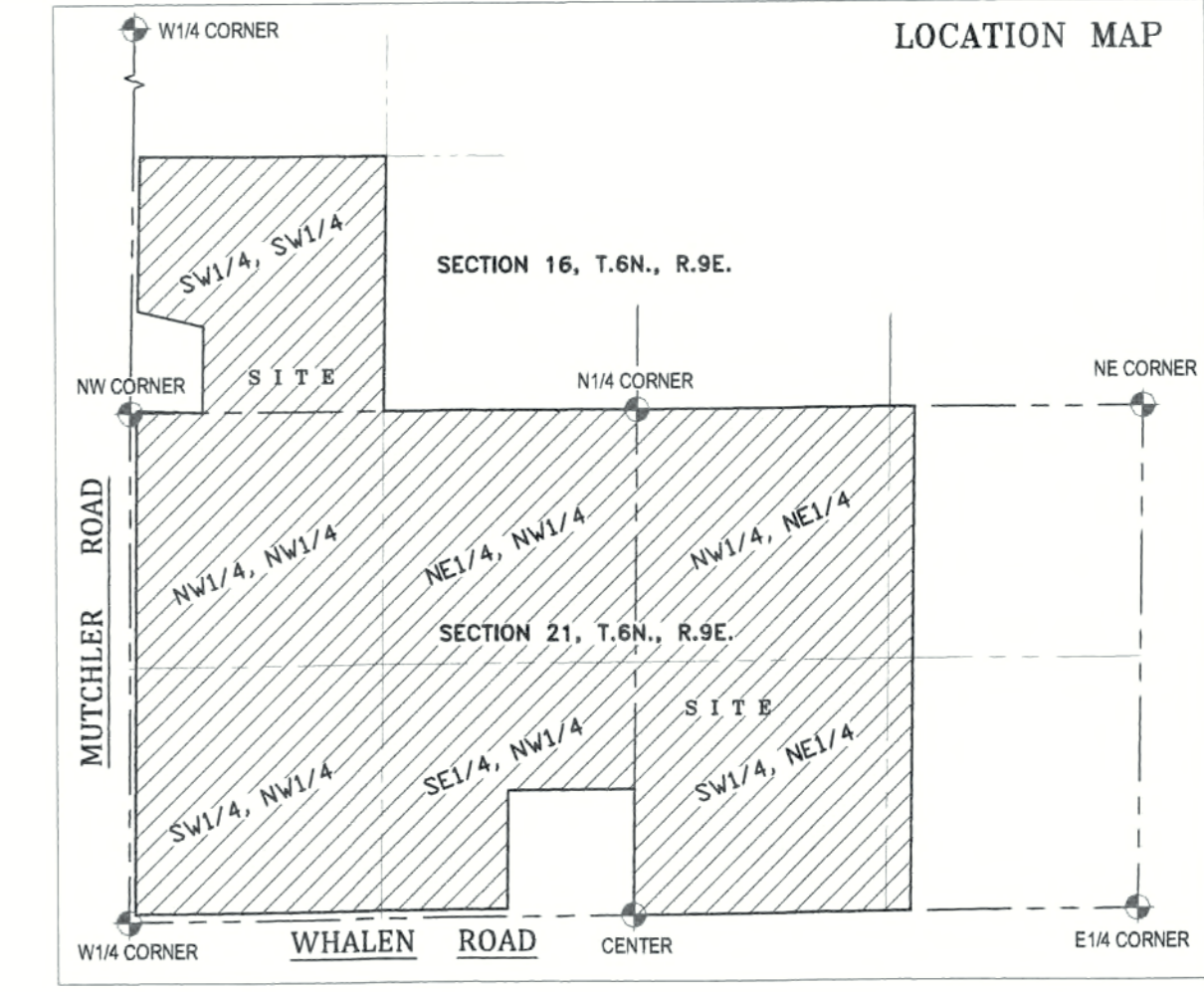


Peter Bay
VP, Project Development
EDF power solutions DSP

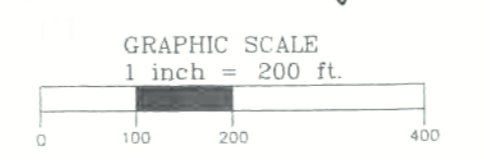


ALT/NSPS LAND TITLE SURVEY

ALL OF OUTLOT 2 OF CERTIFIED SURVEY MAP NO. 15327 AS RECORDED IN VOLUME 109 ON PAGE 269 AS DOCUMENT NO. 5557086 BEING LOCATED IN THE SW1/4 OF THE SW1/4 OF SECTION SIXTEEN (16) AND IN THE NW1/4 OF THE NW1/4, THE NE1/4 OF THE NW1/4, THE SE1/4 OF THE NW1/4, AND THE SW1/4 OF THE NW1/4 OF SECTION 21, AND ALSO ALL OF THE NW1/4 OF THE NE1/4 AND THE SW1/4 OF THE NE1/4 OF SECTION 21, AND ALSO PART OF THE NE1/4 OF THE NE1/4 AND THE SE1/4 OF THE NE1/4 OF SECTION 21, ALL IN T.6N., R.9E., CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



SURVEYOR'S CERTIFICATE
 I, Steven C. DeJong, Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.
 Dated this 14th day of July, 2025.
 Steven C. DeJong, S-2791
 WISCONSIN PROFESSIONAL LAND SURVEYOR



-LEGEND-

- = 1" O.D. X 18" IRON PIPE WEIGHING 1.13 LB./LIN.FT. SET
- = 1" IRON PIPE FOUND
- = 3/4" REBAR FOUND
- = COUNTY MONUMENT FOUND
- = RECORDED INFORMATION
- = EXISTING MAILBOX
- = TELEPHONE PEDESTAL
- = HIGH TENSION POWER POLE
- = EXISTING POWER POLE
- = EXISTING GUY ANCHOR
- = P.O.B. = POINT OF BEGINNING
- = EXISTING FENCE LINE
- = CHAINLINK FENCE LINE
- = EDGE OF BRUSH/WOODS
- = PROPERTY LINE
- — — — — = HIGH TENSION POWER LINE
- — — — — = OVERHEAD ELECTRIC
- — — — — = BURIED GAS LINE
- — — — — = BURIED TELEPHONE
- — — — — = PROPOSED PROJECT FENCE
- — — — — = PROPOSED MEDIUM VOLTAGE CIRCUIT
- — — — — = PROPOSED GRAVEL DRIVEWAY
- — — — — = PROPOSED TEMPORARY LAY-DOWN AREA
- — — — — = PROPOSED SOLAR PANELS
- — — — — = PROPOSED EQUIPMENT PAD
- — — — — = PROPOSED BATTERY ENERGY STORAGE SYSTEM (BESS)
- — — — — = PROPOSED MV EQUIPMENT

SURVEY NOTES:

SURVEYED FOR:
 EDF RENEWABLES DISTRIBUTED SOLUTIONS
 6940 COLUMBIA GATEWAY DR, STE 400
 COLUMBIA, MD 21046
OWNER OF RECORD: GRADY PARTNERS LLC
 DEED: DOCUMENT NO. 5914187
 PARCEL NO.: 225/0609-212-8650-2
AND
OWNER OF RECORD: MANDT FAMILY FARMS, LLC
 DEED: DOCUMENT NO. 4978294
 PARCEL NO.: 225/0609-211-8500-4, 225/0609-211-9000-7,
 225/0609-211-8120-4, 225/0609-211-9620-7
PREPARED FOR AND MAY BE USED BY:
 EDF RENEWABLES DISTRIBUTED SOLUTIONS

- ITEMS OF TABLE A:**
- Item 2 Property address: Whalen Road Fitchburg, WI 53711
 - Item 3 The surveyed property is free of any 100/500 year return frequency Flood hazard, and such flood free condition is shown on the federal flood insurance rate map, Community panel no. 5502505806 with an effective date of January 2, 2009 & 550250585H with an effective date of September 17, 2014.
 - Item 4 Total Gross Land Area= 11,863,272 Sq.Ft. 272.343 acres
 - Item 5(a)(b) The surveyed property is currently zoned A-X, Exclusive Agriculture Per A-X, Exclusive Agriculture District Zoning:
 -Minimum Parcel Size = 35 acres
 -Minimum Lot Width = 150 feet
 -Front yard setback = 35 feet
 -Side yard setback = 10 feet
 -Side yard abutting to Public Street = 30 feet
 -Rear yard setback = 50 feet
 -No setbacks between parcels within the array
 -Wetlands = 75 feet
 -maximum building height = 35 feet
 Source: A zoning report has not been provided at the time of this survey. (See Zoning Ordinance for other restrictions)
 - Item 7(a)(b)(c) Exterior dimensions, square footage and measured heights of all. No Buildings exist on subject property.
 - Item 8 Substantial features observed in the process of conducting the survey, are as shown on this drawing.
 - Item 9 Surveyed property has 0 regular parking stalls, 0 handicap stalls and 0 underground parking stalls.
 - Item 11 All observable evidence for the locations of the water, sewer, gas, cable television, and electric lines and mains as shown on this drawing are based on field markings by locating companies and/or mapping from respective utility company. Therefore, the locations shown on this drawing cannot be guaranteed. Diggers Hotline must be contacted prior to construction. Diggers Hotline ticket numbers for this survey: 20235107515 & 20235107529
 - Item 13 Names of adjoining owners according to current tax records, are as shown on this drawing.
 - Item 15 None used.
 - Item 16 All observable evidence of earth moving, building construction, or building additions on the surveyed property are shown on this drawing. (None observed)
 - Item 17 As of the date of this survey, there are no proposed changes in street right of way lines. Observable evidence of recent street or sidewalk construction or repairs, are as shown on this drawing.
 - Item 18 Other than shown, the surveyed property is not affected by any offsite easements or benefiting servitudes disclosed in the recorded documents.
 - Item 19 Professional liability insurance policy is carried by the surveyor in the minimum amount of \$1,000,000 aggregate and is in effect throughout the contract term.
 - Item 20 No Wetland determination was made as a part of the survey. The surveyor did not observe any wetlands as of the date of the survey.

BENCHMARK INFORMATION
 SITE BENCHMARK: (BENCHMARK #1)
 Chiseled "X" set on top of east concrete abutment
 Elevation: 1024.62'
 SITE BENCHMARK: (BENCHMARK #2)
 Chiseled "X" set on west side of concrete foundation of high tension power line tower #117158
 Elevation: 1077.05'
 SITE BENCHMARK: (BENCHMARK #3)
 railroad spike set in west face of 10" locust tree
 Elevation: 1030.06'
 SITE BENCHMARK: (BENCHMARK #4)
 Railroad spike set in north face of 15" deciduous tree
 Elevation: 1035.04'

| | | |
|---------------------------|--------------------------------|-----------|
| DRAWN BY: J.D. | FIELD WORK DATE: 1-5-24 | |
| CHECKED BY: S.C.D. | FIELD BOOK: NOTES | |
| JOB NO.: 15098 | SHEET 1 OF 4 | |
| 3 5-13-25 | Revised Site Layout | JD |
| 2 5-1-25 | Revised Site Layout | JD |
| 1 4-8-25 | Preliminary Survey | JD |
| NO. DATE | DESCRIPTION | BY |

MERIDIAN SURVEYING, LLC
 18637 Friendship Drive Office: 920-993-0881
 Kaukauna, WI 54130 Fax: 920-273-6037

CALL DIGGERS HOTLINE TOLL FREE
 800-4-A-DIGGER
 48 HOURS BEFORE YOU DIG
 WARNING
 CALL BEFORE YOU DIG

ALTA/NSPS LAND TITLE SURVEY

ALL OF OUTLOT 2 OF CERTIFIED SURVEY MAP NO. 15327 AS RECORDED IN VOLUME 109 ON PAGE 269 AS DOCUMENT NO. 5557086 BEING LOCATED IN THE SW1/4 OF THE SW1/4 OF SECTION SIXTEEN (16) AND IN THE NW1/4 OF THE NW1/4, THE NE1/4 OF THE NW1/4, THE SE1/4 OF THE NW1/4, AND THE SW1/4 OF THE NW1/4 OF SECTION 21, AND ALSO ALL OF THE NW1/4 OF THE NE1/4 AND THE SW1/4 OF THE NE1/4 OF SECTION 21, AND ALSO PART OF THE NE1/4 OF THE NE1/4 AND THE SE1/4 OF THE NE1/4 OF SECTION 21, ALL IN T.6N., R.9E., CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

—LEGEND—

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- E— = PROPOSED EQUIPMENT PAD
- B— = PROPOSED BATTERY ENERGY STORAGE SYSTEM (BESS)
- M— = PROPOSED MV EQUIPMENT
- F— = EXISTING FENCE LINE
- C— = CHAINLINK FENCE LINE
- W— = EDGE OF BRUSH/WOODS
- P— = PROPERTY LINE

| Line # | Direction | Length |
|--------|-------------|---------|
| L1 | S00°23'26"W | 235.28' |
| L2 | N89°36'34"W | 33.00' |
| L3 | N00°23'26"E | 235.28' |
| L4 | S89°36'34"E | 33.00' |

LEASED PREMISES "A"

A PART OF OUTLOT 2 (2) OF CERTIFIED SURVEY MAP NO. 15327 AS RECORDED IN VOLUME 109 ON PAGE 269 AS DOCUMENT NO. 5557086 IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, BEING LOCATED IN THE NORTHWEST QUARTER (NW1/4) OF THE NORTHWEST QUARTER (NW1/4) AND THE NORTHEAST QUARTER (NE1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION TWENTY-ONE (21), AND ALSO A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION SIXTEEN (16), ALL IN TOWNSHIP SIX (6) NORTH, RANGE NINE (9) EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN CONTAINING 2,819,510 SQUARE FEET (64.727 ACRES) OF LAND AND BEING DESCRIBED BY: BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 21; THENCE S00°40'52"W 1053.01 FEET ALONG THE EAST LINE OF THE NW1/4 OF SAID SECTION 21; THENCE S88°46'56"W 2614.17 FEET TO A POINT ON THE EAST LINE OF MUTCHLER ROAD; THENCE N00°23'26"E 1110.85 FEET ALONG SAID EAST LINE OF MUTCHLER ROAD TO A POINT ON THE SOUTH LINE OF LOT 2, CERTIFIED SURVEY MAP NO. 15327 AS RECORDED IN VOLUME 109 ON PAGE 270 AS DOCUMENT NO. 5557086 IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY; THENCE S89°00'28"E 487.27 FEET ALONG SAID SOUTH LINE OF LOT 2 AND ITS EASTERLY EXTENSION TO A POINT ON THE NORTH LINE OF THE NW1/4 OF SAID SECTION 21; THENCE N89°50'10"E 2131.34 FEET ALONG SAID NORTH LINE OF THE NW1/4 TO THE POINT OF BEGINNING. BEING SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

ACCESS EASEMENT "A"

A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION TWENTY-ONE (21), TOWNSHIP SIX (6) NORTH, RANGE NINE (9) EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN CONTAINING 7,764 SQUARE FEET (0.178 ACRES) OF LAND AND BEING DESCRIBED BY: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 21; THENCE N89°50'10"E 33.01 FEET ALONG THE NORTH LINE OF THE NW1/4 OF SAID SECTION 21 TO A POINT ON THE EAST LINE OF MUTCHLER ROAD; THENCE S00°23'26"W 323.69 FEET ALONG SAID EAST LINE OF MUTCHLER ROAD TO THE POINT OF BEGINNING; THENCE CONTINUE: S89°23'26"W 235.28 FEET ALONG SAID EAST LINE; THENCE N89°36'34"W 33.00 FEET TO A POINT ON THE WEST LINE OF THE NW1/4 OF SAID SECTION 21; THENCE N00°23'26"E 235.28 FEET ALONG SAID WEST LINE; THENCE S89°36'34"E 33.00 FEET TO THE POINT OF BEGINNING. BEING SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

PARENT PARCEL

OUTLOT 1 AND OUTLOT 2 OF CERTIFIED MAP NO. 15327 RECORDED ON JANUARY 21, 2020 AS DOCUMENT NO. 5557086, AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED FEBRUARY 08, 2022 AS DOCUMENT NO. 5810831, BEING A REDIVISION OF PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 16; THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER AND ALL QUARTERS OF THE SOUTHEAST QUARTER OF SECTION 17; LOT 1 OF CERTIFIED SURVEY MAP NUMBER 1751 IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 17; THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 20 AND ALL QUARTERS OF THE NORTHWEST QUARTER OF SECTION 21, ALL IN TOWNSHIP 6 NORTH, RANGE 9 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

TITLE REPORT REVIEW

TITLE REPORT: FIRST AMERICAN TITLE INSURANCE COMPANY

COMMITMENT NO.: 3020-FA658W12

EFFECTIVE DATE: MARCH 05, 2025

FEE SIMPLE TITLE VESTED IN: GRADY PARTNERS, LLC

NOTE: THE STATEMENT OF APPLICABILITY REFERS TO THE PARENT PARCEL, THEY ARE IDENTIFIED AS SCHEDULE B-II

SCHEDULE B-II

(1)-(7) THESE ARE GENERAL STATEMENTS AND NOT SPECIFIC ENCUMBRANCES.

(8) TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS AS CONTAINED IN A COVENANT TO DANE COUNTY PUBLIC HEALTH DEPARTMENT RECORDED IN VOLUME 4069 PAGE 49 AS DOCUMENT 1762045. NOT A SURVEY RELATED ITEM.

(9) TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS AS CONTAINED IN AN ELECTRIC LINE EASEMENT IN FAVOR OF MADISON GAS AND ELECTRIC COMPANY; A WISCONSIN CORPORATION RECORDED MAY 20, 1965 IN VOL. 426 PAGE 544 AS DOCUMENT 1131192. IN SECTION 16 AND DOES NOT APPLY.

EASEMENT SUPPLEMENT RECORDED APRIL 7, 1996 IN VOL. 7972 PAGE 41 AS DOCUMENT 1928974

EASEMENT ASSIGNMENT IN FAVOR OF AMERICAN TRANSMISSION COMPANY LLC, A WISCONSIN LIMITED LIABILITY COMPANY RECORDED JANUARY 29, 2001 AS DOCUMENT 3283453.

(10) TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS AS CONTAINED IN AN ORDER CREATING SANITARY DISTRICT RECORDED MAY 28, 1965 IN VOL. 427 PAGE 165 AS DOCUMENT 1131949. DOES NOT AFFECT SECTION 21 AND IS NOT A SURVEY RELATED ITEM.

(11) TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS AS CONTAINED IN RESOLUTION NO. 25.024 RECORDED JULY 5, 1973 IN VOL. 453 PAGE 78 AS DOCUMENT 1370685. AFFECTS PARENT PARCEL, BUT IS NOT A SURVEY RELATED ITEM.

(12) TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS AS CONTAINED IN RESOLUTION NO. 28.403 RECORDED NOVEMBER 26, 1975 IN VOL. 633 PAGE 242 AS DOCUMENT 1459093. AFFECTS PARENT PARCEL, BUT IS NOT A SURVEY RELATED ITEM.

(13) TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS AS CONTAINED IN AN ELECTRIC LINE EASEMENT IN FAVOR OF MADISON GAS AND ELECTRIC COMPANY, A WISCONSIN CORPORATION RECORDED MAY 20, 1965 IN VOL. 426 PAGE 548 AS DOCUMENT 1131192. IN SECTION 17 AND DOES NOT APPLY.

EASEMENT SUPPLEMENT RECORDED APRIL 7, 1996 IN VOL. 7972 PAGE 45 AS DOCUMENT 1928974

(14) TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS AS CONTAINED IN A RIGHT OF WAY GRANT IN FAVOR OF MICHIGAN WISCONSIN PIPE LINE COMPANY RECORDED AUGUST 31, 1970 IN VOL. 197 PAGE 143 AS DOCUMENT 1471742. IN SECTION 17 AND DOES NOT APPLY.

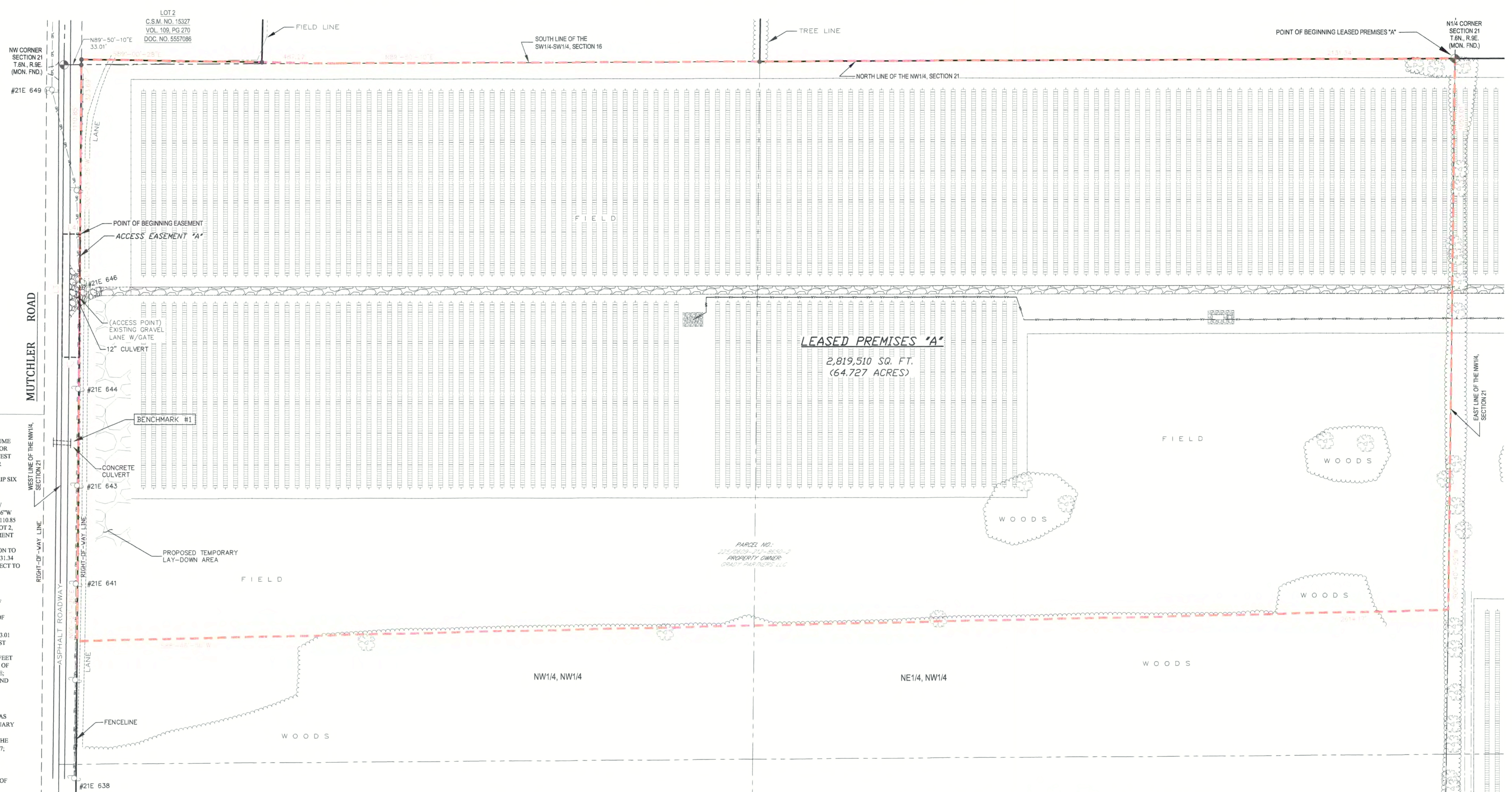
(15) TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS AS CONTAINED IN A WELL AND EASEMENT AGREEMENT BY AND BETWEEN PHILIP GRADY, MICHAEL R. ALT AND SUSAN ALT, HUSBAND AND WIFE AND DAVID A. WILLIAMS AND JOYCE M. WILLIAMS, HUSBAND AND WIFE RECORDED OCTOBER 21, 1975 IN VOL. 624 PAGE 74 AS DOCUMENT 1471744. IN SECTION 17 AND DOES NOT APPLY.

AMENDMENT TO WELL AGREEMENT RECORDED NOVEMBER 15, 1972 IN VOL. 884 PAGE 248 AS DOCUMENT 1548048

AMENDMENT TO WELL AGREEMENT RECORDED NOVEMBER 15, 1972 IN VOL. 884 PAGE 251 AS DOCUMENT 1548049

AMENDMENT TO WELL AGREEMENT RECORDED NOVEMBER 15, 1972 IN VOL. 884 PAGE 254 AS DOCUMENT 1548050

(16)-(28) THESE ARE GENERAL STATEMENTS AND NOT SPECIFIC ENCUMBRANCES.



CERTIFICATION

The undersigned, being a Professional Land Surveyor of the State of Wisconsin certifies to: EDF Renewables Distributed Solutions, Inc. and First American Title Insurance Company, Sunnyside Solar Partners, LLC, Madison Gas and Electric Company and its subsidiaries & Grady Partners, LLC.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a)(b), 7(a)(b)(1), 8, 9, 11(a)(b), 13, 15, 16, 17, 18, 19 and 20 of Table A thereof.

The survey was made on the ground on January 5th, 2024 and correctly shows the area of the subject property, the location and type of all buildings, structures and other improvements situated on the subject property, and any other matters situated on the subject property.

Except as shown on the survey, there are no visible easements or rights of way of which the undersigned has been advised.

Except as shown on the survey, there are no observable, above ground encroachments (a) by the improvements on the subject property upon adjoining properties, streets or alleys, or (b) by the improvements on adjoining properties, streets or alleys upon the subject property.

Except as shown on the survey, the subject property does not serve any adjoining property for drainage, utilities, or ingress or egress.

The location of each easement, right of way, servitude, and other matter affecting the subject property and listed in the Title Insurance Commitment dated March 05, 2025 issued by First American Title Insurance Company as Commitment No. 3020-FA658W12 with respect to the subject property, has been shown on the survey, together with appropriate recording references, to the extent that such matters can be located. The property shown on the survey is the property described in that title commitment. The location of all improvements on the subject property is in accord with minimum setback provisions and restrictions of record referenced in such title commitment.

The subject property has access to and from a duly dedicated and accepted public street, known as Mutchler Road and Whalen Road.

The record description of the subject property forms a mathematically closed figure.

The property described, depicted and shown herein is the same as the property shown on First American Title Insurance Company's Commitment No. 3020-FA658W12.

There are no gaps, strips or gores between the Leased Premises "A" and Access Easement "A". Access Easement "A" is contiguous with Mutchler Road, a public right of way.

There are no gaps, strips or gores between the Leased Premises "A" and Leased Premises "B".

No cemeteries or graveyards were observed on the subject property.

Leased Premises "A" does not lie within a flood zone.

The subject property lies within flood zone X as identified on FIRM MAP PANEL NO. 55025C0580G with an effective date of January 2, 2009 & 55025C0585H with an effective date of September 17, 2014 and except as specifically noted on the survey, no part of the subject property lies within any area designated as "flood-prone area," "special flood hazard area," or "100-year flood plain by the Federal Emergency Management Agency, the United States Army Corps of Engineers, Dane County, City of Fitchburg or any other governmental agency or authority having jurisdiction over the subject property nor is any portion of the subject property located within any lake or any creek, stream, river or other watercourse required to be undisturbed by an appropriate governmental agency or authority.

The parties listed above are entitled to rely on the survey and this certificate as being true and accurate.

Dated this 14th day of July 2025

Steven C. DeJong
Steven C. DeJong, Wisconsin Professional Land Surveyor S-2791

WISCONSIN
STEVEN C. DEJONG
S-2791
FREEDOM
WIS.
LAND SURVEYOR

SURVEYOR'S CERTIFICATE
I, Steven C. DeJong, Professional Land Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 14th day of July 2025

Steven C. DeJong
WISCONSIN PROFESSIONAL LAND SURVEYOR
Steven C. DeJong, S-2791



BENCHMARK INFORMATION
SITE BENCHMARK: (BENCHMARK #1)
Chiseled "X" set on top of east concrete abutment
Elevation: 1024.62'

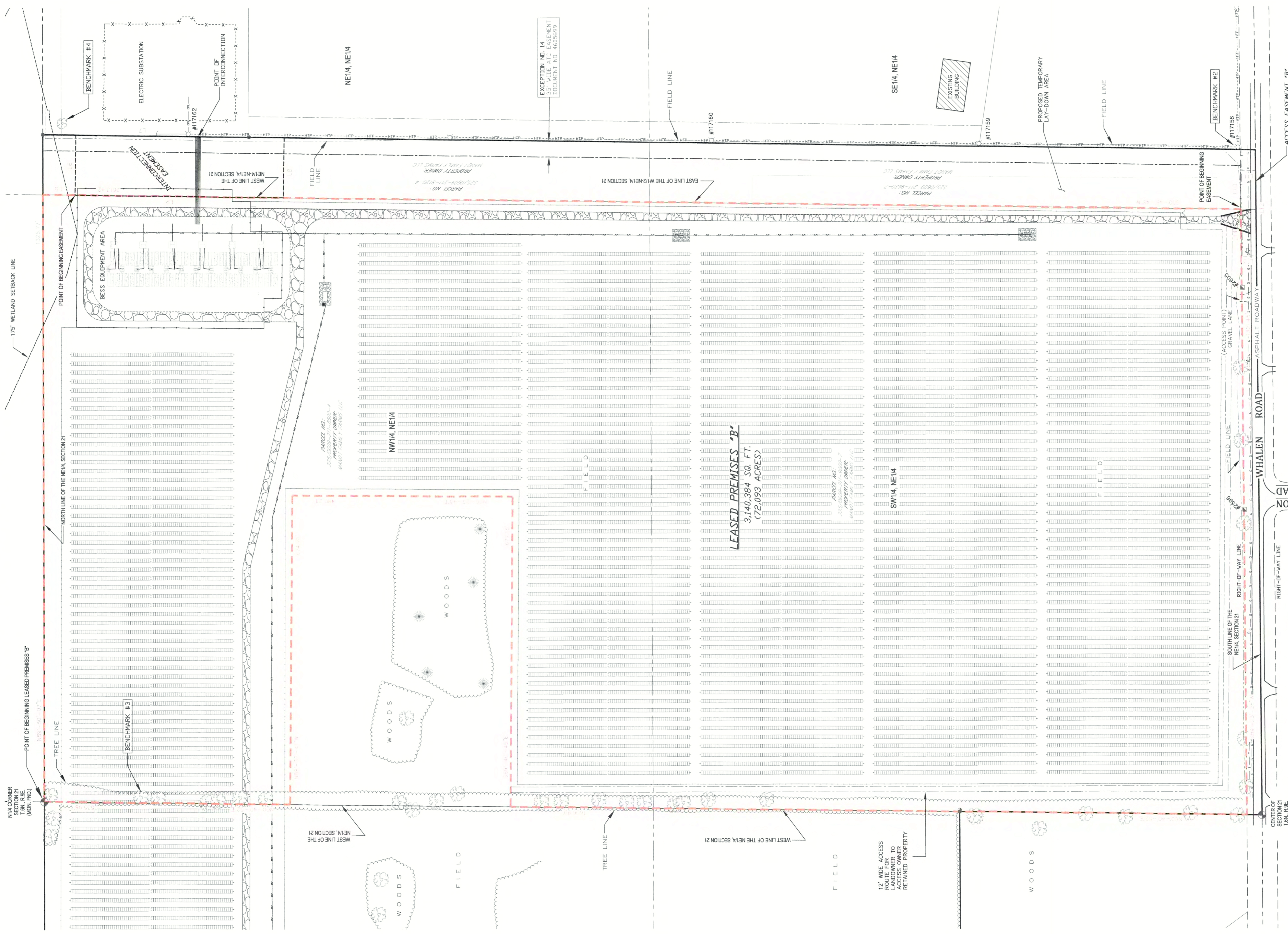
MERIDIAN SURVEYING, LLC
19637 Friendship Drive
Kaukauna, WI 54130
Office: 920-993-0881
Fax: 920-273-6037

DRAWN BY: J.D.
FIELD WORK DATE: 1-5-24
CHECKED BY: S.C.D.
FIELD BOOK: NOTES
JOB NO.: 15098
SHEET 2 OF 4

BEARINGS REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM AND THE WEST LINE OF THE NW1/4, SECTION 21, T.6N., R.9E., WHICH BEARS: N00°23'26"E. (VERTICAL DATUM REFERENCED TO NAD83)

ALTA/NSPS LAND TITLE SURVEY

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railroad spike set in west face of 10" locust tree
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 - SITE BENCHMARK: (BENCHMARK #4)
Railroad spike set in north face of 15" deciduous tree
Elevation: 1035.04'

SURVEYOR'S CERTIFICATE

I, Steven C. Dabing, State Surveyor of Meridian Surveying, LLC, certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 17th day of JULY, 2025.

STEVEN C. DABING, SURVEYOR
WISCONSIN PROFESSIONAL LAND SURVEYOR
Steven C. Dabing 02791

WISCONSIN SURVEYORS ASSOCIATION
STEVEN C. DABING
DEEDS
FREEDOM
WIS.

GRAPHIC SCALE
1 inch = 100 ft.

BEARINGS REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM AND THE WEST LINE OF THE NW1/4 SECTION 21, T.6N., R.9E. WHICH BEARS N00°23'26"E. (VERTICAL DATUM REFERENCED TO NAVD 88)

INTERCONNECTION EASEMENT LINE TABLE

| Line # | Direction | Length |
|--------|-------------|---------|
| L5 | S00°46'48"W | 69.94' |
| L6 | S89°12'18"E | 131.39' |
| L7 | S00°47'41"W | 454.17' |
| L8 | N89°12'19"W | 131.27' |
| L9 | N00°46'48"E | 454.17' |

ACCESS EASEMENT LINE TABLE

| Line # | Direction | Length |
|--------|-------------|---------|
| L10 | N89°23'26"E | 83.87' |
| L11 | S00°36'34"E | 33.00' |
| L12 | S89°23'26"W | 85.98' |
| L13 | N00°36'34"W | 33.00' |
| L14 | N89°23'26"E | 102.11' |

LEASED PREMISES "B"
3,140,384 SQ. FT.
(72,093 ACRES)

EXCEPTION NO. 14
35' WIDE ALC EASEMENT
DOCUMENT NO. 4605699

ALTA/NSPS LAND TITLE SURVEY

ALL OF OUTLOT 2 OF CERTIFIED SURVEY MAP NO. 15327 AS RECORDED IN VOLUME 109 ON PAGE 269 AS DOCUMENT NO. 5557086 BEING LOCATED IN THE SW1/4 OF THE SW1/4 OF SECTION SIXTEEN (16) AND IN THE NW1/4 OF THE NW1/4, THE NE1/4 OF THE NW1/4, THE SE1/4 OF THE NW1/4, AND THE SW1/4 OF THE NW1/4 OF SECTION 21, AND ALSO ALL OF THE NW1/4 OF THE NE1/4 AND THE SW1/4 OF THE NE1/4 OF SECTION 21, AND ALSO PART OF THE NE1/4 OF THE NE1/4 AND THE SE1/4 OF THE NE1/4 OF SECTION 21, ALL IN T.6N., R.9E., CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

PARENT PARCEL

PARCEL II:

W 1/2 OF THE NE 1/4, AND ALL THAT PART OF THE E 1/2 OF THE NE 1/4 OF SECTION 21, TOWNSHIP 6 N, RANGE 9 E, LYING W OF THE FOLLOWING DESCRIBED LINE, BEGINNING AT A POINT ON THE N LINE OF SAID SECTION 21, 8.62 CHAINS W OF THE NE CORNER THEREOF, RUNNING THENCE WITH THE VARIATION OF 8° E, S 3 1/4°, W 33.93 CHAINS TO AN ANGLE IN THE ROAD; THENCE S 9 3/4° W 6 7/10 CHAINS TO A POINT IN THE DIVIDING LINE OF SECTION 21, 11.75 CHAINS W OF THE 1/4 STAKE ON THE E LINE OF SAID SECTION, SAID DESCRIBED LINE BEING THE MIDDLE OF THE HIGHWAY CROSSING SAID NE 1/4, EXCEPT THAT PART THEREOF CONVEYED TO THE TOWN OF FITCHBURG FOR A TOWN HALL, BY DEED DATED JULY 8, 1978 AND RECORDED IN VOLUME 110 OF DEEDS AT PAGE 411, DANE COUNTY RECORDS.

EXCEPT THAT PART CONVEYED IN VOL. 647 OF DEEDS PAGE 500, IN VOL. 784 OF DEEDS PAGE 304, AND VOL. 2242 OF RECORDS, PAGE 43, NO. 1680882 AND IN VOL. 2242 OF RECORDS, PAGE 45, NO. 1680883, DANE COUNTY REGISTRY.

EXCEPTING THEREFROM:

LOT ONE, CERTIFIED SURVEY MAP NO. 3693, RECORDED IN VOLUME 15, PAGE 116, CERTIFIED SURVEY VOLUMES, DANE COUNTY REGISTER OF DEEDS, AS DOCUMENT NUMBER 1704990.

FURTHER EXCEPTING THEREFROM:

THAT PARCEL DESCRIBED IN C.S.T. SURVEY MAP NO. 81003-B AS IS FILED WITH THE DANE COUNTY SURVEYOR SUBJECT TO AN EASEMENT FOR PUBLIC HIGHWAY PURPOSES OVER THE NORTHERNMOST FORTY (40) FEET OF SAID

PARCEL TO PERMIT THE EXTENSION OF IRISH LANE IN A WESTERLY DIRECTION FROM ITS INTERSECTION WITH FISH HATCHERY ROAD AS MORE FULLY DESCRIBED AS FOLLOWS: PART OF THE E 1/2 OF THE NE 1/4 OF SECTION 21, T6N, R9E, TOWN OF FITCHBURG, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NE CORNER OF SECTION 21, T6N, R9E; THENCE S 88°-59'-30" W, 574.33 FEET TO THE BEGINNING OF THIS DESCRIPTION; THENCE S 03°-47'-00" W, 844.84 FEET; THENCE N 86°13'-00" W, 263.00 FEET; THENCE S 03°-47'-00" W, 614.00 FEET; THENCE S 86°-13'-00" E, 263.00 FEET; THENCE S 03°-47'-00" W, 654.55 FEET; THENCE N 86°-13'-00" W, 60.00 FEET; THENCE N 82°-03'-00" W, 438.58 FEET; THENCE N 00°-24'-00" E, 2033.32 FEET; THENCE N 88°-59'-30" E, 619.56 FEET TO THE POINT OF BEGINNING.

PARCELS II ALSO DESCRIBED AS:

THAT PART OF THE NE ¼ OF THE NE 1/4 WEST OF HIGHWAY EXCLUDING COMMENCING CENTERLINE OF HIGHWAY 844.84 FEET SOUTH OF THE NORTH LINE, THENCE WEST 263 FEET SOUTH PARALLEL TO HIGHWAY 614 FEET EAST 263 FEET TO CENTERLINE OF HIGHWAY NORTHEASTERLY ALONG CENTERLINE OF HIGHWAY TO POINT OF BEGINNING AND EXCLUDING R3183/67 OF SECTION 21; THE NW 1/4 OF THE NE 1/4 OF SECTION 21; THE SW 1/4 OF THE NE 1/4 OF SECTION 21; THE SE 1/4 OF THE NE 1/4 WEST OF HIGHWAY 18.9 ACRES EXCLUDING CSM 3693 AND EXCLUDING R3183/67 OF SECTION 21, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

TITLE REPORT REVIEW

TITLE REPORT: FIRST AMERICAN TITLE INSURANCE COMPANY

COMMITMENT NO.: 3020-FA658W1

EFFECTIVE DATE: APRIL 03, 2025

FEE SIMPLE TITLE VESTED IN: MANDT FAMILY FARMS, LLC, A WISCONSIN LIMITED LIABILITY COMPANY

NOTE: THE STATEMENT OF APPLICABILITY REFERS TO THE PARENT PARCEL, THEY ARE IDENTIFIED AS SUCH.

SCHEDULE B-II

(1-10) THESE ARE GENERAL STATEMENTS AND NOT SPECIFIC ENCUMBRANCES.

