



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg WI 53711
Phone (608) 270-4200

REZN-24-18

Rezoning Conditions of Approval

1. **Project Name:** Jamestown Quarry Commercial SIP
2. **Location:** 43.0171, -89.4819
3. **Permit Request No.:** RZ-2573-24
4. **Ordinance No.:** 2024-O-35
5. **Decision Date:** November 19, 2024
6. **Legal Description:** Metes and bounds
7. **Current Zoning Districts:** PDD-GIP
8. **Proposed Zoning Districts:** PDD-SIP

Zoning Conditions

1. No other permit or approval is waived or deemed satisfied except for the approval provided herein.
2. Approval and recording of the final plat and subdivision improvement agreement.
3. Standards of the PDD-SIP Ordinance are specified in greater detail in the Jamestown Quarry Commercial SIP document attached herein and shall include:
 - a. Commercial District
 - i. Permitted uses: Office Activities (i.e., Finance, Real Estate, Insurance. (60—67, except for convenience cash business) and Commercial Activities (only one single-tunnel Car Wash (754) and Restaurants, All Classes. (5812)).
 - ii. Conditional Uses: No conditional uses are permitted.
 - iii. Minimum Lot Area: 8,000 square feet.
 - iv. Minimum Lot Width (measured along McKee Road frontage): 50 feet.
 - v. Building height: Minimum 1.5 stories or 20 feet whichever is greater; Maximum 3 stories or 42 feet, whichever is less.
 - vi. Open space: 25 percent
 - vii. Setbacks: per the SIP document
 - viii. Bicycle Parking, Long-Term: Minimum 1 space per 10,000 square feet, with a minimum of 2 spaces.
 - ix. Bicycle Parking, Short-Term: Minimum 1 space per 15,000 square feet (minimum 2 spaces) for Office, minimum 1 space per 5,000 square feet (minimum 2 spaces) for Restaurant.
 - x. Placemaking Strategies per the SIP document are required for all development.
4. Upon approval by Plan Commission and Council, the applicant shall provide the original signed and notarized PDD-SIP document to the city within 30 days of the date of Council adoption for recordation.
5. Full transportation improvements, including land dedications as necessary, as recommended by the Traffic Impact Analysis to maintain a level of service to be coordinated with and approved by City Engineering staff.
6. Multi-modal and transit facilities shall be coordinated with City staff and Madison Metro staff and provided in full detail in prior to ADR approval.
7. Prior to approval of any architectural design reviews for lots in this PDD, the developer shall provide private maintenance and access agreements. The developer shall also provide a maintenance plan for all common areas.
8. Fencing and retaining walls in the environmental buffer abutting existing residential development shall be approved by staff.
9. Additional details other than those shown in the PDD plans for landscaping, site design, massing, parking, lighting, and signage shall all be determined in an ADR approval by the City.
10. Full building permits may not be issued for the lots in this PDD until substantial completion of public improvements for the phase in the Subdivision Improvement Agreement the lots are within. Substantial completion is once the binder is place on the public roads. All other public improvements are required to be installed prior to placement of binder on public streets. In addition, sanitary service needs to be provided to each lot.
11. Proposed grading, stormwater and erosions control shall be approved by the City of Madison.
12. Applicant shall provide a revised and approved by Dane County Quarry Reclamation Plan prior to any building permit or early start.
13. Applicant's responsibility to satisfy all Public Works and Fire Department requirements prior to issuance of permits.



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REZN-24-18

Rezoning Feedback Letter

Issued to: Chris Dawson

Issued Date: November 6, 2024

Location: ,

This feedback letter contains the comments from our internal departments in regards to your recently submitted Rezoning Application. Please read through the feedback and attach any adjusted materials to the form in our OpenGov portal. Also submit an explanation of the changes you've made in a separate attachment.

Responses provided by Chris Dawson on November 11, 2024.

Planning & Zoning Comments

<u>Submitted by</u>	<u>Date</u>	<u>Status</u>	<u>Comment</u>
Planning	October 31, 2024	Open	<ol style="list-style-type: none"> 1. Be prepared to provide an overview of your proposal to the Plan Commission and to be available for questions. In-person or virtual attendance for applicants is permitted. Be sure to contact Deanna Schmidt or Zack Jones in the Planning office for virtual attendance registration in advance of the meeting. <ol style="list-style-type: none"> a. Understood. 2. All outstanding fees and assessments, if any, must be paid. <ol style="list-style-type: none"> a. Understood. 3. The building height minimum shall return to the GIP standard of 1.5 stories or 20 feet, whichever is higher. <ol style="list-style-type: none"> a. Height minimum has reverted to 20 feet. 4. Add the statement that conditional uses are not permitted if that is what is desired. Note that the proposed SIP does not allow drinking establishments. If desired, drinking establishments could be allowed as a conditional use permit. <ol style="list-style-type: none"> a. Statement provided in updated SIP language. 5. The design requirements reference accessory buildings but the zoning standards don't indicate accessory buildings. Please clarify if accessory buildings are expected and the setback requirements. McDonald's has a shed that does not appear to conform to the side setbacks.

- a. Additional language has been provided to address accessory buildings.
6. Landscaping, site design, massing, parking, lighting, and signage were all deemed to be dealt with during SIP and/or ADR approval in the Plan Commission approval. Typically, considerations for site design and signage are administered in SIP approval. Please provide standards for such considerations.
 - a. All mentioned standards are included in the SIP language, however, Signage standards will adhere to Chapter 26 ordinances.
7. A "hold corner" was discussed at the GIP. Please provide further details for such in the SIP and what standards will be expected to be incorporated in any future ADR approval. Are you proposing the "design requirements" to address such?
 - a. The Chase bank facade does not adequately address the hold corner. Additional height and architectural prominence is required.
 - b. The bank design team is working on a revised design that will further address the needs of the hold corner. Revisions will be reflected further in future ADR submittal.
8. What can be done to the bank on the engage the facade with public view in a more urban form as seen from McKee and Fitchrona roads? We met with Chase and I expected a revision to the proposed plans. The ease elevation appears to leave roof top equipment exposed. Additional height is needed for this building similar to the Taco Bell across the street.
 - a. As part of the revisions mentioned in the previous comment, wing walls will be incorporated to address any visibility concerns as it relates to exposed roof top equipment and to cut down on the amount of white TPO visible along the McKee and Fitchrona facades.
9. The proposed facades and site plans are not consistent with staff's requests and the proposed SIP - specifically:
 - In an effort to promote the history of the site as a quarry, site designs will incorporate stonework (i.e. sandstone, limestone, etc.) in building façades, landscape design, and/or monument signage. The individual buildings shall have a consistency of materials and color to generate a sense of place.
 - a. All sites will be revising plans to reflect higher degrees of stonework and masonry with consistent color palettes.
10. Signage standards are unclear and not consistently provided by each commercial user. Therefore, the SIP

will state that signage will be approved under Chapter 26.

a. Understood.

11. Coordinating multi-modal and transit facilities was required with the GIP approval. What considerations have you developed to address these concerns? Or are they anticipated to be dealt with for later SIP approvals?
 - a. Transit accommodations and multimodal facilities are depicted in the plans by way of the proposed bus pad and sidewalks/bike path respectively.
12. Please provide more detail regarding any transportation improvements that are being proposed with this development. If deferring to ADR stages, please provide details for such.
 - a. Transportation improvements continue to be coordinated with City Public Works and County Highways staff. Final plans for these improvements will be submitted separately from the SIP.
13. Is the proposed multi-use path going to cross by the private road entrance to this property? If so, what safety measures will be taken to ensure there is minimal vehicle/bike-ped friction?
 - a. Yes. Appropriate signage and pavement markings will be installed to address safety for vehicle/ped-bike interactions.
14. Note in the SIP documentation that the developer is responsible for the maintenance of the multi-use path.
 - a. Noted.
15. With the condos to the west at a much lower elevation, staff believes a mounting height of 30' for luminaires seems too high even with the dark sky requirement. Staff prefers a lower mounting height.
 - a. The vegetated buffer is intended to aid in this concern by providing visual screening from light sources. Additionally, each site can provide a photometric plan to prove light spill is adequately addressed. Further clarification language has been added to the SIP.
16. Ensure that the drive thru's will not create noise and light disruptive to the neighboring condos. This is particularly an issue for McDonald's.
 - a. Lighting impacts must be addressed prior to growth of proposed vegetation.
 1. See comment response above.
 - b. Signage will need to be addressed through conditional use permit in conformance to

Chapter 26. Note the 150 SF limit for all signage this will not be modified by this SIP.

1. Understood.

17. Shared vehicle parking is encouraged. The city does not require a certain number of parking spaces. Can the proposal reduce the number of parking spaces? If not, please provide an explanation.
 - a. Shared parking is not feasible between the proposed site users and each site is intended to be self-parked. Shared parking will be further considered for sites within the remaining areas of the GIP. Stall counts are optimized for each site user and their respective needs to serve visitors.
18. All transformers should be located on the private road frontage, not McKee Road.
 - a. All users have indicated transformers along the private road are not feasible and that they will include landscaping screening surrounding the transformers. Additional language has been added to the SIP to further address.
19. McDonald's needs to provide a safe pedestrian connection between McKee Road sidewalk and the front door.
 - a. Due to the spatial constraints of the site, including a sidewalk through the site would require the removal of landscape screening. The user believes the site is well served by sidewalk immediately west and north of the parcel and therefore requests the route remain as shown.
20. The four buildings shall provide coordinating facade colors and materials. This is has been a requirement from the start based in the Anton Drive Plan. Coordination will shape a sense of place.
 - a. Understood, pending site plan revisions will address this comment further.
21. Landscaping and grading on the outlots:
 - a. The grading plan and cross-sections seem to indicate that runoff from the development will impact the condos. The area is currently heavily vegetated and limited impact on the condos. Clearing and regarding will create issue. How will this be addressed?
 1. Appropriate measures will be installed to ensure stormwater discharge rates towards the western condos do not increase with the development. Such measures will be reflected in the EC/SWM permit application materials.

- b. The slopes are steep. How will this area be maintained to remove weeds, invasives, and trash?
 - 1. Developer will include this area in overall maintenance plan.
- c. The plans need to include fencing along the west and north property lines: wood screen fencing similar to that proposed for the multifamily development.
 - 1. We understand further coordination on this item is in process between City departments and we will coordinate as needed.
- d. When will the plantings and fencing be installed at the west and north property lines? At a minimum the plantings and fencing must be installed prior to occupancy of the commercial lots.
 - 1. See above comment response.
- e. Substitution of plants and plant sizes are not allowed without staff approval.
 - 1. Further language added to Landscape Design section of SIP.
- f. Will the slopes of the detention pond be mown? How will the owner ensure that the area remains maintained in an attractive manner? What will be used to prevent the build-up of scum and algae?
 - 1. All points will be addressed in the pending Maintenance Agreement.
- g. Will the detention pond be fenced? If so, provide details?
 - 1. It is not currently proposed to be fenced as a fence would encroach on the PUE.
- h. Provide details of the light fixtures to be installed for the private road.
 - 1. Fixtures will be Lumark Prevail LED's or approved equal.
- i. What of the retaining wall materials? Provide details for the railing?
 - 1. Retaining wall will be modular block by Redirock or approved equal. Material will be textured and of a limestone color.
- j. Provide a list of species or specifications for the shortgrass prairie mix, rainwater renewal mix and woodland mix. Will the woodland mix survive prior to significant canopy from newly planted trees?

- 1. All seed mix specs are provided at the supplier's website (Agrecol) as noted on the landscape details sheet. The woodland mix has a blend of full sun to full shade species that ensures it would survive without an initial full canopy.
 - k. Shade trees are needed in the landscape area between the buildings and McKee Road. Chick-fil-A did this. This was also required in Orchard Pointe.
 - 1. Landscape plans will be revised to reflect this requirement.
- 22. Staff noted in the Final Plan review that a shared access and maintenance agreement is needed for the private road, stormwater facilities multi-use path, and environmental area to the west. This maintenance agreement shall provide a maintenance and management plan for landscaped areas.
 - a. Understood.
- 23. Applicant's responsibility to comply with all Public Works and Fire Department requirements.
 - a. Understood.

Administration Comments

Assessing Comments

Econ Dev Comments

Finance Comments

October 28, 2024 **Open** Special Assessment - 2017 Fitchrona Road Utility Imp - if paid by 11/30/2024 \$647,547.14

Fire Comments

Parks Comments

Parks October 27, 2024 **Open** Parks has no comment on this application at this time.

Thank you.

Scott

PW - General Comments

Tracy Foss November 5, 2024 **Open** 1. A subdivision improvement agreement (SIA) is required to be executed prior to the City signing the associated plat for this development. This SIP does not identify all the required public improvements. These will be identified in the SIA. There may be additional requirements, beyond what is currently noted in the draft SIA, based on Dane County's review of the TIA.

1. Understood.

2. Under Property Maintenance, snow removal for multi-use paths along Fitchrona Road is the responsibility of the Owner, not the City. Please correct.
 1. **Corrected.**
3. Construction of required public improvements may not exceed 48 months for phased developments.
 1. **Understood.**
4. Full building permits may not be issued for Lots 1 through 4 until substantial completion of public improvements for the phase in the Subdivision Improvement Agreement the lots are within. Substantial completion is once the binder is placed on the public roads. All other public improvements are required to be installed prior to placement of binder on public streets. In addition sanitary service needs to be provided to each lot.
 1. **Understood.**

PW - Stormwater/Erosion Control Comments

Ben Schulte November 5, 2024 **Open** -Include calculations for pre and post stormwater runoff peak rates for areas draining to City of Madison.
 -Provide correspondence with City of Madison staff confirming that they are ok with routing of runoff from developed lands into their stormwater system.
These materials will be provided as part of the EC/SWM application.

PW - Transportation Comments

PW - Utilities Comments

Tracy Foss November 5, 2024 **Open**

1. MMSD fees and water and sewer assessments are due for this development and shall be paid prior to the City signing the Plat.
 - a. **Understood.**
2. Water impact fees shall be paid for each lot prior to the release of a building permit. These fees are based building usage and employee hours per week.
 - a. **Understood.**
3. A private maintenance agreement needs to be submitted for City review and recorded for the private sanitary sewer interceptor.
 - a. **Understood.**

Proposed Rezoning
RE: Jamestown Quarry Development

Fitchburg Partners, LLC is hereby requesting a rezoning of 7.31 acres of the parcel addressed as 2975 Kapec Road from a Planned Development Zoning District – General Implementation Plan (PDD-GIP) to Planned Development Zoning District – Specific Implementation Plan (PDD-SIP).

This rezoning application includes proposed plans for commercial development on Lots 1-4 of the Jamestown Quarry Plat, a private stormwater treatment basin within Outlot 1, and a private road within Outlot 2.

A Public Information Meeting was held on April 18th, 2024 at the park shelter in Huegel Jamestown Park regarding the proposed land division and rezoning of lands formerly used by the Wingra Stone quarry operations. The development concepts shown at the meeting included the same land users shown in the ensuing rezoning application materials. The meeting was well attended with approximately 20-30 area residents present along with the development team and representatives from the City of Fitchburg. Overall, those in attendance were in support of the proposed development and voiced their desire to see the entirety of the Wingra Stone site redeveloped.

This proposal to rezone the subject parcels is consistent with the City's Comprehensive Plan, the City's Anton Drive Redevelopment Plan, and the previously approved PDD-GIP rezoning of the parcels.

Jamestown Quarry Specific Implementation Plan



Owner:

Fitchburg Partners, LLC
80 Ottawa Ave., Suite 410
Grand Rapids, MI 49503
Contact: Jeffrey A. Hundley
616-742-5200

Project Planner:

JSD Professional Services, Inc.
507 W. Verona Ave., Suite 500
Verona, WI 53593
Contact: Chris Dawson
608-893-0104

Submitted November 11, 2024



OVERVIEW

The Jamestown Quarry Development (JQD) is a mixed-use development that will increase the supply and variety of commercial/retail options and higher density housing opportunities within the City of Fitchburg. The proposed development plan is aligned with the City of Fitchburg's Anton Drive Redevelopment Plan which, in part, envisions the eventual reclamation and repurposing of the existing Wingra Stone quarry site, which was partially reclaimed as part of the 2017 extension of Fitchrona Road. The JQD will redevelop approximately 33 acres of these historically quarried lands located north and west of Fitchrona Road on Fitchburg's northwest side. At this time, there are no development proposals for the active Wingra Stone site and adjacent parcels (hereafter referred to as the "infield"). While included in the Jamestown Quarry Plat, these parcels are proposed to maintain their current land use and the following SIP language will focus on lands proposed to redevelop and rezone in the near future.

Site Context

The Jamestown Quarry Development site is bordered by the Jamestown neighborhood to the north, the Orchard Pointe commercial district to the south, and the City of Madison's Maple Prairie Neighborhood to the west. The infield and adjacent parcels are directly east of the development site and are expected to transition to mixed-use developments compatible with the JQD as future quarry operations diminish. This SIP applies specifically to the southwest four commercial lots (previously identified as lots 1-4), the roadway outlot, and the stormwater outlot serving said commercial lots (hereafter referred to as the "McKee Commercial Lots"). The McKee Road and Fitchrona Road intersection shall be addressed as a "Hold Corner" per the Anton Drive Redevelopment Plan. Further context for the proposed site and its surrounding areas is provided in Appendix C.

Existing Site Conditions

The existing JQD site has a wide range of elevations as a result of the historic quarry operations. A wooded ridgeline dominates the southwest portion of the site. The northern portion of the JQD site features gradually sloping fields (less than 10% in grade) that drain towards an existing sediment pond and Fitchrona Road. There are no observed wetlands or environmental corridors within the development site and the tree survey performed as part of the development planning process observed no heritage or specimen trees.

Consistency with Comprehensive Plan

This proposed PDD-SIP rezoning is consistent with the goals, policies, and objectives of the City of Fitchburg's 2020 Comprehensive Plan and the previously approved Comprehensive Development Plan and PDD-GIP zoning for the site. The ensuing SIP application materials address many of the principles identified in the comprehensive plan through the provision of commercial land uses with direct connections to existing transportation and utility infrastructure. The McKee Commercial Lots along with future retail development in the JQD will address the community-identified desire for more entertainment options by providing expanded restaurant and retail options. Overall, this SIP submittal directly addresses the City's goal to promote in-fill development that revitalizes underutilized land within the existing urban service area.

Land Use

Per the approved GIP, the McKee Commercial Lots will contain one story commercial buildings with a higher façade presence to provide the appearance of a two story or "near-two story" structure.

Site Design and General Information

A master plan for the commercial zones of the Jamestown Quarry Development has been developed with careful consideration of the needs of the surrounding community and the City's intentions for future land use in the area.

Transportation

Improvements to the existing McKee Road and Fitchrona Road corridors will be incorporated into the JQD to provide functional access to the development without adverse effects to traffic flow in the surrounding area. For example, an existing bus stop will be preserved on the corner of McKee Road and Fitchrona Road. Proposed pedestrian facilities included in the JQD plans will provide improved non-vehicular connectivity between the residential and commercial land uses both within the development itself and in the surrounding area. Further definition of the location of non-vehicular connections to the adjacent residential neighborhoods will be contingent upon the acquisition of necessary easements by the City of Fitchburg and City of Madison. Additional right-of-way and easements along Fitchrona Road will accommodate a 10'-wide multiuse path and bike parking within the development will be provided consistent with the City of Fitchburg's standards and guidelines.

Stormwater Management

The McKee Commercial Lots will be served by a private regional stormwater basin, which has been designed to meet the performance standards specified by the City of Fitchburg for this site. Maintenance of the storm basin and connected private storm sewer infrastructure will be the responsibility of the property Owner.

Utilities

Private sanitary sewer main and public water main serving the McKee Commercial Lots will be installed with the proposed commercial access road and will connect to available facilities on Fitchrona Road and McKee Road. The installation of water loops and private fire hydrants will follow the guidance of the Fitchburg Utility District and the requirements of applicable fire codes.

Landscaping and Environmental Considerations

As part of the planning and design process, the development team conducted a tree survey to identify "desirable trees" as defined by City ordinances. The survey did not reveal any desirable trees on the site and the majority of trees observed were invasive or of low quality. The JQD will require the removal of the majority of these invasive trees to accommodate circulation routes and building pads.

An environmental buffer is proposed within the JQD to provide visual screening of the development for the Jamestown Neighborhood to the north and the Maple Prairie Neighborhood to the west.

Environmental Buffers for the Adjacent Neighborhoods:

- The buffer will include deciduous and coniferous plantings that can provide year-round screening for the neighborhoods.
- Embankments within the environmental buffers will contain prairie grasses that will perform erosion control and soil stabilization.
- Erosion control and drainage conveyance measures as needed will be included within the boundary of the environmental buffers.
- In addition, fencing will be installed along the JQD's northern boundary with the Jamestown Neighborhood.

Lot Perimeters and Public Right-of-Way Frontage Landscape Screening:

- Landscaping features will be emphasized along public right-of-way frontages to provide prominent aesthetic value and screening.
- Landscaping will adhere to the approved plant list provided in Appendix C. Any proposed plant species not listed in Appendix C will require approval as a part of the Architectural Design Review.

Zoning Standards

Under the proposed PDD-SIP zoning, the following standards shall be adhered to within the McKee Commercial Lots:

Minimum Lot Area:	8,000 square feet
Minimum Lot Width (as measured along McKee Road frontage):	50 feet
Minimum Front Setback:	20 feet
Minimum Side Setback:	10 feet
Minimum Side Street Setback:	15 feet
Minimum Rear Setback:	10 feet
Accessory Building Setback:	3 feet*
Minimum Building Height:	1.5 stories or 18 feet
Maximum Building Height:	The lesser of 3 stories or 42 feet
Minimum Open Space:	25 percent
Minimum Paved Surface Setback:	5 feet
Minimum Long Term Bike Parking:	1 space per 10,000 sf of building. Min. 2 spaces.
Minimum Short Term Bike Parking:	Office: 1 space per 15,000 sf of building. Min. 2 spaces Retail/Restaurant: 1 space per 5,000 sf of building. Min. 2 spaces

*Accessory buildings shall have a floor area of 500 square feet or less. Setback is for buildings along lot lines that do not front public or private roadways. Accessory buildings along lot lines that front roadways shall adhere to standard building setbacks.

The City's Plan Commission may approve exceptions to these standards during architectural design review. Said exceptions must accommodate the uses proposed without negatively impacting the neighboring properties.

Permitted Uses

- (1) Office Activities.
 - a. Finance, real estate, insurance. (60—67, except for convenience cash business)
- (2) Commercial Activities.
 - a. Car wash. (754) Only one of these facilities will be permitted throughout the district, it must be a single tunnel facility.
 - b. Restaurants, all classes. (5812)

No conditional uses are proposed for this SIP.

Placemaking Strategies

In compliance with the goals of the Anton Drive Redevelopment Plan, the following strategies will be adhered to by the McKee Commercial Lots within the JQD:

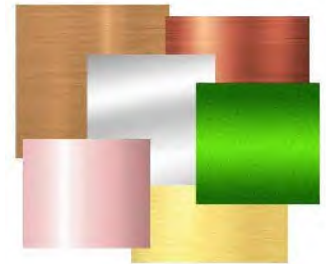
Design Requirements:

- All service, loading, and mechanical areas will be screened from pedestrian and vehicular view.
- Awnings, canopies, porticos, and porches will be incorporated into the building design where possible.
- Building façades shall have a clear base, body, and cap.
- In an effort to promote the history of the site as a quarry, site designs will incorporate stonework (i.e. sandstone, limestone, etc.) in building façades, landscape design, and/or monument signage.
- All materials and finishes on building exteriors will be low reflectance and will exclude high intensity, metallic or fluorescent finishes.
- Exterior building colors will be subtle, neutral and/or earth tone on 90% of the façade.
- Brighter colors, including primary colors, located on building exteriors will be used as an accent, covering no more than 10% of any building façade.
- The façades of buildings shall be finished with aesthetically pleasing material(s) such as masonry, natural/cultured stone, wood, glass panels or ornate masonry materials.
- All buildings on a property, including accessory buildings, will utilize consistent design style, materials and color palette.
- All building façades will include changes in at least two of the following elements: color, texture, material, and surface plane.
- All windows facing the public rights-of-way will maintain a maximum transparency of 60% or utilize spandrel glass.



Example of a building with a cap, body and base.

Example of prohibited high intensity, metallic or fluorescent finishes.



Examples of neutral and earth tone colors (90% of building façade).

Examples of bright colors (10% maximum of building façade).



Examples of applicable textures and materials for building façades.

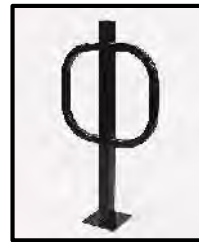
Vehicle Parking:

Per the approved GIP, parking will be located within the overall building footprint and in a location separated from the public right of way. Parking lots shall be landscaped along their edges and within each parking island. Parking lots with rows of more than 15 parking spaces will be interrupted by a landscaped median or island. Additionally, a buffer will be provided between parking lots and adjoining streets using landscaping and/or decorative wall/fencing two to four feet in height.

Pedestrian walkways with a minimum width of 5' (feet) shall be provided in parking areas to allow safe access to building entrances. Parking stalls shall maintain a minimum dimension of 9' x 18' and have clearly marked stall boundaries. Additionally, ADA-compliant parking stalls, sidewalks, and signage are required.

Bicycle Parking:

In addition to the off-street vehicular parking, a minimum of one long-term "U-Rack" or "Hitch Post" style bike rack and one short-term "U-Rack" or "Hitch Post" style bike rack (two total bike racks) per commercial structure are required as outlined in the zoning standards. For the purposes of site continuity, the bike racks must be black in color.



Hitch Post Style



U-Rack Style

Landscape Design:

Screening is proposed along McKee Road and along the northern and western boundaries of the JQD, please refer to the "Landscaping and Environmental Considerations" section of this SIP for additional information. Additionally, landscaping features will be emphasized along public right-of-way frontages to provide prominent aesthetic value and screening. Signs will be incorporated into the landscape design for each individual commercial lot.

All transformers and other above-ground utility infrastructure shall not be located on the McKee Road frontage whenever possible. Any such infrastructure located on the McKee Road frontage shall be screened with landscaping and/or architectural materials at all times.

Landscaping will adhere to the approved plant list provided in Appendix C. Substitution of plants and plant sizes are not permitted without prior staff approval.

Signage:

Acceptable sign types include building-mounted and free-standing monument signs that are consistent with building designs in color and material. A concealed light source is the required method for lighting monument signs. All other signage standards in Chapter 26 of the Fitchburg Code of Ordinances apply.

Refuse and Recycling Storage and Removal

A private waste management company will be contracted to provide recycling and refuse services as appropriate for the development. Dumpsters are located within the JQD at each individual commercial lot and will be maintained by the individual tenants/owners. All refuse areas shall be screened from view. Refuse and recycling enclosures will be constructed of quality materials matching the design of the primary building.

Site Lighting:

Exterior lighting fixtures must adhere to the following standards:

- LED lighting
- Dark Sky Certified
- Luminaires must be black in color, or a color that otherwise adheres to the intent of the aesthetic requirements of the associated building
- Maximum height of 30' for luminaires
- Exterior lighting shall be mounted above the lighted surface and directed toward the ground, to limit light pollution and otherwise comply with City lighting requirements

Lighting fixtures shall be located and shielded to prevent light spill towards adjacent residential parcels.

Property Management

The on-going management and maintenance of areas within private lot boundaries will be the responsibility of the Owner and their tenants. Maintenance of pedestrian areas, sidewalks, multi-use paths, stormwater management facilities, utilities, etc. within the development and along the public streets will be the responsibility of the Owner. A Developer's Agreement will be negotiated with the City to establish the assignment of these responsibilities.

Development Timeline

It is estimated that a complete buildout of the Jamestown Quarry Development may take three to five years. Construction of the internal commercial access road, installation of utilities to serve the various users of the planning area, and mass grading on the site is anticipated to begin within one year of adoption of this SIP. This construction will also include the public right of way improvements necessary to properly serve the currently proposed phase of development for the JQD.

The McKee Commercial Lots are expected to be the first commercial tenants to improve on the site and will proceed immediately following the installation of the access road and utilities serving each lot.





APPENDIX A

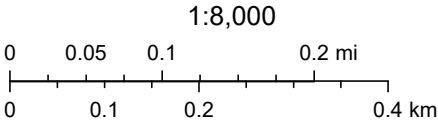
Site Context Map

APPENDIX A - SITE CONTEXT MAP



April 4, 2024

-  Parcels
-  Municipalities





APPENDIX B

Development Master Plan and Utility Overview

PLAN MODIFICATIONS:

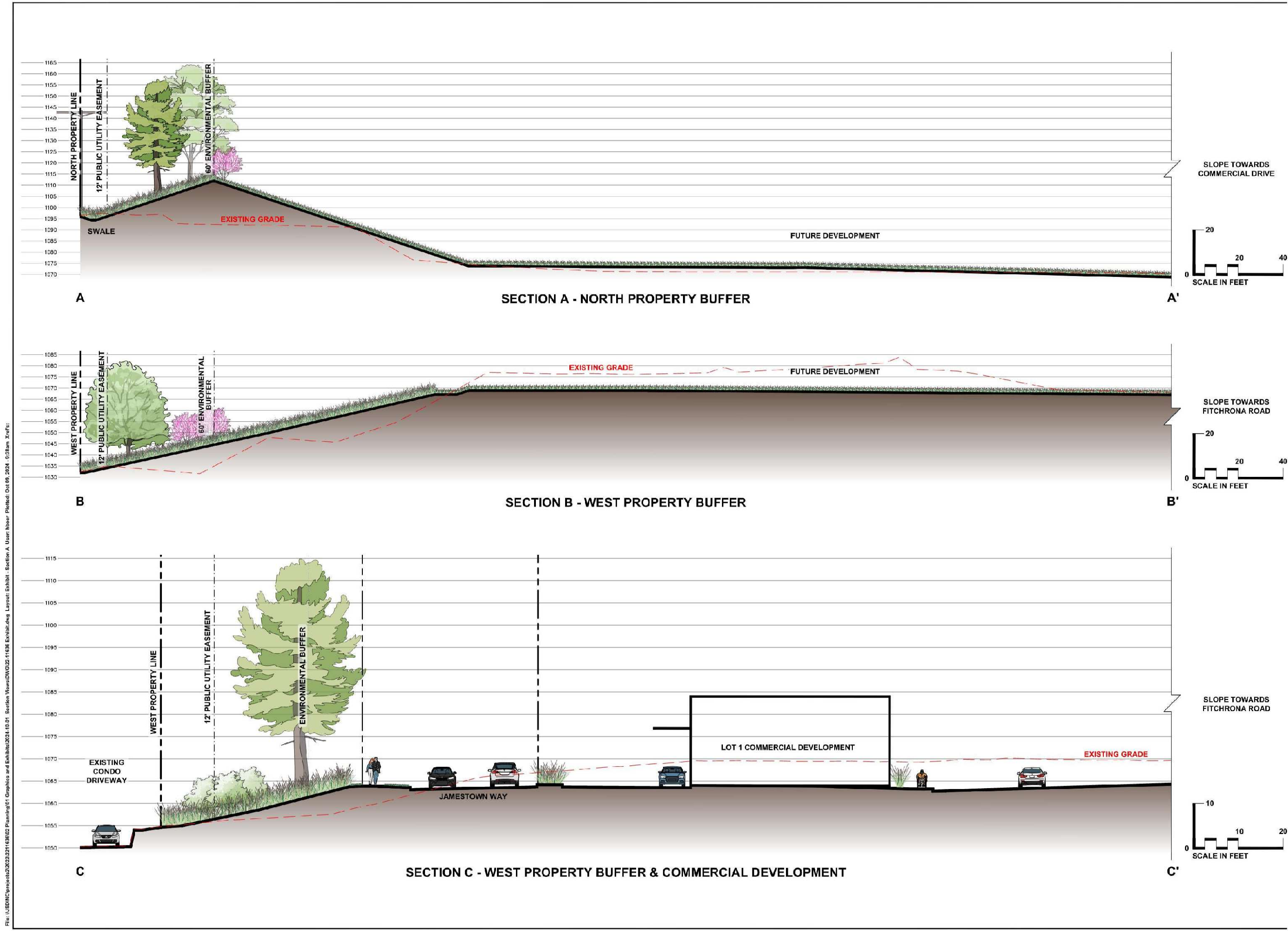
#	Date	Description
1	05.21.24	PRELIMINARY PLAT
2	09.11.24	FINAL PLAT
3		
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Designed By: **MSS**
Reviewed By:
Approved By: **CD**

SHEET TITLE:
SITE SECTIONS

SHEET NUMBER:

EXHIBIT



File: \\USDINC\projects\2022\2211638\02\11638 Exhibit.dwg Layout: Exhibit - Section A User: hboer Plotter: Oct 09, 2024 9:38am Xrefs:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



60' ENVIRONMENTAL BUFFER

OUTLOT FOR FUTURE DEVELOPMENT

60' ENVIRONMENTAL BUFFER

LOT 5 BY OTHERS

10' WIDE MULTIUSE PATH

FITCHRONA ROAD

KAPEC ROAD

LOT 1




LOT 2

LOT 3

LOT 4

STORM OUTLOT

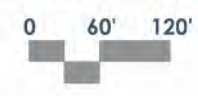
LEGEND

 SAN	Sanitary Sewer
 W	Watermain
 ST	Storm Sewer

WINGRA STONE

PROPOSED BUS STOP WITH SHELTER

MCKEE ROAD





APPENDIX C

Approved Planting List

APPROVED PLANTING LIST

Deciduous Trees

Kentucky Coffee Tree
October Glory Maple
Skyline Honeylocust
Street Keeper Honeylocust
Heritage River Birch
State Street Maple
Swamp White Oak

Evergreen Trees

White Pine
White Spruce
Blue Point Juniper
Shawnee Brave Bald Cypress
Plicata Arborvitae

Ornamental Trees

Autumn Brilliance Serviceberry
Moraine Sweetgum
Goldrush Amur Chokecherry

Shrubs

Dense Yew
Kallay Juniper
Green Mountain Boxwood
Shamrock Inkberry
Panicle Hydrangea
Red Twigged Dogwood
Arctic Fire Dogwood
Center Glow Ninebark
Judd Viburnum

Perennials

Rozanne Geranium
Summer Beauty Allium
Montrose White Catmint
Stella d'Oro Daylily
Goldsturm Coneflower
Butterfly Weed

Grasses

Heavy Metal Switchgrass
Prairie Blues Little Bluestem
Dwarf Fountain Grass
Autumn Moore Grass
Prairie Dropseed



APPENDIX D

Outlot Civil and Landscape Plans

JAMESTOWN QUARRY

CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

SE 1/4, SW 1/4, SECTION 06, TOWNSHIP 6 NORTH, RANGE 9 EAST

DRAWING INDEX

C0.0	TITLE SHEET
1 OF 2	ALTA/NSPS LAND TITLE SURVEY
2 OF 2	ALTA/NSPS LAND TITLE SURVEY
C1.0	NOTES
C1.1	NOTES AND LEGEND
C2.0	DEMOLITION PLAN
C2.1	DETAILED DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	DETAILED SITE PLAN
C4.0	GRADING AND EROSION CONTROL PLAN
C5.0	UTILITY PLAN
C6.0	STREET PLAN AND PROFILE
C6.1	STREET PLAN AND PROFILE
C7.0	DETAILS - TYPICAL SECTIONS
C7.1	DETAILS
C7.2	DETAILS
C7.3	DETAILS



PROJECT AREA
NOT TO SCALE



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**FITCHBURG PARTNERS,
LLC.**

CLIENT ADDRESS:
80 OTTAWA AVE. NW, SUITE 410
GRAND RAPIDS, MI 49503

PROJECT:
JAMESTOWN QUARRY

PROJECT LOCATION:
2975 KAPEC ROAD
DANE COUNTY
FITCHBURG, WI 53719

PLAN MODIFICATIONS:

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Designed By: MSS

Reviewed By:

Approved By: CD

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:

C0.0

JSD PROJECT NO: 22-11636

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE RIGHT-OF-WAY AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, JURISDICTIONAL SPECIFICATIONS, AND APPROVED BY THE JURISDICTION HAVING AUTHORITY.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- CONTRACTOR SHALL RESTORE ALL BUILDINGS, PAVEMENT, PIPES, SLOPES, AND STRUCTURES DAMAGED BY THE CONTRACTOR TO PRE-EXISTING OR BETTER CONDITIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE JURISDICTIONAL AUTHORITY AND IS SUBJECT TO CHANGE AT ANY TIME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ANY REFERENCES TO THE TERMS OR ENTITY ABBREVIATIONS IN THE FOLLOWING NOTES AND SPECIFICATIONS SHALL BE UNDERSTOOD AS FOLLOWS:
 - "JURISDICTION" - THE LOCAL GOVERNMENTAL AGENCY (I.E., CITY, VILLAGE, TOWN, COUNTY, STATE, OR UTILITY SERVICE PROVIDER) HAVING AUTHORITY.
 - "STATE HIGHWAY SPECIFICATIONS" - STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION AND SUPPLEMENTS.
 - "STANDARD SPECIFICATIONS" - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION AND SUPPLEMENTS.
 - WISCONSIN DEPARTMENT OF TRANSPORTATION - "WISDOT"
 - WISCONSIN DEPARTMENT OF NATURAL RESOURCES - "WDNR"
 - DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES - "DPS" OR "SPS"

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGERS HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVEGROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DISCIPLINE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE, AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION-RELATED DIRT, DUST, AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS MAY BE GROUND TO PROPOSED SUBGRADE IN GRASSED AREAS ONLY UNLESS DIRECTED BY THE ENGINEER.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF OFFSITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES THAT WERE DAMAGED BY THE CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFY UTILITY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFY ALL UTILITIES OWNERS PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFY THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY UTILITIES THAT ARE DAMAGED BY THE CONTRACTORS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL/ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED JURISDICTION'S RECYCLING PLAN.
- ANY CONTAMINATED SOILS ENCOUNTERED SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROPRIATE AND APPROVED LANDFILL.
- ALL EXISTING UTILITIES SHALL BE FIELD LOCATED AND CLEARLY MARKED BY CONTRACTOR PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING UTILITY LINE LOCATIONS). CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING UTILITY LINE OPENINGS (ULO) TO CONFIRM LOCATIONS OR ELEVATIONS, AS REQUESTED BY THE ENGINEER.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE STANDARD SPECIFICATIONS AND JURISDICTIONAL SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14 OF THE STANDARD SPECIFICATIONS AND JURISDICTIONAL SPECIFICATIONS.
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- CONTRACTOR SHALL REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACKFILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHALL BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION, AND REMOVAL. THIS INCLUDES CURB AND GUTTER, SIDEWALK, TOPSOIL, SEEDING, AND MULCHING.

