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**Planned Development District
General Implementation Plan and
Specific Implementation Plan Zoning
Lot 116 Targhee Addition to Oak Meadow**

**KRISTI CHLEBOWSKI
DANE COUNTY
REGISTER OF DEEDS**

**DOCUMENT #
4765429**

05/20/2011 11:58 AM

Trans. Fee:

Exempt #:

Rec. Fee: 30.00

Pages: 4

Return to: Fitchburg City Clerk
5520 Lacy Road
Fitchburg, WI 53711

Parcel No's. See Page 4

Legal Description: Lot 116 Targhee Addition to Oak

Plan Commission
Initiated By

Planning Department
Drafted By

4/7/2011
Date

**ORDINANCE NO. 2011-O-12
ZONING ORDINANCE AMENDMENT
AMENDING PLANNED DEVELOPMENT DISTRICT SPECIFIC IMPLEMENTATION PLAN
ZONING FOR LOT 116 TARGHEE ADDITION TO OAK MEADOW**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

WHEREAS, Capitol Heights Development Corp. has submitted an application (RZ-1894-11) to amend Planned Development District Specific Implementation Plan zoning for lot 116 Targhee Addition to Oak Meadow (also known as Capitol Heights Homes Condominiums), and

WHEREAS, the initial Planned Development Zoning was granted by Ordinance 2009-O-08. The Planned Development District Specific Implementation Plan amended by Ordinance 2010-O-01. In addition, the Plan Commission has approved Minor Modifications to the project on 9/1/2009, and 2/15/2011.

WHEREAS, the Plan Commission considered the request to amend Planned Development District Specific Implementation Plan (PDD-SIP) zoning on 4/19/2011, and has reviewed the application according to the standards outlined in the Ordinance, and has determined that the request, in conjunction with the proposed conditions, meets said criteria, and the Plan Commission has recommended approval, with conditions.

NOW THEREFORE the Common Council of the City of Fitchburg, Dane County, Wisconsin does ordain that:

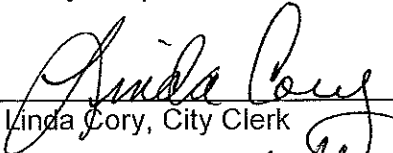
(A) PDD-SIP zoning is hereby approved for lot 116 Targhee Addition to Oak Meadow (also known as Capitol Heights Homes Condominiums) subject to the following:

1. No other permit or approval is waived or deemed satisfied except for the approval herein provided. Approval is based on plans and representations made in a document titled "Capitol Heights Homes Condominium Lot 116 PDD-SIP Amendment dated April 12, 2011, which is approved as an exhibit to this ordinance.
2. Applicant shall provide evidence suitable to the City Attorney of authorization to sign the document for this zoning amendment to be in effect.
3. The more recent approval shall apply in case of conflict with prior PDD approvals.

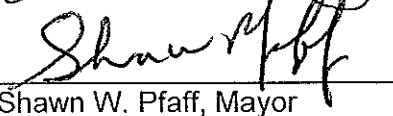
This ordinance shall take effect following its publication, or the consent of the property owner, whichever occurs last. However, in accord with section 22.92 of the zoning code, owners shall consent within 30 days of approval for this PDD-SIP zoning amendment to take effect.

Applicant shall pay cost of publication to avoid a two Council meeting approval process.

The above and foregoing ordinance was duly adopted by the Common Council of the City of Fitchburg, at a regular meeting held on the 26th day of April, 2011.



 Linda Cory, City Clerk

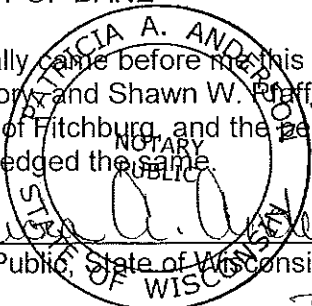
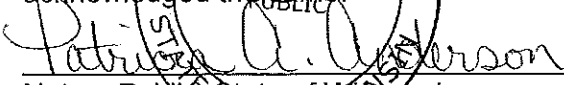


 Shawn W. Pfaff, Mayor

Approved: 5-3-2011

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 3rd day of May, 2011, the above named Linda Cory and Shawn W. Pfaff to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

 Notary Public, State of Wisconsin

Printed Name of Notary Public Patricia A. Anderson

My Commission Expires: 12-4-11

Consent of the Property Owner

William H. Schiel

Date: 5/11/11

Wm H. Schiel

Personally came before me this 11 day of May, 2011, the

above named William H. Schiel to me known to be owner, of

Lot 116 Teague Addition to Madison and the person who executed the foregoing instrument and acknowledged the same.

Ellen A. Thom
Notary Public, State of Wisconsin

Printed Name of Notary Public ELLEN R. THOM

My Commission Expires: 10/30/2011

Consent of Mortgage Holder:

Capitol Bank By Derek E. Mackay, Senior Vice President
Mortgage Holder Date: 5/11/11

Personally came before me this 11 day of May, 2011, the above named

Derek E. Mackay to me known to be the Senior Vice President

of Capitol Bank and the person who executed the foregoing instrument and acknowledged the same.

Ellen A. Thom
Notary Public, State of Wisconsin

Printed Name of Notary Public ELLEN R. THOM

My Commission Expires: 10/30/2011

Parcel Numbers:

060916153192
060916153212
060916153232
060916166142
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060916153132
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060916166122
060916166382
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060916153092
060916153112
060916166442
060916166462



City of Fitchburg
 Planning/zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the PDD district to the PDD district the following described property:

1. **Location of Property / Street Address:** Targhee Street

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Lot 116, Targhee Addition to Oak Meadow

***Also submit in electronic format (MS WORD or plain text) by email to: planning@city.fitchburg.wi.us

2. **Proposed Use of Property - Explanation of Request:**

Single Family Detached Condominiums

3. **Proposed Development Schedule:** Phased 2009-2015 (approximately)

***Attach nine (9) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Six (6) of the nine (9) copies shall be no larger than 11" x 17". Also required to submit is your application and all supplemental files as one (1) electronic pdf copy to planning@city.fitchburg.wi.us. Additional information may be requested.

Type of Residential Development (If Applicable): Single Family Condominiums

Total Dwelling Units Proposed: 35 **No. Of Parking Stalls:** 2

Type of Non-residential Development (If Applicable): N/A

Proposed Hours of Operation: _____ **No. Of Employees:** _____

Floor Area: _____ **No. Of Parking Stalls:** _____

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Capitol Heights Development Corporation

Address: 3 Point Place, Suite 100, Madison, WI 53719 **Phone No:** (608) 345-2022

Contact Person: William Schiel

Email: bschiel@charter.net

Address: same **Phone No:** same

Respectfully Submitted By: *William A. Schiel* William Schiel
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 3/22/11 **Publish:** _____ and _____
Ordinance Section No. _____ **Fee Paid:** \$735.00
Permit Request No. RZ-1894-11

Capitol Heights Homes Condominium Lot 116

SL-07-05

www.JSDinc.com



Planning & Development
Site/Civil Engineering
Transportation Engineering
Water Resources
Landscape Architecture
Surveying & Mapping
Construction Management

PDD/SIP Amendment

April 12, 2011

Prepared for:
**Capitol Heights
Development Corp.**
Madison, WI

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

*Building relationships with a commitment to client
satisfaction through trust, quality and experience.*

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| <u>Exhibits</u> | | |
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| Exhibit #2 - Overall Grading and Erosion Control Plan – Dated <u>04/08/11</u> (By JSD Professional Services) | | Deleted: 25 Deleted: 09 |
| Exhibit #3 - Detailed Grading Plan – Dated <u>04/12/11</u> (by JSD Professional Services) | | Deleted: 3 |
| Exhibit #4 - Water Service Plan – Dated <u>04/12/11</u> (by JSD Professional Services) | | Deleted: 25 |
| Exhibit #5 - Sanitary Sewer Plan – Dated <u>04/12/11</u> (by JSD Professional Services) | | Deleted: 09 |
| Exhibit #6 - Storm Sewer Plan – Dated <u>04/12/11</u> (by JSD Professional Services) | | Deleted: 3 |
| Exhibit #7 – <u>Impervious Areas</u> - Dated <u>04/12/11</u> (by JSD Professional Services) | | Deleted: 25 |
| Exhibit #8 - Examples of Building Styles (by Ferch Architects) | | Deleted: 09 |
| Exhibit #9 – Landscape Plan – Site - (by McKay Nursery) | | Deleted: 3 |
| Exhibit #10 – Landscape Plan – Foundation – (by McKay Nursery) | | Deleted: 25 |
| Exhibit #11 – Park Cross Section Plan – Dated 03/25/09 (by JSD Professional Services) | | Deleted: 09 |
| <u>Exhibit #12 – Lengths between Units and Curb</u> | | Deleted: Site Plan with only Building Envelopes |
| <u>Exhibit #13 – Outdoor Living Space Example</u> | | Deleted: 3 |
| <u>Exhibit #14 – Structural Bump-outs Example</u> | | Deleted: 25 |
| <u>Appendix A</u> | | |
| Storm Water Management Information | | Deleted: 09 |
| SL-07-05 <u>Capitol Heights</u> | | Deleted: 1 |
| PDD Amendment | | Deleted: Oak Glen |
| GIP/SIP | | Deleted: Revised March 25, 2009 |
| <u>March 22, 2011</u> | | |

Appendix B

Tree Protection Specifications

| SL-07-05 [Capitol Heights](#)
PDD Amendment
GIP/SIP
| [March 22, 2011](#)

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Overview and Summary

Capitol Heights Development Corporation (CHDC) is requesting approval of a revised PDD/SIP for the condominium development of Lot 116 of the Targhee Addition to Oak Meadow. This 4.387 acre site is now being proposed for the development of 35 single family detached condominium units instead of the 50 unit duplex condominium project that was previously approved.

The Developer has owned the site since 2005. The original PDD – GIP/SIP zoning for this site was approved in March 2006 and provided site development standards and street and utility improvement plans for the construction of a 50 unit duplex condominium development. The 50 unit duplex project had an overall density of 11.4 dwelling units per acre (DUA). The site was partially improved in 2007-2008 with the installation of a private street and water, sewer and storm sewer. The residential market conditions, both locally and nationally, changed dramatically in 2008 and the development of the site was halted prior to the construction of any residential units.

The current proposal for Capitol Heights Homes Condominium includes 35 single-family detached condominium units – an overall density of 8.0 DUA. This project is similar in concept to the Harlan Hills Condominiums located on Dawley Drive. Individuals will purchase a building site unit, and will custom build their home in compliance with specific architectural standards. The condo association will have ownership and maintenance responsibilities for the lands and amenities that are located outside of the individual building sites.

The CHDC consulted extensively with City Staff and Plan Commission to formulate this revision. This plan efficiently utilizes the existing infrastructure and creates a neighborhood that would be compatible with the adjoining parkland and existing residential character of the Oak Meadow neighborhood. Key features of the revised PDD include:

- Utilization of the existing private street, water mains, and sanitary sewer mains,
- Reduction in the number of shared driveways connecting to Targhee Street from 9 to 4.
- Creation of additional rain garden infiltration areas,
- Additional developer donated off-site landscaping, subject to approval of the Parks Department, to enhance the aesthetics of the Oak Meadow Bike Path and provide more screening of the Capitol Heights site from the south.

Capitol Heights is a unique and residential development that will benefit the surrounding Oak Meadow neighborhood and the greater Fitchburg community. The entire project works in conjunction with the concept of a pedestrian oriented single-family neighborhood while preserving and enhancing the natural parkland adjacent to the site. The proposed plan preserves the desired population density for the site, enhances the residential character of the neighborhood, reduces the impervious surface ratio, contributes to the City's tax base, and improves the Oak Meadow Neighborhood Park. Following are some of the positive attributes of the proposed condominium.

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- The design is residential in character and will compliment the adjoining single family neighborhood.
- The population density will be similar and slightly higher (77 residents) than the previously approved GIP/SIP (75 residents).
- Condominium, fee simple home ownership will satisfy expectation of Fitchburg residents and stabilize the neighborhood as an area of home owners.
- The project will have an estimated assessed value of \$13,000,000 contributing significantly to the City's tax base while exerting a limited demand on City services.
- There will be less demand on the City's storm water management system.
- The architectural styles of the units will be compatible and reflective of the eclectic character of the Oak Meadow neighborhood.
- The adjoining Oak Meadow bike path corridor parkland will be enhanced with additional landscaping that compliments it's oak savannah ecology.

The proposed Capitol Heights development is the result of conscientious planning to respect and complement the environment, efficiently utilize existing infrastructure, and enhance the surrounding neighborhood. Creative and pragmatic planning and landscape design are reflected in the revised site layout. High quality and appropriate building design criteria have been incorporated into the architectural standards for these homes. Capitol Heights will be an asset to the city and its quality of life for years to come.

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The Capitol Heights development team includes:

- David Ferch, Architect – preparation of the site plan and architectural styles
- McKay Nursery – preparation of the landscape plan, and
- JSD Professional Services – preparation of site grading plans and utility plans.

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Construction of site grading and utility construction began in the spring of 2009 after approval of the previous revised PDD-GIP/SIP. Construction will be phased. Currently, infrastructure is in place to serve Units 1-19. When this phase is nearing build-out, additional site grading, private street and utility construction will occur to serve the remainder of the units. .Unit sales for Units 1-19 and house construction began in 2011.

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



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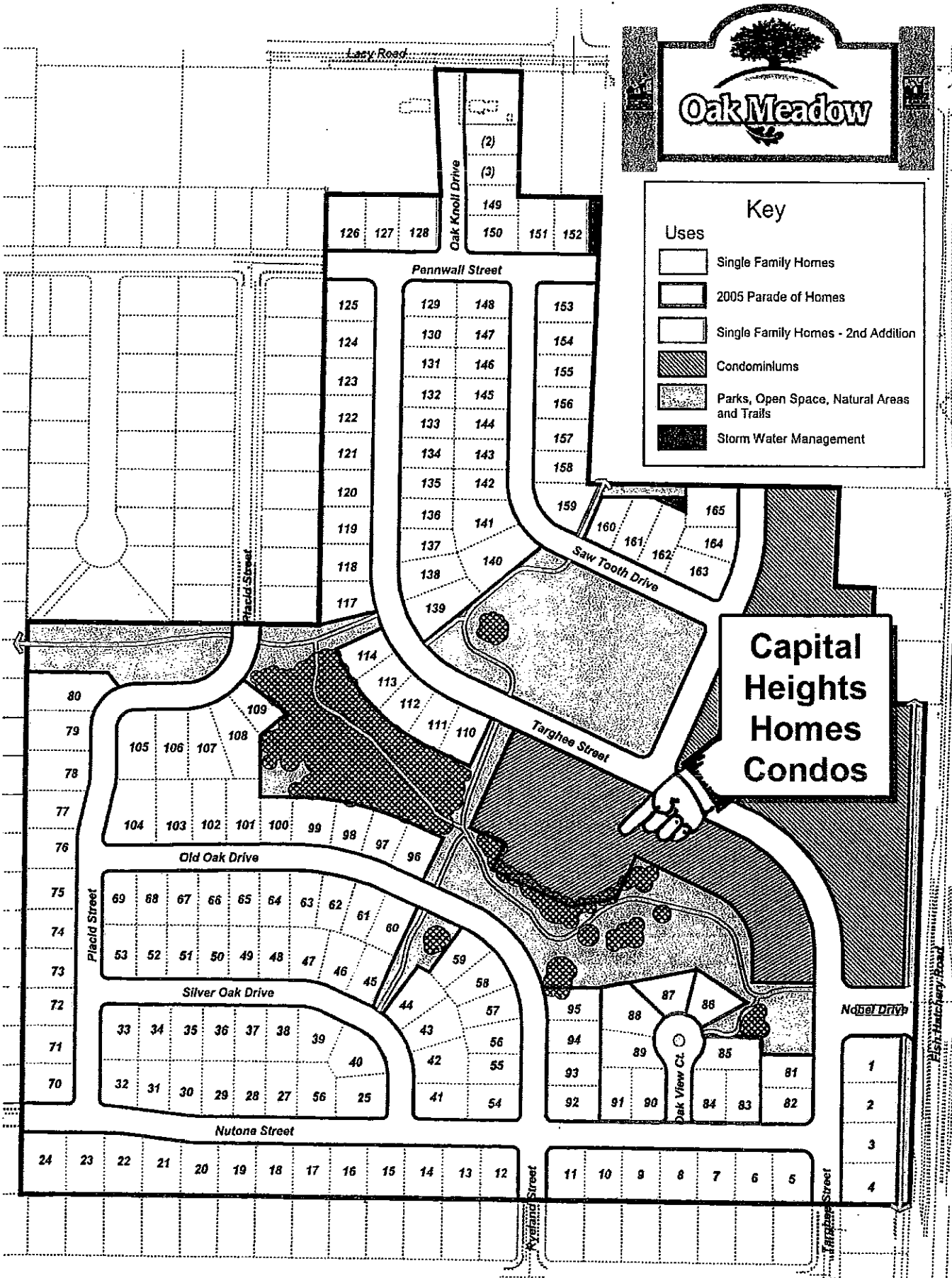
Oak Meadow

Key

Uses

-  Single Family Homes
-  2005 Parade of Homes
-  Single Family Homes - 2nd Addition
-  Condominiums
-  Parks, Open Space, Natural Areas and Trails
-  Storm Water Management

Capital Heights Homes Condos



Rationale for PDD Zoning

The Planned Development District (PDD) provides a regulatory framework tailored to a specific location and that recognizes the exigencies of unique site characteristics and development requirements. The regulatory flexibility available through the formulation and application of a PDD encourages improved environmental design along with maintaining compliance with the basic intent of the City's Zoning Ordinance.