(11) THIS ITEM HAS BEEN INTENTIONALLY DELETED.

(12) THIS ITEM HAS BEEN INTENTIONALLY DELETED.

(13) THIS ITEM HAS BEEN INTENTIONALLY DELETED.

(14) ELECTRIC TRANSMISSION LINE EASEMENT IN FAVOR OF AMERICAN TRANSMISSION COMPANY, LLC, ITS SUCCESSORS AND ASSIGNS, RECORDED AS DOCUMENT NO. 4605699, AND THE TERMS AND PROVISIONS THEREOF. **APPLIES TO PARENT PARCEL AND IS PLOTTED AND SHOWN.**

(15) RESOLUTION AND ORDER ESTABLISHING UTILITY DISTRICT NO. 1 OF THE TOWN OF FITCHBURG AND OF DISSOLUTION OF SANITARY DISTRICT NO. 3 OF THE TOWN OF FITCHBURG RECORDED AS DOCUMENT NO. 1154161, AND ANY AMENDMENTS THERETO, AND THE TERMS AND PROVISIONS THEREOF. **DOES NOT AFFECT SECTION 21 AND IS NOT A SURVEY RELATED ITEM.**

(16-24) THESE ARE GENERAL STATEMENTS AND NOT SPECIFIC ENCUMBRANCES.

(25-27) THESE ITEMS HAVE BEEN INTENTIONALLY DELETED.

(28-31) THESE ARE GENERAL STATEMENTS AND NOT SPECIFIC ENCUMBRANCES.

LEASED PREMISES "B"

A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE NORTHEAST QUARTER (NE1/4) AND THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION TWENTY-ONE (21), TOWNSHIP SIX (6) NORTH, RANGE NINE (9) EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN CONTAINING 3,140,384 SQUARE FEET (72.093 ACRES) OF LAND AND BEING DESCRIBED BY:

BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 21; THENCE N89°-50'-07"E 1325.77 FEET ALONG THE NORTH LINE OF THE NE1/4 OF SAID SECTION 21 TO THE NORTHEAST CORNER OF THE W1/2 OF THE NE1/4 OF SAID SECTION 21; THENCE S00°-46'-48"W 2613.42 FEET ALONG THE EAST LINE OF THE W1/2 OF THE NE1/4 OF SAID SECTION 21 TO A POINT ON THE NORTH LINE OF WHALEN ROAD; THENCE S89°-23'-26"W 1321.45 FEET ALONG SAID NORTH LINE OF WHALEN ROAD TO A POINT ON THE WEST LINE OF THE NE1/4 OF SAID SECTION 21; THENCE N00°-40'-52"E 1606.80 FEET ALONG SAID WEST LINE OF THE NE1/4 OF SECTION 21; THENCE S89°-40'-45"E 677.15 FEET; THENCE N00°-23'-48"E 480.23 FEET; THENCE N89°-37'-41"W 674.76 FEET TO A POINT ON THE WEST LINE OF THE NE1/4 OF SAID SECTION 21; THENCE N00°-40'-52"E 535.96 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING. BEING SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

INTERCONNECTION EASEMENT

A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION TWENTY-ONE (21), TOWNSHIP SIX (6) NORTH, RANGE NINE (9) EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN CONTAINING 59,647 SQUARE FEET (1.369 ACRES) OF LAND AND BEING DESCRIBED BY:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 21; THENCE N89°-50'-07"E 1325.77 FEET ALONG THE NORTH LINE OF THE NE1/4 OF SAID SECTION 21 TO THE NORTHWEST CORNER OF THE NE1/4 OF THE NE1/4 OF SAID SECTION 21; THENCE S00°-46'-48"W 69.94 FEET ALONG THE WEST LINE OF THE NE1/4 OF SAID SECTION 21 TO THE POINT OF BEGINNING; THENCE S89°-12'-18"E 131.39 FEET; THENCE S00°-47'-41"W 454.17 FEET; THENCE N89°-12'-19"W 131.27 FEET TO A POINT ON THE WEST LINE OF THE NE1/4 OF THE NE1/4 OF SAID SECTION 21; THENCE N00°-46'-48"E 454.17 FEET ALONG SAID WEST LINE OF THE NE1/4 OF THE NE1/4 TO THE POINT OF BEGINNING. BEING SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

ACCESS EASEMENT "B"

A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHEAST QUARTER (NE1/4) AND THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION TWENTY-ONE (21), TOWNSHIP SIX (6) NORTH, RANGE NINE (9) EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN CONTAINING 6,137 SQUARE FEET (0.141 ACRES) OF LAND AND BEING DESCRIBED BY:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 21; THENCE N89°-50'-07"E 1325.77 FEET ALONG THE NORTH LINE OF THE NE1/4 OF SAID SECTION 21 TO THE NORTHEAST CORNER OF THE W1/2 OF THE NE1/4 OF SAID SECTION 21; THENCE S00°-46'-48"W 2613.42 FEET ALONG THE EAST LINE OF THE W1/2 OF THE NE1/4 OF SAID SECTION 21 TO A POINT ON THE NORTH LINE OF WHALEN ROAD AND THE POINT OF BEGINNING; THENCE N89°-23'-26"E 83.87 FEET ALONG SAID NORTH LINE OF WHALEN ROAD; THENCE S00°-36'-34"E 33.00 FEET TO A POINT ON THE SOUTH LINE OF THE NE1/4 OF SAID SECTION 21; THENCE S89°-23'-26"W 185.98 FEET ALONG SAID SOUTH LINE OF THE NE1/4 OF SECTION 21; THENCE N00°-36'-34"W 33.00 FEET TO A POINT ON SAID NORTH LINE OF WHALEN ROAD; THENCE N89°-23'-26"E 102.11 FEET ALONG SAID NORTH LINE OF WHALEN ROAD TO THE POINT OF BEGINNING. BEING SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

CERTIFICATION

The undersigned, being a Professional Land Surveyor of the State of Wisconsin certifies to:

EDF Renewables Distributed Solutions, Inc. and First American Title Insurance Company, Sunnyside Solar Partners, LLC, Madison Gas and Electric Company and its subsidiaries & Mandt Family Farms, LLC.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a)(b), 7(a)(b1), 8, 9, 11(a)(b), 13, 15, 16, 17, 18, 19 and 20 of Table A thereof.

The survey was made on the ground on January 5th, 2024 and correctly shows the area of the subject property, the location and type of all buildings, structures and other improvements situated on the subject property, and any other matters situated on the subject property.

Except as shown on the survey, there are no visible easements or rights of way of which the undersigned has been advised.

Except as shown on the survey, there are no observable, above ground encroachments (a) by the improvements on the subject property upon adjoining properties, streets or alleys, or (b) by the improvements on adjoining properties, streets or alleys upon the subject property.

Except as shown on the survey, the subject property does not serve any adjoining property for drainage, utilities, or ingress or egress.

The location of each easement, right of way, servitude, and other matter affecting the subject property and listed in the Title Insurance Commitment dated March 05, 2025 issued by First American Title Insurance Company as Commitment No. 3020-FA658W12 with respect to the subject property, has been shown on the survey, together with appropriate recording references, to the extent that such matters can be located. The property shown on the survey is the property described in that title commitment. The location of all improvements on the subject property is in accord with minimum setback provisions and restrictions of record referenced in such title commitment.

-The subject property has access to and from a duly dedicated and accepted public street, known as Mutchler Road and Whalen Road.
-The record description of the subject property forms a mathematically closed figure.
-The property described, depicted and shown hereon is the same as the property shown on First American Title Insurance Company's Commitment No.3020-FA658W11
-There are no gaps, strips or gores between the Leased Premises "B" and Access Easement "A". Access Easement "B" is contiguous with Whalen Road, a public right of way.
-There are no gaps, strips or gores between the Leased Premises "A" and Leased Premises "B".
-No cemeteries or graveyards were observed on the subject property.
-Leased Premises "B" does not lie within a flood zone.

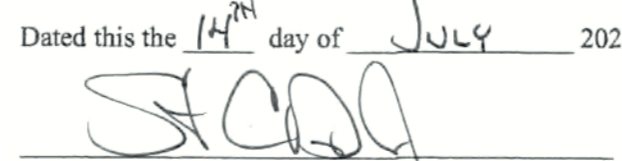
-The subject property has access to and from a duly dedicated and accepted public street, known as Mutchler Road and Whalen Road.
-The record description of the subject property forms a mathematically closed figure.
-The property described, depicted and shown hereon is the same as the property shown on First American Title Insurance Company's Commitment No.3020-FA658W11
-There are no gaps, strips or gores between the Leased Premises "B" and Access Easement "A". Access Easement "B" is contiguous with Whalen Road, a public right of way.
-There are no gaps, strips or gores between the Leased Premises "A" and Leased Premises "B".
-No cemeteries or graveyards were observed on the subject property.
-Leased Premises "B" does not lie within a flood zone.

-The subject property has access to and from a duly dedicated and accepted public street, known as Mutchler Road and Whalen Road.
-The record description of the subject property forms a mathematically closed figure.
-The property described, depicted and shown hereon is the same as the property shown on First American Title Insurance Company's Commitment No.3020-FA658W11
-There are no gaps, strips or gores between the Leased Premises "B" and Access Easement "A". Access Easement "B" is contiguous with Whalen Road, a public right of way.
-There are no gaps, strips or gores between the Leased Premises "A" and Leased Premises "B".
-No cemeteries or graveyards were observed on the subject property.
-Leased Premises "B" does not lie within a flood zone.

The subject property lies within flood zone X as identified on FIRM MAP PANEL NO. 55025C0580G with an effective date of January 2, 2009 & 55025C0585H with an effective date of September 17, 2014 and except as specifically noted on the survey, no part of the subject property lies within any area designated as "flood prone area," "special flood hazard area" or 100-year flood plain by the Federal Emergency Management Agency, the United States Army Corps of Engineers, Dane County, City of Fitchburg or any other governmental agency or authority having jurisdiction over the subject property nor is any portion of the subject property located within any lake or any creek, stream, river or other watercourse required to be undisturbed by an appropriate governmental agency or authority.

The parties listed above are entitled to rely on the survey and this certificate as being true and accurate.

Dated this the 14th day of July 2025


Steven C. DeJong, Wisconsin Professional Land Surveyor S-2791



| | | |
|---|--------------------|-------------------------|
| MERIDIAN SURVEYING, LLC N8637 Friendship Drive Kaukauna, WI 54130 | DRAWN BY: J.D. | FIELD WORK DATE: 1-5-24 |
| | CHECKED BY: S.C.D. | FIELD BOOK: NOTES |
| Office: 920-993-0881 Fax: 920-273-6037 | JOB NO.: 15098 | SHEET 4 OF 4 |

SITE CIVIL DESIGN PLAN SET

SUNNYSIDE SOLAR PARTNERS, LLC

SUNNYSIDE ENERGY CENTER

WHALEN ROAD, FITCHBURG

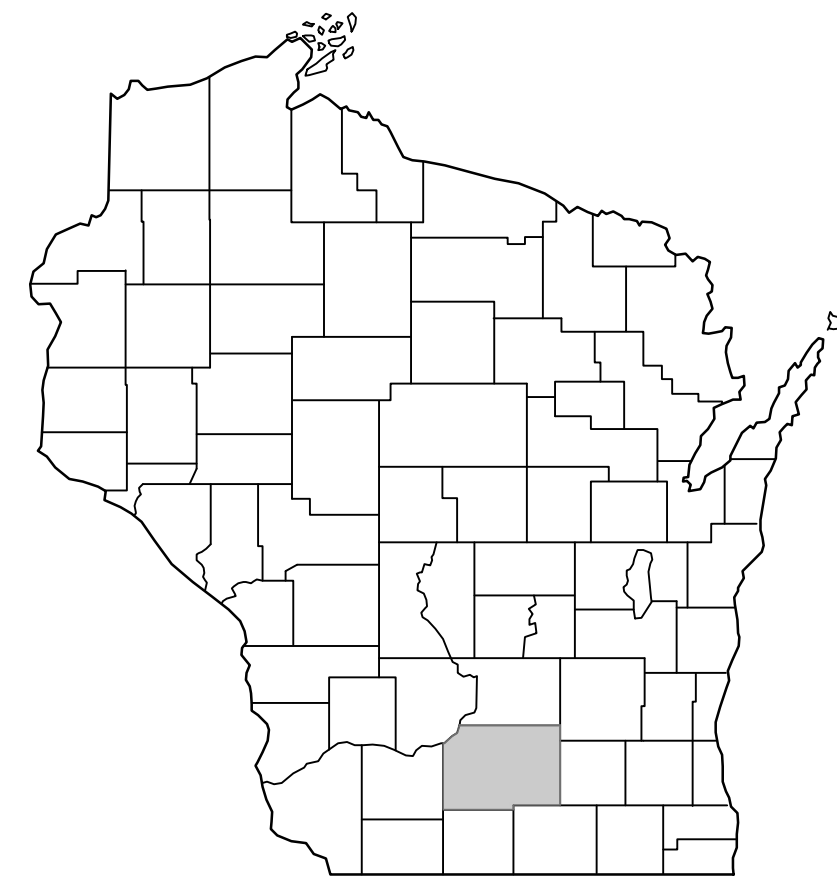
DANE COUNTY, WI

DATE: JUNE 2025

SHEET INDEX

| SHEET NUMBER | SHEET TITLE |
|--------------|--|
| G000 | TITLE SHEET |
| G010 | GENERAL NOTES |
| C010 | CIVIL NOTES |
| C020 | TEMPORARY EROSION CONTROLS |
| C030 | EROSION CONTROL PLAN |
| C031 | COMPACTION MITIGATION PLAN |
| C051 | EXISTING CONDITIONS |
| C052 | EXISTING CONDITIONS |
| C053 | EXISTING CONDITIONS |
| C054 | EXISTING CONDITIONS |
| C100 | OVERALL SITE PLAN |
| C101 | SITE PLAN |
| C102 | SITE PLAN |
| C103 | SITE PLAN |
| C104 | SITE PLAN |
| C201 | PLAN AND PROFILE EAST-WEST |
| C202 | PLAN AND PROFILE NORTH-SOUTH |
| C501A | ACCESS ROAD DETAILS |
| C501B | WEST DRIVEWAY ENTRANCE & GRADING DETAIL |
| C501C | SOUTH DRIVEWAY ENTRANCE & GRADING DETAIL |
| C501D | ACCESS ROAD CULVERT SECTIONS |
| C501E | ACCESS ROAD CULVERT SECTIONS |
| C502 | EQUIPMENT PAD GRADING |
| C503 | STORMWATER MANAGEMENT DETAILS |
| C504 | EQUIPMENT FOUNDATION DETAILS |
| C505A | CHAINLINK FENCE DETAILS AND SPECIFICATIONS |
| C505B | WELDED WIRE FENCE DETAILS AND SPECIFICATIONS |
| C506A | CULVERT DETAILS |
| C507A | LANDSCAPING PLAN |
| C507B | LANDSCAPING PLAN |
| C507C | LANDSCAPING DETAILS |

COUNTY LOCATION



DANE COUNTY, WI

PROJECT SCOPE

THE PROJECT ENTAILS THE SITE CIVIL DESIGN FOR THE INSTALLATION OF A SOLAR PHOTOVOLTAIC SYSTEM IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN. THE INSTALLATION CONSISTS OF NEW GROUND MOUNTED STRUCTURES WITH MOUNTED PHOTOVOLTAICS.

PROJECT OWNER

SUNNYSIDE SOLAR PARTNERS, LLC
C/O EDF RENEWABLES DISTRIBUTED SOLUTIONS, INC
6940 COLUMBIA GATEWAY DR, STE 400
COLUMBIA, MD 21046

ENGINEER

TRC ENVIRONMENTAL CORPORATION
999 FOURIER DRIVE
SUITE 101
MADISON, WI 53717
PHONE: 608.826.3600

SITE INFORMATION

P.I.N.: 225/0609-211-8500-4 GROSS PARCEL AREAS: 11,863,272 SQ.FT. 272.343 ACRES
225/0609-211-9000-7
225/0609-212-8650-2

ZONING: A-X, EXCLUSIVE AGRICULTURE PER A-X,
EXCLUSIVE AGRICULTURE DISTRICT ZONING

SITE CONTROL POINTS

BENCHMARK INFORMATION
SITE BENCHMARK: (BENCHMARK #1)
CHISELED "X" SET ON TOP OF EAST CONCRETE ABUTMENT
ELEVATION: 1024.62'

SITE BENCHMARK: (BENCHMARK #2)
CHISELED "X" SET ON WEST SIDE OF CONCRETE FOUNDATION OF HIGH TENSION POWER LINE TOWER #117158
ELEVATION: 1077.05'

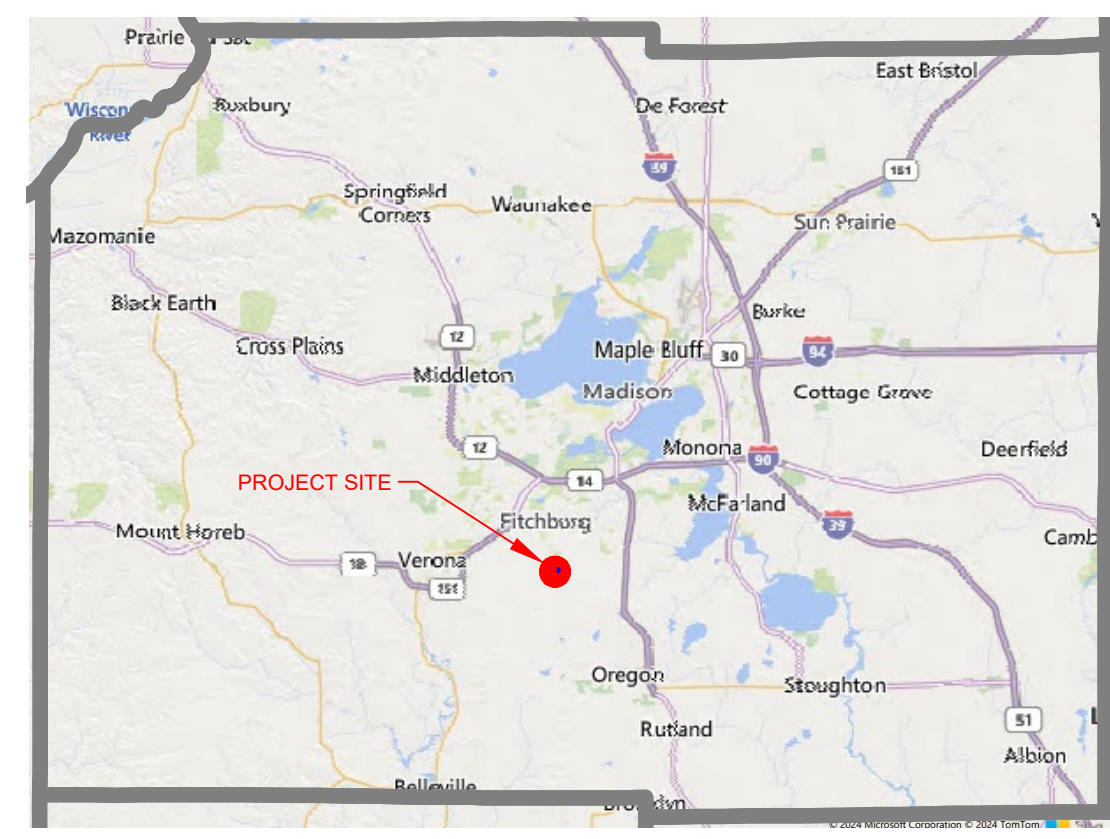
SITE BENCHMARK: (BENCHMARK #3)
RAILROAD SPIKE SET IN WEST FACE OF 10" LOCUST TREE
ELEVATION: 1030.06'

SITE BENCHMARK: (BENCHMARK #4)
RAILROAD SPIKE SET IN NORTH FACE OF 15" DECIDUOUS TREE
ELEVATION: 1035.04'

BASIS OF BEARINGS

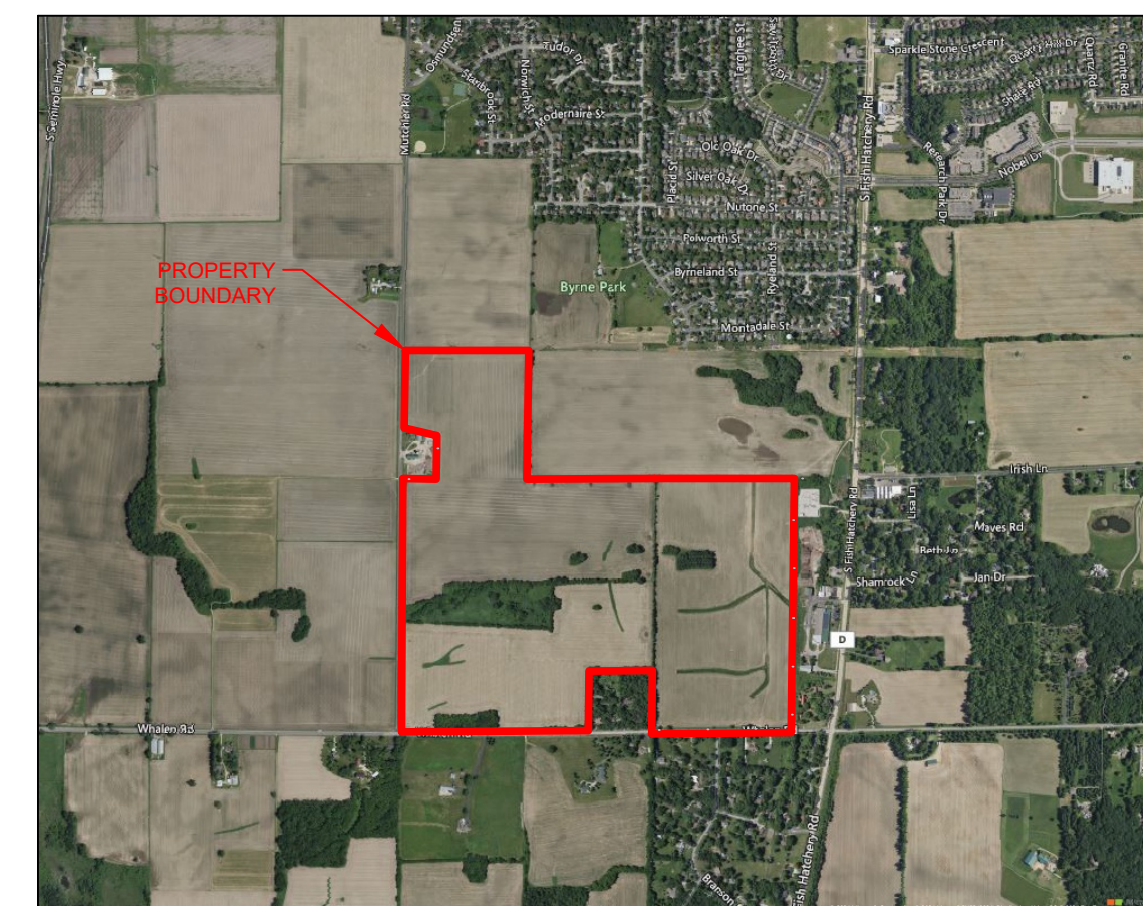
BASIS OF BEARINGS IS BASED ON BEARINGS REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM AND THE WEST LINE OF THE NW1/4, SECTION 21, T.6N., R.9E. WHICH BEARS: N00°23'26"E (VERTICAL DATUM REFERENCED TO NAVD 88) (HORIZONTAL COORDINATE SYSTEM NSRS2011 WISCONSIN COUNTY CRS: DANE-FOOT (WISCRS-DANF))

VICINITY MAP



NOT TO SCALE

PROJECT LOCATION



SCALE IN FEET
0 2000 4000

| | |
|--|--|
| <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | <p>REVIEW DRAFT - FOR DISCUSSION</p> <p>PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6</p> <p>EXPIRATION DATE: 7/31/2026</p> <p>TRC ENVIRONMENTAL CORP. CERTIFICATE OF AUTH. #3707-11</p> |
|--|--|

| | | | | | | | | | |
|--|----|-----------------------------|----------|--|--|--|--|--|-------|
| | | | | | | | | | |
| 1 | NE | ISSUED FOR PERMIT | | | | | | | ABG |
| NO. | BY | DATE | REVISION | | | | | | APPD. |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | | | | | | | |
| TITLE: TITLE SHEET | | | | | | | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.0ECR.0000 | | | | | | | |
| CHECKED BY: C. THOMAS | | | | | | | | G000 | |
| APPROVED BY: A. GRAHAM | | | | | | | | | |
| DATE: JUNE 2025 | | | | | | | | | |
| | | | | | | | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.826.3600 | |
| FILE NO.: 599713 - EDFR-DSP SUNNYSIDE SOLAR - TS.dwg | | | | | | | | | |

2024-11-08 10:57 AM ATTACHED FILES: E:\Projects\24-1053 - FITCHBURG\DRAWING\G000 - SUNNYSIDE SOLAR - TS.dwg - PLOT DATE: June 16, 2025 - 2:01 PM - LAYOUT: G000 - TITLE SHEET

2/24 -- USER: A:Rahim -- ATTACHED XREFS: -- ATTACHED IMAGES: -- PLOT DATE: June 16, 2025 - 2:01PM -- LAYOUT: G010 General Notes
DRAWING NAME: C:\Users\raahim\OneDrive\Documents\599713 - EDPR-DSP SUNNYSIDE SOLAR - GN.dwg

CIVIL NOTES:


1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE CIVIL COMPONENTS FOR CONSTRUCTION OF A SOLAR ENERGY FACILITY IN THE CITY OF FITCHBURG, WI. REFER TO RACKING PROVIDER'S AND ELECTRICAL DESIGNER'S CONSTRUCTION DOCUMENTS FOR THOSE COMPONENTS.
2. TOPOGRAPHIC SURVEY BASED ON ALTA SURVEY PERFORMED BY MERIDIAN SURVEYING, LLC DATED 05/16/2025.
3. WETLAND DELINEATION BASED ON WETLAND AND WATERWAY DELINEATION REPORT PERFORMED BY TRC COMPANIES, DATED 07/30/2021.
4. THE SUBJECT PROPERTY LIES WITHIN "ZONE X, AREA OF MINIMAL FLOOD HAZARD" ACCORDING TO THE FLOOD INSURANCE RATE MAP OF DANE COUNTY, WISCONSIN.
5. THE HORIZONTAL DATUM FOR THIS PLANSET IS REFERENCED TO THE WISCONSIN DANE COUNTY COORDINATE SYSTEM, US FEET, HARN.
6. THE VERTICAL DATUM FOR THIS PLANSET IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88)
7. THE CONTRACTOR SHALL ABIDE BY LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AGAINST THE PROVIDED SURVEY INCLUDING THE HORIZONTAL AND VERTICAL LOCATIONS OF POTENTIAL OBSTRUCTIONS INCLUDING UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAYS.
9. LOCATION OF EXISTING UTILITIES SHOWN ON PLANS WAS COMPILED FROM RECORD INFORMATION. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR TO FIELD VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND FEATURES. THE CONTRACTOR SHALL CONTACT A UTILITY LOCATING SERVICE AT LEAST THREE, BUT NOT MORE THAN TEN, WORKING DAYS PRIOR TO EXCAVATION. ADDITIONALLY, CONTRACTOR SHALL CONTACT LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES.
10. ELECTRICAL, TELEPHONE, CABLE TV, GAS, AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAY OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
11. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. DAMAGE TO EXISTING UTILITY LINES CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
12. CONSTRUCTION SHALL NOT OCCUR IN PUBLIC RIGHTS OF WAY, PUBLIC OR PRIVATE EASEMENTS, BEYOND THE LIMITS OF DISTURBANCE, OR OUTSIDE THE LEASE AREA WITHOUT A PERMIT. PUBLIC OR PRIVATE PROPERTY OR IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE COST OF THE CONTRACTOR.
13. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE EQUIPMENT OR MATERIAL WITHIN PUBLIC RIGHTS-OF-WAY. OVERNIGHT PARKING OF CONSTRUCTION VEHICLES ON PRIVATE PROPERTY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
14. THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (E.G., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION, SHORING, ETC.).
15. PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
16. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO PROVIDE SIGNS, BARRICADES, WARNING LIGHTS, GUARD RAILS, AND EMPLOY FLAGGERS AS NECESSARY WHEN CONSTRUCTION INTERFERES WITH EITHER VEHICULAR OR PEDESTRIAN TRAFFIC. THESE DEVICES SHALL REMAIN IN PLACE UNTIL THE TRAFFIC MAY PROCEED NORMALLY AGAIN.
17. BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO THE APPLICABLE SECTION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
18. CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT PRIOR TO THE START OF THE PROJECT CONSTRUCTION. THE CONTRACTOR SHALL ABIDE BY THE PERMITS OBTAINED BY OWNER. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR PERMITS REQUIRED BY THE CONTRACT DOCUMENTS.
19. BEFORE COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, POTHOLE AND MEASURE DEPTH TO TOP OF EXISTING, UNDERGROUND WET & DRY UTILITIES AT PROPOSED CROSSING LOCATIONS, ACCORDING TO THE CONTRACT DOCUMENTS OR AS SPECIFIED BY THE UTILITY OWNER. CONTRACTOR SHALL PROVIDE ENGINEER AND OWNER WITH AN "AS-BUILT" PLAN OF INFORMATION, AND RECEIVE FORMAL APPROVAL BEFORE STARTING WORK.
20. CONTRACTOR TO PERFORM WORK IN ACCORDANCE WITH EXISTING PROJECT PERMITS, STUDIES, AND REPORTS PROVIDED IN THE CONTRACT DOCUMENTS INCLUDING: CONDITIONAL USE, SPECIAL USE, OR OTHER LAND USE TYPE PERMITS INCLUDING THE ASSOCIATED CONDITIONS OF APPROVAL; ENVIRONMENTAL STUDIES AND REPORTS; HYDROLOGICAL STUDIES AND REPORTS; ETC.
21. CONTRACTOR SHALL DETERMINE THE SOURCE OF AND SECURE APPROVAL OF CONSTRUCTION WATER AS NECESSARY TO COMPLETE THE PROJECT.
22. CONTRACTOR SHALL MANAGE DUST, DIRT, MUD, SNOW, ETC. DURING THE CONSTRUCTION PHASE IN A SUITABLE MANNER SO AS TO NOT TO IMPACT THE COMMISSIONING, PERFORMANCE, INSPECTION, OR RELIABILITY OF EQUIPMENT, SUCH AS BUT NOT LIMITED TO: MODULES, COMBINERS, INVERTERS, TRANSFORMERS, DISCONNECTS, SWITCHGEAR, SCADA / SEEDS, WEATHER STATIONS, CONDUCTORS AND TERMINATIONS, AND TRACKERS.
23. THIS PROJECT DOES NOT PROPOSE NEW WATER OR SANITARY SEWER FACILITIES.
24. THE LOCATIONS OF PROPOSED IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO: FENCING, SOLAR ARRAY RACKING, INVERTER/TRANSFORMER STRUCTURES, OVERHEAD POLES AND LINES, ETC., SHOWN ARE APPROXIMATE AND ARE SUBJECT TO MODIFICATION DUE TO SITE CONDITIONS, ADDITIONAL PERMITTING REQUIREMENTS, EQUIPMENT SPECIFICATIONS, AND/OR OTHER CONSTRAINTS.
25. PROJECT AREA, INCLUDING CONSTRUCTION STAGING AREAS, WILL BE CLEARED AND GRUBBED AS NECESSARY, RETAINING PRE-DEVELOPMENT DRAINAGE PATTERNS TO THE MAXIMUM EXTENT POSSIBLE. CONSTRUCTION STAGING AND AREAS SUBJECT TO RUTTING DURING CONSTRUCTION WILL BE TEMPORARILY STABILIZED WITH GRAVEL OR OTHER MATERIAL APPROVED BY OWNER.
26. THE CONTRACTOR SHALL PROVIDE GENERATORS TO SUPPLY POWER FOR ACTIVITIES RELATED TO CONSTRUCTION. GENERATORS AND TEMPORARY PUMPS TO BE LOCATED IN CONTRACTOR-PROVIDED TEMPORARY SECONDARY CONTAINMENT.
27. CONTRACTOR SHALL MAINTAIN ACCESS AND UTILITY SERVICES TO EXISTING BUILDING(S) OR ADJACENT BUILDING(S) THROUGHOUT THE PROPOSED PROJECT. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
28. A MINIMUM BUFFER OF 175-FEET FROM ALL WETLANDS SHALL BE MAINTAINED WITH NO DISTURBANCE.
29. THE PRIMARY ACCESS TO THE SITE FOR PASSENGER AND MAINTENANCE VEHICLES SHALL BE THE MUTCHLER ENTRANCE. HEAVY TRUCK TRAFFIC DURING CONSTRUCTION SHALL TAKE ACCESS TO THE SITE FROM WHALEN BETWEEN THE HOURS OF 9 AM AND 3 PM.
30. A RIGHT OF WAY PERMIT IS REQUIRED FOR ALL WORK WITHIN THE RIGHT OF WAY (DRIVEWAYS, EXCAVATION, AND OCCUPANCY); ALL WORK WITHIN THE RIGHT OF WAY SHALL CONFORM WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
31. WIRE LOCATIONS ARE APPROXIMATED. FINAL LOCATION TO BE FIELD COORDINATED AND SUBMITTED TO EDF FOR APPROVAL

GRADING NOTES:

1. WORK RELATED TO ROAD CONSTRUCTION, SITE PREPARATION, AND GRAVEL INSTALLATION, AS SHOWN ON THIS PLAN, SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION AND STATE OR LOCAL STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOT PERFORM WORK OUTSIDE OF THE LIMITS OF DISTURBANCE EXCEPT AS REQUIRED BY THIS PLAN.
3. EXCAVATED MATERIAL (NON-HAZARDOUS OR NON-CONTAMINATED) MAY BE TEMPORARILY STOCKPILED IN AREAS DESIGNATED BY OWNER. TOPSOIL TO BE STOCKPILED SEPARATELY. EXCESS EXCAVATED MATERIAL CAN BE SPREAD ONSITE. CATWALK THE SPREAD MATERIAL USING DIRECTIONAL TRACKING PRACTICES, APPLY TOPSOIL, AND VEGETATE AREAS IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN.
4. EXCESS MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH REGULATORY AUTHORITIES. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND STATE AUTHORITIES OF LOCATION OF DISPOSAL BEFORE MATERIAL IS REMOVED.
5. A DISPOSAL SITE FOR EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OWNER.
6. FILL MATERIAL SHALL NOT CONTAIN DELETERIOUS MATERIALS OR ORGANIC MATTER. FROZEN AND FROST HEAVED SOIL IS NOT SUITABLE FOR FILL. NO ROCK OR IRREDUCIBLE MATERIAL WITH A MINIMUM DIMENSION GREATER THAN 3 INCHES SHALL BE BURIED OR PLACED AS FILL UNLESS SPECIFIED OTHERWISE.
7. CONDUCT EARTHWORK OPERATIONS ONLY IN AREA REQUIRED FOR IMMEDIATE CONSTRUCTION ACTIVITY AND THEN ONLY IF SEDIMENT CONTROL DEVICES ARE IN PLACE. MASS CLEARING AND GRADING OF THE SITE SHALL BE AVOIDED.
8. IN AREAS BELOW FOUNDATIONS SUPPORTED ON SOIL, SOIL/FILL SHOULD BE COMPACTED TO 95% OF THE MAXIMUM DRY UNIT WEIGHT DETERMINED BY THE STANDARD PROCTOR TEST AT A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT. COMPACT AGGREGATE AND GRAVEL TO THE SAME REQUIREMENTS OF FILL TO THE GRADES AND SLOPES SHOWN ON DRAWINGS. IN OTHER AREAS WITHOUT COMPACTION OR PROOF ROLLING CRITERIA, SOIL/FILL SHOULD BE COMPACTED TO A MINIMUM 90% OF THE MAXIMUM DRY UNIT WEIGHT DETERMINED BY THE STANDARD PROCTOR TEST.
9. PRIOR TO PROOF ROLLING, COMPACT SURFACE WITH A SMOOTH-DRUM COMPACTOR IMMEDIATELY PRIOR TO PROOF ROLLING TO ENSURE THE SURFACE IS FREE OF TRACKS, RUTS, AND RIDGED MATERIAL TO PREVENT FALSE READINGS. PROVIDE DOCUMENTATION OF THE WEIGHT OF THE LOADED TRUCK TO THE ENGINEER. PROOF ROLLING SHALL BE PERFORMED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER OR QUALIFIED GEOTECHNICAL REPRESENTATIVE USING A FULLY LOADED TANDEM AXLE DUMP TRUCK WITH A MINIMUM GROSS WEIGHT OF 24 TONS OR A FULLY LOADED WATER TRUCK WITH AN EQUIVALENT AXLE LOADING. PROOF ROLLING SHOULD BE CONDUCTED IN A MANNER SUCH THAT AFTER THE FIRST PASS SUBSEQUENT PASSES WILL HAVE ONE WHEEL CENTERED BETWEEN THE WHEEL PATHS OF THE PREVIOUS PASS. UNTIL THE ENTIRE SURFACE OF THE PROOF ROLL AREA IS TESTED. PROOF ROLLING ACCEPTANCE STANDARDS INCLUDE NO RUTTING GREATER THAN TWO INCHES, AND NO DEFLECTIONS (PUMPING) BEHIND THE LOADED TRUCK.
REQUIREMENTS:
COMPACTED SUBGRADE:
 - THE ENTIRE ACCESS DRIVE SUBGRADE SHALL BE PROOF-ROLLED PRIOR TO THE PLACEMENT OF THE GEOTEXTILE AND AGGREGATE TO IDENTIFY AREAS OF UNSTABLE SUBGRADE. IF UNSTABLE SUBGRADE IS ENCOUNTERED SCARIFY, MOISTURE CONDITION, AND RECOMPACT SOILS TO ACHIEVE COMPACTION.**AGGREGATE BASE AND SUBBASE:**
 - AGGREGATE BASE SHALL BE PROOF ROLLED OVER THE ENTIRE LENGTH. IF PROOF ROLLING DETERMINES THAN THE DRIVE IS UNSTABLE, ADDITIONAL AGGREGATE SHALL BE ADDED UNTIL THE UNSTABLE SECTION IS ABLE TO PASS A PROOF ROLL.
 - PROVIDE SIEVE ANALYSIS PER 2,000 CUBIC YARDS OF AGGREGATE PLACED.
10. PROPOSED POINT ELEVATIONS DEPICT FINISHED GRADE UNLESS INDICATED OTHERWISE.

REFERENCE STANDARDS:

- REFERENCES HEREIN ARE MADE IN ACCORDANCE WITH THE FOLLOWING ABBREVIATIONS AND ALL WORK SHALL CONFORM TO THE LATEST EDITIONS, AS APPLICABLE.
1. MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS
 2. WISDOT WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS
 3. CLFMI CHAIN LINK FENCE MANUFACTURERS INSTITUTE PRODUCT MANUAL
 4. WDNR WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS
 5. DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL
- AMERICAN SOCIETY OF TESTING MATERIALS (ASTM):
6. A116 STANDARD SPECIFICATION FOR METALLIC-COATED, STEEL-WOVEN WIRE FABRIC FENCE
 7. A824 SPECIFICATION FOR METALLIC-COATED STEEL MARCELLED TENSION WIRE FOR USE WITH CHAIN LINK
 8. A856 STANDARD SPECIFICATION FOR ZINC-5% ALUMINUM-MISCHMETAL ALLOY-COATED CARBON STEEL WIRE
 9. F567 STANDARD PRACTICE INSTALLATION OF CHAIN-LINK FENCE
 10. F626 STANDARD SPECIFICATION FOR FENCE FITTINGS
 11. F900 STANDARD SPECIFICATION FOR INDUSTRIAL AND COMMERCIAL SWING GATES
 12. F1043 SPECIFICATION FOR STRENGTH AND PROTECTIVE COATINGS OF METAL INDUSTRIAL CHAIN LINK FENCE FRAMEWORK
 13. F1083 STANDARD SPECIFICATION FOR PIPE, STEEL, HOT-DIPPED ZINC-COATED (GALVANIZED) WELDED, FOR FENCE STRUCTURES
 14. F1667-18A STANDARD SPECIFICATION FOR DRIVEN FASTENERS: NAILS, SPIKES, AND STAPLES
 15. C76 STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE
 16. C443 STANDARD SPECIFICATION FOR JOINTS FOR CONCRETE PIPE AND MANHOLES, USING RUBBER GASKETS
- AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO):
17. M170 STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE

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| SEAL: | | REVIEW DRAFT - FOR DISCUSSION | | |
| PRELIMINARY NOT FOR CONSTRUCTION | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 | | |
| | | EXPIRATION DATE: 7/31/2026 | | |
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| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | | |
| TITLE: GENERAL NOTES | | | | |
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0EGR.0000 | |
| CHECKED BY: | C. THOMAS | G010 | | |
| APPROVED BY: | A. GRAHAM | | | |
| DATE: | JUNE 2025 | | | |
|  | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | | |
| FILE NO.: | | 599713 - EDPR-DSP SUNNYSIDE SOLAR - GN.dwg | | |

2/24 -- USER: ABehrman -- ATTACHED REFERENCES: -- ATTACHED IMAGES: -- PLOT DATE: June 16, 2025 - 2:01PM -- LAYOUT: C010 CIVIL NOTES
DRAWING NAME: C:\Users\abehrman\project\wse\599713 - EDFR-DSP SUNNYSIDE SOLAR - GN.dwg

GENERAL CONSTRUCTION SEQUENCE:

EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE THE FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

BEST MANAGEMENT PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AND LOCATIONS SHOWN ON THE PLANS.