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PAVING NOTES

- GENERAL:
 - PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS AND APPLICABLE JURISDICTIONAL SPECIFICATIONS. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER, PAVEMENT, OR SIDEWALK SHALL MATCH EXISTING AND MEET JURISDICTIONAL REQUIREMENTS.
 - CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS:
 - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS.
 - RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. USE OF ANY OTHER REPROCESSED OR BLENDED MATERIAL MUST FIRST BE APPROVED BY ENGINEER OF RECORD.
 - DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
 - DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.
 - HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:
 - THE PLACING, CONSTRUCTION, AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS:
 - DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
 - DO NOT PLACE ASPHALTIC MIXTURE WHEN THE AIR TEMPERATURE IS APPROXIMATELY 3' ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT.
 - PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM, AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL. DO NOT PLACE OVER FROZEN SUBGRADE OR BASE, OR WHERE THE ROADBED IS UNSTABLE.
 - APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING.
 - ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
 - CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - BINDER COURSE AGGREGATE:
 - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE:
 - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIAL:
 - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS:
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO ENGINEER IF NOT INCLUDED IN THE PLANS. CONTRACTOR SHALL PROVIDE JOINTING JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 15' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
 - PLACE EXPANSION JOINTS IN CURB, GUTTER, AND GUTTER CONSTRUCTED NEXT TO ASPHALTIC PAVEMENT OR SURFACING. LOCATE JOINTS EVERYWHERE THAT TANGENT AND RADIAL CURB OR CURB AND GUTTER MEET, ON EACH SIDE OF EVERY INLET 3' FROM THE INLET, BUT NO CLOSER THAN 6" FROM ANOTHER JOINT, AND ON TANGENT SECTIONS PLACE BETWEEN 6' AND 300'.
 - IF CONSTRUCTING CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON, CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS, THEN PLACE EXPANSION JOINTS TO MATCH THE EXPANSION JOINT LOCATIONS IN THE PAVEMENTS.
 - FOR CURB AND GUTTER, FORM CONSTRUCTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONSTRUCTION JOINTS IN ADJOINING CONCRETE PAVEMENT AND AT THE REQUIRED SPACING IN CURB, GUTTER, OR CURB AND GUTTER ADJOINING ASPHALTIC PAVEMENT. SPACE JOINTS BETWEEN 6' AND APPROXIMATELY 20' APART, AS THE ENGINEER DIRECTS.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROWN FINISHED.
 - CONTRACTOR SHALL CONDUCT AND REPORT DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.
- PAVEMENT MARKING SPECIFICATIONS:
 - ALL PARKING STALL LINES SHALL BE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT.
 - ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, AND DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

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 - RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. USE OF ANY OTHER REPROCESSED OR BLENDED MATERIAL MUST FIRST BE APPROVED BY ENGINEER OF RECORD.
 - DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
 - DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.
 - HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:
 - THE PLACING, CONSTRUCTION, AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS:
 - DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
 - DO NOT PLACE ASPHALTIC MIXTURE WHEN THE AIR TEMPERATURE IS APPROXIMATELY 3' ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT.
 - PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM, AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL. DO NOT PLACE OVER FROZEN SUBGRADE OR BASE, OR WHERE THE ROADBED IS UNSTABLE.
 - APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING.
 - ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
 - CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - BINDER COURSE AGGREGATE:
 - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE:
 - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIAL:
 - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS:
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO ENGINEER IF NOT INCLUDED IN THE PLANS. CONTRACTOR SHALL PROVIDE JOINTING JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 15' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
 - PLACE EXPANSION JOINTS IN CURB, GUTTER, AND GUTTER CONSTRUCTED NEXT TO ASPHALTIC PAVEMENT OR SURFACING. LOCATE JOINTS EVERYWHERE THAT TANGENT AND RADIAL CURB OR CURB AND GUTTER MEET, ON EACH SIDE OF EVERY INLET 3' FROM THE INLET, BUT NO CLOSER THAN 6" FROM ANOTHER JOINT, AND ON TANGENT SECTIONS PLACE BETWEEN 6' AND 300'.
 - IF CONSTRUCTING CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON, CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS, THEN PLACE EXPANSION JOINTS TO MATCH THE EXPANSION JOINT LOCATIONS IN THE PAVEMENTS.
 - FOR CURB AND GUTTER, FORM CONSTRUCTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONSTRUCTION JOINTS IN ADJOINING CONCRETE PAVEMENT AND AT THE REQUIRED SPACING IN CURB, GUTTER, OR CURB AND GUTTER ADJOINING ASPHALTIC PAVEMENT. SPACE JOINTS BETWEEN 6' AND APPROXIMATELY 20' APART, AS THE ENGINEER DIRECTS.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROWN FINISHED.
 - CONTRACTOR SHALL CONDUCT AND REPORT DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.
- PAVEMENT MARKING SPECIFICATIONS:
 - ALL PARKING STALL LINES SHALL BE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT.
 - ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, AND DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

SEEDING AND RESTORATION NOTES

- CONTRACTOR SHALL PROVIDE NOTICE TO THE JURISDICTIONAL AUTHORITIES IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7-DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. REFER TO STABILIZATION PRACTICES IN THE EROSION CONTROL NOTES FOR FURTHER SPECIFICATIONS.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.

- SEEDING SPECIFICATIONS:
 - TURF LAWN SEED MIXTURE: WISDOT SEED MIX NO. 40 AT RATES SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS
 - LOW MAINTENANCE AREA SEED MIXTURE: WISDOT SEED MIX NO. 10 OR 20 APPLIED AT RATES AS SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.
 - NO-MOW AREA SEED MIXTURE: NO-MOW LAWN SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53984, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). SEEDING RATE SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.

- SEED PREPARATION SPECIFICATIONS:
 - SCARIFY SUBSOILS TO A DEPTH OF 3" WHERE TOPSOIL SHALL BE PLACED TO REDUCE COMPACTION.
 - PLACE TOPSOIL AT A MINIMUM DEPTH OF 6" UNLESS OTHERWISE NOTED ON THE PLANS.
 - APPLY FERTILIZER IN ACCORDANCE WITH SEED MIX MANUFACTURER'S RECOMMENDATIONS.
 - SOW SEED AT RATES SPECIFIED USING METHOD "A" OR METHOD "B" AS SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.

- SEED MULCHING/EROSION MATTING SPECIFICATIONS:
 - ALL SEEDED AREAS WITH SLOPES FLATTER THAN 4:1, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE STABILIZED WITH WEED-FREE WHEAT STRAW MULCH WITH METHODS AND RATES IN ACCORDANCE WITH SECTION 627 OF THE STATE HIGHWAY SPECIFICATIONS.
 - ALL SEEDED AREAS WITH SLOPES EQUAL TO OR STEEPER THAN 4:1, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE STABILIZED WITH EROSION MATTING MATERIALS AS SPECIFIED ON THE PLANS. EROSION MATTING SHALL BE IN ACCORDANCE WITH SECTION 628 OF THE STATE HIGHWAY SPECIFICATIONS.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER, AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND JURISDICTIONAL AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES AND STATE DSPS/SPS AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE JURISDICTIONAL AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE JURISDICTIONAL AUTHORITY'S SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(1)(H), SPS 382.36(7)(C)(10), AND SPS 382.40(B)(K). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER - GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE.
- DRY UTILITIES (COMMUNICATION, TELEPHONE, GAS, ELECTRIC, ETC.) ARE SHOWN FOR GENERAL ROUTING ONLY. CONTRACTOR SHALL COORDINATE DESIGN AND FINAL LOCATION WITH APPROPRIATE UTILITY COMPANY.
- THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE JURISDICTIONAL AUTHORITY'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE INSTALLED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- IN ANY LOCATIONS WHERE BUILDING SEWERS (STORM AND SANITARY) ARE INSTALLED WITH LESS THAN THE MINIMUM COVER AS SPECIFIED IN SPS 382.30(1)(i) OR WATER PIPING 382.40(B)(a), CONTRACTOR SHALL INSTALL INSULATION IN ACCORDANCE WITH SPS 382.30(1)(c)(2), FOR PROTECTION FROM FROST.
- STORM SEWER SPECIFICATIONS:
 - PIPE:
 - REINFORCED CONCRETE PIPE (RCP) - SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C443.
 - HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE (HDPE) - SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M284 TYPE "S".
 - POLYVINYL CHLORIDE (PVC) - SHALL MEET REQUIREMENTS OF ASTM D3034, SDR 35 FOR PIPE SIZES 8"-15" WITH INTEGRAL BELL TYPE FLEXIBLE ELECTROMETRIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D3212, ASTM 1785 SCHEDULE 40 FOR PIPE DIAMETERS 41" - 54". SDR 35 SHALL BE USED FOR DEPTHS 3'-15" AND SDR 26 FOR DEPTHS 16'-25" DEPENDENT ON LOCAL JURISDICTION.
 - INLETS AND CATCH BASINS:
 - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.6.3 AND DETAIL DRAWINGS FILE NO. 28 OR 29 OF THE STANDARD SPECIFICATIONS, OR APPROVED EQUAL WITH A 2X3" MAXIMUM OPENING.
 - POLYVINYL CHLORIDE (PVC) INLETS SHALL BE CONSTRUCTED WITH THE FOLLOWING SPECIFICATIONS, CONFORMING TO ASTM D1781, ASTM D3212, ASTM F477, AND MANUFACTURER'S REQUIREMENTS. REFER TO PLANS FOR LID OR GRATE SPECIFICATION.
 - FRAME AND GRATE LIDS:
 - CURB FRAME AND GRATES SHALL BE NEEHAH R-3067 WITH TYPE "R" GRATE OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
 - SOLID LID FRAME AND GRATES SHALL BE NEEHAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
 - GRATE FRAME AND GRATES SHALL BE NEEHAH R-1550, HEAVY DUTY WITH A R-2578 GRATE OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
 - MANHOLES:
 - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.5.0 AND DETAIL DRAWINGS FILE NO. 11 AND/OR 12 OF THE STANDARD SPECIFICATIONS.
 - MANHOLE FRAME AND COVER SHALL BE NEEHAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
 - BACKFILL AND BEDDING:
 - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5' BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
 - LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS.
 - FIELD TILE CONNECTIONS:
 - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- WATER MAIN & WATER LATERAL SPECIFICATIONS:
 - PIPE:
 - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE STANDARD SPECIFICATIONS.
 - POLYVINYL CHLORIDE PRESSURE PIPE (PVC) SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C900 DR14 (CLASS 305) FOR SIZES UP TO 4" AND AWWA C900 DR18 (CLASS 235) UP TO 30". WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS.
 - COPPER TYPE K TUBING SHALL CONFORM TO ASTM DESIGNATION 888 FOR WATER SERVICES LESS THAN 2" IN DIAMETER.
 - HIGH DENSITY POLYETHYLENE (HDPE) SHALL CONFORM TO THE REQUIREMENTS OF AWWA C901, SDR 9 MINIMUM FOR SIZES UP TO 3" AND TO AWWA C906, SDR 17 MINIMUM FOR SIZES GREATER THAN 3".
 - VALVES AND VALVE BOXES:
 - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C500 AND CHAPTER 8.27.0 OF THE STANDARD SPECIFICATIONS.
 - CURB STOPS AND CORPORATION VALVES SHALL BE AWWA C800 AND ASTM B62, AND CONFORM TO ANY LOCAL JURISDICTIONAL REQUIREMENTS.
 - WATER SERVICES CONNECTIONS:
 - SERVICES 2" IN DIAMETER OR LESS SHALL USE A TAP SERVICE WITH A CORPORATION STOP AND CURB STOP VALVE WITH SERVICE BOX PER JURISDICTIONAL REQUIREMENTS.
 - SERVICES GREATER THAN 2" IN DIAMETER SHALL USE A TAPPING SLEEVE OR CUT-IN TEE CONNECTION WITH VALVE OF EQUIVALENT PIPE DIAMETER AND VALVE BOX PER JURISDICTIONAL REQUIREMENTS.
 - HYDRANTS:
 - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITIES. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18" AND NO GREATER THAN 23"(SEE DETAIL).
 - JOINT RESTRAINT:
 - WHERE SPECIFIED, DUCTILE IRON PIPE SHALL INCLUDE MECHANICAL JOINTS CONFORMING TO CHAPTER 4.4.2(b) OF THE STANDARD SPECIFICATIONS. POLYETHYLENE WRAP SHALL BE USED AROUND ALL MECHANICAL CONNECTIONS.
 - BEDDING AND COVER MATERIAL:
 - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE STANDARD SPECIFICATIONS.
 - BURY DEPTH SHALL CONFIRM TO LOCAL JURISDICTION REQUIREMENTS, OR DSPS REQUIREMENTS AT A MINIMUM. WHERE THERE IS NO LOCAL JURISDICTION REQUIREMENTS.
 - BACKFILL:
 - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTERS 2.6.0 AND 4.17.0 OF THE STANDARD SPECIFICATIONS. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5' BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
 - LANDSCAPED AREAS MAY BE

GRADING AND EARTHWORK NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- ALL EXCAVATIONS AND FILLS SHALL BE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL INCLUDE SUFFICIENT DEPTHS FOR PLACEMENT OF FILL MATERIALS, BASE COURSES, PAVEMENTS, TOPSOIL, AND OTHER MATERIALS TO THE SPECIFIED DEPTHS.
- CONTRACTOR SHALL NOT EXCAVATE BELOW ELEVATIONS OR DESIGN GRADES SHOWN ON THE DRAWINGS WITHOUT PRIOR AUTHORIZATION FROM ENGINEER AND OWNER.
- PRIOR TO ALL EXCAVATION OR FILLING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TOPSOIL FROM PROPOSED LOCATIONS OF BUILDINGS, STRUCTURES, ROADS, WALKS, OTHER PAVED AREAS, STORM WATER FACILITIES OR WITHIN THE GRADING EXTENTS WHERE EXISTING GRADES ARE ALTERED BY MORE THAN 3". REMOVED OR STRIPPED TOPSOIL SHALL BE SEGREGATED AND STOCKPILED ON-SITE IN AN APPROPRIATE LOCATION TO BE RESPREAD AS SPECIFIED ON THE DRAWINGS.
- CONTRACTOR SHALL NOT PLACE ANY FILL OR OTHER MATERIALS ON AREAS THAT HAVE NOT HAD TOPSOIL REMOVED, ARE FROZEN, SATURATED, OR YIELDING. CONTRACTOR SHALL NOTIFY OWNER OR ENGINEER IF SUBGRADE CONDITIONS ARE NOT SUITABLE FOR SUPPORTING FILL AND A FURTHER DETERMINATION SHALL BE PROVIDED BY OWNER OR ENGINEER.
- CONTRACTOR SHALL PLACE THE FILLS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT INCLUDING LIFT DEPTHS AND COMPACTION EFFORTS.
- PRIOR TO BELOW OF BASE COURSE MATERIALS IN PAVEMENT OR HARD SURFACE AREAS OR CONDUCTING EXCAVATION BELOW SUBGRADE (EBS) ELEVATIONS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER TO CONDUCT AN INSPECTION OF THE PREPARED SUBGRADE AND PROOF-ROLLING. PROOF-ROLLING SHALL BE CONDUCTED BY THE CONTRACTOR IN WITNESS OF THE OWNER AND ENGINEER. OWNER AND ENGINEER SHALL DETERMINE IF AREAS OF EBS ARE REQUIRED. EBS SHALL BE COMPLETED BY THE CONTRACTOR PER THE DIRECTION OF THE OWNER AND ENGINEER.
- SOIL MATERIAL SPECIFICATIONS:**
 - FILL AND BACKFILL MATERIALS**
 - MATERIAL SHALL BE SATISFACTORY MATERIALS EXCAVATED FROM THE SITE. PER THE GEOTECHNICAL REPORT. IF SATISFACTORY MATERIALS ARE NOT AVAILABLE ON-SITE OR ADDITIONAL MATERIALS ARE REQUIRED, REFER TO IMPORTED FILL MATERIAL SPECIFICATIONS.
 - IMPORTED FILL MATERIAL**
 - MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR FROM OFFSITE BORROW AREAS WHEN SUFFICIENT, SATISFACTORY MATERIALS ARE NOT AVAILABLE ON-SITE. IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONSIST OF CLEAN MATERIAL OF INORGANIC SOILS OR A MIXTURE OF INORGANIC SOIL AND ROCK, STONE, OR GRAVEL. THE MATERIAL SHALL BE FREE OF TOPSOIL, VEGETATION, PAVEMENT RUBBLE, DEBRIS, OR OTHER DELETERIOUS MATERIALS. THE MAXIMUM NOMINAL DIMENSION OF MATERIALS CONSISTING OF ROCK, STONE, OR GRAVEL SHALL BE 6" .
 - GRANULAR FILL**
 - MATERIAL SHALL CONSIST OF CLEAN MATERIAL MEETING THE REQUIREMENTS OF "GRADE 1" OR "GRADE 2" GRANULAR BACKFILL AS DEFINED IN SECTION 209.2.1 OF THE STATE HIGHWAY SPECIFICATIONS.
 - BUILDING STRUCTURAL FILL**
 - CLEAN MATERIAL MEETING THE REQUIREMENTS OF TYPE A "STRUCTURE BACKFILL" AS DEFINED IN SECTIONS 210.2.1 AND 210.2.2. OF THE STATE HIGHWAY SPECIFICATIONS AND GEOTECHNICAL REPORT .**

CONSTRUCTION SITE DEWATERING NOTES

- ALL CONSTRUCTION SITE DEWATERING PRACTICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 FOR PUMPING DISCHARGE RATES OF LESS THAN 70 GPM. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLICABLE JURISDICTIONAL DEWATERING PERMITS. FOR DISCHARGE RATES EXCEEDING 70 GPM, CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING OF DEWATERING SYSTEM AS A HIGH CAPACITY DEWATERING WELL WITH WDNR AND LOCAL JURISDICTIONS.
- CONTRACTOR SHALL DISCHARGE TREATED EFFLUENT FROM DEWATERING SYSTEM TO LOCATIONS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061. CONTRACTOR SHALL OBTAIN APPROVAL FROM LOCAL JURISDICTION OR ADJACENT PRIVATE PROPERTY OWNERS FOR ALL DISCHARGES TO JURISDICTION'S PUBLIC INFRASTRUCTURE OR PRIVATE PROPERTY.
- IN THE EVENT OF DIRTY/UNCLEAR DISCHARGE, CONTRACTOR SHALL HALT PUMPING OPERATIONS AND EVALUATE THE DEWATERING TREATMENT/FILTERING SYSTEM.
- IN THE EVENT CONTRACTOR FINDS SIGNS OF CONTAMINATION IN THE GROUNDWATER OR SITE SOILS, ALL DEWATERING PRACTICES SHALL BE HALTED AND CONTAMINATION SHALL BE EVALUATED BY A QUALIFIED PROFESSIONAL TO PREVENT TRANSPORTATION OF CONTAMINATES DOWNSTREAM OF DISCHARGES.
 - IF DEWATERING PRACTICES CONTINUE WITH CONTAMINATED GROUNDWATER OR SOIL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS TO CONTINUE OPERATION OF DEWATERING SYSTEMS.
 - UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR DISCHARGE CONSTRUCTION SITE DEWATERING PRACTICES TO THE SANITARY SEWER WITHOUT AUTHORIZATION AND PERMIT APPROVALS FROM THE LOCAL JURISDICTION.

STORMWATER FACILITIES CONSTRUCTION NOTES

- ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONTRACTOR SHALL PROVIDE ENGINEER DOCUMENTATION OF CONSTRUCTION OF STORMWATER FACILITIES INCLUDING GEOTECHNICAL NOTES ON EXISTING SOILS, PHOTOGRAPHS OF EACH STAGE OF BASIN CONSTRUCTION, LOAD TICKETS AND SPECIFICATION OF MATERIALS USED IN THE BASIN, AND ELEVATION OF CRITICAL ITEMS SUCH AS PIPES, EXCAVATIONS, DRAINAGE STONE BOTTOM, ETC.
- ERECT CONSTRUCTION FENCING OR SNOW FENCING AROUND PROPOSED STORMWATER FACILITIES INTENDED TO INFILTRATE STORMWATER TO PROTECT THESE SOILS FROM DISTURBANCE AND COMPACTION. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT, AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED INFILTRATE AREAS ARE LOCATED.
- STORMWATER MANAGEMENT FACILITIES FOR INFILTRATION SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
- TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES. PERMANENT STORMWATER BASINS USED AS TEMPORARY SEDIMENT BASINS SHALL BE DREDGED TO DESIGN DEPTH AFTER SITE IS STABILIZED.
- REFER TO PROJECT DETAILS FOR FURTHER INFORMATION AND SPECIFICATIONS FOR THE CONSTRUCTION OF THE STORMWATER FACILITIES.

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- DEMOLITION - SAWCUT EXISTING PAVEMENT
- DEMOLITION - REMOVAL OF CURB AND GUTTER
- DEMOLITION - SAWCUT HEAD OF CURB AND GUTTER
- DEMOLITION - REMOVAL OF ASPHALT AND BASE
- DEMOLITION - REMOVAL OF CONCRETE AND BASE
- DEMOLITION - REMOVAL OF GRAVEL
- DEMOLITION - REMOVAL OF UTILITIES
- DEMOLITION - CLEAR AND GRUB
- PROTECT EXISTING TREE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- STORMWATER MANAGEMENT AREA
- RETAINING WALL
- BOULDER WALL
- FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- 8'x4'x4" INSULATION (PLAN VIEW)
- 8'x4'x4" INSULATION (PROFILE VIEW)
- SILT FENCE
- RIP-RAP
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- DITCH CHECK
- FRAMED INLET PROTECTION
- SPOT ELEVATION**
 - EP - EDGE OF PAVEMENT
 - FG - FINISH GRADE
 - EC - EDGE OF CONCRETE
 - EX - MATCH EXISTING GRADE
 - SW - SIDEWALK

FG: 1068.56



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CLIENT:
FITCHBURG PARTNERS, LLC.

CLIENT ADDRESS:
**80 OTTAWA AVE. NW, SUITE 410
GRAND RAPIDS, MI 49503**

PROJECT:
JAMESTOWN QUARRY

PROJECT LOCATION:
**2975 KAPEC ROAD
DANE COUNTY
FITCHBURG, WI 53719**

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.21.24	PRELIMINARY PLAT
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Designed By: MSS
Reviewed By:
Approved By: CD

NOTES AND LEGEND

SHEET NUMBER:
C1.1

JSD PROJECT NO: 22-11636



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Designed By: MSS
Reviewed By:
Approved By: CD

SHEET TITLE:
DEMOLITION PLAN

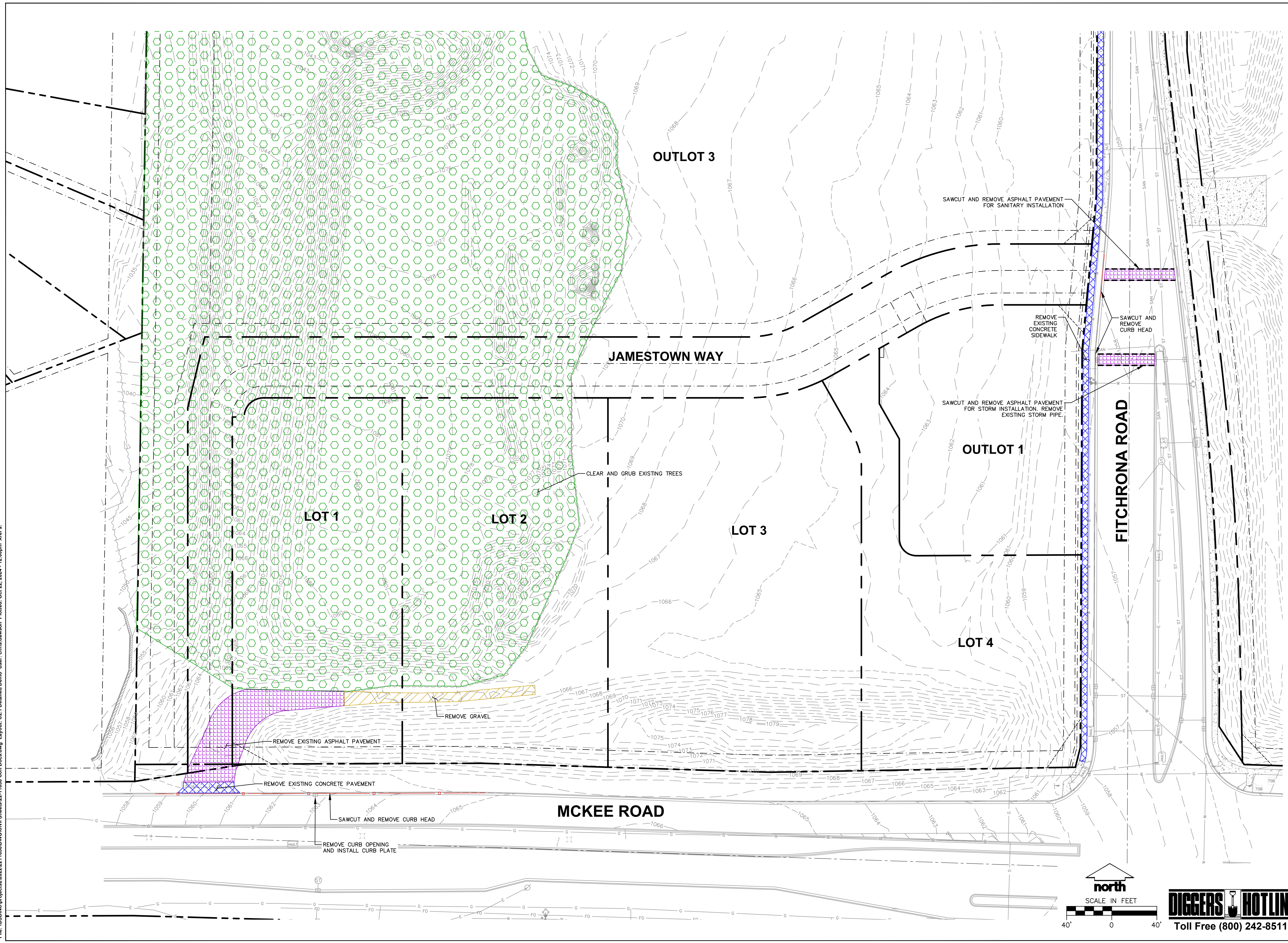
SHEET NUMBER:
C2.0

JSD PROJECT NO: 22-11636


north
 SCALE IN FEET

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Designed By: MSS
Reviewed By: CD
Approved By:

SHEET TITLE:
DETAILED DEMOLITION PLAN

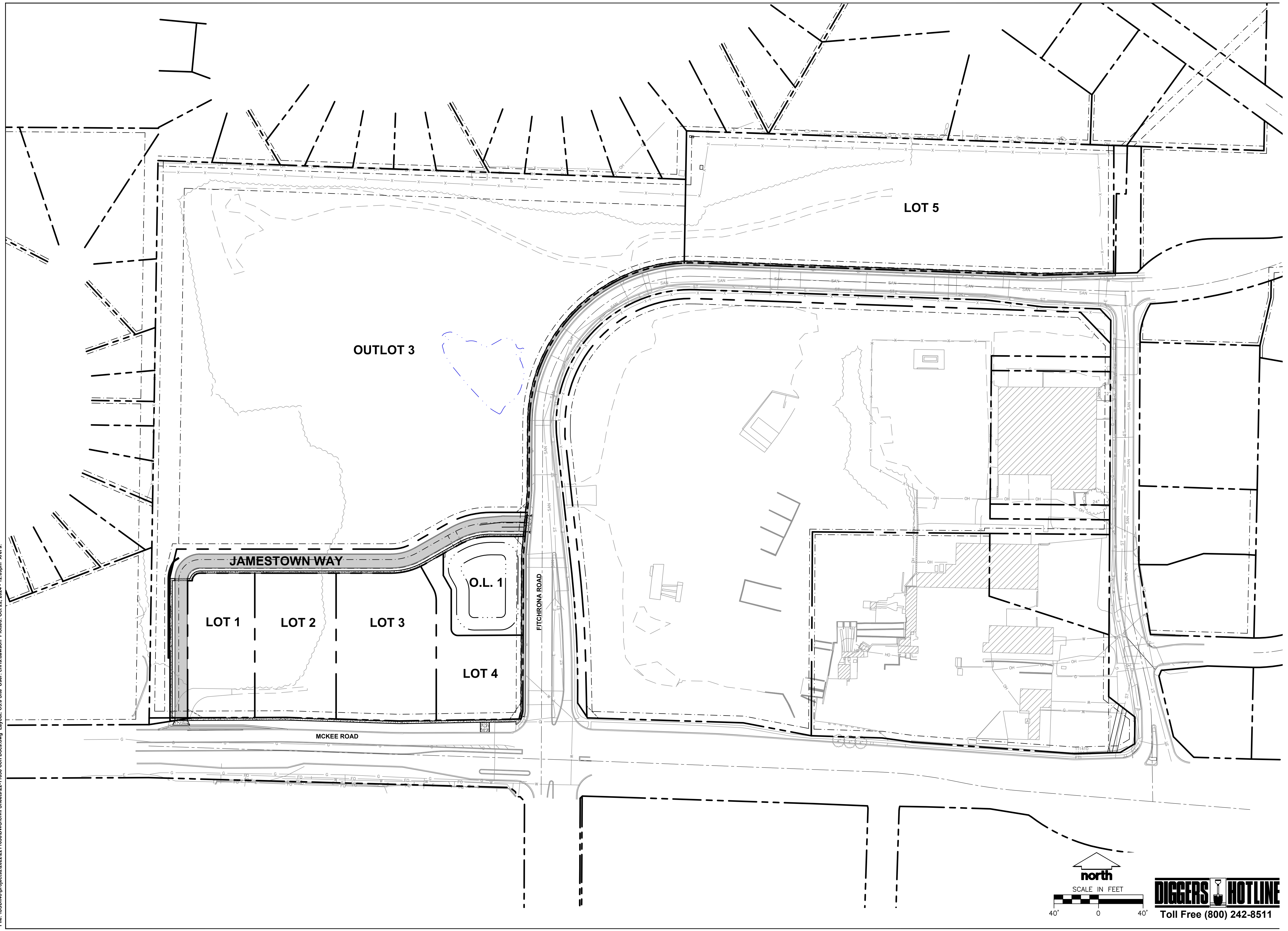
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JSD PROJECT NO: 22-11636



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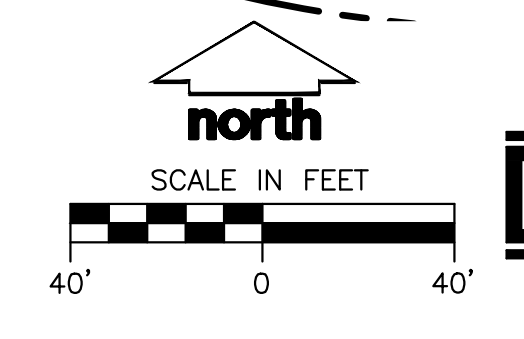
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Designed By: **MSS**
Reviewed By:
Approved By: **CD**

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C3.0

JSD PROJECT NO: 22-11636



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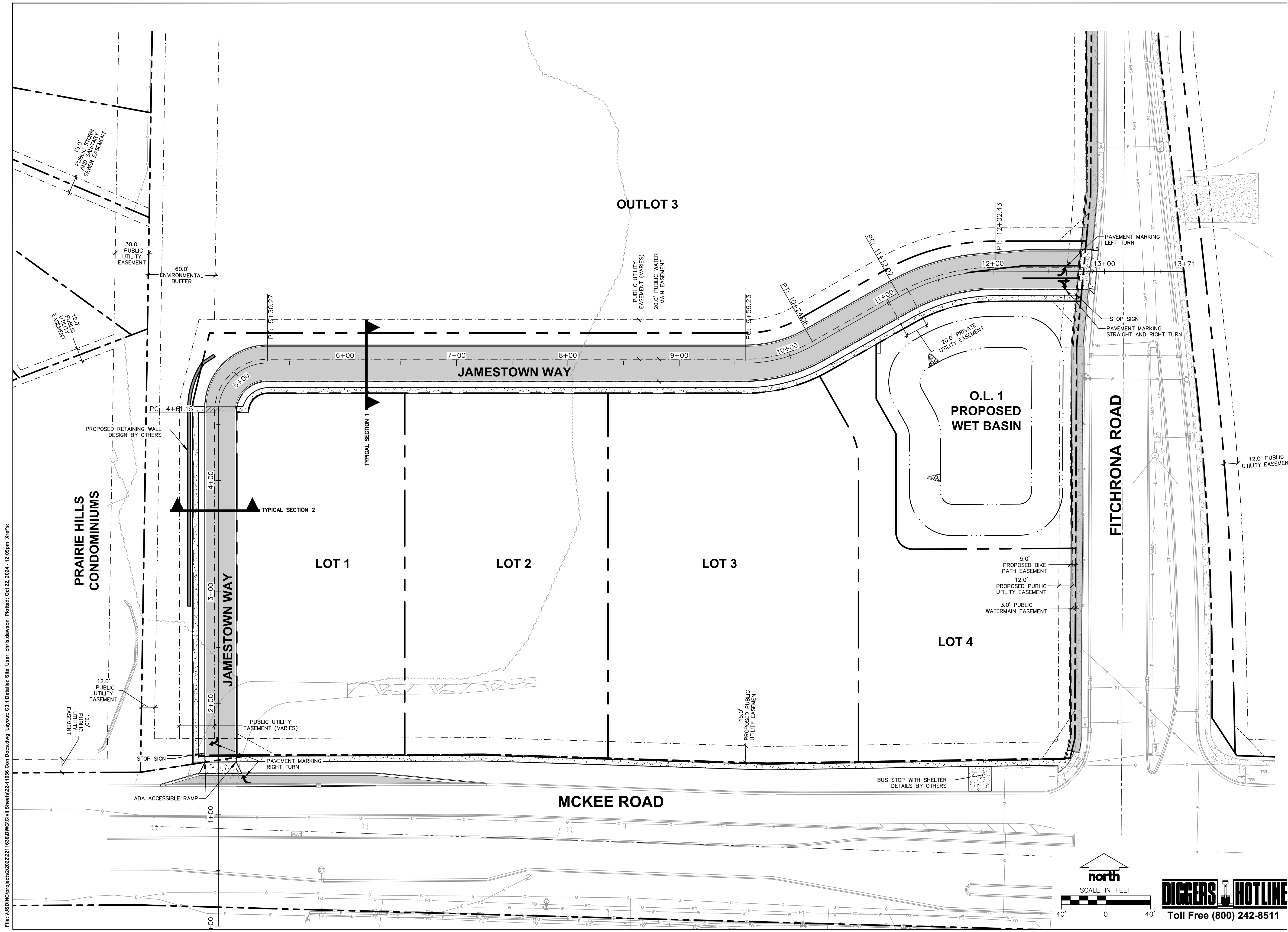
Designed By: MSS
Reviewed By:
Approved By: CD

SHEET TITLE:
DETAILED SITE PLAN

SHEET NUMBER:

C3.1

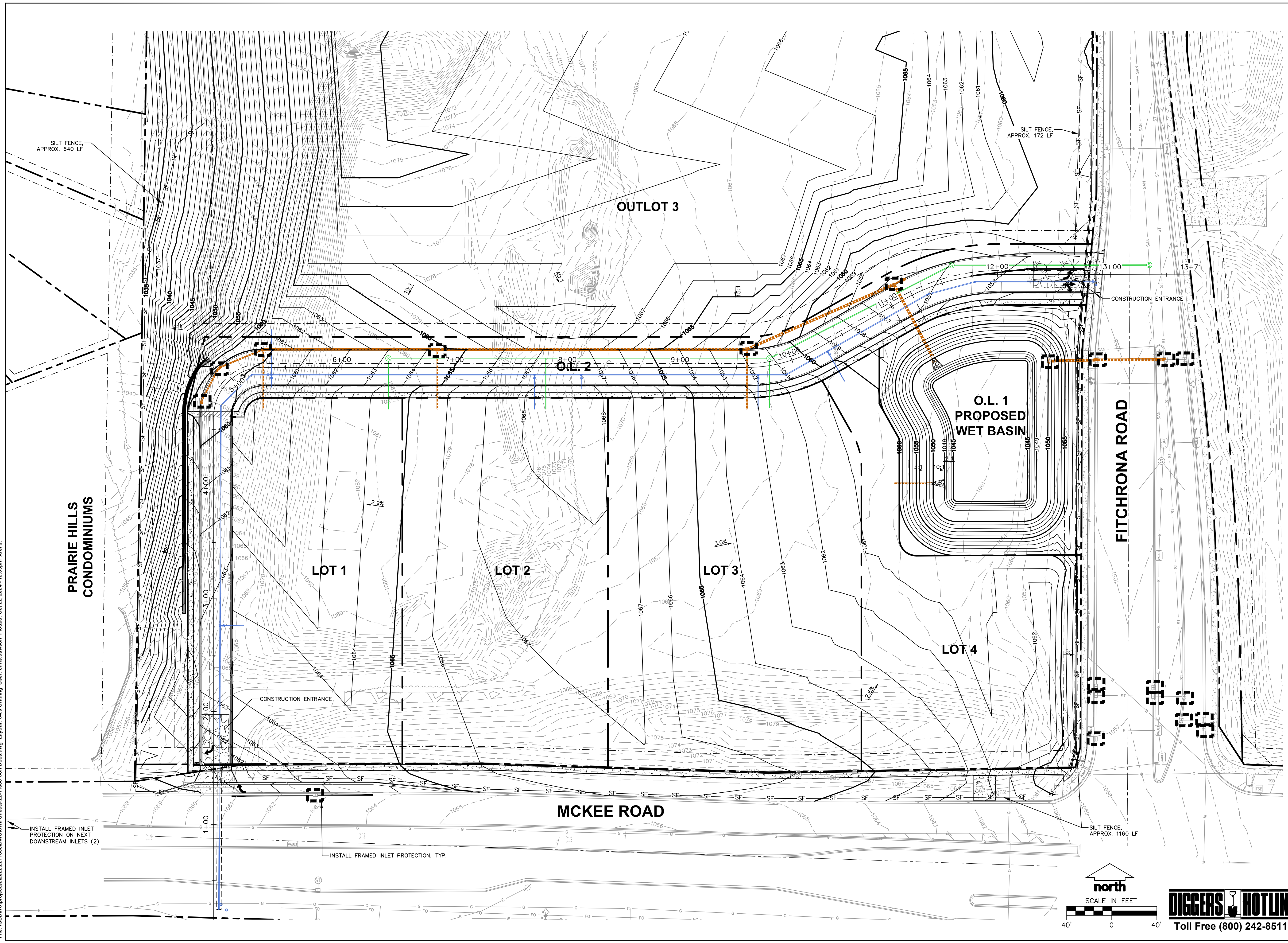
JSD PROJECT NO: 22-11636



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Designed By: MSS
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Approved By:

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:

