

LEGEND

15 ACRES Business Park (BP)
(Up to 36 acres with hatched areas)

7 ACRES Neighborhood Mixed Use (NMU)

29 ACRES High Density Residential (HDR)
(Up to 43 acres with hatched areas)

32 ACRES Medium-High Density Residential (MHD)

34 ACRES Medium Density Residential (MDR)

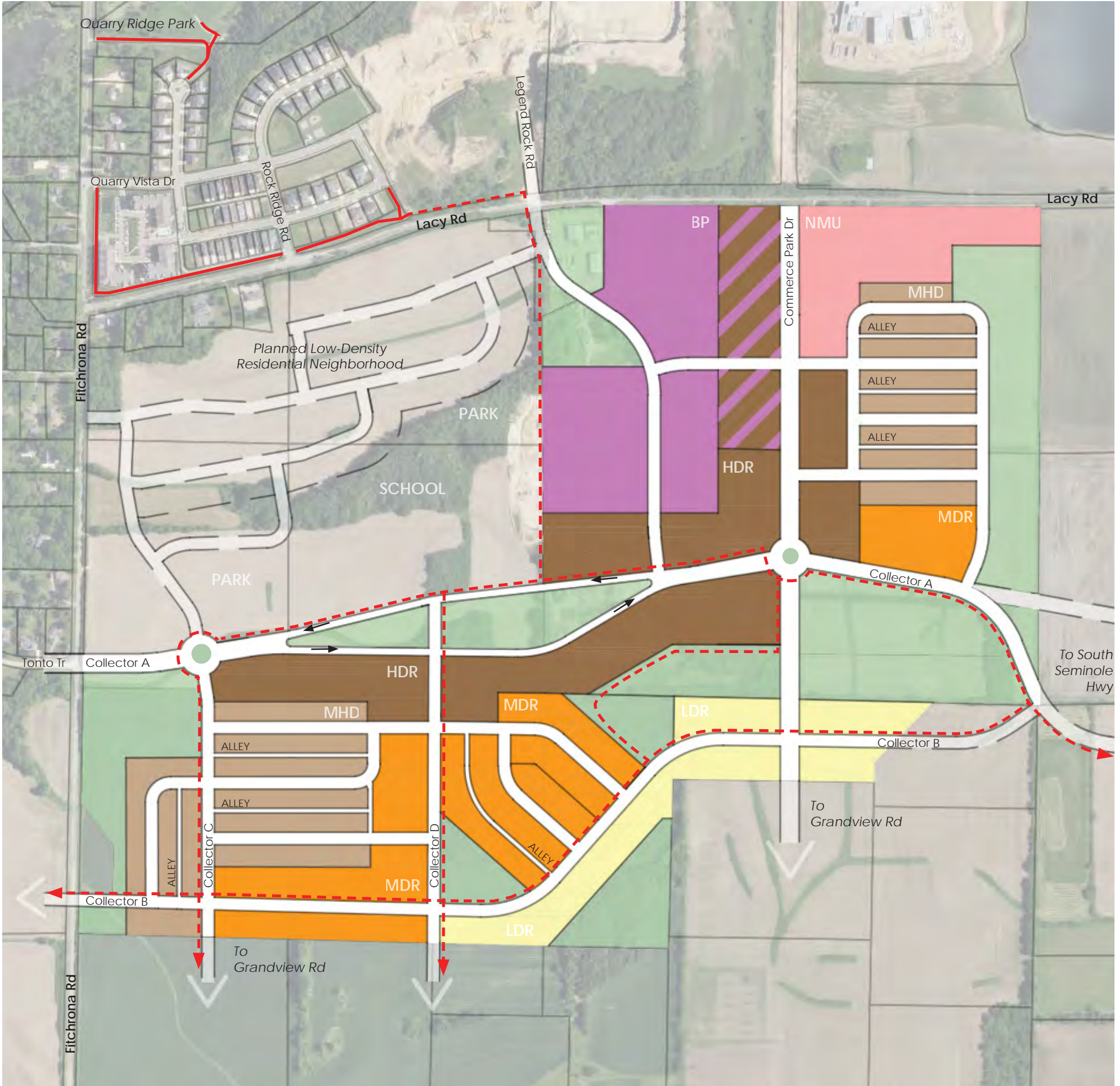
14 ACRES Low Density Residential (LDR)