THE ORDER OF THE FOLLOWING SEQUENCE IS SUBJECT TO CHANGE DUE TO SITE SPECIFIC CONDITIONS AND CONSTRUCTION METHODS.

1. FIELD VERIFY EXISTING CONDITIONS.
2. INSTALL TEMPORARY CONSTRUCTION ACCESS AND THE STABILIZED CONSTRUCTION ENTRANCES TO THE SITE.
3. CLEARING AS NECESSARY FOR THE INSTALLATION OF PERIMETER CONTROLS.
4. FOLLOWING INITIAL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS ON PERIMETER CONTROLS AND SLOPES GREATER THAN 3 TO 1 AND 14 CALENDAR DAYS ON OTHER DISTURBED AREAS ON THE SITE.
5. INSTALL PERIMETER CONTROLS (SILT FENCE OR EROSION CONTROL LOGS) WHERE DISTURBED AREAS WILL NOT BE STABILIZED THAT SAME DAY.
6. STRIP TOPSOIL FOR ACCESS ROAD AND OTHER LOCATIONS AND STOCKPILE AS NEEDED.
7. GRADE ACCESS ROADS AND INSTALL GRAVEL SURFACE.
8. INSTALL PERIMETER FENCE AND GATES.
9. INSTALL UNDERGROUND ELECTRICAL CONDUITS AND UTILITY EXTENSIONS.
10. INSTALL SOLAR ARRAY FOUNDATIONS AND SOLAR ARRAYS. PHOTOVOLTAIC ARRAY MODULES SHALL BE CONSTRUCTED WITH GAPS BETWEEN ADJOINING MODULES TO ALLOW STORM WATER TO FLOW TO THE VEGETATED GROUND BELOW THE PHOTOVOLTAIC ARRAYS. TEMPORARY BMP'S MAY REQUIRE TEMPORARY RELOCATION FOR THE ARRAY PILE INSTALLATION.
11. CONSTRUCT WEST ENTRANCE ACCESS DRIVE.
12. FINAL GRADING, LANDSCAPING, AND STABILIZATION. REMOVE TEMPORARY CONSTRUCTION ACCESS.
13. SPREAD TOPSOIL, SEED, AND MULCH ON REMAINING DISTURBED AREAS TO BE STABILIZED; TOPSOIL SHALL BE PLACED TO A 4-INCH MINIMUM DEPTH.
14. UPON STABILIZATION OF THE SITE AND WITH THE CONSENT OF THE APPROPRIATE ENFORCEMENT AUTHORITY, BEST MANAGEMENT PRACTICES (BMPs), SUCH AS EROSION CONTROL LOGS AND STABILIZED CONSTRUCTION ENTRANCE CAN BE REMOVED. DISTURBED SOILS RESULTING FROM BMP REMOVAL SHALL BE STABILIZED WITH SEED AND MULCH IMMEDIATELY. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER.

EROSION CONTROL NOTES

1. POST WDNr CERTIFICATE OF PERMIT COVERAGE ONSITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, THE CITY OF FITCHBURG (CITY) HAS BEEN NOTIFIED OF STABILIZATION, AND A NOTICE OF TERMINATION IS FILED WITH WDNr.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL AND STORMWATER MANAGEMENT PLAN ONSITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE CITY AND WDNr AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. PERMITTEE SHALL NOTIFY THE CITY WITHIN 10 DAYS OF INITIAL INSTALLATION OF EROSION CONTROL MEASURES TO ARRANGE AN INSPECTION. NO GRADING OR CONSTRUCTION WORK IS ALLOWED UNTIL THE PERMIT IS APPROVED AND EROSION CONTROL MEASURES HAVE BEEN PUT IN PLACE. LANDOWNER/APPLICANT SHALL NOTIFY THE CITY OF CHANGES TO THE CONSTRUCTION SCHEDULE AS WORK PROGRESSES.
5. THE PROJECT MAY BE CONSTRUCTED IN MULTIPLE PHASES OR CONCURRENTLY. APPLICANT TO COORDINATE WITH THE CITY WITH PROPOSED IMPLEMENTATION SCHEDULE WITHIN THE CONSTRAINTS LISTED BELOW. CITY APPROVAL OF EROSION CONTROLS FOR SUBSEQUENT PHASES OF CONSTRUCTION WILL BE REQUIRED IF PROJECT PHASES ARE NOT PERFORMED CONCURRENTLY.
6. OWNER IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER.
7. CONTRACTOR SHALL COMPLETE AND UPLOAD CONSTRUCTION SITE EROSION CONTROL INSPECTIONS ONLINE USING THE PERMITRACK SYSTEM (<https://www.mypermitrack.com/sehsvc/login>) UNTIL COMPLETE STABILIZATION IS MET. CITY STAFF WILL SET UP THE ACCOUNTS, PROJECT, AND PROVIDE TRAINING AS NEEDED TO PERMITTEE, CONSULTANTS, AND CONTRACTORS. IF THE SITE WILL BE INACTIVE, BUT STABLE, FOR A PROLONGED PERIOD (E.G. WINTER SHUTDOWN), CONTRACTOR MAY CONTACT THE CITY TO REQUEST CHANGING INSPECTION STATUS TO "INACTIVE" SO WEEKLY INSPECTIONS DON'T NEED TO BE DONE UNTIL CONSTRUCTION WORK RESUMES.
8. INSPECT AND MAINTAIN INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
9. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
10. REFER TO THE WDNr STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
11. REFER TO THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL AT <https://danecountystormwatermanual.com/>.
12. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE **WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 AND DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL** FOR ROCK CONSTRUCTION ENTRANCE(S).
13. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH **WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060**.
14. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER **WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067**.
15. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF OWNER. GROUNDWATER DEWATERING IS SUBJECT TO A WDNr WASTEWATER DISCHARGE PERMIT AND A WDNr HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
16. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH **WDNR TECHNICAL STANDARD DE-WATERING #1061**.
17. INSTALL AND MAINTAIN SILT FENCING PER **WDNR TECHNICAL STANDARD SILT FENCE #1056 AND DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL**. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
18. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS AS SOON AS POSSIBLE. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER **WDNR TECHNICAL STANDARD DITCH CHECKS #1062 AND DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL**.
19. INSTALL AND MAINTAIN EROSION CONTROL LOGS IN ACCORDANCE WITH **WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071 AND DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL**.
20. STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
21. STABILIZE DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE.
22. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
23. SWEEP/CLEAN UP SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY OWNER. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY. ROADWAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF THE WORKING DAY. INLETS, CULVERTS, OR OTHER STORM SEWER STRUCTURES SUBJECT TO SITE DRAINAGE SHALL BE PROTECTED WITH SILT SCREEN PROTECTION DEVICE SPECIFICALLY DESIGNED FOR THAT STRUCTURE. DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS, CURRENT EDITION, THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL, AND WDNr TECHNICAL STANDARDS.
24. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER **WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068**.
25. PROPERLY DISPOSE OF WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
26. COORDINATE WITH OWNER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
27. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WISDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER **WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052 AND DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL**.
28. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B OR C EROSION CONTROL MATTING FOR CHANNELS WITH A MAXIMUM SLOPE OF 6 PERCENT. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER **WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053**.
29. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.) AS NECESSARY, OR AS DIRECTED BY OWNER.
30. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH APPLICABLE WDNr REMEDIATION AND WASTE AND MATERIALS MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNr'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: <http://dnr.wi.gov/botw/>

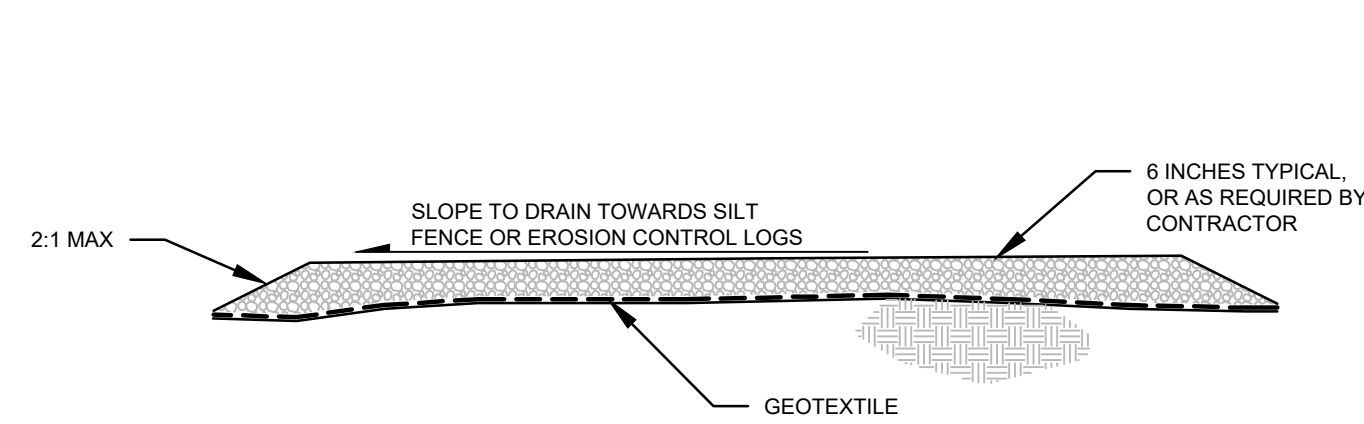
31. DISCHARGE OF SEDIMENT OR CONTAMINANTS TO WATERS OF THE STATE OR UNITED STATES (US) IS PROHIBITED. A SPILL PLAN IS REQUIRED IF THERE IS POTENTIAL TO DISCHARGE CONTAMINANTS TO WATERS OF THE STATE OR US.
32. THE SITE SHALL BE STABILIZED BY THE COMPLETION DATE LISTED ON THE PERMIT. IF THE SITE CANNOT BE STABILIZED BY THAT DATE, WRITTEN NOTICE SHALL BE GIVEN TO THE CITY ALONG WITH REVISED STABILIZATION DATE, REVISED SOIL LOSS SPREADSHEET(S) AND REQUEST TO EXTEND THE COMPLETION DATE.
33. WITHIN 10 DAYS FOLLOWING CONSTRUCTION AND FINAL SOIL STABILIZATION, THE PERMITTEE SHALL NOTIFY THE CITY TO ARRANGE A CONFIRMATION OF PROJECT COMPLETION AND STABILIZATION.

SEEDING NOTES:

1. SEED MIXTURE SHALL INCLUDE RAPID-GROWING ANNUAL GRASSES OR SMALL GRAINS TO PROVIDE INITIAL, TEMPORARY SOIL STABILIZATION. THE TEMPORARY STABILIZATION MIXTURE SHALL CONFORM TO WISDOT 630.2.1.5.2 STANDARDS OR WDNr CONSERVATION PRACTICE STANDARD 1059.
2. PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL, OR AT SUCH TIME AS APPROVED BY THE OWNER.
3. PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.
4. PRIOR TO SEEDING, COMPACTED AREAS OR AREAS RECEIVING REGULAR CONSTRUCTION VEHICLE TRAFFIC SHALL BE PREPARED TO LOOSEN SOILS BY DISC HARROWING OR SIMILAR METHOD.
5. SEED MIXTURES WILL BE APPLIED USING A SEED DRILL DESIGNED FOR SEEDING (TRUAX® OR EQUIVALENT), OR OTHER METHOD OF SEEDING DESIGNED TO MINIMIZE DISTURBANCE TO THE EXISTING VEGETATION, TO PROVIDE PROPER CONTACT AND DEPTH OF PLACEMENT.
6. THE CONTRACTOR SHALL SUPPLY LABOR, APPROVED SEEDING MIX, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWING(S).
7. TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4 INCHES AT DISTURBED AREAS WITHOUT SUFFICIENT TOPSOIL.
8. THE USE OF FERTILIZERS IS NOT ANTICIPATED TO BE REQUIRED FOR THE ESTABLISHMENT AND LONG-TERM MAINTENANCE OF VEGETATIVE GROUND COVER WITHIN THE FACILITY. THE REQUIREMENT FOR THE USE OF FERTILIZER MAY BE BASED ON SOIL TESTING RESULTS FROM SAMPLES SUBMITTED TO THE AGRICULTURAL EXTENSION. MATERIALS AND APPLICATION OF FERTILIZER SHALL BE CONSISTENT WITH SECTION 629 OF THE WISDOT STANDARD SPECIFICATIONS.
9. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
10. SLOPES GREATER THAN 3:1 RECEIVING A SEED MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.
11. THE SEED MIXTURE SPECIFIED IN THE EROSION CONTROL AND STORMWATER MANAGEMENT PLAN OR ALTERNATE DESIGNED BY AN ECOLOGICAL EXPERT IS PROPOSED FOR LONG TERM STABILIZATION WITHIN THE LIMITS OF DISTURBANCE. BI-ANNUAL INSPECTIONS OF THE FACILITY SHALL IDENTIFY AND ADDRESS AREAS WHICH REQUIRE ADDITIONAL SEEDING OR MAINTENANCE TO PROVIDE ADEQUATE VEGETATIVE COVER THROUGHOUT THE OPERATIONAL LIFE OF THE FACILITY.
12. NOTE THE LANDSCAPING AND POLLINATOR PLANTINGS VEGETATION MAINTENANCE AND MANAGEMENT PLAN IS AVAILABLE FOR ADDITIONAL REFERENCING GUIDELINES REGARDING SEEDING MIXES AND/OR SEEDING SUBSTITUTION, IMPLEMENTATION, MAINTENANCE, MONITORING, AND MANAGEMENT METHODS AND/OR APPROACHES.

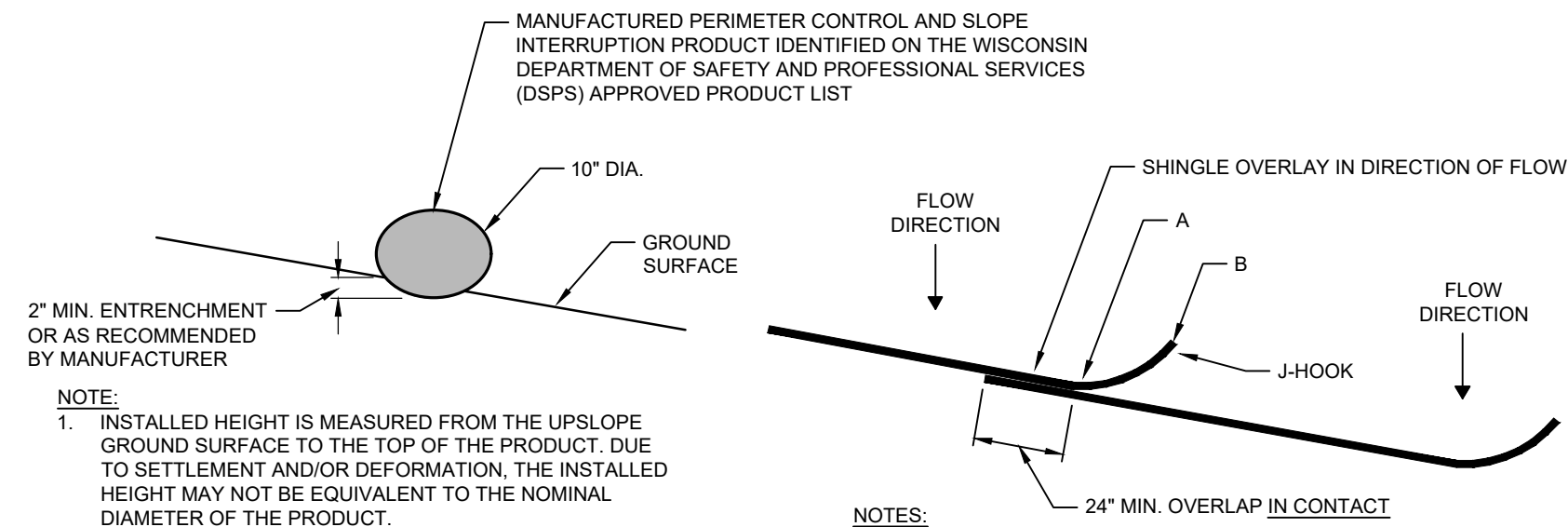
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|--|-----------|--|------------------|
| SEAL: | | REVIEW DRAFT - FOR DISCUSSION | |
| PRELIMINARY NOT FOR CONSTRUCTION | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 | |
| | | EXPIRATION DATE: 7/31/2026 | |
| | | TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #5707-11 | |
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| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION APPD. |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | |
| TITLE: CIVIL NOTES | | | |
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0EGR.0000 |
| CHECKED BY: | C. THOMAS | C010 | |
| APPROVED BY: | A. GRAHAM | | |
| DATE: | JUNE 2025 | | |
|  | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | |
| FILE NO.: | | 599713 - EDFR-DSP SUNNYSIDE SOLAR - GN.dwg | |

2/20/24 - USER: AEdillon - ATTACHED REF'S: - ATTACHED IMAGES: - TRACKOUT CREATOR: - DRAWING NAME: C:\Users\aedillon\OneDrive\Documents\37097771.599713 - EDPR-DSP SUNNYSIDE SOLAR - DT-EC.dwg --- PLOT DATE: June 16, 2025 - 2:01PM --- LAYOUT: TEMPORARY EROSION CONTROLS



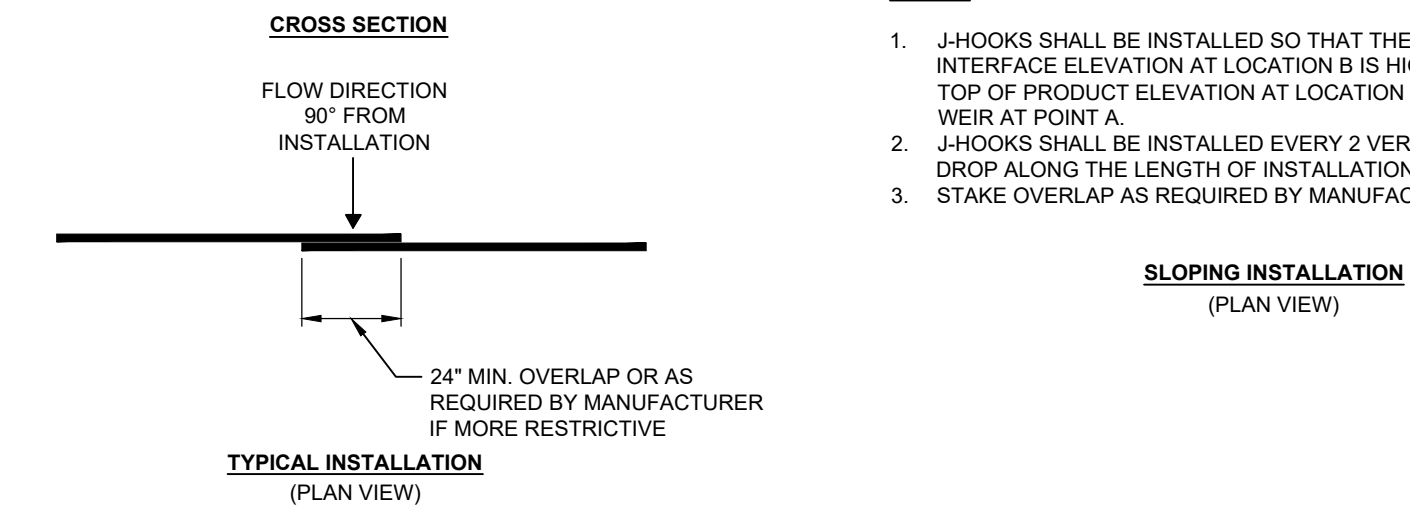
- NOTES:**
1. INSTALL TEMPORARY LAYDOWN AREA GRAVEL PADS AS DIRECTED BY THE OWNER FOR TEMPORARY STORAGE AND PARKING AREAS.
 2. PREPARE SUBGRADE BY MOWING AND REMOVING CLIPPINGS.
 3. GEOTEXTILE SHALL BE AASHTO M288 CLASS 2 SEPARATION GEOTEXTILE.
 4. AGGREGATE SHALL BE DURABLE CRUSHED STONE OR ROCK OF SUITABLE GRADATION TO PROVIDE AN STABLE, ACCESSIBLE SURFACE. RECOMMENDED GRADATIONS INCLUDE SECTION 305 DENSE GRADED BASE 1-1/4 INCH OR 3/4 INCH, SECTION 310 OPEN GRADED BASE OF THE WISDOT STANDARD SPECIFICATIONS.

1
C020 **TEMPORARY LAYDOWN AREA GRAVEL PAD**
(NOT TO SCALE)

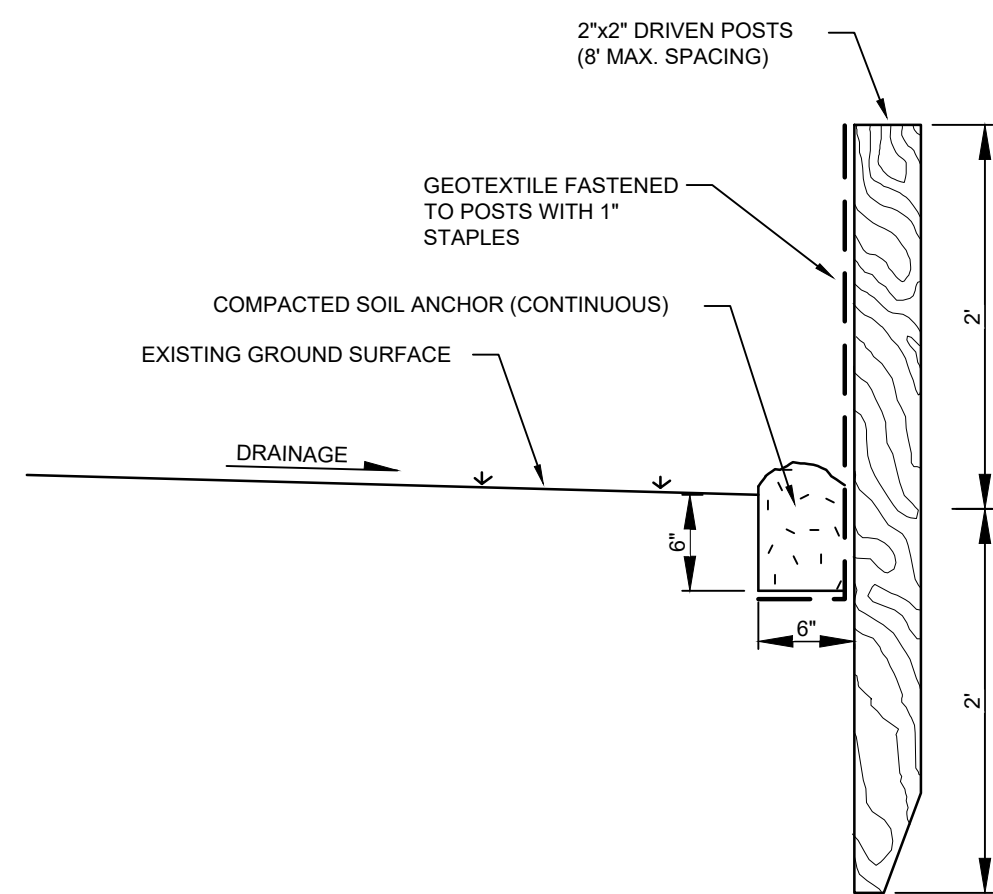


- NOTE:**
1. INSTALLED HEIGHT IS MEASURED FROM THE UPSLOPE GROUND SURFACE TO THE TOP OF THE PRODUCT. DUE TO SETTLEMENT AND/OR DEFORMATION, THE INSTALLED HEIGHT MAY NOT BE EQUIVALENT TO THE NOMINAL DIAMETER OF THE PRODUCT.

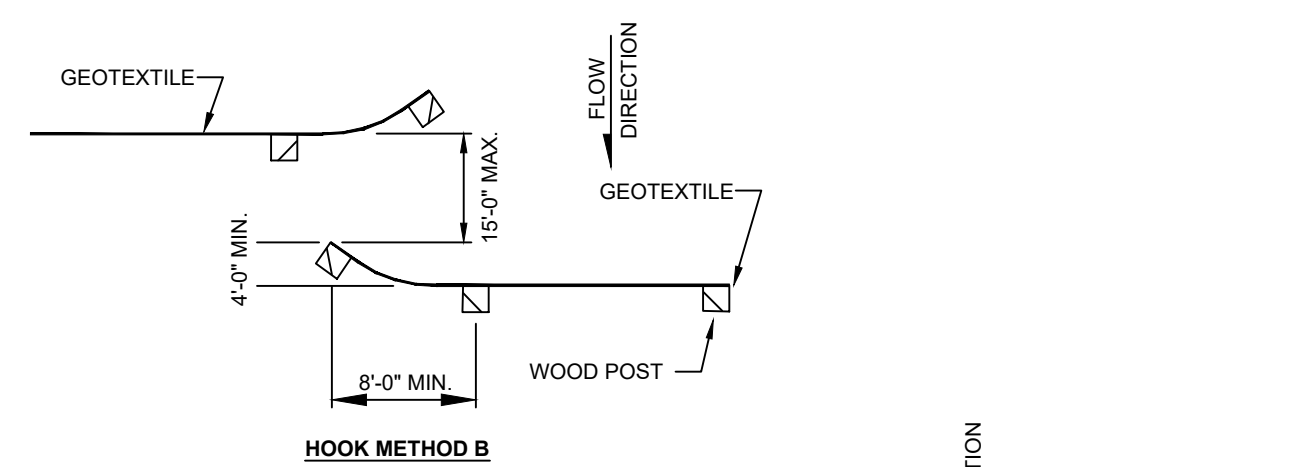
- NOTES:**
1. J-HOOKS SHALL BE INSTALLED SO THAT THE GROUND-PRODUCT INTERFACE ELEVATION AT LOCATION B IS HIGHER THAN THE TOP OF PRODUCT ELEVATION AT LOCATION A TO CREATE A WEIR AT POINT A.
 2. J-HOOKS SHALL BE INSTALLED EVERY 2 VERTICAL FEET OF DROP ALONG THE LENGTH OF INSTALLATION.
 3. STAKE OVERLAP AS REQUIRED BY MANUFACTURER.



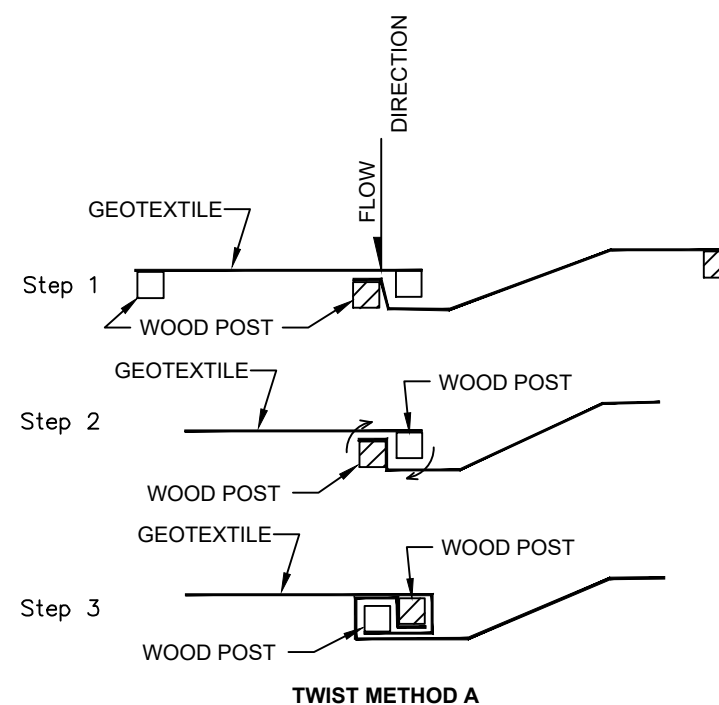
3
C020 **EROSION CONTROL LOG DETAIL**
NOT TO SCALE



CROSS SECTION VIEW



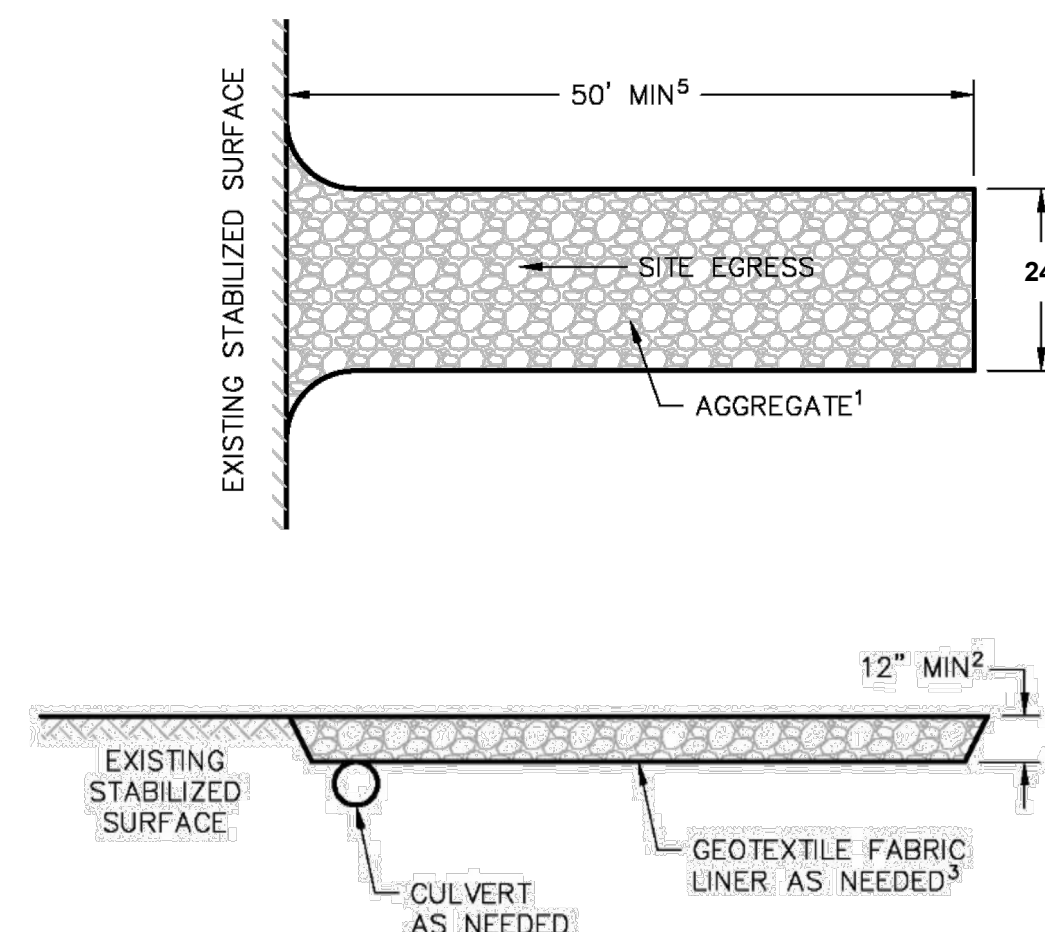
HOOK METHOD B



TWIST METHOD A

- NOTES:**
1. INSTALL SILT FENCE ON CONTOUR. ADJUST LOCATIONS SHOWN ON PLANS AND PROVIDE J-HOOKS WHERE NEEDED TO STAY ON CONTOUR AND ALLOW ACCESS TO AREAS.
 2. INSTALL PER WDNR TECH STANDARD #1056

2
C020 **SILT FENCE DETAIL**
NOT TO SCALE



- NOTES:**
1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION IN TABLE 1. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) 2020 STANDARD SPECIFICATION, SECTION 312, SELECT CRUSHED MATERIAL.
 2. SLOPE THE STONE TRACKING PAD IN MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
 3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING. FABRIC SHALL MEET THE REQUIREMENTS OF AASHTO M288 CLASS 2 SEPARATION GEOTEXTILE.
 4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
 5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

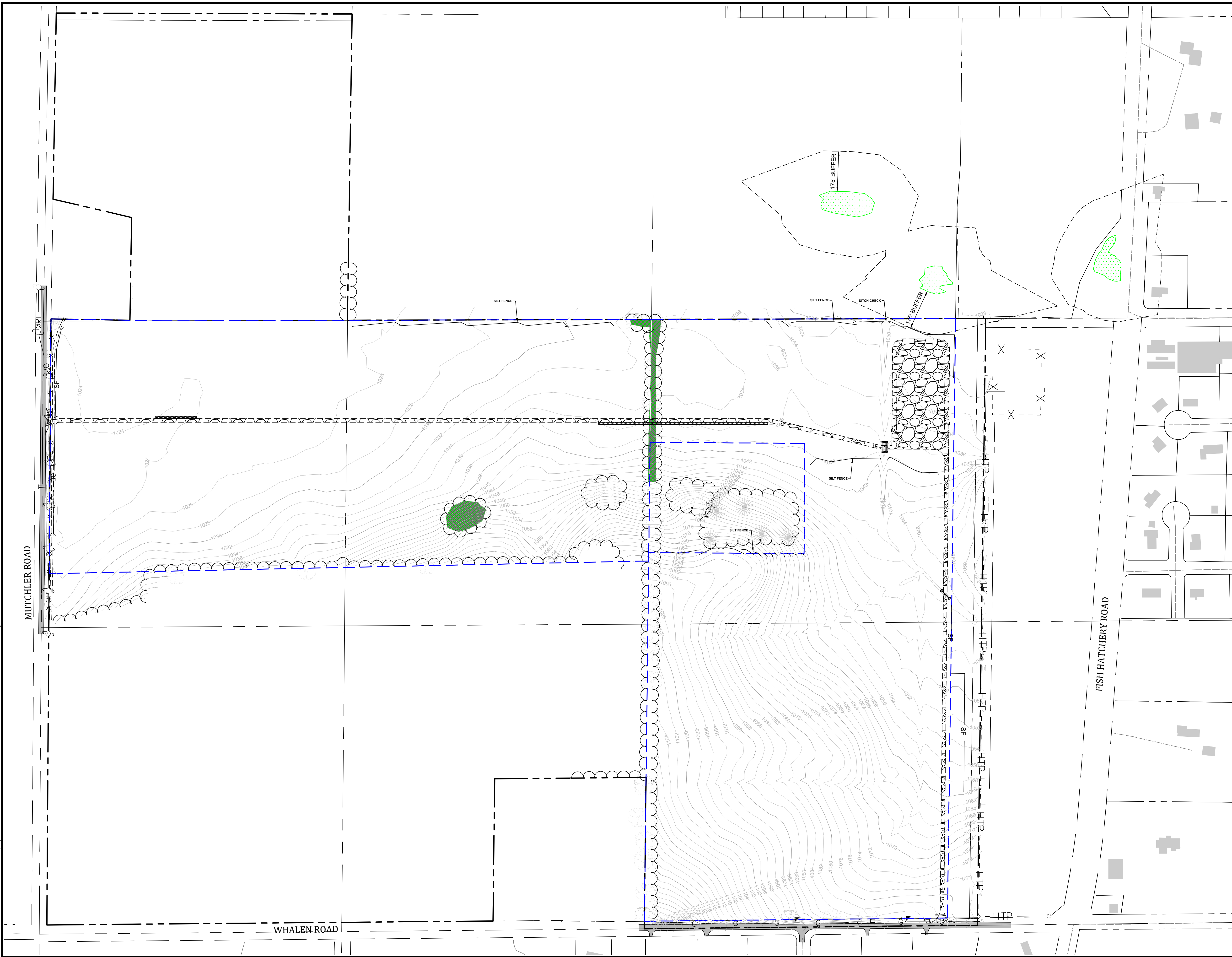
Table 1. Gradation for stone tracking pads

| Sieve Size | Percent by weight passing |
|------------|---------------------------|
| 3" | 100 |
| 2-1/2" | 90-100 |
| 1-1/2" | 25-60 |
| 3/4" | 0-20 |
| 3/8" | 0-5 |

4
C020 **TEMPORARY TRACKING PAD DETAIL**
NOT TO SCALE

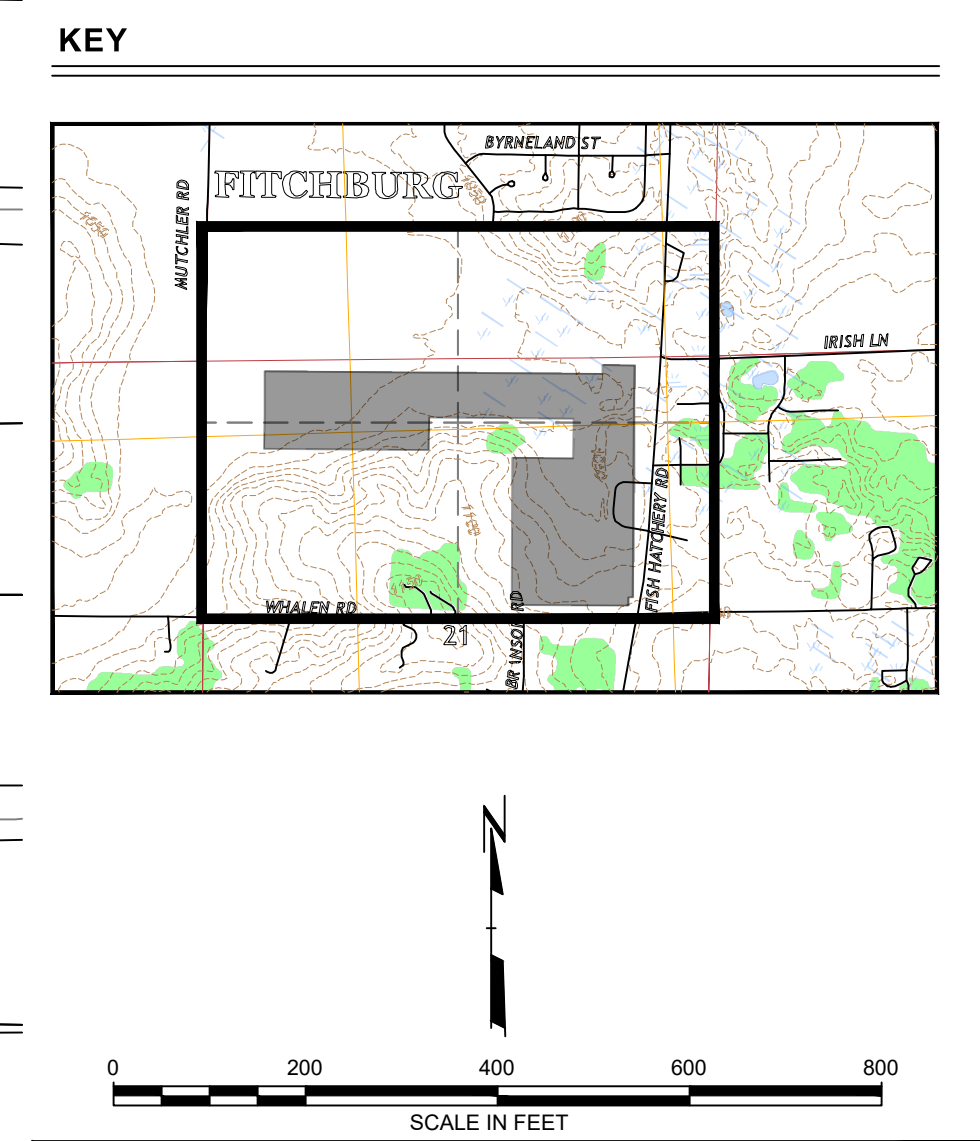
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|--|-----------|--|-------------------|
| SEAL: | | REVIEW DRAFT - FOR DISCUSSION | |
| PROFESSIONAL ENGINEER: | | ANDY GRAHAM 30086-6 | |
| EXPIRATION DATE: | | 7/31/2026 | |
| TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | | | |
| PRELIMINARY NOT FOR CONSTRUCTION | | | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | |
| TITLE: TEMPORARY EROSION CONTROLS | | | |
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0E.CR.0000 |
| CHECKED BY: | C. THOMAS | C020 | |
| APPROVED BY: | A. GRAHAM | | |
| DATE: | JUNE 2025 | | |
| | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | |
| FILE NO.: | | 599713 - EDPR-DSP SUNNYSIDE SOLAR - DT-EC.dwg | |