C4.0

JSD PROJECT NO: 22-11638



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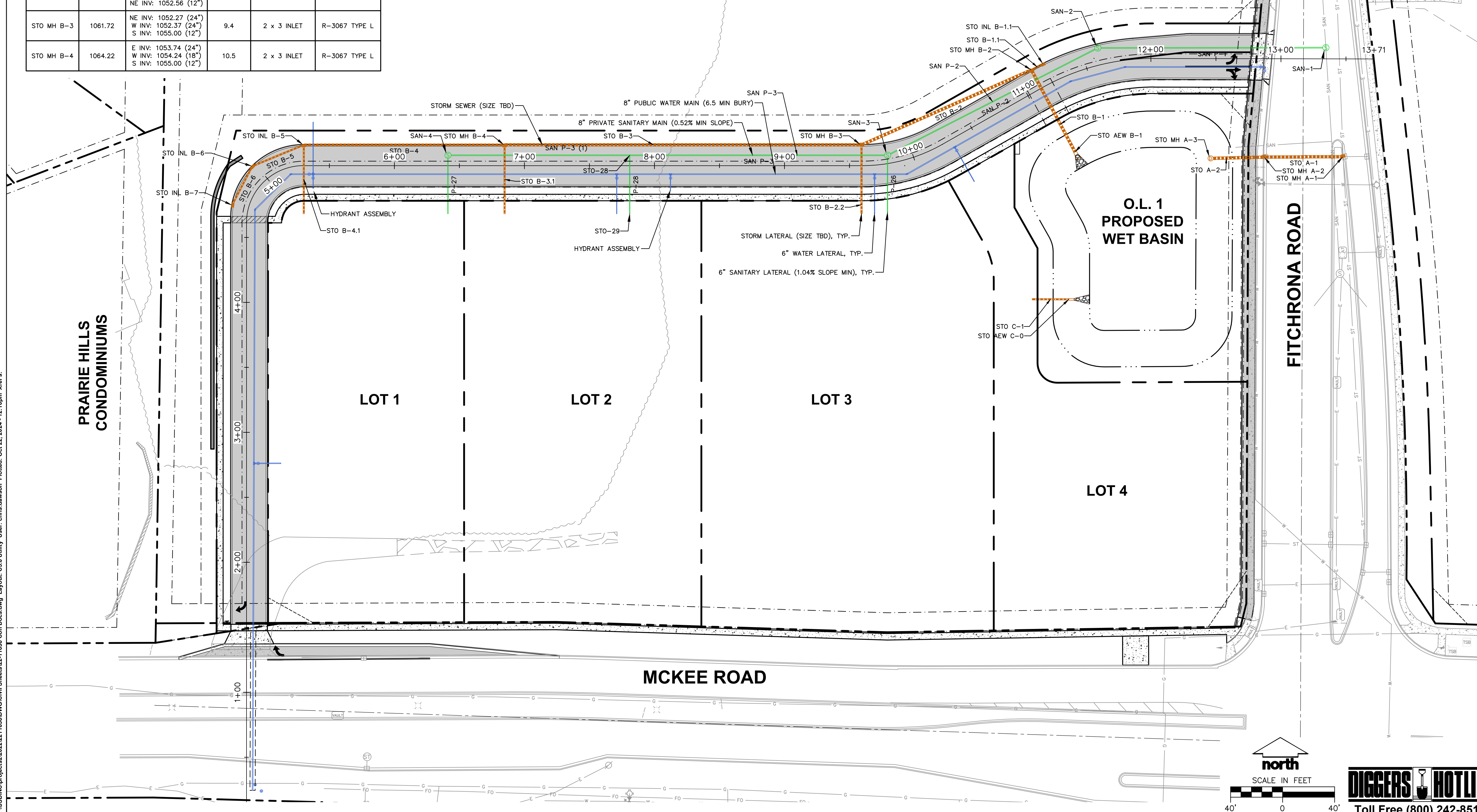
PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO AEW B-1	1053.00	NW INV: 1050.75 (24")	-	24 IN RCP FES	-
STO AEW C-0	1053.17	W INV: 1052.00 (12")	-	12 IN RCP FES	-
STO INL B-1.1	1056.39	SW INV: 1052.66 (12")	3.7	2 x 3 INLET	R-3067 TYPE L
STO INL B-5	1059.92	E INV: 1055.01 (18") SW INV: 1055.51 (12") S INV: 1055.51 (12")	4.9	2 x 3 INLET	R-3067 TYPE L
STO INL B-6	1059.46	NE INV: 1055.72 (12") SW INV: 1055.82 (12")	3.7	2 x 3 INLET	R-3067 TYPE L
STO INL B-7	1059.28	NE INV: 1055.99 (12")	3.3	2 x 3 INLET	R-3067 TYPE L
STO MH A-1	1057.46	N INV: 1049.41 (24") W INV: 1049.60 (24") S INV: 1049.46 (24") E INV: 1052.56 (12")	8.0	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-2	1057.58	W INV: 1049.88 (24") E INV: 1049.83 (24")	7.8	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-3	1052.75	E INV: 1050.00 (24")	2.8	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH B-2	1056.23	SE INV: 1051.46 (24") SW INV: 1051.56 (24") NE INV: 1052.56 (12")	4.8	60 IN MH (FLAT)	R-1550 SOLID LID
STO MH B-3	1061.72	NE INV: 1052.27 (24") W INV: 1052.37 (24") S INV: 1055.00 (12")	9.4	2 x 3 INLET	R-3067 TYPE L
STO MH B-4	1064.22	E INV: 1053.74 (24") W INV: 1054.24 (18") S INV: 1055.00 (12")	10.5	2 x 3 INLET	R-3067 TYPE L

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO MH A-2	STO MH A-1	61'	1049.83	1049.60	0.38%	24 IN RCP
STO A-2	STO MH A-2	STO MH A-3	41'	1049.88	1050.00	0.30%	24 IN RCP
STO B-1	STO MH B-2	STO AEW B-1	71'	1051.46	1050.75	1.00%	24 IN RCP
STO B-1.1	STO INL B-1.1	STO MH B-2	10'	1052.66	1052.56	1.00%	12 IN RCP
STO B-2	STO MH B-3	STO MH B-2	143'	1052.27	1051.56	0.50%	24 IN RCP
STO B-2.2	STO STUB B-2.2	STO MH B-3	53'	1055.53	1055.00	1.00%	12 IN RCP
STO B-3	STO MH B-4	STO MH B-3	274'	1053.74	1052.37	0.50%	24 IN RCP
STO B-3.1	STO STUB B-3.1	STO MH B-4	53'	1055.53	1055.00	1.00%	12 IN RCP
STO B-4	STO INL B-5	STO MH B-4	154'	1055.01	1054.24	0.50%	18 IN RCP
STO B-4.1	STO STUB B-4.1	STO INL B-5	53'	1056.04	1055.51	1.00%	12 IN RCP
STO B-5	STO INL B-6	STO INL B-5	43'	1055.72	1055.51	0.50%	12 IN RCP
STO B-6	STO INL B-7	STO INL B-6	34'	1055.99	1055.82	0.50%	12 IN RCP
STO C-1	STO STUB C	STO AEW C-0	28'	1053.69	1052.00	6.00%	12 IN RCP

PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN-1	1058.23	N INV: 1040.84 (8") W INV: 1041.10 (8") S INV: 1040.84 (8")	17.4	48 IN MH	R-1550 SOLID LID
SAN-2	1057.04	E INV: 1047.39 (8") SW INV: 1047.33 (8")	9.7	48 IN MH	R-1550 SOLID LID
SAN-3	1061.12	NE INV: 1049.36 (8") W INV: 1049.46 (8") S INV: 1060.95 (4")	11.8	48 IN MH	R-1550 SOLID LID
SAN-4	1063.15	E INV: 1053.11 (8") S INV: 1062.98 (4")	10.1	48 IN MH	R-1550 SOLID LID

PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
SAN P-1	SAN-2	SAN-1	175'	1047.39	1041.10	3.59%	8 IN PVC
SAN P-2	SAN-3	SAN-2	182'	1049.36	1047.33	1.12%	8 IN PVC
SAN P-3	STO-28	SAN-3	198'	1051.60	1049.46	1.08%	8 IN PVC

OUTLOT 3



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Designed By: MSS
 Reviewed By: CD
 Approved By: CD

UTILITY PLAN

SHEET NUMBER:
C5.0

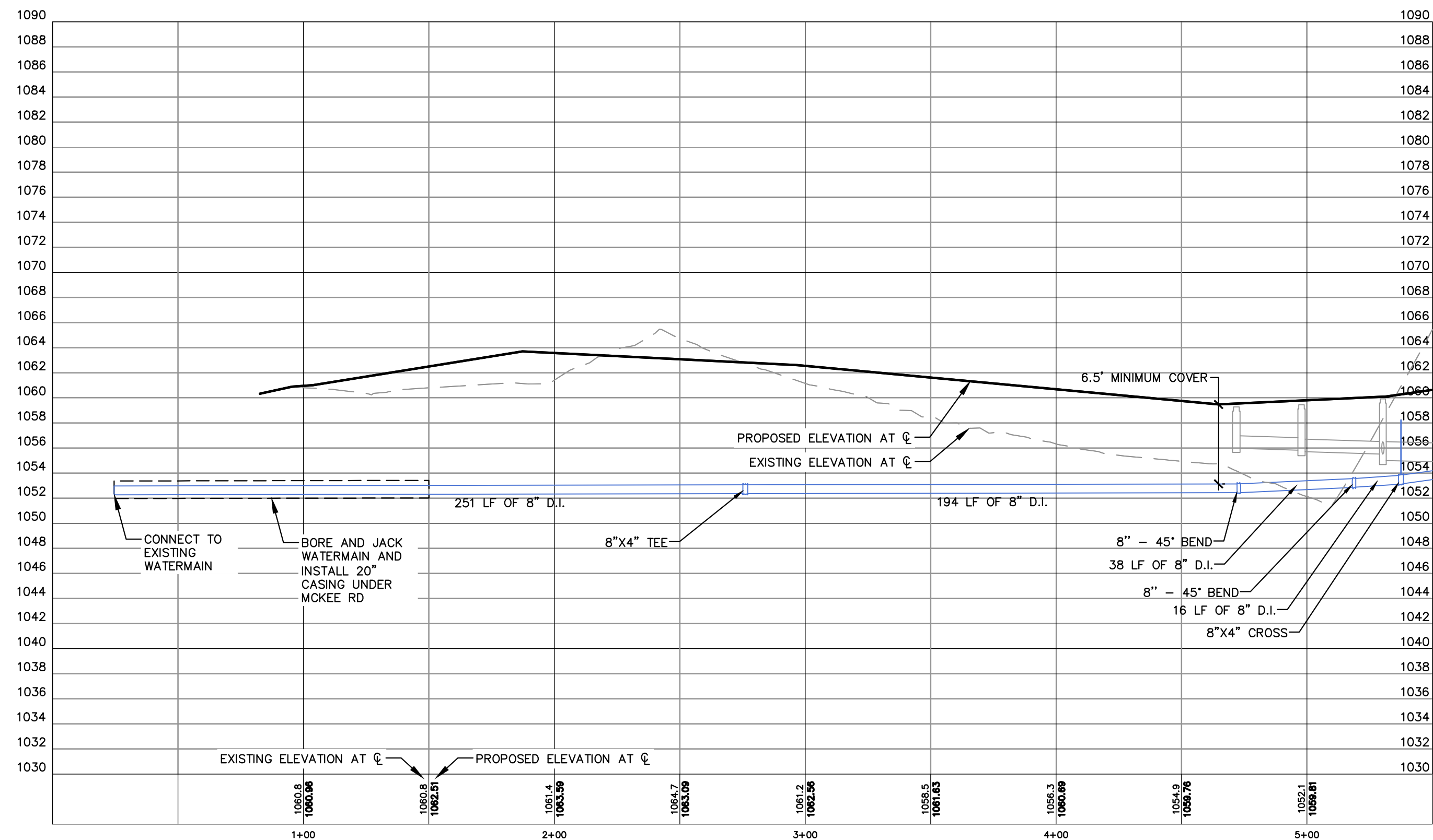
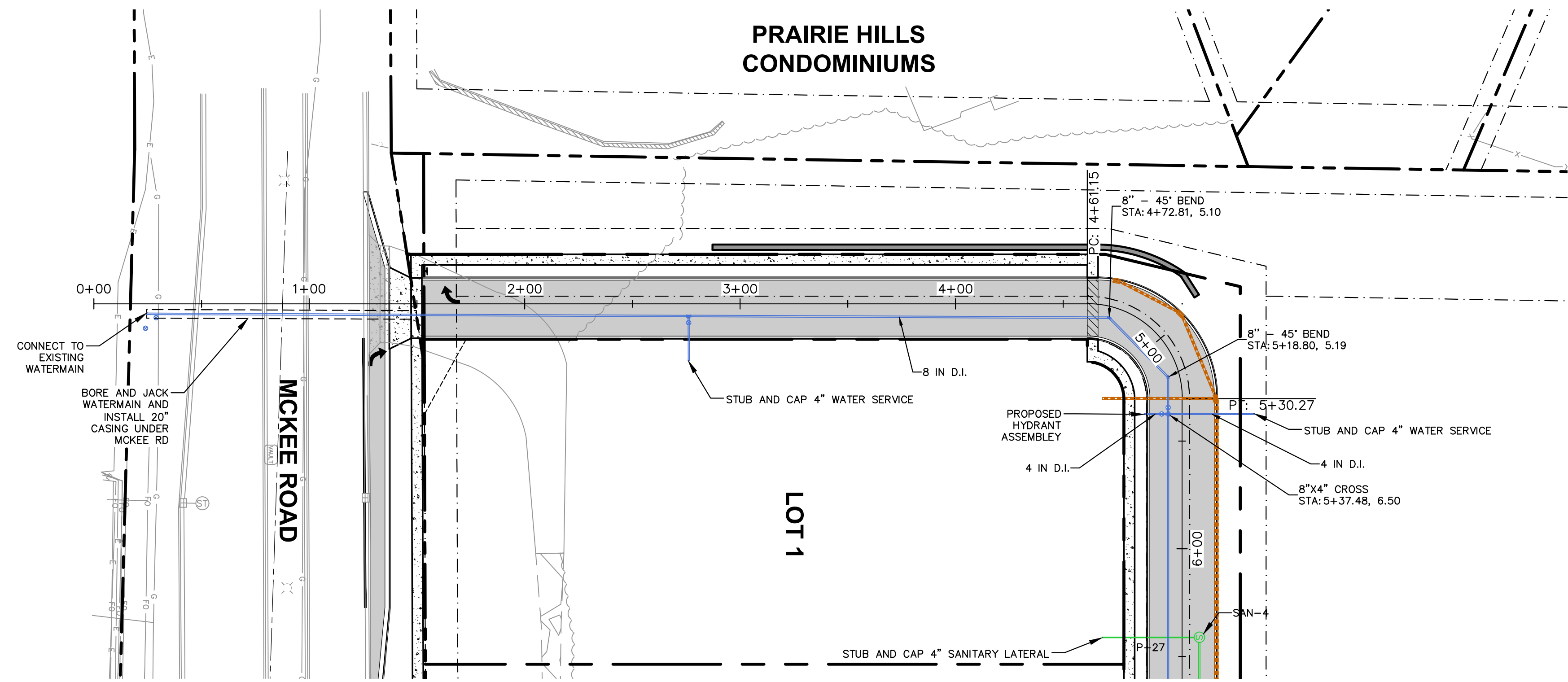
JSD PROJECT NO: 22-11636

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north

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 22x34 = 40 SCALE
 11x17 = 80 SCALE

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**PRAIRIE HILLS
 CONDOMINIUMS**

MCKEE ROAD

LOT 1



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 Approved By: CD

**STREET PLAN AND
 PROFILE**

SHEET NUMBER:
C6.0

JSD PROJECT NO: 22-11636

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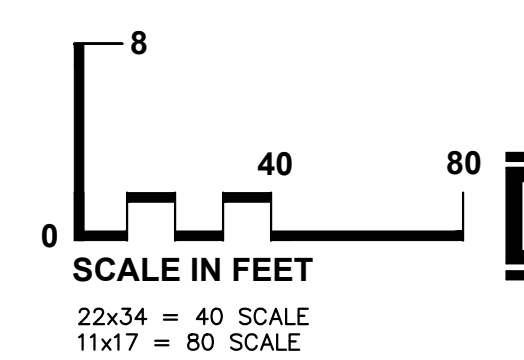
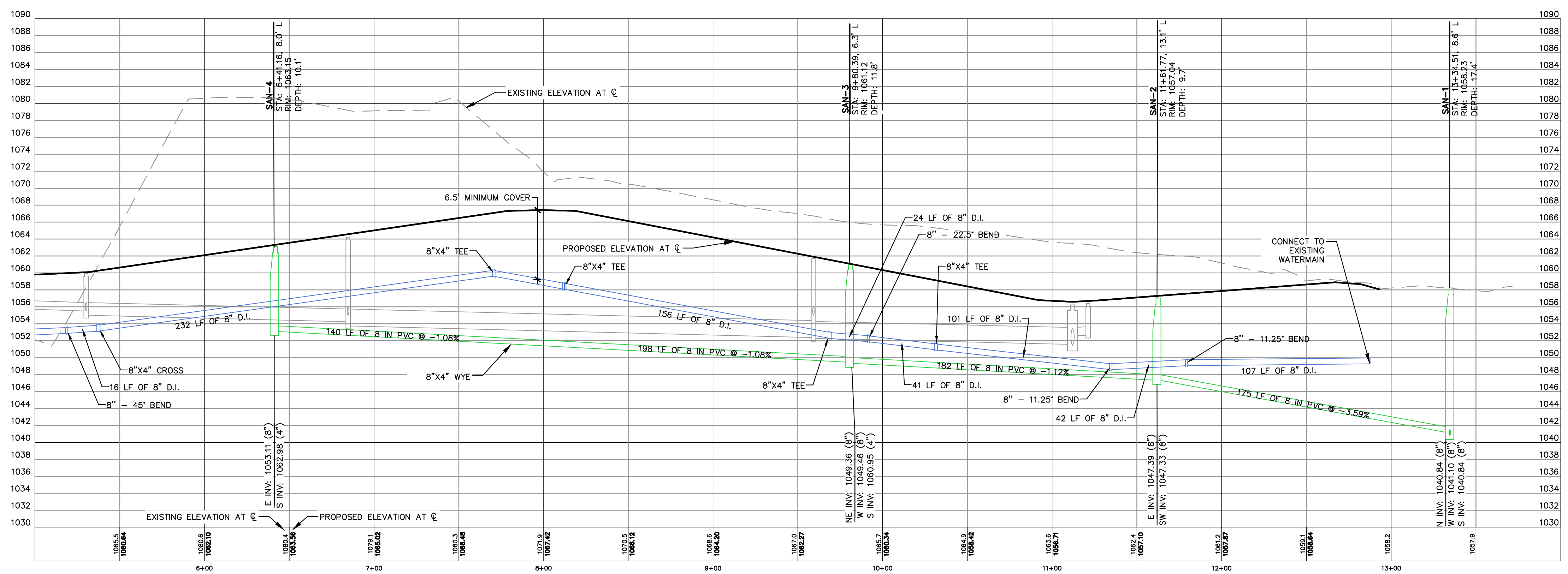
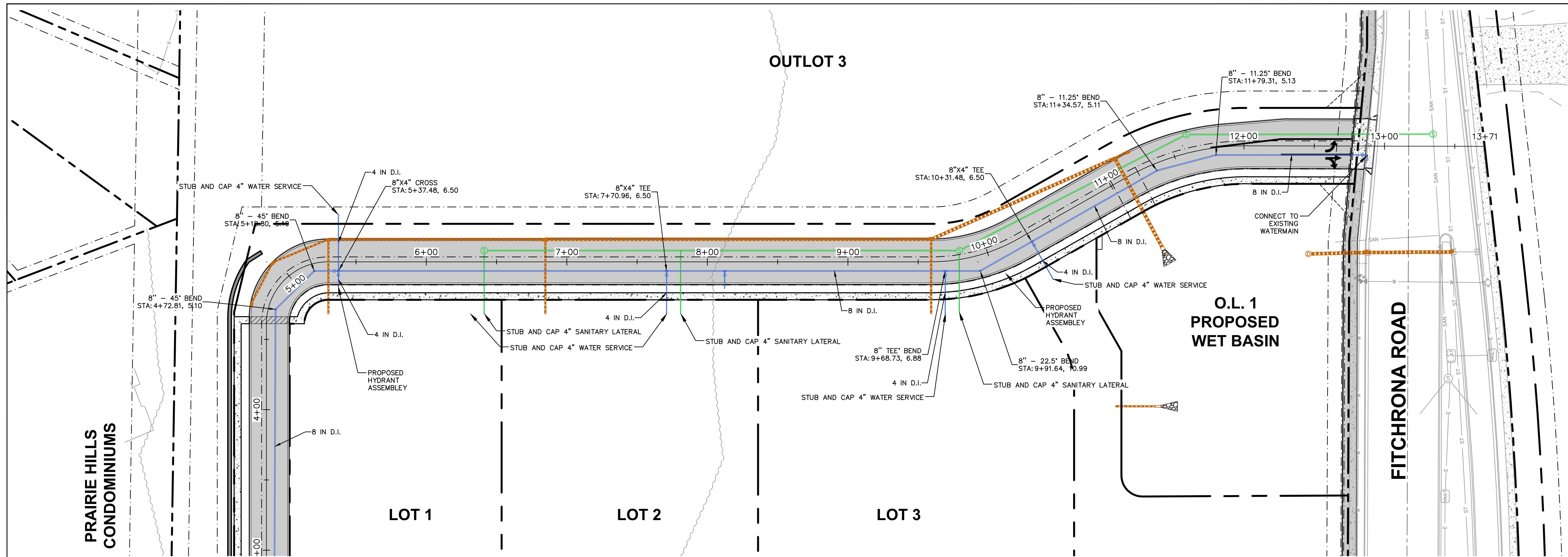
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Reviewed By:
Approved By: CD

SHEET TITLE:
STREET PLAN AND PROFILE

SHEET NUMBER:

C6.1



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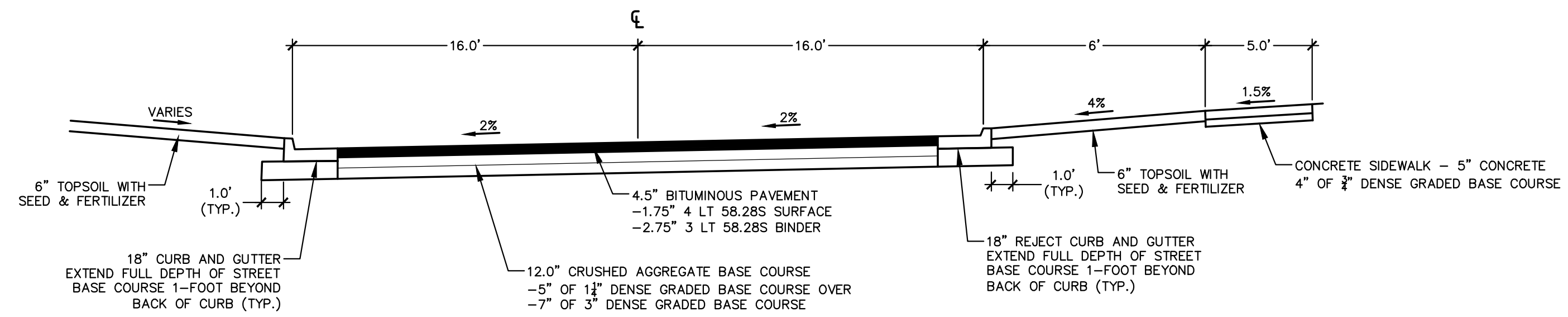
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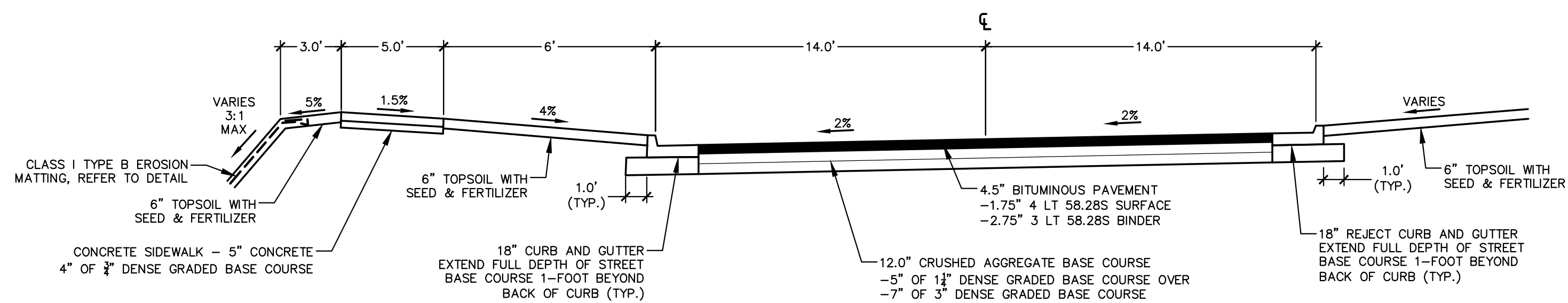
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**DETAILS -
TYPICAL SECTIONS**

SHEET NUMBER:

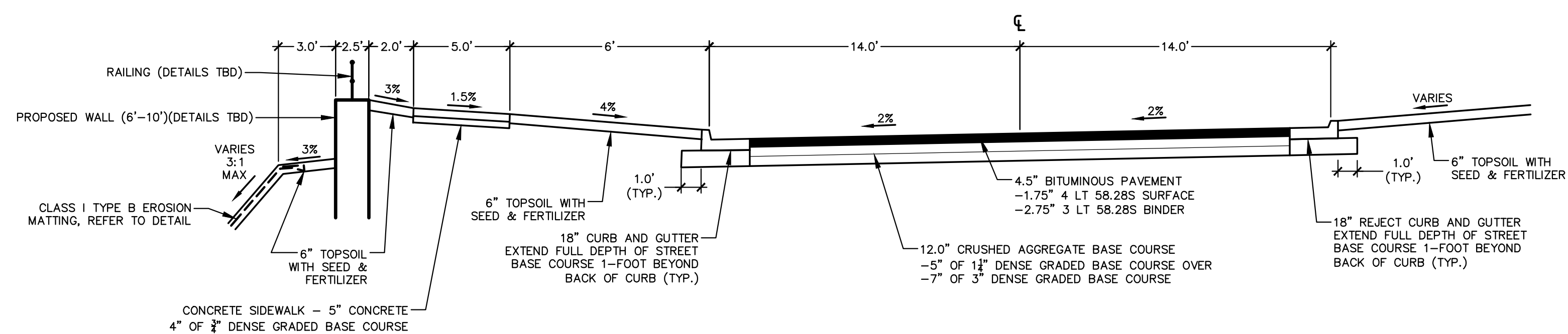
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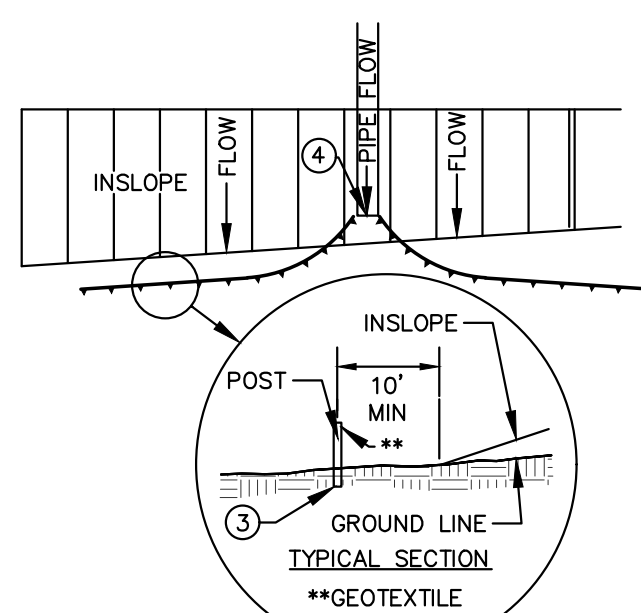
TYPICAL SECTION 1



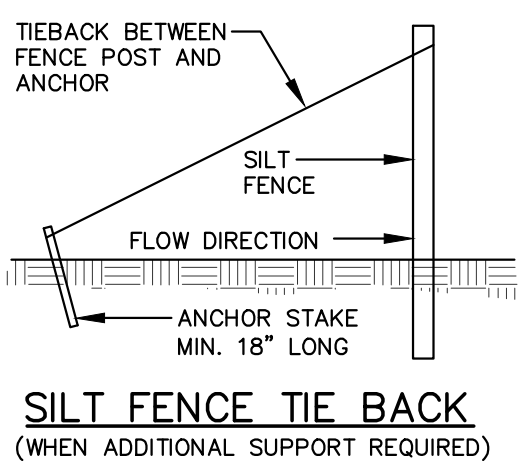
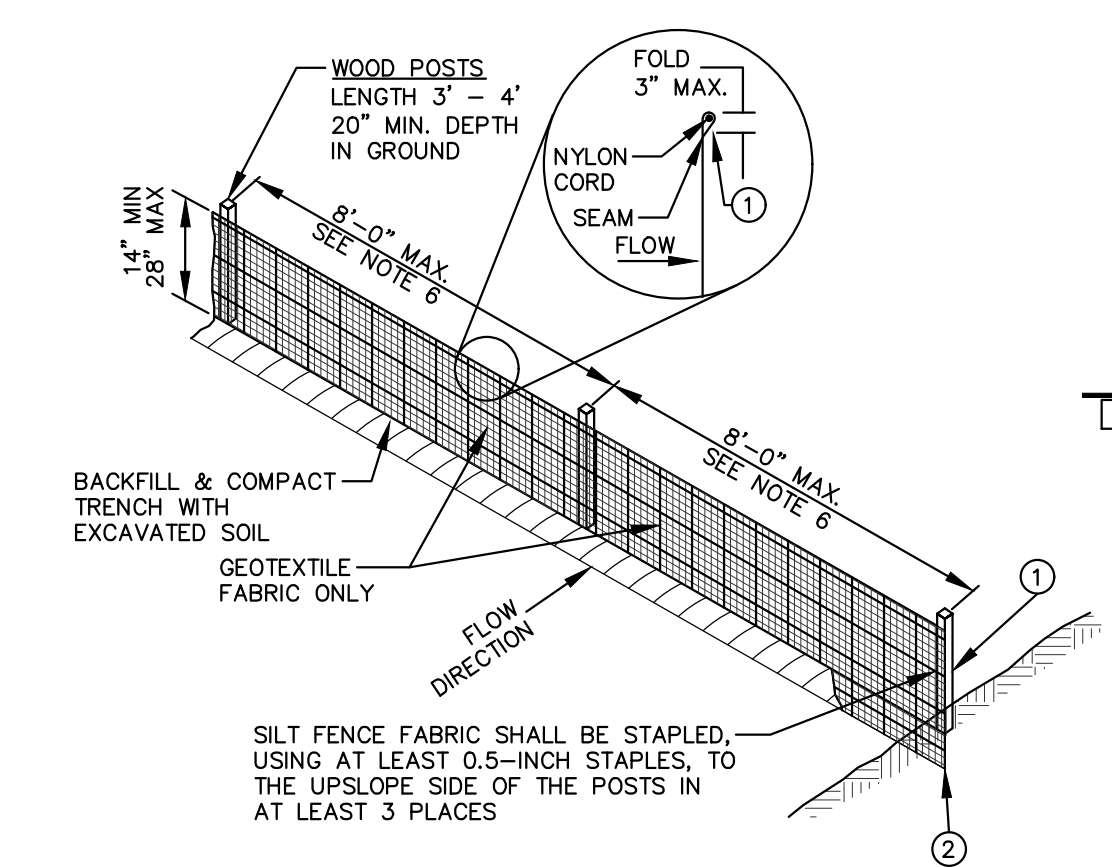
TYPICAL SECTION 2 - WITHOUT WALL



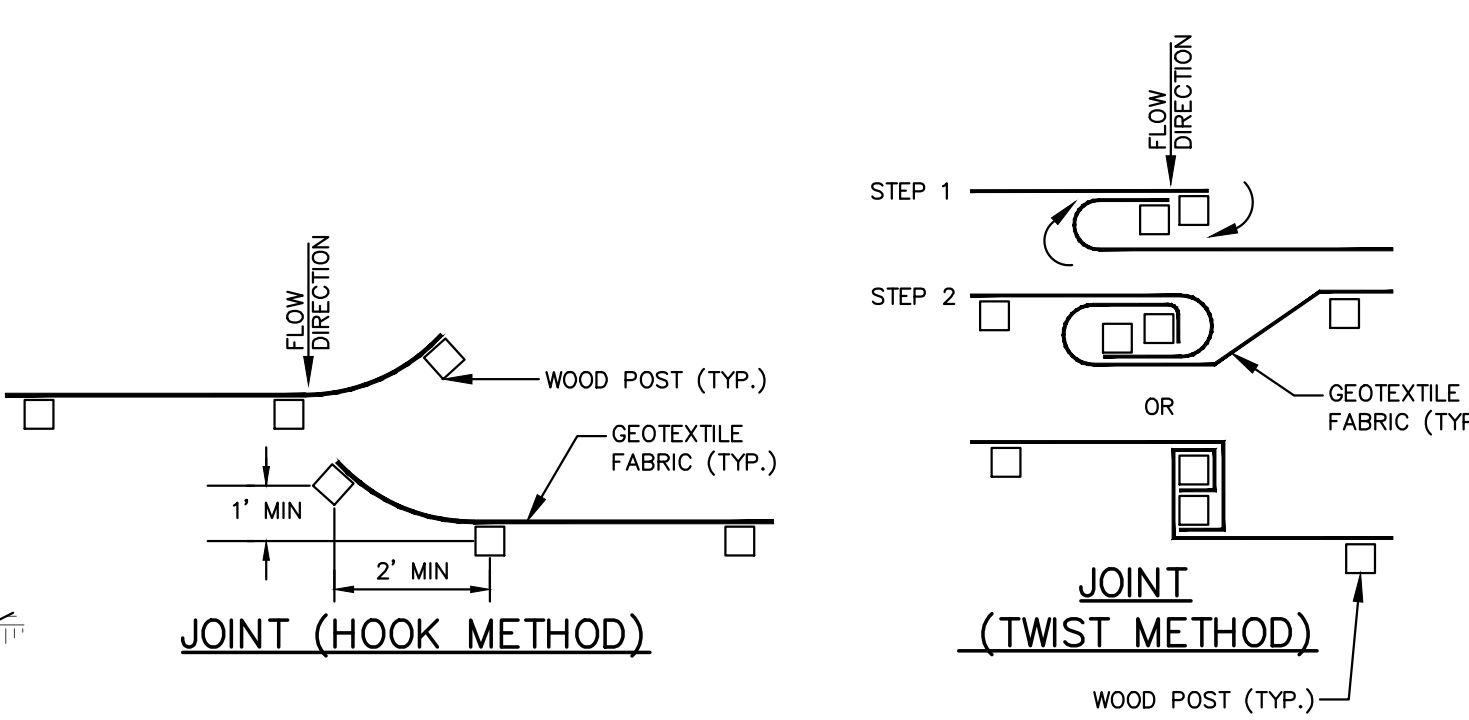
TYPICAL SECTION 2 - WITH WALL



SILT FENCE ALONG SLOPES & OUTFALLS



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



JOINT (HOOK METHOD)

JOINT (TWIST METHOD)

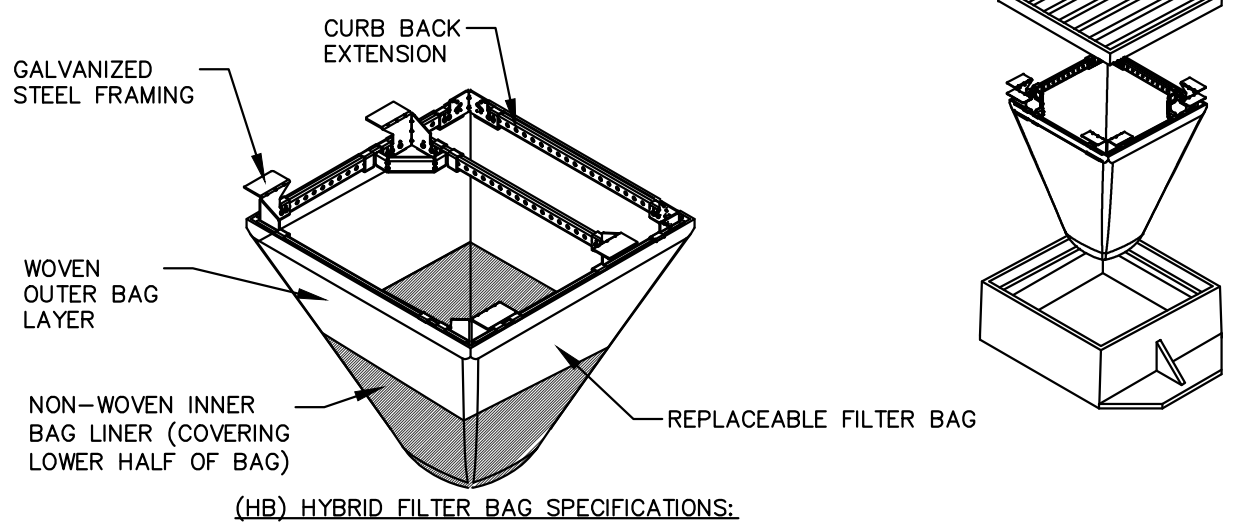
GENERAL NOTES:

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDMR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

SILT FENCE

N.T.S.

FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS



(HB) HYBRID FILTER BAG SPECIFICATIONS:

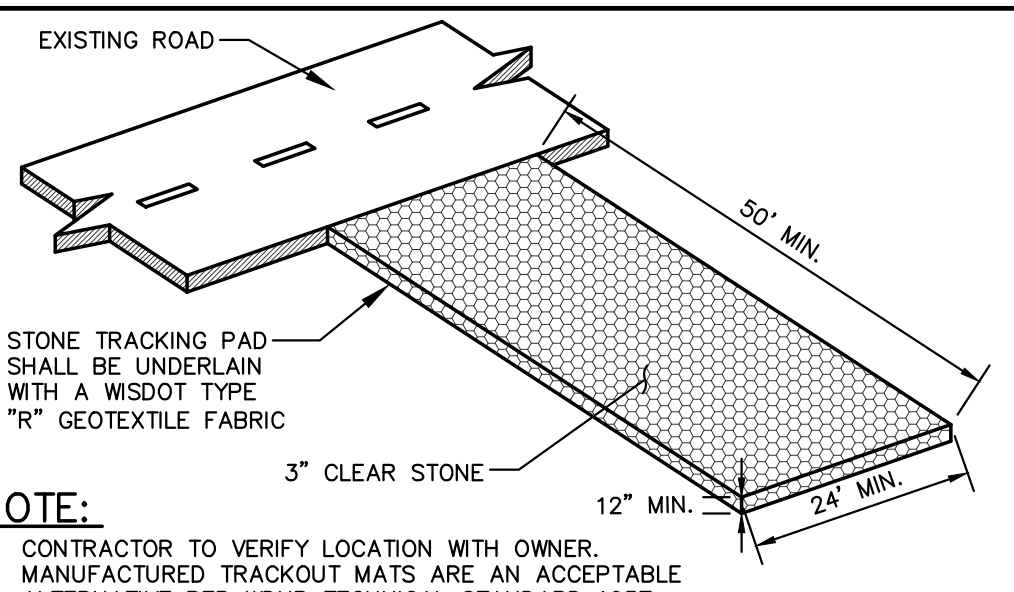
- INSTALLATION INSTRUCTIONS:**
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE
 - CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
 - DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
 - REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"
- MAINTENANCE GUIDELINES:**
- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
 - REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE.
 - DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT 4. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

CATCH-IT INLET FILTER (Temporary Inlet Protection)							
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft ³)	Flow Ratings (CFS)	ADS P/N	
					HB (Hybrid Bag)	Bypass	
3067	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.2	5.8	62LCBEXTHB
3248A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCB9024HB
3030	Square/Rect (SQ)	23 x 19	20.5 x 13.5	1.6	0.7	2.2	62MCSB2319HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62LCSQB18HB
R-2501	Round (RD)	-28	-24	2.3	0.8	5.2	62MRD28HB
R-172/2560	Round (RD)	22.25-23.5	20.5-21	1.5	0.8	4.6	62MRD22HB

Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Roll Values)			
PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (LINER)
TENSILE STRENGTH	ASTM D4632	350 x 225 lbs	100 lbs
ELONGATION	ASTM D4632	20% x 15%	50%
CBR PUNCTURE	ASTM D6241	1000 lbs	65 lbs
TRAPEZOIDAL TEAR	ASTM D4538	110 x 75 lbs	45 lbs
UV RESISTANCE	ASTM D4355	90%	70%
OPENING SIZE (ADS)	ASTM D4751	20 US STD-SIEVE	40 US STD-SIEVE
PERMEABILITY	ASTM D4491	1.5 Sec ²	2.0 Sec ²
WATER FLOW RATE	ASTM D4901	200 g/(min)(ft ²)	145 g/(min)(ft ²)
MINIMUM FILTER BAG VOLUME		2 CUBIC FT	

FRAMED INLET PROTECTION

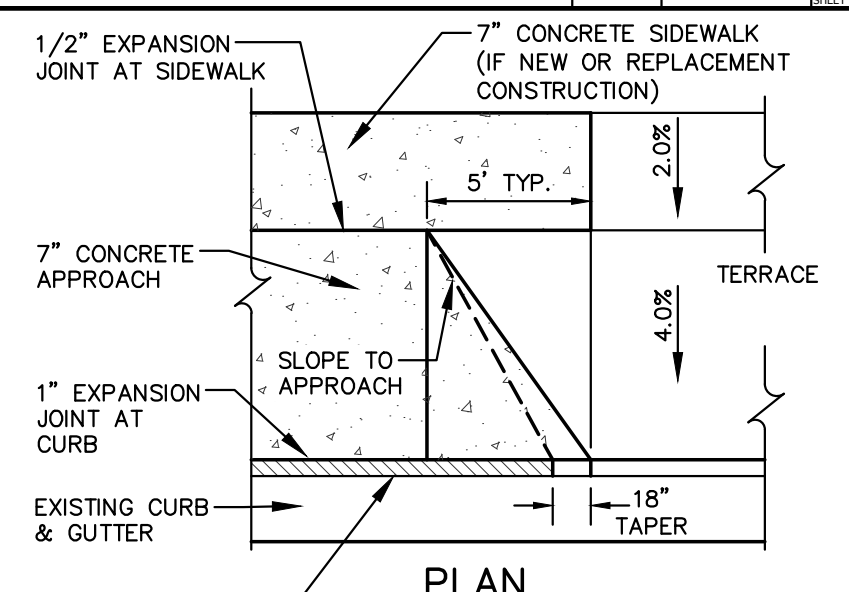
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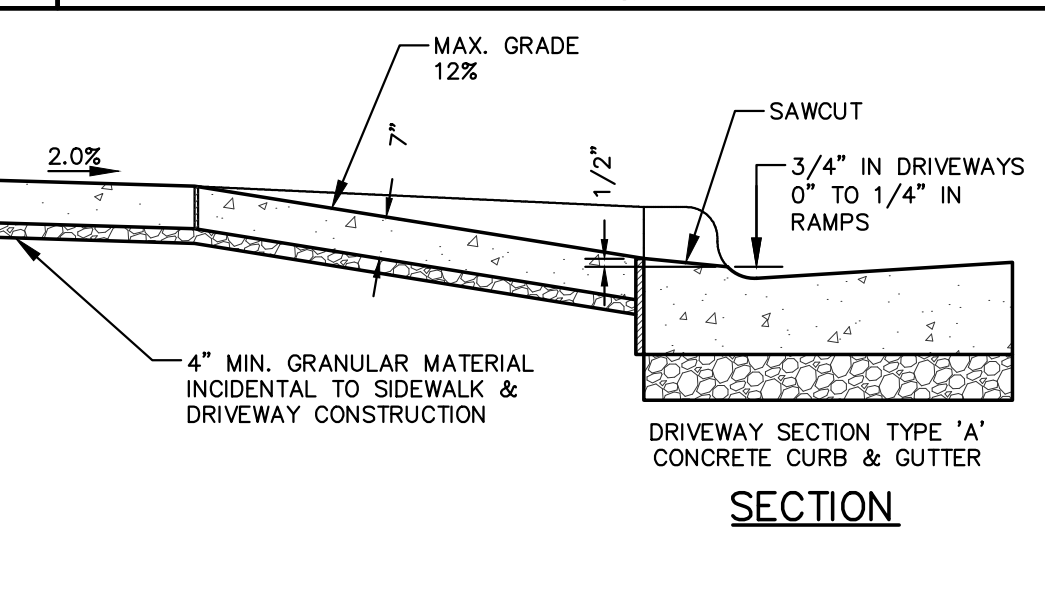
- NOTE:**
- CONTRACTOR TO VERIFY LOCATION WITH OWNER.
 - MANUFACTURED TRACKOUT MATS ARE AN ACCEPTABLE ALTERNATIVE PER WDMR TECHNICAL STANDARD 1057.

CONSTRUCTION ENTRANCE

N.T.S.

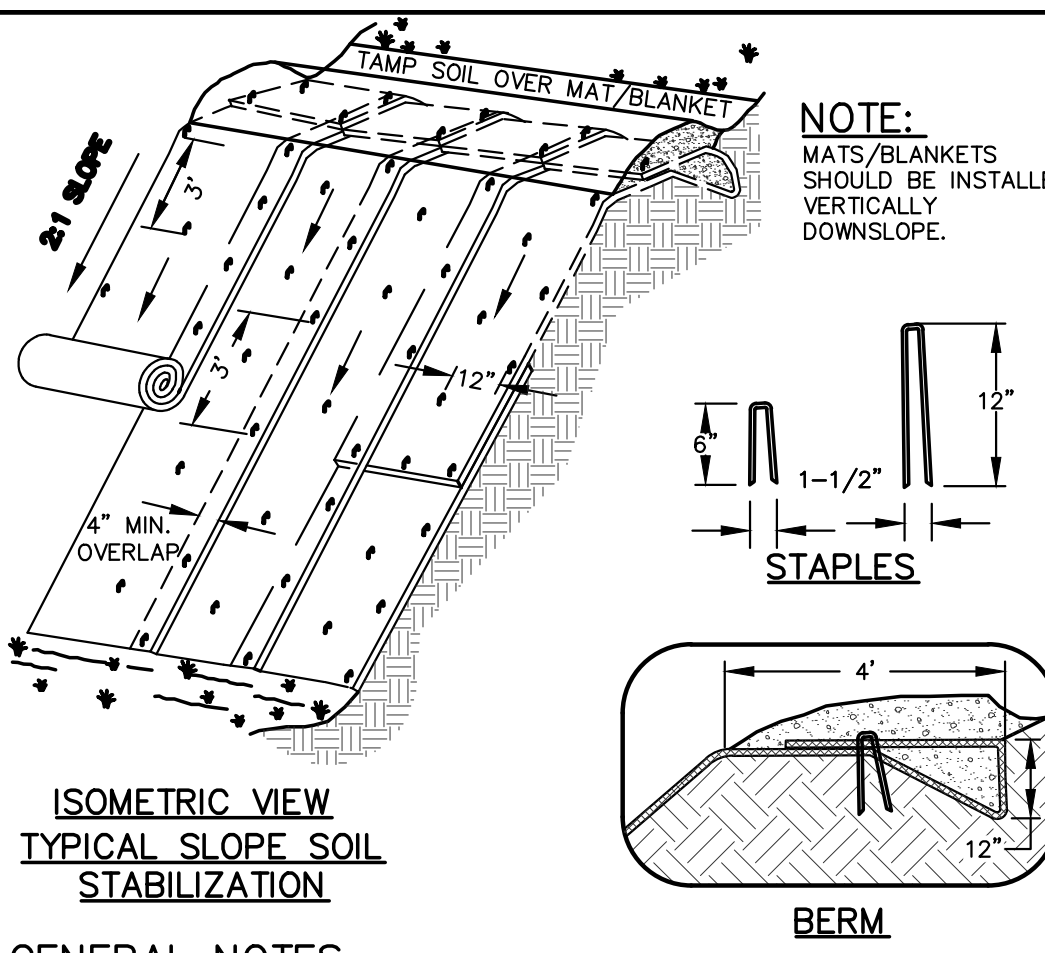


COMMERCIAL ENTRANCE



SECTION

N.T.S.



ISOMETRIC VIEW TYPICAL SLOPE SOIL STABILIZATION

GENERAL NOTES:

- EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
- ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.



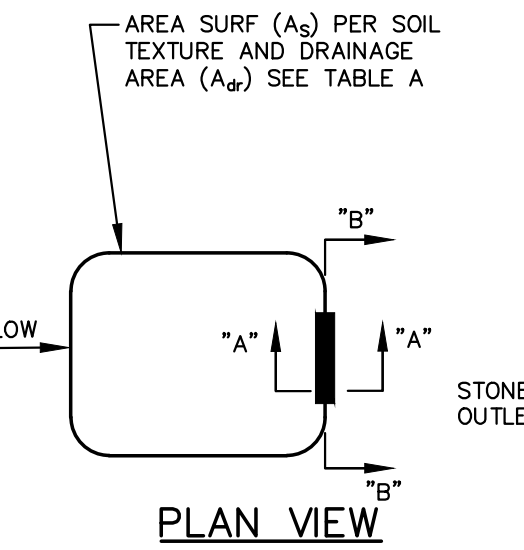
EROSION MATTING

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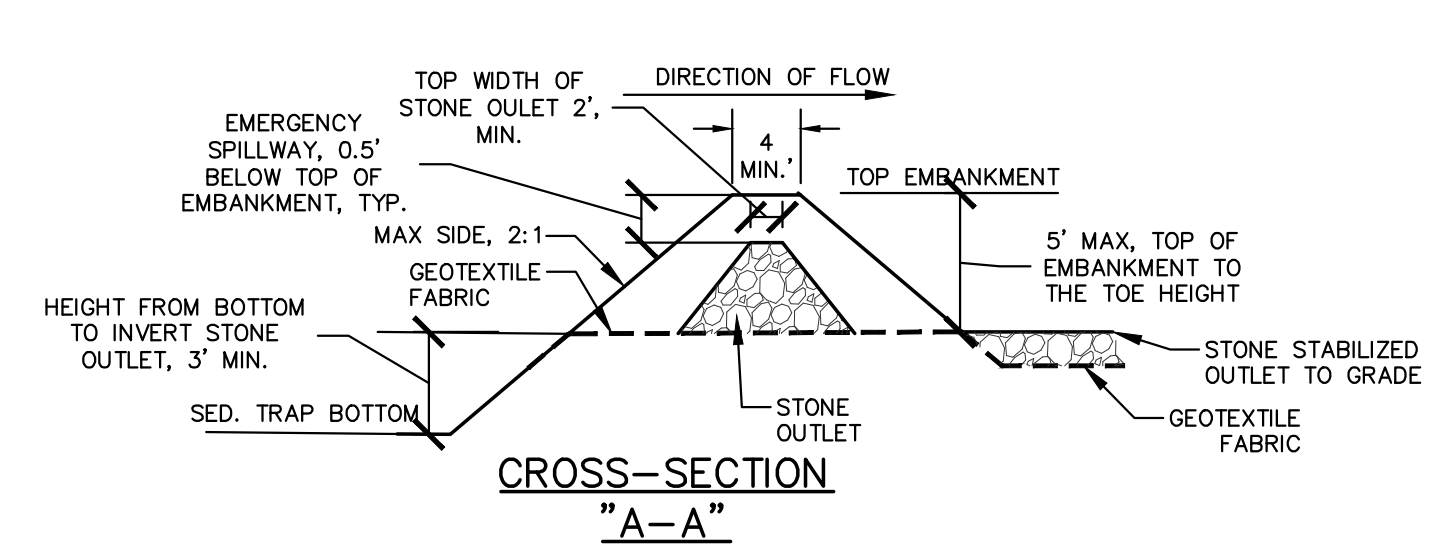
TABLE A:

SEE TEXTURE	
COURSE (SAND, LOAMY SAND, SANDY LOAM)	$A_s = 625 \cdot A_d$
MEDIUM (LOAMS, SILT, SILTY LOAM)	$A_s = 1560 \cdot A_d$
FINE (SANDY CLAY, SILTY CLAY, SILTY CLAY LOAM, CLAY)	$A_s = 5300 \cdot A_d$

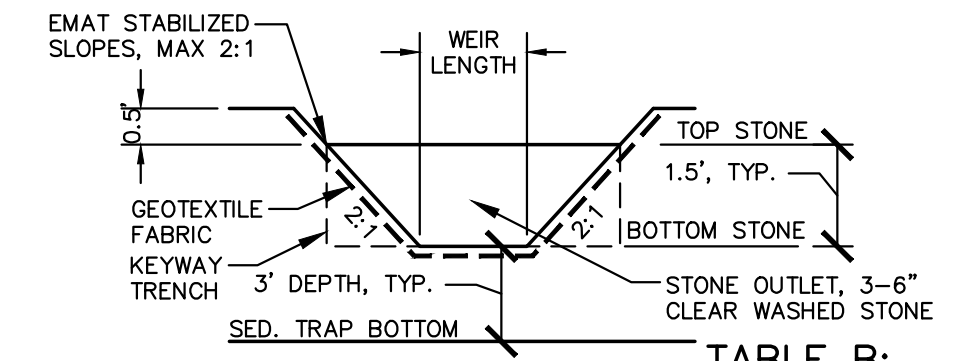
- NOTES:**
- ASSUME DRAINAGE AREA (A_d) TO NEAREST 0.1 ACRES
 - SURFACE AREA (A_s) IN SQUARE FEET



PLAN VIEW



CROSS-SECTION "A-A"



CROSS-SECTION "B-B"

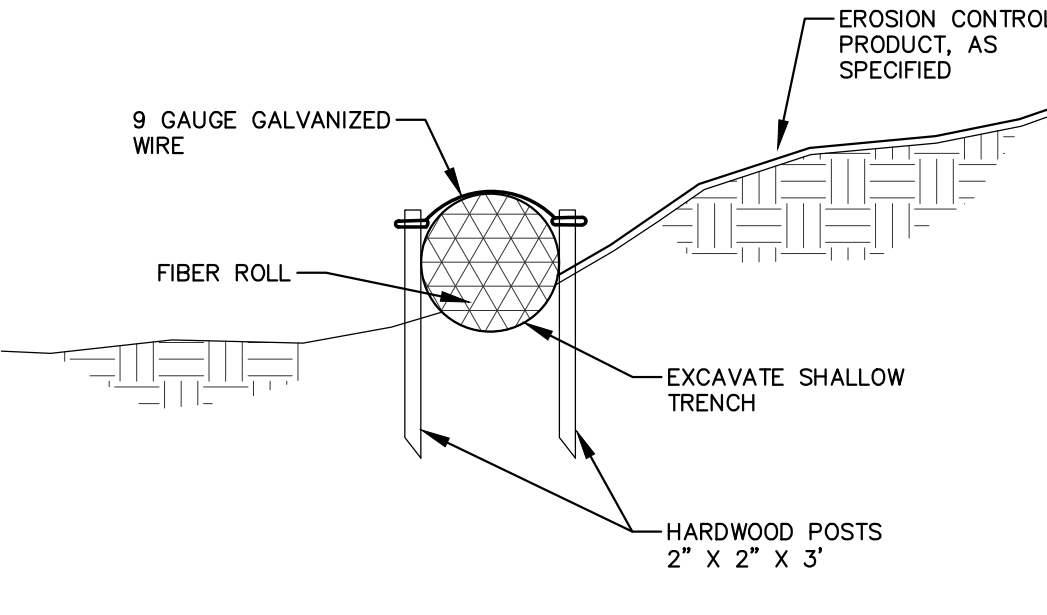
TABLE B:

DRAINAGE AREA (A_d) (acres)	WEIR LENGTH (FT)
1	4
2	6
3	8
4	10
5	12

- NOTES:**
- REFER TO WDMR STORM WATER CONSTRUCTION TECHNICAL STANDARD NO. 1063, CURRENT EDITION FOR FURTHER DETAILS AND PROVISIONS FOR CONSTRUCTION, MAINTENANCE, AND OTHER CONSIDERATIONS

SEDIMENT TRAP

N.T.S.

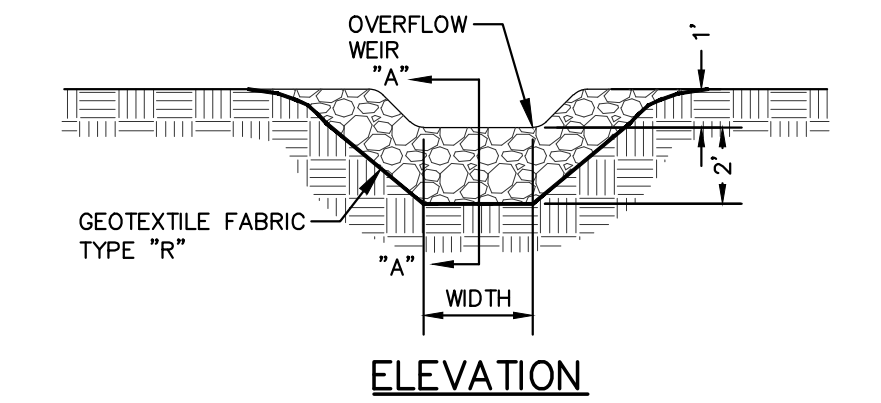


GENERAL NOTES:

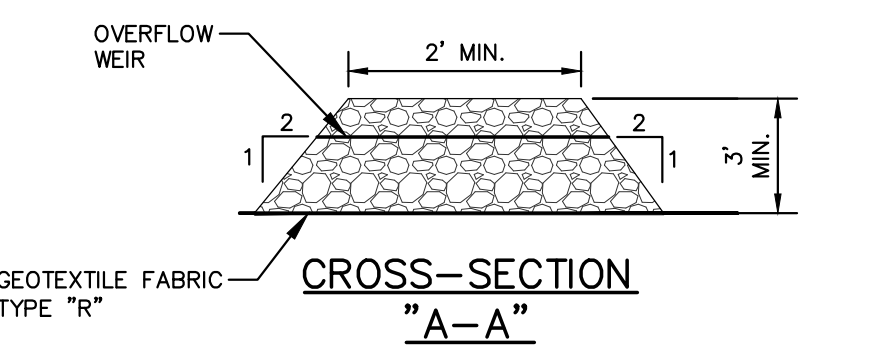
- EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
- PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" x 2" POSTS PLACED ON BOTH SIDES OF THE ROLL AND SPACED LATERALLY ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL, IF NECESSARY.
- NOTCH THE POSTS AND TIE TOGETHER, ACROSS THE ROLL, WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
- PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMP. PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED.

FIBER SILT SOCK

N.T.S.



ELEVATION



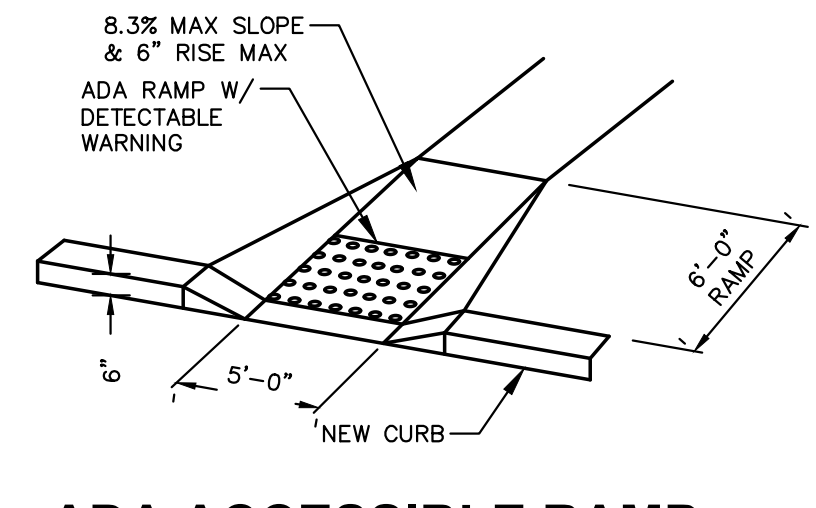
CROSS-SECTION "A-A"

GENERAL NOTES:

- STONE DITCH CHECKS SHALL BE CONSTRUCTED OF A WELL-GRADED ANGULAR STONE, A D50 OF 3 INCH DIAMETER OR GREATER, SOMETIMES REFERRED TO AS BREAKER RUN OR SHOT ROCK.
- EXTEND DITCH CHECK ACROSS CHANNEL OPENING TO MEET SWALE/DITCH SIDE SLOPES. WHERE CHANNEL IS LESS THAN 3 FEET DEEP, REDUCE WEIR HEIGHT TO 1 FOOT AND INCREASE THE TOP OF DITCH CHECK FROM 2 FEET TO 4 FEET.

STONE DITCH CHECK

N.T.S.



ADA ACCESSIBLE RAMP - INLINE

N.T.S.



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507 WEST VERONA AVENUE, SUITE 500
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JAMESTOWN QUARRY

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Designed By: **MSS**
Reviewed By:
Approved By: **CD**

DETAILS

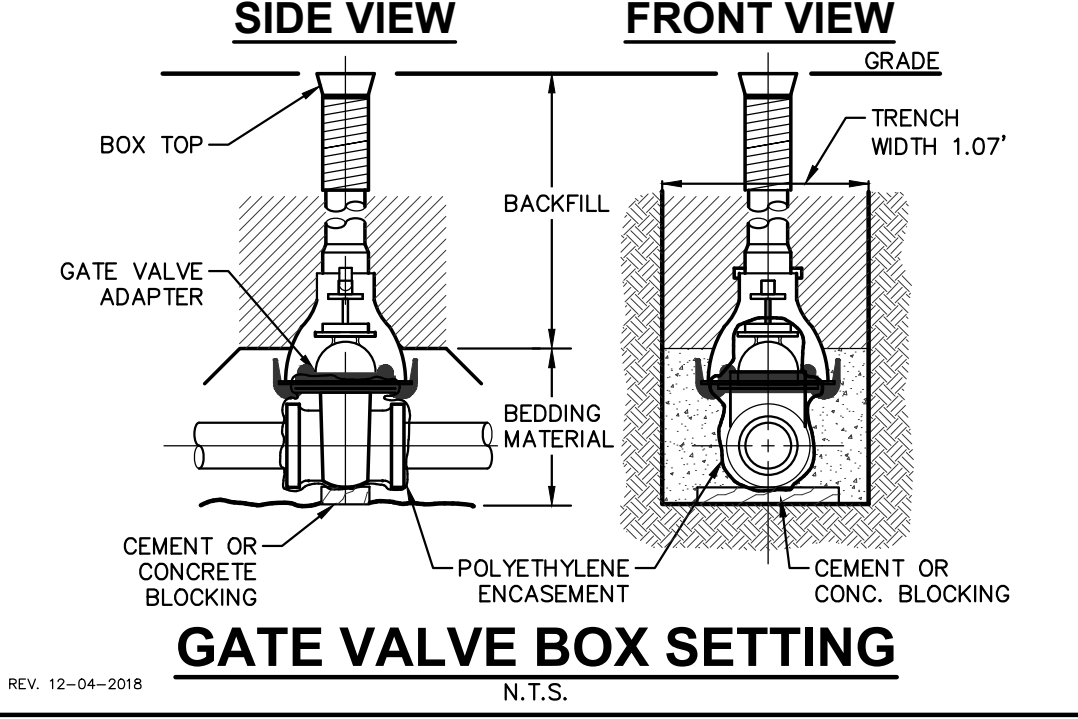
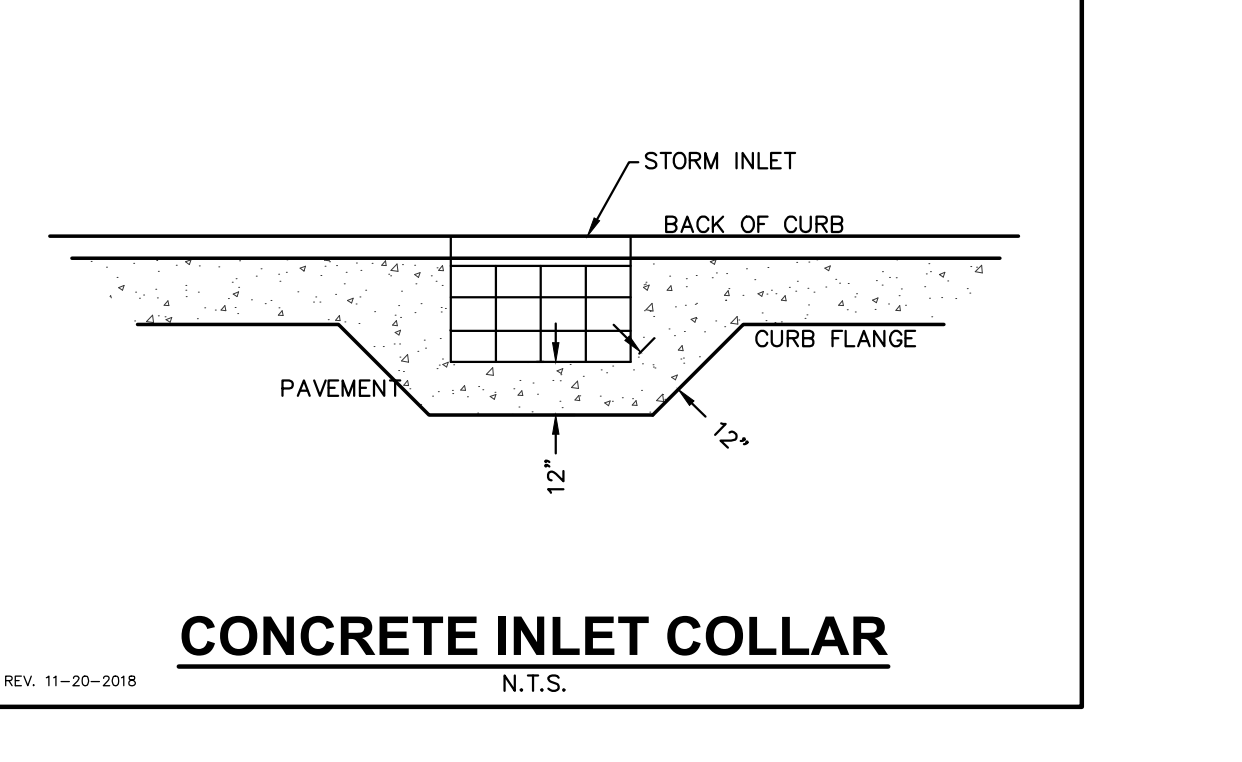
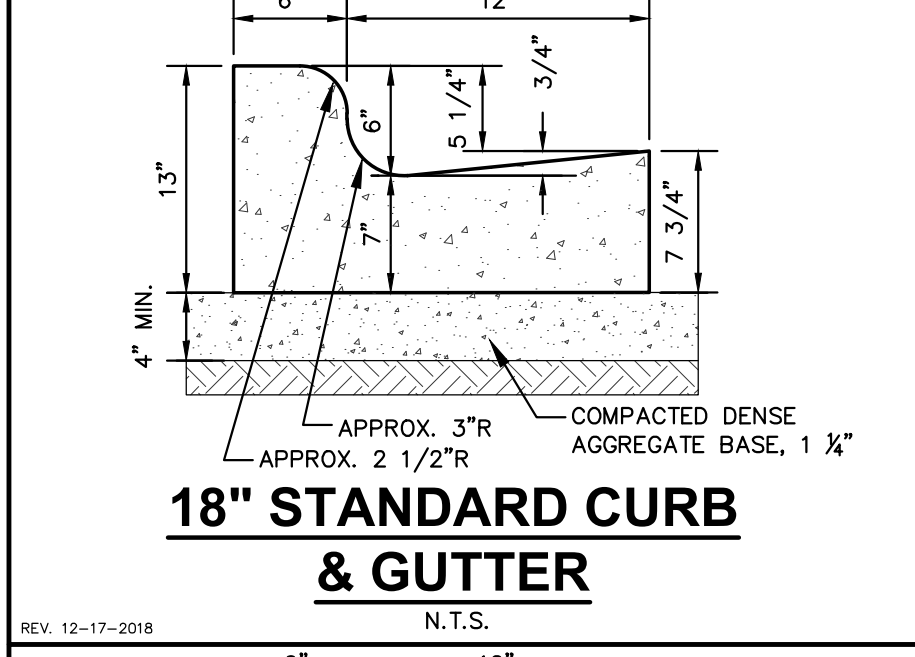
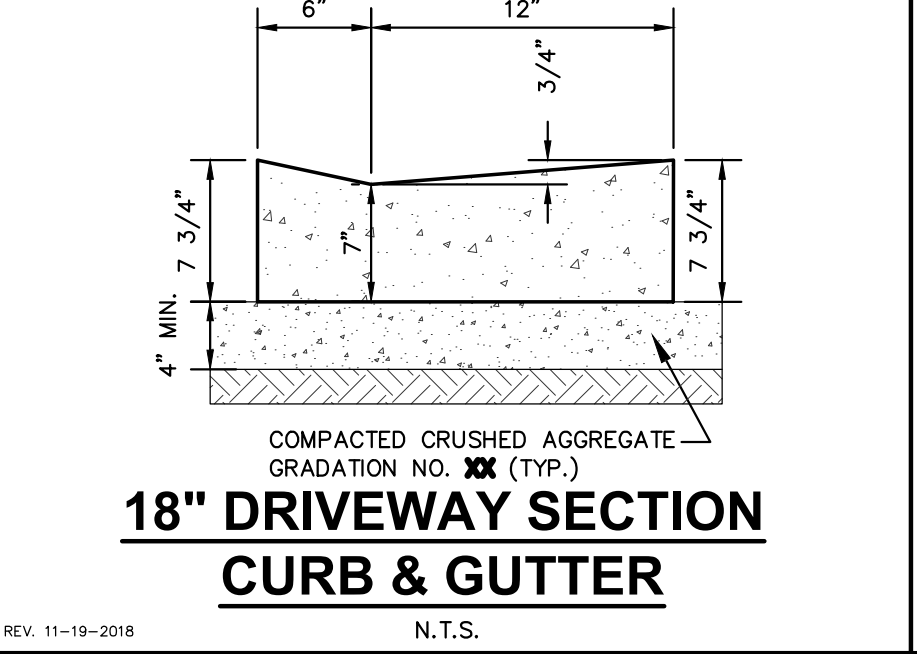
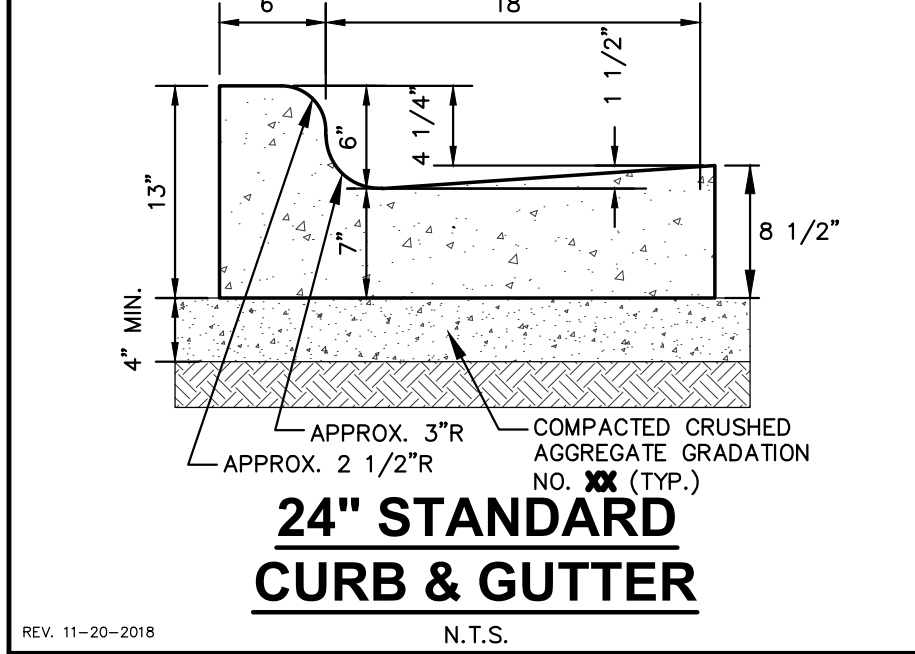
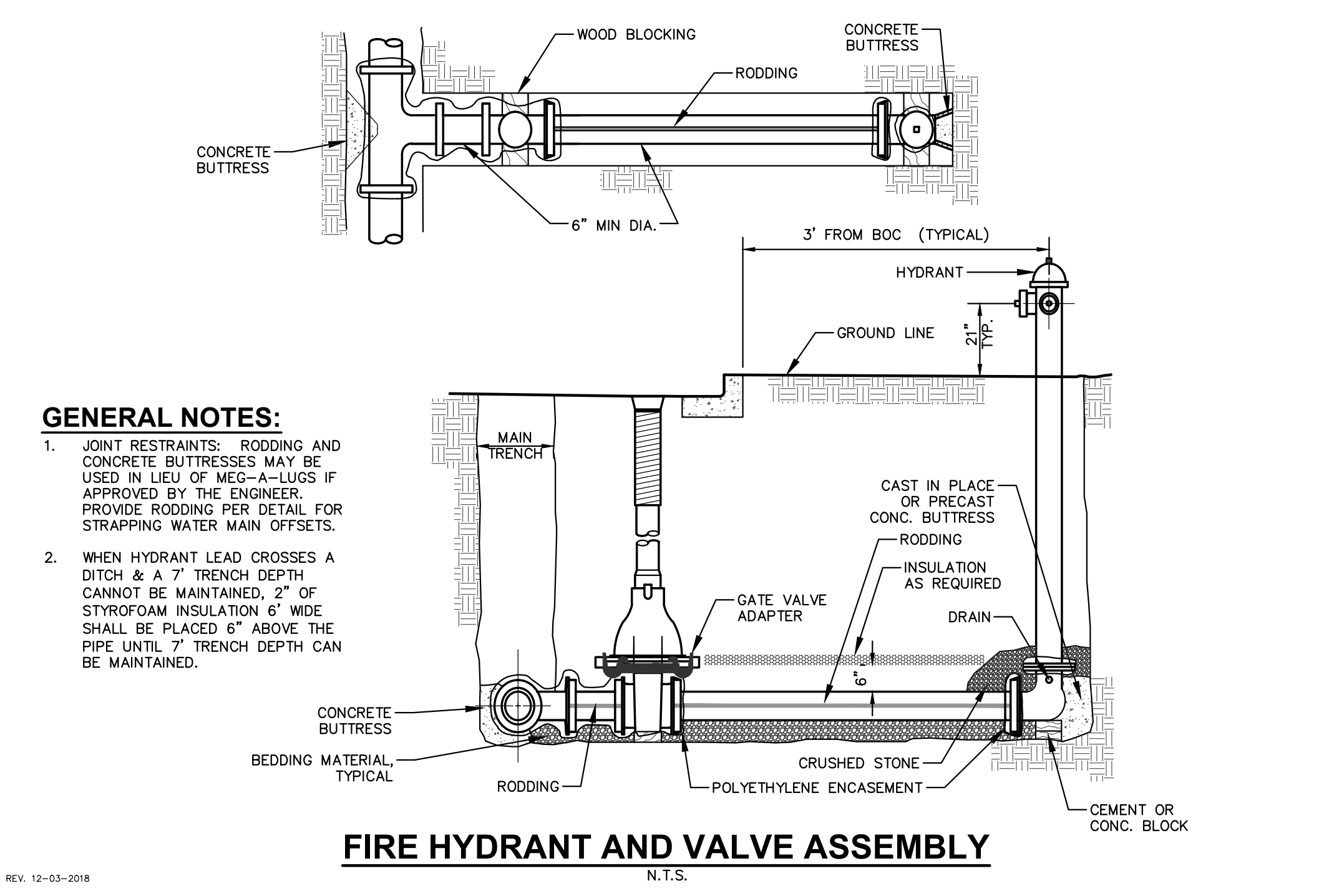
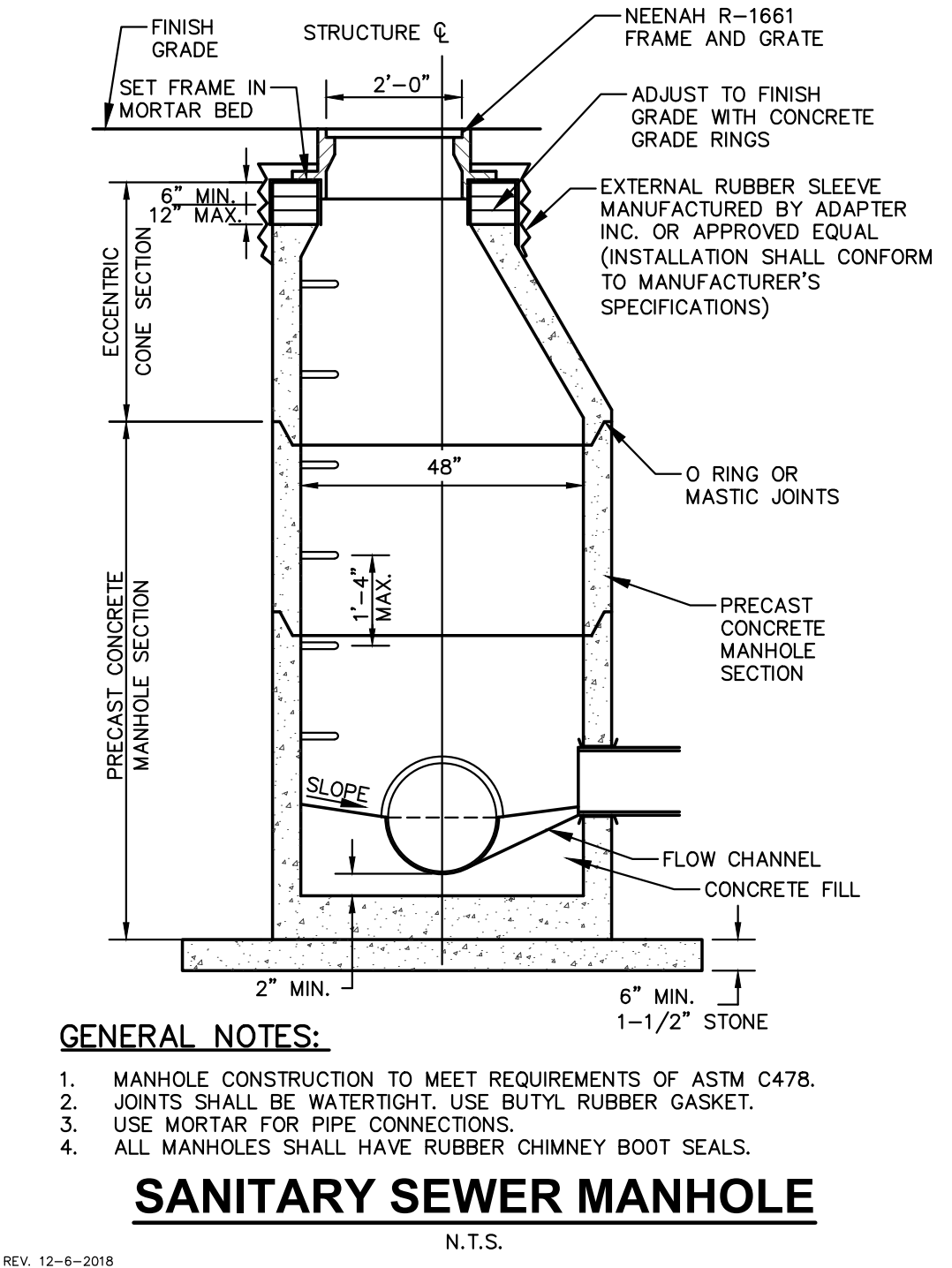
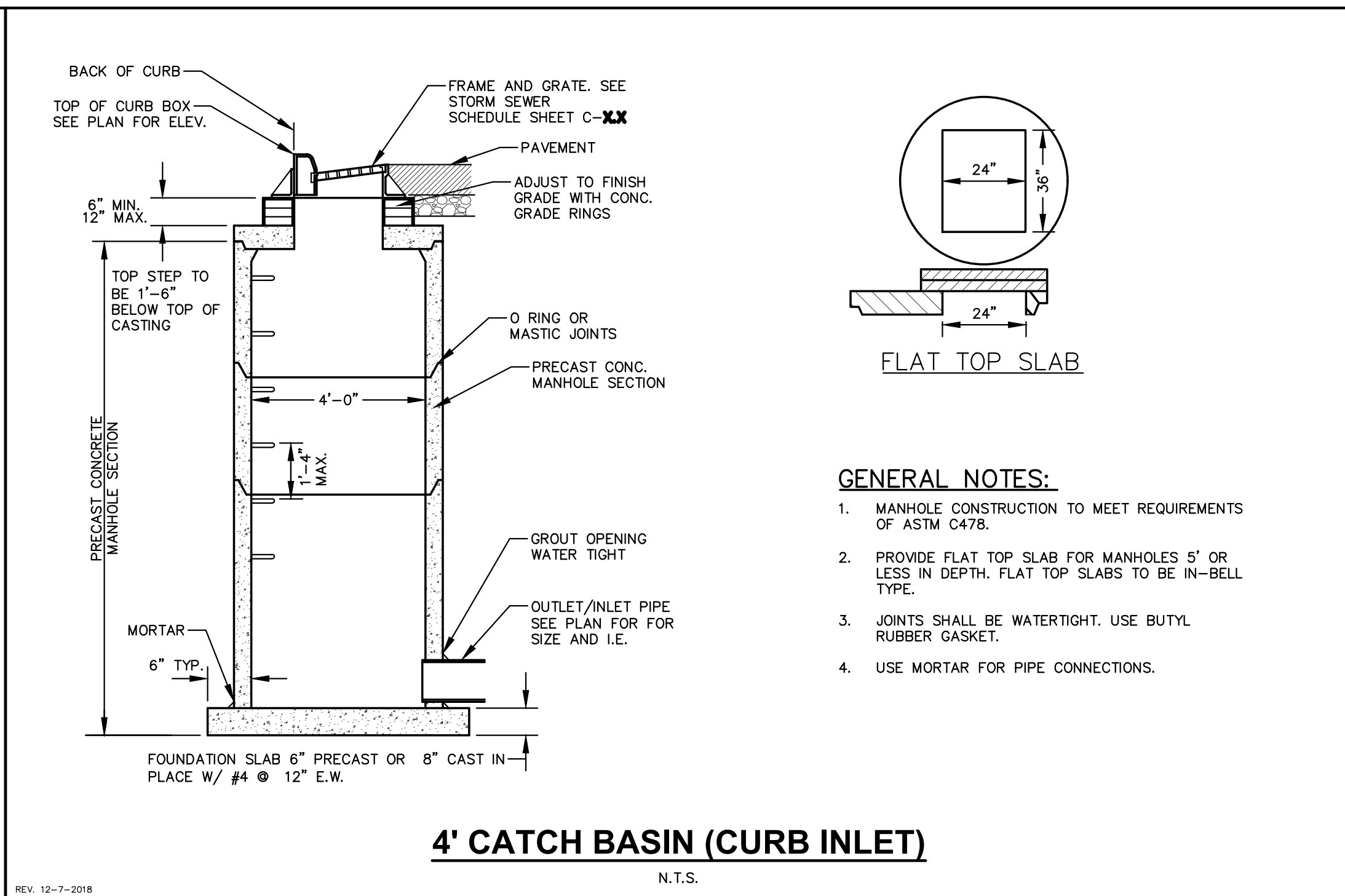
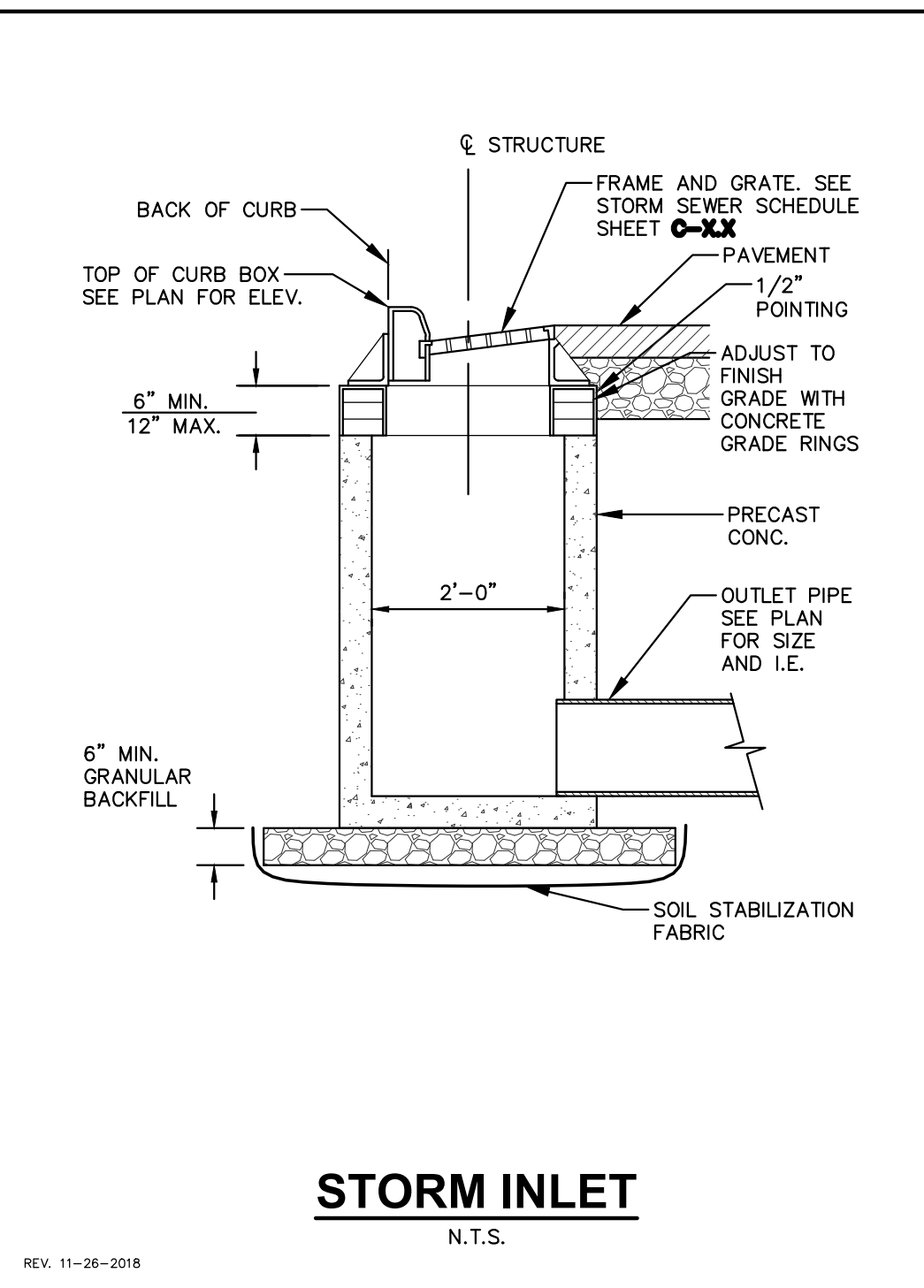
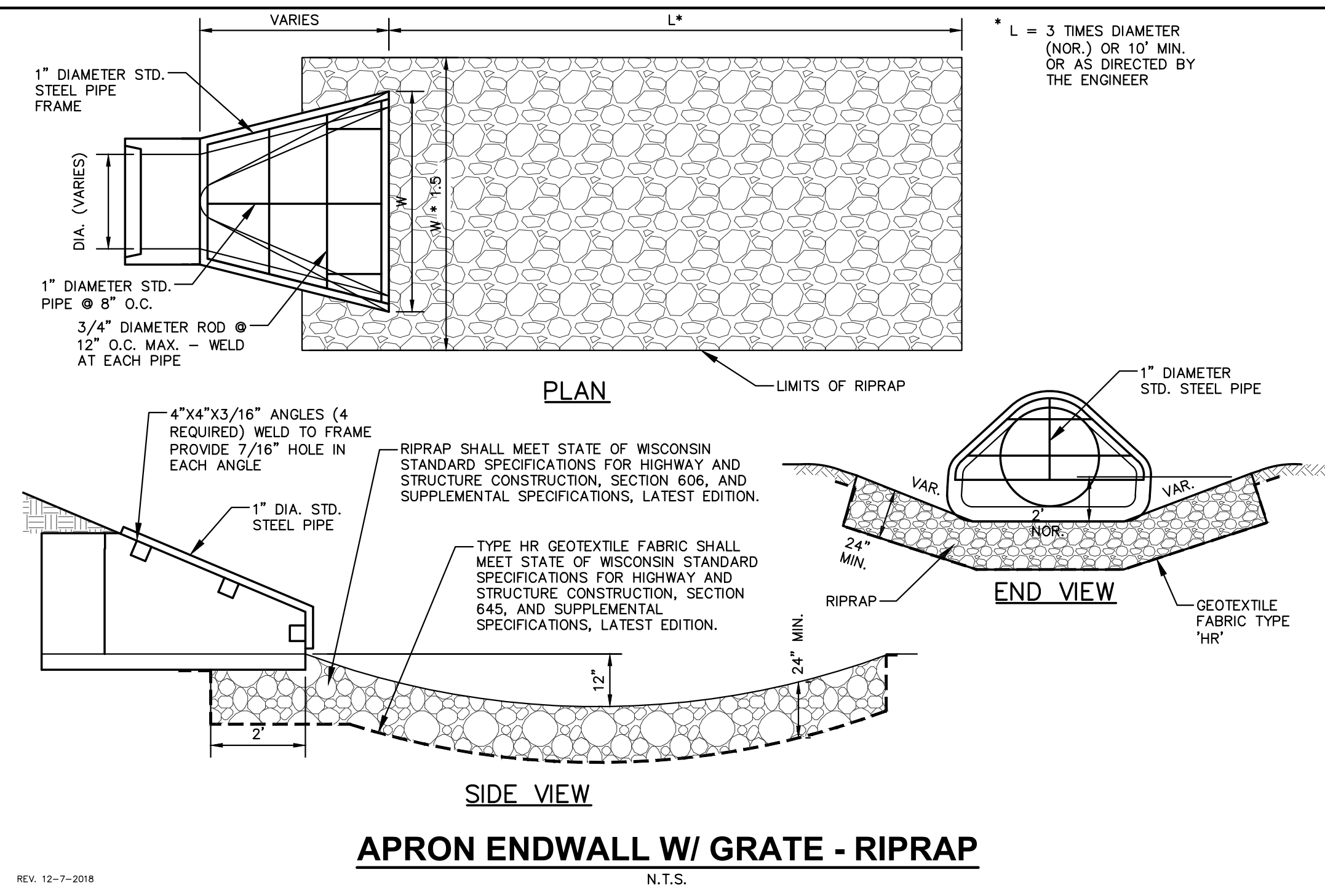
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JSD PROJECT NO: 22-11636