25 ACRES School

69 ACRES Parks, Open Space, & Stormwater Management

 Traffic Circle





LEGEND

25 ACRES Business Park (BP)
(Up to 34 acres with hatched areas)

36 ACRES High Density Residential (HDR)
(Up to 44 acres with hatched areas)

29 ACRES Medium-High Density Residential (MHD)

29 ACRES Medium Density Residential (MDR)

15 ACRES Low Density Residential (LDR)

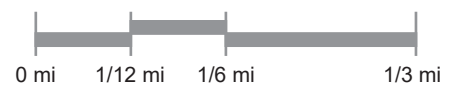
12 ACRES Neighborhood Mixed Use (NMU)

68 ACRES Parks, Open Space, & Stormwater Management

 Traffic Circle

 Existing Trails


 Proposed Trails



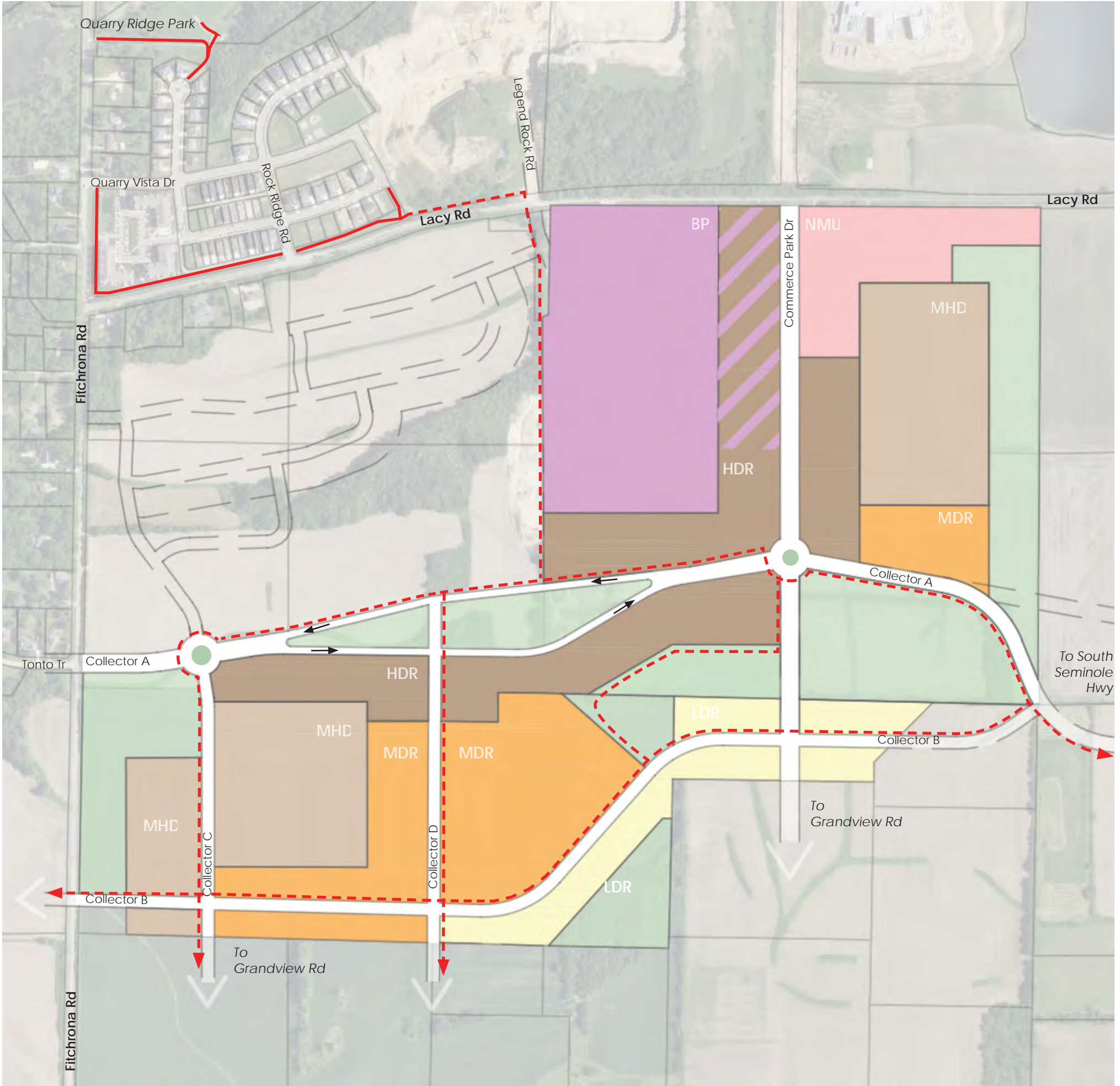


LEGEND

- 33 ACRES** Business Park (BP)