Capitol Heights Homes Condominium is located on Lot 116, a 4.387 acre parcel uniquely situated in the Oak Meadow neighborhood. It roughly follows along the northerly aspect of the hillside that traverses the subdivision and has a dramatic 32 foot topographic relief. The parcel is also oddly configured with approximately 1000 feet of frontage on Targhee Street but having only a 145+ foot depth along 640+ feet of this frontage. See Exhibits #2 and #3 for Grading and Erosion Control Plans.

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PDD zoning is necessary to enable the site to develop in conformance with the Oak Meadow General Development Plan. Without the flexibility afforded through PDD zoning these site characteristics become problematic and prohibitive to achieving the desired and approved development character and densities.

During the course of the City's review and evaluation of the proposed Capitol Heights Homes Condominium, the developer has collaborated with the City Staff and Plan Commission to revisit and incorporate practical suggestions and modifications to the site plan to improve traffic circulation, building layout efficiencies, and vehicle parking. The most significant change shown on the revised site plan (Exhibit 1) is the new private street serving units 20-35. This private street enables better vehicle circulation within the development and reduces traffic hazards along the adjoining segment of Targhee Street by eliminating 5 driveways.

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The proposed development standards have also been adjusted, as a result of this collaborative review, to expand the availability of off street parking stalls within the project and to minimize the occurrence of visually detrimental "snout-houses" (houses with the garage entry facing the street and protruding in front of the front door of the house). This was accomplished by requiring the garage door, if it is essentially parallel to the street, to be set back a minimum of 18 feet from the back of the curb. For those units with less than 18' spacing between the curb and unit, a previous amendment approved in December, 2009, allows unit buyers to either offset the garage door to provide a driveway length of 18' or accept no parking in the driveway. The Restrictive Building Covenants and the Home Owner's Association Condominium Documents restrict parking outside the garage if the driveway length is less than 18' from garage door to back of curb. See Exhibit 13 for listing of lengths between Units and curb.

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Proposed Minimum Development Standards

Building Setbacks:

Targhee Street Setback: 16 feet (there are no driveways connecting to Targhee Street)
 Side Setback (From Property Line): 8 feet
 Rear Setback (From Property Line): 8 feet

Private Street Setback: 7 feet (back of curb to the building envelope)
 18 feet (back of curb to the garage door, if parallel to the private street – unless owner agrees to no parking in the driveway).

Maximum Building Height: No building shall exceed 35 feet in height, as measured in accordance with the provisions in Fitchburg’s Zoning Ordinance.

Building Separation: 10 feet (including bump-outs)

Existing Private Street Serving Units 1-19 (constructed in 2008)
 Width 24 feet (measured face to face of curb)
 Centerline Curve Radii (min.) 67.5 feet
 Tangent Length (between curves) 39 feet
 Profile Gradient 8.08% max

New Proposed Private Street Serving Units 20-35
 Width 20 feet (measured face to face of curb)
 Centerline Curve Radii (min.) 35 feet
 Tangent Length (between curves) 47 feet
 Profile Gradient 9.47% max

Impervious Surface Ratio (ISR): 57.6%
ISR is calculated as 100% coverage of the building sites, the proposed driveways, lead walks, two visitor parking stalls and the existing private streets, divided by the total site area. Structure bump outs as defined under Building Development Standards do not count as impervious areas. Exhibit 7 shows the impervious areas along with the proposed driveway locations and lengths. Note: the driveway locations are subject to change.

Open Space Ratio (OSR): 37.9%
OSR is calculated as 100% of those areas not included in the ISR, except for permeable surface outdoor living spaces (i.e. patios). Permeable surface outdoor living spaces do not count toward the ISR but count against OSR. Permeable surfaces allow for the infiltration of rain water and are limited to surfaces that are capable of being permeated by water such as permeable pavers, permeable composite, porous concrete, mulch and open stone. Permeable pavers adjacent to

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driveways do not count toward either the ISR or OSR because they were previously approved in the December, 2009 revision. The OSR percentage assumes 250 sft of permeable surface per unit.

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Projected Social, Environmental and Economic Impacts

Capitol Heights Homes Condominium will provide additional housing opportunities for present and future residents of the City. The pleasant location between an open space preserve and a City Park contributes to the identity, general character, and livability of this small “neighborhood within a neighborhood”.

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The 2006 PDD was approved for 50 attached condominiums in 25 buildings. The residents’ profile included predominantly professional singles with no children for an average household density of 1.5. The current proposal is for 35 single family detached condominiums. The revised plan is anticipated to attract predominantly married couples and some couples with children for an average household density of 2.2. Consequently, the population density will slightly increase.

The revision illustrated in the Impervious Area Plan (Exhibit #7) shows the anticipated impervious surfaces within the Capitol Heights development. The amount of impervious shown along with 2,000 sft of unallocated impervious to account for variances from the plan correspond to an impervious surface ratio (ISR) of 57.6%. This is substantially less than the City’s stormwater engineering design limit of 65%. The amount of impervious anticipated is within the storm water design parameters.

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The project will have significant economic impact for the City. The assessed value at build-out is estimated to approach \$13,000,000. The estimated tax base created by this project remains unchanged from the prior plan. However, the anticipated development absorption time has been reduced from six years to 3.5 years. Consequently, the proposed plan will have a more immediate impact on the creation of tax base within the City.

Architectural Character and Development Standards

Capitol Heights Homes Condominium is a collection of 35 single-family detached condominium homes organized along two looped private streets. A variety of building styles are proposed to discourage uniform buildings in favor of creating an eclectic mix of buildings evident in the Oak Meadow Neighborhood and in many older neighborhoods. The styles and descriptions are illustrated in Exhibit #8.

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Building Development Standards

The thirty-five single family condominiums will be Energy Star and Green Built homes that embrace the “not-so-big house” concept. The homes will be located within rectangular envelopes that range in size from 1,620 square feet (SF) to 2,024 SF as detailed below:

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| 29 units | 1,990 – 2,024 sft |
| 3 units | 1,845 – 1,872 sft |
| 3 units | 1,620 – 1,764 sft |

All structural improvements such as residence, porch and attached garage except for structural extensions or “bump outs” (i.e. bay windows, fireplaces) as discussed below, and impervious outdoor living areas such as impervious decks and patios will be contained within these envelopes. A maximum of 250 sft of an at grade, permeable surface outdoor living space (i.e. patio) will be allowed outside the unit boundary as long as a 8’ minimum setback is maintained from the outer plat boundary lines and a 1’ minimum setback is maintained from the Unit’s limited common element. The permeable outdoor living space shall not be within easements. This setback applies to all units except Unit 5. Unit 5 will maintain a minimum of 1’ from the outer plat boundary line. See Exhibit 13 for Outdoor Living Space Example.

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Structural bump-outs will be allowed outside the unit boundary as long as a minimum separation distance of 10’ is maintained between structures at the location of the bump-out. Bump-outs must meet building setback requirements. Bump-outs are intended to add architectural interest to the elevation and are not intended to encompass a significant portion of the building. Any proposed building with a bump-out shall show the adjoining building with all bump-outs and setbacks on the site plan.

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Structure bump-outs must meet the following criteria:

2’ Bump-out:

| | |
|---------------------------------------|------------|
| Maximum Distance Extended beyond Unit | 2’ maximum |
| Minimum Height above ground | 3’ minimum |

1’ Bump-out:

| | |
|---------------------------------------|------------|
| Maximum Distance Extended beyond Unit | 1’ maximum |
| Minimum Height above ground | 1’ minimum |

See Exhibit 14 for Structural Bump-outs Example.

Structurally, building construction techniques will be in compliance with appropriate building codes relating to fire rated walls, openings and building occupancy as necessary. All structures erected shall comply with the minimum Wisconsin Green Built Home (GBH) standard. The certification ensures that all homes constructed at Capitol Heights meet sustainable building and energy standards. GBH is affiliated with the NAHB National Green Building Program which is also approved as a Green Built Home certification along with the United States Green Building Council's (USGBC) Leadership in Energy and Environmental Design (LEED) green building certification.

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Home builders may choose to construct to a higher certification level than the required minimum, which is at the discretion of the eco-friendly builder or home owner. Green Building Verification is to be provided by an approved third party verifier. All residential dwellings must also be Energy Star Certified.

It is anticipated and expected that each home will be designed with attention given to its exterior appearance and that there will be a variety of architectural details (offsets, eaves, bays, etc). A variety of architectural styles will be permitted and encouraged in order to create visually appeal and interest for the neighborhood. A variety of exterior colors and materials will also be encouraged and expected, except for vinyl siding which will not be permitted.

Site Development Standards

Buildings will be setback a minimum of 16 feet from the Targhee Street right of way. All of the sites are accessed from the looped private streets. In order to accommodate the terrain and create a visually interesting environment the building envelopes have a variety of dimensions and orientations. Building envelopes are set back from the private street a minimum of 7 feet (from the back of curb) and have a minimum separation between envelopes of 10 feet.

Two trees near units #9 and #16 have been designated for preservation. The trees will be pruned to remove deadwood. Tree protection specifications are included as Appendix B. Builders working adjacent to the trees will be required to follow the specifications. In the event the trees can't be saved, each tree will be replaced with two 3 inch to 4 inch diameter spaded oak trees.

All building plans shall show the limited common element lines for the unit and adjoining units.

Parking

Each dwelling will have a two car attached garage and at least one and, typically two, open air parking spaces in the respective driveways, unless the driveway is less than 18' in length. The driveway space is a revision from the initial proposal and is made possible by the private street width variance and by the 18 ft garage door set back standard. Each home must provide at least one 9 ft x 18 ft rectangular parking space immediately in front of the garage door, unless the unit buyer accepts no parking in the driveway. Any off street parking space cannot encroach over the curb of the private street or sidewalk.

To address demand for visitor parking, two additional spaces have been located on the existing looped private street. Additionally, there are an estimated 30 parking spaces along Targhee Street adjoining the project frontage. Parking prohibition along the private streets will be posted and included in the condominium documents.

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Deleted: In order to minimize the occurrence of the visually detrimental "snout house", the garage door (s) if it is essentially parallel to the private street, must be set back at least 18 feet from the back of curb. It is anticipated that some units may be developed with a "side loaded" garage, in which case the garage vehicle door could be closer than 18 feet from back of curb.¶

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GIP/SIP

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Plan Review

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Construction details and landscape requirements will be described in the declarations and restrictive covenants. Architectural and Landscape plans will be reviewed by the Architectural Control Committee (ACC) to ensure conformance with restrictions and the approved building styles for this neighborhood. Plan approval will be required prior to commencement of construction. The Condominium Declarations and Protective Covenants were previously submitted for review.

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Deleted: The architectural review will follow the same process as the rest of Oak Meadow. As with Oak Meadow, Randy Christianson, with Sveum Enterprises will be the point person for the review. The same process and review team will be in place through development until full build out. The Declaration of Condominium will be similar to those prepared for Harlan Hills. The Protective Covenants will be compatible with the Oak meadow Covenants.

Site Landscaping

See the Site Landscape Plan prepared by McKay Nursery attached as Exhibit #9. The Landscape Plan has been coordinated with Fitchburg staff and incorporates Park Department requirements. Examples of Landscape Plans for Foundations are shown in Exhibit #10.

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Infrastructure

The basic infrastructure for the site was installed in 2006 and 2008. Some minor modifications in the utilities will be required to accommodate the proposed new plan. The minor modifications have been completed for Units 1-19. The remaining modifications will occur once Units 1-19 are nearing full build-out.

Private Street

The existing private loop street provides access to 19 units in the Capitol Heights Homes Condominium. The street is a 24-foot wide paved street (measured to curb face). The street was constructed in 2008. A variance was approved in 2006 to permit a 67.5-foot minimum centerline radius to accommodate alignment and building placement considerations due to the parcel shape, slope and to mitigate potential damage to existing trees. Since this is an existing private street, this revised plan proposes the continuation of the variance.

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The proposed new private street will provide access to the remaining 16 units. The street will be a 20-foot wide paved street (measured to curb face.) Variances are requested to permit a 35-foot minimum centerline radius and the 20-foot pavement width. The centerline variance is needed to accommodate alignment and building placement considerations due to the parcel shape and slope. The variance in width is requested to provide a longer driveway length to allow open air parking in the driveways. The new proposed private street has been designed to accommodate turning movements by trucks and emergency apparatus and the plan has been approved by the Fitchburg Fire Department.

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Water

During 2006-2008 Eight inch water mains and fire hydrants were installed per City standards and the Department of Natural Resources Administrative Code. The mains are in public easements

and connect to the existing water mains in Targhee Street. As part of the utility improvements for this proposed revision, several segments of the water mains will be re-installed to meet correct standards for depth and pipe insulation per City direction, See Water Utility Plan attached as Exhibit #4.

Fifty (50) water services were installed during previous construction in 2006 and 2008. With this proposed revision, 18 of these services will be abandoned in accordance with City requirements and 3 new services will be added.

Sanitary Sewer

Eight inch sanitary sewer mains have been installed per City standards and the DNR Administrative Code. The sanitary sewer mains are in a public easement and connect to the sanitary sewer system in the Oak Meadow plat.

Twenty-five laterals were installed in 2006 and 2008. With this proposed revision, 7 of these laterals will be shared (two homes each) and one new lateral will be installed. Additionally, new eight inch public sanitary sewer will be installed to serve two of the proposed new building sites. See Sanitary Sewer Plan attached as Exhibit #5.

Storm Water Management

The proposed site plan revision corresponds with an impervious surface ratio of 57.6%. The impervious surface ratio assumes 100% of the unit footprint along with associated driveway and lead walks will be developed. During the Architectural review of each building, each plan will be checked to assure the proposed impervious and open space areas are consistent with the assumptions used in the ISR and OSR calculations. The regional stormwater management facility in the southwest quadrant of Lacy/Fish Hatchery intersection provides detention and sediment control for this site. Infiltration must be addressed on site. The current approved Storm Water Management Plan includes construction of two infiltration devices. The practices include one bio-retention basin and one infiltration area. The total area of the facilities exceeds 1% of the site. The two infiltration sites are calculated to provide 90% of the existing stormwater infiltration for the site.

The proposed GIP/SIP requires a minor modification/relocation to the existing on-site storm sewer system to provide drainage to and from the detention/rain garden facility located within the loop of the existing private street and to accommodate the new building envelope layout scheme. The storm sewer system connects to the public storm sewer in Targhee Street, which drains to the regional basin at the southwest corner of Fish Hatchery Road and Lacy Road. See Storm Sewer Plan attached as Exhibit #6.