2/24/25 - USER: AEdwin --- ATTACHED XREFS: EX-KEY; EX-FEATURES; EX-GIS; EX-CONTOURS; PR-SITE FEATURES --- ATTACHED IMAGES: DRAWING NAME: C:\Users\aedwin\OneDrive\Documents\3709771.599713 - EDFR-DSP SUNNYSIDE SOLAR - ER.dwg --- PLOT DATE: June 16, 2025 - 2:01PM --- LAYOUT: EROSION CONTROL PLAN



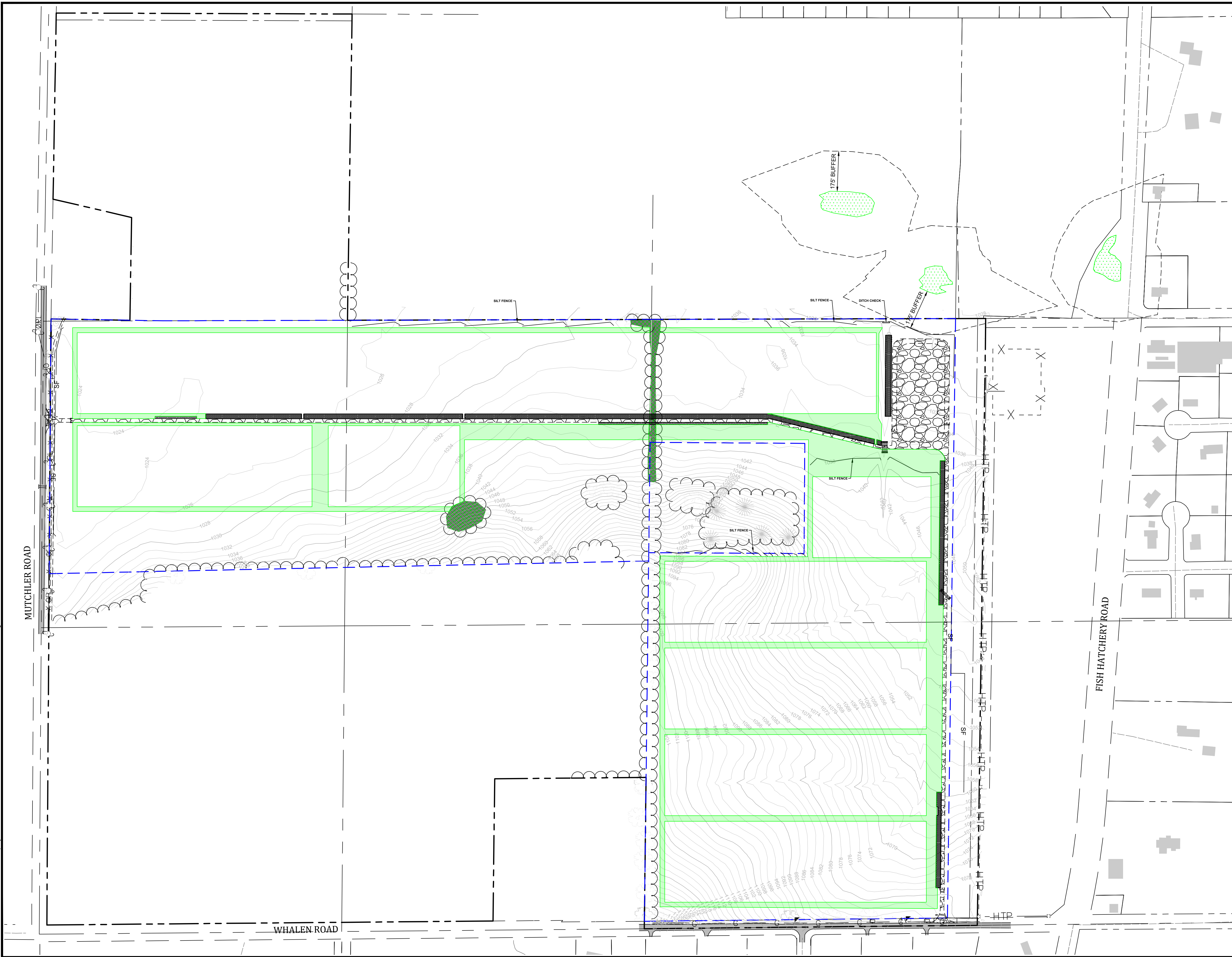
LEGEND

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| | PROPERTY LINE |
| | EASEMENT / RIGHT-OF-WAY |
| | LEASE LIMITS |
| | SECTION LINE |
| | RIGHT OF WAY |
| | EXISTING ASPHALT EOP |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING GAS LINE |
| | EXISTING TELEPHONE |
| | EXISTING FENCE |
| | EXISTING MONUMENT |
| | WETLAND |
| | 175' WETLAND BUFFER |
| | EXISTING CONTOURS |
| | EXISTING BRUSHWOODS |
| | EXISTING BUILDING |
| | EXISTING TREES WITH ELEVATIONS |
| | TELEPHONE PEDESTAL |
| | HIGH TENSION POWER POLE |
| | EXISTING POWER POLE |
| | EXISTING GUY ANCHOR |
| | EXISTING CULVERT |
| | EXISTING FIELD LINE |
| | PROPOSED SILT FENCE |
| | PROPOSED DITCH CHECK |
| | TREE REMOVAL |
| | PROPOSED ACCESS ROAD |
| | PROPOSED VEGETATIVE BUFFER |
| | PROPOSED LEVEL SPREADER |



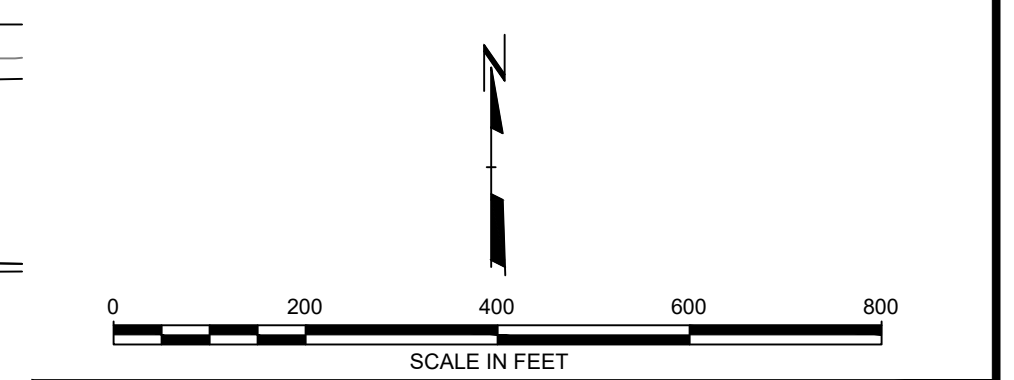
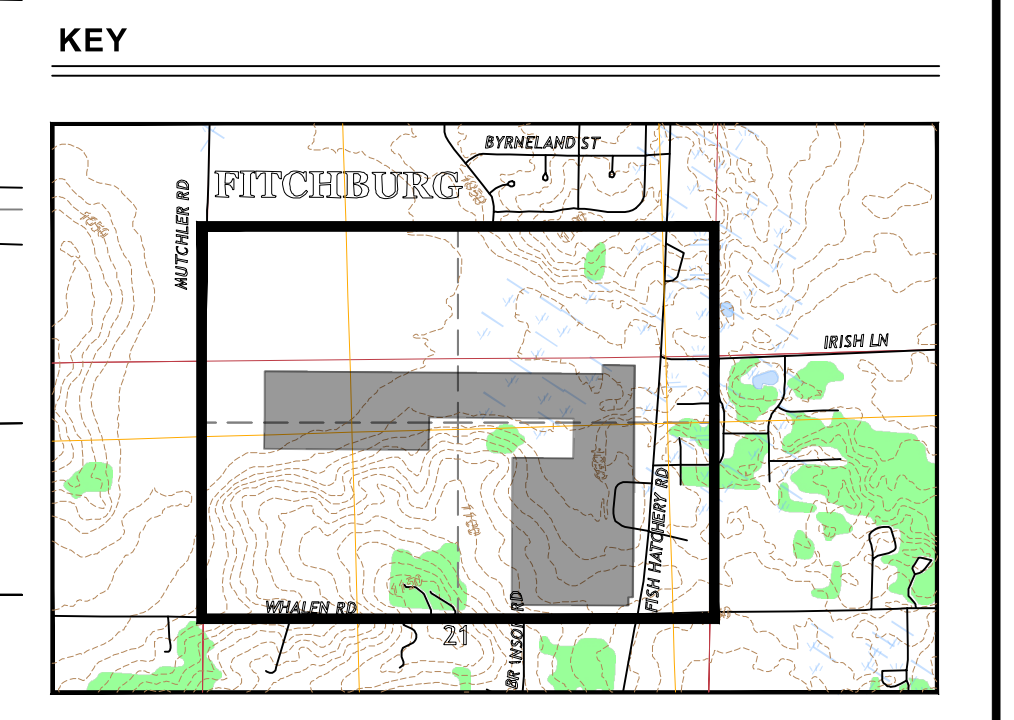
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| <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | | <p>REVIEW DRAFT - FOR DISCUSSION</p> | |
| | | <p>PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6</p> | |
| | | <p>EXPIRATION DATE: 7/31/2026</p> | |
| | | <p>TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11</p> | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| <p>PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI</p> | | | |
| <p>TITLE: EROSION CONTROL PLAN</p> | | | |
| DRAWN BY: N EDWIN | | PROJ. NO.: 599713.DECR.0000 | |
| CHECKED BY: C. THOMAS | | <p>C030</p> | |
| APPROVED BY: A. GRAHAM | | | |
| DATE: JUNE 2025 | | | |
| | | <p>999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600</p> | |
| FILE NO.: 599713 - EDFR-DSP SUNNYSIDE SOLAR - ER.dwg | | | |

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LEGEND

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| | PROPERTY LINE |
| | EASEMENT / RIGHT-OF-WAY |
| | LEASE LIMITS |
| | SECTION LINE |
| | RIGHT OF WAY |
| | EXISTING ASPHALT EOP |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING GAS LINE |
| | EXISTING TELEPHONE |
| | EXISTING FENCE |
| | EXISTING MONUMENT |
| | WETLAND |
| | 175' WETLAND BUFFER |
| | EXISTING CONTOURS |
| | EXISTING BRUSHWOODS |
| | EXISTING BUILDING |
| | EXISTING TREES WITH ELEVATIONS |
| | TELEPHONE PEDESTAL |
| | HIGH TENSION POWER POLE |
| | EXISTING POWER POLE |
| | EXISTING GUY ANCHOR |
| | EXISTING CULVERT |
| | EXISTING FIELD LINE |
| | PROPOSED SILTY FENCE |
| | PROPOSED DITCH CHECK |
| | TREE REMOVAL |
| | PROPOSED ACCESS ROAD |
| | PROPOSED VEGETATIVE BUFFER |
| | PROPOSED LEVEL SPREADER |
| | PROPOSED AREA OF DECOMPACTION |



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|---|----|--|----------|
| <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | | <p>REVIEW DRAFT - FOR DISCUSSION</p> | |
| | | <p>PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6</p> | |
| | | <p>EXPIRATION DATE: 7/31/2026</p> | |
| | | <p>TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11</p> | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| <p>PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI</p> | | | |
| <p>TITLE: COMPACTION MITIGATION PLAN</p> | | | |
| DRAWN BY: N EDWIN | | PROJ. NO.: 599713.DECR.0000 | |
| CHECKED BY: C. THOMAS | | <p>C031</p> | |
| APPROVED BY: A. GRAHAM | | | |
| DATE: JUNE 2025 | | | |
| | | <p>999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600</p> | |
| FILE NO: | | 599713 - EDFR-DSP SUNNYSIDE SOLAR - ER.dwg | |

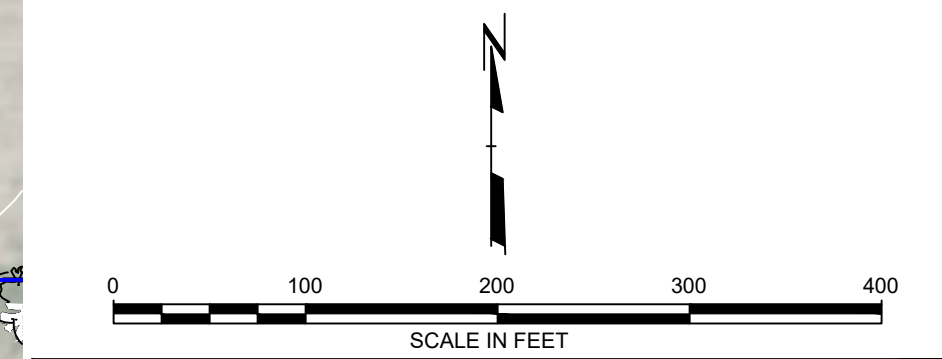
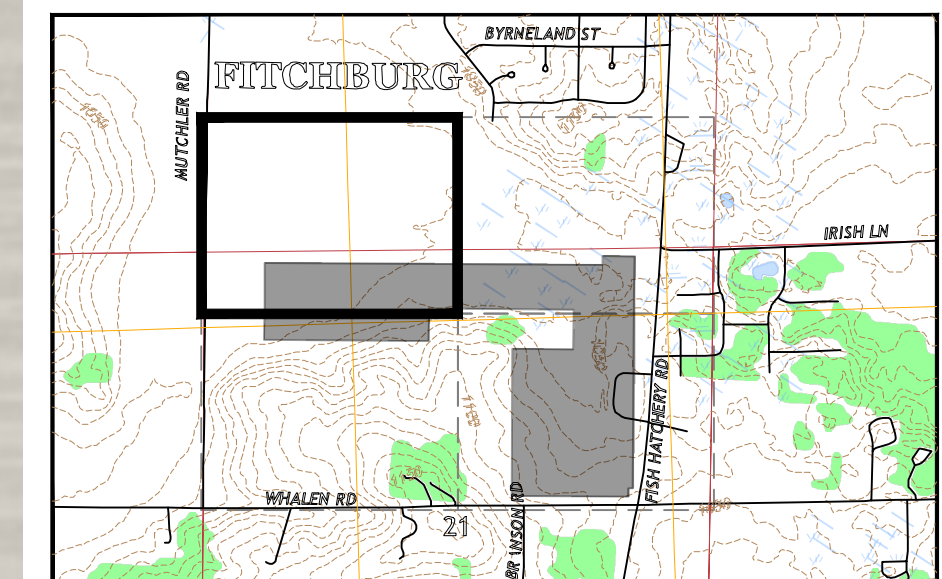
2024 - USER: AEdwin - ATTACHED: XREFS: EX: MET, EX: FEATURES: EX: GIS, EX: CONTOURS: EX: AERIAL - ATTACHED IMAGES: DRAWING NAME: C:\Users\AEdwin\Documents\Projects\13097713097713097713 - EDPR-DSP SUNNYSIDE SOLAR - EC.dwg --- PLOT DATE: June 16, 2025 - 2:01PM --- LAYOUT: C051 - EXISTING CONDITIONS



LEGEND

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| | PROPERTY LINE |
| | EASEMENT / RIGHT-OF-WAY |
| | LEASE LIMITS |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PV EQUIPMENT SETBACK |
| | EXISTING ASPHALT EOP |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING GAS LINE |
| | EXISTING TELEPHONE |
| | EXISTING FENCE |
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| | EXISTING BUILDING |
| | EXISTING TREES |
| | TELEPHONE PEDESTAL |
| | HIGH TENSION POWER POLE |
| | EXISTING POWER POLE |
| | EXISTING GUY ANCHOR |
| | EXISTING CULVERT |
| | EXISTING FIELD LINE |

KEY



SEAL:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

REVIEW DRAFT - FOR DISCUSSION

PROFESSIONAL ENGINEER:
ANDY GRAHAM
30086-6

EXPIRATION DATE:
7/31/2026

TRC ENVIRONMENTAL CORP
CERTIFICATE OF AUTH. #3707-11

| NO. | BY | DATE | REVISION | ABG | APPD. |
|-----|----|------|-------------------|-----|-------|
| 1 | NE | | ISSUED FOR PERMIT | | |

PROJECT: **SUNNYSIDE SOLAR PARTNERS, LLC
SUNNYSIDE ENERGY CENTER
SITE CIVIL DESIGN PLAN SET
FITCHBURG, WI**

TITLE: **EXISTING CONDITIONS**

| | | | |
|--------------|-----------|------------|-------------------|
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0E.CR.0000 |
| CHECKED BY: | C. THOMAS | | |
| APPROVED BY: | A. GRAHAM | | C051 |
| DATE: | JUNE 2025 | | |

999 Fourier Drive
Suite 101
Madison, WI 53717
Phone: 608.828.3600

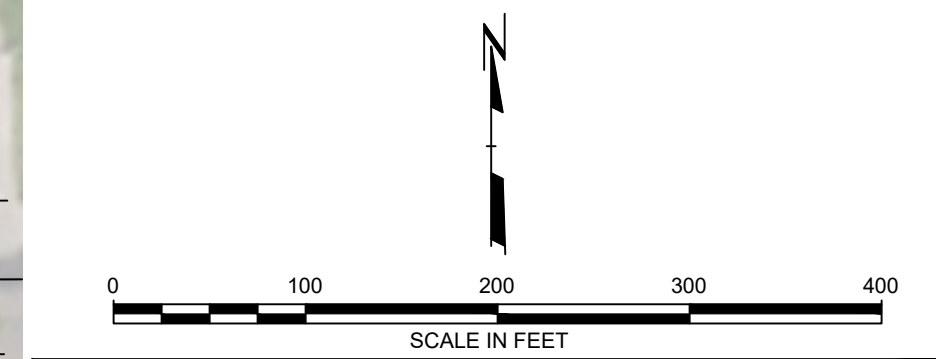
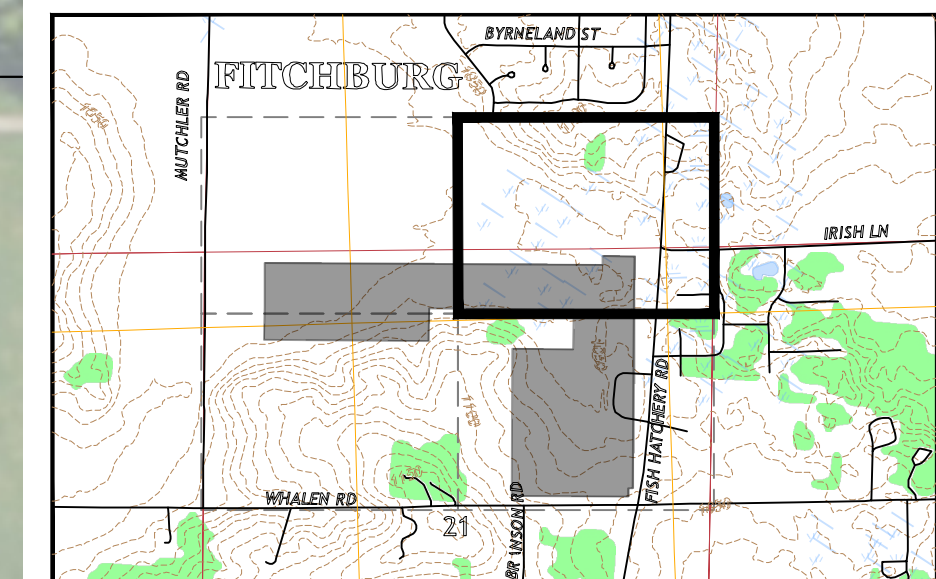
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2624 - USER: AEdwin - ATTACHED: REF'S - EX - LEGEND; EX - MET; EX - FEATURES; EX - GISE; EX - CONTOURS; EX - AERIAL; - ATTACHED IMAGES; DRAWING NAME: C:\Users\AEdwin\Documents\Projects\599713 - EDPR-DSP SUNNYSIDE SOLAR - EC.dwg --- PLOT DATE: June 16, 2025 - 2:01PM --- LAYOUT: C062 - EXISTING CONDITIONS



| LEGEND | |
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| | PROPERTY LINE |
| | EASEMENT / RIGHT-OF-WAY |
| | LEASE LIMITS |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PV EQUIPMENT SETBACK |
| | EXISTING ASPHALT EOP |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING GAS LINE |
| | EXISTING TELEPHONE |
| | EXISTING FENCE |
| | EXISTING MONUMENT |
| | WETLAND |
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| | EXISTING CONTOURS |
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| | EXISTING BUILDING |
| | EXISTING TREES |
| | TELEPHONE PEDESTAL |
| | HIGH TENSION POWER POLE |
| | EXISTING POWER POLE |
| | EXISTING GUY ANCHOR |
| | EXISTING CULVERT |
| | EXISTING FIELD LINE |

KEY



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| SEAL: | |
| PRELIMINARY NOT FOR CONSTRUCTION | REVIEW DRAFT - FOR DISCUSSION |
| | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 |
| | EXPIRATION DATE: 7/31/2026 |
| | TRC ENVIRONMENTAL CORP. CERTIFICATE OF AUTH. #3707-11 |

| NO. | BY | DATE | REVISION | ABG | APPD. |
|-----|----|------|-------------------|-----|-------|
| 1 | NE | | ISSUED FOR PERMIT | | |

PROJECT: **SUNNYSIDE SOLAR PARTNERS, LLC
SUNNYSIDE ENERGY CENTER
SITE CIVIL DESIGN PLAN SET
FITCHBURG, WI**

TITLE: **EXISTING CONDITIONS**

| | | | |
|--------------|-----------|------------|------------------|
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.02CR.0000 |
| CHECKED BY: | C. THOMAS | | |
| APPROVED BY: | A. GRAHAM | | C052 |
| DATE: | JUNE 2025 | | |

999 Fourier Drive
Suite 101
Madison, WI 53717
Phone: 608.828.3600

FILE NO: 599713 - EDPR-DSP SUNNYSIDE SOLAR - EC.dwg

2634 - USER: AEdwin - ATTACHED: REF'S: EX - LEGEND; EX - MET; EX - FEATURES; EX - GIS; EX - CONTOURS; EX - AERIAL; -- ATTACHED IMAGES: DRAWING NAME: C:\Users\aedwin\OneDrive\Documents\3709771599713 - EDFR-DSP SUNNYSIDE SOLAR - EC.dwg --- PLOT DATE: June 16, 2025 - 2:01PM --- LAYOUT: C053 - EXISTING CONDITIONS

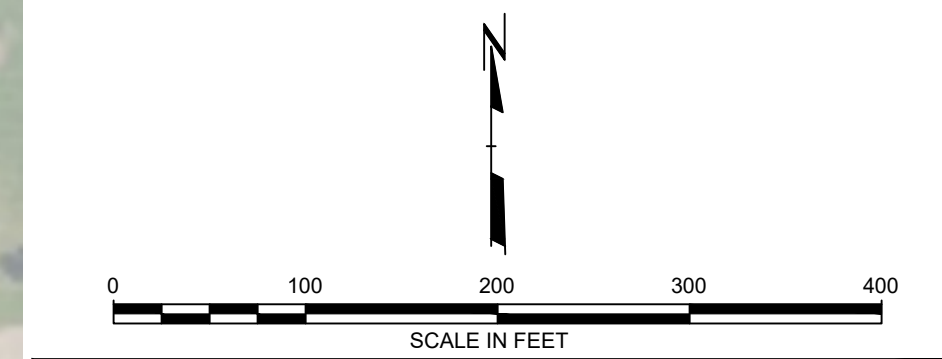
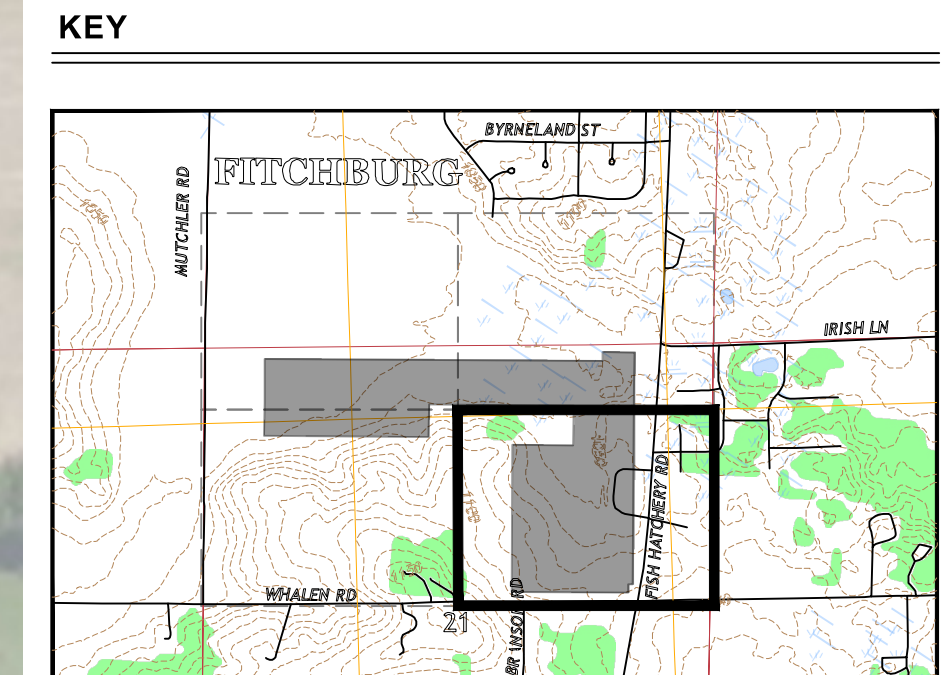


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LEGEND

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| | PROPERTY LINE |
| | EASEMENT / RIGHT-OF-WAY |
| | LEASE LIMITS |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PV EQUIPMENT SETBACK |
| | EXISTING ASPHALT EOP |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING GAS LINE |
| | EXISTING TELEPHONE |
| | EXISTING FENCE |
| | EXISTING MONUMENT |
| | WETLAND |
| | 175' WETLAND BUFFER |
| | EXISTING CONTOURS |
| | EXISTING BRUSHWOODS |
| | EXISTING BUILDING |
| | EXISTING TREES |
| | TELEPHONE PEDESTAL |
| | HIGH TENSION POWER POLE |
| | EXISTING POWER POLE |
| | EXISTING GUY ANCHOR |
| | EXISTING CULVERT |
| | EXISTING FIELD LINE |



SEAL:

| | | |
|---|--------------------------------------|--|
| PRELIMINARY NOT FOR CONSTRUCTION | REVIEW DRAFT - FOR DISCUSSION | |
| | PROFESSIONAL ENGINEER: | |
| | ANDY GRAHAM 30086-6 | |
| | EXPIRATION DATE: 7/31/2026 | |
| TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | | |

| | | | |
|-----|----|-------------------|----------|
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| | | | APPD. |

PROJECT: **SUNNYSIDE SOLAR PARTNERS, LLC
SUNNYSIDE ENERGY CENTER
SITE CIVIL DESIGN PLAN SET
FITCHBURG, WI**

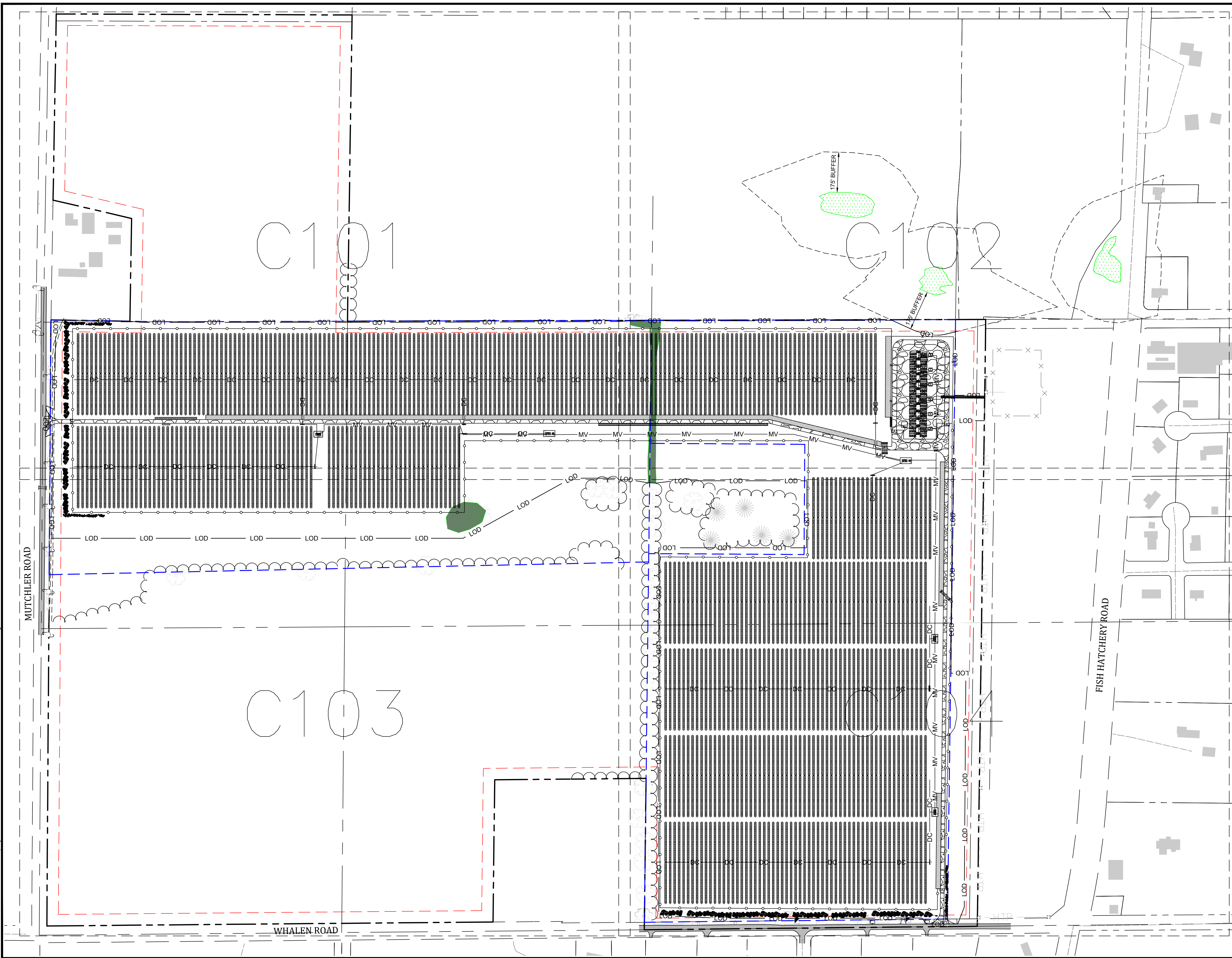
TITLE: **EXISTING CONDITIONS**

| | | | |
|--------------|-----------|------------|------------------|
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0EGR.0000 |
| CHECKED BY: | C. THOMAS | | |
| APPROVED BY: | A. GRAHAM | | C054 |
| DATE: | JUNE 2025 | | |

999 Fourier Drive
Suite 101
Madison, WI 53717
Phone: 608.828.3600

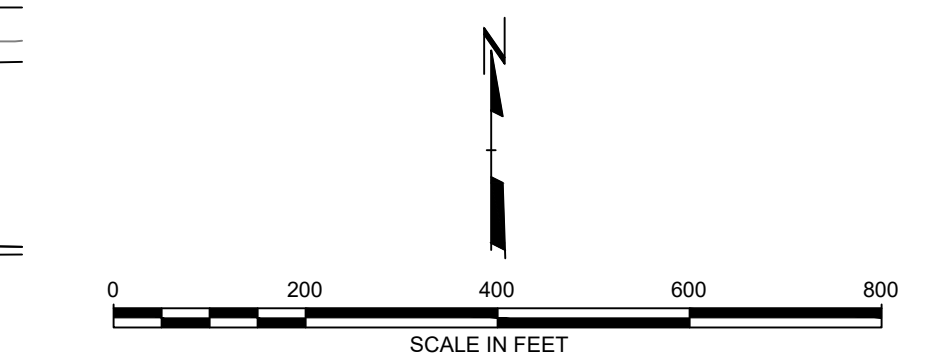
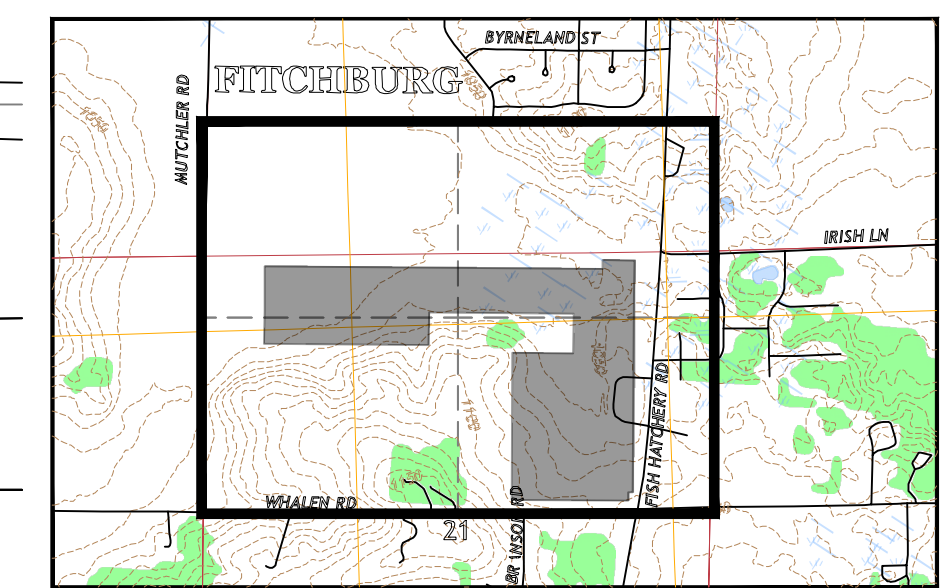
FILE NO: 599713 - EDPR-DSP SUNNYSIDE SOLAR - EC.dwg

2024 - USER: AEdwin - ATTACHED XREFS: EX-LEGEND, EX-MET, EX-FEATURES, EX-GIS, EX-CONTOURS, PR-SITE FEATURES, EX-MATCHLINE, PR-LEGEND -- ATTACHED IMAGES: DRAWING NAME: C:\Users\aedwin\OneDrive\Documents\Projects\599713 - EDPR-DSP SUNNYSIDE SOLAR - SL.dwg -- PLOT DATE: June 16, 2025 - 2:02PM -- LAYOUT: C100 - OVERALL SITE PLAN



| LEGEND | |
|--------|---------------------------------|
| | PROPERTY LINE |
| | EASEMENT / RIGHT-OF-WAY |
| | LEASE LIMITS |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PV EQUIPMENT SETBACK |
| | EXISTING ASPHALT EOP |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING GAS LINE |
| | EXISTING TELEPHONE |
| | EXISTING FENCE |
| | EXISTING MONUMENT |
| | WETLAND |
| | 175' WETLAND BUFFER |
| | EXISTING CONTOURS |
| | EXISTING BRUSHWOODS |
| | EXISTING BUILDING |
| | EXISTING TREES |
| | TELEPHONE PEDESTAL |
| | HIGH TENSION POWER POLE |
| | EXISTING POWER POLE |
| | EXISTING GUY ANCHOR |
| | EXISTING CULVERT |
| | EXISTING FIELD LINE |
| | PROPOSED PV PANELS |
| | TREE REMOVAL |
| | PROPOSED ACCESS ROAD |
| | PROPOSED FILTER STRIP BUFFER |
| | PROPOSED LEVEL SPREADER |
| | PV EQUIPMENT SETBACK |
| | PROPOSED WELDED WIRE FENCE |
| | PROPOSED CHAIN LINK FENCE |
| | PROPOSED OVERHEAD ELECTRIC LINE |
| | O/H |
| | PROPOSED EQUIPMENT PAD |
| | PROPOSED MV CABLE |
| | DC CABLE |
| | LIMITS OF DISTURBANCE |
| | LANDSCAPING BUFFER |

KEY



| | | |
|---|--|--|
| SEAL: | | REVIEW DRAFT - FOR DISCUSSION |
| PRELIMINARY NOT FOR CONSTRUCTION | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 |
| | | EXPIRATION DATE: 7/31/2026 |
| | | TRC ENVIRONMENTAL CORP. CERTIFICATE OF AUTH. #3707-11 |

| NO. | BY | DATE | REVISION | ABG | APPD. |
|-----|----|------|-------------------|-----|-------|
| 1 | NE | | ISSUED FOR PERMIT | | |

PROJECT: **SUNNYSIDE SOLAR PARTNERS, LLC
SUNNYSIDE ENERGY CENTER
SITE CIVIL DESIGN PLAN SET
FITCHBURG, WI**

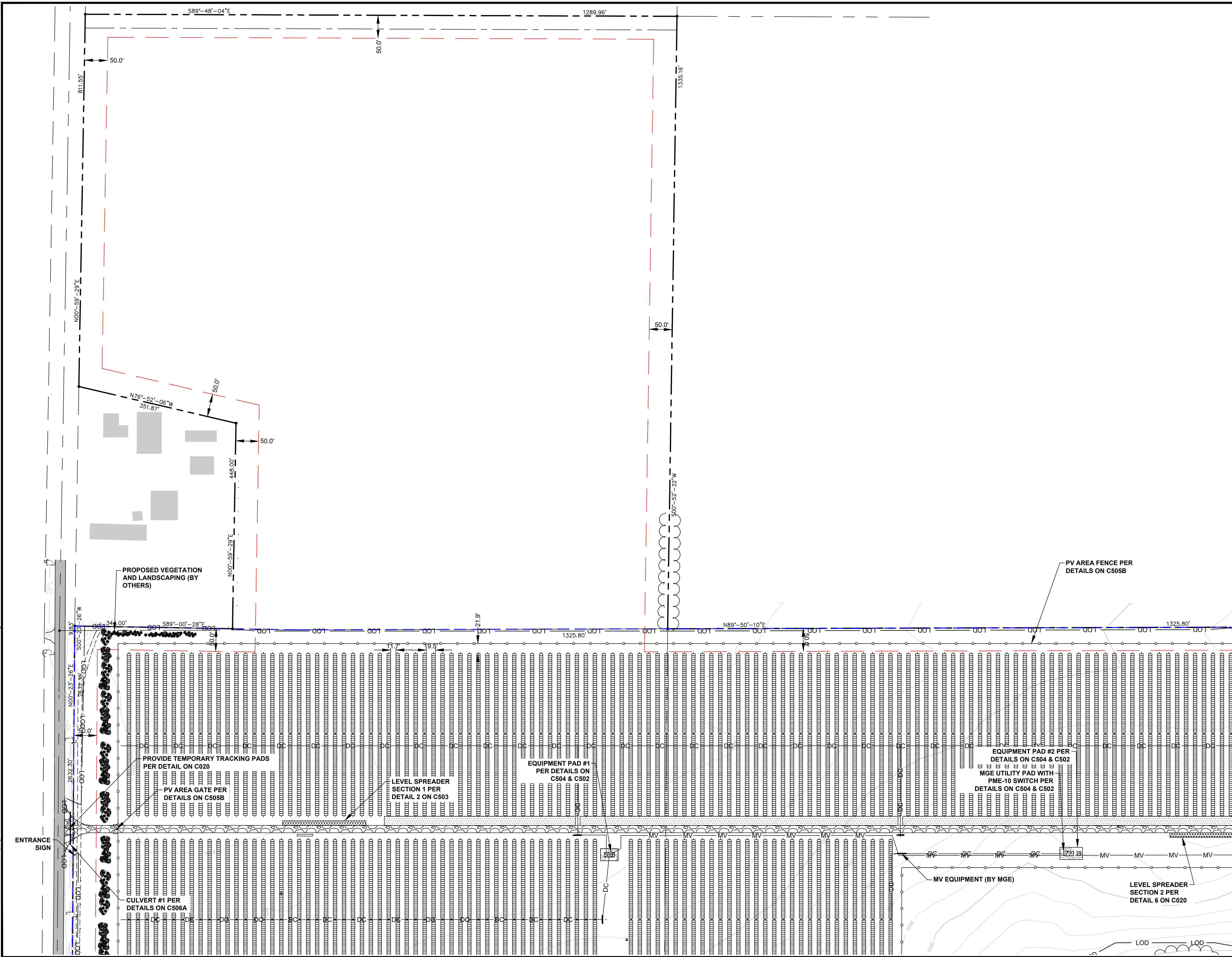
TITLE: **OVERALL SITE PLAN**

| | | | |
|--------------|-----------|------------|------------------|
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.DECR.0000 |
| CHECKED BY: | C. THOMAS | | |
| APPROVED BY: | A. GRAHAM | | C100 |
| DATE: | JUNE 2025 | | |