(Up to 43 acres with hatched areas)
- 38 ACRES** High Density Residential (HDR)
(Up to 47 acres with hatched areas)
- 42 ACRES** Medium-High Density Residential (MHD)
- 38 ACRES** Medium Density Residential (MDR)
- 15 ACRES** Low Density Residential (LDR)


- 12 ACRES** Neighborhood Mixed Use (NMU)
- 59 ACRES** Parks, Open Space, & Stormwater Management
-  Traffic Circle





LEGEND

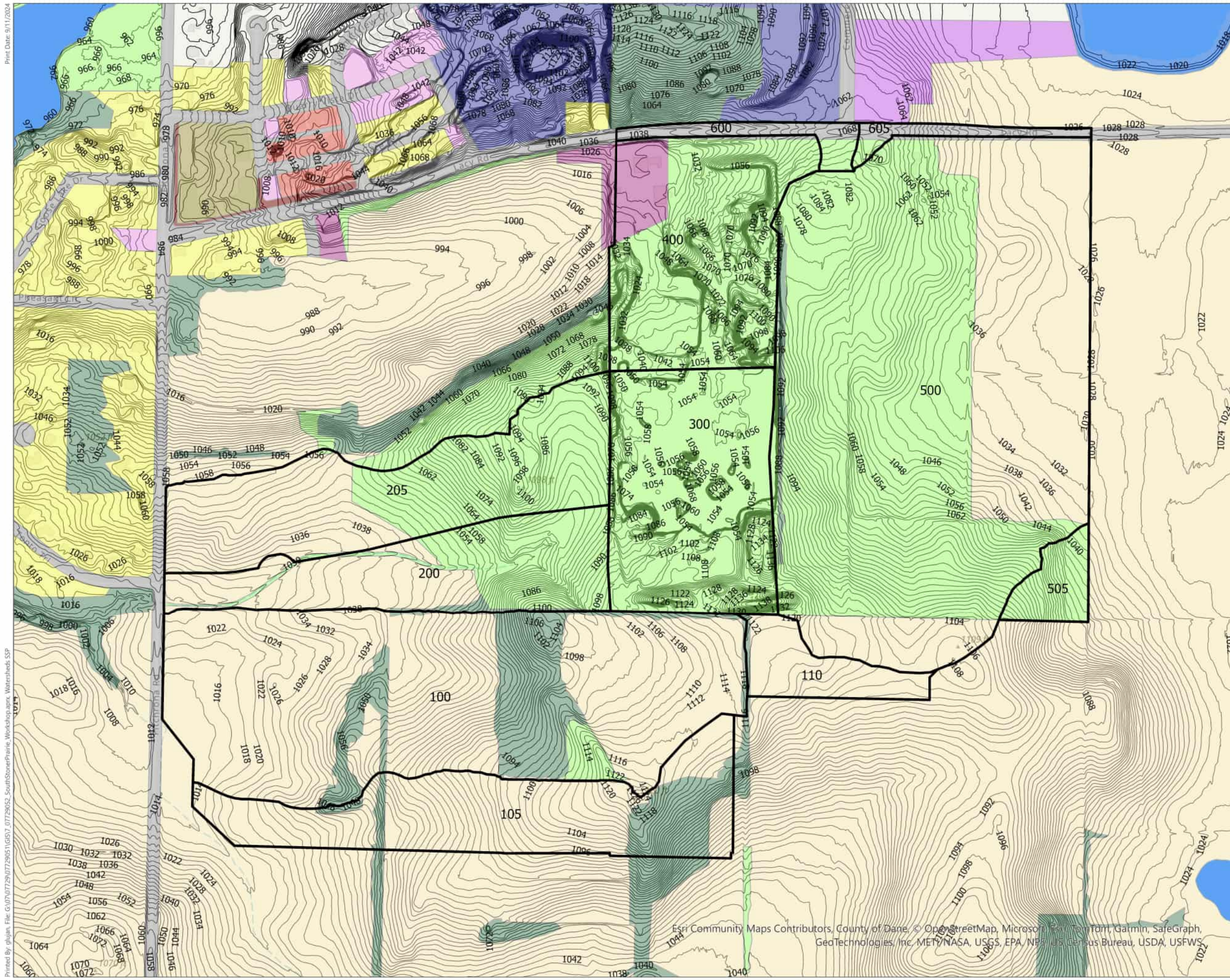
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- 12 ACRES** Neighborhood Mixed Use (NMU)
- 59 ACRES** Parks, Open Space, & Stormwater Management
-  Traffic Circle
-  Existing Trails
-  Proposed Trails