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minimum requirement of 7.6 inches per
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Oak Meadow

Land Use and Development Densities

| Land Use | Comprehensive Development Plan | | Oak Meadow Plat Acres | Phase One | | Nobel Ridge Condos | | Proposed Capitol Heights Condos | |
|-------------------------------|--------------------------------|-------|-----------------------|-----------|-------|--------------------|-------|---------------------------------|-------|
| | Approved Densities | Acres | | Units | Units | Density | Units | Density | Units |
| Residential | | | | | | | | | |
| Single Family Detached | 3.6 to 4.3 du/ac | 39.7 | 159 | 28.1 | 114 | 4.1 | | | |
| Medium Density Multi Unit | 10 du/ac | 12.7 | 127 | 7.9 | | | 60 | 7.6 | |
| High Density Multi Unit | 15 du/ac | 4.4 | 66 | 4.4 | | | | | 50 |
| Parks & Open Space | | 9.6 | | 13.8 | | | | | |
| Outlots | | | | 15.1 | | | | | |
| Storm Water Mgt | | 0.1 | | | | | | | |
| Street ROWs | | 16.3 | | 13.4 | | | | | |
| Total Area | | 82.8 | 352 | 82.6 | | | | | |

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EXHIBITS

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NOTE:
ARCHITECT TO COORDINATE GRADES WITH ENGINEER, AND
CONTRACTOR, PRIOR TO FINAL CONSTRUCTION PLANS

LEGEND (PROPOSED)

- PROPERTY LINE
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- RETAINING WALL
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- CG - ELEVATION OF GARAGE
- BC - BACK OF CURB
- SW - SIDEWALK
- FLOW ARROW
- ASPHALT CONCRETE PAVEMENT
- CONCRETE PAVEMENT
- STANDARD 18" CURB & GUTTER
- SILT FENCE

GENERAL NOTES

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 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES OR CONSTRUCTION LIMITS.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
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 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.
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 - CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM PLANS.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
 - CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TIMES THE RAINGARDEN AREA JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 - ALL DISTURBED AREAS, EXCEPT STREETS DRIVEWAYS, SIDEWALK & INFILTRATION AREAS, RECEIVE A MINIMUM OF SIX (6) INCHES OF TOPSOIL, FERTILIZER, SEED & MULCH. BUILDING CONTRACTOR SHALL CHECK THAT ALL STRUCTURE DRAINS AWAY FROM BUILDING FOUNDATIONS. DURING FINAL RESTORATION ALL DISTURBED AREAS, EXCEPT STREETS, DRIVEWAYS, SIDEWALK & INFILTRATION AREAS, RECEIVE A MINIMUM OF SIX (6) INCHES OF TOPSOIL, FERTILIZER, SEED & MULCH. RESTORATION WILL OCCUR WITHIN SEVEN (7) DAYS OF FINAL GRADING OPERATIONS. SEED MIXTURE 40 SHALL BE USED ON ALL RESTORED LOCATIONS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. ONE AND ONE-HALF POUNDS PER 1000 SQUARE FEET (1-1/2 LBS/1000 SF) OF ANNUAL RYE GRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FORTY (40) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED PER SOIL TEST.
 - INSTALL CLASS II, TYPE B EROSION MATTING IN ANY AREAS EXCEEDING 5:1 (20%) SLOPES.
 - CONTRACTOR TO SCARIFY ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
 - ALL AREAS WITHIN THE LIMITS OF DISTURBANCE SHALL BE CLEARED & GRUBBED. CONTRACTOR SHALL VERIFY CLEARING LIMITS WITH THE ENGINEER.

CONSTRUCTION SITE EROSION CONTROL

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/sediment/techstds.html>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK INCLUDING GRADING OR TURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDMR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROL AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- CONTRACTOR SHALL COMPLETE WEEKLY SELF-INSPECTIONS OF EROSION CONTROL PRACTICES.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE WHERE THE SITE WILL BE ACCESSED BY CONSTRUCTION VEHICLES. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF FITCHBURG.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDMR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- INSTALL TYPE D INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- UTILITY TRENCH DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDMR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL CODE NO. 1061.
- ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A WOOD APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDMR AND WDCMCM REQUIREMENTS.

TO OBTAIN LOCATIONS OF PARTICIPANT
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN



CALL DIGGER'S HOTLINE
1-800-242-6311 TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES DIGGER'S
HOTLINE BE CALLED WITH DAYS PRIOR NOTICE

THE INFORMATION SHOWN ON THIS DRAWING
CONCERNING THE LOCATION OF BURIED
UTILITIES IS NOT GUARANTEED TO BE
ACCURATE OR COMPLETE. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING THE
LOCATION OF ALL UTILITIES PRIOR TO ANY
EXCAVATION. THE CONTRACTOR SHALL
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SCALE IN FEET

NOTE:
BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL
BUILDING FOOTPRINT ONLY. REFER TO FOUNDATION PLAN
FOR DIMENSIONS.

JSD Professional Services, Inc.
Engineering • Surveying • Planning

• PLANNING & DEVELOPMENT
• CIVIL ENGINEERING
• TRANSPORTATION ENGINEERING
• LANDSCAPE ARCHITECTURE
• SURVEYING AND MAPPING
• CONSTRUCTION MANAGEMENT

MADISON REGIONAL OFFICE

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Suite 101
Verona, Wisconsin 53593
(608) 848-5060

MILWAUKEE REGIONAL OFFICE

1122 W22931 Nancy Court
Suite 3
Waukesha, Wisconsin 53186
(262) 513-0666

PREPARED FOR:
**COMMUNITY
CONDOMINIUM
DEVELOPMENT
CORPORATION**
5511 MCCANN LANE, SUITE 108
FITCHBURG, WI 53711

PROJECT

**CAPITOL HEIGHTS
HOMES
CONDOMINIUM**
TARGHEE STREET
FITCHBURG, WISCONSIN

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.

These plans and designs are copyright protected and may not be used in whole or in part without the written consent of Jenkins Survey and Design, Inc.

| DATE | BY |
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SCALE/SIGNATURE

SHEET TITLE
**OVERALL
GRADING + EROSION
CONTROL PLAN**

SHEET NUMBER

EXHIBIT #2

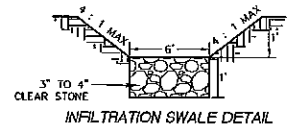
JSD PROJECT NUMBER

SJ0705

JSD PROJECT FILE

SCALE

As Noted



NOTE: ARCHITECT TO COORDINATE GRADES WITH ENGINEER PRIOR TO FINAL CONSTRUCTION PLANS

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 - 29 — PROPOSED 1 FOOT CONTOUR
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 - STORM SEWER
 - SANITARY SEWER
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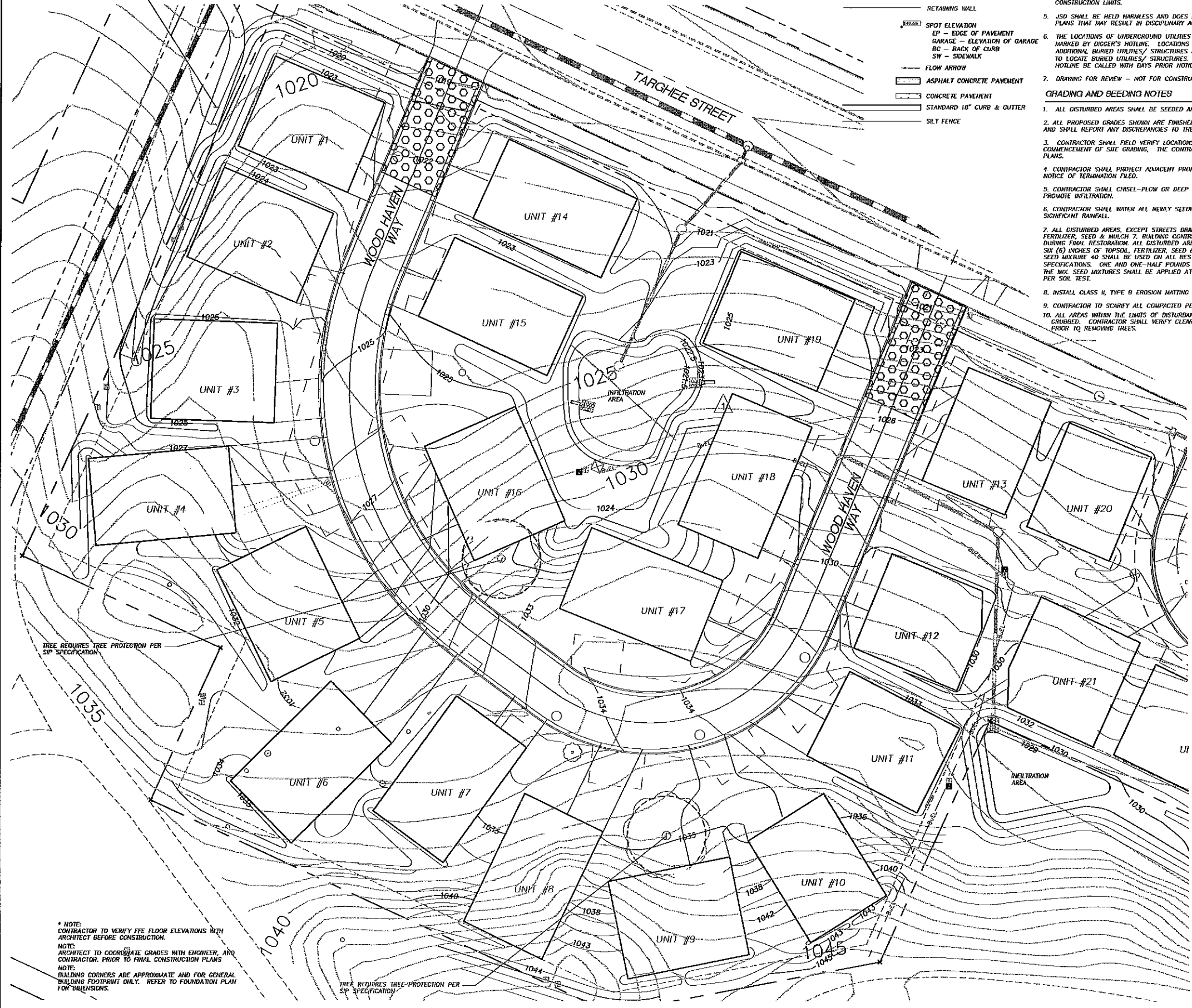
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 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
11. INSTALL TYPE D INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
12. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
13. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
14. UTILITY TRENCH DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDRM CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL CODE NO. 1061.
15. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A WOOD APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL FURNISH PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDRM AND WDCOM REQUIREMENTS.



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PREPARED FOR:
COMMUNITY CONDOMINIUM DEVELOPMENT CORPORATION
 5511 MCGANN LANE, SUITE 108
 FITCHBURG, WI 53711

PROJECT
CAPITOL HEIGHTS HOMES CONDOMINIUM
 TARGHEE STREET
 FITCHBURG, WISCONSIN

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| Approved: | |

SCALE/SIGNATURE

SHEET TITLE
DETAILED GRADING PLAN

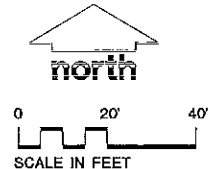
SHEET NUMBER
EXHIBIT #3a

JSD PROJECT NUMBER
 SL0705

JSD PROJECT FILE
 SCALE
 As Noted

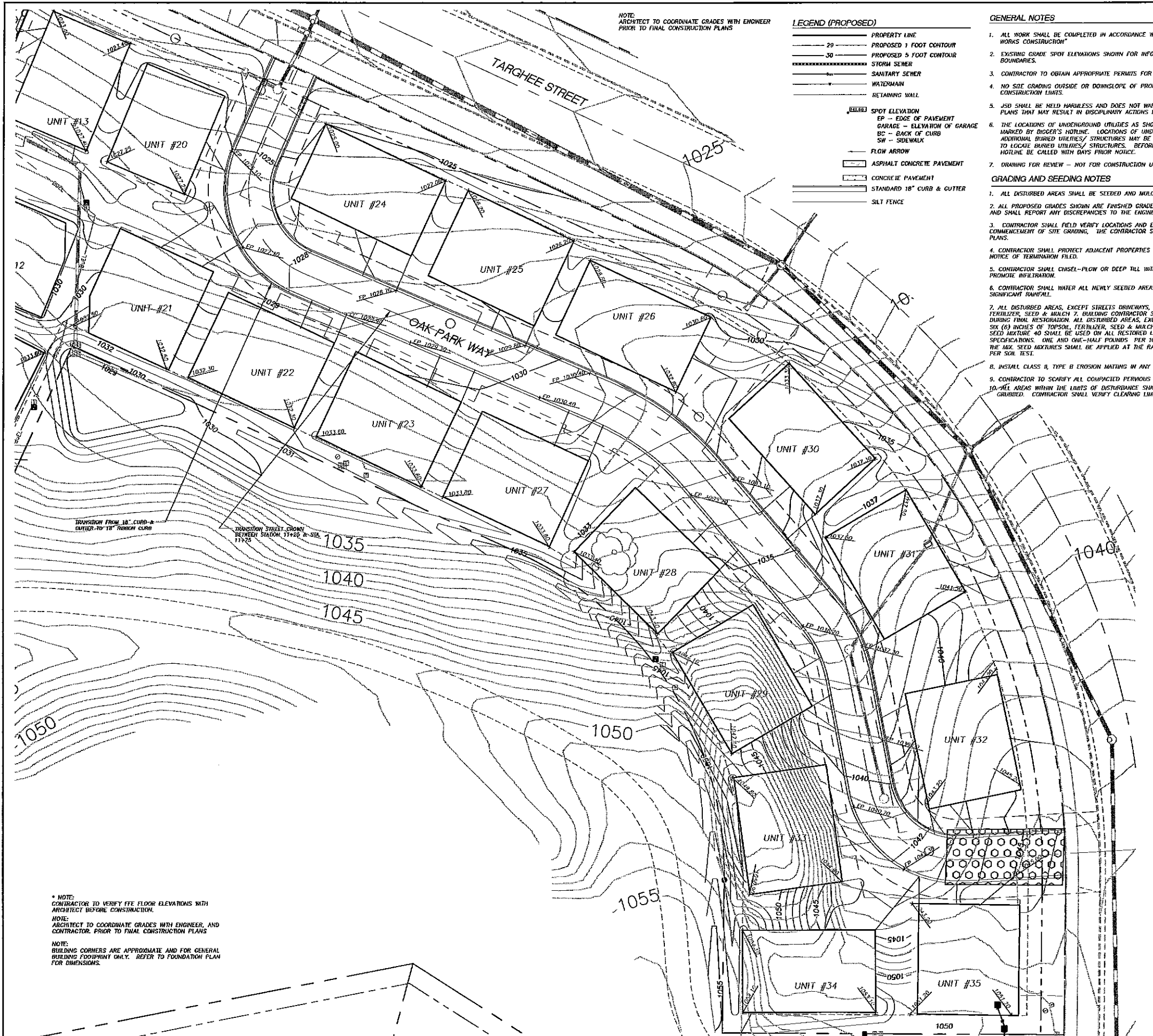
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 1-800-242-8511 TOLL FREE
WISCONSIN STATE OFFICE RESTRICTIONS APPLY TO USE OF THIS SERVICE

The information shown on this drawing concerning site and location of underground utilities is based on the information provided by the contractor. The contractor is responsible for ensuring the accuracy of the information provided. The contractor is not responsible for any damage or injury resulting from the use of this information. The contractor shall be held harmless and does not warrant any deviations by the owner/contractor from the approved construction plans that may result in disciplinary actions by any or all regulatory agencies.



* NOTE: CONTRACTOR TO VERIFY FFE FLOOR ELEVATIONS WITH ARCHITECT BEFORE CONSTRUCTION.
 NOTE: ARCHITECT TO COORDINATE GRADES WITH ENGINEER, AND CONTRACTOR, PRIOR TO FINAL CONSTRUCTION PLANS.
 NOTE: BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY. REFER TO FOUNDATION PLAN FOR DIMENSIONS.