999 Fourier Drive
Suite 101
Madison, WI 53717
Phone: 608.826.3600

FILE NO: 599713 - EDPR-DSP SUNNYSIDE SOLAR - SL.dwg

2304 - USER: AEdwin - ATTACHED: REF: EX: LEG: EX: MET: EX: FEAT: EX: CONTOUR: PR: LEGEND: EX: MATCHLINE: PR: LEGEND: ATTACHED IMAGES: DRAWING NAME: C:\Users\aedwin\OneDrive\Documents\99713-EDFR-DSP SUNNYSIDE SOLAR - SL.dwg --- PLOT DATE: June 16, 2025 - 2:02PM --- LAYOUT: C101 - SITE PLAN



LEGEND

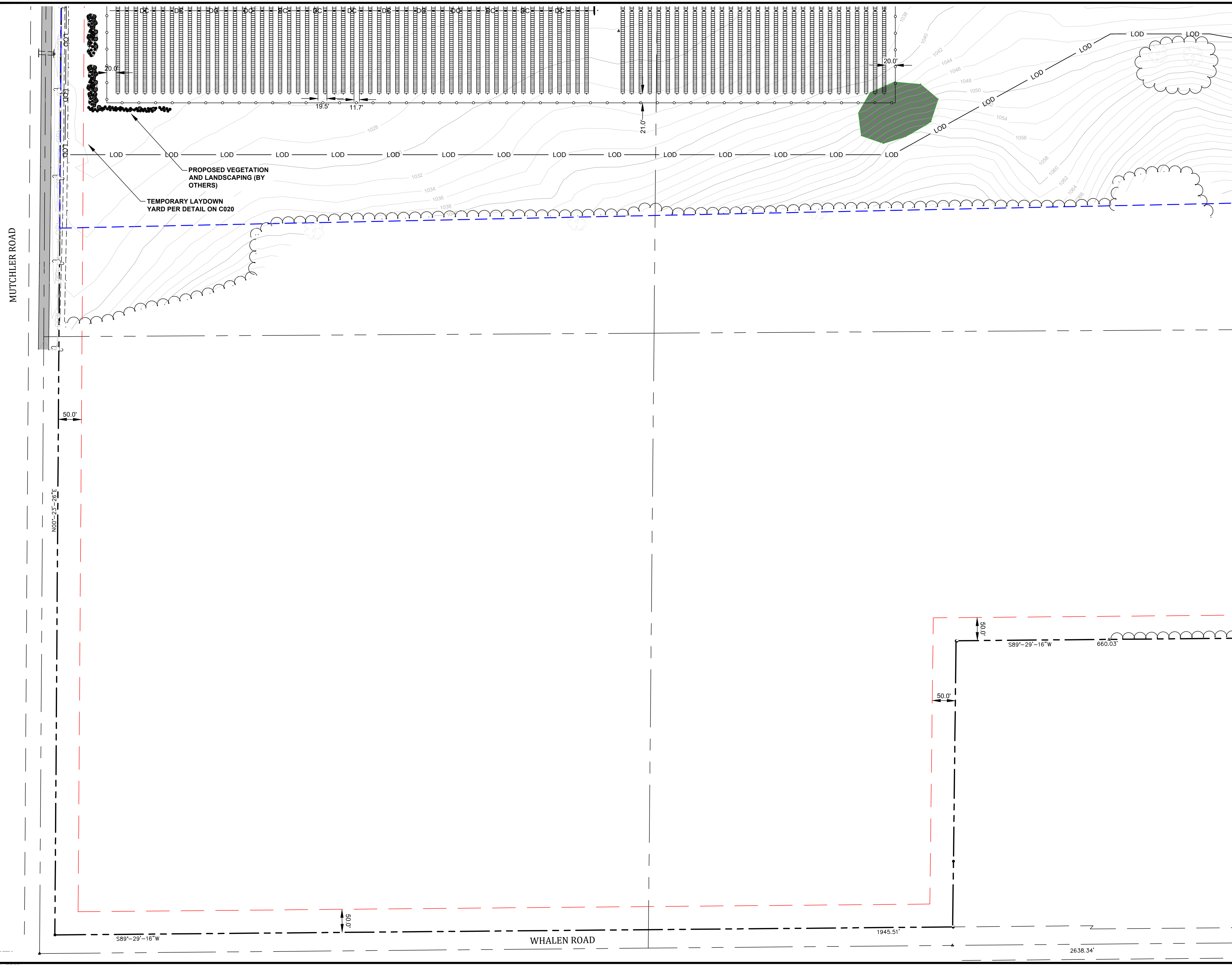
- PROPERTY LINE
- EASEMENT / RIGHT-OF-WAY
- LEASE LIMITS
- SECTION LINE
- RIGHT OF WAY
- PV EQUIPMENT SETBACK
- EXISTING ASPHALT EOP
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING TELEPHONE
- EXISTING FENCE
- EXISTING MONUMENT
- WETLAND
- 175' WETLAND BUFFER
- EXISTING CONTOURS
- EXISTING BRUSHWOODS
- EXISTING BUILDING
- EXISTING TREES
- TELEPHONE PEDESTAL
- HIGH TENSION POWER POLE
- EXISTING POWER POLE
- EXISTING GUY ANCHOR
- EXISTING CULVERT
- EXISTING FIELD LINE
- PROPOSED PV PANELS
- TREE REMOVAL
- PROPOSED ACCESS ROAD
- PROPOSED FILTER STRIP BUFFER
- PROPOSED LEVEL SPREADER
- PV EQUIPMENT SETBACK
- PROPOSED WELDED WIRE FENCE
- PROPOSED CHAIN LINK FENCE
- O/H
- PROPOSED OVERHEAD ELECTRIC LINE
- PROPOSED EQUIPMENT PAD
- MV
- DC
- LOD
- LANDSCAPING BUFFER

KEY

SCALE IN FEET

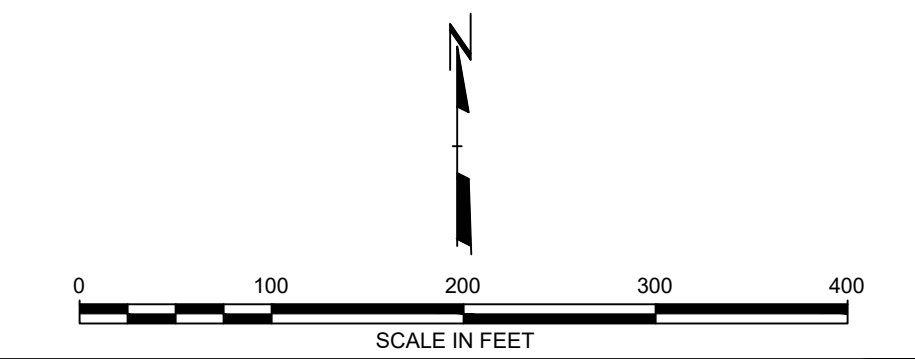
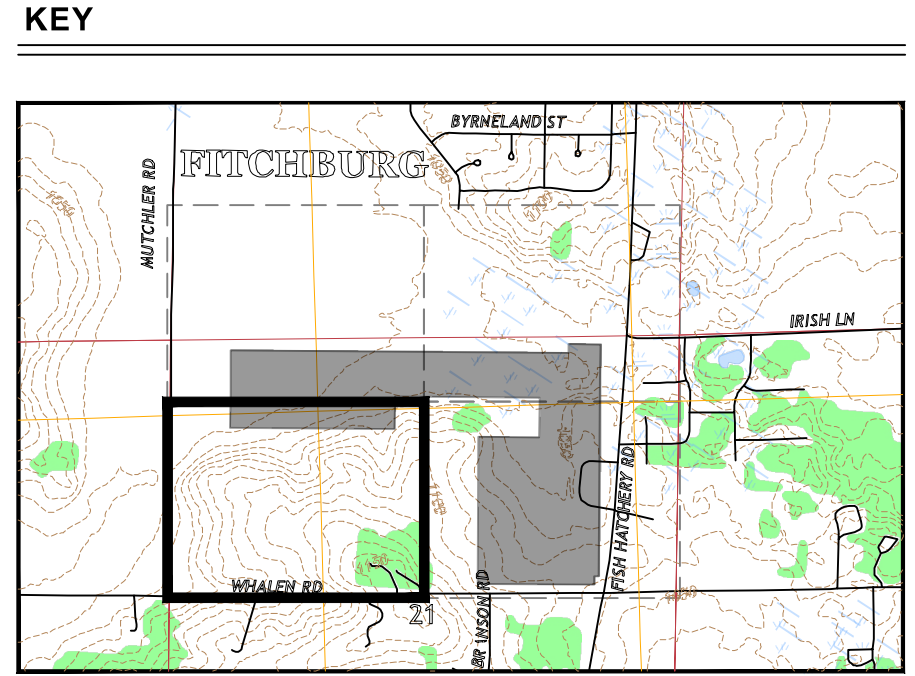
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|--|--|---|-------------------|
| <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | | <p>REVIEW DRAFT - FOR DISCUSSION</p> | |
| | | <p>PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6</p> | |
| | | <p>EXPIRATION DATE: 7/31/2026</p> | |
| | | <p>TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11</p> | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| PROJECT: | | <p>SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI</p> | |
| TITLE: | | <p>SITE PLAN</p> | |
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0E.CR.0000 |
| CHECKED BY: | C. THOMAS | <p>C101</p> | |
| APPROVED BY: | A. GRAHAM | | |
| DATE: | JUNE 2025 | | |
| | | <p>999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600</p> | |
| FILE NO.: | 599713 - EDFR-DSP SUNNYSIDE SOLAR - SL.dwg | | |

2304 - USER: AEdwin - ATTACHED XREFS: EX-LEGEND, EX-MET, EX-FEATURES, EX-GIS, EX-CONTOURS, PR-LEGEND, EX-MATCHLINE, PR-LEGEND -- ATTACHED IMAGES: DRAWING NAME: C:\Users\AEdwin\Documents\Projects\599713 - EDPR-DSP SUNNYSIDE SOLAR - SL.dwg -- PLOT DATE: June 16, 2025 - 2:02PM --- LAYOUT: C103 - SITE PLAN



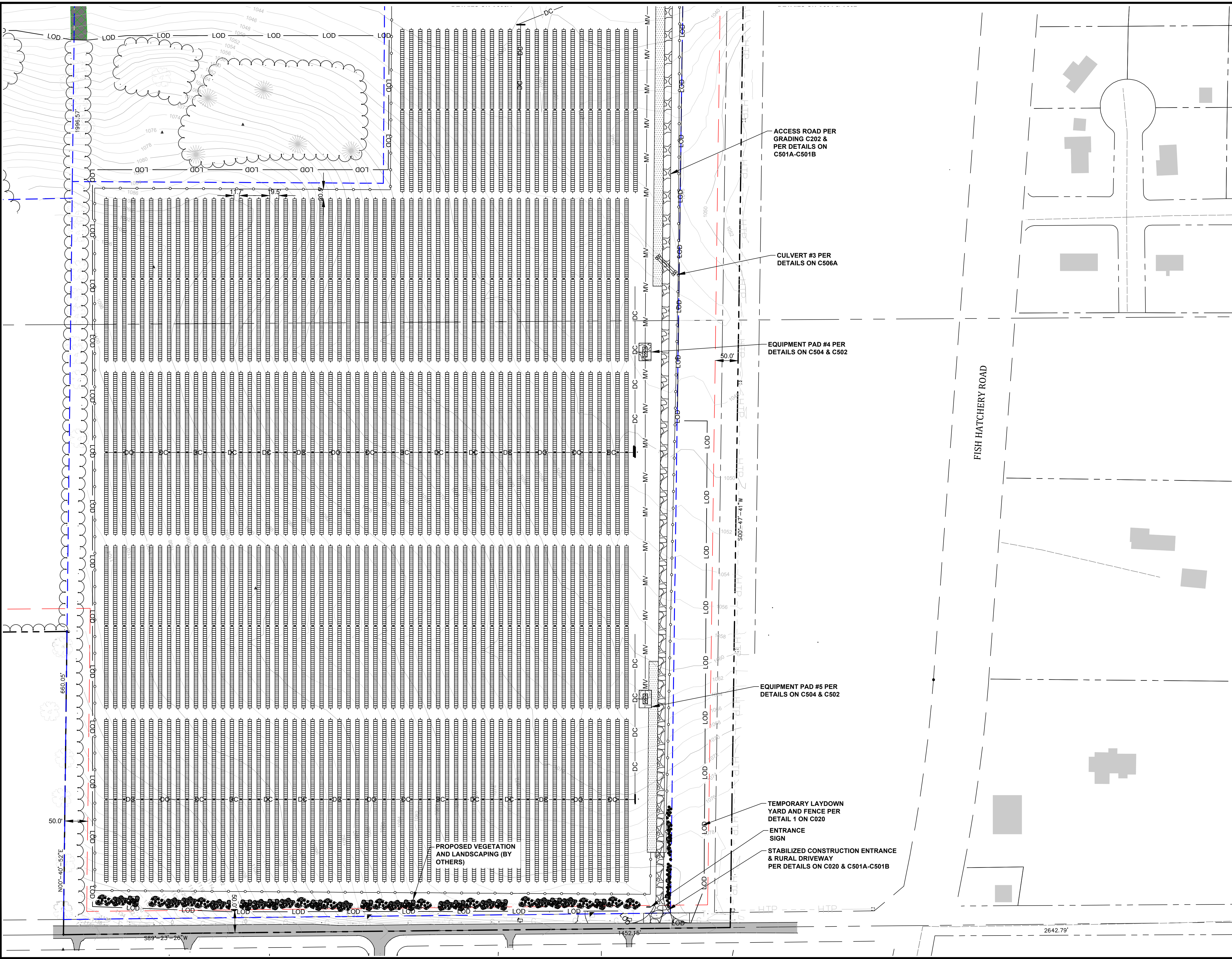
LEGEND

- PROPERTY LINE
- EASEMENT / RIGHT-OF-WAY
- LEASE LIMITS
- SECTION LINE
- RIGHT OF WAY
- PV EQUIPMENT SETBACK
- EXISTING ASPHALT EOP
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING TELEPHONE
- EXISTING FENCE
- EXISTING MONUMENT
- WETLAND
- 175' WETLAND BUFFER
- EXISTING CONTOURS
- EXISTING BRUSHWOODS
- EXISTING BUILDING
- EXISTING TREES
- TELEPHONE PEDESTAL
- HIGH TENSION POWER POLE
- EXISTING POWER POLE
- EXISTING GUY ANCHOR
- EXISTING CULVERT
- EXISTING FIELD LINE
- PROPOSED PV PANELS
- TREE REMOVAL
- PROPOSED ACCESS ROAD
- PROPOSED FILTER STRIP BUFFER
- PROPOSED LEVEL SPREADER
- PV EQUIPMENT SETBACK
- PROPOSED WELDED WIRE FENCE
- PROPOSED CHAIN LINK FENCE
- PROPOSED OVERHEAD ELECTRIC LINE
- O/H
- PROPOSED EQUIPMENT PAD
- PROPOSED MV CABLE
- DC CABLE
- LIMITS OF DISTURBANCE
- LANDSCAPING BUFFER



| | | | |
|---|----|--|----------|
| <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | | <p>REVIEW DRAFT - FOR DISCUSSION</p> | |
| | | <p>PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6</p> | |
| | | <p>EXPIRATION DATE: 7/31/2026</p> | |
| | | <p>TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11</p> | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| <p>PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI</p> | | | |
| <p>TITLE: SITE PLAN</p> | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.DECR.0000 | |
| CHECKED BY: C. THOMAS | | <p>C103</p> | |
| APPROVED BY: A. GRAHAM | | | |
| DATE: JUNE 2025 | | | |
| | | <p>999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600</p> | |
| FILE NO: | | 599713 - EDPR-DSP SUNNYSIDE SOLAR - SL.dwg | |

2634 - USER: AEdwin - ATTACHED: REF'S: EX - LEGEND; EX - MET; EX - FEATURES; EX - GIS; EX - CONTOURS; PR - LEGEND; PR - MATCHLINE; PR - LEGEND; PR - ATTACHED IMAGES; DRAWING NAME: C:\Users\AEdwin\OneDrive\Documents\3709771399713 - EDPR-DSP SUNNYSIDE SOLAR - SL.dwg --- PLOT DATE: June 16, 2025 - 2:02PM --- LAYOUT: C104 - SITE PLAN



LEGEND

- PROPERTY LINE
- EASEMENT / RIGHT-OF-WAY
- LEASE LIMITS
- SECTION LINE
- RIGHT OF WAY
- PV EQUIPMENT SETBACK
- EXISTING ASPHALT EOP
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING TELEPHONE
- EXISTING FENCE
- EXISTING MONUMENT
- WETLAND
- 175' WETLAND BUFFER
- EXISTING CONTOURS
- EXISTING BRUSHWOODS
- EXISTING BUILDING
- EXISTING TREES
- TELEPHONE PEDESTAL
- HIGH TENSION POWER POLE
- EXISTING POWER POLE
- EXISTING GUY ANCHOR
- EXISTING CULVERT
- EXISTING FIELD LINE
- PROPOSED PV PANELS
- TREE REMOVAL
- PROPOSED ACCESS ROAD
- PROPOSED FILTER STRIP BUFFER
- PROPOSED LEVEL SPREADER
- PV EQUIPMENT SETBACK
- PROPOSED WELDED WIRE FENCE
- PROPOSED CHAIN LINK FENCE
- PROPOSED OVERHEAD ELECTRIC LINE
- O/H
- PROPOSED EQUIPMENT PAD
- PROPOSED MV CABLE
- DC CABLE
- LOD
- LIMITS OF DISTURBANCE
- LANDSCAPING BUFFER

KEY

SCALE IN FEET

0 100 200 300 400

SEAL:

PRELIMINARY NOT FOR CONSTRUCTION

REVIEW DRAFT - FOR DISCUSSION

PROFESSIONAL ENGINEER:
ANDY GRAHAM
30086-6

EXPIRATION DATE:
7/31/2026

TRC ENVIRONMENTAL CORP
CERTIFICATE OF AUTH. #3707-11

| | | | |
|-----|----|-------------------|----------|
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| | | | APPD. |

PROJECT: **SUNNYSIDE SOLAR PARTNERS, LLC
SUNNYSIDE ENERGY CENTER
SITE CIVIL DESIGN PLAN SET
FITCHBURG, WI**

TITLE: **SITE PLAN**

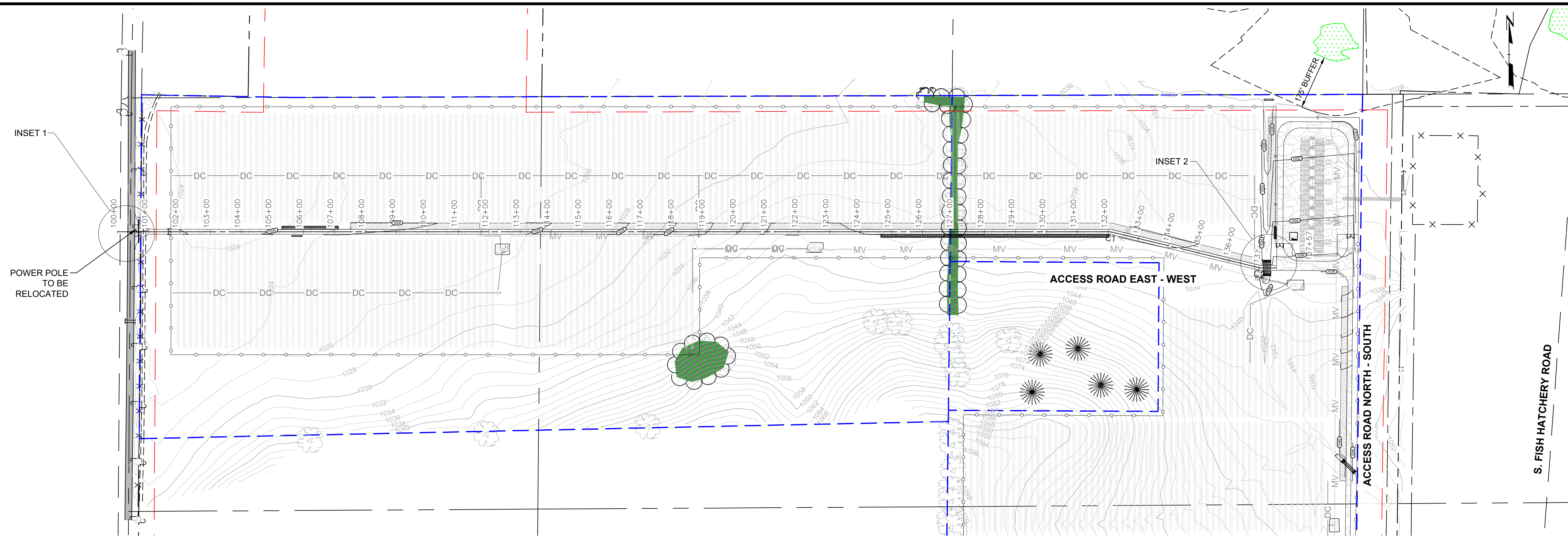
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|--------------|-----------|------------|-------------------|
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0E.CR.0000 |
| CHECKED BY: | C. THOMAS | | |
| APPROVED BY: | A. GRAHAM | | C104 |
| DATE: | JUNE 2025 | | |

TRC

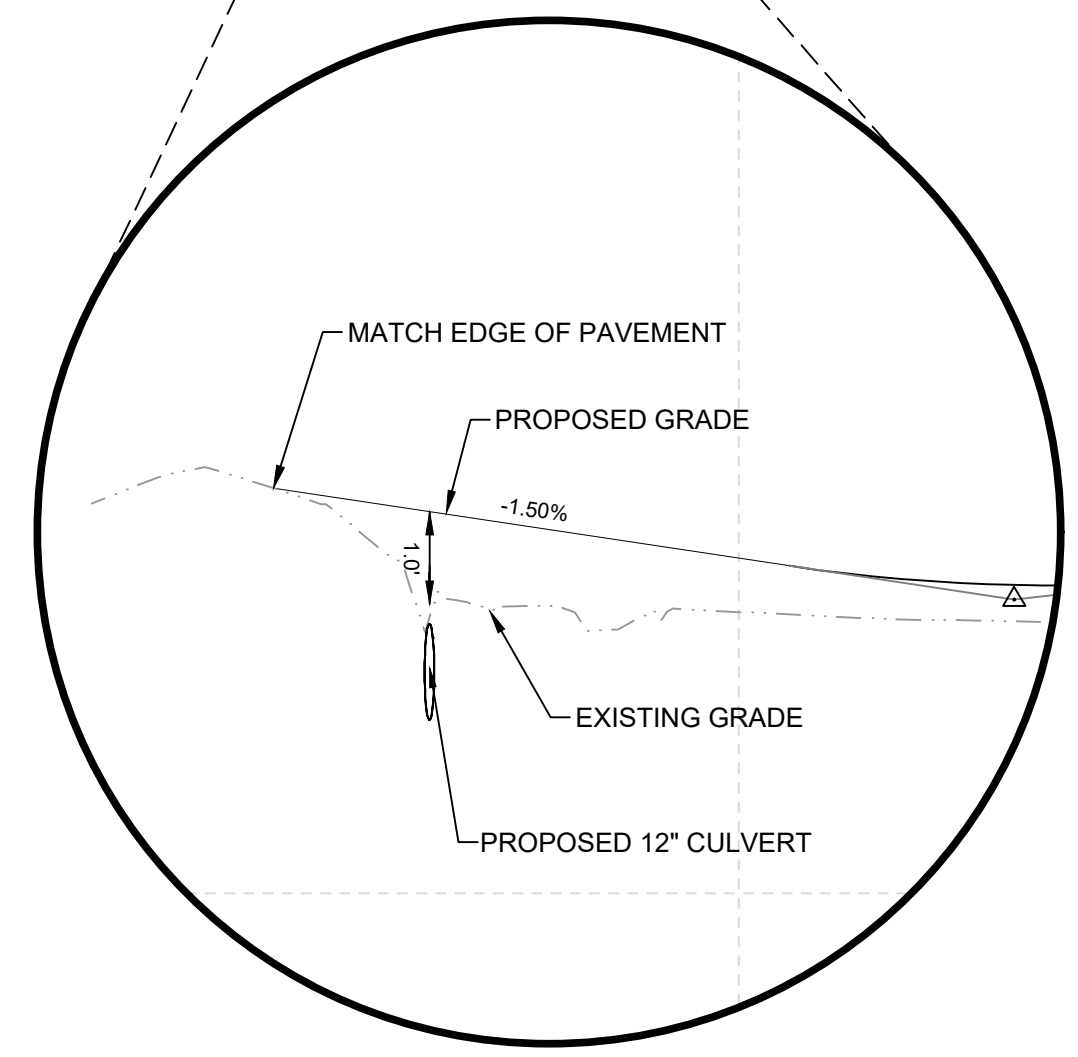
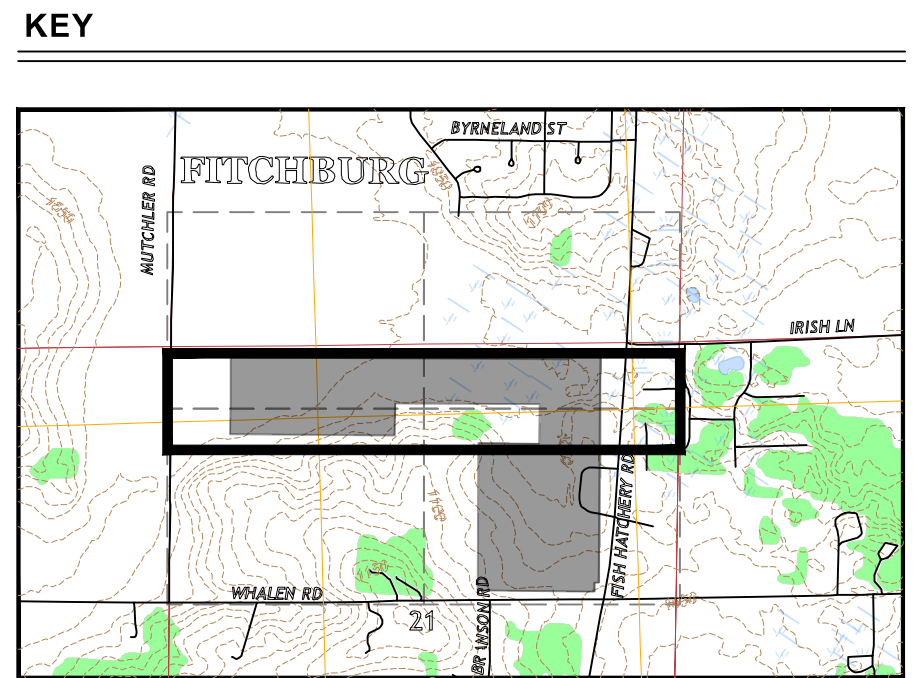
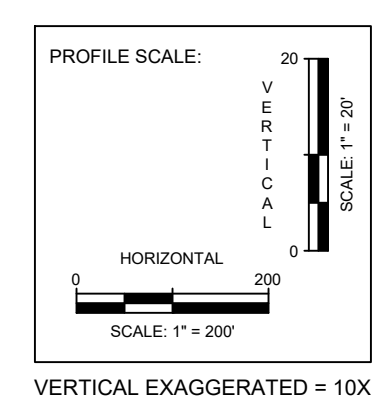
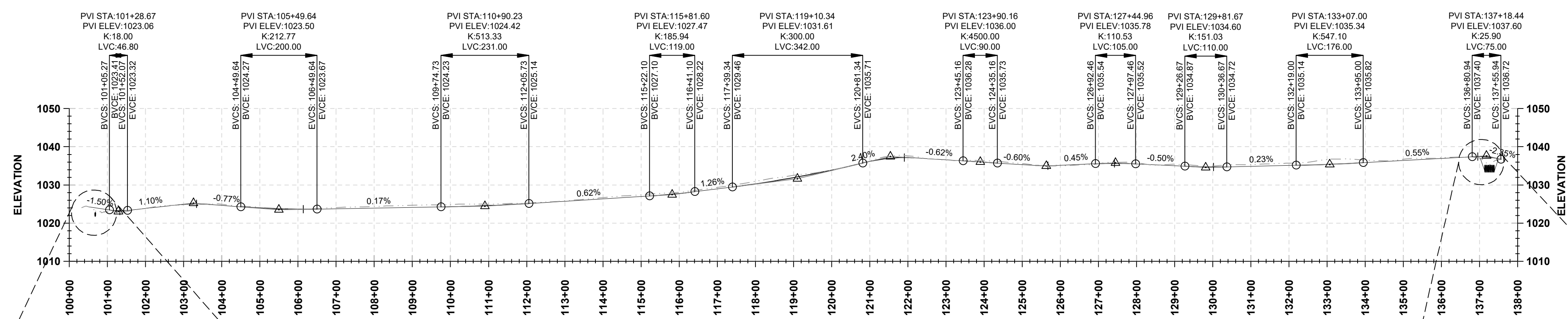
999 Fourier Drive
Suite 101
Madison, WI 53717
Phone: 608.826.3600

FILE NO.: 599713 - EDPR-DSP SUNNYSIDE SOLAR - SL.dwg

2/24/25 - USER: AEdwin - ATTACHED: REF: EX - KEY; EX - FEATURES; EX - GIS; EX - CONTOURS; PR - SITE FEATURES; EX - MATCHLINE; PR - LEGEND; EX - LEGEND; EX - ATTACHED IMAGES; DRAWING NAME: C:\Users\AEdwin\OneDrive\Documents\3709771.599713 - EDPR-DSP SUNNYSIDE SOLAR - PP.dwg --- PLOT DATE: June 16, 2025 - 2:03PM --- LAYOUT: C201 - PLAN AND PROFILE EAST-WEST



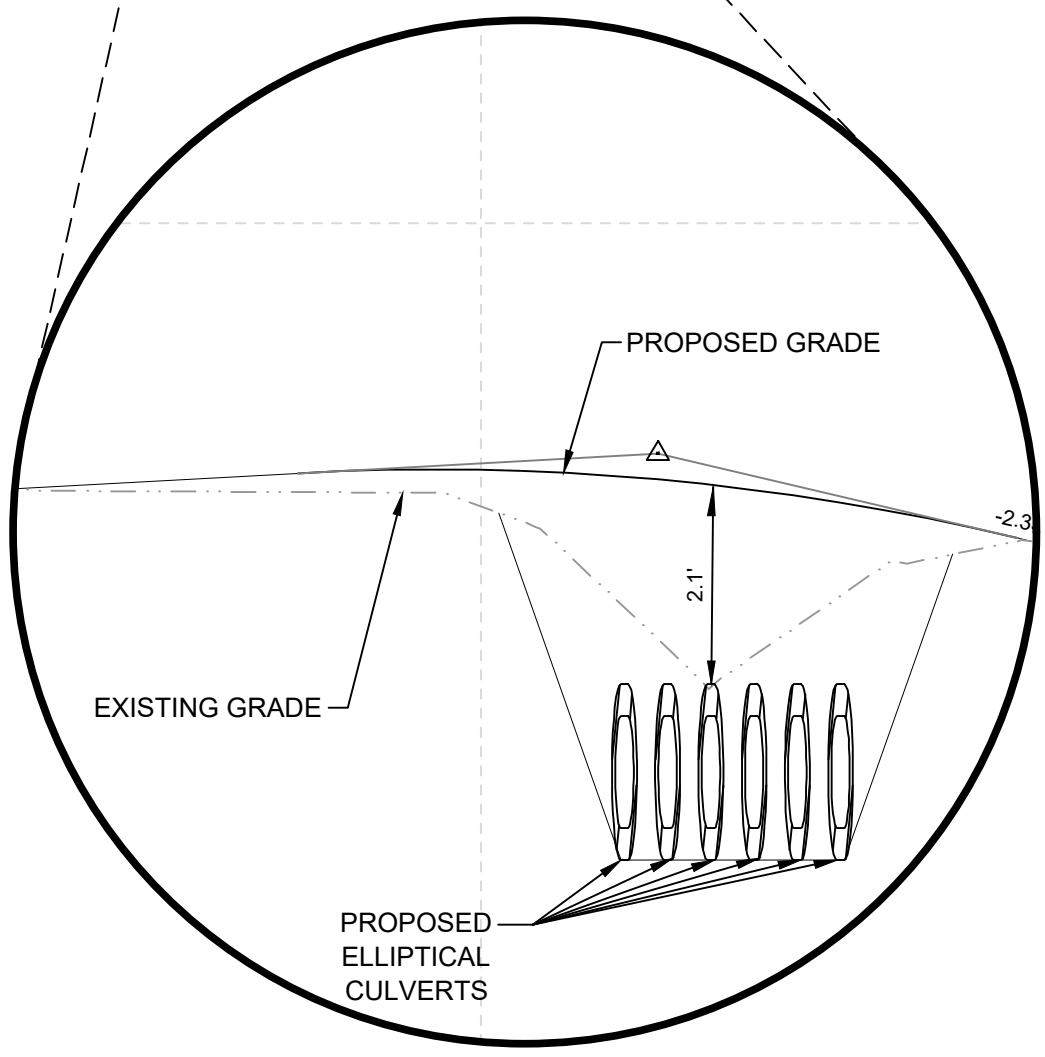
- ### LEGEND
- PROPERTY LINE
 - EASEMENT / RIGHT-OF-WAY
 - LEASE LIMITS
 - SECTION LINE
 - RIGHT OF WAY
 - PV EQUIPMENT SETBACK
 - EXISTING ASPHALT EOP
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING GAS LINE
 - EXISTING TELEPHONE
 - EXISTING FENCE
 - EXISTING MONUMENT
 - WETLAND
 - 175' WETLAND BUFFER
 - EXISTING CONTOURS
 - EXISTING BRUSHWOODS
 - EXISTING BUILDING
 - EXISTING TREES
 - TELEPHONE PEDESTAL
 - HIGH TENSION POWER POLE
 - EXISTING POWER POLE
 - EXISTING GUY ANCHOR
 - EXISTING CULVERT
 - EXISTING FIELD LINE
 - PROPOSED PV PANELS
 - TREE REMOVAL
 - PROPOSED ACCESS ROAD
 - PROPOSED FILTER STRIP BUFFER
 - PROPOSED LEVEL SPREADER
 - PV EQUIPMENT SETBACK
 - PROPOSED WELDED WIRE FENCE
 - PROPOSED CHAIN LINK FENCE
 - PROPOSED OVERHEAD ELECTRIC LINE
 - PROPOSED EQUIPMENT PAD
 - PROPOSED MV CABLE
 - DC CABLE
 - LIMITS OF DISTURBANCE
 - LANDSCAPING BUFFER
 - PROPOSED CONTOURS



INSET 1
SCALE: 1"=20'

Curve Table: Alignments

| Curve # | Radius | Length | Chord Direction | Start Point | End Point |
|---------|--------|--------|------------------|---------------------------|---------------------------|
| C1 | 20.00 | 4.74 | S83° 12' 55.58"E | (807665.0953,450324.3988) | (807669.7876,450323.8405) |
| C2 | 20.00 | 4.74 | S83° 12' 55.57"E | (808148.8312,450208.2209) | (808153.5236,450207.6627) |



INSET 2
SCALE: 1"=20'

SEAL:

PRELIMINARY NOT FOR CONSTRUCTION

REVIEW DRAFT - FOR DISCUSSION

PROFESSIONAL ENGINEER:
ANDY GRAHAM
30086-6

EXPIRATION DATE:
7/31/2026

TRC ENVIRONMENTAL CORP
CERTIFICATE OF AUTH. #3707-11

| NO. | BY | DATE | ISSUED FOR PERMIT | REVISION | ABG | APPD. |
|-----|----|------|-------------------|----------|-----|-------|
| 1 | NE | | | | | |

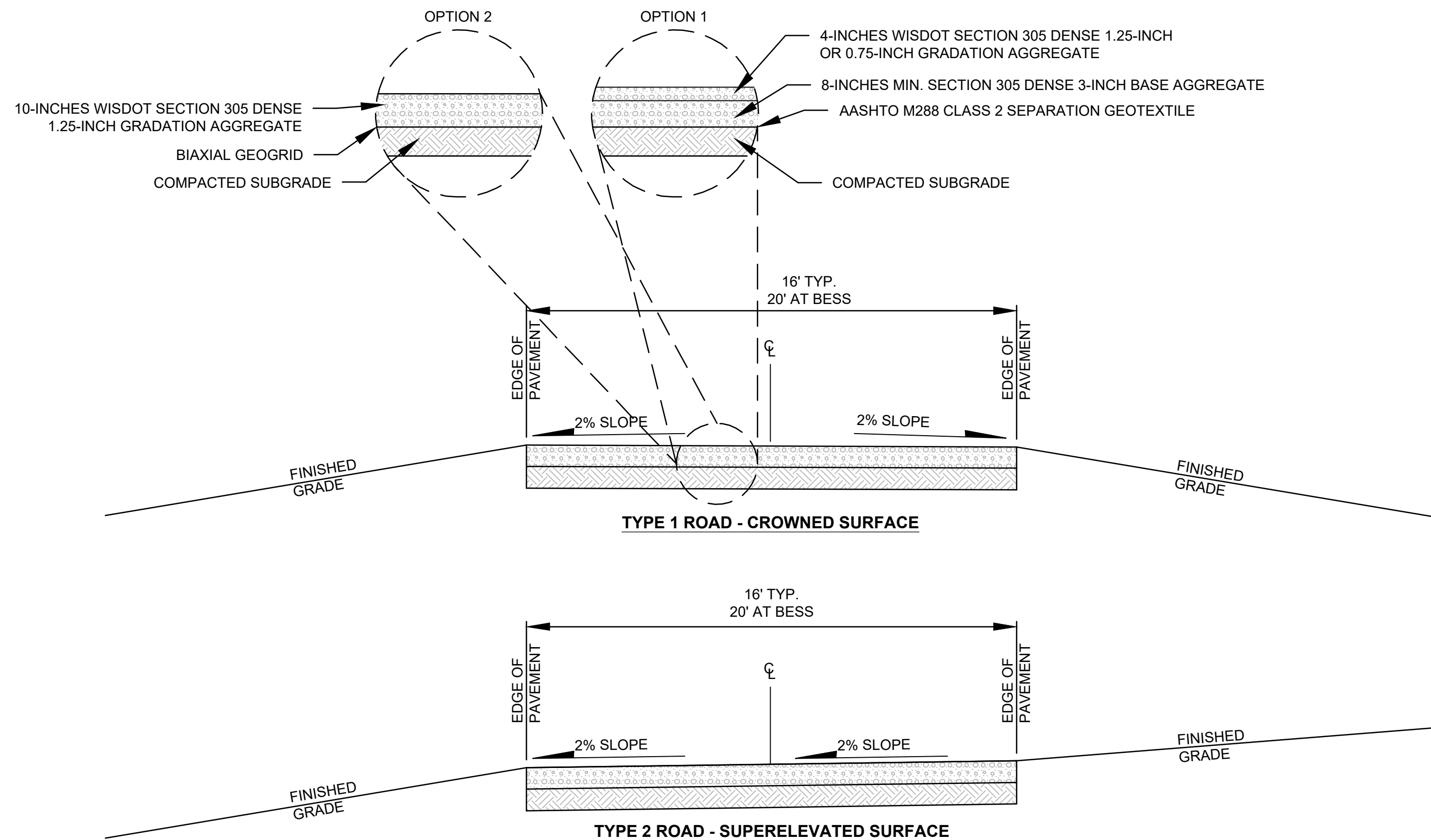
PROJECT: **SUNNYSIDE SOLAR PARTNERS, LLC
SUNNYSIDE ENERGY CENTER
SITE CIVIL DESIGN PLAN SET
FITCHBURG, WI**