EXISTING WATERSHED MAP

SOUTH STONER PRAIRIE NEIGHBORHOOD PLAN CITY OF FITCHBURG DANE COUNTY, WISCONSIN



- Existing South Stoner Prairie Watersheds
- Agriculture
- Duplex
- Industrial
- MFR
- Open Land
- Path
- Quarry
- ROW
- SFR
- Utilities
- Vacant
- Water
- Woodland
- Business
- Contours_2ft_Both

Data Sources:

Esri Community Maps Contributors, County of Dane, © OpenStreetMap, Microsoft, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc. METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS



Goose Lake Dr

Stone Gate Dr

LACY RD

Lacy Rd

Fitchron Rd

TOWN OF VERONA

ULTIMATE LAND DEVELOPMENT (BEYOND GRADING AND REVEGETATION SHOWN)
SUBJECT TO FUTURE LAND USE REQUIREMENTS

AGRICULTURAL & GREEN SPACE RECLAMATION

Redistribute all existing topsoil and overburden across parcel
Maximum side slope gradient (finished slopes) not to exceed 3:1
Minimum sheet drainage pitch - 1%
Fine grade and seed upon completion
Drainage to remain internal within restored area

REWORK FOR ROAD CONNECTION

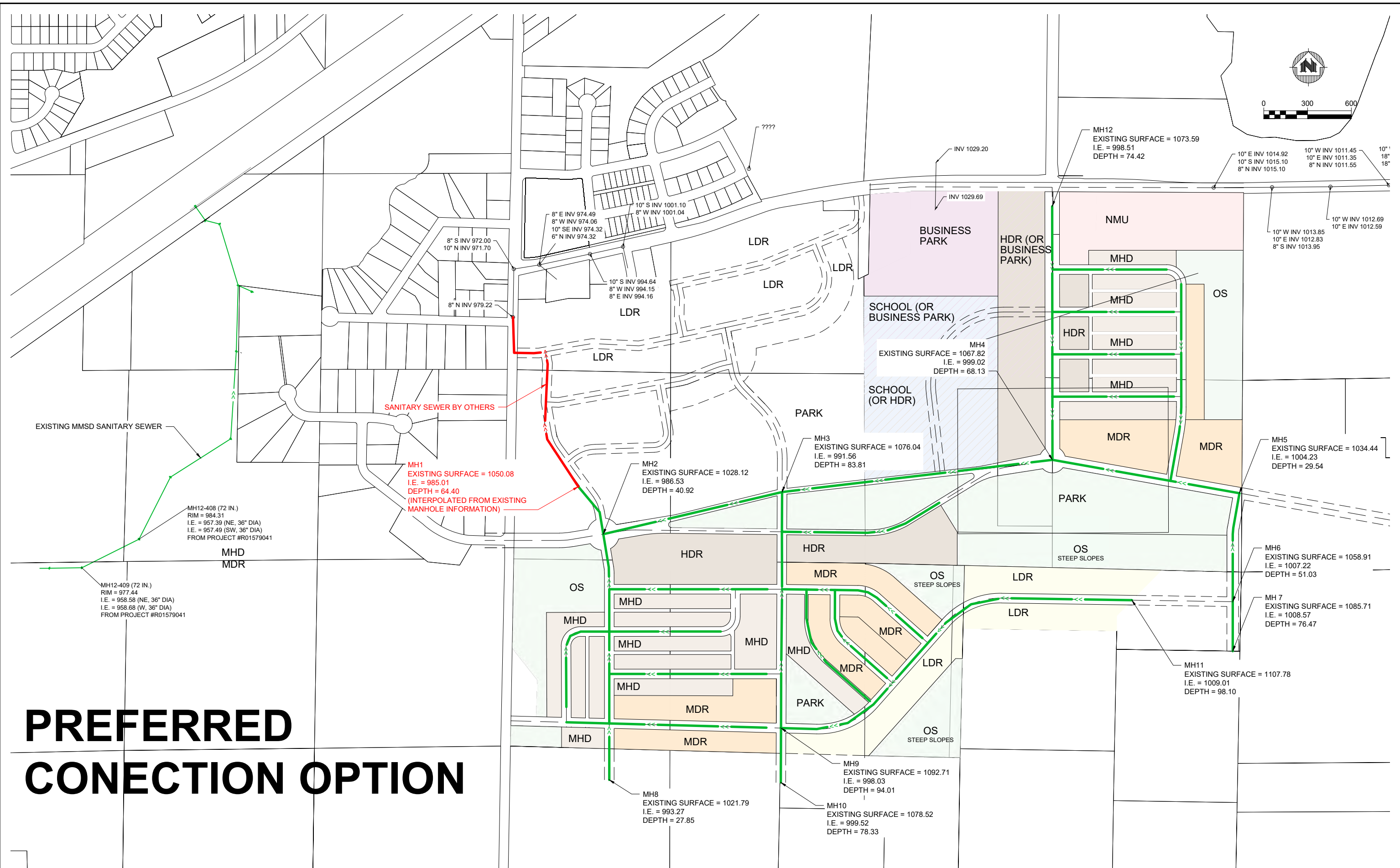
2% MAX SLOPE On
200' Paved Drive
3:1 SLOPE
from Paved Drive