TREE REQUIRES TREE PROTECTION PER SIP SPECIFICATION



NOTE:
ARCHITECT TO COORDINATE GRADES WITH ENGINEER
PRIOR TO FINAL CONSTRUCTION PLANS

- LEGEND (PROPOSED)**
- PROPERTY LINE
 - 20' PROPOSED 1 FOOT CONTOUR
 - 30' PROPOSED 5 FOOT CONTOUR
 - STORM SEWER
 - SANITARY SEWER
 - WATERMAIN
 - RETAINING WALL
 - SPOT ELEVATION
 - EP — EDGE OF PAVEMENT
 - GC — GRADE OF CURB
 - SW — SIDEWALK
 - FLOW ARROW
 - ASPHALT CONCRETE PAVEMENT
 - CONCRETE PAVEMENT
 - STANDARD 18" CURB & GUTTER
 - SILT FENCE

GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF "CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
 2. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
 3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 4. NO SIDE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES OR CONSTRUCTION LIMITS.
 5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 6. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS OR AS MARKED BY DIGGER'S HOTLINE. LOCATIONS OF UNDERGROUND UTILITIES/ STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/ STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/ STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, WISCONSIN STATUTE 182.0175 (1974) REQUIRES DIGGER'S HOTLINE BE CALLED WITH DAYS PRIOR NOTICE.
 7. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- GRADING AND SEEDING NOTES**
1. ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.
 2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM PLANS.
 4. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
 5. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TIMES THE RANGARDEN AREA JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
 6. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 7. ALL DISTURBED AREAS, EXCEPT STREETS DRIVEWAYS, SIDEWALK & INFILTRATION AREAS, RECEIVE A MINIMUM OF SIX (6) INCHES OF TOPSOIL. FERTILIZER, SEED & MULCH 7. BUILDING CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS. DURING FINAL RESTORATION ALL DISTURBED AREAS, EXCEPT STREETS, DRIVEWAYS, SIDEWALK & INFILTRATION AREAS, RECEIVE A MINIMUM OF SIX (6) INCHES OF TOPSOIL, FERTILIZER, SEED & MULCH. RESTORATION WILL OCCUR WITHIN SEVEN (7) DAYS OF FINAL GRADING OPERATIONS. SEED MIXTURE 40 SHALL BE USED ON ALL RESTORED LOCATIONS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 530 OF D.O.T. SPECIFICATIONS. ONE AND ONE-HALF POUNDS PER 1000 SQUARE FEET (1 1/2) OF MINIMUM RYE GRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FORTY (40) POUNDS PER 1000 SQUARE FEET. FERTILIZER SHALL BE APPLIED PER SOIL TEST.
 8. INSTALL CLASS II, TYPE B EROSION MATTING IN ANY AREAS EXCEEDING 5:1 (20%) SLOPES.
 9. CONTRACTOR TO SCARIFY ALL COMPACTED PAVEMENT SURFACES PRIOR TO SEEDING AND MULCHING.
 10. ALL AREAS WITHIN THE LIMITS OF DISTURBANCE SHALL BE CLEARED & GRUBBED. CONTRACTOR SHALL VERIFY CLEARING LIMITS WITH THE ENGINEER.

CONSTRUCTION SITE EROSION CONTROL

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLANS. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WORK TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. CONTRACTOR SHALL COMPLETE WEEKLY SELF-INSPECTIONS OF EROSION CONTROL PRACTICES.
6. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
7. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE WHERE THE SITE WILL BE ACCESSED BY CONSTRUCTION VEHICLES. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF FITCHBURG.
8. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
9. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WORK TECHNICAL STANDARDS.
10. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
11. INSTALL TYPE D INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
12. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
13. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
14. UTILITY TRENCH DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDMR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL CODE NO. 1051.
15. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SHOULDS SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A WDMR APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDMR AND WDMRM REQUIREMENTS.

* NOTE:
CONTRACTOR TO VERIFY FTE FLOOR ELEVATIONS WITH ARCHITECT BEFORE CONSTRUCTION.

NOTE:
ARCHITECT TO COORDINATE GRADES WITH ENGINEER, AND CONTRACTOR. PRIOR TO FINAL CONSTRUCTION PLANS

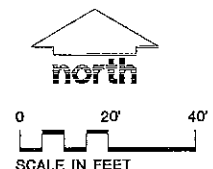
NOTE:
BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY. REFER TO FOUNDATION PLAN FOR DIMENSIONS.

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND UTILITIES, PLEASE CALL:

CALL DIGGER'S HOTLINE
1-800-242-ES11 TOLL FREE

IF YOU ARE NOT SURE WHERE TO CALL, PLEASE CALL 1-800-242-ES11

BE ADVISED THAT THE CITY OF FITCHBURG DOES NOT GUARANTEE THE ACCURACY OF THESE UTILITIES LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR OTHER PROPERTY CAUSED BY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR OTHER PROPERTY CAUSED BY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR OTHER PROPERTY CAUSED BY CONSTRUCTION ACTIVITIES.



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PREPARED FOR:
COMMUNITY CONDOMINIUM DEVELOPMENT CORPORATION
5511 MCCANN LANE, SUITE 108
FITCHBURG, WI 53711

PROJECT
CAPITOL HEIGHTS HOMES CONDOMINIUM
TARGHEE STREET
FITCHBURG, WISCONSIN

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SEAL/SIGNATURE

SHEET TITLE
DETAILED GRADING PLAN

SHEET NUMBER
EXHIBIT #3b

JSD PROJECT NUMBER
SLO705

JSD PROJECT FILE

SCALE
As Noted

GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WI STATUTES. UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY.
2. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
4. MATERIALS FOR UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG MATERIALS STANDARDS OR AS APPROVED BY THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL MATERIALS MEET THESE STANDARDS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF FITCHBURG AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
7. MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL CENTER TO CENTER SEPARATION BETWEEN PUBLIC SANITARY SEWER AND WATER MAINS. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER.
8. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
9. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS AND MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY, WISDOT, WDCOMM, AND WDMR.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN AGENCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
13. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
15. CONTRACTOR SHALL NOTIFY THE CITY OF FITCHBURG PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
16. IN ACCORDANCE WITH ACT 425 OF THE WISCONSIN LEGISLATURE, LOCATED IN SECTION 182.0175(2)(R) OF THE STATE STATUTES AND OTHER APPLICABLE REQUIREMENTS, ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS.
17. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM PLANS.

WATER MAIN NOTES

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF "CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"

WATERMAIN MORE THAN 6" OR LESS THAN 6" IN DEPTH WILL BE REINSTALLED AS DIRECTED BY THE CITY. WATERMAIN BETWEEN 6.5" AND 5" IN DEPTH WILL BE INSULATED.

ALL SERVICES WHICH NEED ABANDONED WILL NEED TO BE ABANDONED AT THE MAIN, EXCEPT FOR JOINT WATER SERVICES WHERE ONE SERVICE WILL BE UTILIZED. IN THIS CASE, THE COMPRESSION WYE WILL NEED TO BE REMOVED AND ONE SERVICE WILL NEED TO BE EXTENDED FROM THE EXISTING 1-1/2" COPPER SERVICE TO THE BUILDING. IN ALL CASE PRACTICAL THE COMPRESSION UNION SHALL BE ON THE PRIVATE SIDE OF THE WATER SERVICE.

EXISTING CURB STOPS THAT WILL BE IN PAVED AREAS WILL NEED A TOP VALVE BOX SECTION INSTALLED OVER THEM TO PROTECT THEM FROM DAMAGE.

VALVES SHALL BE ADJUSTED TO MATCH FINISHED GRADE IF NEEDED.

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 (608) 848-5080

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PREPARED FOR:
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 5511 MCGANN LANE, SUITE 108
 FITCHBURG, WI 53711

PROJECT
CAPITOL HEIGHTS HOMES CONDOMINIUM
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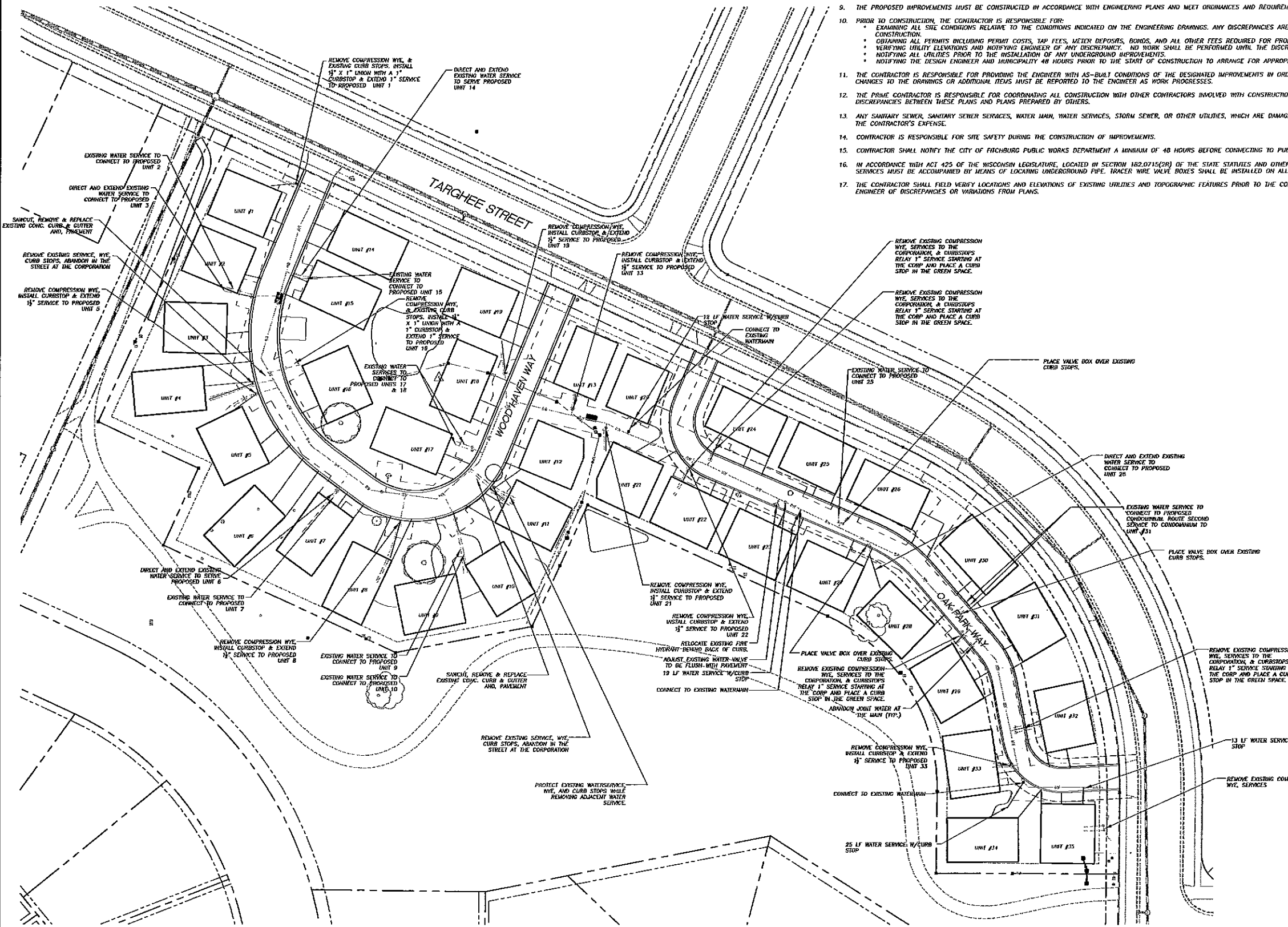
SHEET TITLE
WATER SERVICE PLAN

SHEET NUMBER
EXHIBIT #4

JSD PROJECT NUMBER
 SLO705

JSD PROJECT FILE

SCALE
 As Noted



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, SEE THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

CALL DIGGERS HOTLINE
 1-800-292-8341 TOLL FREE

WISCONSIN WATER SERVICE REGULATORY BOARD (WRSB) HAS A SERVICE TO ASSIST YOU IN LOCATING UNDERGROUND UTILITIES. CALL 1-800-292-8341 TOLL FREE.

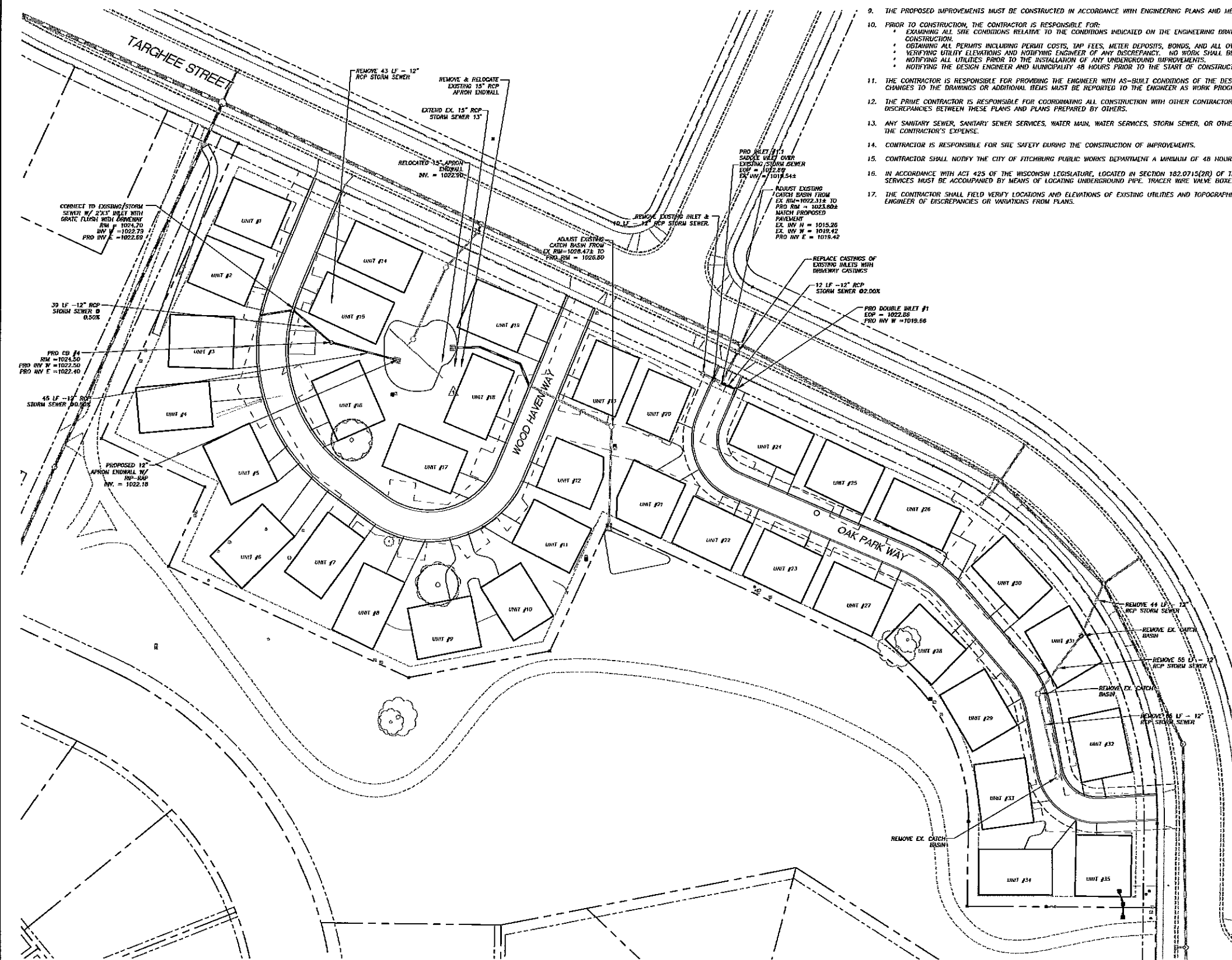
THE APPLICATOR SIGNS ON THIS PLANS CONSIDERING THE AND BEING IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITIES.

GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WI STATUTES. UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY.
2. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
4. MATERIALS FOR UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG MATERIALS STANDARDS OR AS APPROVED BY THE ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL MATERIALS MEET THESE STANDARDS.
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6. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF FITCHBURG AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
7. MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL CENTER TO CENTER SEPARATION BETWEEN PUBLIC SANITARY SEWER AND WATER MAINS. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER.
8. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
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 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
13. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
15. CONTRACTOR SHALL NOTIFY THE CITY OF FITCHBURG PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
16. IN ACCORDANCE WITH ACT 425 OF THE WISCONSIN LEGISLATURE, LOCATED IN SECTION 182.0715(2)(R) OF THE STATE STATUTES AND OTHER APPLICABLE REQUIREMENTS, ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS.
17. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM PLANS.