TITLE: **PLAN AND PROFILE EAST-WEST**

DRAWN BY: N. EDWIN PROJ. NO.: 599713.0EGR.0000
CHECKED BY: C. THOMAS
APPROVED BY: A. GRAHAM **C201**
DATE: JUNE 2025

TRC 999 Fourier Drive Suite 101
Madison, WI 53717
Phone: 608.828.3600

FILE NO.: 599713 - EDPR-DSP SUNNYSIDE SOLAR - PP.dwg



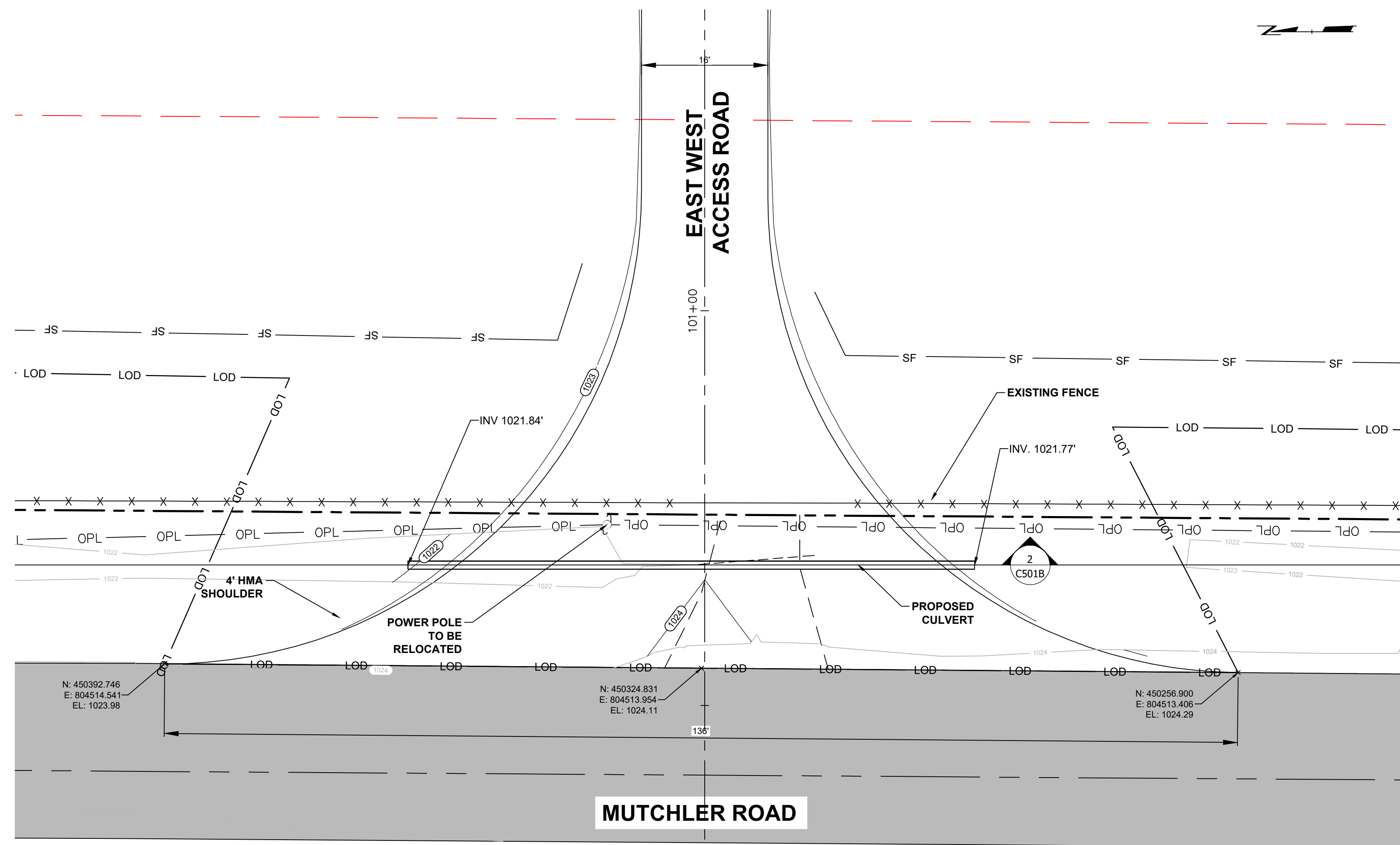
GRADING NOTES:
 1. USE TYPE 2 ROAD SECTION AT BESS

1
C501A
TYPICAL ACCESS DRIVE SECTION
 NOT TO SCALE

2/24 - USER: AEdwin - ATTACHED XREFS: ... ATTACHED IMAGES: DRAWING NAME: C:\Users\aedwin\OneDrive\Documents\599713 - EDPR-DSP SUNNYSIDE SOLAR - DT-RD.dwg -- PLOT DATE: June 16, 2025 - 2:03PM --- LAYOUT: Details 1

| | | | |
|---|----|--|----------|
| PRELIMINARY NOT FOR CONSTRUCTION | | REVIEW DRAFT - FOR DISCUSSION | |
| | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 EXPIRATION DATE: 7/31/2026 TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | |
| | | | |
| | | | |
| | | | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| | | | |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | |
| TITLE: ACCESS ROAD DETAILS | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.0EGR.0000 | |
| CHECKED BY: C. THOMAS | | C501A | |
| APPROVED BY: A. GRAHAM | | | |
| DATE: JUNE 2025 | | | |
|  | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | |
| FILE NO: | | 599713 - EDPR-DSP SUNNYSIDE SOLAR - DT-RD.dwg | |

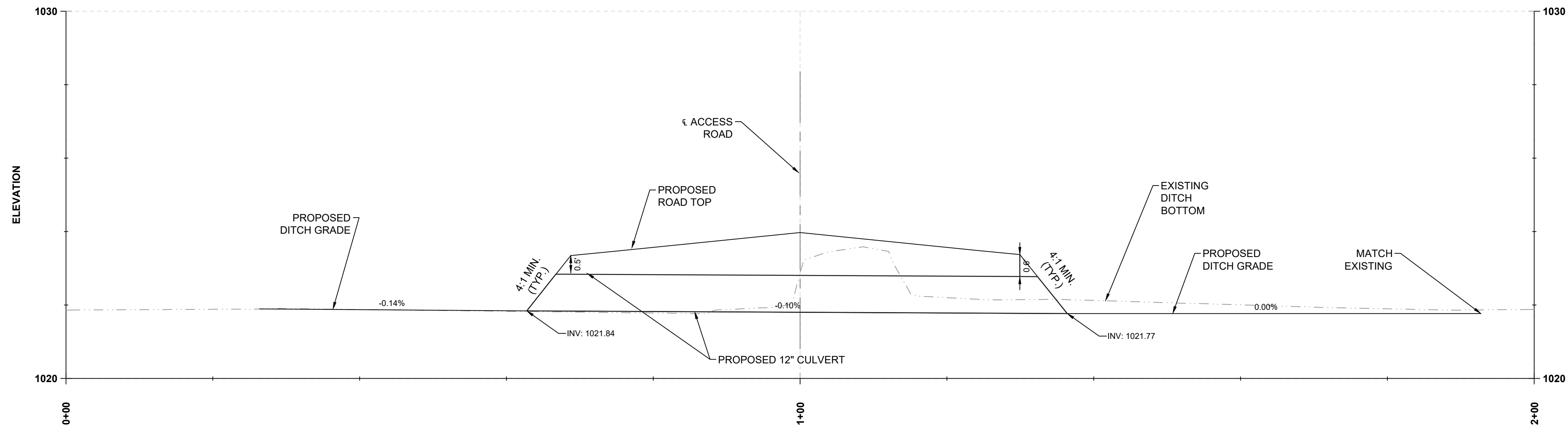
2/24/25 - USER: AEdillon - ATTACHED XREFS: EX - FEATURES, EX - SIS - CONTOURS, FR - SITE FEATURES, EX - MATCHLINE - ATTACHED IMAGES: Topobid Gradiation
 DRAWING NAME: C:\Users\aedillon\OneDrive\Documents\599713 - EDFR-DSP SUNNYSIDE SOLAR - RD-GR.dwg -- PLOT DATE: June 16, 2025 - 2:03PM -- LAYOUT: ENTRANCE GRADING DETAIL B



LEGEND

- PROPERTY LINE / ROW
- SECTION LINE
- EXISTING ASPHALT EOP
- EXISTING OVERHEAD ELECTRIC
- EXISTING FENCE
- EXISTING CONTOURS
- PROPOSED ACCSS ROAD
- PROPOSED CONTOURS
- PV EQUIPMENT SETBACK
- EXISTING POWER POLE

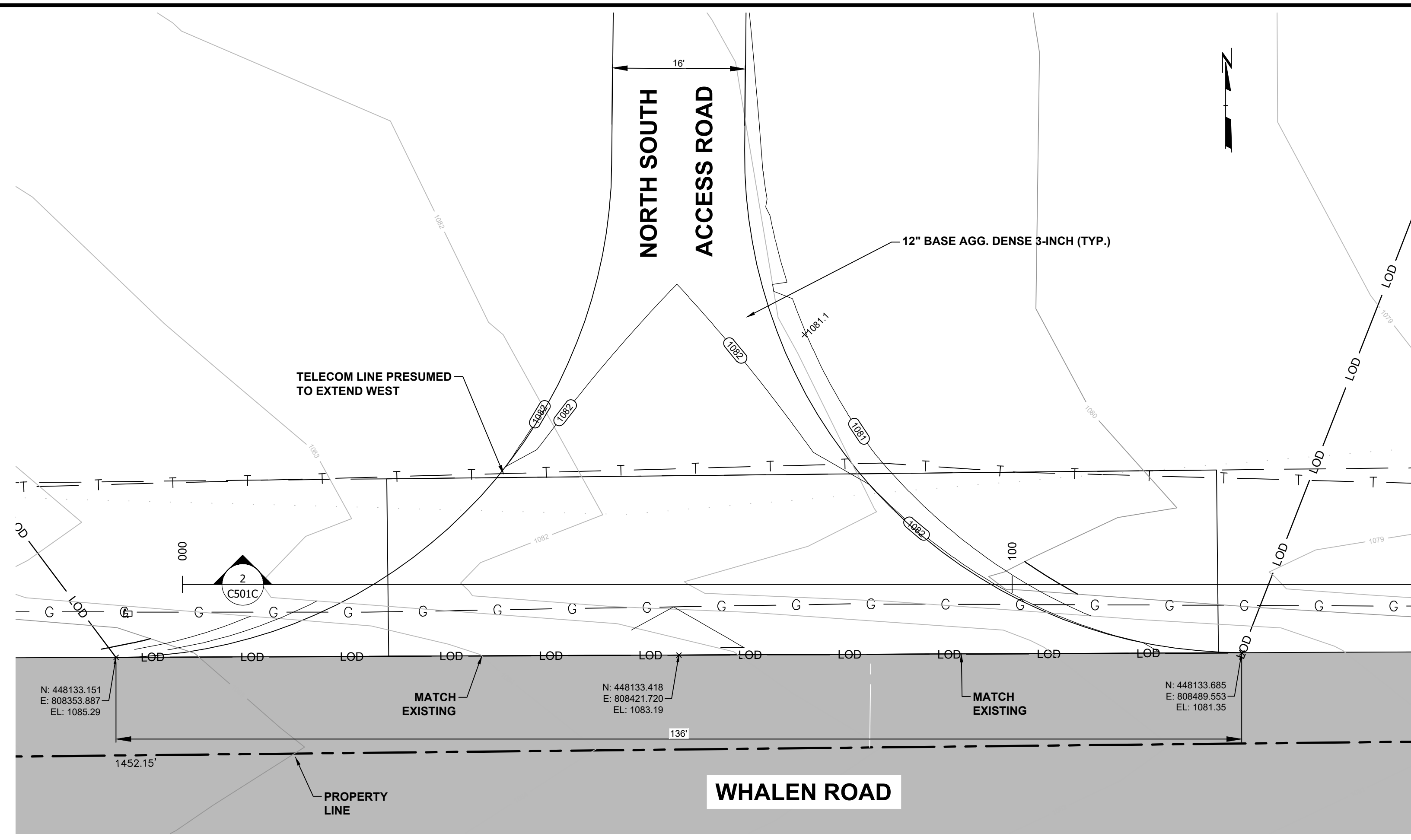
1 WEST DRIVEWAY ENTRANCE & GRADING DETAIL
 1" = 10'



2 WEST DRIVEWAY ENTRANCE & CULVERT SECTION DETAIL
 1" = 10'

| | | | |
|--|----|--|----------|
| PRELIMINARY NOT FOR CONSTRUCTION | | REVIEW DRAFT - FOR DISCUSSION | |
| | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 | |
| | | EXPIRATION DATE: 7/31/2026 | |
| | | TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | |
| TITLE: WEST DRIVEWAY ENTRANCE & GRADING DETAIL | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.02CR.0000 | |
| CHECKED BY: C. THOMAS | | C501B | |
| APPROVED BY: A. GRAHAM | | | |
| DATE: JUNE 2025 | | | |
| | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | |
| FILE NO: | | 599713 - EDFR-DSP SUNNYSIDE SOLAR - RD-GR.dwg | |

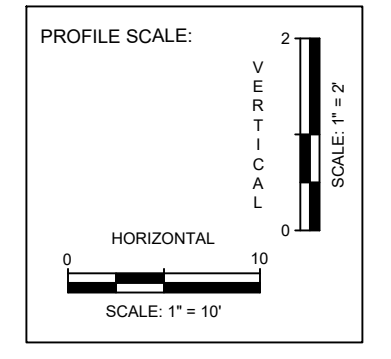
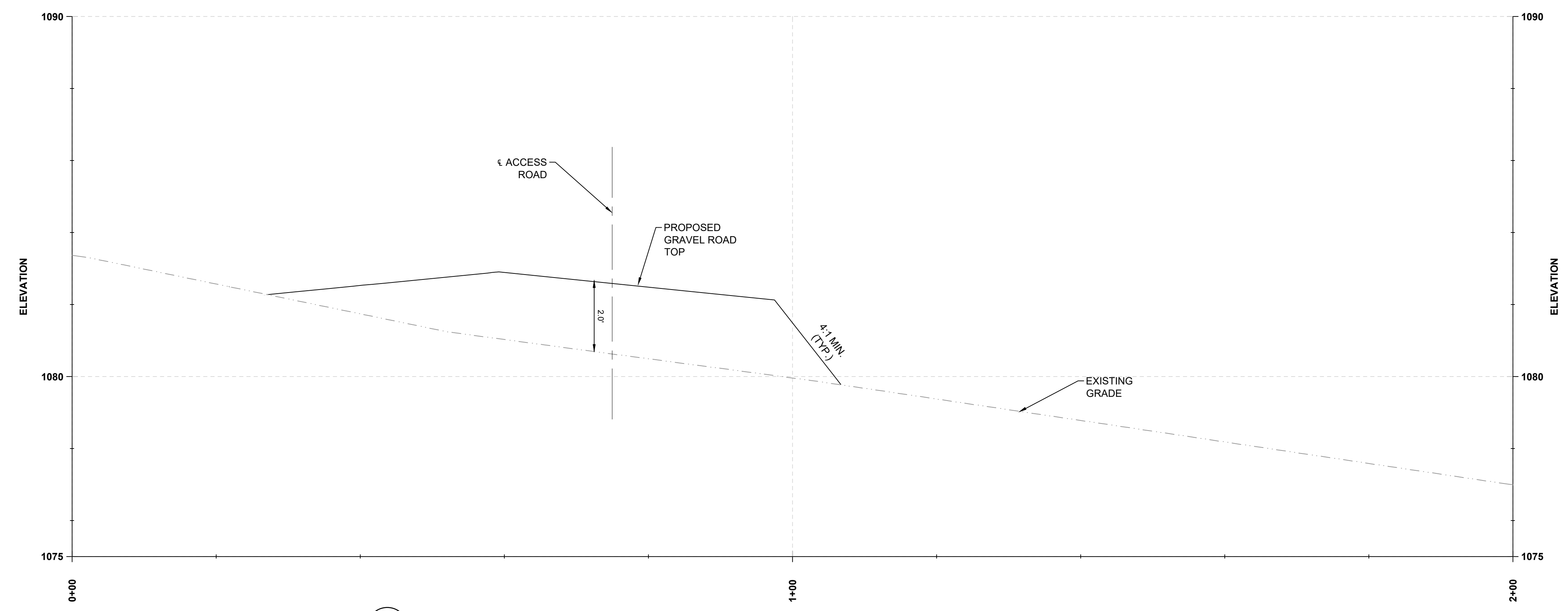
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 DRAWING NAME: C:\Users\aedillon\OneDrive\Documents\Projects\599713 - EDPR-DSP SUNNYSIDE SOLAR - RD-GR.dwg -- PLOT DATE: June 16, 2025 - 2:04PM -- LAYOUT: WHALEN ROAD



LEGEND

| | |
|--|---|
| | PROPERTY LINE |
| | SECTION LINE |
| | RIGHT OF WAY |
| | EXISTING ASPHALT EOP |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING CONTOURS |
| | EXISTING GAS LINE |
| | EXISTING TELECOM |
| | PROPOSED ACCESS ROAD |
| | PROPOSED CONTOURS |
| | LIMITS OF DISTURBANCE / LOCATION OF EROSION CONTROL LOG |

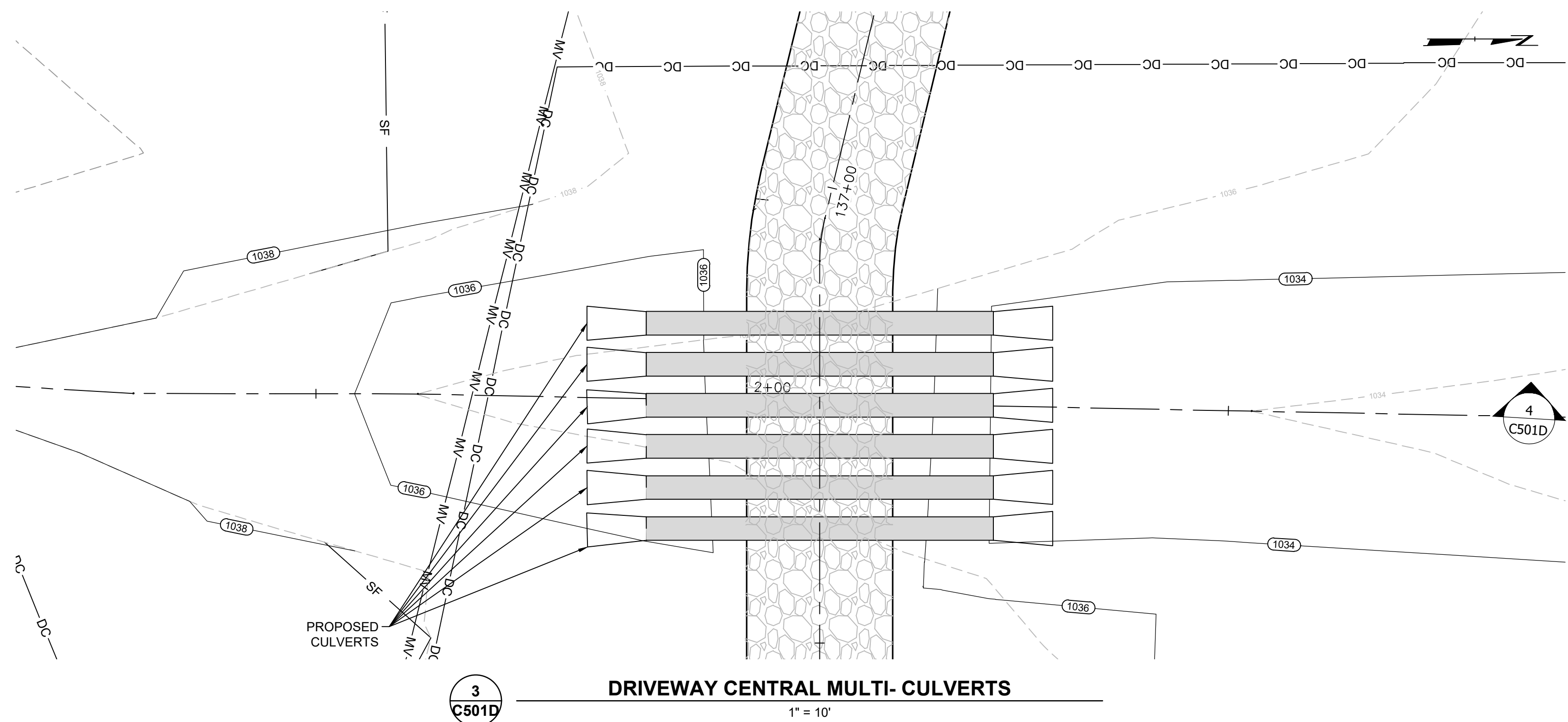
1
C501C
SOUTH DRIVEWAY ENTRANCE & GRADING DETAIL
1" = 10'



2
C501C
SOUTH DRIVEWAY ENTRANCE & SECTION DETAIL

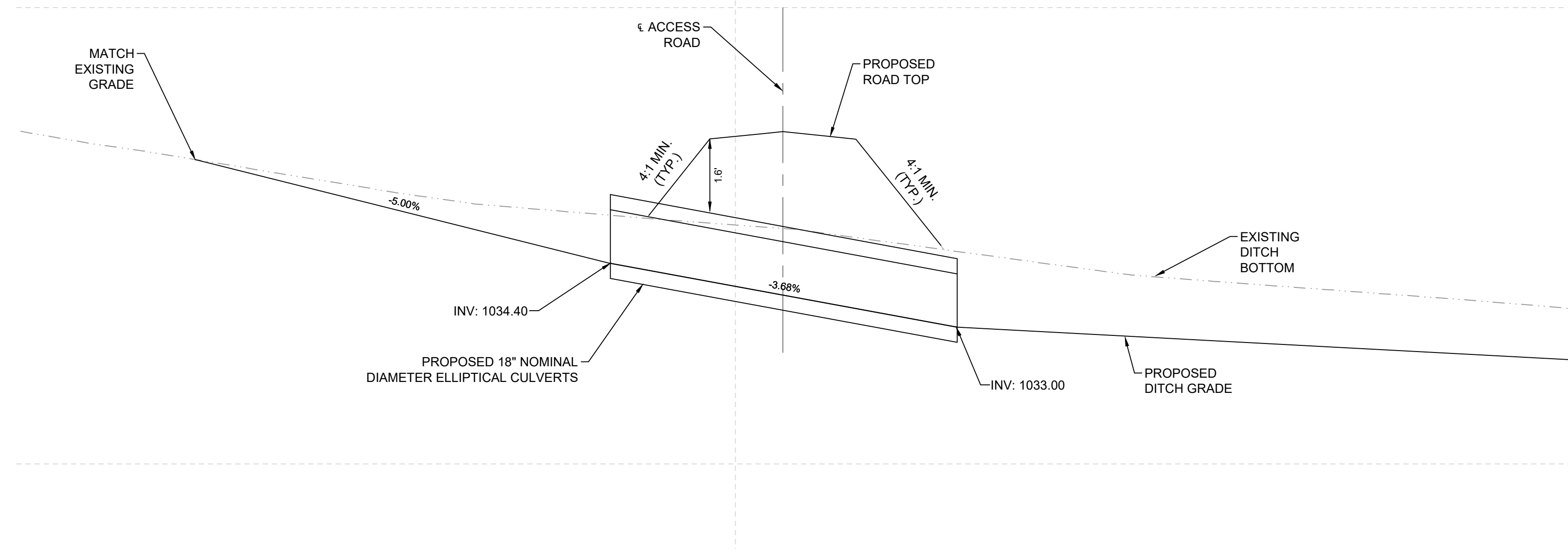
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|--|----|---|----------|
| SEAL: | | REVIEW DRAFT - FOR DISCUSSION | |
| | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 | |
| | | EXPIRATION DATE: 7/31/2026 | |
| | | TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| PROJECT: | | SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | |
| TITLE: SOUTH DRIVEWAY ENTRANCE & GRADING DETAIL | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.0EGR.0000 | |
| CHECKED BY: C. THOMAS | | C501C | |
| APPROVED BY: A. GRAHAM | | | |
| DATE: JUNE 2025 | | | |
| | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | |
| FILE NO: | | 599713 - EDPR-DSP SUNNYSIDE SOLAR - RD-GR.dwg | |

2/20/24 - USER: AEdwin - ATTACHED XREFS: EX - FEATURES, EX - GIS, EX - CONTOURS, FR - SITE FEATURES, EX - MATCHLINE - ATTACHED IMAGES: DRAWING NAME: C:\Users\AEdwin\OneDrive\Documents\599713 - EDPR-DSP SUNNYSIDE SOLAR - RD-GR-CUL.dwg --- PLOT DATE: June 16, 2025 - 2:04PM --- LAYOUT: ACCESS ROAD CULVERT SECTIONS



| LEGEND | |
|--------|--------------------------|
| | EXISTING CONTOURS |
| | PROPOSED CONTOURS |
| | PROPOSED MV AND DC CABLE |
| | PROPOSED SILT FENCE |
| | PROPOSED ACCESS ROAD |

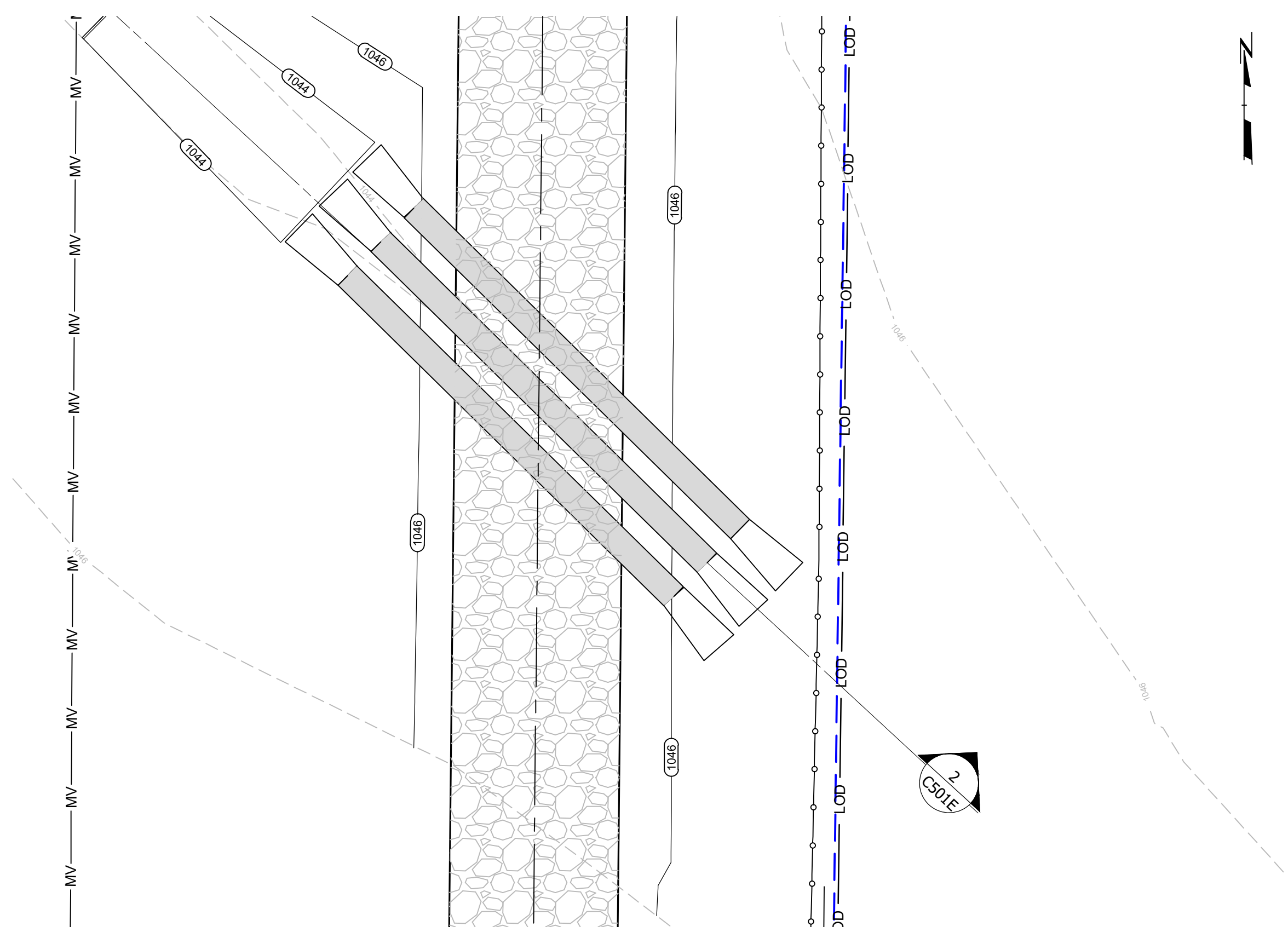
3
C501D
DRIVEWAY CENTRAL MULTI- CULVERTS
 1" = 10"



4
C501D
DRIVEWAY CENTRAL MULTI- CULVERTS SECTION
 1" = 10"

| <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | | <p>REVIEW DRAFT - FOR DISCUSSION</p> | | | | | | | | | | | |
|--|----|--|-------------------|-------|----|------|----------|-------|---|----|--|-------------------|-----|
| | | <p>PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6</p> | | | | | | | | | | | |
| | | <p>EXPIRATION DATE: 7/31/2026</p> | | | | | | | | | | | |
| | | <p>TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11</p> | | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th>NO.</th> <th>BY</th> <th>DATE</th> <th>REVISION</th> <th>APPD.</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>NE</td> <td></td> <td>ISSUED FOR PERMIT</td> <td>ABG</td> </tr> </tbody> </table> | | | | NO. | BY | DATE | REVISION | APPD. | 1 | NE | | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION | APPD. | | | | | | | | | |
| 1 | NE | | ISSUED FOR PERMIT | ABG | | | | | | | | | |
| <p>PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI</p> | | | | | | | | | | | | | |
| <p>TITLE: ACCESS ROAD CULVERT SECTIONS</p> | | | | | | | | | | | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.0EGR.0000 | | | | | | | | | | | |
| CHECKED BY: C. THOMAS | | C501D | | | | | | | | | | | |
| APPROVED BY: A. GRAHAM | | | | | | | | | | | | | |
| DATE: JUNE 2025 | | | | | | | | | | | | | |
| | | <p>999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600</p> | | | | | | | | | | | |
| <p>FILE NO.: 599713 - EDPR-DSP SUNNYSIDE SOLAR - RD-GR-CUL.dwg</p> | | | | | | | | | | | | | |

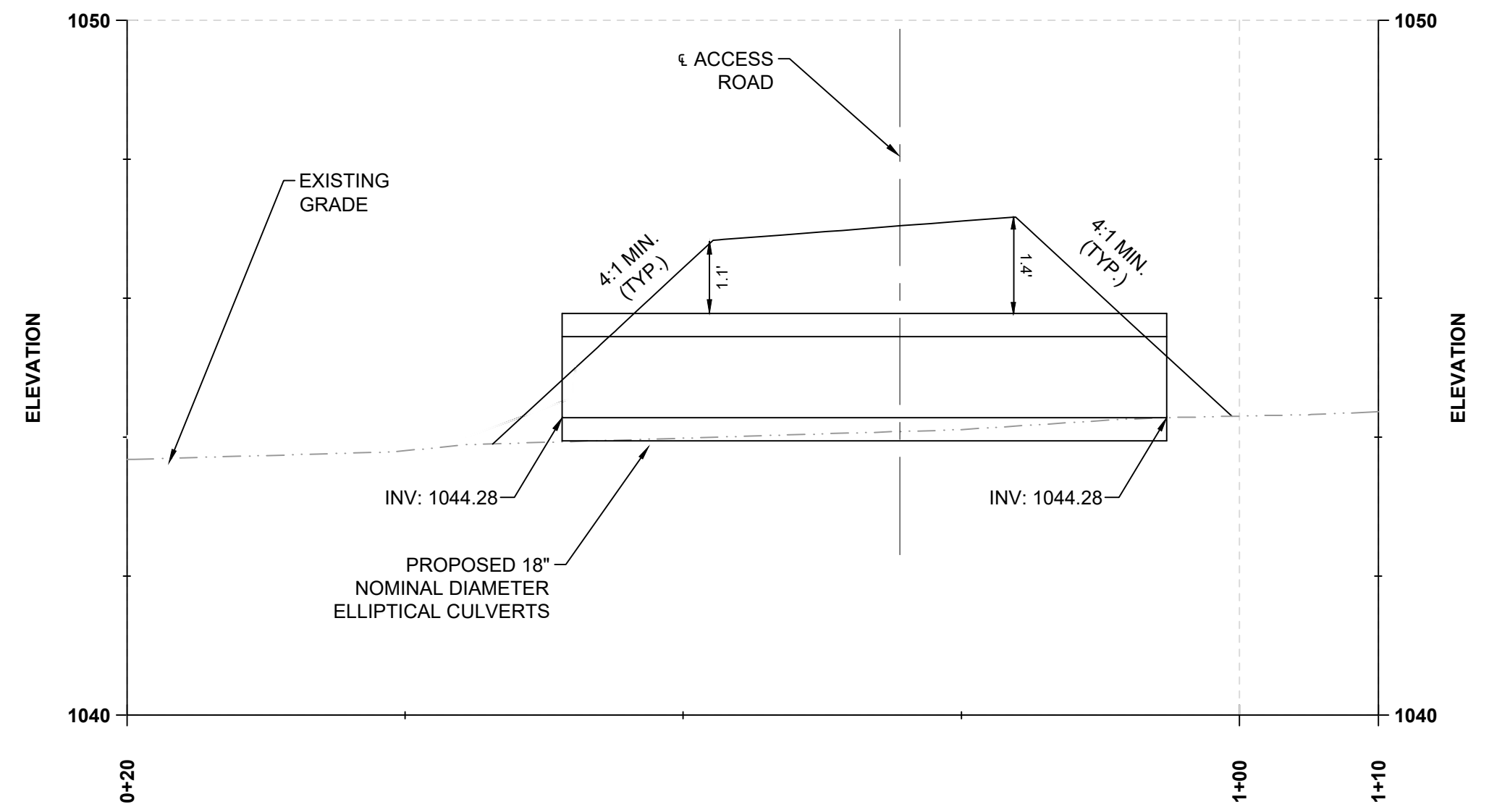
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LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED MV CABLE
- PROPOSED FENCE
- LOD
- PROPOSED ACCESS ROAD

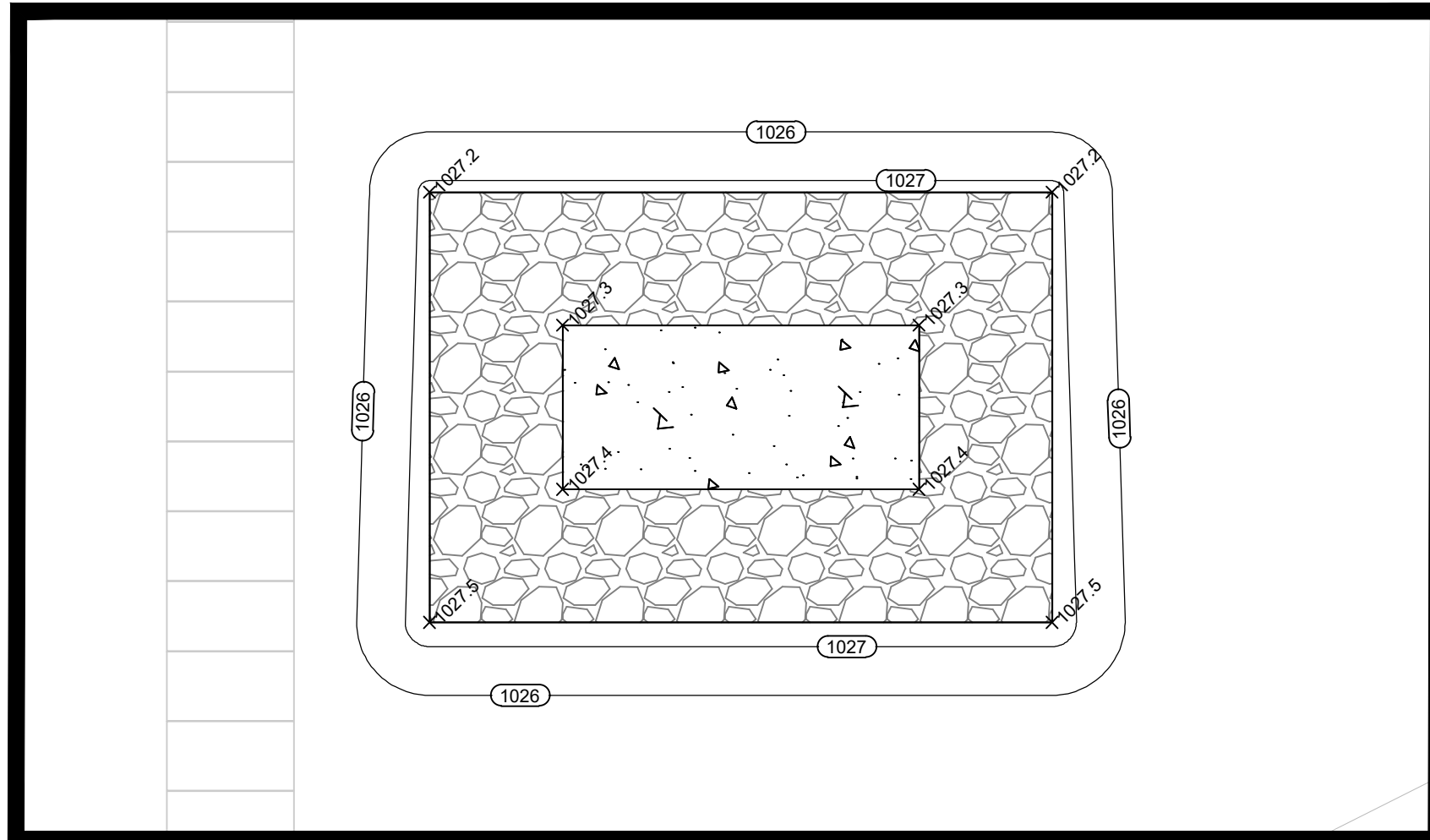
1 **C501E**
DRIVEWAY CENTRAL CULVER P6
 1" = 10'