100' MINIMUM SET-BACK
FROM LACY RD ROW

RECLAMATION SOILS
Graded at 2% SLOPE to
Promote Drainage
100' MINIMUM SET-BACK
FROM EAST PROPERTY LINE

RECLAMATION PLANS COMBINED





PREFERRED CONNECTION OPTION

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
	Init				
	Init				
	Init				

PRELIMINARY

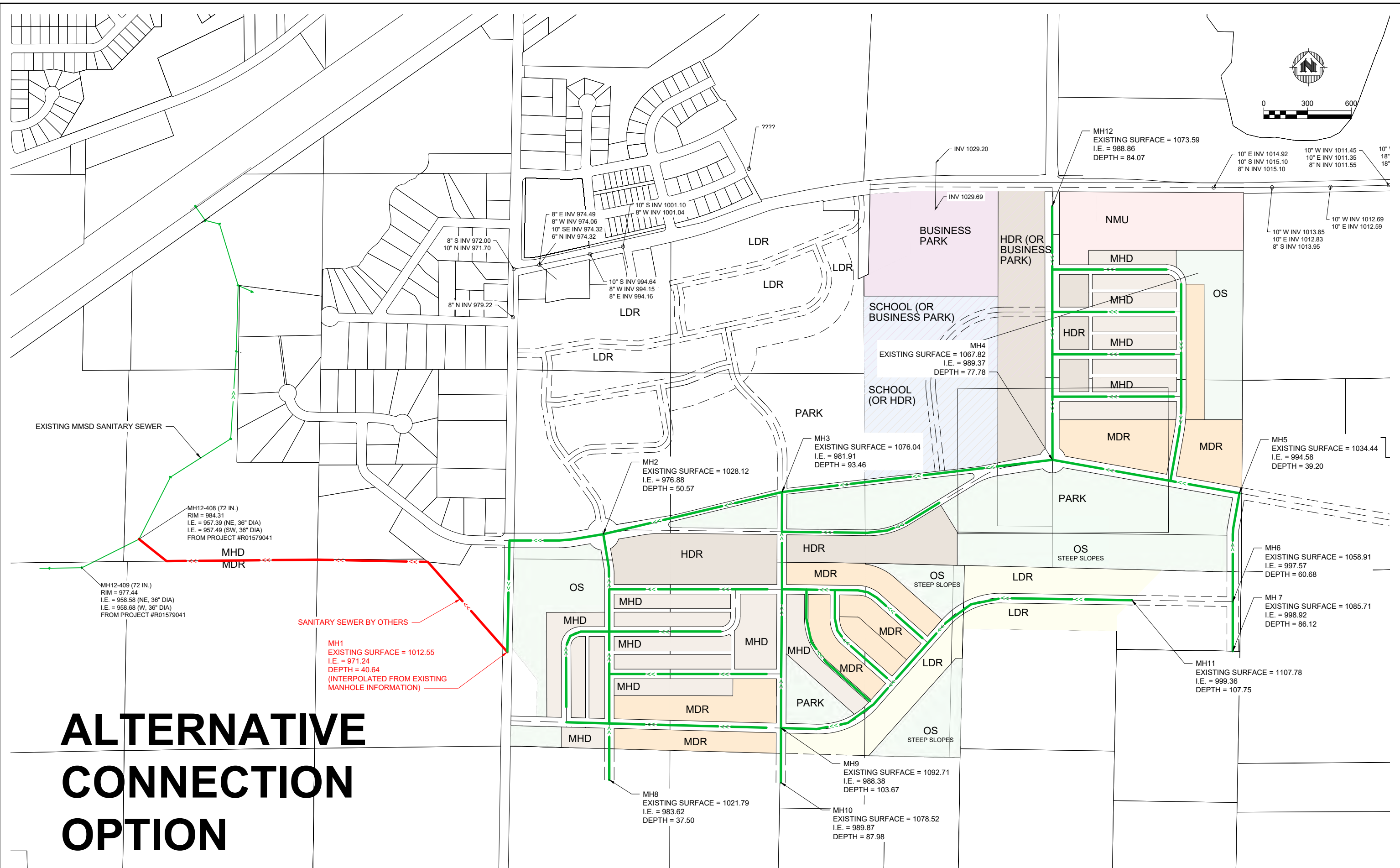
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SOUTH STONER PRAIRIE NEIGHBORHOOD
 CITY OF FITCHBURG
 DANE COUNTY, WI