STORM SEWER NOTES

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF "CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTIONS"



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 FITCHBURG, WI 53711

PROJECT
CAPITOL HEIGHTS HOMES CONDOMINIUM
 TARGHEE STREET
 FITCHBURG, WISCONSIN

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| REV | DATE |
|-----------|--------------|
| Graphic | GJP 04/12/11 |
| Checked | DLH 04/12/11 |
| Approved: | |
| | |
| | |

SEALED/SIGNATURE

SHEET TITLE
STORM SEWER PLAN

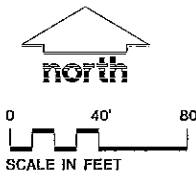
SHEET NUMBER
EXHIBIT #6

JSD PROJECT NUMBER
 SLO705
 JSD PROJECT FILE
 SCALE
 As Noted

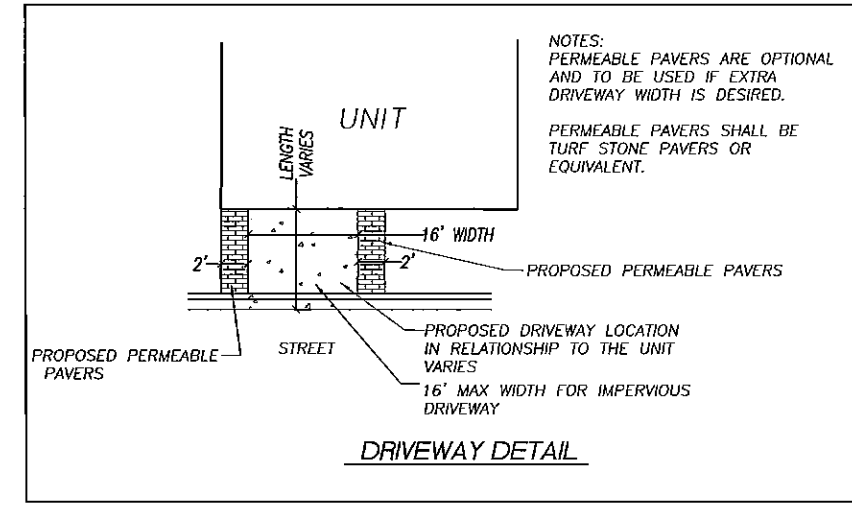
TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND UTILITIES, PLEASE CALL 800-242-8511

CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE
 *WHEN YOU DIG, YOU MUST CALL FIRST!
 *CALL BEFORE YOU DIG!

THE INFORMATION SHOWN ON THIS DRAWING IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE EXISTING UTILITIES AND HAS FOUND NO EVIDENCE OF DISCREPANCIES. HOWEVER, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE EXISTING UTILITIES AND HAS FOUND NO EVIDENCE OF DISCREPANCIES. HOWEVER, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.



NOTE: DRIVEWAY AND LEAD WALK LOCATIONS SUBJECT TO CHANGE

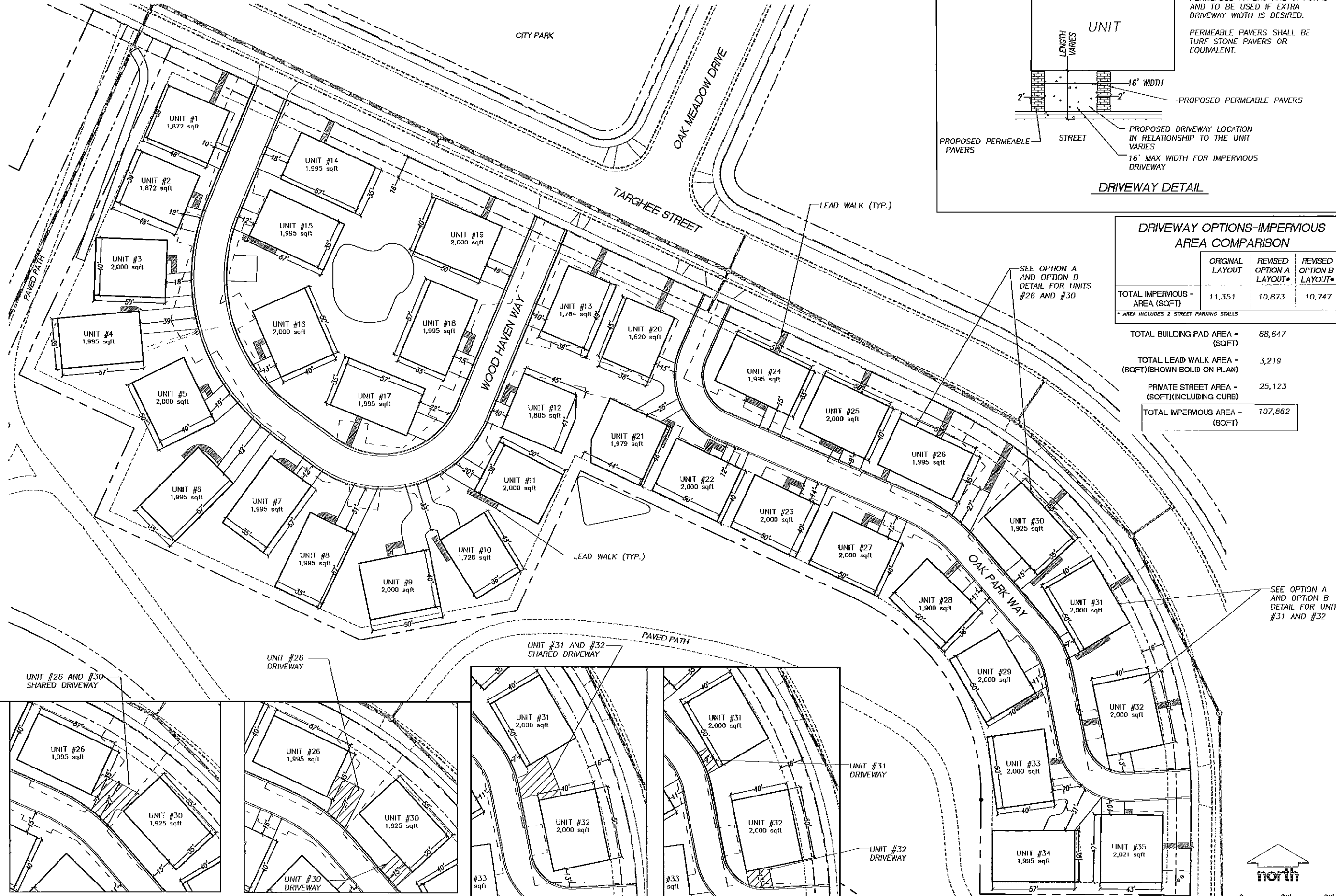


DRIVEWAY OPTIONS-IMPERVIOUS AREA COMPARISON

| | ORIGINAL LAYOUT | REVISED OPTION A LAYOUT* | REVISED OPTION B LAYOUT* |
|------------------------------|-----------------|--------------------------|--------------------------|
| TOTAL IMPERVIOUS AREA (SQFT) | 11,351 | 10,873 | 10,747 |

* AREA INCLUDES 2 STREET PARKING STALLS

| | |
|---|----------------|
| TOTAL BUILDING PAD AREA = (SQFT) | 68,647 |
| TOTAL LEAD WALK AREA = (SQFT)(SHOWN BOLD ON PLAN) | 3,219 |
| PRIVATE STREET AREA = (SQFT)(INCLUDING CURB) | 25,123 |
| TOTAL IMPERVIOUS AREA = (SQFT) | 107,862 |



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| ITEM | DATE |
|------------------------|----------|
| Drawn: GVP | 04/12/11 |
| Checked: DM | 04/12/11 |
| Approved: | |
| Revised City Submitted | 04/08/11 |

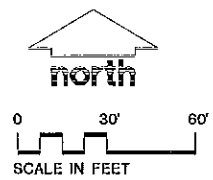
SEAL/SIGNATURE

SHEET TITLE
IMPERVIOUS AREA EXHIBIT

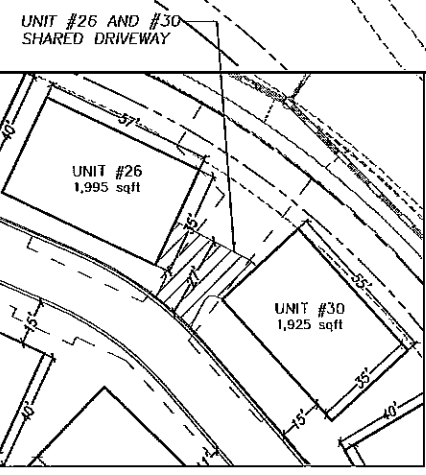
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EXHIBIT #7

SD PROJECT NUMBER
 SLD705

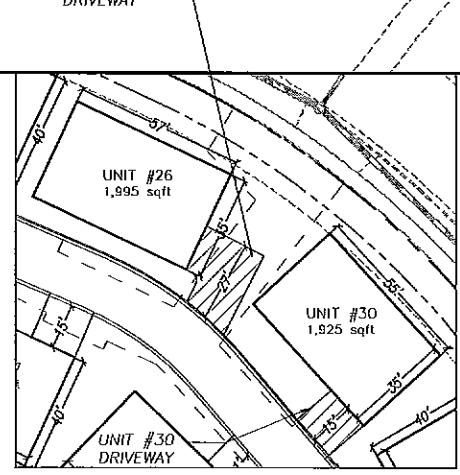
SD PROJECT FILE
 SCALE
 As Noted



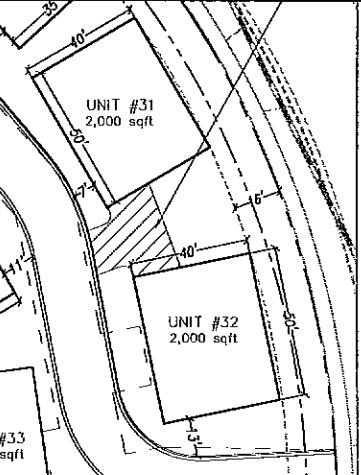
File: H:\PROJECTS\ENERGY\07BASE.DWG Layout: Driveway exhibit User: apolias Plotted: Apr 12, 2011 - 11:29am Xref:



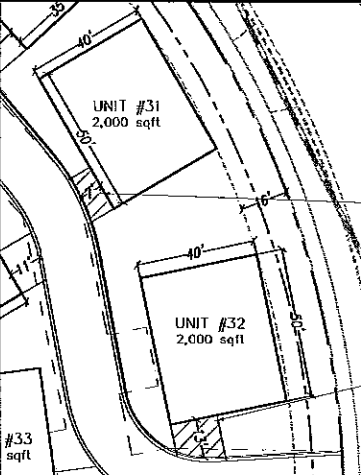
UNIT #26 AND #30 SHARED DRIVEWAY LAYOUT OPTION A



UNIT #26 AND #30 SEPARATE DRIVEWAY LAYOUT OPTION B



UNIT #31 AND #32 SHARED DRIVEWAY LAYOUT OPTION A

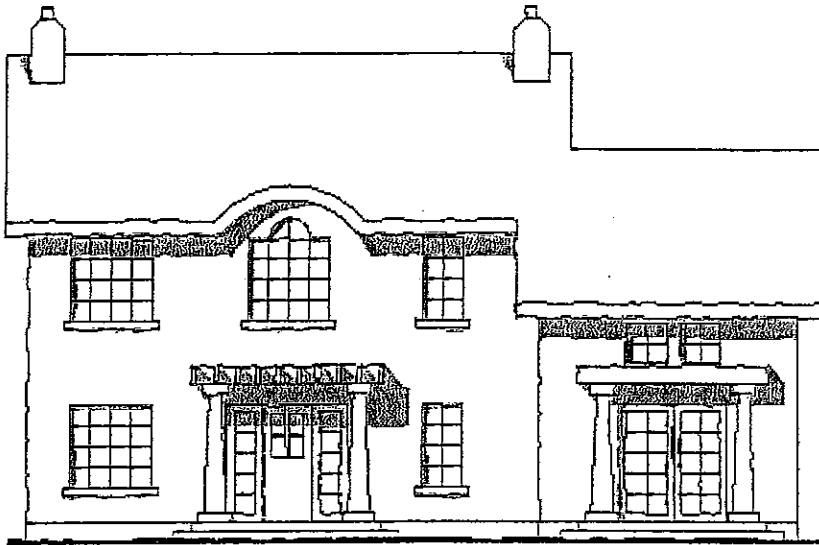


UNIT #31 AND #32 SEPARATE DRIVEWAY LAYOUT OPTION B

Architectural Style Options:

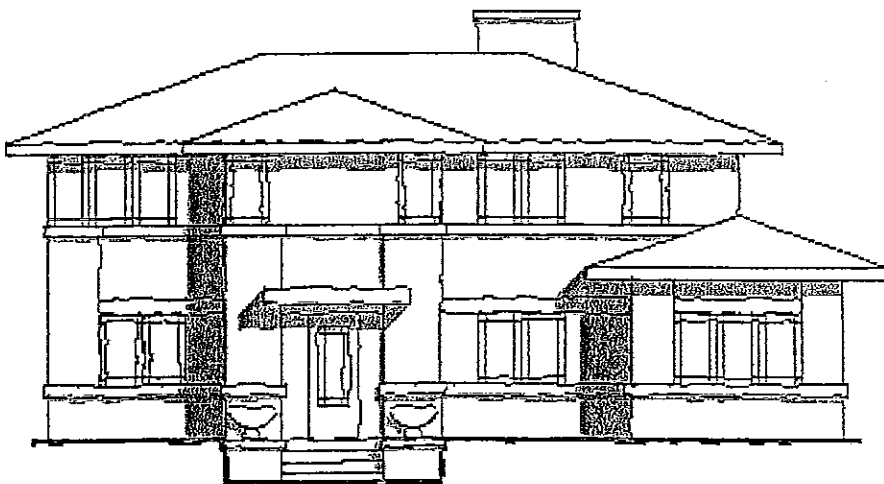
English Cottage:

Identified by steeped pitched gable roofs; exterior walls of stucco, brick, beveled siding; large chimneys made of brick or stone; arched entries; square or segmented window and door openings.



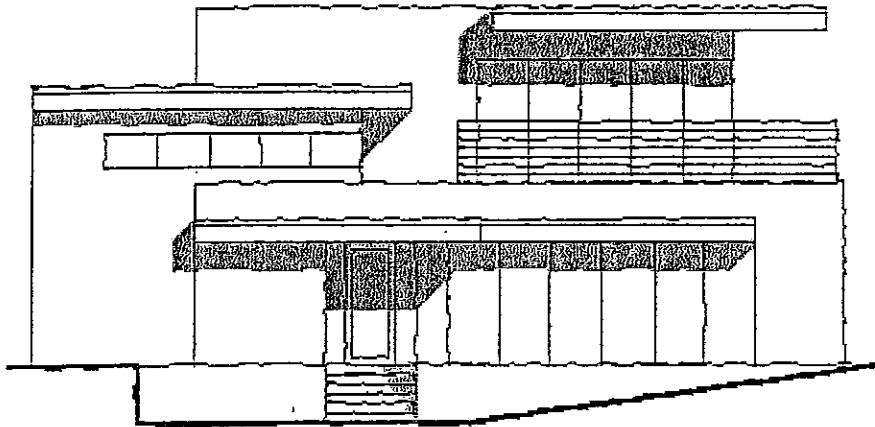
Prairie:

Identified by low-pitched roofs, usually hipped; wide overhangs: two stories, with one story wings or porches; façade detailing emphasizing horizontal lines: often with massive square porch supports and chimneys.