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Reviewed By:
Approved By: CD

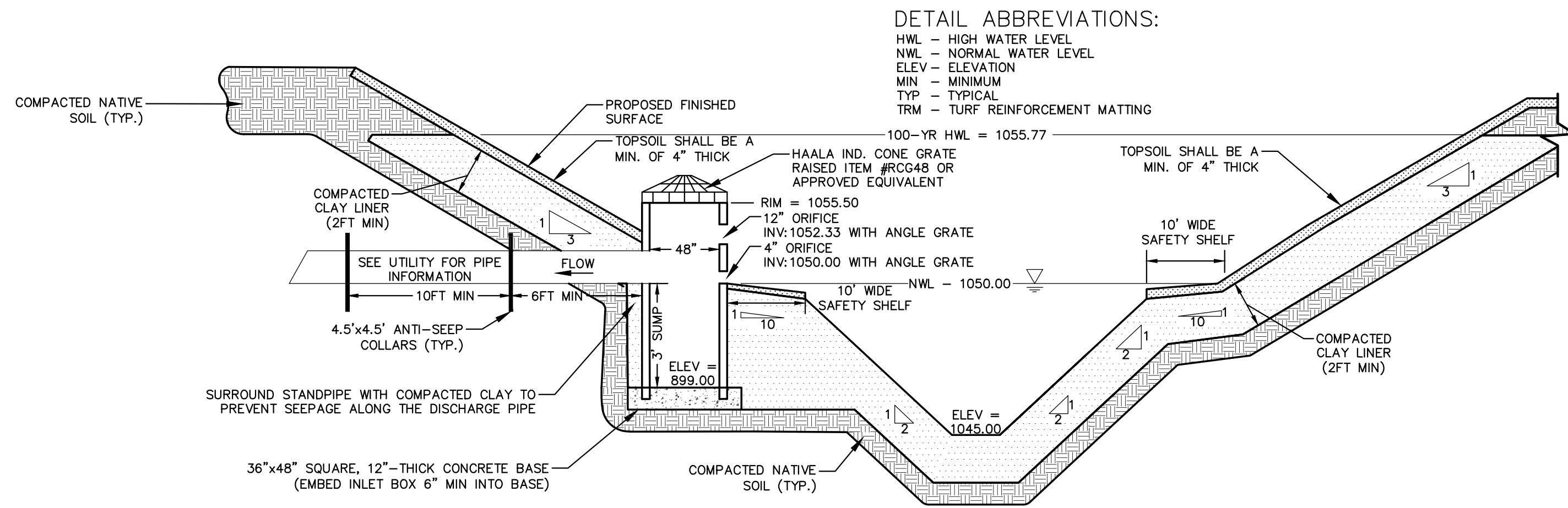
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DETAILS

SHEET NUMBER:
C7.2

JSD PROJECT NO: 22-11636

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DETAIL ABBREVIATIONS:

- HWL - HIGH WATER LEVEL
- NWL - NORMAL WATER LEVEL
- ELEV - ELEVATION
- MIN - MINIMUM
- TYP - TYPICAL
- TRM - TURF REINFORCEMENT MATTING

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION BASIN TECHNICAL STANDARD 1001".
2. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
3. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
4. CLAY LINER SHALL BE A MINIMUM OF 2- FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN- PLACE AT THE POND SIDE SLOPES OR BOTTOM OR OTHER ONSITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
5. FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3- FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2- FEET DEEP AND 8- FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.
6. CONTRACTOR SHALL POSITION ANTI-SEEP COLLAR SUCH THAT THE COLLARS ARE COMPLETELY CONTAINED WITHIN EMBANKMENT.
7. CONTRACTOR SHALL FIT STANDPIPE WITH REMOVABLE CONSTRUCTION ORIFICE PLATE OVER THE PERMANENT DEWATERING ORIFICE. THE CONSTRUCTION ORIFICE SHALL REMAIN IN PLACE UNTIL 70% VEGETATION IS ESTABLISHED OVER THE CONTRIBUTING AREA OF THE POND.
8. IMMEDIATELY INSTALL FILTER FABRIC OVER ALL OUTLETS TO PREVENT SEDIMENT DEPOSITION IN THE PIPING. (REMOVE FOLLOWING CONTRIBUTING AREA STABILIZATION)
9. THE TRASH GRATE OVER THE PERMANENT DEWATERING ORIFICE SHALL BE ADDED FOLLOWING REMOVAL OF THE CONSTRUCTION ORIFICE.

NOTE:

THE STORMWATER MANAGEMENT FEATURES CONTAINED WITHIN THIS PLAN SET HAVE BEEN DESIGNED IN ACCORDANCE WITH APPLICABLE STANDARDS SET FORTH IN WISCONSIN DNR NR151 AND LOCAL ORDINANCES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER CONSTRUCTION PRACTICES HAVE BEEN UTILIZED AND THAT STORMWATER MANAGEMENT FEATURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED DESIGN PLANS. JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL NOT BE LIABLE FOR ANY CONSTRUCTION PRACTICES OR INSTALLATION WHICH DEVIATES FROM THE APPROVED PLAN SET. ONCE THE OWNER HAS PROVIDED FINAL APPROVAL TO THE WORK PERFORMED BY THE CONTRACTOR AND ENSURED COMPLIANCE WITH THE PLAN, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN STORMWATER MANAGEMENT FEATURES IN ACCORDANCE WITH THE RECORDED MAINTENANCE AGREEMENT. PROPER OPERATION IS DEPENDENT ON A MULTITUDE OF VARIABLES INCLUDING WEATHER. THESE COMPONENTS REQUIRE ONGOING MAINTENANCE FOR WHICH THE OWNER IS RESPONSIBLE. JSD TAKES NO RESPONSIBILITY FOR PROPER OPERATION OF THE WATER QUALITY COMPONENTS.

WET BASIN CROSS SECTION

N.T.S.

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Designed By: MSS

Reviewed By:

Approved By: CD

SHEET TITLE:

DETAILS

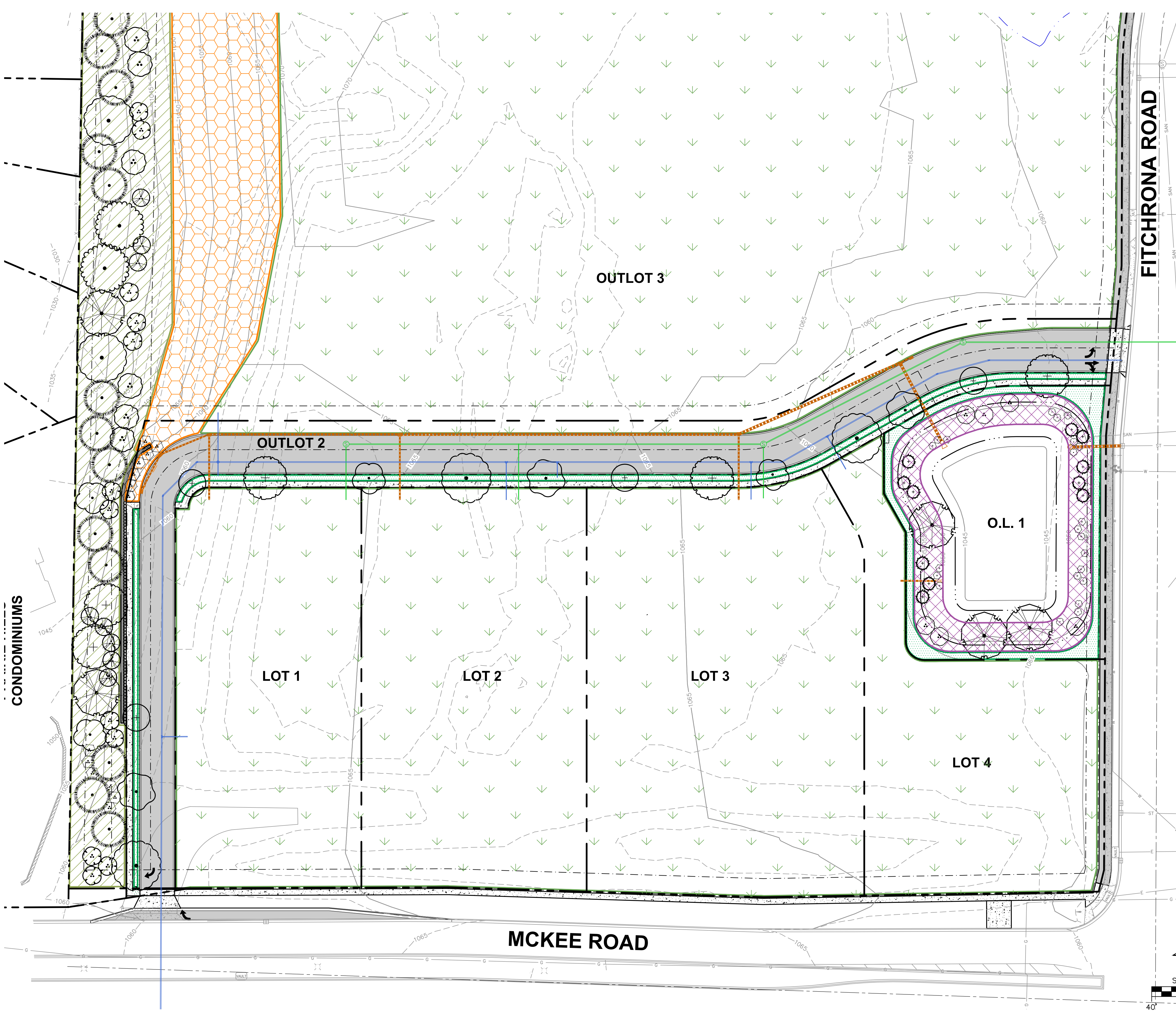
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File: \JSD\INC\projects\2022\211636\DWG\Landscapes Layout: L1.1 User: michael.simsalcalchi Plotted: Oct 22, 2024 - 10:43am Xref's: 2211636 Jmestown Quarry Development




LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ▭ BUILDING OUTLINE
- ▬ EDGE OF PAVEMENT
- ▬ CURB AND GUTTER
- ▬ ASPHALT PAVEMENT
- ▬ CONCRETE PAVEMENT
- ▬ PROPOSED 1 FOOT CONTOUR
- ▬ PROPOSED 5 FOOT CONTOUR
- ▬ EXISTING 1 FOOT CONTOUR
- ▬ EXISTING 5 FOOT CONTOUR
- ▬ STORMWATER MANAGEMENT AREA
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING STORM SEWER
- ▬ RETAINING WALL
- ▨ SEED - WOODLAND MIX
- ▨ SEED - TEMPORARY
- ▨ SEED - SHORTGRASS PRAIRIE MIX
- ▨ SEED - RAINWATER RENEWAL MIX
- ▨ SEED - BLUEGRASS MIX

PLANT LIST

SYMBOL	CODE	BOTANICAL / COMMON NAME
EVERGREEN TREE		
○	LALA	Larix laricina / Tamarack
○	PIGL	Picea glauca / White Spruce
○	PIST	Pinus strobus / White Pine
ORNAMENTAL TREES		
○	AMGL	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry
○	CECAN	Cercis canadensis / Eastern Redbud
○	PRMA	Prunus maackii 'Jeffrey' / Goldrush® Amur Chokecherry
OVERSTORY DECIDUOUS TREES		
+	ACMI	Acer miyabei 'Morton' / State Street™ Myrtle Maple
+	BENI	Betula nigra 'BNMTF'™ / Dura Heat River Birch
+	CEOC	Celtis occidentalis / Common Hackberry
+	GIBI	Ginkgo biloba 'Autumn Gold'™ / Autumn Gold Maidenhair Tree
+	GLTR	Gleditsia triacanthos inermis 'Shademaster'™ / Shademaster Locust
+	GYDI	Gymnocladus dioica / Kentucky Coffeetree
+	QUBI	Quercus bicolor / Swamp White Oak
+	TIAM	Tilia americana 'Kramm' / Sweet Street™ American Linden
DECIDUOUS SHRUBS		
○	COBA	Cornus baileyi / Bailey's Red-twig Dogwood
○	COBA	Cornus racemosa / Gray Dogwood
○	PHOP	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
PERENNIALS & GRASSES		
○	PAWI	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass



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Designed By: _____ MWS
Reviewed By: _____
Approved By: _____ CD

SHEET TITLE:
DETAILED LANDSCAPE PLAN

SHEET NUMBER:
L1.1

JSD PROJECT NO: 22-11636

north

SCALE IN FEET



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Designed By: MWS
Reviewed By: CD
Approved By: CD

SHEET TITLE:
**DETAILED LANDSCAPE
PLAN**

SHEET NUMBER:

L1.2

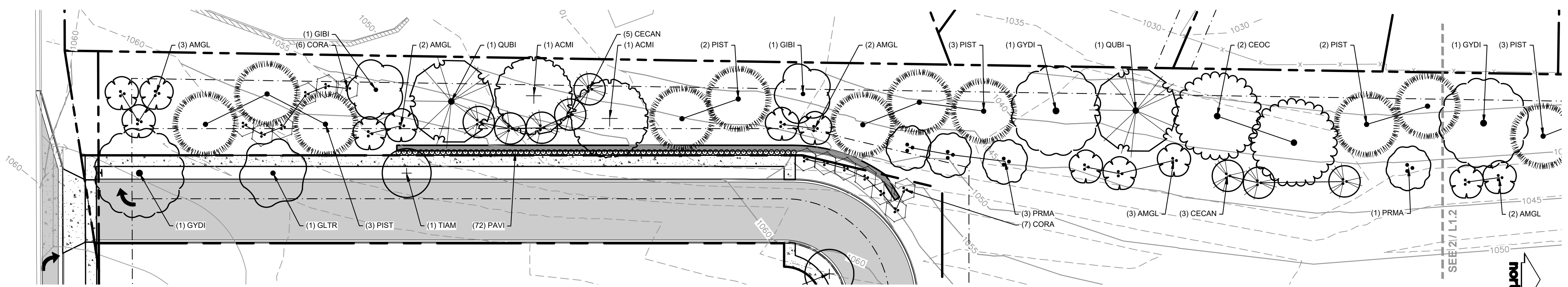
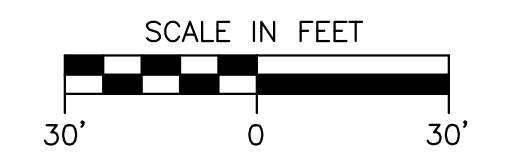
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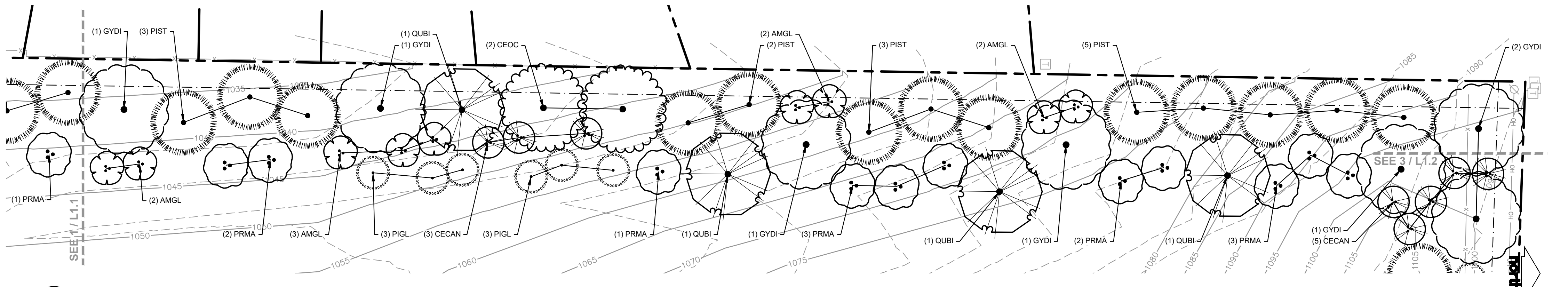
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- ▭ BUILDING OUTLINE
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- ▭ CURB AND GUTTER
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- ▭ SEED - RAINWATER RENEWAL MIX
- ▭ SEED - BLUEGRASS MIX

PLANT LIST

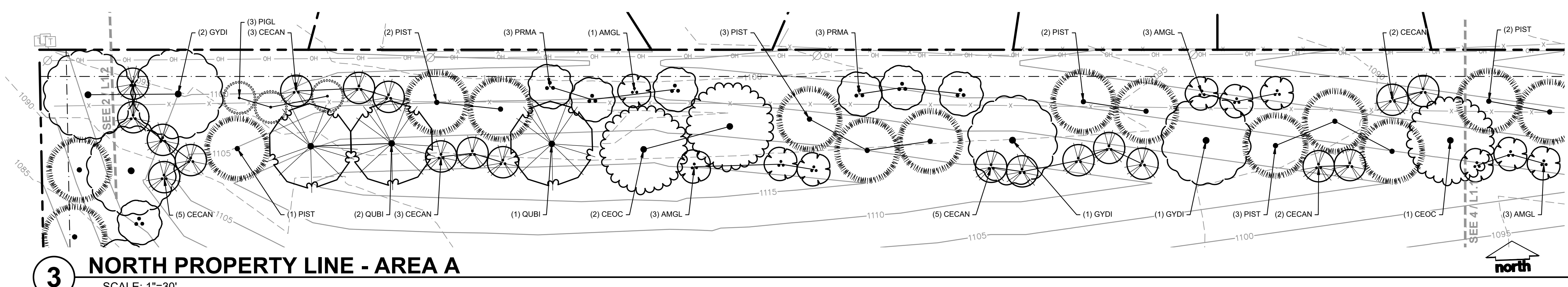
SYMBOL	CODE	BOTANICAL / COMMON NAME
EVERGREEN TREE		
●	LALA	<i>Larix laricina</i> / Tamarack
●	PIGL	<i>Picea glauca</i> / White Spruce
●	PIST	<i>Pinus strobus</i> / White Pine
ORNAMENTAL TREES		
●	AMGL	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry
●	CECAN	<i>Cercis canadensis</i> / Eastern Redbud
●	PRMA	<i>Prunus moackii</i> 'Jeffree' / Goldrush® Amur Chokecherry
OVERSTORY DECIDUOUS TREES		
●	ACMI	<i>Acer niyabei</i> 'Morton' / State Street™ Myabe Maple
●	BENI	<i>Betula nigra</i> 'NIMT'™ / Dura Heat River Birch
●	CEOC	<i>Celtis occidentalis</i> / Common Hackberry
●	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ / Autumn Gold Maidenhair Tree
●	GLTR	<i>Gleditsia triacanthos</i> 'Inermis' 'Shademaster'™ / Shademaster Locust
●	GYDI	<i>Gymnocladus dioica</i> / Kentucky Coffeetree
●	QUBI	<i>Quercus bicolor</i> / Swamp White Oak
●	TIAM	<i>Tilia americana</i> 'Klamm' / Sweet Street™ American Linden
DECIDUOUS SHRUBS		
●	CORA	<i>Cornus alleyi</i> / Bailey's Red-twig Dogwood
●	CORA	<i>Cornus racemosa</i> / Gray Dogwood
●	PHOP	<i>Physocarpus opulifolius</i> 'Center Glow' / Center Glow Ninebark
PERENNIALS & GRASSES		
●	PAVI	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass



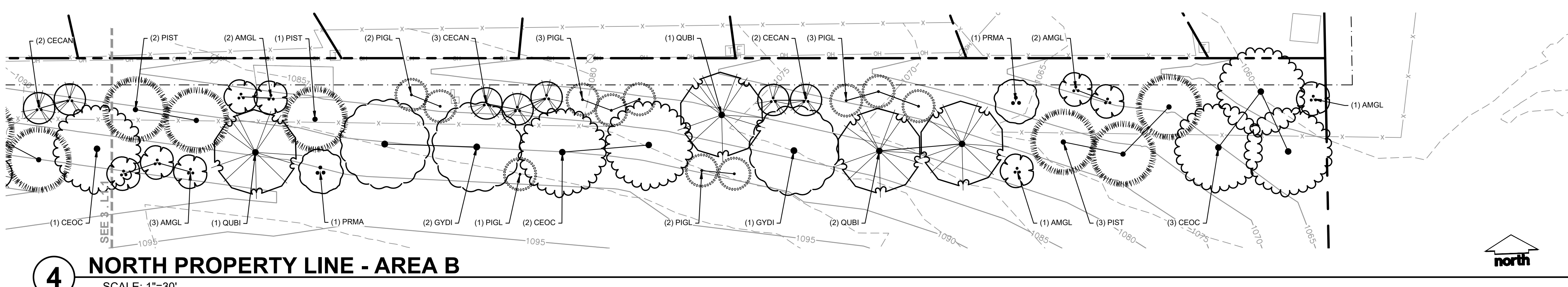
1 WEST PROPERTY LINE - AREA A
SCALE: 1"=30'



2 WEST PROPERTY LINE - AREA B
SCALE: 1"=30'



3 NORTH PROPERTY LINE - AREA A
SCALE: 1"=30'



4 NORTH PROPERTY LINE - AREA B
SCALE: 1"=30'

File: \JSD\INC\proj\061424\2211636\DWG\Landscapes_Sheets\2211636_Landscape.dwg Layout: L1.2 User: michael.simsalchali Plotted: Oct 22, 2024 - 10:4 am Xref's: 2211636 Jamestown Quarry Development

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PLAN MODIFICATIONS:

#	Date:	Description:
1	05.21.24	PRELIMINARY PLAT
2	09.11.24	FINAL PLAT
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MWS
Reviewed By: CD
Approved By: CD

SHEET TITLE:
**DETAILED LANDSCAPE
PLAN**

SHEET NUMBER:

L1.3

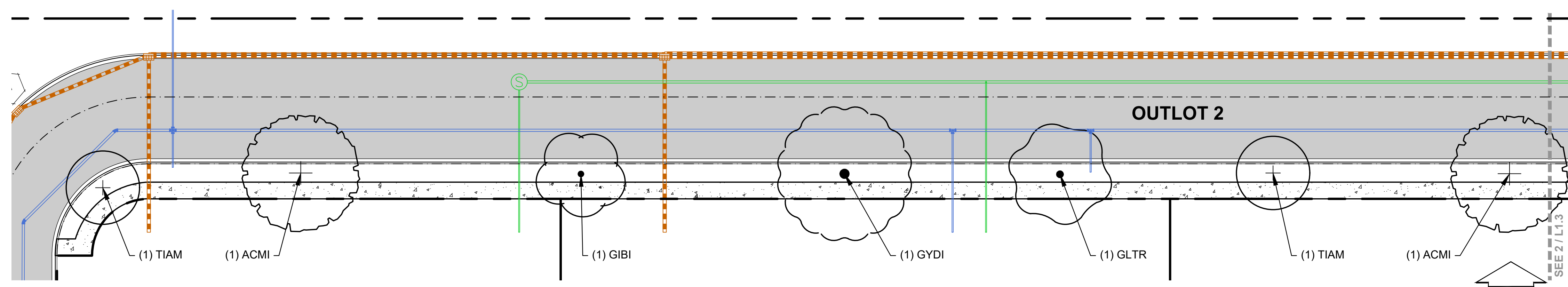
JSD PROJECT NO: 22-11636

LEGEND

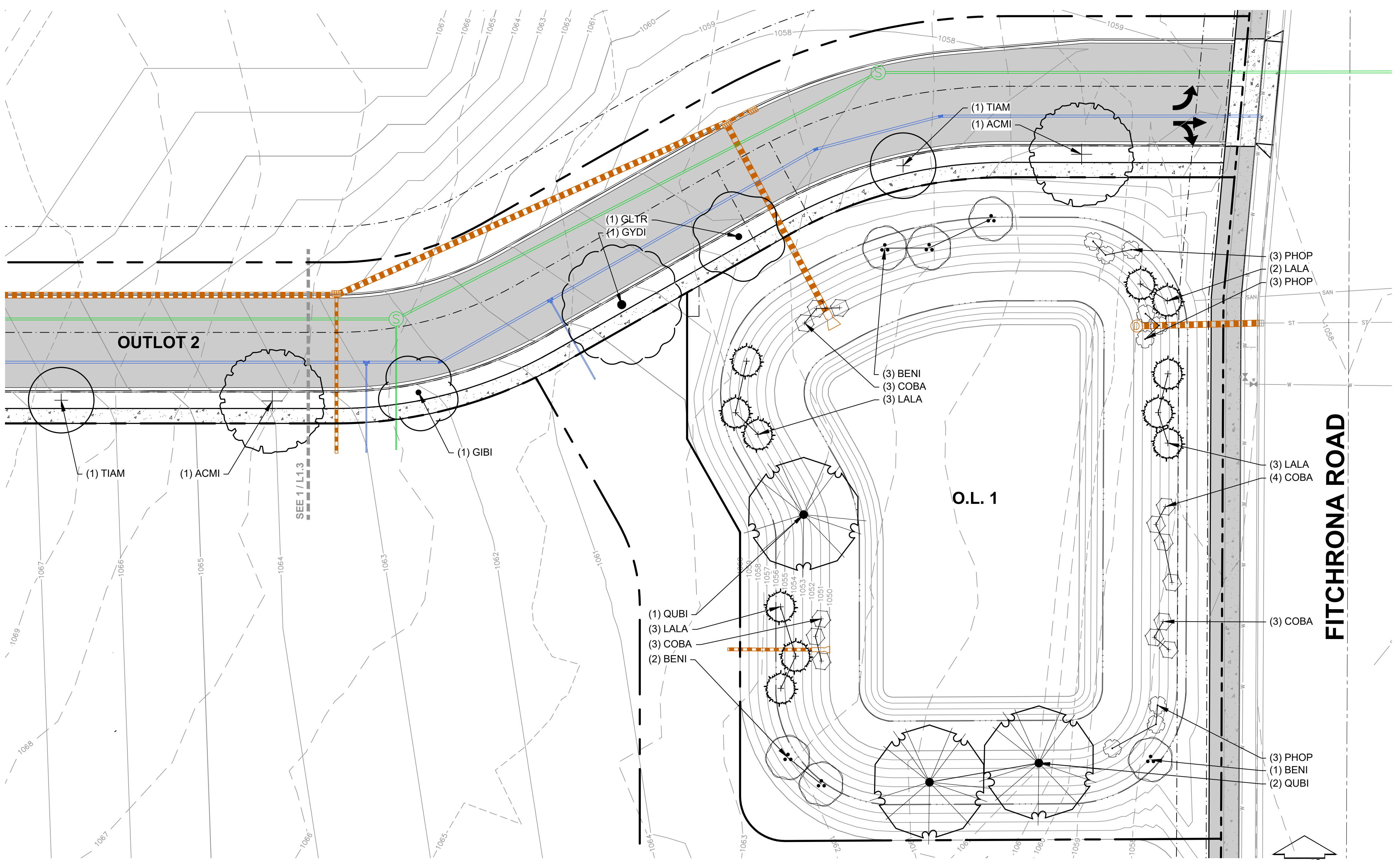
- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ▭ BUILDING OUTLINE
- ▭ EDGE OF PAVEMENT
- ▭ CURB AND GUTTER
- ▭ ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT
- 959 — PROPOSED 1 FOOT CONTOUR
- 960 — PROPOSED 5 FOOT CONTOUR
- 959 — EXISTING 1 FOOT CONTOUR
- 960 — EXISTING 5 FOOT CONTOUR
- ▭ STORMWATER MANAGEMENT AREA
- S — SANITARY SEWER
- W — WATERMAIN
- D — STORM SEWER
- SAN — EXISTING SANITARY SEWER
- W — EXISTING WATERMAIN
- ST — EXISTING STORM SEWER
- ▭ RETAINING WALL
- ▭ SEED - WOODLAND MIX
- ▭ SEED - TEMPORARY
- ▭ SEED - SHORTGRASS PRAIRIE MIX
- ▭ SEED - RAINWATER RENEWAL MIX
- ▭ SEED - BLUEGRASS MIX