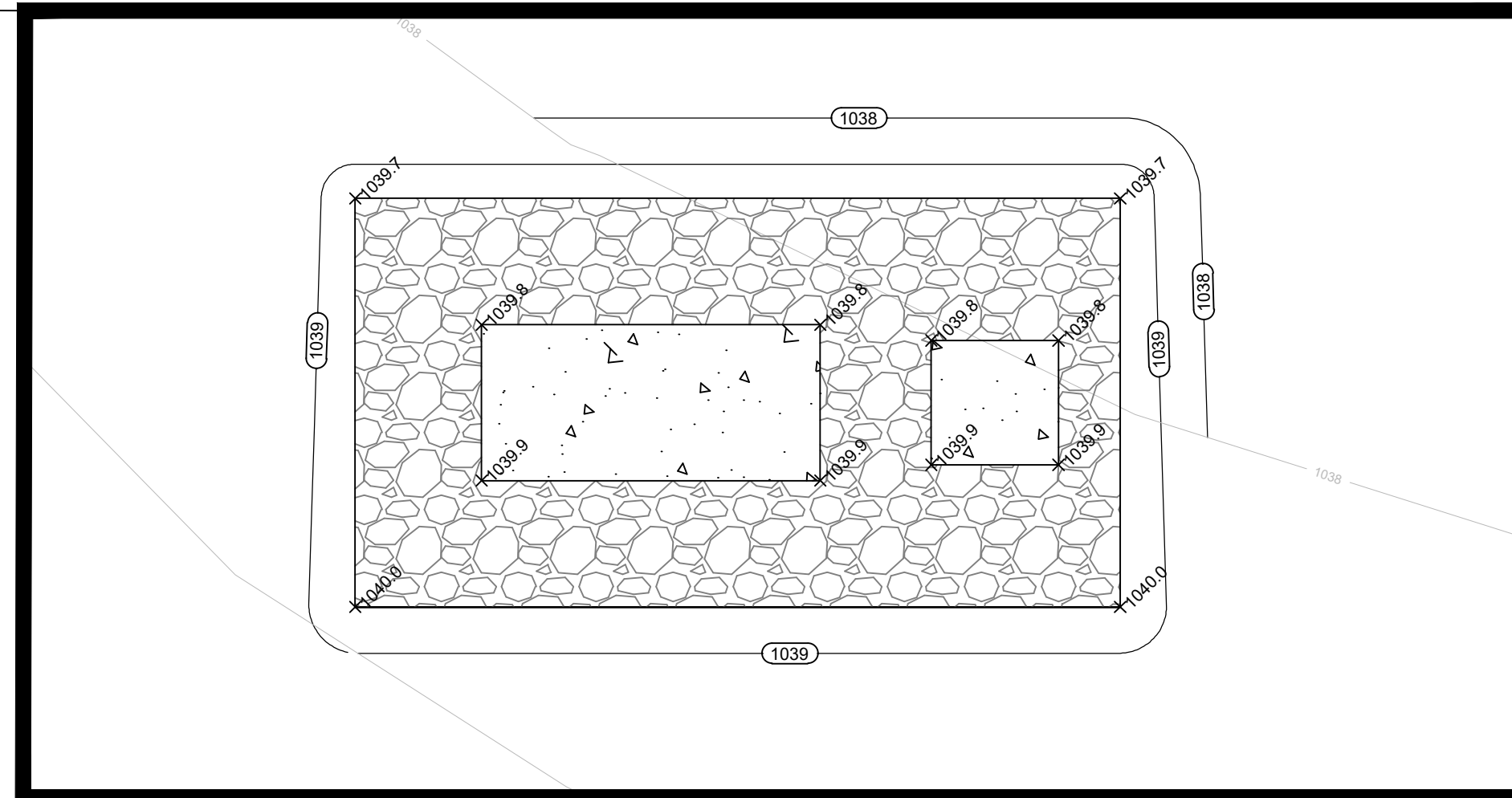
2 **C501E**
SOUTH ACCESS CULVERT 1
 1" = 10'

| | | | | | |
|---|----|--|-------------------|-----|-------|
| PRELIMINARY NOT FOR CONSTRUCTION | | REVIEW DRAFT - FOR DISCUSSION | | | |
| | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 | | | |
| | | EXPIRATION DATE: 7/31/2026 | | | |
| | | TRC ENVIRONMENTAL CORP. CERTIFICATE OF AUTH. #3707-11 | | | |
| NO. | BY | DATE | REVISION | ABG | APPD. |
| 1 | NE | | ISSUED FOR PERMIT | | |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | | | |
| TITLE: ACCESS ROAD CULVERT SECTIONS | | | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.0EGR.0000 | | | |
| CHECKED BY: C. THOMAS | | C501E | | | |
| APPROVED BY: A. GRAHAM | | | | | |
| DATE: JUNE 2025 | | | | | |
| | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | | | |
| FILE NO: | | 599713 - EDPR-DSP SUNNYSIDE SOLAR - RD-GR-CUL.dwg | | | |

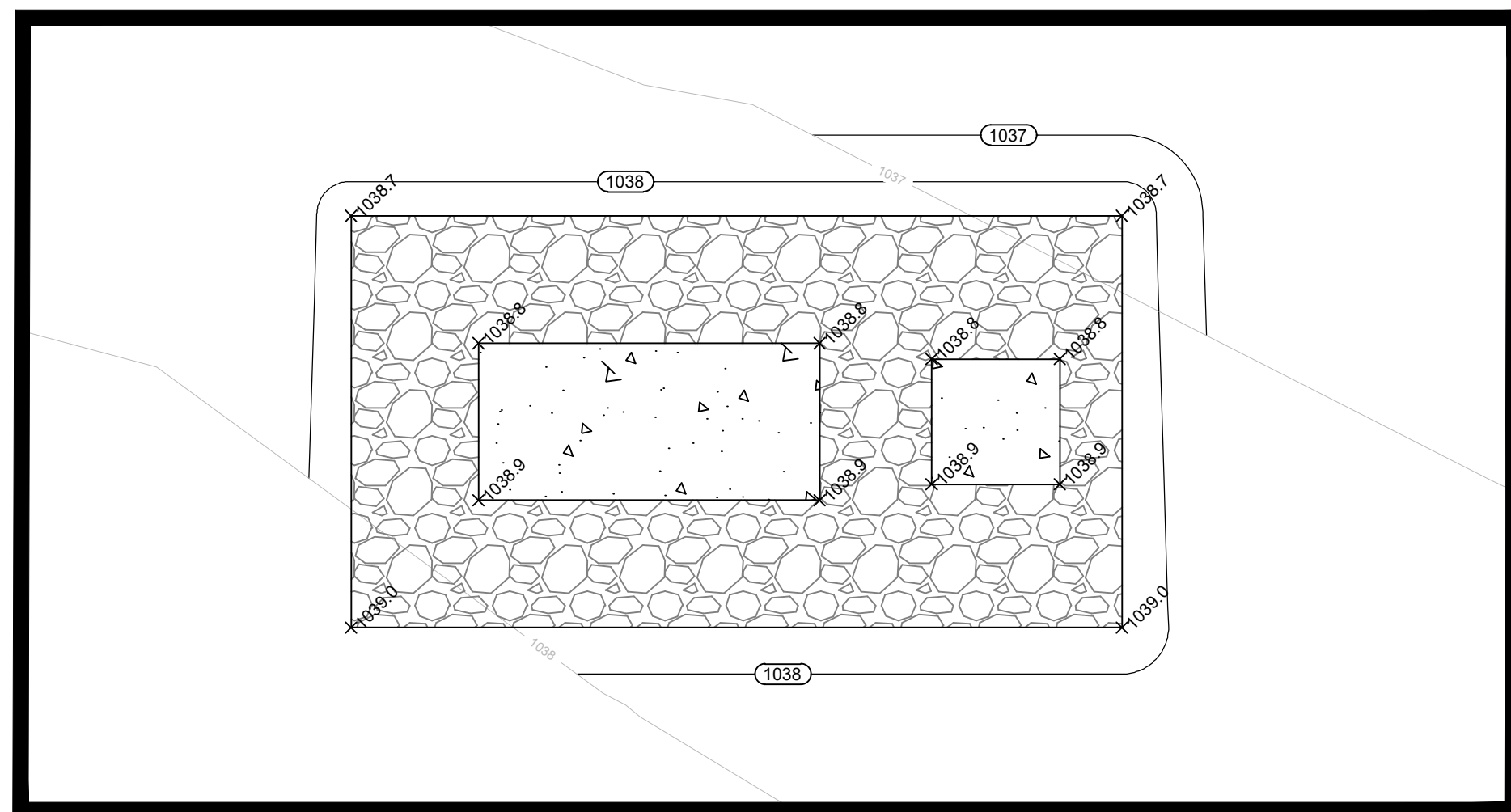
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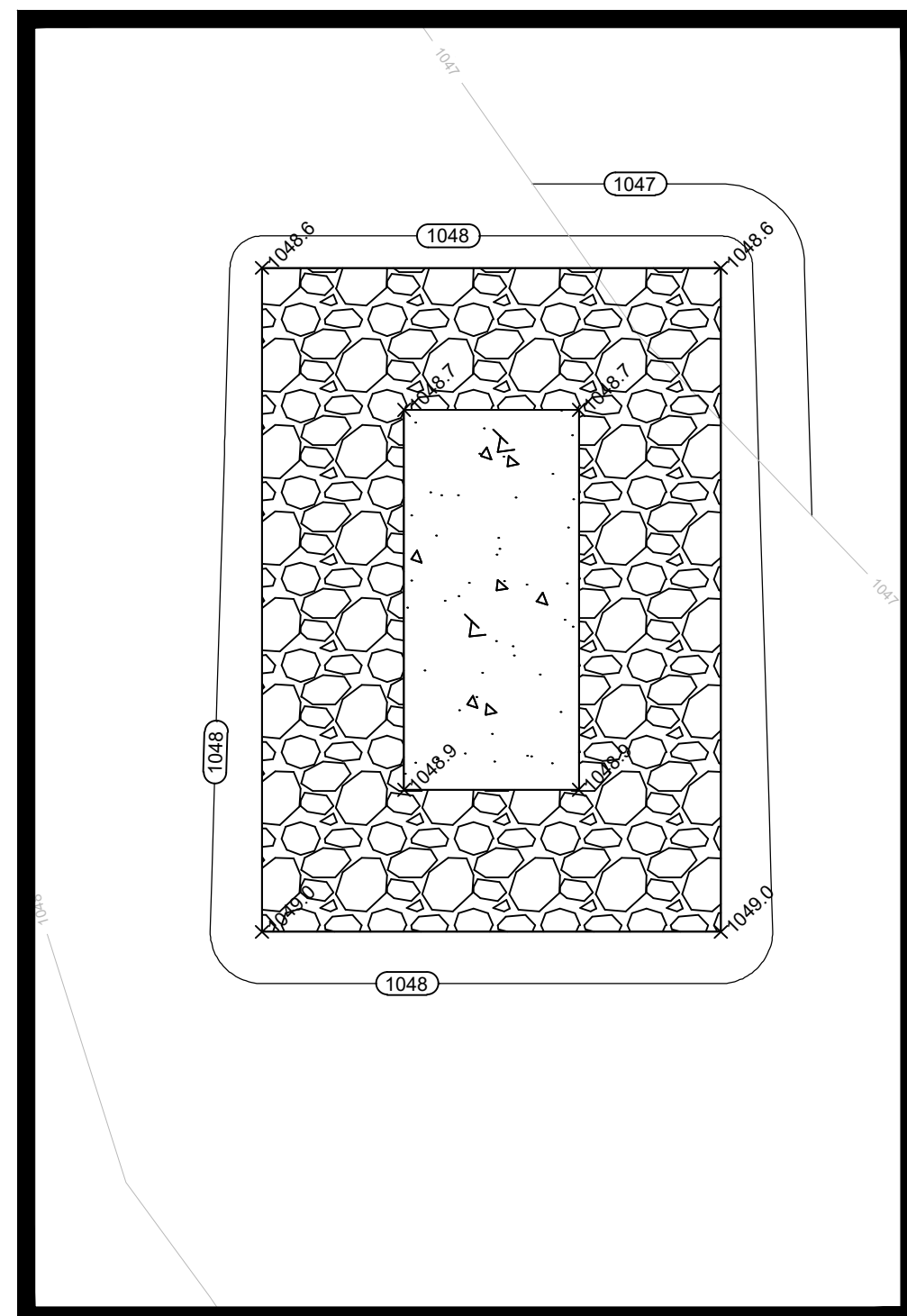
1
C502
EQUIPMENT GRADING (PAD #1)
SCALE: 1"=10'



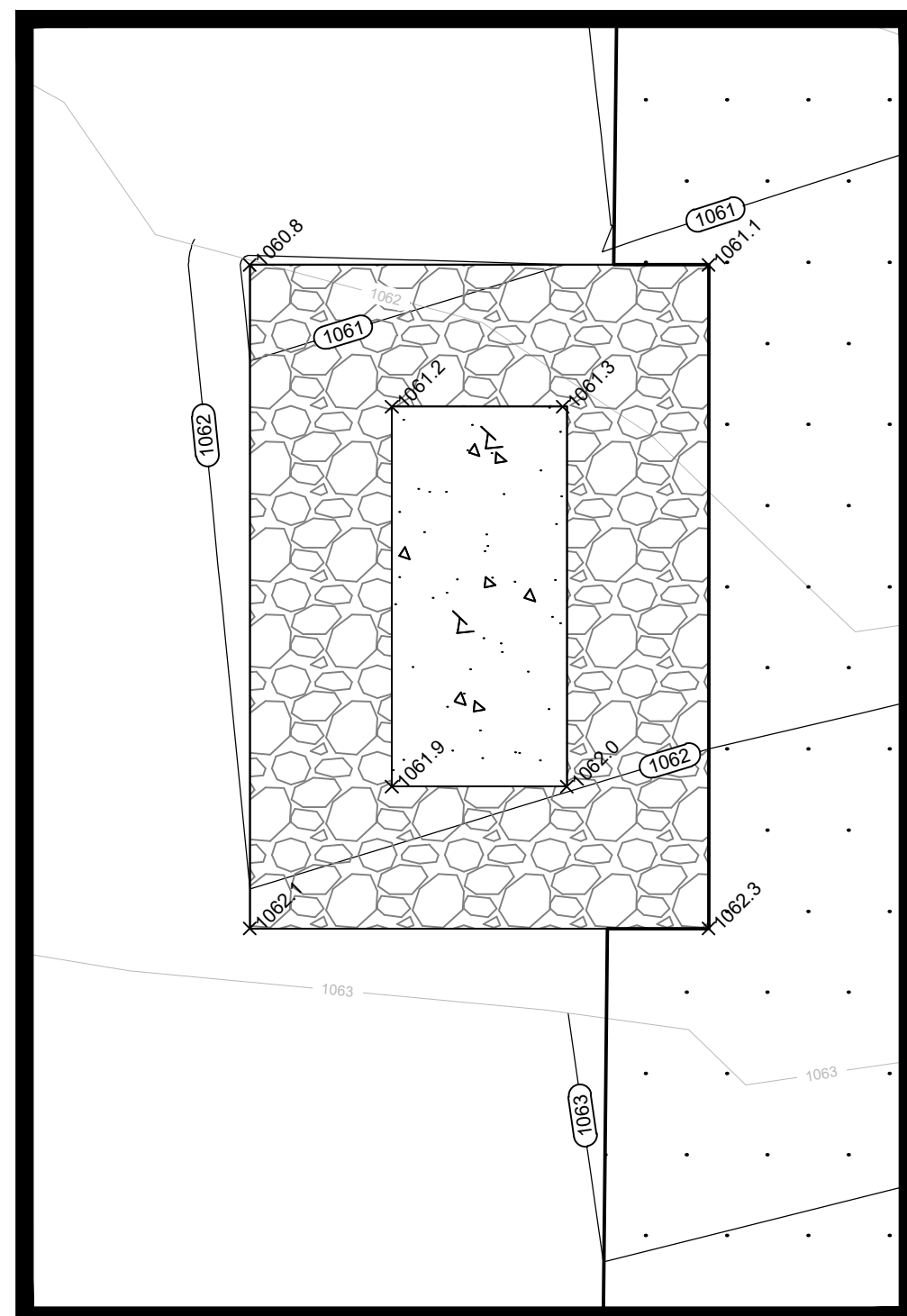
2
C502
EQUIPMENT GRADING (PAD #2)
1"=10'



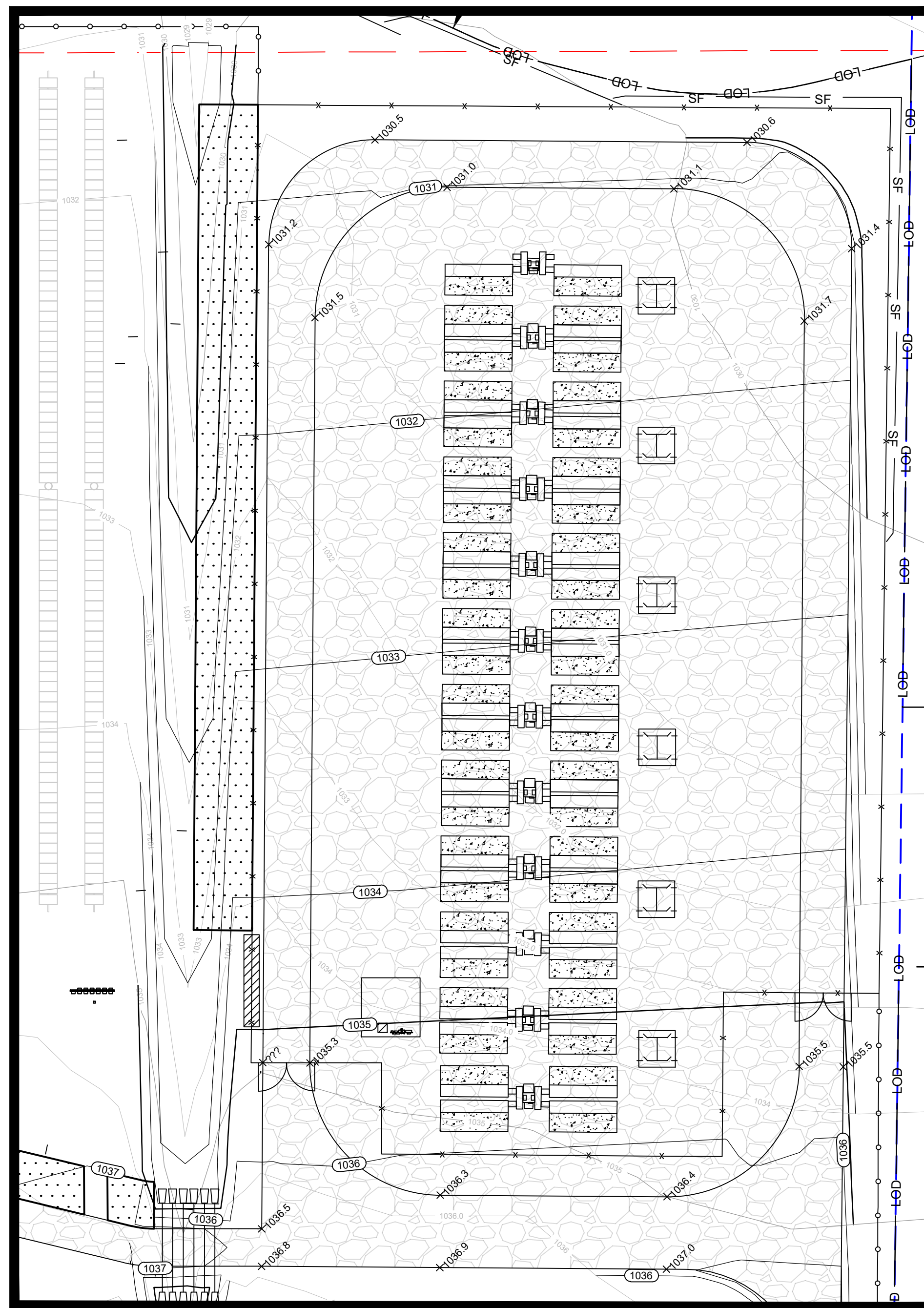
3
C502
EQUIPMENT GRADING (PAD #3)
1"=10'



4
C502
EQUIPMENT GRADING (PAD #4)
1"=10'



5
C502
EQUIPMENT GRADING (PAD #5)
1"=10'



6
C502
EQUIPMENT GRADING (BESS PAD)
1"=40'

| LEGEND | |
|--------|----------------------------|
| | PROPERTY LINE |
| | EASEMENT / RIGHT-OF-WAY |
| | SECTION LINE |
| | RIGHT OF WAY |
| | SETBACK |
| | EXISTING CONTOURS |
| | PROPOSED WELDED WIRE FENCE |
| | PROPOSED CHAIN LINK FENCE |
| | PROPOSED CONTOURS |
| | PROPOSED PV ARRAY |
| | PROPOSED ACCESS ROAD |
| | PROPOSED CONCRETE PAD |
| | PROPOSED INVERTER |
| | EQUIP. PAD FOUNDATION |

| | | | |
|---|--|---|--|
| PRELIMINARY NOT FOR CONSTRUCTION | | REVIEW DRAFT - FOR DISCUSSION | |
| | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 | |
| | | EXPIRATION DATE: 7/31/2026 | |
| | | TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | |

| NO. | BY | DATE | REVISION | ABG | APPD. |
|-----|----|------|-------------------|-----|-------|
| 1 | NE | | ISSUED FOR PERMIT | | |

PROJECT: **SUNNYSIDE SOLAR PARTNERS, LLC
 SUNNYSIDE ENERGY CENTER
 SITE CIVIL DESIGN PLAN SET
 FITCHBURG, WI**

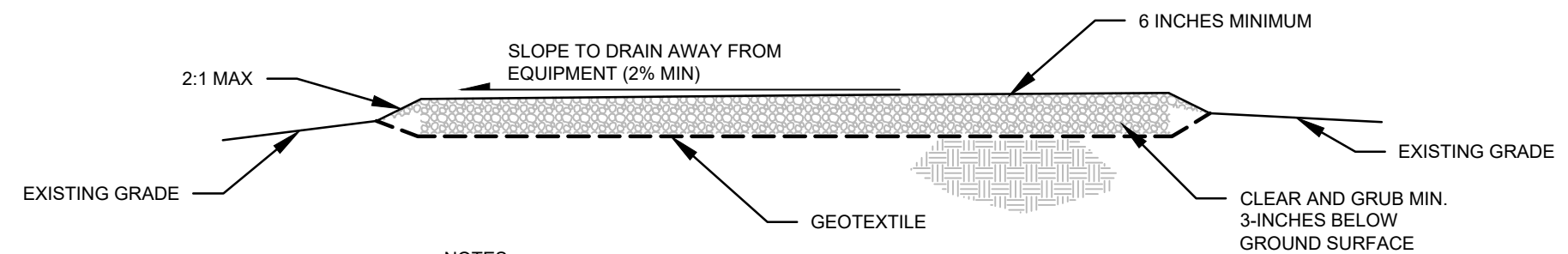
TITLE: **EQUIPMENT PAD GRADING**

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|--------------|-----------|------------|-------------------|
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0ECCR.0000 |
| CHECKED BY: | C. THOMAS | | |
| APPROVED BY: | A. GRAHAM | | C502 |
| DATE: | JUNE 2025 | | |

999 Fourier Drive
 Suite 101
 Madison, WI 53717
 Phone: 608.828.3600

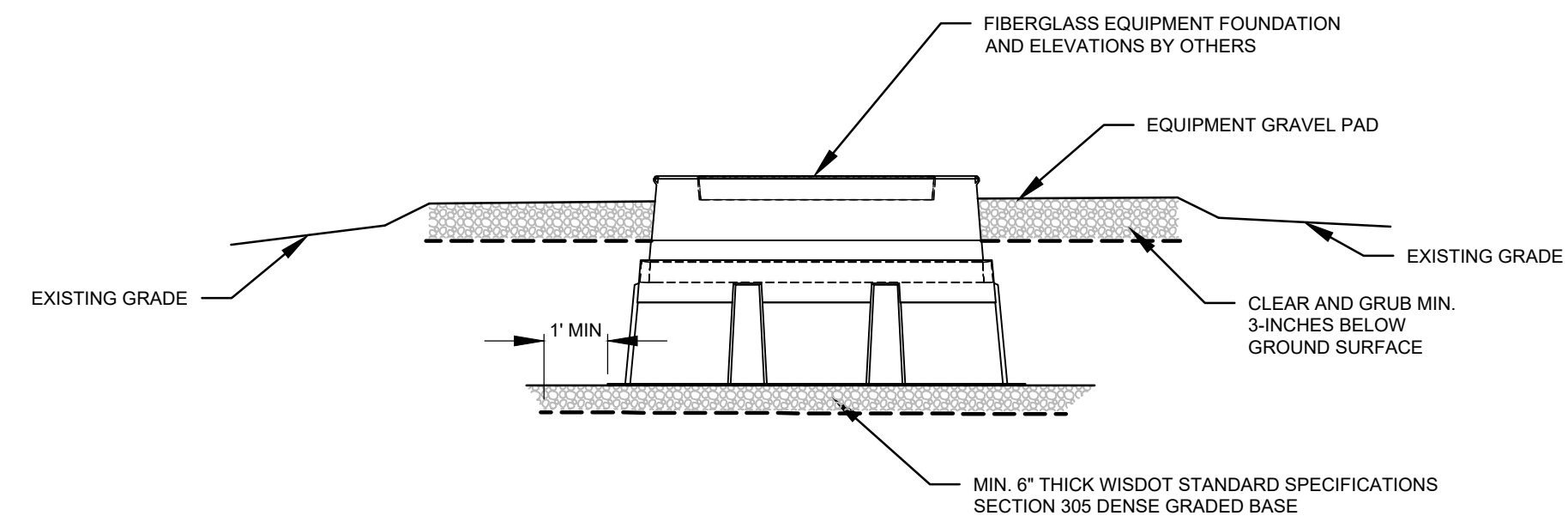
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2/24 -- USER: AEdwin -- ATTACHED: REF: EX - KEY: EX - FEATURES: EX - GIS: EX - MACHLINE: IR - SITE FEATURES: ... ATTACHED IMAGES: ...
 DRAWING NAME: C:\Users\AEdwin\Documents\project\599713 - EDFR-DSP SUNNYSIDE SOLAR - DT-PG.dwg -- PLOT DATE: June 16, 2025 - 2:06PM -- LAYOUT: C504 EQUIPMENT PAD DETAILS
 www.2017-10-1



- NOTES:**
1. PREPARE SUBGRADE BY CLEARING AND GRUBBING TO A MINIMUM OF 3-INCHES BELOW GROUND SURFACE.
 2. PRIOR TO PLACING GEOTEXTILE, PROOF ROLL SUBGRADE.
 3. GEOTEXTILE SHALL BE AASHTO M288 CLASS 2 SEPARATION GEOTEXTILE PLACED ON PREPARED SUBGRADE. SPLICE/OVERLAP GEOTEXTILE AS DIRECTED BY MANUFACTURER.
 4. AGGREGATE SHALL BE A MINIMUM OF 6-INCHES THICK AND CONSIST OF WISDOT STANDARD SPECIFICATION SECTION 305 DENSE GRADED BASED 1-1/4 INCH OR 3/4 INCH. COMPACT AGGREGATE SURFACE

1
C504 **MGE UTILITY PAD**
(NOT TO SCALE)

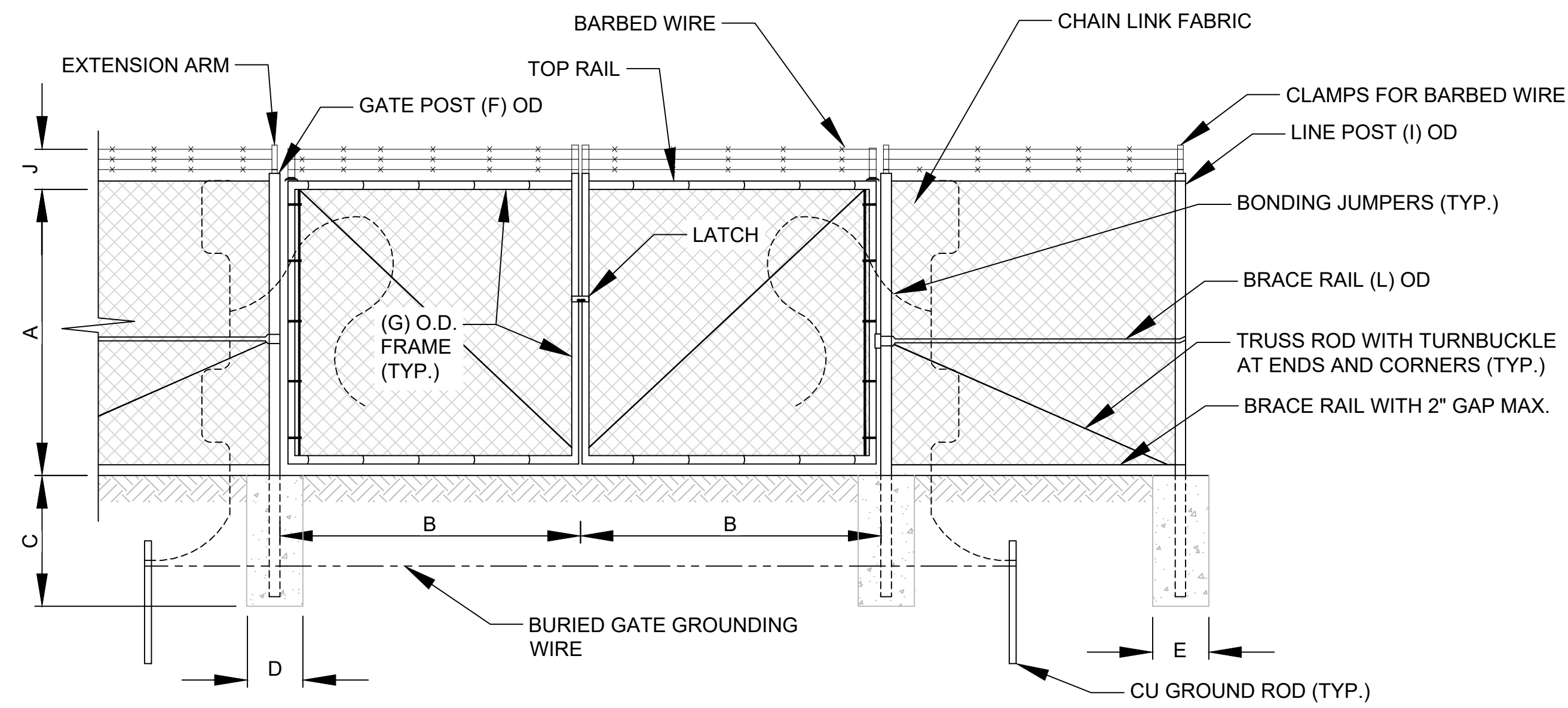


- NOTES:**
1. PREPARE SUBGRADE BY CLEARING AND GRUBBING TO A MINIMUM OF 3-INCHES BELOW GROUND SURFACE.
 2. PRIOR TO PLACING FILL, USED COMPACTION EQUIPMENT TO COMPACT SUBGRADE TO 95% THE MAXIMUM DRY WEIGHT DENSITY DETERMINED BY THE STANDARD PROCTOR TEST.
 3. GEOTEXTILE SHALL BE AASHTO M288 CLASS 2 SEPARATION GEOTEXTILE PLACED ON PREPARED SUBGRADE. SPLICE/OVERLAP GEOTEXTILE AS DIRECTED BY MANUFACTURER.
 4. AGGREGATE SHALL BE A MINIMUM OF 6-INCHES THICK AND CONSIST OF WISDOT STANDARD SPECIFICATION SECTION 305 DENSE GRADED BASED 1-1/4 INCH OR 3/4 INCH. COMPACT AGGREGATE SURFACE
 5. FOLLOW FOUNDATION MANUFACTURER'S RECOMMENDATIONS FOR BACKFILL. PLACE BACKFILL AROUND FOUNDATION WITH MANUAL TAMPING. DO NOT MACHINE COMPACT BACKFILL ADJACENT TO FIBERGLASS FOUNDATIONS.

2
C504 **FIBERGLASS BOX PAD FOR MGE SWITCH**
FIBERGLASS BOX PAD FOR MGE SWITCH
(NOT TO SCALE)

| | | | | | | | | | | | | | |
|---|----|--|-------------------|-------|----|------|----------|-------|---|----|--|-------------------|-----|
| PRELIMINARY NOT FOR CONSTRUCTION | | REVIEW DRAFT - FOR DISCUSSION | | | | | | | | | | | |
| | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 | | | | | | | | | | | |
| | | EXPIRATION DATE: 7/31/2026 | | | | | | | | | | | |
| | | TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">NO.</td> <td style="width: 15%;">BY</td> <td style="width: 15%;">DATE</td> <td style="width: 35%;">REVISION</td> <td style="width: 30%;">APPD.</td> </tr> <tr> <td>1</td> <td>NE</td> <td></td> <td>ISSUED FOR PERMIT</td> <td>ABG</td> </tr> </table> | | | | NO. | BY | DATE | REVISION | APPD. | 1 | NE | | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION | APPD. | | | | | | | | | |
| 1 | NE | | ISSUED FOR PERMIT | ABG | | | | | | | | | |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | | | | | | | | | | | |
| TITLE: EQUIPMENT FOUNDATION DETAILS | | | | | | | | | | | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.0ECR.0000 | | | | | | | | | | | |
| CHECKED BY: C. THOMAS | | C504 | | | | | | | | | | | |
| APPROVED BY: A. GRAHAM | | | | | | | | | | | | | |
| DATE: JUNE 2025 | | | | | | | | | | | | | |
| | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | | | | | | | | | | | |
| FILE NO: | | 599713 - EDFR-DSP SUNNYSIDE SOLAR -DT-PG.dwg | | | | | | | | | | | |

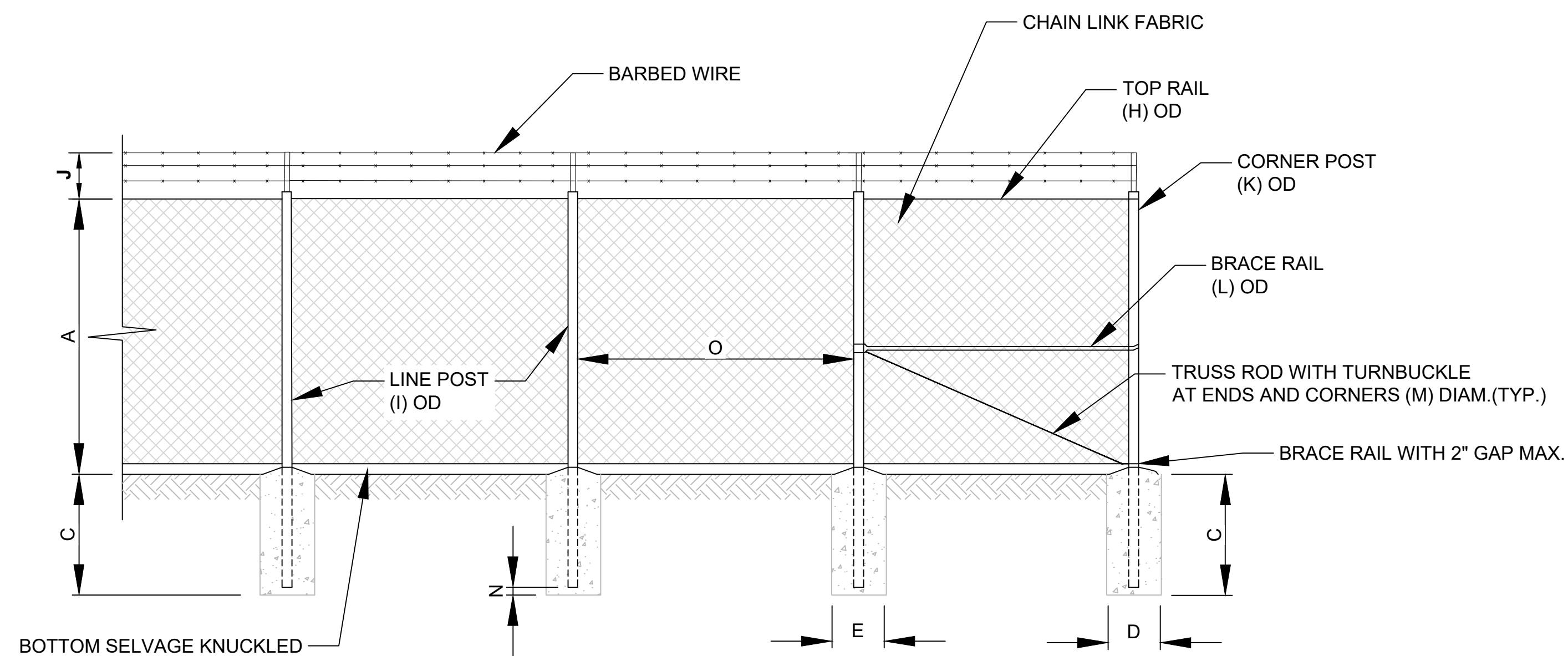
2/24 - USER: AEdwin - ATTACHED XREFS: -- ATTACHED IMAGES: DRAWING NAME: C:\Users\aedwin\OneDrive\Documents\599713 - EDR-DSP SUNNYSIDE SOLAR - DT-FN.dwg --- PLOT DATE: June 16, 2025 - 2:08PM --- LAYOUT: CHAINLINK FENCE DETAILS



1
C505A **CHAIN LINK FENCE GATE DETAIL**
NOT TO SCALE

NOTE:
1. REFER TO ELECTRICAL DRAWINGS BY OTHERS FOR BONDING AND GROUNDING REQUIREMENTS.

| FENCE DIMENSION | |
|-----------------|---|
| DIMENSIONS | VALUE |
| A | 7'-0" |
| B | 12'-0" |
| C | 4'-0" OR AS RECOMMENDED BY MANUFACTURER |
| D | 14" DIAM. |
| E | 10" DIAM. |
| F | 3-1/2" DIAM. |
| G | PER MANUFACTURER |
| H | 1-5/8" DIAM. |
| I | 2-3/8" DIAM |
| J | 1'-0" |
| K | 3-1/2" DIAM. |
| L | 1-5/8" DIAM. |
| M | 3/8" |
| N | 0'-6" |
| O | 10'-0" MAX. |