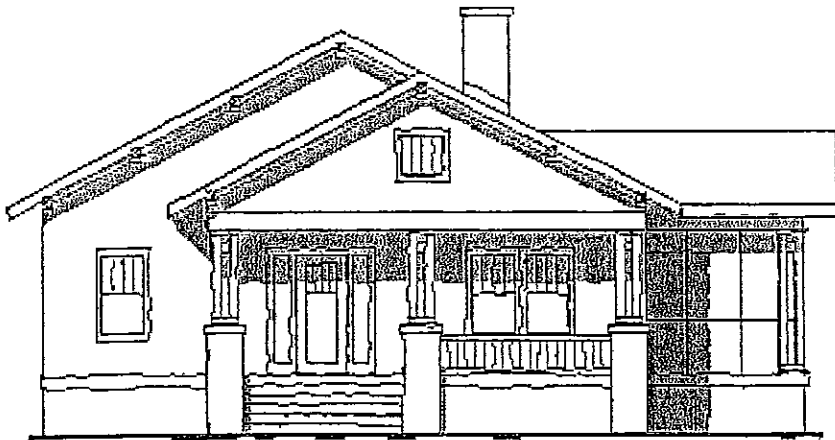
Modern or International:

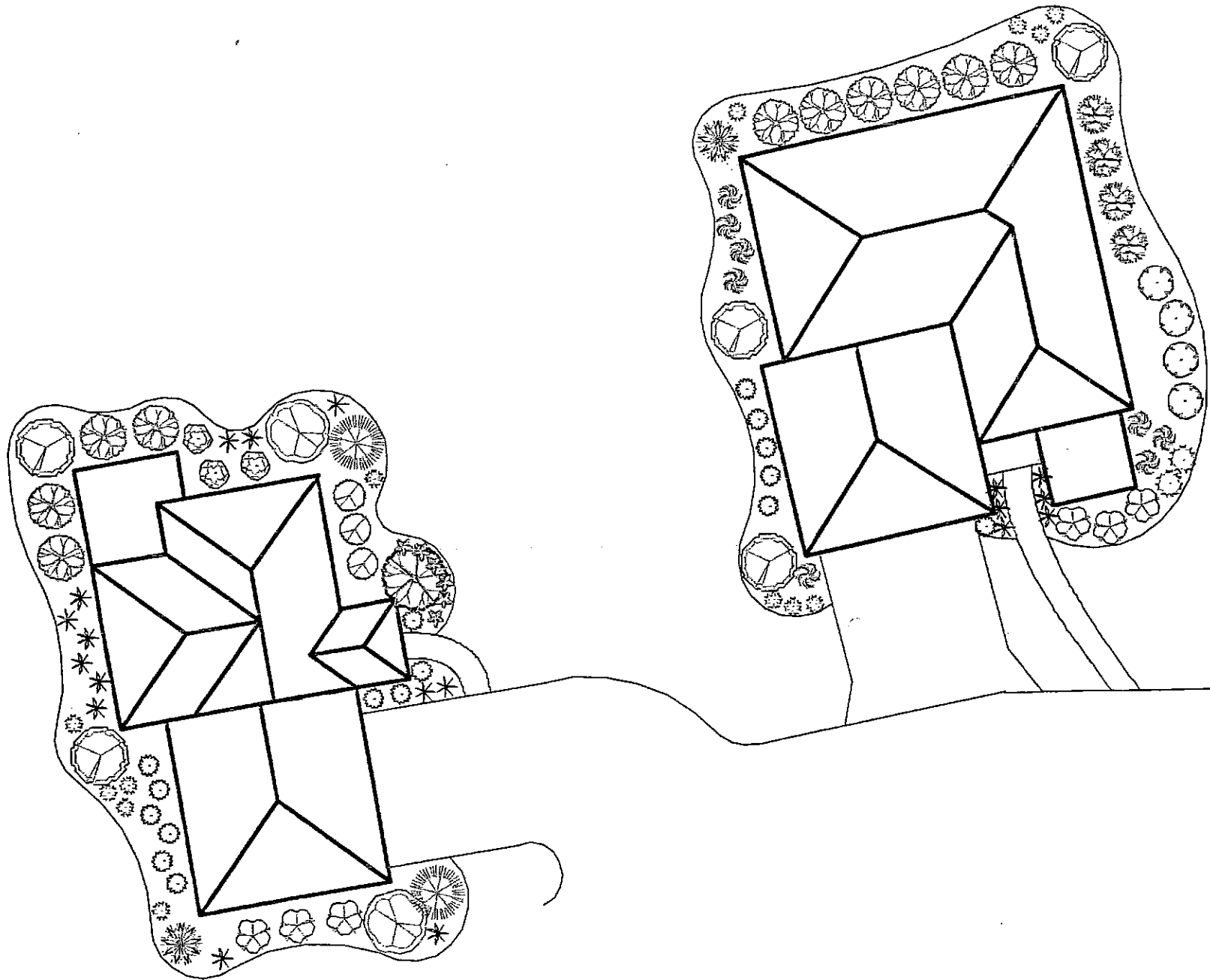
Identified by flat roofs, usually with small coping at the roof line; smooth wall surfaces of stucco, brick or siding; horizontal balustrade elements; simple decorative detailing; façade usually asymmetrical.




















Bungalow:

Identified by low-pitched, gabled roofs with wide, unenclosed eave overhangs: exposed roof rafters, decorative beams or braces added under gables: porches, either the full or partial length of one building side; columns for supporting the porch are a distinctive detail of a short square column resting on a more massive pier.





PLANT LIST

| | | | |
|---|----|--|----------|
|  | BA | SARGENT TINA CRAB TREE <i>malus sargentii</i> 'tina' | #10cg |
|  | BA | BRANDON ARBORVITAE <i>thuja occidentalis</i> 'brandon' | #3cg |
|  | TY | TAUNTON YEW <i>taxus x media</i> 'tauntoni' | 15"BB |
|  | AH | ANNABELLE HYDRANGEA <i>hydrangea arboescens</i> 'annabelle' | #5cg |
|  | SG | SPRING GREEN VIBURNUM <i>viburnum trilobum</i> 'spring green' | 2 1/2"BB |
|  | ML | MISS KIM DWARF LILAC <i>syringa patula</i> 'miss kim' | #3cg |
|  | ID | ISANTI DOGWOOD <i>cornus sericea</i> 'isanti' | #3cg |
|  | NW | NAIGNE ROUGE WEIGELA <i>weigela florida</i> 'naine rouge' | #3cg |
|  | AC | AUTUMN MAGIC CHOKEBERRY <i>aronia melanocarpa</i> 'autumn magic' | #2cg |
|  | CR | CAREFREE WONDER ROSE <i>rosa meidomonae</i> | #2cg |
|  | GS | GOLDMOUND SPIREA <i>spirea japonica</i> 'goldflame' | #2cg |
|  | BF | DWARF BRONX FORSYTHIA <i>forsythia viridissima</i> 'bronxensis' | #2cg |
|  | AS | AUTUMN JOY SEDUM <i>sedum</i> 'autumn joy' | #1cg |
|  | FH | FRANCES WILLIAMS HOSTA <i>hosta sieboldiana</i> 'francis william' | #1cg |
|  | VH | VARIGATED HOSTA <i>hosta x undulata</i> 'albomarginata' | #1cg |
|  | PC | PALACE PURPLE CORALBELL <i>heuchera micrantha</i> 'palace purple' | #1cg |
|  | MS | MAY NIGHT SALVIA <i>salvia</i> 'may night' | #1cg |

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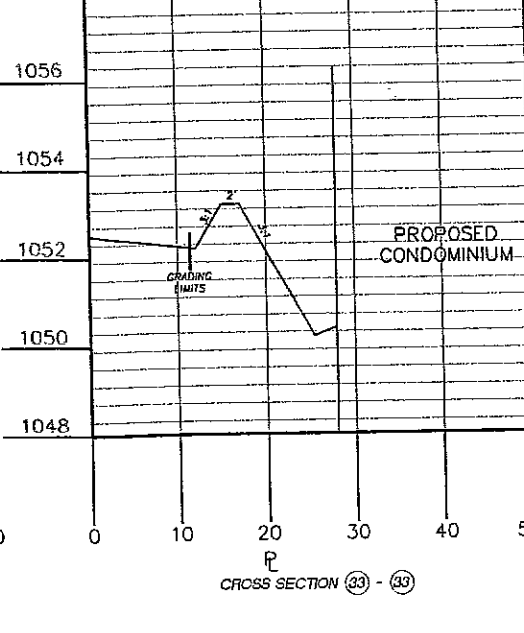
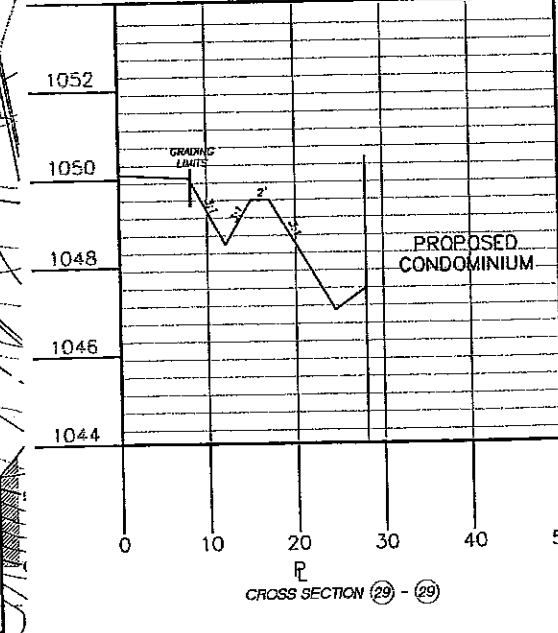
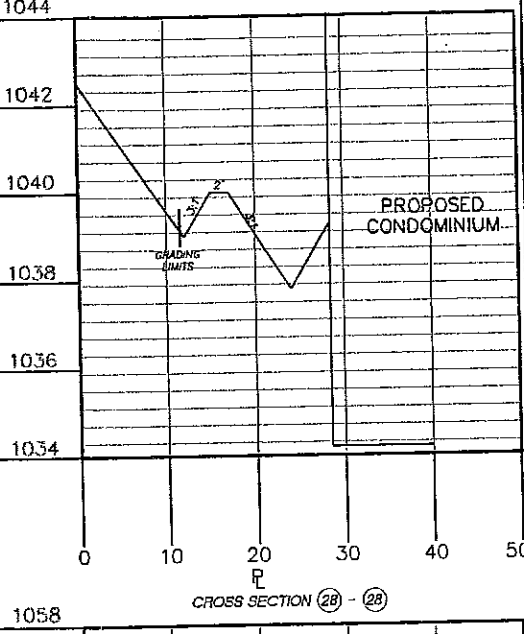
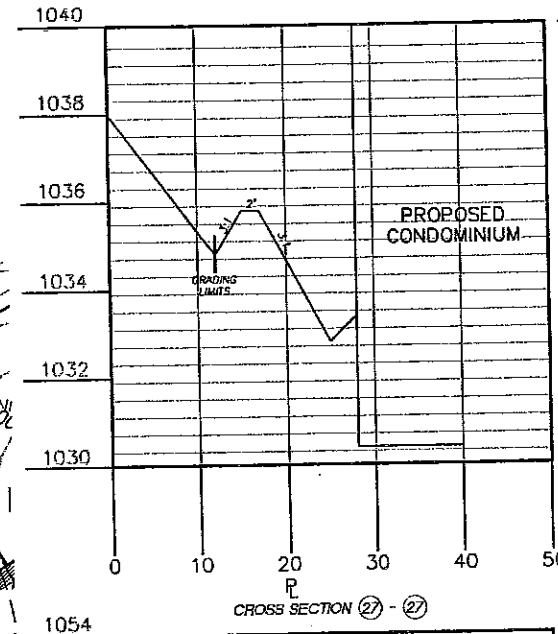
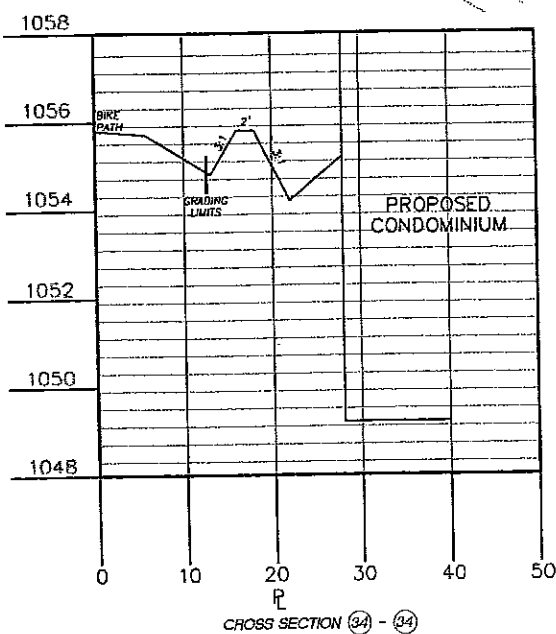
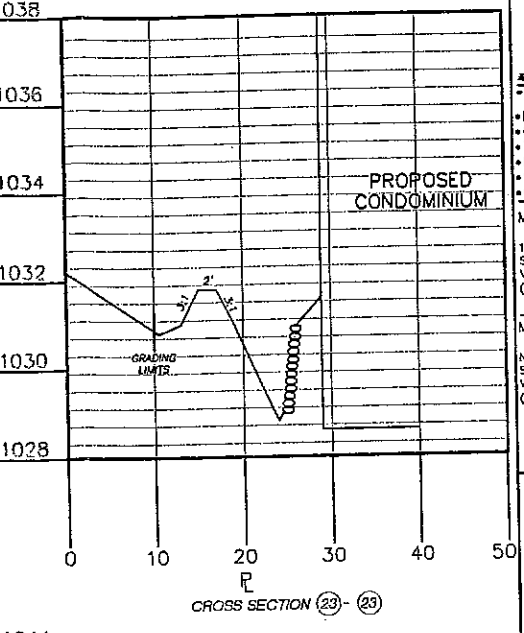
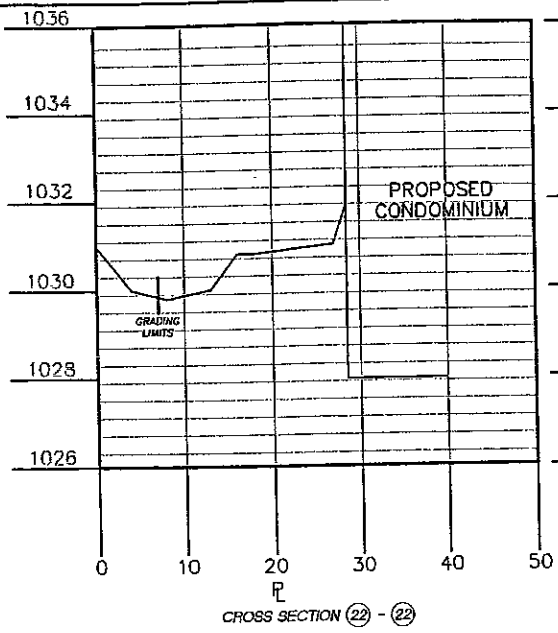
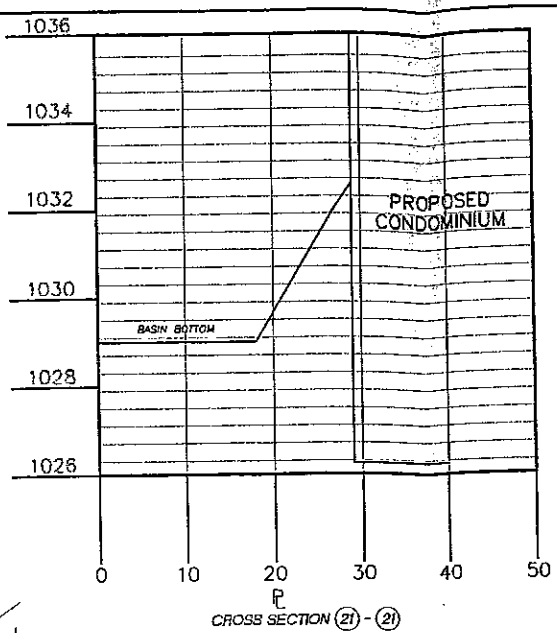
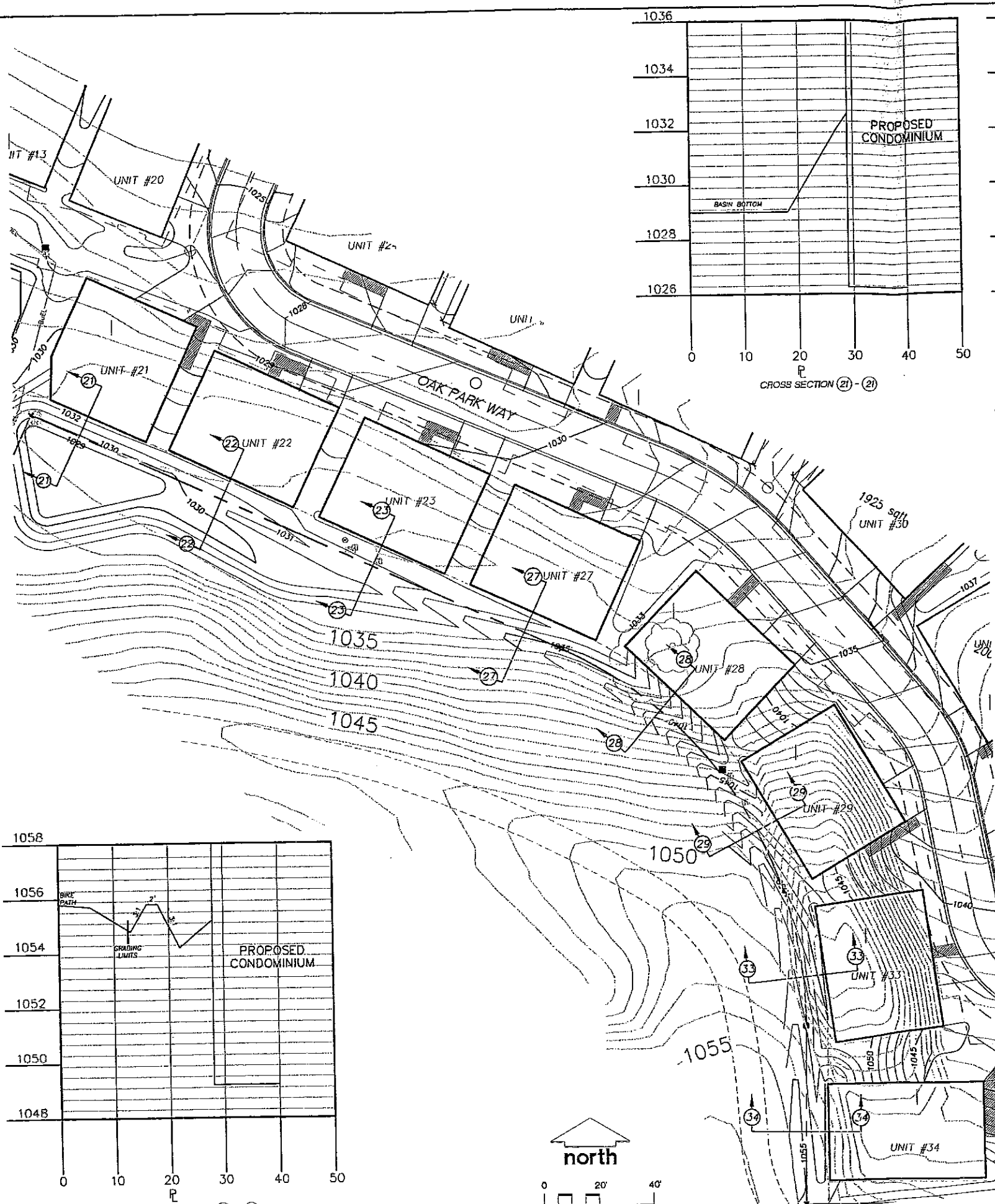
McKAY NURSERY COMPANY
 PO BOX 185, 750 S. MONROE ST., WATERLOO, WI 53094
 608-778-2171 WWW.MCKAYNURSERY.COM
 S. BEVANLY McKAY NURSERY CO REPRESENTATIVE