PLANT LIST

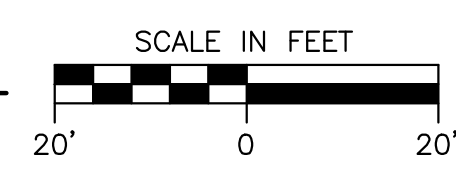
SYMBOL	CODE	BOTANICAL / COMMON NAME
EVERGREEN TREE		
(Symbol)	LALA	<i>Larix laricina</i> / Tamarack
(Symbol)	PIGL	<i>Picea glauca</i> / White Spruce
(Symbol)	PIST	<i>Pinus strobus</i> / White Pine
ORNAMENTAL TREES		
(Symbol)	AMGL	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry
(Symbol)	CECAN	<i>Cercis canadensis</i> / Eastern Redbud
(Symbol)	PRMA	<i>Prunus maackii</i> 'Jeffree' / Goldrush® Amur Chokecherry
OVERSTORY DECIDUOUS TREES		
(Symbol)	ACMI	<i>Acer niyabei</i> 'Morton' / State Street™ Myabe Maple
(Symbol)	BENI	<i>Betula nigra</i> 'NWMF'™ / Dura Heat River Birch
(Symbol)	CEOC	<i>Celtis occidentalis</i> / Common Hackberry
(Symbol)	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ / Autumn Gold Maidenhair Tree
(Symbol)	GLTR	<i>Gleditsia triacanthos</i> 'Inermis' 'Shademaster'™ / Shademaster Locust
(Symbol)	DYDI	<i>Gymnocladus dioica</i> / Kentucky Coffeetree
(Symbol)	QUBI	<i>Quercus bicolor</i> / Swamp White Oak
(Symbol)	TIAM	<i>Tilia americana</i> 'Klamm' / Sweet Street™ American Linden
DECIDUOUS SHRUBS		
(Symbol)	COBA	<i>Cornus baileyi</i> / Bailey's Red-twig Dogwood
(Symbol)	COBA	<i>Cornus racemosa</i> / Gray Dogwood
(Symbol)	PHOP	<i>Physocarpus opulifolius</i> 'Center Glow' / Center Glow Ninebark
PERENNIALS & GRASSES		
(Symbol)	PAW	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass



1 OUTLOT 2 ACCESS ROAD
SCALE: 1"=20'



2 OUTLOT 1 WET BASIN
SCALE: 1"=20'

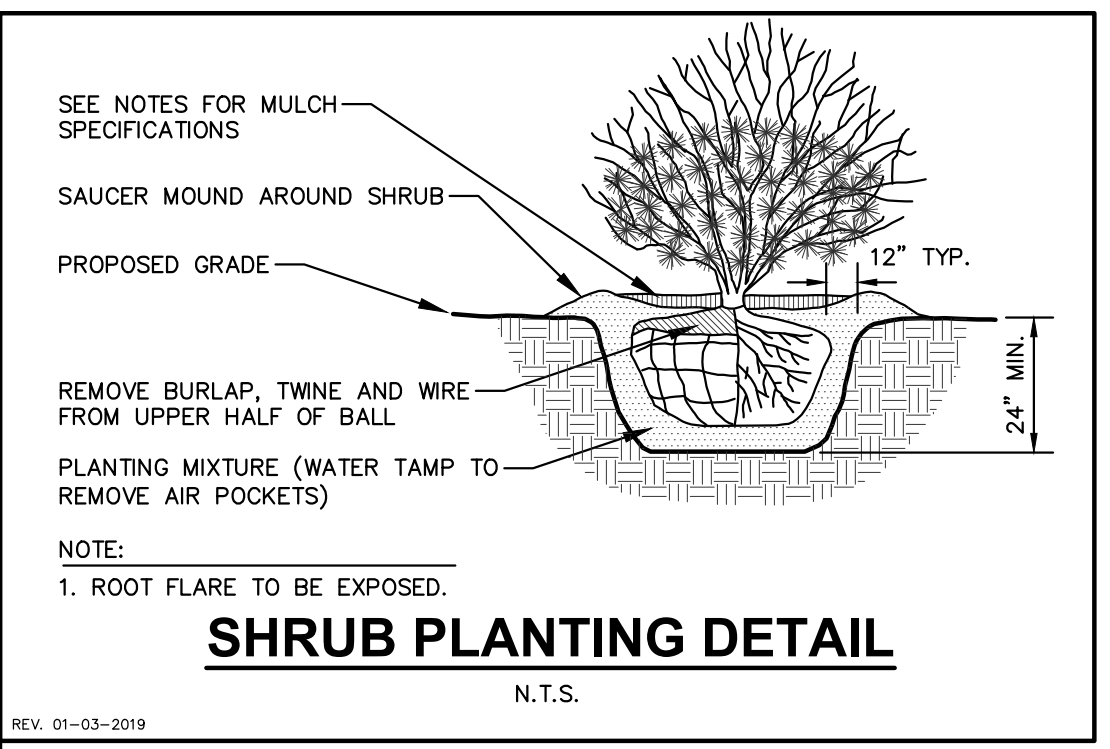
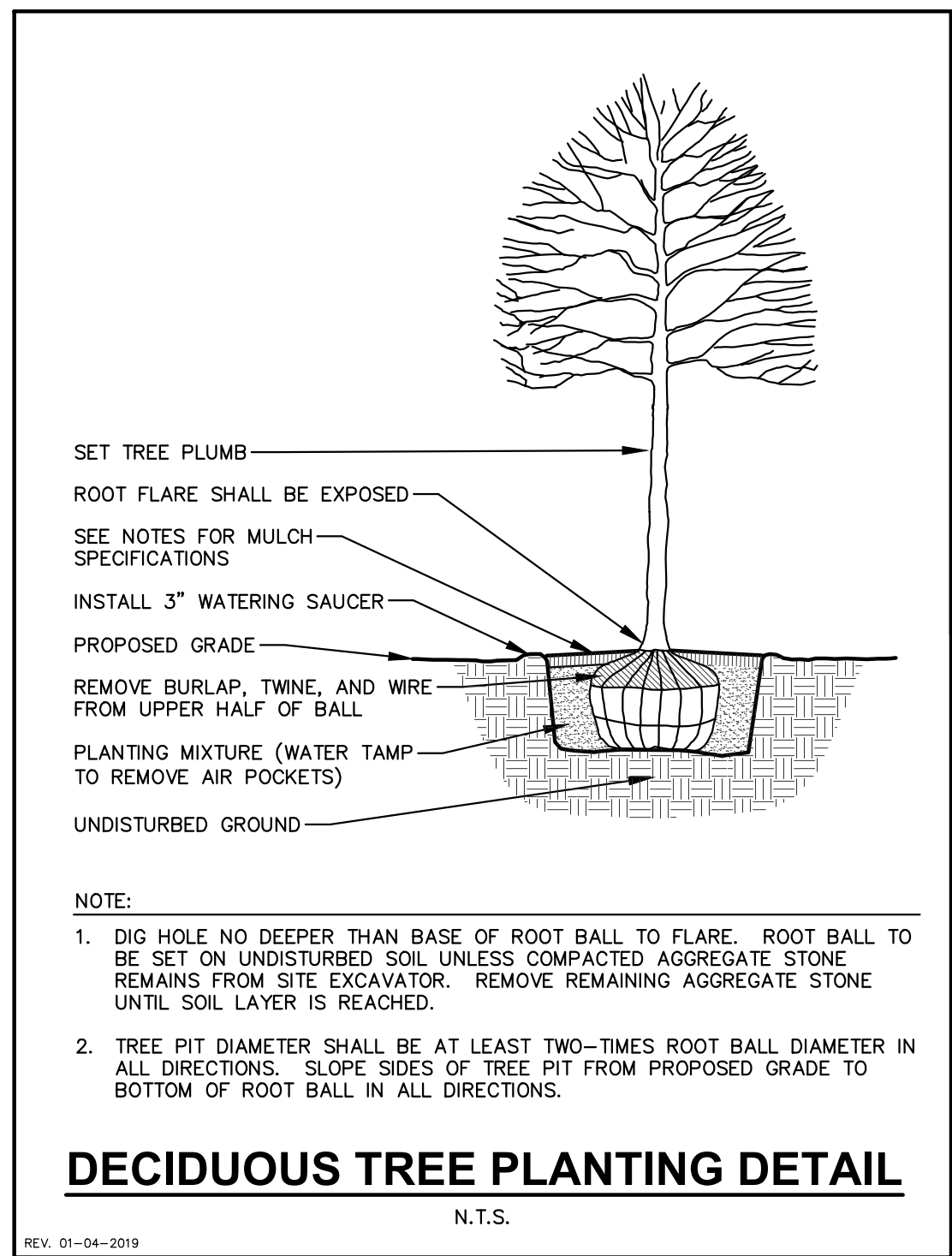


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PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
EVERGREEN TREE					
	LALA	<i>Larix laricina</i> / Tamarack	B & B	8' Ht. (min)	11
	PIGL	<i>Picea glauca</i> / White Spruce	B & B	6' Ht. (min)	20
	PIST	<i>Pinus strobus</i> / White Pine	B & B	6' Ht. (min)	40
ORNAMENTAL TREES					
	AMGL	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	6' Ht. (min)	35
	CECAN	<i>Cercis canadensis</i> / Eastern Redbud	B & B	6' Ht. (min)	36
	PRMA	<i>Prunus maackii</i> 'Jeffree' / Goldrush® Amur Chokecherry	B & B	6' Ht. (min)	23
OVERSTORY DECIDUOUS TREES					
	ACMI	<i>Acer miyabei</i> 'Morton' / State Street™ Miyabe Maple	B & B	2.5' Cal	5
	BENI	<i>Betula nigra</i> 'BNMTF' TM / Dura Heat River Birch	B & B	8' Ht. (min)	6
	CEOC	<i>Celtis occidentalis</i> / Common Hackberry	B & B	2.5' Cal	12
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold' TM / Autumn Gold Maidenhair Tree	B & B	2.5' Cal	4
	GLTR	<i>Gleditsia triacanthos inermis</i> 'Shademaster' TM / Shademaster Locust	B & B	2.5' Cal	3
	GYDI	<i>Gymnocladus dioica</i> / Kentucky Coffeetree	B & B	2.5' Cal	16
	QUBI	<i>Quercus bicolor</i> / Swamp White Oak	B & B	2.5' Cal	16
	TIAM	<i>Tilia americana</i> 'Kromm' / Sweet Street™ American Linden	B & B	2.5' Cal	4
DECIDUOUS SHRUBS					
	COBA	<i>Cornus baileyi</i> / Bailey's Red-twig Dogwood	B & B	36" Ht. (min)	13
	CORA	<i>Cornus racemosa</i> / Gray Dogwood	#5	36" Ht. (min)	13
	PHOP	<i>Physocarpus opulifolius</i> 'Center Glow' / Center Glow Ninebark	#5	24" Ht. (min)	9
PERENNIALS & GRASSES					
	PAVI	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"	72



GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL, PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
- MATERIALS - (ALTERNATE 1): TREE WATERING BAGS: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SEEDING, SODDING, & POND VEGETATION NOTES

- MATERIALS - BLUEGRASS SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE
- MATERIALS - WOODLAND SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "WOODLAND" SEED MIX, AS PROVIDED BY AGRECOL, LLC WWW.AGRECOL.COM, OR APPROVED EQUAL. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - WOODLAND SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "WOODLAND" SEED MIX, AS PROVIDED BY AGRECOL, LLC WWW.AGRECOL.COM, OR APPROVED EQUAL. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - TEMPORARY SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "TEMPORARY" SEED MIX, AS SPECIFIED IN SECTION (630.2.1.5.2) OF WISDOT HIGHWAY SPECIFICATIONS. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - SHORTGRASS PRAIRIE SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "SHORTGRASS PRAIRIE" SEED MIX, AS PROVIDED BY AGRECOL, LLC WWW.AGRECOL.COM, OR APPROVED EQUAL. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - RAINWATER RENEWAL SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "RAINWATER RENEWAL" SEED MIX, AS PROVIDED BY AGRECOL, LLC WWW.AGRECOL.COM, OR APPROVED EQUAL. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

TREE WATERING PROGRAM:

BASE BID - WATERING OF ALL TREES ON A REGULAR WEEKLY BASIS. CONTRACTOR TO KEEP A LOG OR JOURNAL OF A RECORD OF DATES AND QUANTITIES OF SUPPLEMENTAL WATERING EFFORTS

ALTERNATE BID 1* - INSTALLATION OF ONE (1) WATERING BAG PER TREE. DOCUMENTATION OF WEEKLY WATERING PROGRAM REQUIRED

*SEE LANDSCAPE MATERIALS NOTES FOR PRODUCTS



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FITCHBURG PARTNERS, LLC.

CLIENT ADDRESS:
**80 OTTAWA AVE. NW, SUITE 410
GRAND RAPIDS, MI 49503**

PROJECT:
JAMESTOWN QUARRY

PROJECT LOCATION:
**2975 KAPEC ROAD
DANE COUNTY
FITCHBURG, WI 53719**

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.21.24	PRELIMINARY PLAT
2	09.11.24	FINAL PLAT
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MWS
Reviewed By:
Approved By: CD

LANDSCAPE DETAILS & NOTES

SHEET NUMBER:
L2.0

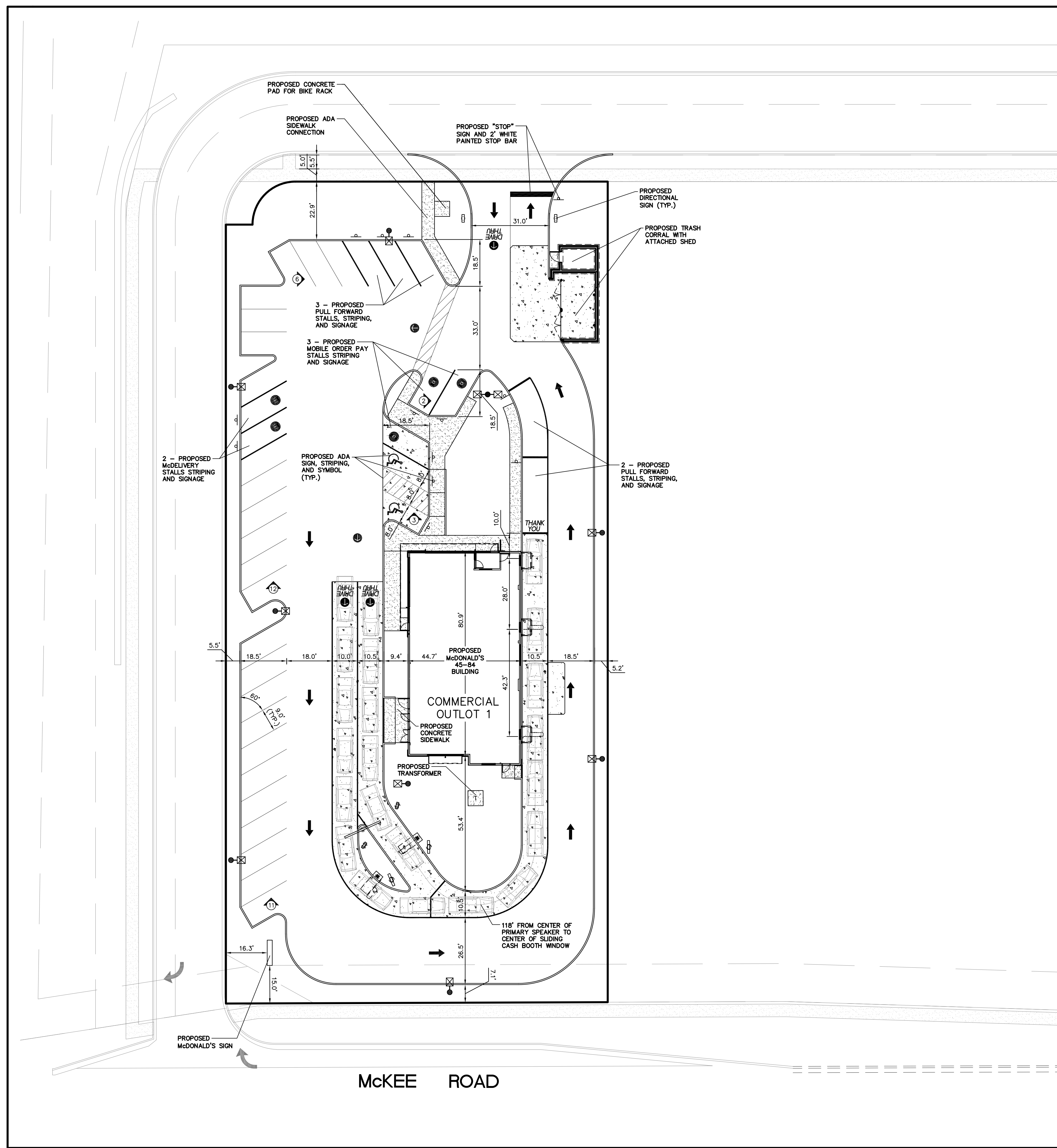
JSD PROJECT NO: 22-11636





APPENDIX E

Lot 1 Site Plans



GENERAL NOTES:
 1. THESE PLANS ARE BASED ON THE FINAL ENGINEERING PLANS (PROJECT #22-11636 DATED 9/11/24)
 PREPARED BY: JSD
 507 W. VERONA AVE., SUITE 500, VERONA, WI 53593

2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

ON SITE PARKING DATA

REGULAR SPACES	32
ADA ACCESSIBLE SPACES	2
TOTAL SPACES	34

PARKING REQUIREMENT: 6 SPACES PER 1000 SF OF GROSS BUILDING AREA (3,900/1000*6 = 23 SPACES REQUIRED)

34 SPACES PROVIDED > 23 SPACES REQUIRED ∴ OK

SITE DATA

ZONING	=	PDD-GIP
LOT AREA	=	48,710 S.F. (1.12 AC.)
PERVIOUS AREA	=	12,259 S.F. (25%)
PERVIOUS AREA	=	36,451 S.F. (75%)
BUILDING AREA	=	3,900 S.F.±
SEATS	=	35±

REVISIONS

Prepared For:

McDonald's
 110 N. Carpenter St.
 Chicago, IL 60607

McDONALD'S - FITCHBURG, WI
 NWC of McKee Road and Fitchrona Road
 Fitchburg, Wisconsin

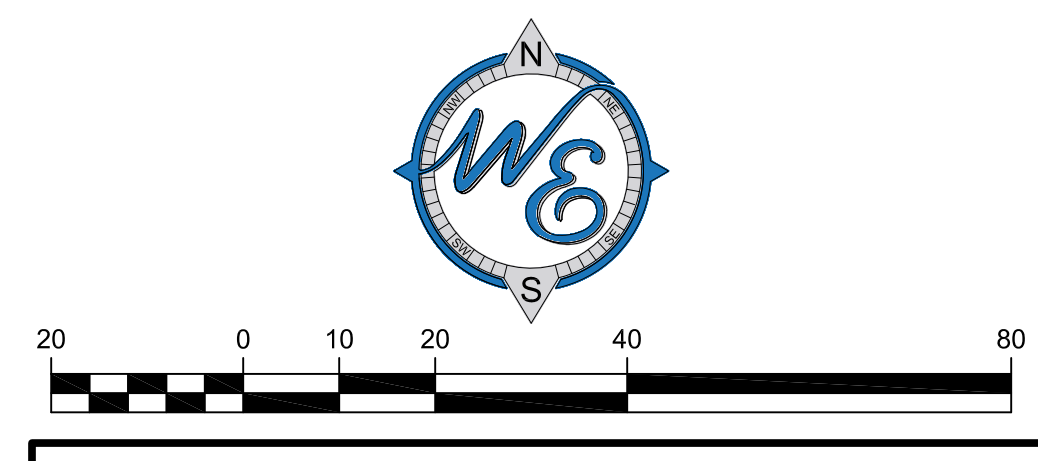
McDonald's

Prepared By:

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

Watermark Engineering RESOURCES

CHECKED BY: J. MILLER
DESIGN BY: D. OLSON
DRAWN BY: D. OLSON
DATE: OCTOBER 18, 2024
SCALE: 1" = 20'
PROJECT NO.: 24-001



SITE PLAN

SIGN LEGEND

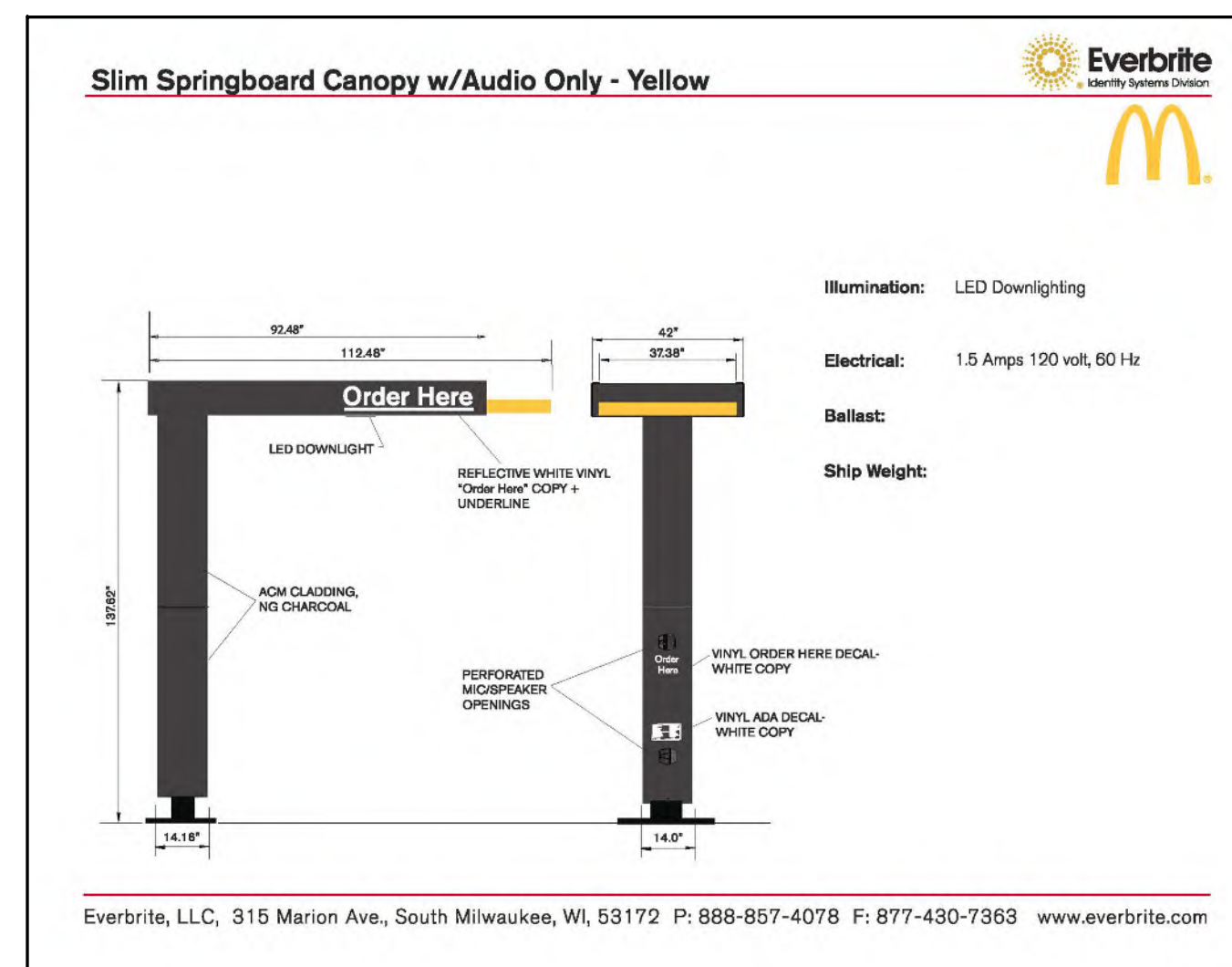
① PROPOSED OUTDOOR DIGITAL MENU BOARD – 2 LOCATIONS (17.8 S.F. EACH)



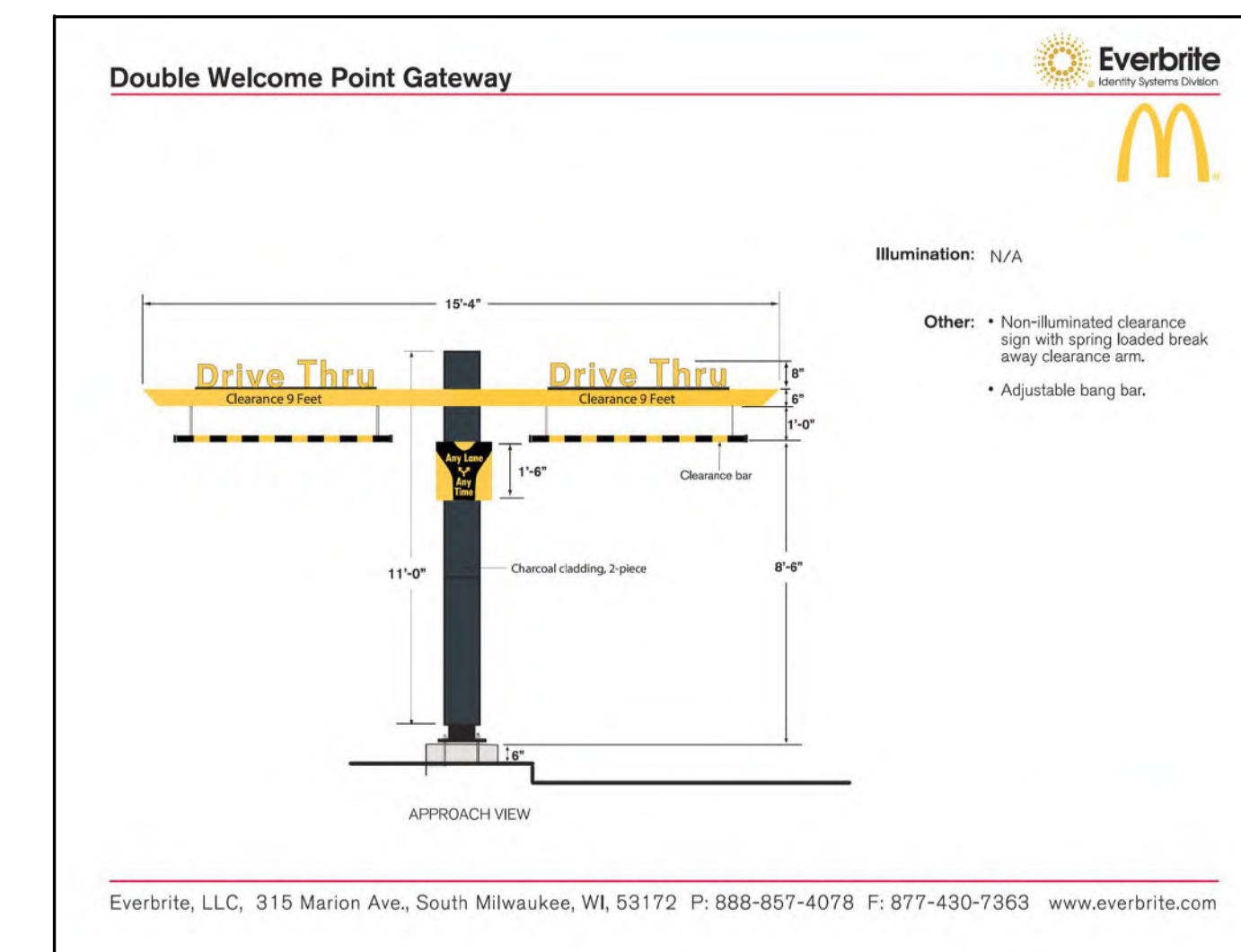
② PROPOSED PRE-BROWSE BOARD – 2 LOCATION (8.9 S.F. EACH)



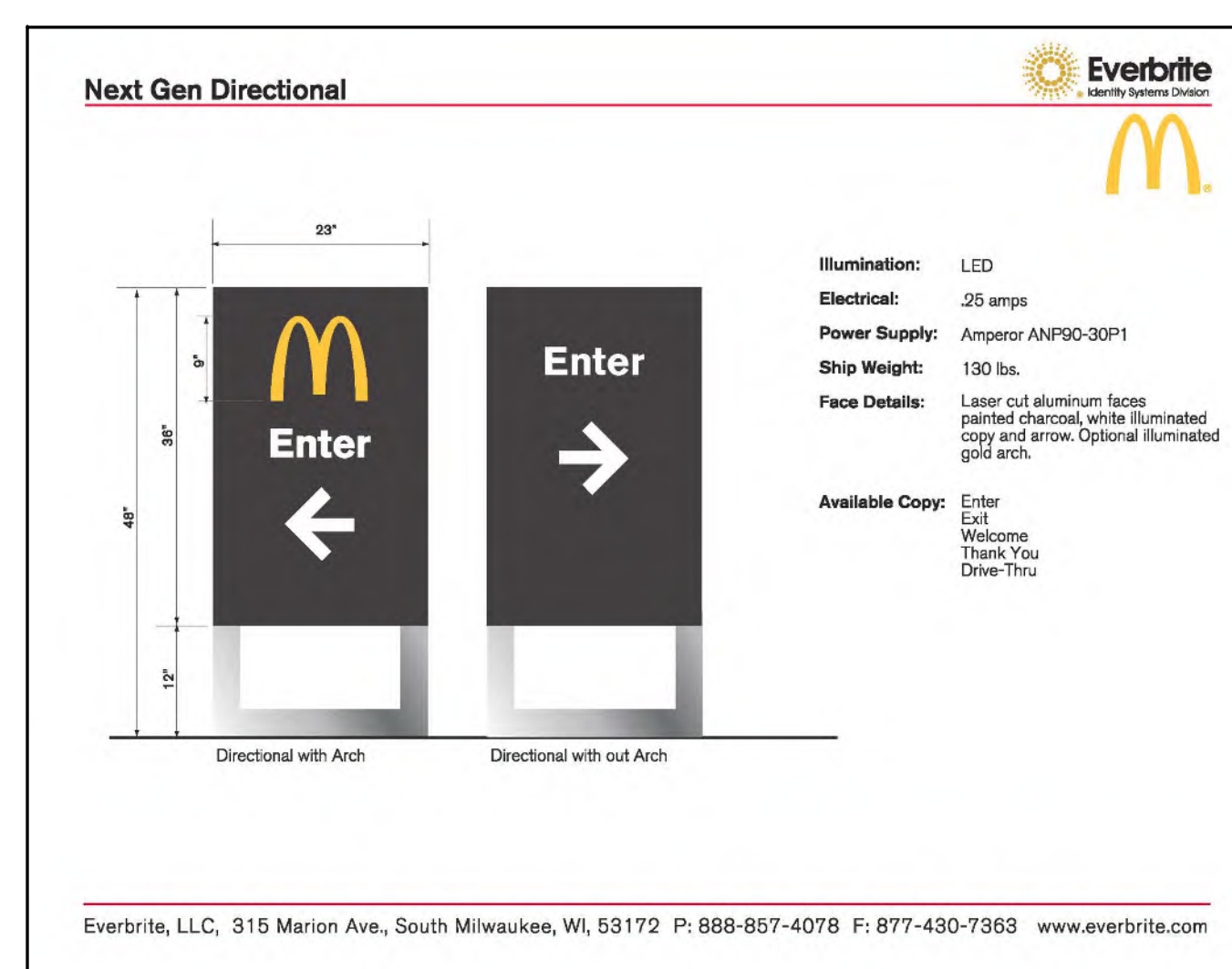
③ PROPOSED SLIM SPRINGBOARD CANOPY – 2 LOCATIONS



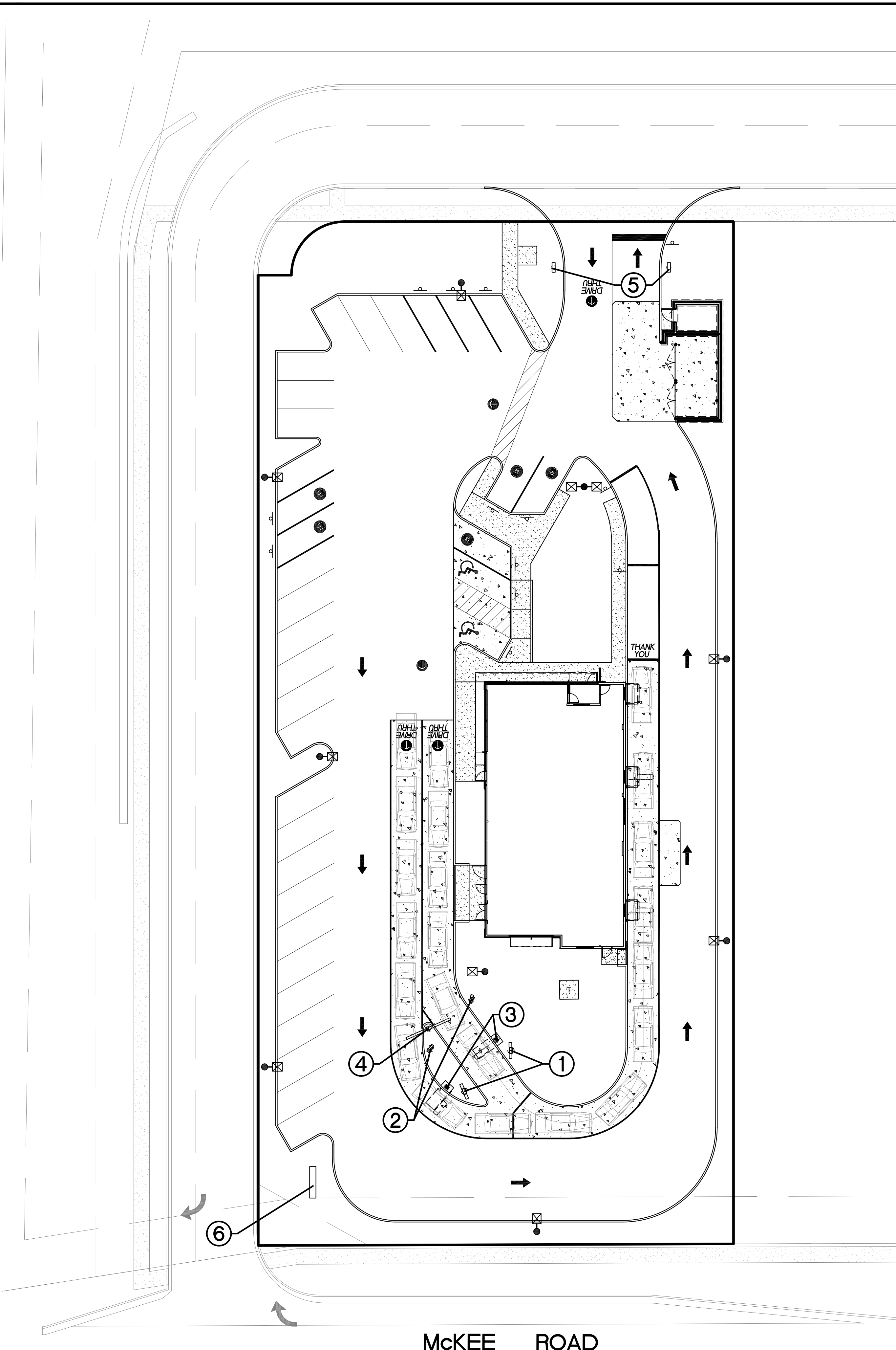
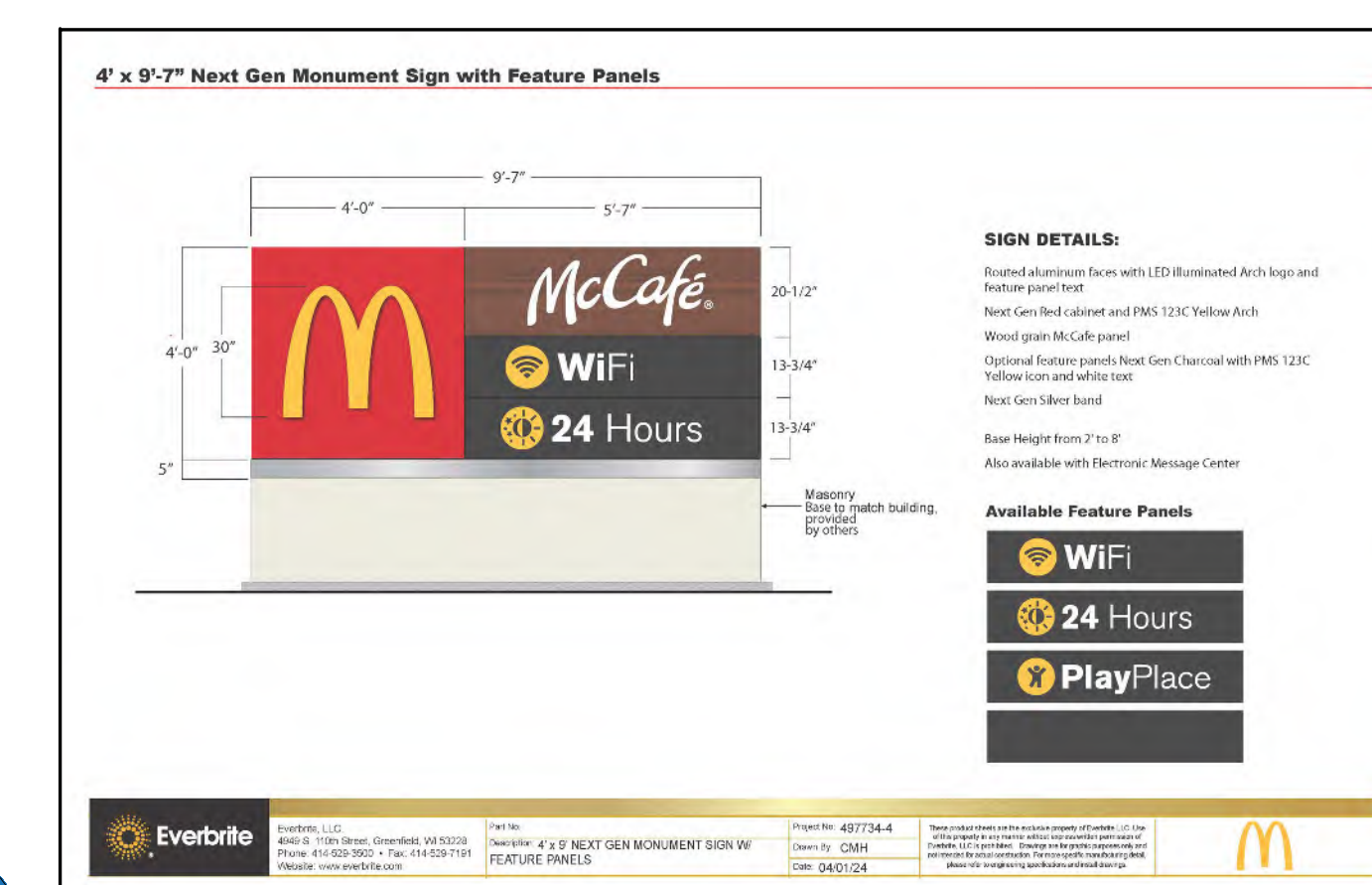
④ PROPOSED DOUBLE WELCOME POINT GATEWAY – 1 LOCATION



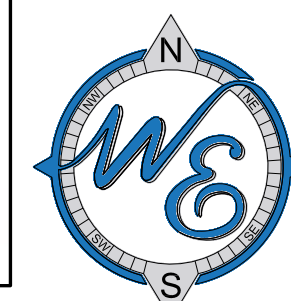
⑤ PROPOSED DIRECTIONAL SIGN – 2 LOCATIONS (5.8 S.F. EACH)



⑥ PROPOSED MONUMENT SIGN – 1 LOCATION (42.8 S.F. EACH)



McKEE ROAD



FREE STANDING SIGNAGE EXHIBIT

REVISIONS

Prepared For:

McDonald's
110 N. Carpenter St.
Chicago, IL 60607

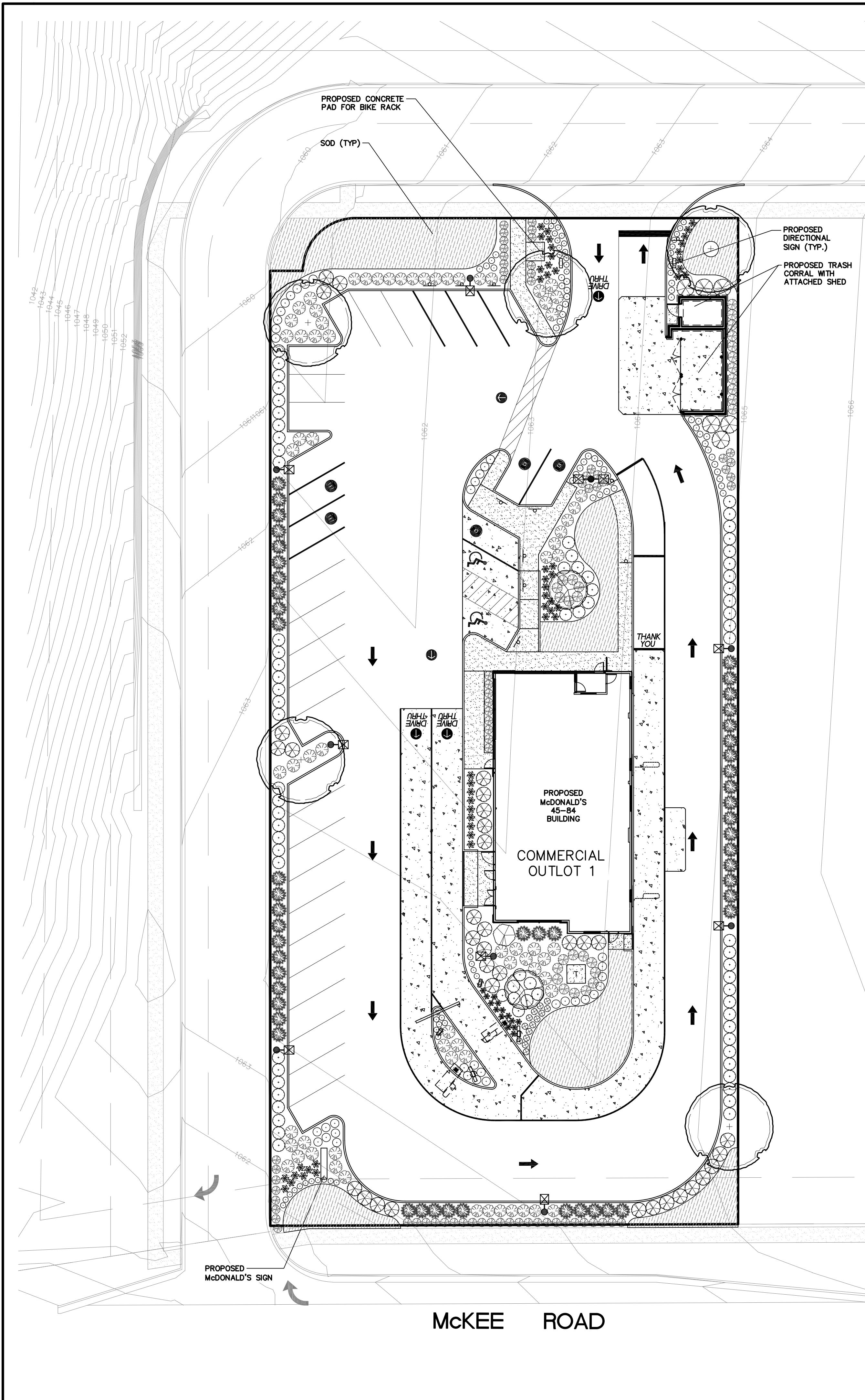
McDONALD'S - FITCHBURG, WI
NWC of McKee Road and Fitchrona Road
Fitchburg, Wisconsin

Prepared By:

Watermark Engineering Resources
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J. MILLER
DESIGN BY: D. OLSON
DRAWN BY: D. OLSON
DATE: OCTOBER 18, 2024
SCALE: 1" = 20'
PROJECT NO.: 24-001

1 of 1
LC #48-1082



LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
2. PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
3. CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
4. SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
5. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
7. ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
8. SOIL MIX PM35 BY MIDWEST TRADING COMPANY OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
9. CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
10. ALL PLANT BED AREAS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
11. ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
12. AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.5" OF SOD IS DESIRED) BUT SOD THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL USE ON ALL SLOPES 4:1 OR GREATER.
13. CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
14. THE EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS INTENDED SOLELY TO IDENTIFY THEM AS OBSERVED IN THE FIELD. THIS PLAN DOES NOT MAKE ANY CLAIMS ABOUT THE CONDITION OR SAFETY OF ANY OF THE PLANT MATERIAL DESCRIBED HEREIN OR OBSERVED IN THE FIELD.
15. ALL TRANSPORTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM ITS ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNREASONABLE TO TRANSPORT ANY OF THE PLANT MATERIAL AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH ITS INSTALLATION.
17. CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
18. CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
19. THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
20. BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
21. ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
22. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
23. IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
24. IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM, THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE. CONTRACTOR SHALL PROVIDE THE OWNER AN AS BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
25. DURING THE BIDDING PROCESS, THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR OR OTHER PARTIES RESPONSIBLE FOR THE OVERALL BIDDING OF THE PROJECT TO DETERMINE WHICH CONTRACTOR SHALL BE RESPONSIBLE FOR THE REQUIRED TOPSOIL RE-SPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
 - A. 4" MINIMUM IN GRASS OR SOD AREAS
 - B. 6" MINIMUM IN PLANTING AREAS
 - C. 12" MINIMUM IN LANDSCAPE ISLANDS

PLANT LIST

SHADE, ORNAMENTAL, AND CONIFEROUS TREES

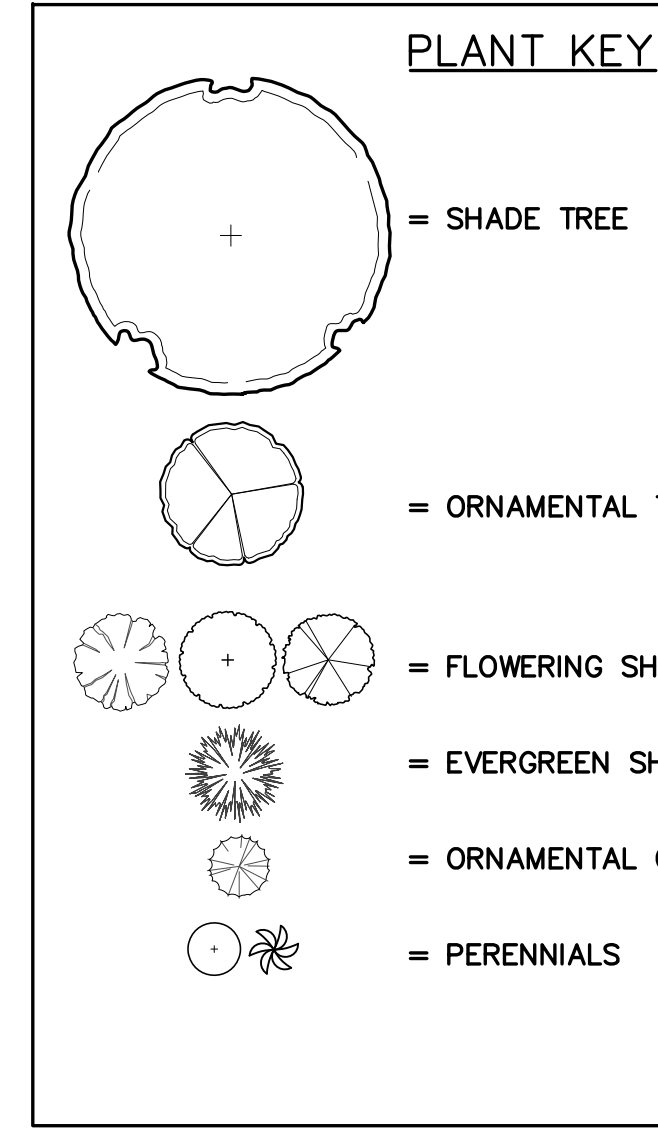
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
2	SSM	Acer miyabei 'Morton'	State Street Maple	2 1/2" Gal.
3	FTE	Ulmus x frontier	Frontier Elm	2 1/2" Gal.
2	ABS	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6'

FLOWERING AND EVERGREEN SHRUBS

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
45	ALH	Aronia melanocarpa 'UCONNAM165'	Aronia Low Scape Hedger	3 Gal.
76	KOH	Diervilla 'GZX88544'	Kodiak Orange Honeysuckle	3 Gal.
1	VWH	Hamamelis vernalis	Vernal Witchhazel	5 Gal.
7	BOH	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	5 Gal.
26	LQH	Hydrangea paniculata 'SMHPLQF'	Little Quick Fire Hydrangea	3 Gal.
6	MKL	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 Gal.
27	DHW	Weigela x 'Dark Horse'	Dark Horse Weigela	3 Gal.
51	DNY	Taxus x media 'Densiformis'	Densiformis Yew	5 Gal.

PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
18	SBA	Allium 'Summer Beauty'	Summer Beauty Onion	1 Gal.
14	BCC	Campanula carpatica 'Blue Clips'	Blue Clips Bellflower	1 Gal.
45	FWD	Dianthus gratianopolitanus 'Firewitch'	Firewitch Dianthus	1 Gal.
59	ASD	Hemerocallis x 'Apricot Sparkles'	Apricot Sparkles Daylily	1 Gal.
36	WLC	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	1 Gal.
32	DTB	Penstemon digitalis 'Dark Towers'	Dark Towers Beardtongue	1 Gal.
29	KFF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 Gal.
68	PDS	Sporobolus heterolepis	Prairie Dropseed	1 Gal.



PLANT KEY

GENERAL NOTES:
 1. THESE PLANS ARE BASED ON THE FINAL ENGINEERING PLANS (PROJECT #22-11636 DATED 9/11/24)
 PREPARED BY: JSD
 507 W. VERONA AVE., SUITE 500, VERONA, WI 53593

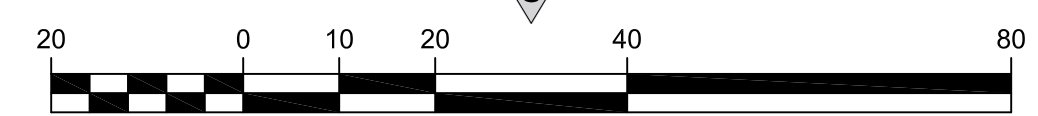
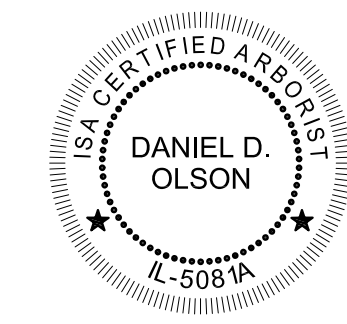
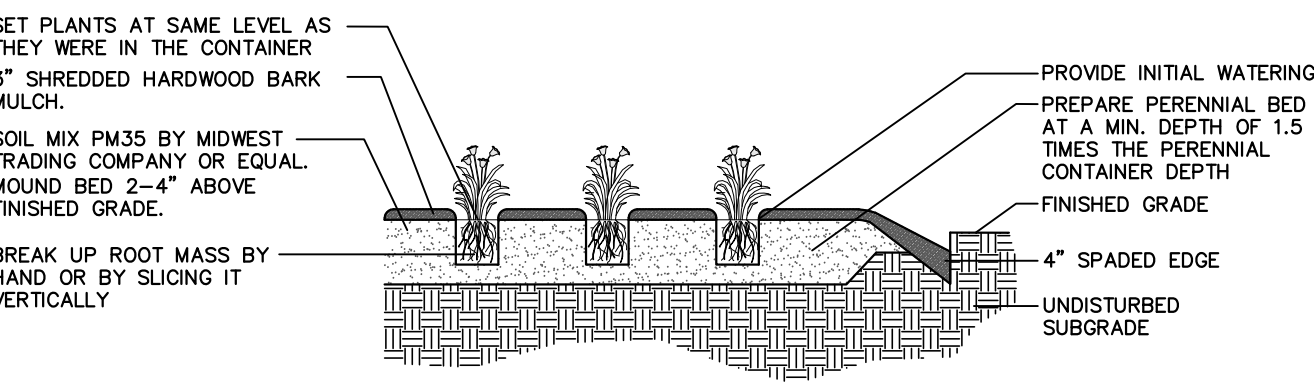
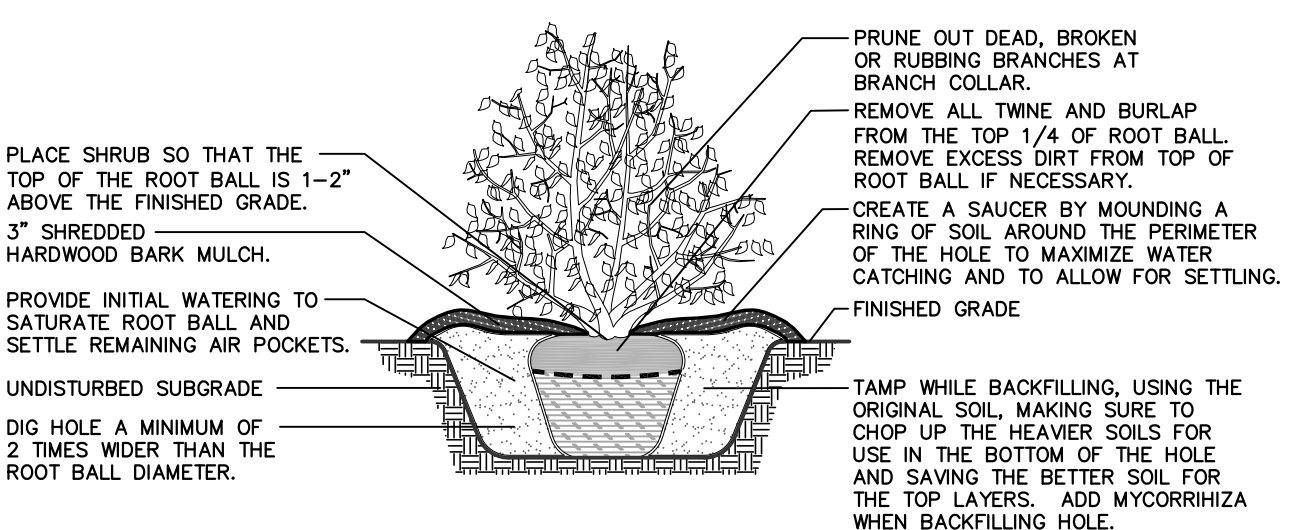
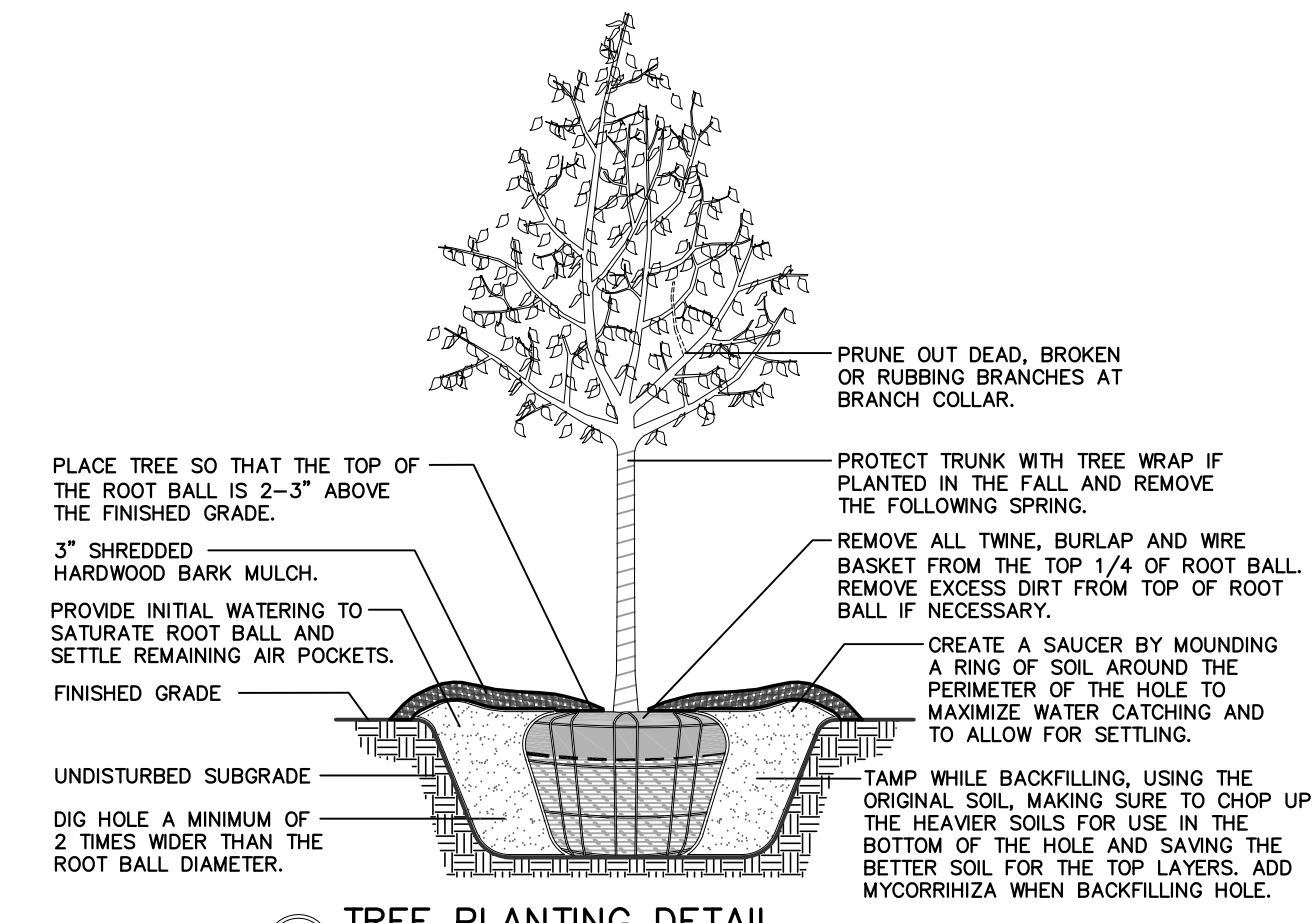
ON SITE PARKING DATA

REGULAR SPACES	32
ADA ACCESSIBLE SPACES	2
TOTAL SPACES	34

PARKING REQUIREMENT: 6 SPACES PER 1000 SF OF GROSS BUILDING AREA (3,900/1000*6 = 23 SPACES REQUIRED)
 34 SPACES PROVIDED > 23 SPACES REQUIRED ∴ OK

SITE DATA

ZONING	=	PDD-GIP
LOT AREA	=	48,710 S.F. (1.12 AC.)
PERVIOUS AREA	=	12,259 S.F. (25%)
PERVIOUS AREA	=	36,451 S.F. (75%)
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SEATS	=	35±



PRELIMINARY LANDSCAPE PLAN

McDonald's
 110 N. Carpenter St.
 Chicago, IL 60607

McDonald's - FITCHBURG, WI
 NWC of McKee Road and Fitchrona Road
 Fitchburg, Wisconsin

Prepared By:
 Watermark Engineering Resources
 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800
 watermark-engineering.com

CHECKED BY: J. MILLER
 DESIGN BY: D. OLSON
 DRAWN BY: D. OLSON
 DATE: OCTOBER 18, 2024
 SCALE: 1" = 20'

PROJECT NO.: 24-001

PRELIMINARY LANDSCAPE PLAN

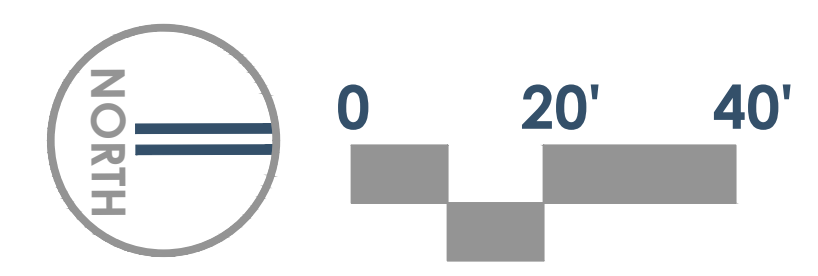
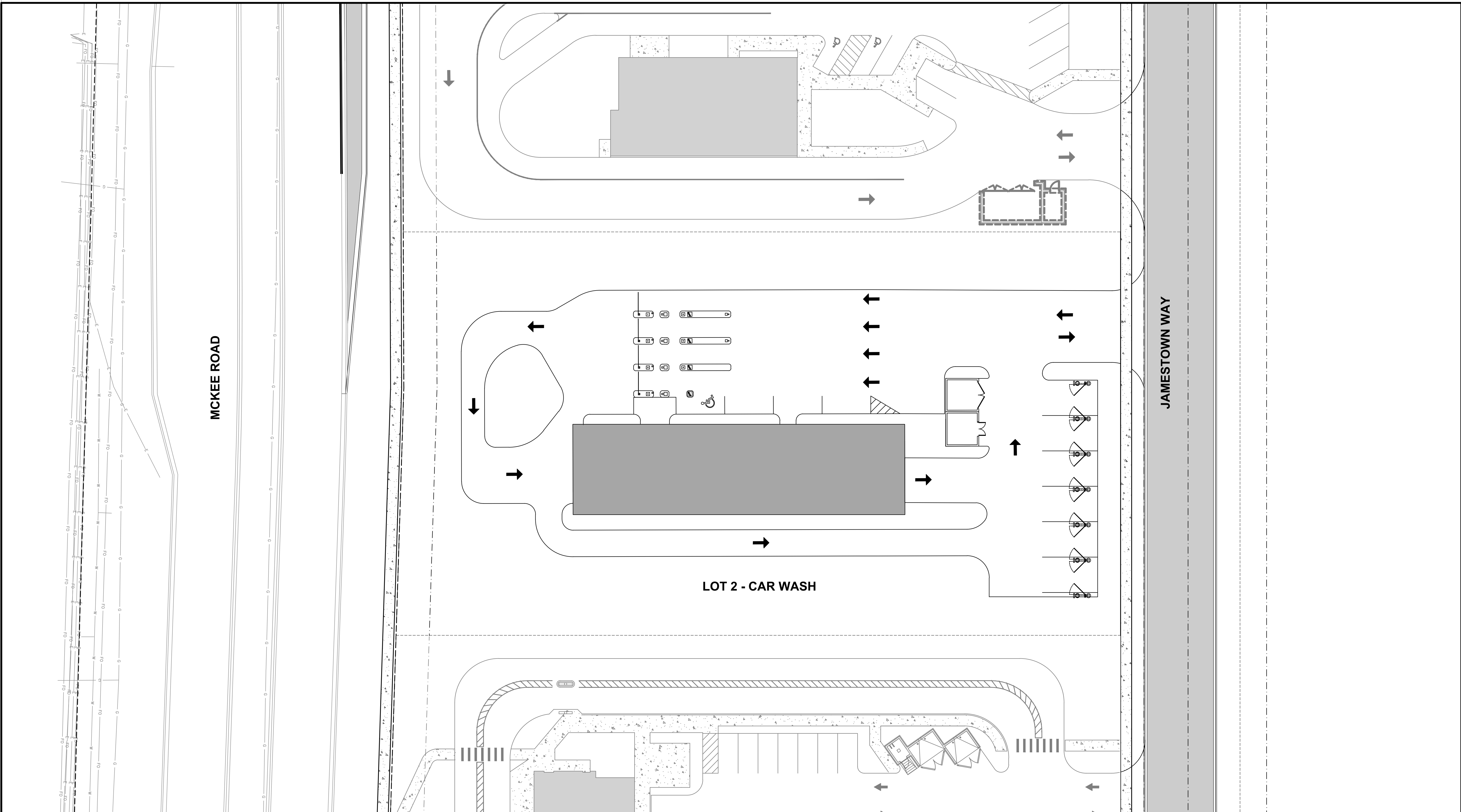
L-1
 LC #48-1082



APPENDIX F

Lot 2 Site Plans

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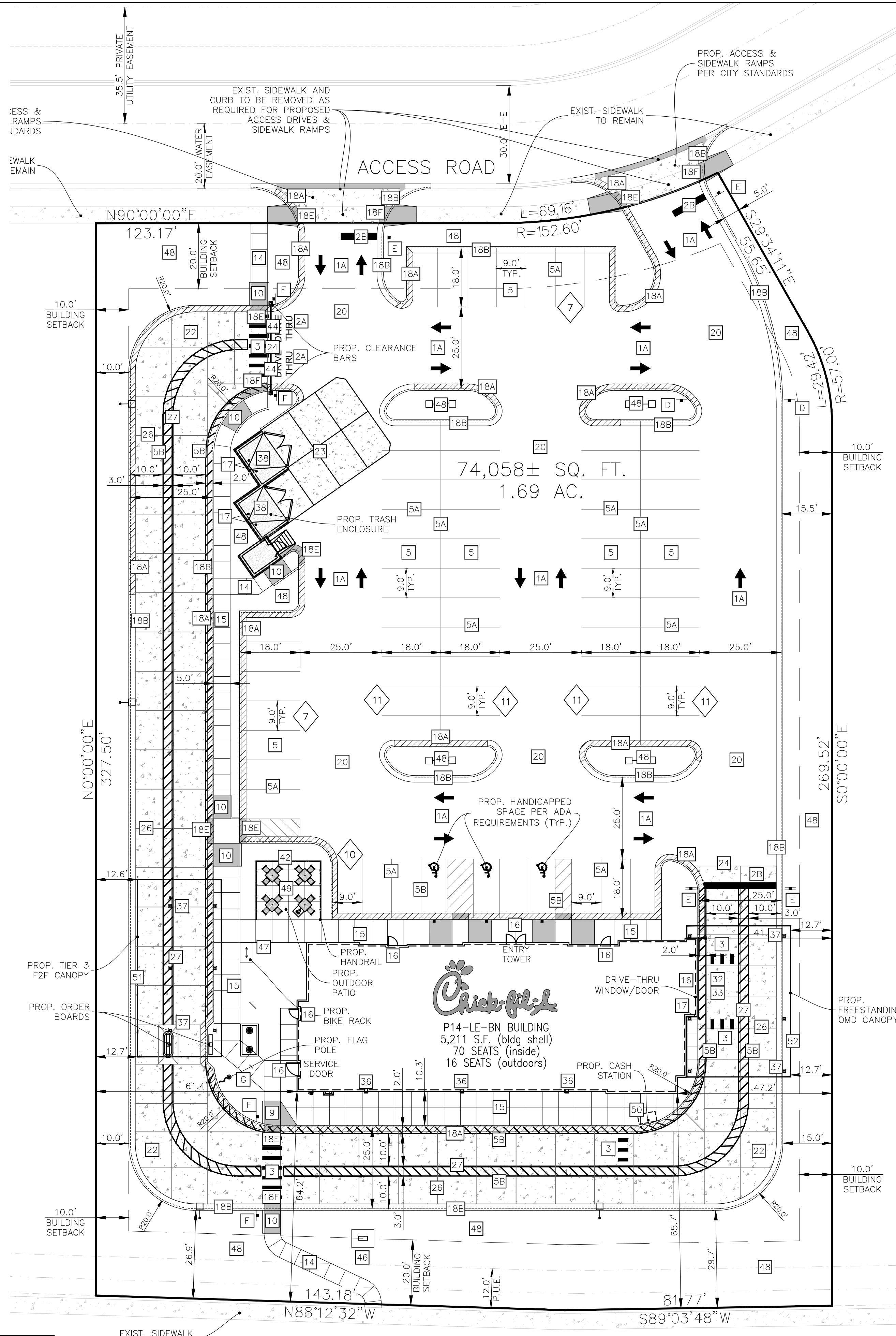


APPENDIX G

Lot 3 Site Plans

SITE PLAN DESIGN NOTES & KEY PLAN

- 1A DIRECTIONAL ARROW (C-400)
- 1B PAINTED HANDICAP PARKING SYMBOL (C-400)
- 2A DRIVE-THRU GRAPHICS (C-400)
- 2B STOP BAR GRAPHIC (C-400)
- 3 CROSSWALK MARKINGS (C-400)
- 4 MULTI-LANE DIRECTIONAL GRAPHICS (C-400)
- 5 STANDARD OR HANDICAP PARKING STALL PER CODE (C-400)
- 5A 4" SOLID WHITE STRIPING
- 5B 4" SOLID YELLOW STRIPING
- 5C 4" SKIP-DASH YELLOW STRIPING
- 6 SOLID PLASTIC WHEEL STOP (C-400)
- 7 BOLLARD MOUNTED SIGN (C-400)
- 8 CURB RAMP w/ SHORT FLARED SIDES (GRASSED AREAS) (C-400)
- 9 CURB RAMP w/ FLARED SIDES (IN SIDEWALK) (C-400)
- 10 RETURNED CURB HANDICAP RAMP (C-400)
- 11 SIDEWALK ACCESSIBLE RAMP (C-400)
- 12 DETECTABLE WARNING DEVICE (C-400)
- 13 TYPICAL ADA RAMP & HANDRAIL (C-400)
- 14 CONCRETE SIDEWALK (C-400)
- 15 CONCRETE SIDEWALK w/ CURB & GUTTER (C-400)
- 16 ENTRY DOOR FROST SLAB DETAIL (C-400)
- 17 CONCRETE BOLLARD (C-400)
- 18 CONCRETE CURB & GUTTER (C-400)
- 18A SPILLING CURB & GUTTER
- 18B CATCHING CURB & GUTTER
- 18C DEPRESSED SPILLING CURB & GUTTER
- 18D DEPRESSED CATCHING CURB & GUTTER
- 18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
- 18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
- 18G MOUNTABLE CURB & GUTTER
- 19 LANDSCAPE & IRRIGATION PROTECTOR (C-400)
- 20 TYPICAL HMA PAVEMENT SECTION (C-400)
- 21 BUTT JOINT (C-400)
- 22 CONCRETE PAVEMENT DRIVE-THRU LANE (C-400)
- 23 CONCRETE APRON AT TRASH ENCLOSURE (C-400)
- 24 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES) (C-400)
- 25 CONCRETE PAVEMENT SECTIONS (C-400)
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT (C-400)
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT (C-400)
- 28 CONTRACTION JOINT (C-400)
- 29 KEYED CONSTRUCTION JOINT (C-400)
- 30 LONGITUDINAL BUTT JOINT (C-400)
- 31 EXPANSION JOINT (C-400)
- 32 DRIVE-THRU PLAN - FLUSH WITH FFF (C-400)
- 33 DRIVE-THRU ISOMETRIC (C-400)
- 34 DRIVE-THRU ORDER POINT ISLAND (C-400)
- 35 MENU BOARD LOOP DETECTION SYSTEM (C-400)
- 36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-400)
- 37 CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-400)
- 38 SCREENED REFUSE ENCLOSURE (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS) (C-400)
- 39 CLEAN-OUT (OUTSIDE OF BUILDING) (C-400)
- 40 THICKENED PAVEMENT @ STRUCTURES (C-400)
- 41 STORM STRUCTURE WEEP HOLE DETAILS (C-400)
- 42 ALUMINUM HANDRAIL (REFER TO ARCH PLANS)
- 43 OMITTED
- 44 DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
- 45 GREASE TRAP
- 46 PROPOSED TRANSFORMER
- 47 BIKE RACK
- 48 LANDSCAPED AREA
- 49 TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)
- 50 CONCRETE PAD FOR OPTIONAL CASH STATION
- 51 FREE-STANDING ORDER POINT CANOPY
- 52 FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY



PROJECT NOTES:

- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF FITCHBURG STANDARD CONSTRUCTION SPECIFICATIONS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY TO OBTAIN APPLICABLE CITY PERMITS.
- INGRESS/EGRESS WILL BE PROVIDED INTERNAL AND EXTERNAL TO THIS SITE.
- ALL CONCRETE CURB & GUTTER SHALL BE 24" (86.18) UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PAVEMENT DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION MATERIALS, DUMPSTER, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

SITE DATA:

- ZONING: PD (PLANNED DEVELOPMENT)
- LOT SIZE: 74,058± SQ. FT. (1.69 AC.)
- PROPOSED IMPERVIOUS AREA: 55,440± SQ. FT. (74.86%)

BUILDING AREA:

- BUILDING FOOT PRINT: 5,211± SQ. FT.
- FLOOR AREA RATIO (F.A.R.) = 0.070

PARKING DATA:

- TYPICAL PARKING WIDTH: 9.0'
- TYPICAL PARKING LENGTH: 18.0'
- TYPICAL ISLE WIDTH: 25' (24' MIN.)
- REGULAR

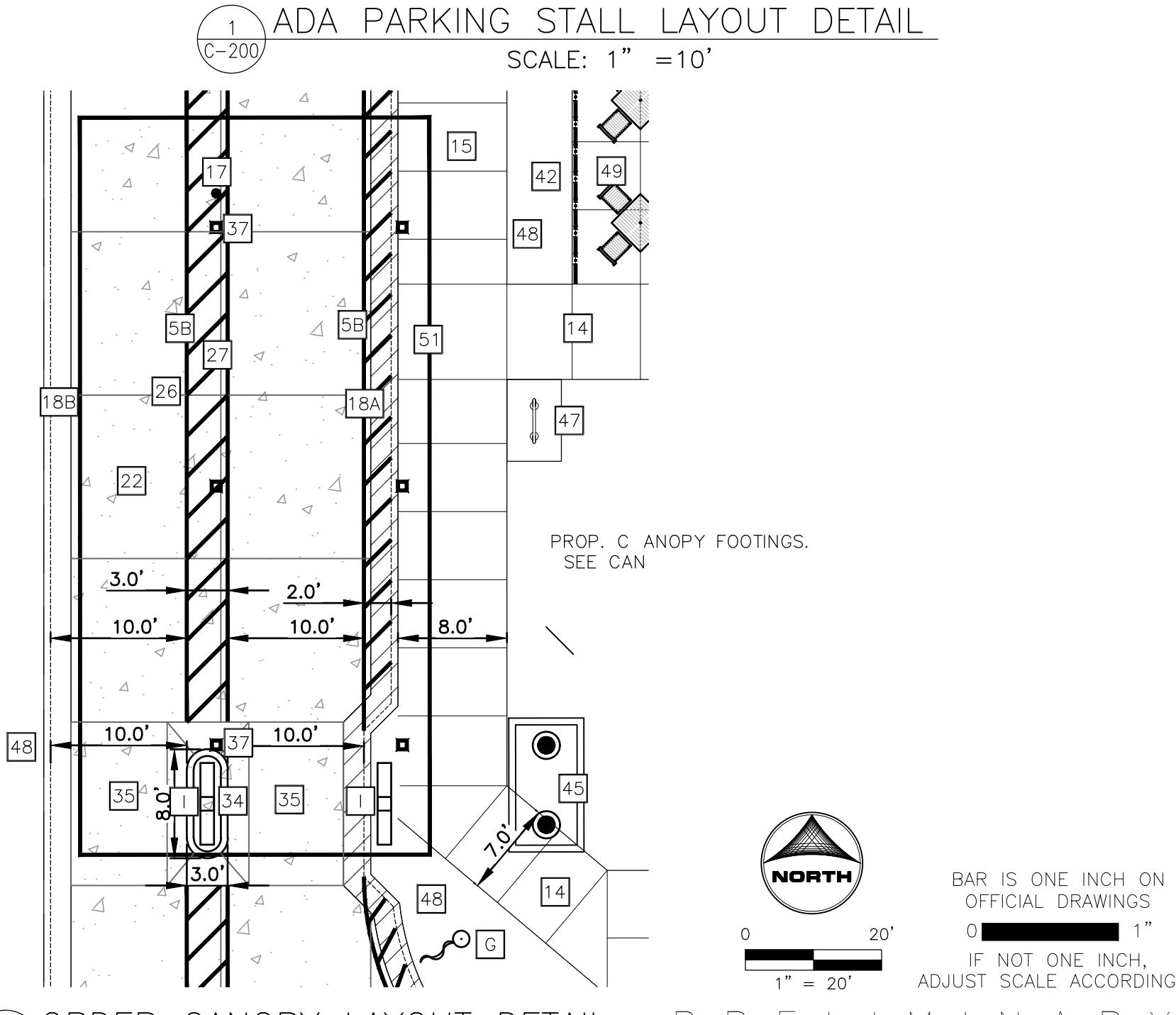
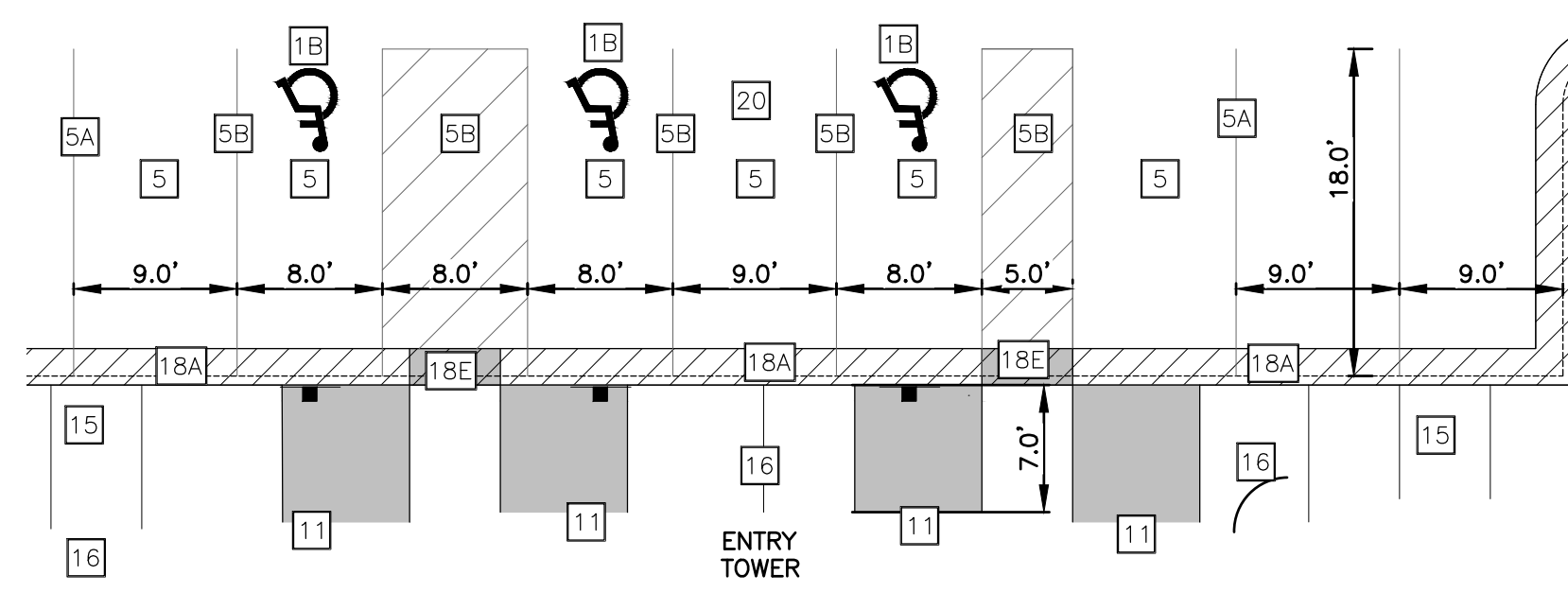
SIGN LEGEND

** CONTRACTOR TO REFER TO THE SIGNAGE PACKAGE FOR PLACEMENT AND SPECIFICATIONS OF ALL SIGNS **

- A HANDICAP PARKING SIGN (SEE SIGNAGE PACKAGE) R7-8; 12" X 18" (TYP.)
- B HANDICAP PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6" X 12" (TYP.)
- C "VAN ACCESSIBLE" SIGN (SEE SIGNAGE PACKAGE) R7-8P; 6" X 12" (TYP.)
- D "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE) R5-1; 24" X 24" (TYP.)
- E STOP SIGN (SEE SIGNAGE PACKAGE) R1-1; 30" X 30" (TYP.)
- F CFA PEDESTRIAN CROSSING SIGN (SEE SIGNAGE PACKAGE)
- G FLAG POLE (SEE SIGNAGE PACKAGE)
- H CFA MONUMENT OR PYLON SIGN
- I DIGITAL DRIVE-THRU MENU BOARDS