PRELIMINARY SANITARY LAYOUT - NORTH CONNECTION

PROJECT NO. 07729051
 SHEET EX1

PLOT DATE: 8/28/2024 4:39 PM, G:\07\0729\07729051\CADD\C3D\Sanitary Sewer Analysis\07729051 Sanitary Exhibits.dwg



ALTERNATIVE CONNECTION OPTION

MH1
 EXISTING SURFACE = 1012.55
 I.E. = 971.24
 DEPTH = 40.64
 (INTERPOLATED FROM EXISTING MANHOLE INFORMATION)

MH12-408 (72 IN.)
 RIM = 984.31
 I.E. = 957.39 (NE, 36" DIA)
 I.E. = 957.49 (SW, 36" DIA)
 FROM PROJECT #R01579041

MH12-409 (72 IN.)
 RIM = 977.44
 I.E. = 958.58 (NE, 36" DIA)
 I.E. = 958.68 (W, 36" DIA)
 FROM PROJECT #R01579041

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
	Init				
	Init				
	Init				

PRELIMINARY

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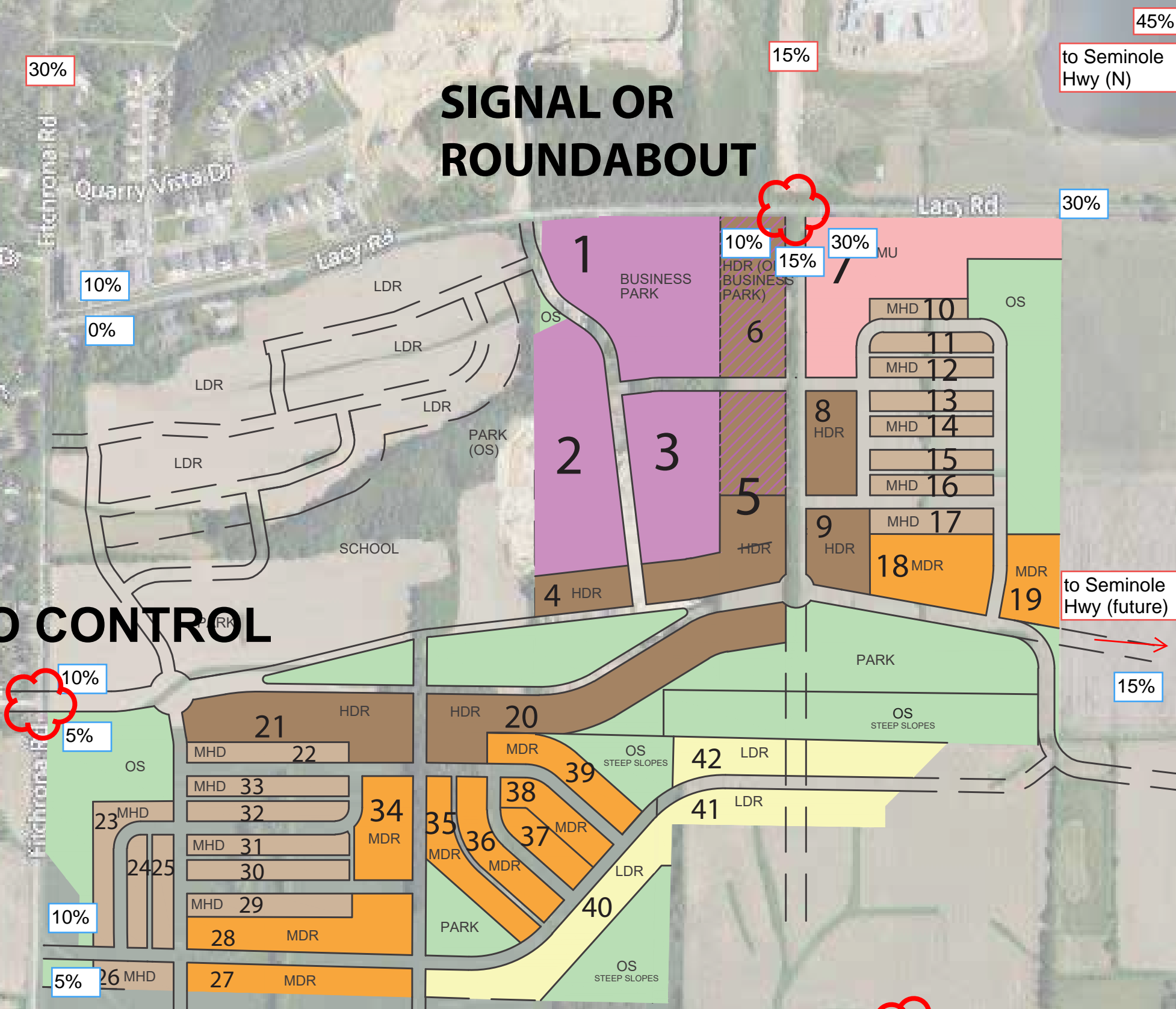
PRELIMINARY SANITARY LAYOUT - MMSD WEST
 CONNECTION