LANDSCAPE PLAN
 CAPITAL HEIGHTS - SCHEL AND ASSOCIATES
 FITCHBURG, WI

REVISED
 OR - 18
 FEBRUARY 17, 2008
 NO SCALE
 DWG
 DWG/SCHE/17.08





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PREPARED FOR:
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 FITCHBURG, WI 53711

PROJECT
CAPITOL HEIGHTS HOMES CONDOMINIUM
 TARGHEE STREET
 FITCHBURG, WISCONSIN

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| ITEM | DATE |
|------------------------|----------|
| Drawn: GVP | 03/25/09 |
| Checked: DSH | 01/25/09 |
| Approved: | |
| Revised City Submitted | 04/08/11 |

SEAL/SIGNATURE

SHEET TITLE
PARK CROSS-SECTION PLAN

SHEET NUMBER
EXHIBIT #11

JSD PROJECT NUMBER
 SLO705
 JSD PROJECT FILE
 SCALE
 As Noted

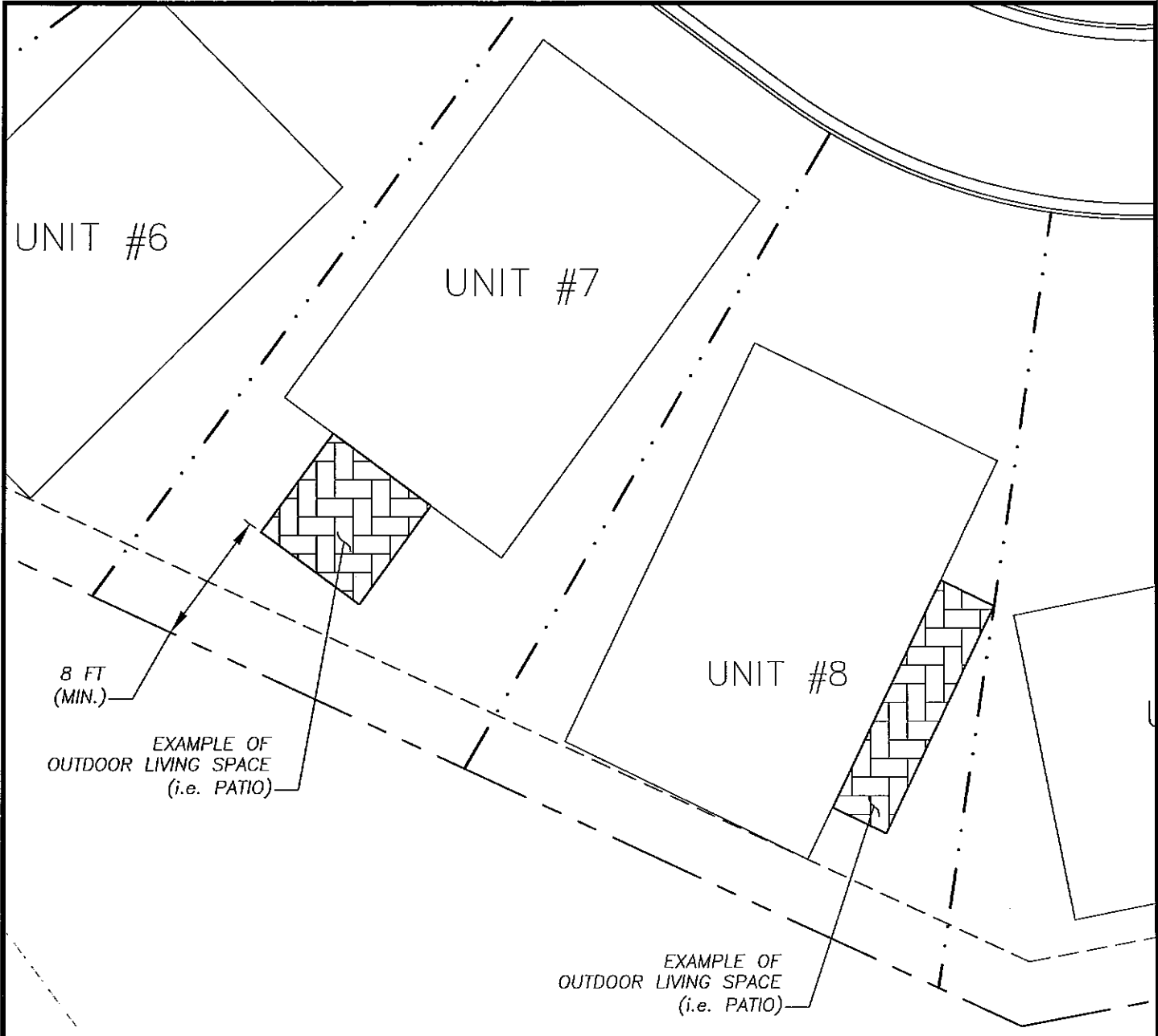
NOTE: 3:1 MAX SLOPE

Capitol Heights

Lengths between Unit and Curb

| | |
|---------------|-----------|
| Lot 1 | 10 |
| Lot 2 | 12 |
| Lot 3 | 18 |
| Lot 4 | 39 |
| Lot 5 | 19 |
| Lot 6 | 42 |
| Lot 7 | 12 |
| Lot 8 | 31 |
| Lot 9 | 33 |
| Lot 10 | 33 |
| Lot 11 | 20 |
| Lot 12 | 10 |
| Lot 13 | 10 |
| Lot 14 | 18 |
| Lot 15 | 12 |
| Lot 16 | 14 |
| Lot 17 | 23 |
| Lot 18 | 15 |
| Lot 19 | 19 |
| Lot 20 | 15 |
| Lot 21 | 25 |
| Lot 22 | 12 |
| Lot 23 | 14 |
| Lot 24 | 15 |
| Lot 25 | 8 |
| Lot 26 | 27 |
| Lot 27 | 15 |
| Lot 28 | 11 |
| Lot 29 | 11 |
| Lot 30 | 15 |
| Lot 31 | 7 |
| Lot 32 | 13 |
| Lot 33 | 20 |
| Lot 34 | 31 |
| Lot 35 | 10 |

Note Units in **Bold** may either offset the garage door to provide an 18' long driveway or accept no parking in their driveway if the drive is less than 18'.



8 FT (MIN.)
 EXAMPLE OF OUTDOOR LIVING SPACE (i.e. PATIO)

EXAMPLE OF OUTDOOR LIVING SPACE (i.e. PATIO)

NOTES

1. PERMEABLE SURFACE LIMITED TO PERMEABLE PAVERS, PERMEABLE COMPOSITE, POROUS CONCRETE, MULCH OR OPEN STONE.
2. MAXIMUM ALLOWED AREA OF 250 SFT.
3. MUST BE CONTAINED WITHIN LIMITS OF LIMITED COMMON ELEMENT (UNIT #8 EXAMPLE) & MAINTAIN A MINIMUM 6 FT SETBACK FROM PLATTED LOT LINE.
4. UNIT #5 MUST MAINTAIN A MINIMUM 1 FT SETBACK FROM PLATTED LOT LINE.

LEGEND

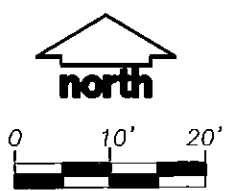
- PLATTED LOT LINE
- - - - - EASEMENT LINE
- ==== CONCRETE CURB & GUTTER
- _____ CONDOMINIUM UNIT
- LIMITS OF LIMITED COMMON ELEMENTS

CAPITOL HOMES
 OUTDOOR LIVING SPACE EXAMPLE

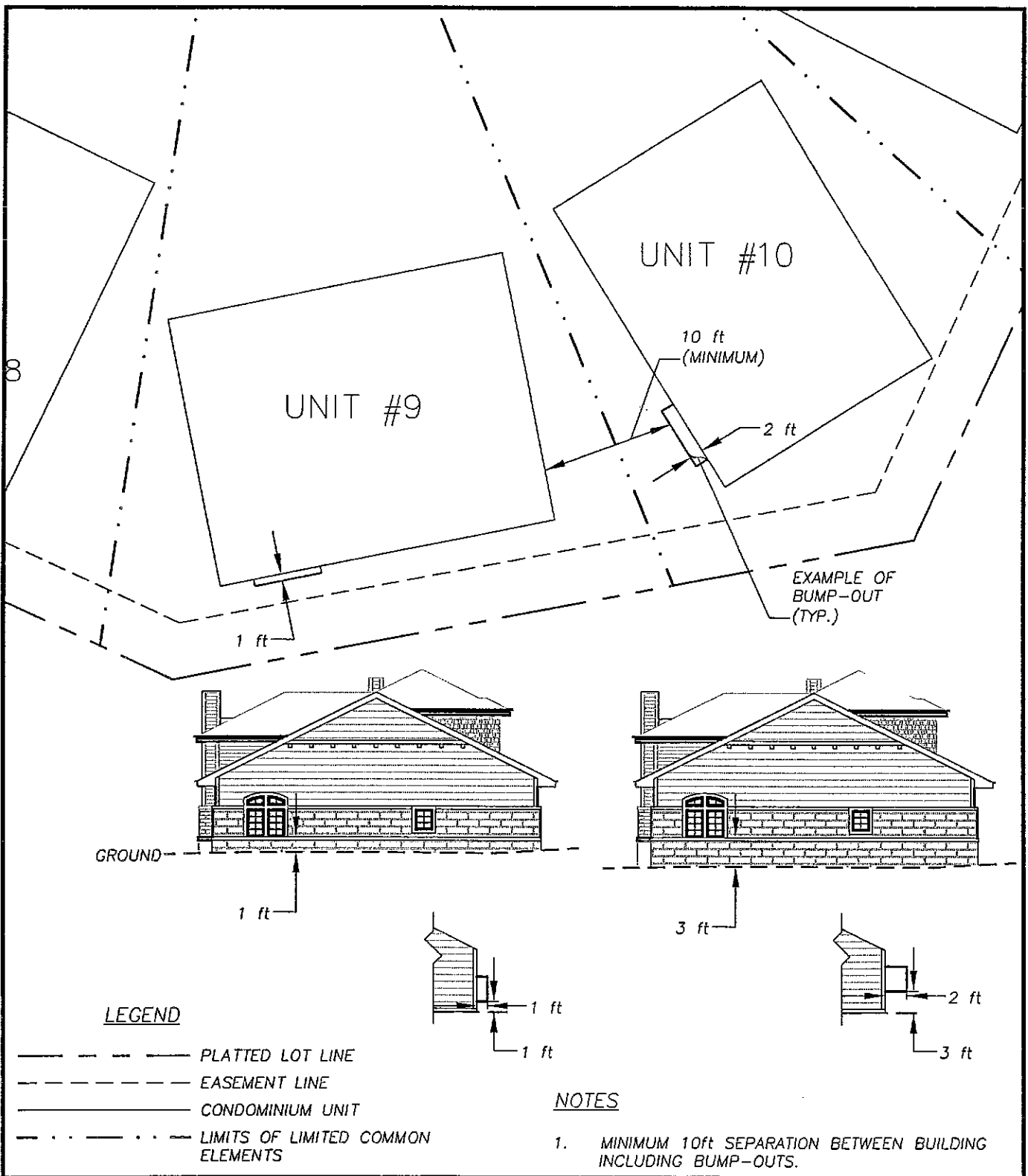
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 • Engineers • Surveyors • Planners
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 PHONE: (608)848-5060

DATE: 04/12/11
 PROJECT NO: SL-07-05

EXHIBIT
13



M:\SL0705\Sentout\2011-ISR\SL07 Lot Compare Dwg.DWG

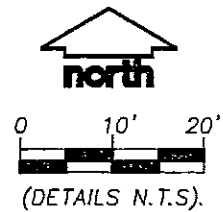


CAPITOL HOMES
STRUCTURAL BUMP-OUT EXAMPLE

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PHONE: (608)848-5060

DATE: 04/08/11
PROJECT NO: SL-07-05

EXHIBIT
14



M:\SL0705\Sentout 2011-ISR\SL07 Lot Compare Dwg.DWG

APPENDIX A

Storm Water Management Information

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Capitol Heights Homes Condominium, Infiltration Study 03/22/11

RECARGA EXISTING SITE CONDITIONS

RECARGA Version 2.3
Bioretention/Raingarden Sizing Program

Units: English

Planview Data

- Facility Area: 1 [ft²] [ft]
- Inlet Area: 4.38 [acres]
- Percent Impervious: 0
- Previous DI: 60

Files

- Regional Ave. ET: 0.13 [in./day]
- Simulation Type: Continuous
- Input File Length: 256 [days]
- Preco. File Name: Med1981us
- Output File Name: MadXXXXXX

Facility Inputs

| Soil Texture | Infiltration Rate [in./hr] | Depth [in.] |
|-------------------|----------------------------|-------------|
| Root Layer | | |
| Sandy Loam | 3.94 | 24 |
| Storage Layer | | |
| Sand | 5.91 | 0 |
| Underdrain | | |
| Flowrate [in./hr] | 0 | |
| Diam. [in.] | 0 | |
| Native Soil Layer | | |
| Sandy Loam | 0.5 | |

Target Stay-on: 0 [in.] FAR: 0.5

Facility Area (Ink [%]): Edit Text [%]

Stay-on [in.]