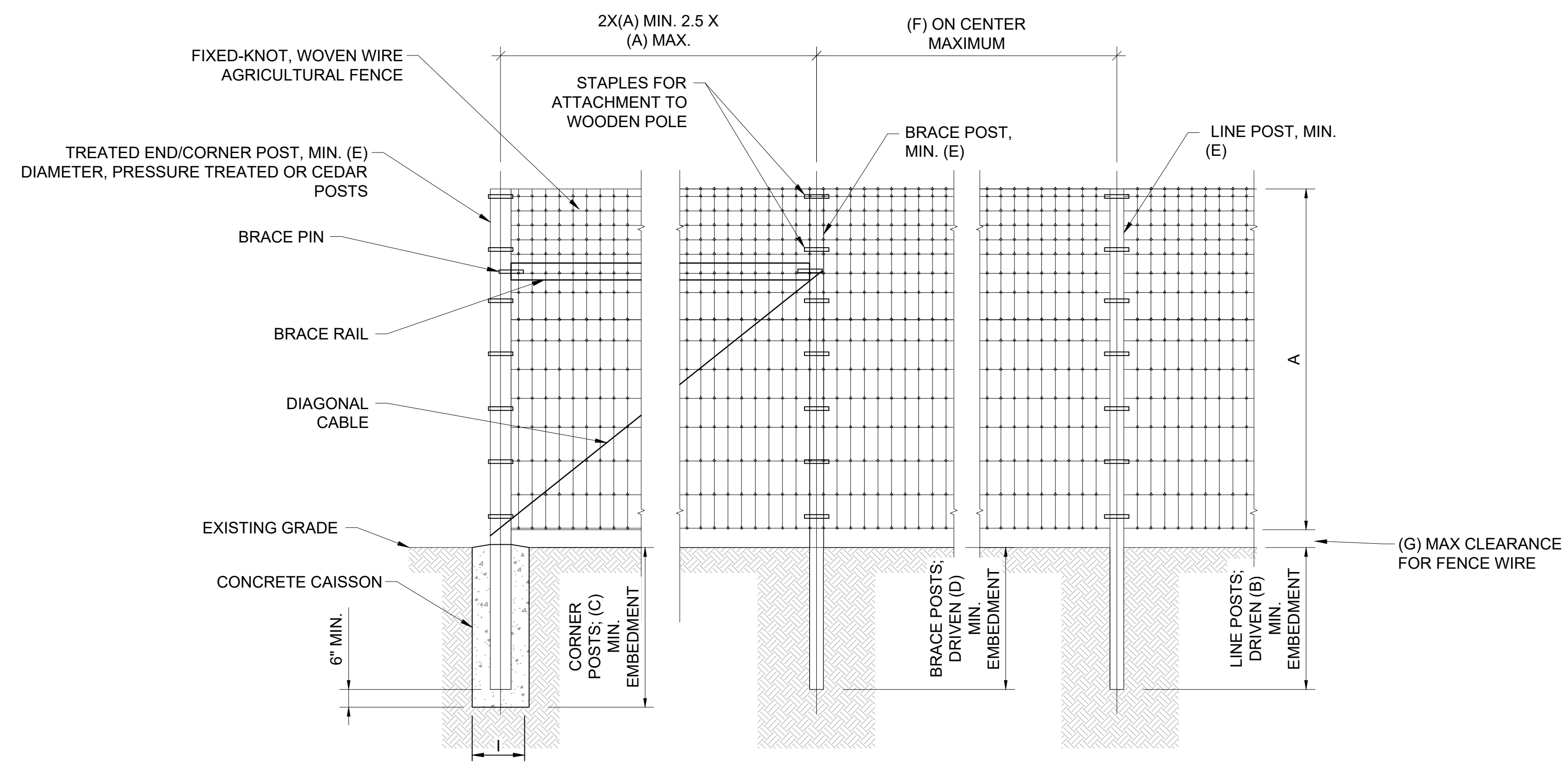


2
C505A **CHAIN LINK FENCE DETAIL**
NOT TO SCALE

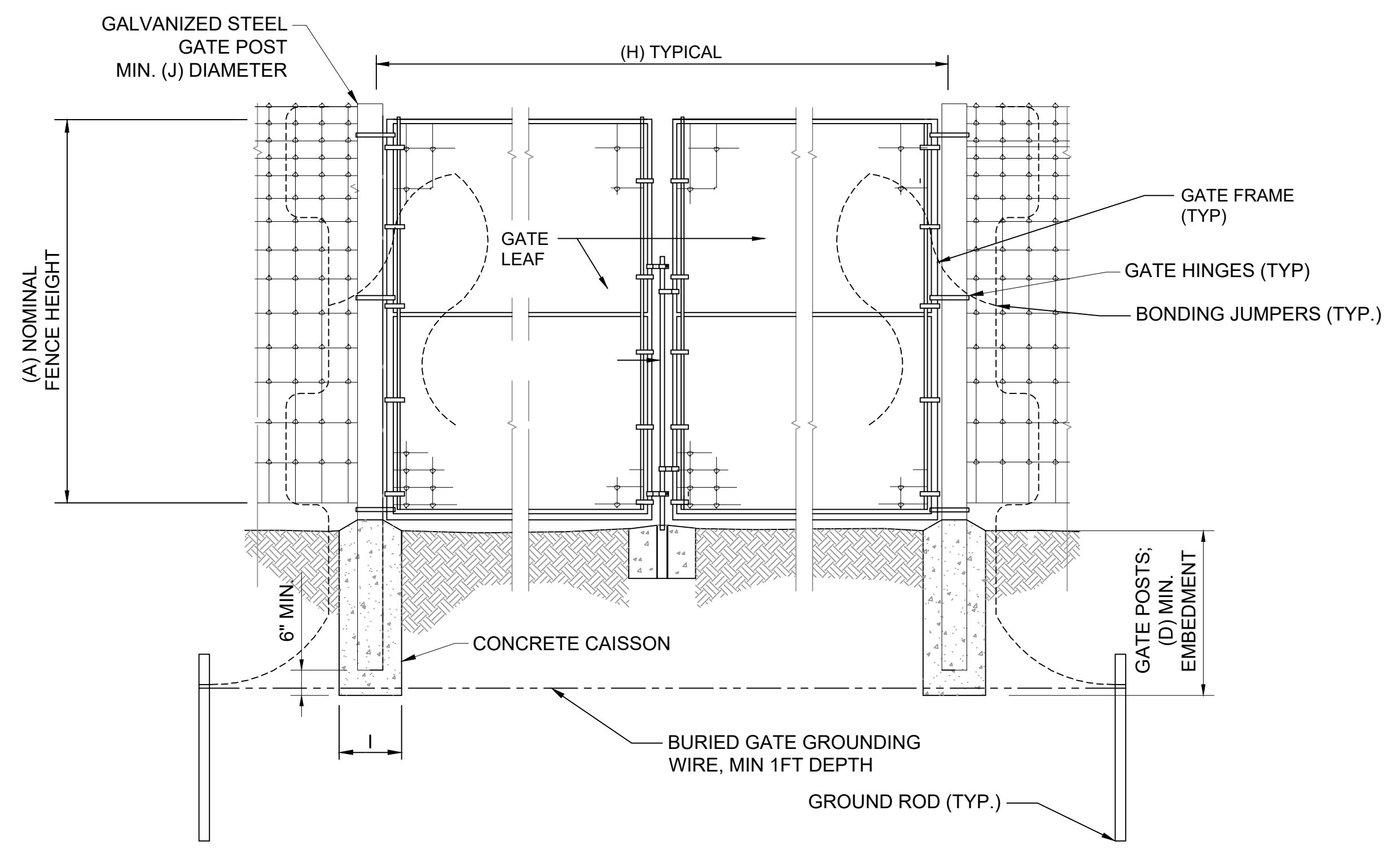
NOTE:
1. LINE POSTS CAN BE DRIVEN INSTEAD OF ENCASED IN CONCRETE FOOTINGS. IF DRIVEN, ADD 6 INCHES TO THE EMBEDMENT DEPTH (C) INDICATED.

| | | | | | | | | | | | | | |
|---|----|--|-------------------|-------|----|------|----------|-------|---|----|--|-------------------|-----|
| PRELIMINARY NOT FOR CONSTRUCTION | | REVIEW DRAFT - FOR DISCUSSION | | | | | | | | | | | |
| | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 EXPIRATION DATE: 7/31/2026 TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">NO.</td> <td style="width: 10%;">BY</td> <td style="width: 15%;">DATE</td> <td style="width: 40%;">REVISION</td> <td style="width: 30%;">APPD.</td> </tr> <tr> <td>1</td> <td>NE</td> <td></td> <td>ISSUED FOR PERMIT</td> <td>ABG</td> </tr> </table> | | | | NO. | BY | DATE | REVISION | APPD. | 1 | NE | | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION | APPD. | | | | | | | | | |
| 1 | NE | | ISSUED FOR PERMIT | ABG | | | | | | | | | |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | | | | | | | | | | | |
| TITLE: CHAINLINK FENCE DETAILS AND SPECIFICATIONS | | | | | | | | | | | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.0EGR.0000 | | | | | | | | | | | |
| CHECKED BY: C. THOMAS | | C505A | | | | | | | | | | | |
| APPROVED BY: A. GRAHAM | | | | | | | | | | | | | |
| DATE: JUNE 2025 | | | | | | | | | | | | | |
| | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | | | | | | | | | | | |
| FILE NO.: 599713 - EDR-DSP SUNNYSIDE SOLAR - DT-FN.dwg | | | | | | | | | | | | | |

2/20/24 - USER: AEdwin - ATTACHED XREFS: -- ATTACHED IMAGES: --
 DRAWING NAME: C:\Users\aedwin\OneDrive\Documents\599713 - EDRR-DSP SUNNYSIDE SOLAR - DT-FN.dwg --- PLOT DATE: June 16, 2025 - 2:08PM --- LAYOUT: WELDED WIRE FENCE DETAILS
 2/20/24



1
C505B
PV AREA FENCE DETAIL
 NOT TO SCALE



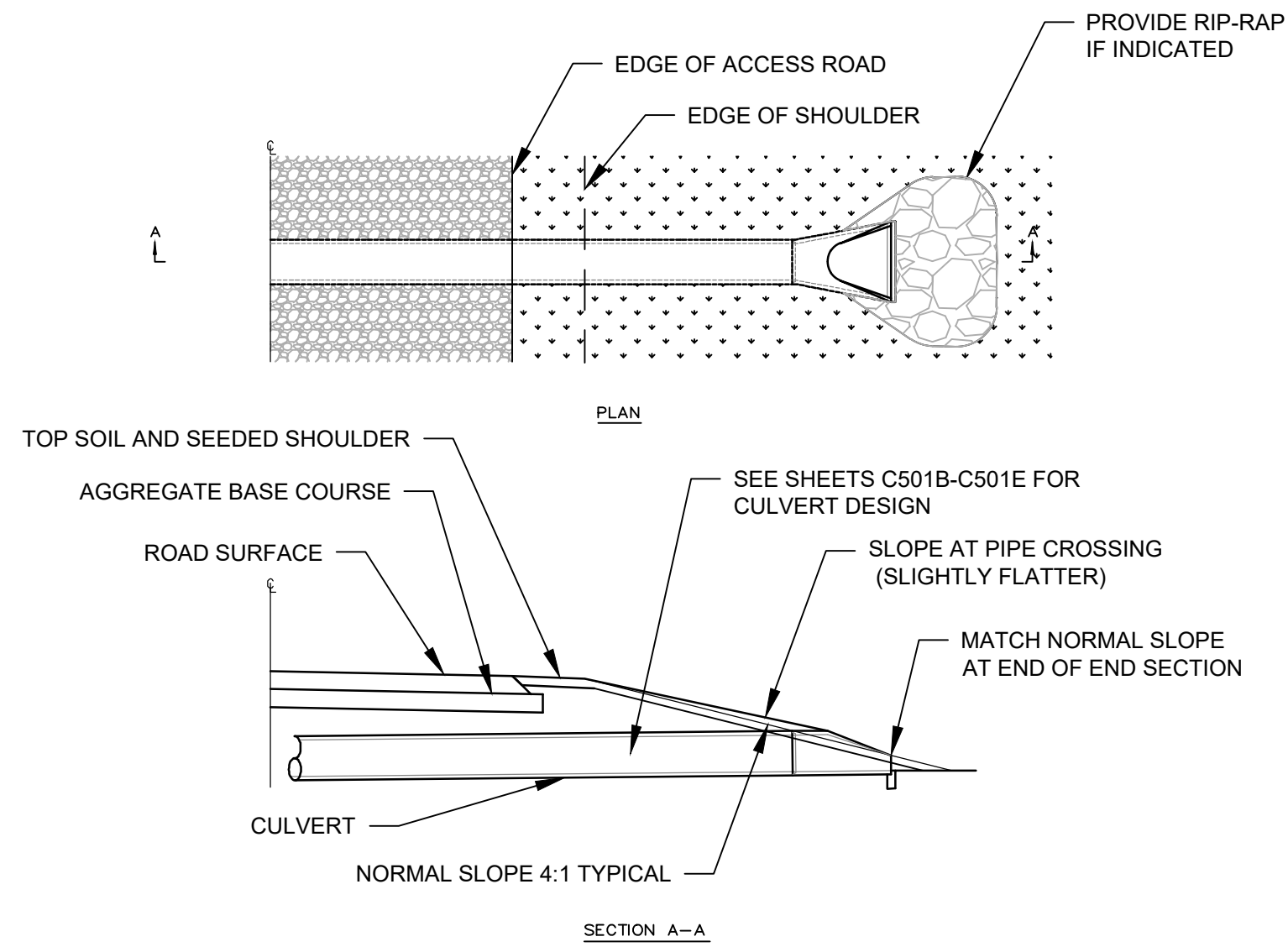
2
C505B
PV AREA GATE DETAIL
 NOT TO SCALE

NOTE:
 1. REFER TO ELECTRICAL DRAWINGS BY OTHERS FOR BONDING AND GROUNDING REQUIREMENTS.

| FENCE DIMENSION | |
|-----------------|--|
| DIMENSIONS | VALUE |
| A | 8'-0" |
| B | 4'-0" |
| C | 6'-0" OR AS RECOMMENDED BY MANUFACTURER. |
| D | 5'-6" OR AS RECOMMENDED BY MANUFACTURER. |
| E | 5" NOM. DIAM. MIN. |
| F | 15' MAX. |
| G | 2" |
| H | 20' |
| I | 15" DIAM. |
| J | 3-1/2" DIAM. |

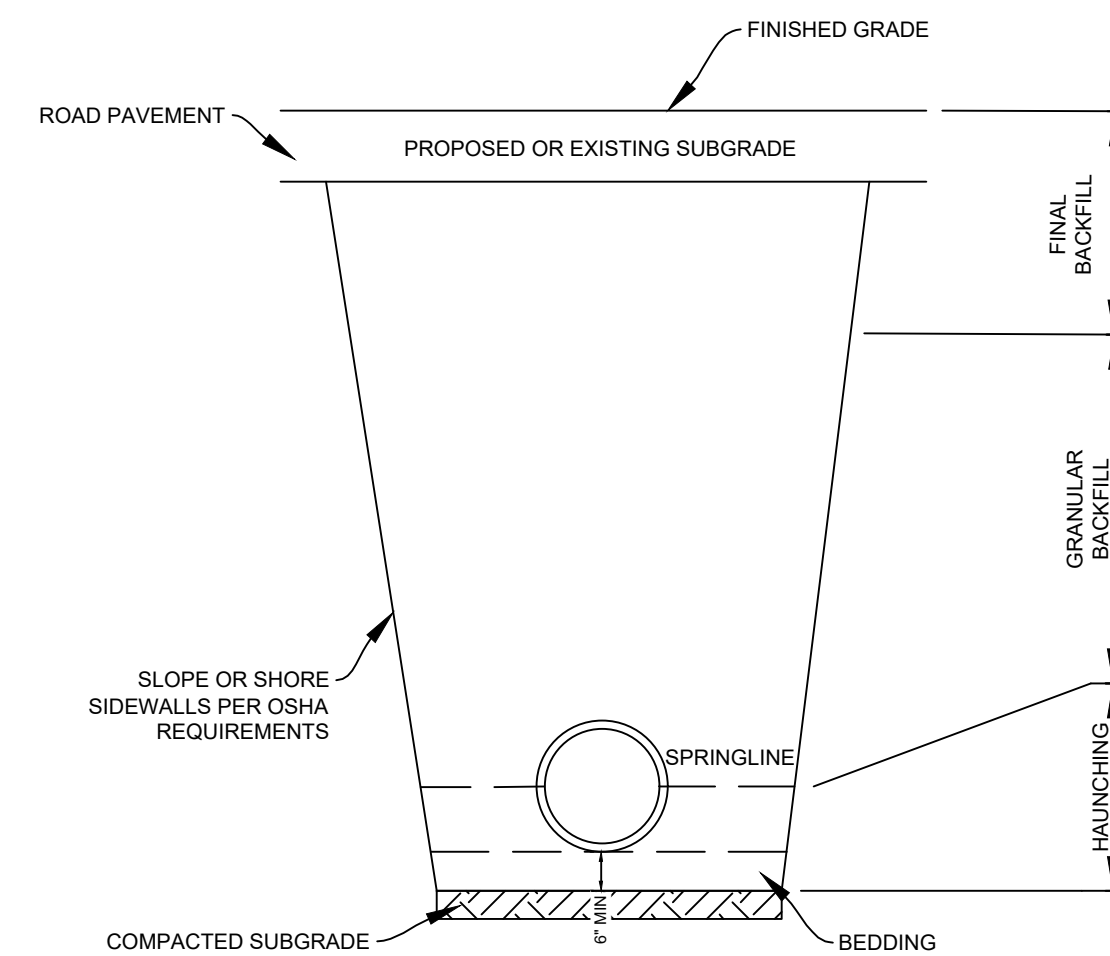
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|---|-----------|--|------------------|
| PRELIMINARY NOT FOR CONSTRUCTION | | REVIEW DRAFT - FOR DISCUSSION | |
| | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 EXPIRATION DATE: 7/31/2026 TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | |
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| PROJECT: | | SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | |
| TITLE: | | | |
| WELDED WIRE FENCE DETAILS AND SPECIFICATIONS | | | |
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.DECR.0000 |
| CHECKED BY: | C. THOMAS | C505B | |
| APPROVED BY: | A. GRAHAM | | |
| DATE: | JUNE 2025 | | |
| | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | |
| FILE NO.: | | 599713 - EDRR-DSP SUNNYSIDE SOLAR - DT-FN.dwg | |

2/24 - USER: AEdillon - ATTACHED XREFS: -- ATTACHED IMAGES: DRAWING NAME: C:\Users\AEdillon\OneDrive\Documents\599713 - EDPR-DSP SUNNYSIDE SOLAR - DT-PV.dwg --- PLOT DATE: June 16, 2025 - 2:08PM --- LAYOUT: Details 1




1
C506A

CULVERT SECTION (TYP.)
NOT TO SCALE

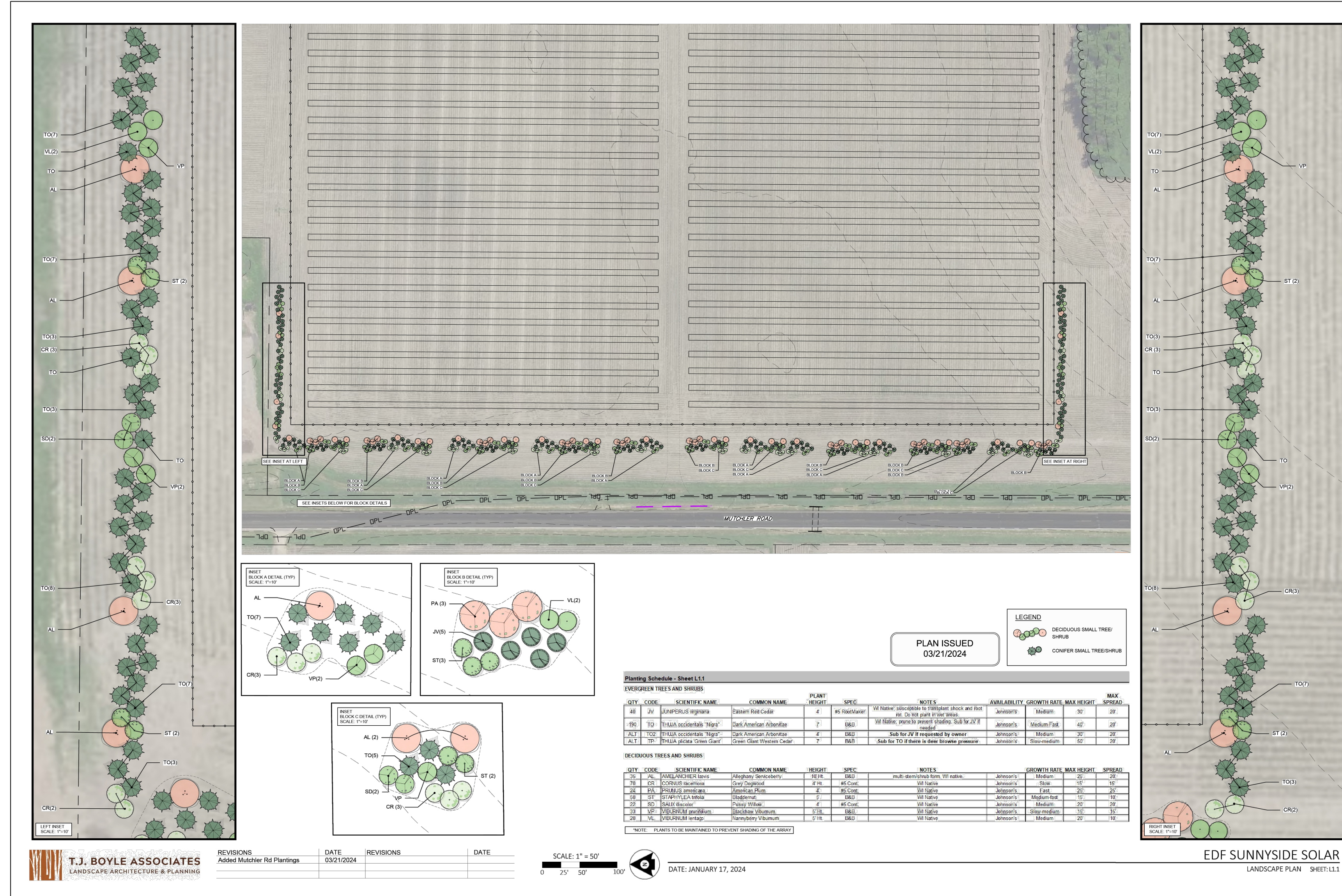


2
C506A

CULVERT FILL DETAIL (TYP.)
NOT TO SCALE

| | | | | |
|--|-----------|--|------------------|-------|
| SEAL: | | REVIEW DRAFT - FOR DISCUSSION | | |
| PRELIMINARY NOT FOR CONSTRUCTION | | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 | | |
| | | EXPIRATION DATE: 7/31/2026 | | |
| | | TRC ENVIRONMENTAL CORP CERTIFICATE OF AUTH. #3707-11 | | |
| 1 | NE | ISSUED FOR PERMIT | ABG | |
| NO. | BY | DATE | REVISION | APPD. |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | | |
| TITLE: CULVERT DETAILS | | | | |
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.0ECR.0000 | |
| CHECKED BY: | C. THOMAS | C506A | | |
| APPROVED BY: | A. GRAHAM | | | |
| DATE: | JUNE 2025 | | | |
|  | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | | |
| FILE NO.: | | 599713 - EDPR-DSP SUNNYSIDE SOLAR - DT-PV.dwg | | |

2/2/24 - USER: AEdwin - ATTACHED XREFS: - ATTACHED IMAGES: - DRAWING NAME: C:\Users\aedwin\OneDrive\Documents\599713 - EDPR-DSP SUNNYSIDE SOLAR - LANDSCAPING.dwg --- PLOT DATE: June 16, 2025 - 2:06PM --- LAYOUT: LANDSCAPING DETAILS B



NOTES

LANDSCAPING INFORMATION PROVIDED FOR REFERENCE ONLY. DERIVED FROM SUNNYSIDE ENERGY CENTER POST-CONSTRUCTION VEGETATIVE MANAGEMENT PLAN, DATED MARCH 2023. PROVIDED BY T.J. BOYLE ASSOCIATES.

SHOWN PLAN DETAIL SHEETS HAVE BEEN INSERTED AND SCALED TO 0.5 OF THE ORIGINAL DOCUMENT SIZE.

SEAL:

PRELIMINARY NOT FOR CONSTRUCTION

REVIEW DRAFT - FOR DISCUSSION

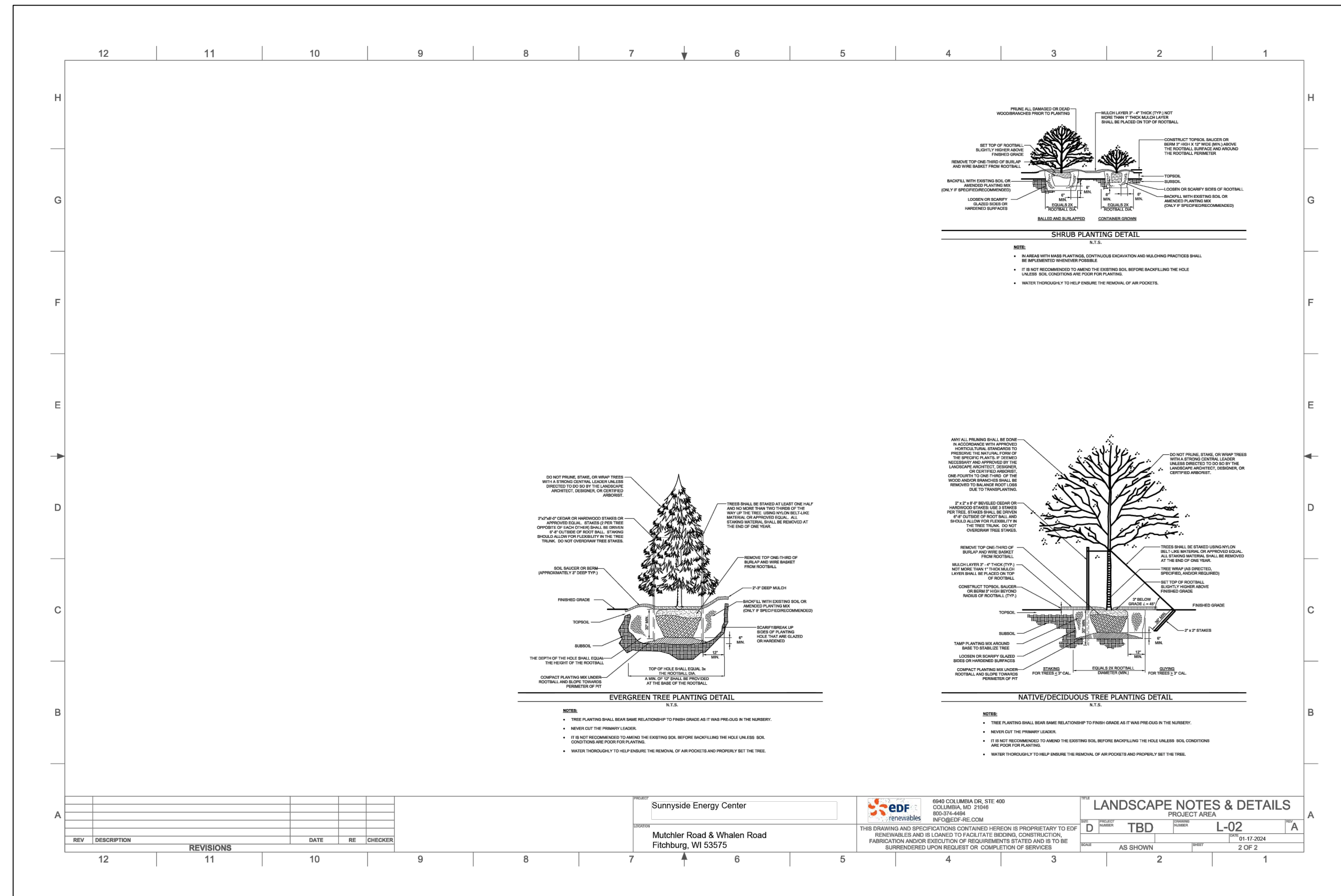
PROFESSIONAL ENGINEER:
ANDY GRAHAM
30086-6

EXPIRATION DATE:
7/31/2026

TRC ENVIRONMENTAL CORP
CERTIFICATE OF AUTH. #3707-11

| | | | |
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| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| PROJECT: SUNNYSIDE SOLAR PARTNERS, LLC SUNNYSIDE ENERGY CENTER SITE CIVIL DESIGN PLAN SET FITCHBURG, WI | | | |
| TITLE: LANDSCAPING PLAN | | | |
| DRAWN BY: N. EDWIN | | PROJ. NO.: 599713.DECR.0000 | |
| CHECKED BY: C. THOMAS | | C507B | |
| APPROVED BY: A. GRAHAM | | | |
| DATE: JUNE 2025 | | | |
| | | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 | |
| FILE NO.: 599713 - EDPR-DSP SUNNYSIDE SOLAR - LANDSCAPING.dwg | | | |

2/20/24 - USER: AEdwin - ATTACHED: REF: - ATTACHED IMAGES: - DRAWING NAME: C:\Users\AEdwin\OneDrive\Documents\599713 - EDPR-DSP SUNNYSIDE SOLAR - LANDSCAPING.dwg --- PLOT DATE: June 16, 2025 - 2:06PM --- LAYOUT: LANDSCAPING DETAILS



Appendix A - Seed Mix

Mid Diversity Solar Array Mesic Mix (referenced by WDNr stormwater guidance)

Under-panel planting will consist of the following minimums, sourced within a 150-mile radius of the site and native to the region:

- 5 grass species
- 2 legume species
- 15 forbs (5 spring blooming, 5 summer blooming, 5 fall blooming)
- 3 sedge species for a more general guideline.

Exact species to be selected based on supplier availability and to best fit the growing conditions of an area due to invasive species, compaction, construction, or disturbance.

| Common Name | Scientific Name | Max Height (inches) |
|-----------------------|------------------------------|---------------------|
| Grasses | | |
| side-oats grama | Bouteloua curtipendula | 18 |
| kalm's brome | Bromus kalmii | 20-36 |
| junegrass | Koeleria macrantha | 24 |
| little bluestem | Schizachyrium scoparium | 28 |
| prairie dropseed | Sporobolus heteropolis | 24 |
| sand dropseed | Sporobolus cryptandrus | 20 |
| dichanthelium | Dichanthelium leibergii | 20 |
| poverty oatgrass | Danthonia spicata | 15 |
| Sedges | | |
| Richardson's sedge | Carex richardsonii | 12 |
| short sedge | Carex brevior | 16 |
| Bicknell's sedge | Carex Bicknellii | 20-36 |
| Forbs | | |
| lead plant | Amorpha canescens | 36 |
| partridge pea | Chamaecrista fasciculata | 12 |
| white prairie clover | Dalea candida | 24 |
| purple prairie clover | Dalea purpurea | 24 |
| false boneset | Brickellia eupatorioides | 20-36 |
| hoary vervain | Verbena stricta | 20 |
| yellow | Achillea millefolium | 18 |
| wild garlic | Allium canadense | 16 |
| prairie phlox | Phlox pilosa | 12 |
| blue-eyed grass | Sisyrinchium campestre | 8 |
| yellow-star grass | Hypoxis hirsuta | 6 |
| prairie coreopsis | Coreopsis palmata | 24-36 |
| whorled milkweed | Asclepias verticillata | 18 |
| butterfly milkweed | Asclepias tuberosa | 24 |
| prairie smoke | Geum triflorum | 15 |
| rough blazingstar | Liatris aspera | 36 |
| black-eyed susan | Rudbeckia hirta | 36 |
| gray goldenrod | Solidago nemoralis | 20-30 |
| showy goldenrod | Solidago speciosa | 36 |
| spiderwort | Tradescantia ohioensis | 36 |
| sky blue aster | Symphotrichum oolentangiense | 30 |
| smooth blue aster | Symphotrichum laeve | 30 |
| heath aster | Symphotrichum ericoides | 24 |
| golden alexanders | Zizia aurea | 36 |
| heart-leaved golden | Zizia aptera | 36 |
| wood betony | Pedicularis canadensis | 12 |
| bastard toadflax | Comandra umbellata | 8 |
| northern bedstraw | Gallium boreale | 16 |
| pussytoes | Antennaria neglecta | 10 |
| lupine | Lupinus perennis | 20 |
| field milkwort | Polygala sanguinea | 8 |
| stiff aster | Ionactis linariifolia | 10 |
| needlegrass | Stipa spartea | 36 |
| cream baptisia | Baptisia bracteata | 30 |
| shooting star | Primula meadia | 20 |
| carolina poussoon | Lithospermum carolinense | 16 |
| pinweed | Lechea stricta | 12 |
| dotted horsemint | Monarda punctata | 15 |

NOTES

LANDSCAPING INFORMATION PROVIDED FOR REFERENCE ONLY. DERIVED FROM SUNNYSIDE ENERGY CENTER POST-CONSTRUCTION VEGETATIVE MANAGEMENT PLAN, DATED MARCH 2023. PROVIDED BY T.J. BOYLE ASSOCIATES.

| | |
|---|---|
| PRELIMINARY NOT FOR CONSTRUCTION | REVIEW DRAFT - FOR DISCUSSION |
| | PROFESSIONAL ENGINEER: ANDY GRAHAM 30086-6 EXPIRATION DATE: 7/31/2026 TRC ENVIRONMENTAL CORP. CERTIFICATE OF AUTH. #3707-11 |

| | | | |
|-----|----|-------------------|----------|
| 1 | NE | ISSUED FOR PERMIT | ABG |
| NO. | BY | DATE | REVISION |
| | | | APPD. |

PROJECT: **SUNNYSIDE SOLAR PARTNERS, LLC
SUNNYSIDE ENERGY CENTER
SITE CIVIL DESIGN PLAN SET
FITCHBURG, WI**

TITLE: **LANDSCAPING DETAILS**

| | | | |
|--------------|-----------|------------|------------------|
| DRAWN BY: | N. EDWIN | PROJ. NO.: | 599713.02CR.0000 |
| CHECKED BY: | C. THOMAS | | |
| APPROVED BY: | A. GRAHAM | | C507C |
| DATE: | JUNE 2025 | | |

| | |
|--|--|
| | 999 Fourier Drive Suite 101 Madison, WI 53717 Phone: 608.828.3600 |
| | FILE NO.: 599713 - EDPR-DSP SUNNYSIDE SOLAR - LANDSCAPING.dwg |



Conditional Use - Owner or Authorized Agent Acknowledgement

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting a CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

By signing below, I certify that the information included with this Conditional Use application is true and correct, to the best of my knowledge. Any agent signing below verifies that he/she has the consent of the owner to file the application.

Torry J van Slyke

Owner's or Authorized Agent's Signature

07/18/2025

Date (DD/MM/YYYY)



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg WI 53711
Phone (608) 270-4200

ADR-25-22

Architectural Design Review Conditions of Approval

- 1. Project Name:** Sunnyside Solar
- 2. Project Address:** Mutchler Rd and Whalen Rd
- 3. Decision Date:** July 3, 2025
- 4. New or Addition:** New Construction
- 5. Project Type:** Other
- 6. Legal Description:** Outlot 2 of CSM 15327; metes & bounds

Zoning Conditions

1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
2. Driveway aprons must conform to Fitchburg Standard Specifications SDD 5.03, with 4-inch asphalt surface within the Right of Way.
3. Existing mature and healthy vegetation, treelines, and hedgerows not in areas of construction shall be maintained until decommissioning to the greatest extent possible.
4. A minimum buffer of 175-feet from all wetlands shall be maintained.
5. This approval recognizes and expects conformance to the Sunnyside Energy Center, Post-Construction Vegetation Management Plan dated July 2025. Modifications of this plan shall be reviewed and approved by the City of Fitchburg Zoning Administrator.
6. The conditions of Conditional Use Permit CU-2533-24 granted on February 20, 2024, remain in effect.
7. All standards of the A-X (Exclusive Agriculture) zone shall be abided so long as the property and use remain within said zone.
8. The primary access to the site for passenger and maintenance vehicles shall be the Mutchler entrance. Heavy truck traffic during construction shall take access to the site from Whalen between the hours of 9 am and 3 pm.
9. An Erosion Control & Stormwater Management Permit (ECSWM) is required.
10. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) may be required by the City Engineer.
11. The project shall be decommissioned, and the site restored within 12 months after the facility ceases electricity generation for a continuous 12-month period. Decommissioning shall include the removal of solar arrays, cables, electrical components, and any other associated items. The site, above and below ground, shall be substantially restored to the same condition as it existed prior to construction.
12. Management of pollinator vegetation inside the fence and maintenance of the screening landscape materials is the responsibility of the owner and operator of the solar project until the project is properly decommissioned and transitioned to a new use.
13. Future owners / operators of the solar project shall operate in accordance with this approved Architectural Design Review.
14. Applicant's responsibility to comply with all Fire Department requirements.
15. Applicant's responsibility to comply with all Public Works requirements.



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg WI 53711
Phone (608) 270-4200

CDUS-24-1

Conditional Use Conditions of Approval

1. **Project Name:** Sunnyside Solar CU
2. **Type of Action Requested:** Conditional Use Permit
3. **Permit Request No.:** CU-2533-24
4. **Location:** 42.9858, -89.4434
5. **Decision Date:** February 20, 2024
6. **Proposed Use of Property:**
Solar farm
7. **Future Land Use Plan Classification:** AG&OS
8. **Zoning District:** A-X
9. **Legal Description:** Outlot 2 of CSM 15327 & other lands by metes and bounds

Zoning Conditions

1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
2. A minimum buffer of 175-feet from all wetlands shall be maintained with no disturbance.
3. Existing mature vegetation, treelines, and hedgerows not in areas of construction shall be protected and maintained until decommissioning to the greatest extent possible.
4. The development shall not substantially impair or limit the current or future agricultural use of surrounding parcels of land zoned for agricultural use.
5. The development shall limit impacts to the soil quality and existing grades to the extent possible.
6. The project shall be decommissioned, and the site restored within 12 months after the facility ceases electricity generation for a continuous 12-month period. Decommissioning shall include the removal of solar arrays, cables, electrical components, and any other associated items. The site, above and below ground, shall be substantially restored to the same condition as it existed prior to construction.
7. Applicant shall provide to the City Planner an estimated cost for decommissioning and restoration of the site.
8. Management of grazing/pollinator vegetation inside the fence and maintenance of the screening landscape materials, per the attached Vegetation Installation and Management Plan, are required under this conditional use permit and the responsibility of the owner and operator of the solar project.
9. Sound levels from battery storage operations shall not exceed 65 dB at any property line.
10. The City Planner shall be notified of any transfer of ownership of the lease and provided with a local contact/representative of the solar project operator.
11. Applicant's responsibility to comply with all Fire Department requirements.
12. Applicant's responsibility to comply with all Public Works requirements.
13. MGE, EDF Renewables and City Staff shall meet within the next month to discuss correcting the landscaping and maintenance deficiencies on the O'Brien Solar Farm and assure that the landscaping and maintenance of all solar farms owned by MGE are adequate going forward.



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg WI 53711
Phone (608) 270-4200

ADR-24-2

Architectural Design Review Conditions of Approval

- 1. Project Name:** ADR - Sunnyside Solar Farm
- 2. Project Address:** Whalen Road
- 3. Decision Date:** February 20, 2024
- 4. New or Addition:** New Construction
- 5. Project Type:** Other
- 6. Legal Description:** Outlot 2 of CSM 15327; Metes & bounds

Zoning Conditions

1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
2. All outstanding fees and assessments shall be paid prior to issuance of building permits.
3. All standards of the A-X (Exclusive Agriculture) zone shall be abided so long as the property and use remain within said zone.
4. The primary access to the site for passenger and maintenance vehicles shall be the Mutchler entrance. Heavy truck traffic during construction shall take access to the site from Whalen between the hours of 9 am and 3 pm.
5. An Erosion Control & Storm Water Management permit (ECSWM) is required prior to obtaining building permits.
6. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) may be required by the City Engineer for management of native vegetation.
7. New driveways shall require permits from the City of Fitchburg.
8. A minimum buffer of 175-feet from all wetlands shall be maintained with no disturbance.
9. Existing mature vegetation, treelines, and hedgerows not in areas of construction shall be protected and maintained until decommissioning to the greatest extent possible.
10. The project shall be decommissioned, and the site restored within 12 months after the facility ceases electricity generation for a continuous 12-month period. Decommissioning shall include the removal of solar arrays, cables, electrical components, and any other associated items. The site, above and below ground, shall be substantially restored to the same condition as it existed prior to construction.
11. Applicant shall provide a long-term landscape management plan including items such as mowing, removal of weed species, and replacement of dead plant materials for the City Planner's review.
12. Management of pollinator vegetation inside the fence and maintenance of the screening landscape materials is the responsibility of the owner and operator of the solar project until the project is properly decommissioned and transitioned to a new use.
13. The applicant shall submit a revised landscape plan to include landscape screening along Mutchler Road extending 200-feet east for review by the City Planner.
14. Applicant shall provide a grading plan for review by the City Planner. Grading and earth moving on site shall be limited to the greatest extent possible. No topsoil or other materials shall be removed from the property or installed on the property from off-site except those necessary for access roads and equipment pads. All topsoil removed for grading shall be properly replaced to the graded area. Grading shall not extend beyond the proposed fence shown on the approved plans. Grading shall match existing grades at the fence.
15. Disturbed soils shall be temporarily seeded as necessary to hold the soil.
16. Future owners / operators of the solar project shall operate in accordance with this approved Architectural Design Review.
17. Add a note on the plans: a) A right of way permit is required for all work within the right of way (driveways, excavation, and occupancy); b) All work within the right of way shall conform with the latest edition of the City of Fitchburg Standard Specifications for Public Works Construction.

18. Applicant's responsibility to comply with all Fire Department requirements.
19. Applicant's responsibility to comply with all Public Works requirements.