PROJECT NO.
07729051
 SHEET
EX2

South Stoner Development Trip Distributions
City of Fitchburg, WI

**SIGNAL OR
ROUNDBABOUT**

NO CONTROL






-  Study Intersection
-  Overall Distributions
-  Internal Distributions

Exhibit 1, Trip Generation Table

South Stoner Development													
ITE Land Use	ITE Land Use Code	Parcel Acres	FAR Density	Size	Units		Weekday Two-way	AM Peak Hour			PM Peak Hour		
								Total	In	Out	Total	In	Out
Single-Family Detached Housing (Lots 40-42)	210	15.8	-	79	Dwelling Units	Rate		0.00		0.00		0.00	0.00
						Percentage			25%	75%		63%	37%
						Raw Trips	810	60	15	45	80	50	30
	Minus Linked Trips	0%	Trips	0	0	0	0	0	0	0			
	Driveway Trips	810	60	15	45	80	50	30					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	810	60	15	45	80	50	30					
Single-Family Attached Housing (Lots 10-17,22-26, 29-33,35,36)	215	34.7	-	631	Dwelling Units	Rate		0.00		0.00		0.00	0.00
						Percentage			25%	75%		59%	41%
						Raw Trips	4,760	320	80	240	375	220	155
	Minus Linked Trips	0%	Trips	0	0	0	0	0	0				
	Driveway Trips	4,760	320	80	240	375	220	155					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	4,760	320	80	240	375	220	155					
Multi-Family Housing (Low-Rise) (Lots 6,8,18,19,21,27,28,34,37-39)	220	41.8	-	1484	Dwelling Units	Rate		0.00		0.00		0.00	0.00
						Percentage			24%	76%		63%	37%
						Raw Trips	9,590	480	115	365	660	415	245
	Minus Linked Trips	0%	Trips	0	0	0	0	0	0				
	Driveway Trips	9,590	485	115	365	660	415	245					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	9,590	485	115	365	660	415	245					
Multi-Family Housing (Mid-Rise) (Lots 4,5,9,20)	221	38.3	-	3064	Dwelling Units	Rate		0.00		0.00		0.00	0.00
						Percentage			23%	77%		61%	39%
						Raw Trips	14,570	1,335	305	1,030	1,195	730	465
	Minus Linked Trips	0%	Trips	0	0	0	0	0	0				
	Driveway Trips	14,570	1,335	305	1,030	1,195	730	465					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	14,570	1,335	305	1,030	1,195	730	465					
Coffee/Donut Shop With Drive-Through Window (Lot 7)	937	1.9	-	3.5	1,000 sf	Rate	533.57	85.88	43.80	42.08	38.99	19.50	19.50
						Percentage			51%	49%		50%	50%
						Raw Trips	1,865	300	155	145	135	70	65
	Minus Linked Trips	20%	Trips	(375)	(60)	(30)	(30)	(25)	(15)	(10)			
	Driveway Trips	1,490	240	125	115	110	55	55					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	1,490	240	125	115	110	55	55					