Results

Plant Survivability
(Least than 48 hours max ponding is desirable)

| | max | Total |
|---------------------|-----|-------|
| Max Ponded | 9.5 | 89 |
| Number of overflows | | 10 |

Inlet Runoff [in.]

| | |
|-------------------|--------|
| Precipitation | 29.81 |
| Impervious Runoff | 0 |
| Previous Runoff | 1.8031 |

Raingarden Water [in.]

| | | |
|---------------|---------|----------|
| Runoff | 1.8032 | 6.2588 |
| Runoff | 1.8025 | 6.2565 |
| Recharge | 0.00056 | 0.001962 |
| Evaporation | 0.00014 | 0.000490 |
| Underdrain | 0 | 0 |
| Soil Moisture | 2.8907e | 3.000100 |
| Stay-on | 27.0075 | 93.7435 |

Developed by the University of Wisconsin-Madison
Civil & Environmental Engineering Water Resources Group
(D. Atchison, A. Dussalliant, L. Severson)

CLEAR RESULTS

EXISTING DRAINAGE AREA = 233,917 SQFT = 4.38 AC.

EXISTING STAY-ON DEPTH = 27.01in

EXISTING STAY ON VOLUME = 27.01in X 1'12" X 190,792 sqft = 429,441 cuft

Stay on volume required for a residential site = 429,441 cuft x 0.90 = 386,497 cuft

RECARGA PROPOSED OFFSITE DRAINAGE AREA WITH NO INFILTRATION POND

RECARGA Version 2.3
Bioretention/Raingarden Sizing Program

Units: English

Planview Data

- Facility Area: 1 (sq)
- Tributary Area: 2.35 (acre)
- Percent Impervious: 61
- Pervious CN: 68

Files

- Regional Ave. ET: 0.13 (in/day)
- Simulation Type: Continuous
- Input File Length: 268 days
- Precip. File Name: Mad1991us
- Output File Name: MadXXXXXX

Facility Inputs

| Soil Texture | Infiltration Rate (in/hr) | Depth (in) |
|--------------|---------------------------|------------|
| Sandy Loam | 3.94 | 36 |
| Sand | 5.91 | 36 |
| Sandy Loam | 0.5 | |

Underdrain

- Flowrate: 0 (in/hr)
- Diam.: 0 (in)

Target Stay-on

- Target Stay-on: 0 (in)
- Facility Area Ratio (%): Edit Text (%)
- FAV (%): 0.5

Results

Plant Survivability
(Less than 48 hours max ponding is desirable)

| | max | Total |
|---------------------|------|---------|
| Hrs. Ponded | 88.5 | 1062.75 |
| Number of overflows | 38 | |

Tributary Runoff (in)

- Precipitation: 28.81
- Impervious Runoff: 20.8212
- Pervious (Infil): 1.8031

Raingarden Water

| | (in) | % |
|---------------|-----------|----------|
| Runon | 13.4042 | 46.5262 |
| Rinoff | 13.3957 | 46.4967 |
| Recharge | 0.00914 | 0.028258 |
| Evaporation | 0.00032 | 0.001144 |
| Underdrain | 0 | 0 |
| Soil Moisture | 3.3785e-0 | 0.000117 |
| Stay-on | 15.4143 | 53.5033 |

Developed by the University of Wisconsin-Madison
Civil & Environmental Engineering Water Resources Group
(D. Atchison, A. Dussailant, L. Severson)

RUN SIMULATION

CLEAR RESULTS

Stay on Volume from this area

$$15.41 \text{ in} / 12 \times 102,366 \text{ sqft} = 131,455 \text{ cuft}$$

$$\text{Stay-on Volume required from other drainage areas} = 386,497 \text{ cuft} - 131,455 \text{ cuft} = 255,042 \text{ cuft}$$

PROPOSED CENTER DRAINAGE AREA WITH INFILTRATION AREA

RECARGA Version 2.3
Bioretention/Raingarden Sizing Program

Units: English

Planview Data

Facility Area: 1352 [sqft]

Tributary Area: 252 [acre]

Percent Impervious: 38

Pervious CN: 68

Facility Inputs

Soil Texture: Sandy Loam, Infiltration Rate: 3.94 [in/hr], Depth: 36 [in]

Storage Layer: Sand, Infiltration Rate: 5.91 [in/hr], Depth: 36 [in]

Underdrain: Flowrate: 15.6246 [in/hr], Diam: 3 [in]

Native Soil Layer: Sandy Loam, Infiltration Rate: 0.5 [in/hr]

Results

Plant Survivability (Less than 48 hours max ponding is desirable)

| | max | Total |
|---------------------|-----|-------|
| Hrs Ponded | 6.5 | 81.75 |
| Number of overflows | | 6 |

Tributary Runoff [in]: 28.61

Precipitation: 20.9212

Impervious Runoff: 1.8031

Pervious Runoff:

Raingarden Water

| | [in] | [in] |
|---------------|----------|----------|
| Runoff | 9.1734 | 31.8411 |
| Runoff | 2.1506 | 7.4647 |
| Recharge | 3.7356 | 12.9662 |
| Evaporation | 0.47645 | 1.6538 |
| Underdrain | 2.8476 | 9.884 |
| Soil Moisture | -0.03675 | -0.12756 |
| Stay-on | 23.8118 | 82.6513 |

Target Stay-on: 0 [in]

Facility Area Ratio (%): Edit Text [%]

FAR (%): 0.5

Stay-on [in]: 0, 0.5, 1

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RUN SIMULATION

CLEAR RESULTS

Stay on Volume from this area

$$23.81/12 \times 109,771 \text{sqft} = 217,803 \text{ cuft}$$

$$\text{Stay-on Volume required from the west area} = 255,042 - 217,803 \text{ cuft} = 37,239 \text{ cuft}$$

PROPOSED WEST DRAINAGE AREA WITH INFILTRATION AREA

RECARGA Version 2.3
Bioretention/Raingarden Sizing Program

Units: English

Planview Data

Facility Area: 920 [sq ft]
 Tributary Area: 1.5 [acre]
 Percent Impervious: 17
 Pervious CN: 68

Files

Regional Ave. ET: 0.13 [in/day]
 Simulation Type: Continuous
 Input File Length: 266 [days]
 Precip. File Name: Mad1991us
 Output File Name: MadXXXXXX

Facility Inputs

| Soil Texture | Infiltration Rate [in/hr] | Depth [in.] |
|-------------------|---------------------------|-------------|
| Root Layer | | 12 |
| Sandy Loam | 3.94 | 36 |
| Storage Layer | | |
| Sand | 5.91 | 36 |
| Native Soil Layer | | |
| Sandy Loam | 0.5 | |

Underdrain Flowrate: 0 [in/hr]
 Underdrain Diam.: 0 [in.]

Target Stay-on: 0 [in]
 Facility Area Ratio (%): Edit Text (%)
 FAR (%): 0.5

Stay-on [in]: 0, 0.5

Results

Plant Survivability (Less than 48 hours max ponding is desirable)

| | max | Total |
|---------------------|------|-------|
| Hrs. Ponded | 9.75 | 17 |
| Number of overflows | 0 | 0 |

Tributary Runoff [in]

Precipitation: 28.81
 Impervious Runoff: 20.8212
 Pervious Runoff: 1.8031

Raingarden Water [in]

| | max | Total |
|---------------|----------|---------|
| Runoff | 5.6759 | 19.7011 |
| Runoff | 0 | 0 |
| Recharge | 4.5123 | 15.6624 |
| Evaporation | 1.4605 | 5.0593 |
| Underdrain | 0 | 0 |
| Soil Moisture | -0.29691 | -1.0305 |
| Stay-on | 28.81 | 100 |

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Buttons: RUN SIMULATION, CLEAR RESULTS

Stay on Volume from this area

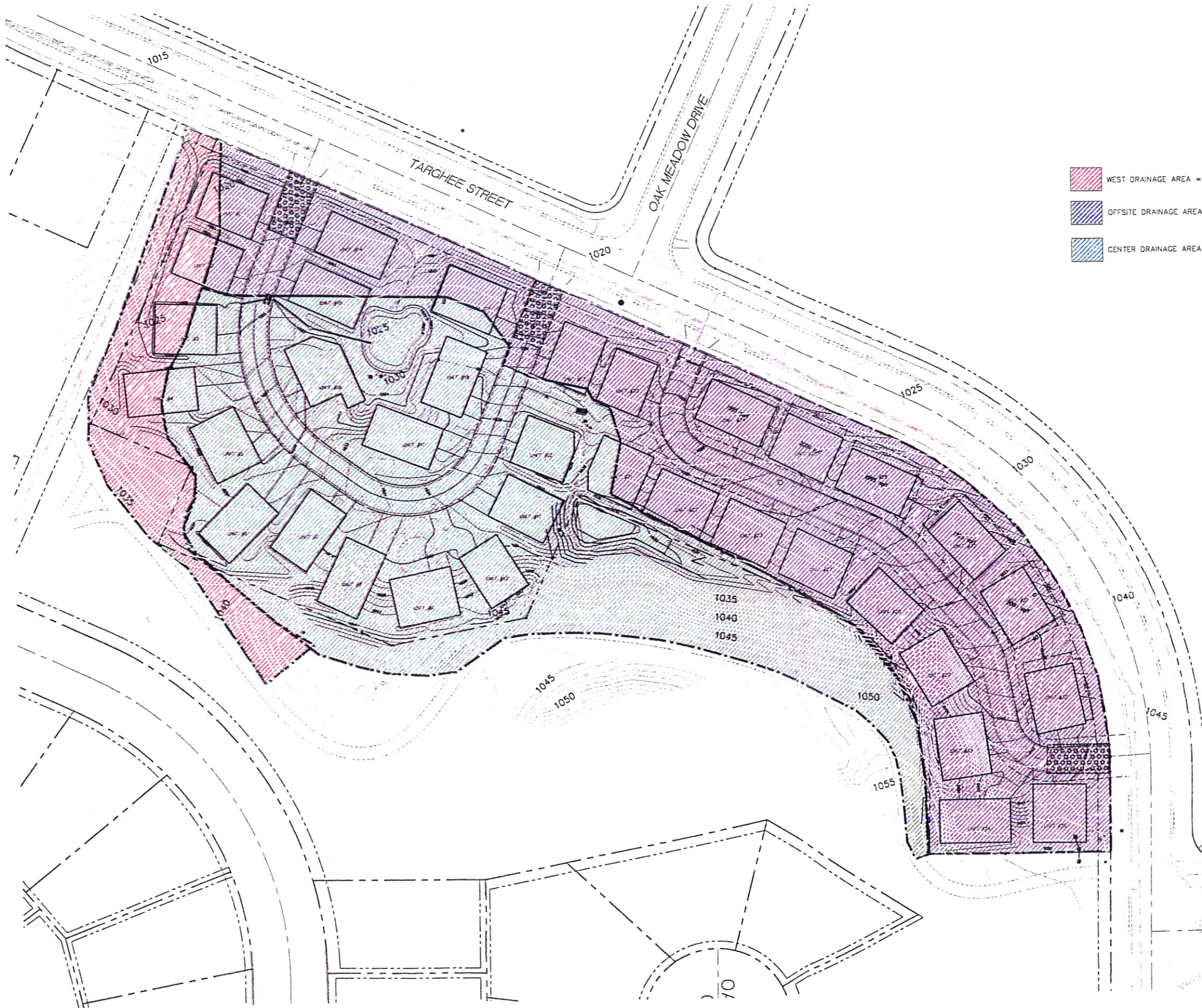
$$28.81/12 \times 21,780 \text{sqft} = 52,290 \text{cuft}$$

$$37,239 \text{ cuft} - 52,290 \text{ cuft} = -15,051 \text{ cuft}$$

above the requirements is accomplished

15,051 cuft of Stay on Volume is accomplished above what is required, therefore the site meets the required infiltration requirements.

NOTE:
ARCHITECT TO COORDINATE GRADES WITH ENGINEER
PRIOR TO FINAL CONSTRUCTION PLANS



- WEST DRAINAGE AREA = 0.50 AC.
- OFFSITE DRAINAGE AREA = 2.35 AC.
- CENTER DRAINAGE AREA = 2.52 AC.

JSD Professional Services, Inc.
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- PLANNING & DEVELOPMENT
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- TRANSPORTATION ENGINEERING
- LANDSCAPE ARCHITECTURE
- SURVEYING AND MAPPING
- CONSTRUCTION MANAGEMENT

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PREPARED FOR:
**COMMUNITY
CONDOMINIUM
DEVELOPMENT
CORPORATION**
5511 MCGANN LANE, SUITE 108
FITCHBURG, WI 53711

PROJECT
**CAPITOL HEIGHTS
HOMES
CONDOMINIUM**
TARGHEE STREET
FITCHBURG, WISCONSIN

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.

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| ITEM | DATE |
|--------------|----------|
| Drawn: GVP | 03/22/11 |
| Checked: DJM | 03/22/11 |
| Approved: | |

SEAL/SIGNATURE

SHEET TITLE
**REVISED INFILTRATION
DRAINAGE PLAN**

SHEET NUMBER
1 OF 1

JSD PROJECT NUMBER
SL1705

JSD PROJECT FILE

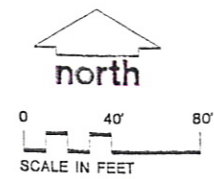
SCALE
As Noted

TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES CALL 1-800-485-5111 TOLL FREE

CALL DIGGERS HOTLINE
1-800-485-5111 TOLL FREE

WHEN YOU CALL THE HOTLINE YOU WILL RECEIVE A FREE COPY OF THE "CALL BEFORE YOU DIG" MANUAL

FOR MORE INFORMATION ON THE HOTLINE, VISIT OUR WEBSITE AT www.callbeforeyoudig.com



NOTE:
BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY. REFER TO FOUNDATION PLAN FOR DIMENSIONS.

APPENDIX B

Tree Protection Specifications

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TREE PROTECTION

- A. The Contractor shall place construction fence around designated trees *and* protected root zones (PRZ), as shown on the Grading and Erosion Control Plan.
- B. The construction fence must be erected and maintained outside the PRZ. Visible "Off Limits" signs must be posted at 50-foot intervals along the fence. The following is prohibited within the PRZ:
 - (1) grading and excavation except as shown.
 - (2) storage or parking of machinery, equipment or vehicles.
 - (3) storage, stockpiling, or dumping of construction materials, waste, refuse and excavated soils.
 - (4) runoff or spillage of noxious materials.
 - (5) ponding, erosion, or excessive wetting caused by dewatering operations.
 - (6) attachment of any object to tree branches or trunks.
- C. All trees designated for preservation must be thoroughly watered and injection fertilized with a water soluble 10-6-6 fertilizer throughout the PRZs prior to pruning and prior to the removal of nearby trees to reduce the risk of stress and to enhance the recovery periods. Watering must continue throughout the growing season at a rate of 1 inch of water per week.
- D. The PRZs must then be covered with 3"- 4" of shredded mulch or 4"- 6" of wood chips.
- E. Protect and preserve soil surrounding PRZs for future tree planting. Apply a layer of wood chips at least six inches thick over areas that will be used for traffic or materials storage during construction. If these areas become part of the new landscape, the wood chips will prevent the soil from becoming too compacted.
- F. Any roots that must be severed within the PRZs must be cut with sharp, clean root cutting equipment. The roots must be cut cleanly avoiding any ripping or tearing – do not tear, break, or chop roots. Cover exposed roots within one hour with soil, mulch, or damp burlap.
- G. All paved areas and foundations must be located outside of the PRZs of trees designated for preservation. In the case of exceptions, any tree designated for preservation whose PRZ is encroached by pavement or a foundation must be protected by a root barrier to prevent damage to the pavement or foundation and to protect the health of the tree.
- H. Any PRZ that suffers compaction due to construction or the operation of heavy equipment must be ameliorated with a deep-water aeration system.

- I. When construction is completed, all preserved trees must be thoroughly watered and the mulch should be retained to cover the PRZs at a depth of 3" - 4".
- J. Tree protection shall be paid at the contract unit price.

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