Strip Retail Plaza (<40ksf) (Lot 7)	822	5.0	-	25.0	1,000 sf	Rate	54.45	2.36	1.42	0.94		0.00	0.00
						Percentage			60%	40%		50%	50%
						Raw Trips	1,360	60	35	25	165	80	85
	Minus Linked Trips	20%	Trips	(270)	(10)	(5)	(5)	(35)	(15)	(20)			
	Driveway Trips	1,090	50	30	20	130	65	65					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	1,090	50	30	20	130	65	65					
Strip Retail Plaza (<40ksf) (Lot 7)	822	5.0	-	25.0	1,000 sf	Rate	54.45	2.36	1.42	0.94		0.00	0.00
						Percentage			60%	40%		50%	50%
						Raw Trips	1,360	60	35	25	165	80	85
	Minus Linked Trips	20%	Trips	(270)	(10)	(5)	(5)	(35)	(15)	(20)			
	Driveway Trips	1,090	50	30	20	130	65	65					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	1,090	50	30	20	130	65	65					
General Office Building (Lot 1)	710	13.1	0.25	142.7	1,000 sf	Rate			0.00	0.00		0.00	0.00
						Percentage			88%	12%		17%	83%
						Raw Trips	1,580	225	200	25	225	40	185
	Minus Linked Trips	0%	Trips	0	0	0	0	0	0				
	Driveway Trips	1,580	225	200	25	225	40	185					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	1,580	225	200	25	225	40	185					
Manufacturing (Lot 2)	140	10.8	0.25	117.6	1,000 sf	Rate			0.00	0.00		0.00	0.00
						Percentage			76%	24%		31%	69%
						Raw Trips	645	80	60	20	85	25	60
	Minus Linked Trips	0%	Trips	0	0	0	0	0	0				
	Driveway Trips	645	80	60	20	85	25	60					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	645	80	60	20	85	25	60					
General Office Building (Lot 3)	710	8.3	0.25	90.4	1,000 sf	Rate			0.00	0.00		0.00	0.00
						Percentage			88%	12%		17%	83%
						Raw Trips	1,065	155	135	20	155	25	130
	Minus Linked Trips	0%	Trips	0	0	0	0	0	0				
	Driveway Trips	1,065	155	135	20	155	25	130					
	Minus Pass-by Trips	0%	Trips	0	0	0	0	0	0				
	New Trips	1,065	155	135	20	155	25	130					
Development Trip Generation Summary							Weekday Two-way	AM Peak Hour			PM Peak Hour		
								Total	In	Out	Total	In	Out
Raw Trip Generation							37,605	3,075	1,135	1,940	3,240	1,735	1,505
Linked Trips							(915)	(80)	(40)	(40)	(95)	(45)	(50)
Total Driveway Trips							36,690	2,995	1,095	1,900	3,145	1,690	1,455
Pass-by Trips							0	0	0	0	0	0	0
Total New Trips							36,690	2,995	1,095	1,900	3,145	1,690	1,455

All land uses shown in this exhibit use trip generation rates from the ITE Trip Generation Manual, 11th Edition, unless otherwise noted
 Fitted curve equation used when Total Rate is not shown
 All trips rounded to the nearest 5