HATCH LEGEND

- ▭ DENOTES STANDARD PAVEMENT SECTION
- ▨ DENOTES CONCRETE SECTION
- ▧ DENOTES PROP. SIDEWALK
- ▩ DENOTES AREA OF DEPRESSED SIDEWALK
- DENOTES AREA OF DEPRESSED CURB AND GUTTER WITH LENGTH NOTED ON PLANS.
- DENOTES REVERSE CURB & GUTTER



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Atlanta, Georgia
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CHICK-FIL-A
FITCHBURG (WI) FSU
NWQ OF McKEE RD AND FITCHRONA ROAD
FITCHBURG, WI 53719

FSU# 05918

REVISION SCHEDULE
NO. DATE DESCRIPTION

PRELIMINARY

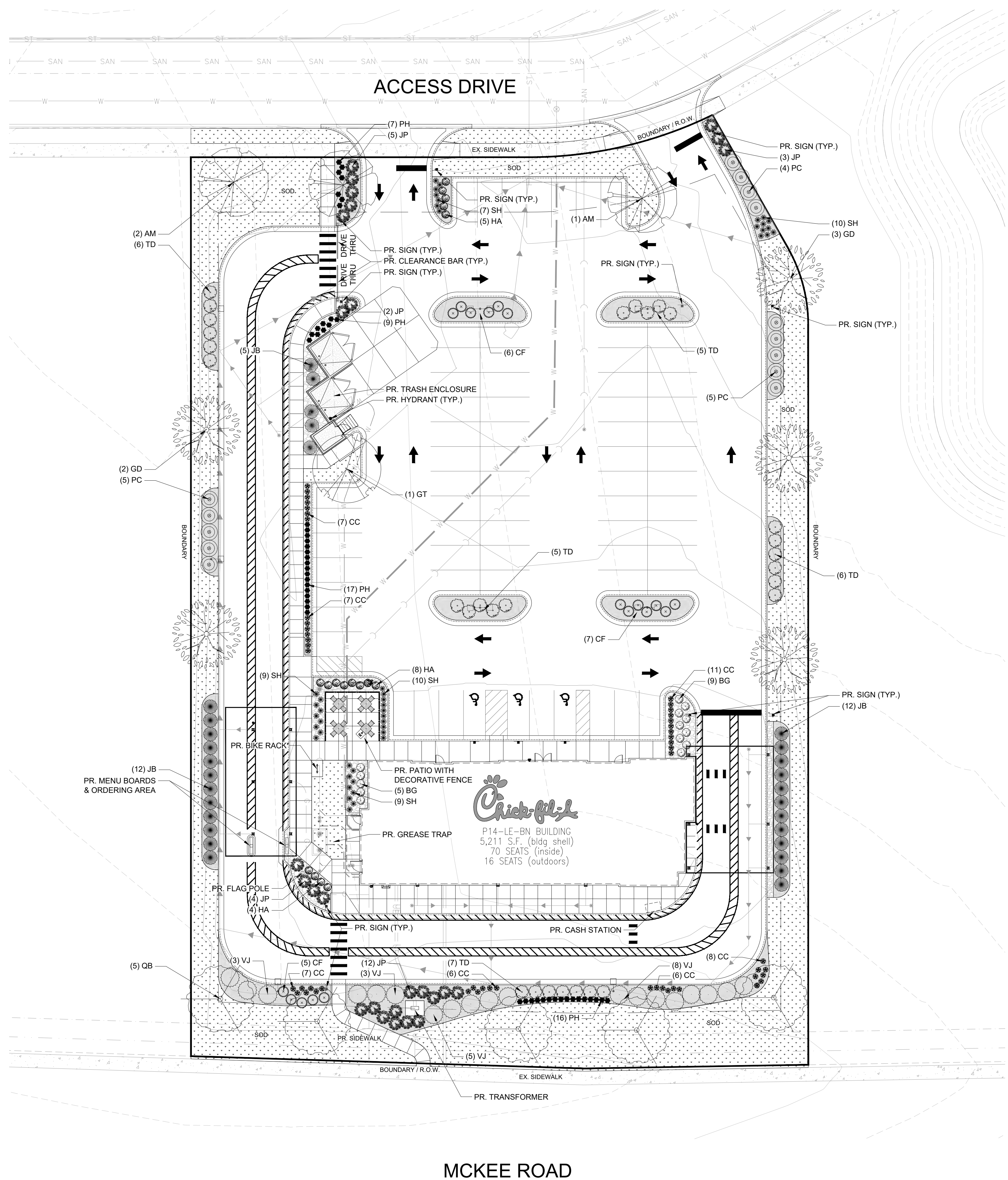
ENGINEER'S PROJECT #	2402494
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DATE	10/07/2024
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SHEET	SITE PLAN
SHEET NUMBER	C-200

DIGGERS
CALL DIGGERS HOTLINE
1-800-242-8511

WITH THE FOLLOWING:
COUNTY DANE COUNTY
CITY-TOWNSHIP CITY OF FITCHBURG
SEC. & 1/4 SEC. NO.# SE1/4 OF SEC6-T6N-R9E

3 working days prior notice before digging.
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HOTLINE

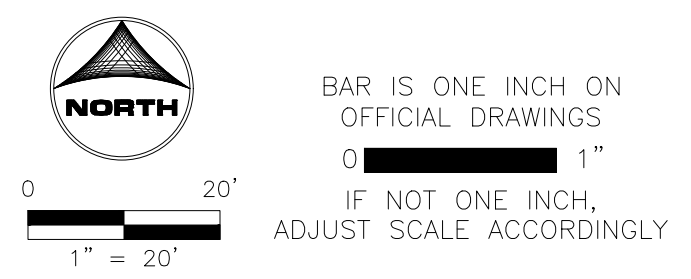


PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
DECIDUOUS TREES				
	AM	3	ACER MIYABEI 'MORTON' / STATE STREET™ MIYABE MAPLE	2" CAL.
	GT	5	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' / STREET KEEPER® HONEY LOCUST	2" CAL.
	GD	5	GYMNOCLADUS DIOICUS 'ESPRESSO' / KENTUCKY COFFEETREE	2" CAL.
	QB	5	QUERCUS BICOLOR / SWAMP WHITE OAK	2" CAL.
EVERGREEN TREES				
	JB	29	JUNIPERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIPER	6" HT.
DECIDUOUS SHRUBS				
	CF	21	CORNUS SERICEA 'FARROW' / ARCTIC FIRE® RED TWIG DOGWOOD	5 GAL.
	HA	17	HYDRANGEA ARBORESCENS 'BRIAN NITZ' / ANNABELLE SMOOTH HYDRANGEA	5 GAL.
	PC	14	PHYSOCARPUS OPULIFOLIUS 'CENTER GLOW' / CENTER GLOW NINEBARK	5 GAL.
	VJ	19	VIBURNUM X JUDDII / JUDD VIBURNUM	5 GAL.
EVERGREEN SHRUBS				
	BG	14	BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	5 GAL.
	JP	26	JUNIPERUS CHINENSIS 'KALLAYS COMPACT' / KALLAY COMPACT PFITZER JUNIPER	5 GAL.
	TD	31	TAXUS CUSPIDATA 'DENSIFORMIS' / DENSE JAPANESE YEW	5 GAL.
GRASSES				
	CC	52	CENCHRUS ALOPECUROIDES 'BURGUNDY BUNNY' / BURGUNDY BUNNY DWARF FOUNTAIN GRASS	1 GAL.
	PH	49	PANICUM VIRGATUM 'HEAVY METAL' / HEAVY METAL SWITCH GRASS	1 GAL.
	SH	45	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL.

GROUNDCOVER LEGEND

	SOD TURF
	SHREDDED HARD WOOD MULCH
	ROCK MULCH



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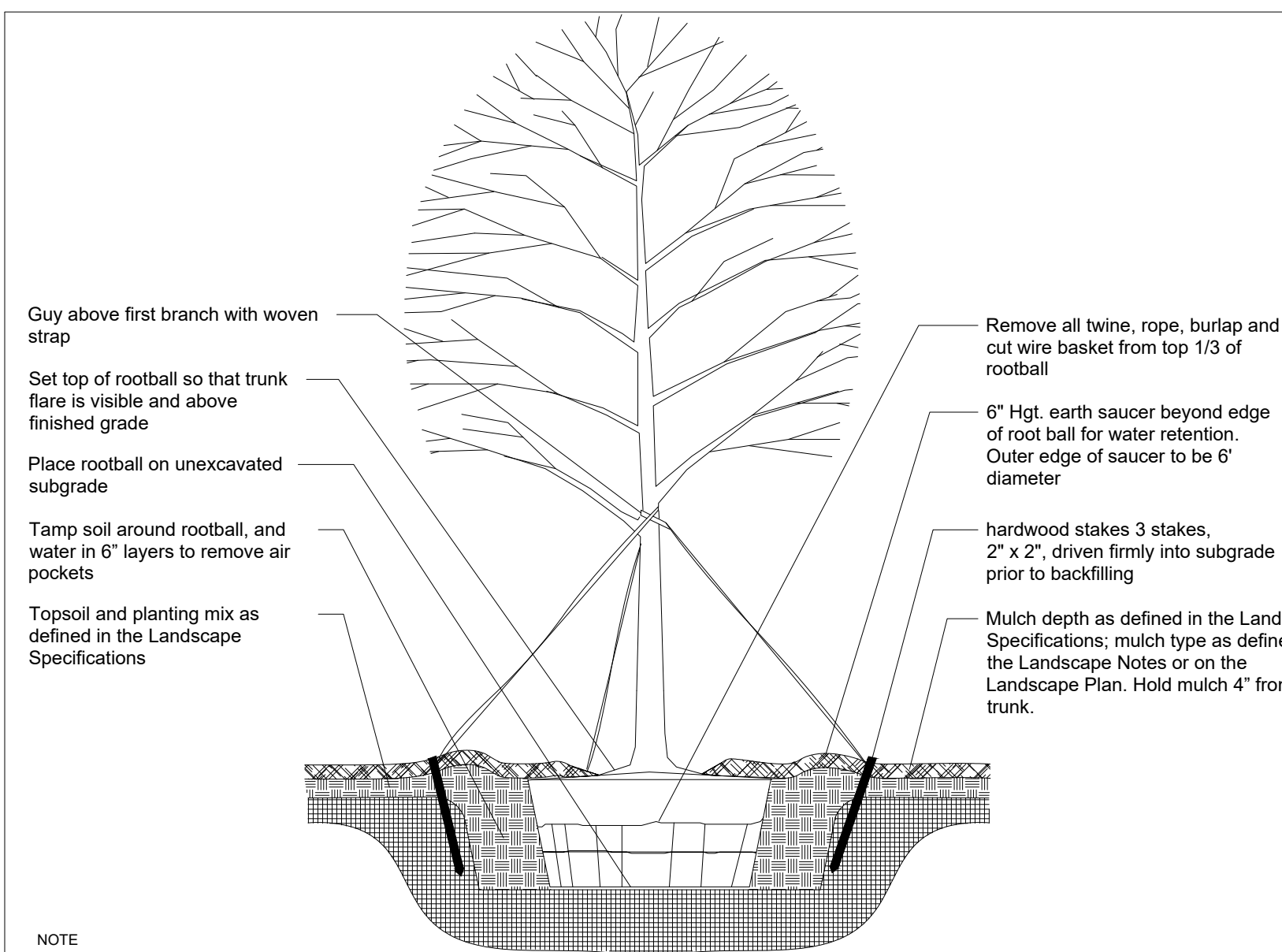
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FITCHBURG, WI 53719

FSU# 05918

REVISION SCHEDULE	DESCRIPTION
NO. DATE	

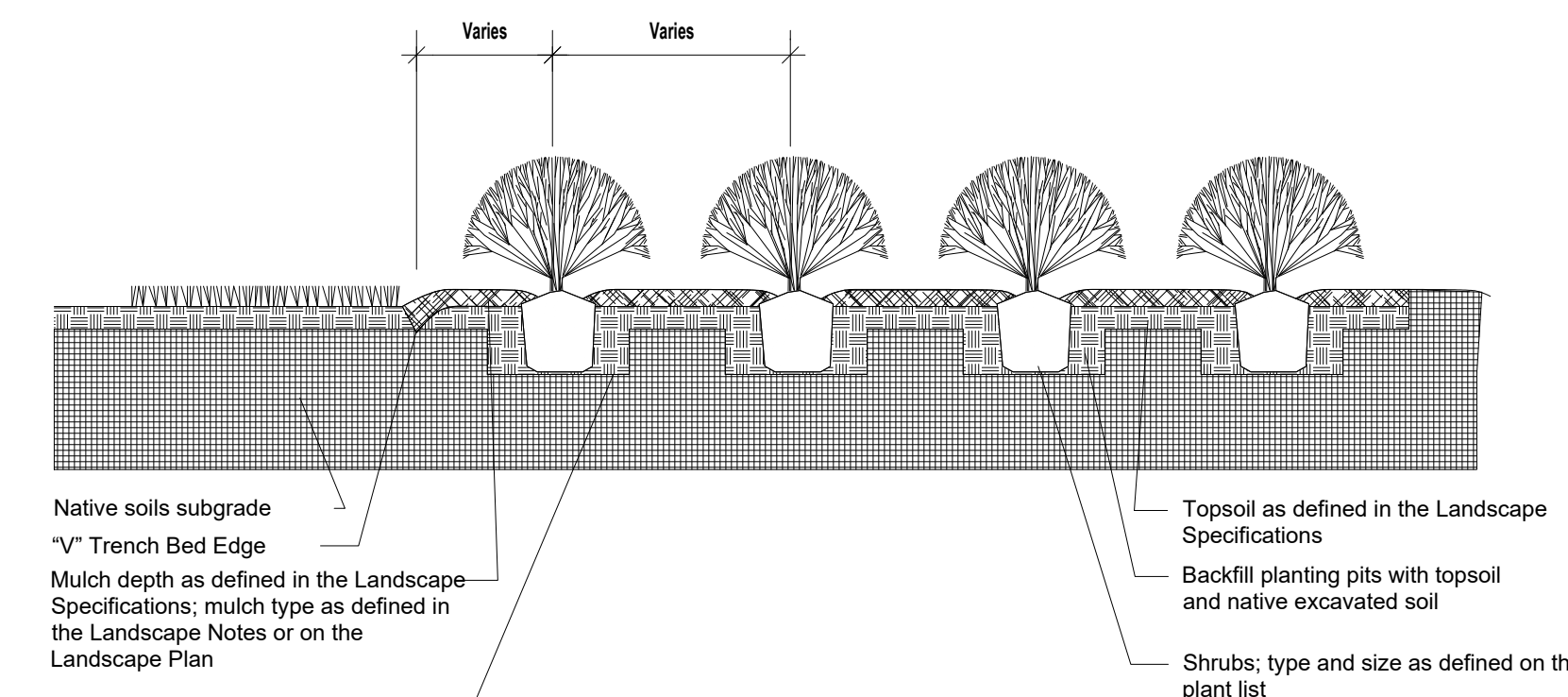
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SHEET LANDSCAPE PLAN	
SHEET NUMBER	L-100

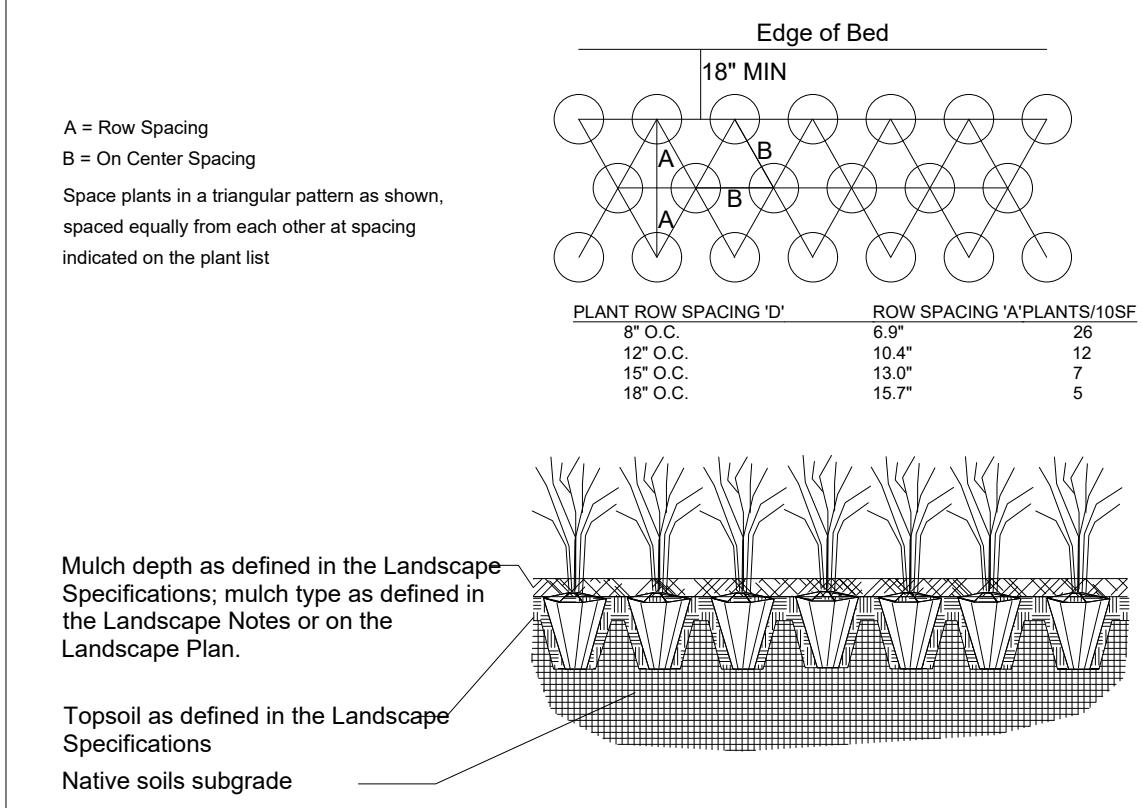


- NOTE
- Hole to be twice the width of the rootball.
 - Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches; Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4\"/>

1 TREE PLANTING AND STAKING DETAIL
SCALE: NTS

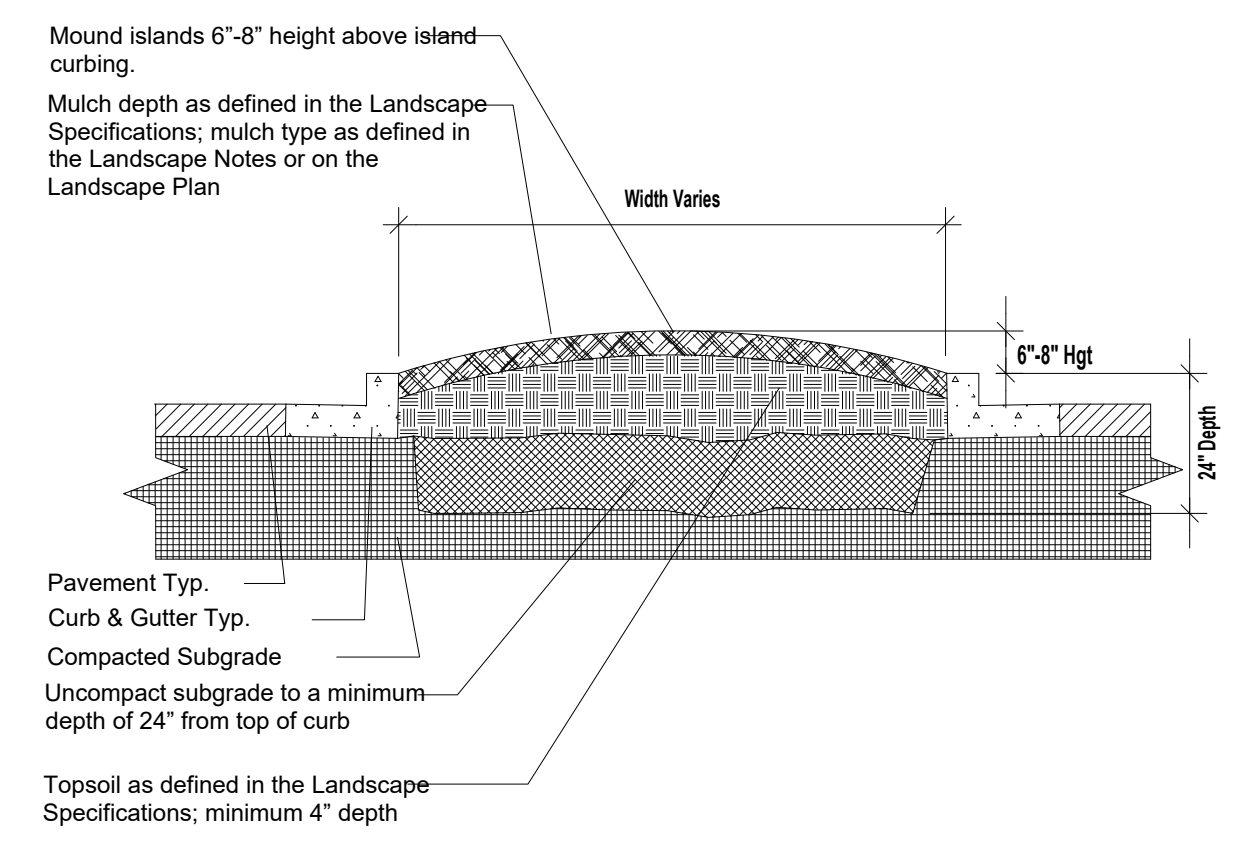


2 SHRUB BED PLANTING DETAIL
SCALE: NTS



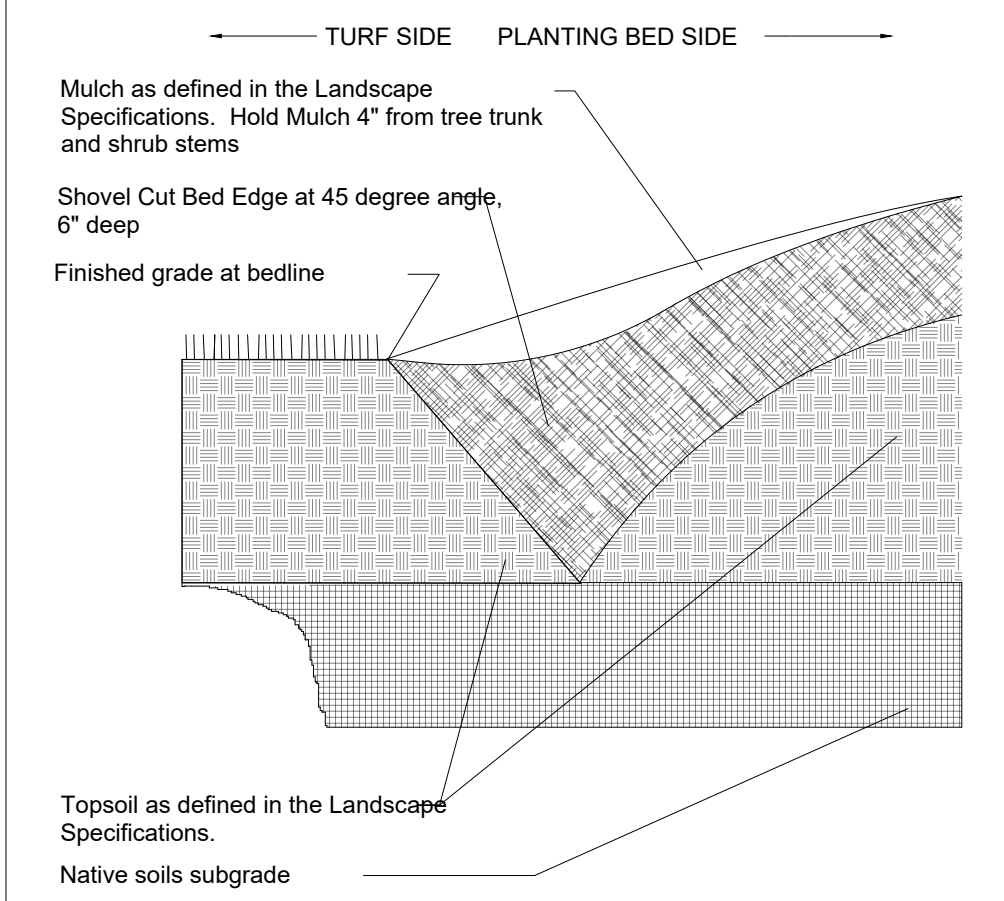
- NOTE
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
 - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
 - Plant to within 24\"/>

3 GROUND COVER PLANTING DETAIL
SCALE: NTS



- NOTE
- Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, ect), prior to installing topsoil and plant material.
 - Fracture/loosen existing subgrade to a minimum 24\"/>

4 PARKING ISLAND BERMING DETAIL
SCALE: NTS



5 V TRENCH BED EDGING
SCALE: NTS

GENERAL NOTES

- BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
- THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE. FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING JULIE, THE COUNTY PUBLIC WORKS DEPARTMENT, THE MUNICIPALITY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
- THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
- ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE OR AS SHOWN ON THE CIVIL ENGINEERING PLANS. ALL AREAS SHALL POSITIVELY DRAIN AND ALL ISLANDS SHALL BE CROWNED 1\"/>

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR TO READ AND UNDERSTAND THE LANDSCAPE SPECIFICATIONS (SHEET L-103) PRIOR TO FINALIZING BIDS. THE LANDSCAPE SPECIFICATIONS SHALL BE ADHERED TO THROUGHOUT THE CONSTRUCTION PROCESS.
- CONTRACTOR RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- CONTRACTOR RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION.
- ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, ROCK, RUBBLE, BUILDING MATERIALS, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOPSOIL.
- ALL SHRUBS BEDS (EXISTING AND NEW) TO BE MULCHED WITH A 3 INCH MINIMUM LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
- ALL ANNUAL AND PERENNIAL BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12 INCHES AND AMENDED WITH 4 INCHES OF ORGANIC MATERIAL. MULCH PLANTED ANNUAL AND PERENNIAL BEDS WITH 2 INCH DEPTH OF MINI NUGGETS.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH OF THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. BACK TO BE A MIX OF 4 PARTS TOPSOIL AND 1 PART ORGANIC SOIL CONDITIONER (IE. NATURE'S HELPER OR PRO MIX). BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE KILLED AND REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- ANY EXISTING GRASS DISTURBED DURING CONSTRUCTION TO BE FULLY REMOVED, REGRADED AND REPLACED. ALL TIRE MARKS AND INDENTIONS TO BE REPAIRED.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS AND DISTRIBUTED PRIOR TO LAYING SOD.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING. EDGE OF SOD IS TO BE V TRENCHED.
- ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK' AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ADDING A MIN OF 4\"/>



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REVISION SCHEDULE	NO.	DATE	DESCRIPTION

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SHEET
LANDSCAPE NOTES & DETAILS
SHEET NUMBER
L-101

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LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

PROVIDE TREES, SHRUBS, GROUND COVERS, SOIL, AND ANNUALS/PERENNIALS AS SHOWN AND SPECIFIED ON THE LANDSCAPE PLAN. THE WORK INCLUDES:

1. SOIL PREPARATION.
2. TREES, SHRUBS, GROUND COVERS, AND ANNUALS/PERENNIALS.
3. PLANTING MIXES.
4. TOP SOIL, MULCH AND PLANTING ACCESSORIES.
5. MAINTENANCE.
6. DECORATIVE STONE.

RELATED WORK:

1. IRRIGATION SYSTEM: SEE IRRIGATION SPECIFICATIONS (NOT INCLUDED IN PACKAGE).

QUALITY ASSURANCE

PLANT NAMES INDICATED, COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.

COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS.

NURSERY STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST, AND PROVIDING THAT THE LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED. PROVIDE PLANTS INDICATED BY TWO MEASUREMENTS SO THAT ONLY A MAXIMUM OF 25% ARE OF THE MINIMUM SIZE INDICATED AND 75% ARE OF THE MAXIMUM SIZE INDICATED.

BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN THE SIZE, VARIETY AND QUALITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT MATERIALS IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS WITHOUT ADDITIONAL COST TO THE OWNER. THE LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTES OF PLANT MATERIAL, OR CHANGES IN PLANT MATERIAL, SIZE, PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.

DELIVER, STORAGE AND HANDLING

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APROVED "ANTI-DESICCANT" IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECT AND REPACKAGE REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK. PROTECT ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT. WATER HEADED-IN PLANTINGS DAILY. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES. COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WIND BURN.

PROJECT CONDITIONS

PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPE OPERATIONS.

A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS ARE SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

THE IRRIGATION SYSTEM WILL BE INSTALLED PRIOR TO PLANTING. LOCATE, PROTECT AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS. REPAIR IRRIGATION SYSTEM COMPONENTS DAMAGED DURING PLANTING OPERATIONS, AT THE CONTRACTOR'S EXPENSE. REFER TO THE IRRIGATION SPECIFICATIONS, IRRIGATION PLAN AND IRRIGATION DETAILS.

DO NOT BEGIN LANDSCAPE ACCESSORY WORK BEFORE COMPLETION OF FINAL GRADING OR SURFACING.

WARRANTY

WARRANT PLANT MATERIAL TO REMAIN ALIVE, BE HEALTHY AND IN A VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER COMPLETION AND FINAL ACCEPTANCE OF ENTIRE PROJECT.

REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR ARE IN AN UNHEALTHY, OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE, OR DEAD BRANCHES, OR TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENT(S) IS AT THE CONTRACTOR'S EXPENSE. WARRANT ALL REPLACEMENT PLANTS FOR 1 YEAR AFTER INSTALLATION.

WARRANTY SHALL NOT INCLUDE DAMAGE, LOSS OF TREES, PLANTS, OR GROUND COVERS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, WINDS OVER 15 MILES PER HOUR, WINTER KILL CAUSED BY EXTREME COLD, SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA, AND/OR ACTS OF VANDALISM OR NEGLIGENCE ON A PART OF THE OWNER.

REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, FOUND TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION. MAINTAIN AND PROTECT PLANT MATERIAL, LAWNS, AND IRRIGATION UNTIL FINAL ACCEPTANCE IS MADE.

ACCEPTANCE

INSPECTION OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE.

1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION.

UPON ACCEPTANCE, THE CONTRACTOR SHALL COMMENCE THE SPECIFIED PLANT MAINTENANCE.

CODES, PERMITS AND FEES

OBTAIN ANY NECESSARY PERMITS FOR THIS SECTION OF WORK AND PAY ANY FEES REQUIRED FOR PERMITS.

THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES, AND WITH ALL ESTABLISHED CODES APPLICABLE THERETO, ALSO AS DEPICTED ON THE LANDSCAPE AND IRRIGATION CONSTRUCTION SET.

PART 2 - PRODUCTS

MATERIALS

PLANTS: PROVIDE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUN SCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES. PLANTS HELD ON STORAGE WILL BE REJECTED IF THEY SHOW SIGNS OF GROWTH DURING THE STORAGE PERIOD.

1. BALLED AND PLANTS WRAPPED WITH BURLAP. TO HAVE FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS, OR SIGNS OF CIRCULING ROOTS ARE NOT ACCEPTABLE.
2. CONTAINER- GROWN STOCK: GROWN IN A CONTAINER OF SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
 - 2.1. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
 - 2.2. CONTAINER STOCK SHALL NOT BE POT BOUND.
 3. PLANTS PLANTED IN ROWS SHALL BE MATCHED IN FORM.
 4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
 - 4.1. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.
 5. THE HEIGHT OF THE TREES, MEASURED FROM THE CROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
 6. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
 7. EVERGREEN TREES SHALL BE BRANCHED TO THE GROUND OR AS SPECIFIED IN PLANT LIST.
 8. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
 - 8.1. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.
 - 8.2. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED.
 - 8.3. SIDE BRANCHES SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED TO THE GROUND.
 - 8.4. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DEAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.

ACCESSORIES

TOPSOIL: SHALL BE FERTILE, FRABLE, NATURAL, TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED AERABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN pH 6.0 AND 6.8.

NOTE: ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, RUBBLE, STONES, BUILDING MATERIAL, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOP SOIL.

1. SOIL AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
2. PLANTING BED AREAS: SPREAD A MINIMUM 4" LAYER OF TOP SOIL AND RAKE SMOOTH.
3. LANDSCAPE ISLANDS/MEDIAN: FRACTURED/CROSSED SUBGRADE TO A MINIMUM 24" DEPTH. REMOVE AND REPLACE ANY SUBGRADE UNSUITABLE FOR PLANTING. ONCE SUBGRADE IS CLEAN OF DEBRIS AND LOOSENED, ADD TOPSOIL TO A MINIMUM BERM 6"-8" HEIGHT ABOVE ISLAND CURBING.
4. ANNUAL/PERENNIAL BED AREAS: ADD A MINIMUM OF 4" ORGANIC MATTER AND TILL TO A MINIMUM 12" DEPTH.

MULCH: TYPE SELECTED DEPENDENT ON REGION AND AVAILABILITY; SEE LANDSCAPE PLANS FOR TYPE OF MULCH TO BE USED. HOLD MULCH 4" FROM TREE TRUNKS AND SHRUB STEMS.

1. HARDWOOD: 6 MONTH OLD WELL ROTTED DOUBLE SHREDDED NATIVE HARDWOOD BARK MULCH NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH. FREE OF WOOD CHIPS AND SAWDUST. INSTALL MINIMUM DEPTH OF 3".
2. PINE STRAW: PINE STRAW TO BE FRESH HARVEST, FREE OF DEBRIS, BRIGHT IN COLOR. BALES TO BE WIRED AND TIGHTLY BOUND. NEEDLES TO BE DRY. INSTALL MINIMUM DEPTH OF 3".
3. RIVER ROCK: (COLOR) LIGHT GRAY TO BUFF TO DARK BROWN, WASHED RIVER ROCK, 1" - 3" IN SIZE. INSTALL IN SHRUB BEDS TO AN EVEN DEPTH OF 3". WEED CONTROL BARRIER TO BE INSTALLED UNDER ALL ROCK MULCH AREAS. USE CAUTION DURING INSTALLATION NOT TO DAMAGE PLANT MATERIAL.
4. MINI NUGGETS: INSTALL TO A MINIMUM DEPTH OF 2"-3" AT ALL LOCATIONS OF ANNUAL AND PERENNIAL BEDS. LIFT THE STEMS AND LEAVES OF THE ANNUALS AND CAREFULLY SPREAD THE MULCH TO AVOID INJURING THE PLANTS. GENTLY BRUSH THE MULCH OFF THE PLANTS.

GYUING/STAKING:

1. ARBORITE (GREEN OR WHITE) STAKING AND GUYING MATERIAL TO BE FLAT, WOVEN, POLYPROPYLENE MATERIAL, 3/4" WIDE 90 LB. BREAK STRENGTH. ARBORITE SHALL BE FASTENED TO STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT AND SUPPORTS THE TREE.
2. REMOVE GUYING/STAKING AFTER ONE YEAR FROM PLANTING.

TREE WRAP: TREE WRAPS SHOULD BE USED ON YOUNG, NEWLY PLANTED THIN-BARKED TREES (CHERRY, CRABAPPLE, HONEY LOCUST, LINDEN, MAPLE, MOUNTAIN ASH, PLUM) THAT ARE MOST SUSCEPTIBLE TO SUN SCALD/VIBURNUM. STANDARD WATERPROOF TREE WRAP: 2-12" WIDE, MADE OF 2 LAYERS OF CREPE DRAFT PAPER WEIGHING NOT LESS THAN 30 LB. PER ROLL, CEMENTED TOGETHER WITH ASPHALT. WRAP THE TREE IN THE FALL AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINTER AND EARLY SPRING. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE TREES DEVELOP CORKY BARK.

PART 3 – EXECUTION

INSPECTION

PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION. APPROVE TOP SOIL PROVIDED BY THE GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.

PREPARATION

PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.

LOCATE PLANTS AS INDICATED ON THE PLANS OR AS APPROVED IN THE FIELD AFTER STAKING BY THE LANDSCAPE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANT LOCATIONS HAVE BEEN SELECTED AND APPROVED BY THE LANDSCAPE ARCHITECT. SPACING OF PLANT MATERIAL SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.

EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN BEDS. PROVIDE SHRUB PITS AT LEAST 12" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 24" GREATER FOR TREES. DEPTH OF PIT SHALL ACCOMMODATE THE ROOT SYSTEM. PROVIDE UNDISTURBED SUB GRADE TO HOLD ROOT BALL AT NURSERY GRADE AS SHOWN ON THE DRAWINGS.

INSTALLATION

SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL 2"-3" ABOVE THE FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL THE PIT WITH TOPSOIL, MIX AND EXCAVATED MATERIAL. DO NOT USE FROZEN OR MUDDY MIXTURES FOR BACKFILLING. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANTING PIT TO RETAIN WATER.

AFTER BALLED AND WRAPPED IN BURLAP PLANTS ARE SET, MULCH PLANTING SOIL MIXTURE AROUND BASES OF BALLS AND FILL ALL VOIDS.

1. REMOVE ALL BURLAP, ROPES, AND WIRES FROM THE TOP 1/3 OF THE ROOT BALL

SPACE GROUND COVER PLANTS IN ACCORDANCE WITH INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BED WITH INDICATED QUANTITY OF PLANTS. PLANT TO WITHIN 24" OF THE TRUNKS OF TREES AND SHRUBS WITHIN PLANTING BED AND TO WITHIN 18" OF EDGE OF BED.

MULCHING:

1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL. (SEE LANDSCAPE PLAN FOR MULCH TYPE); DEPTH OF MULCH AS NOTED ABOVE. HOLD MULCH BACK 4" AWAY FROM TREE TRUNKS AND SHRUB STEMS. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

DECORATIVE STONE: (WHERE INDICATED ON LANDSCAPE PLAN)

1. INSTALL WEED CONTROL BARRIER OVER SUB-GRADE PRIOR TO INSTALLING STONE. LAP 6" ON ALL SIDES.
2. PLACE STONE WITHOUT DAMAGING WEED BARRIER.
3. ARRANGE STONES FOR BEST APPEARANCE AND TO COVER ALL WEED BARRIER FABRIC.

WRAPPING, GUYING, STAKING:

1. INSPECT TREES FOR INJURY TO TRUNKS, EVIDENCE OF INSECT INFESTATION, AND IMPROPER PRUNING BEFORE WRAPPING.
2. WRAPPING:
 - 2.1. WRAP TRUNKS OF ALL YOUNG NEWLY PLANTED TREES KNOWN TO HAVE THIN BARK. WRAP SPIRALLY FROM BOTTOM TO TOP WITH SPECIFIED TREE WRAP AND SECURE IN PLACE.
 - 2.2. OVERLAP 1/2 THE WIDTH OF THE TREE WRAP STRIP AND COVER THE TRUNK FROM THE GROUND TO THE HEIGHT OF THE SECOND BRANCH.
 - 2.3. SECURE TREE WRAP IN PLACE WITH TWINE WOUND SPIRALLY DOWNWARD IN THE OPPOSITE DIRECTION, TIED AROUND THE TREE IN AT LEAST 3 PLACES IN ADDITION TO THE TOP AND BOTTOM.
 - 2.4. WRAP THE TREES IN THE FALL AND LEAVE THE WRAP IN PLACE THROUGHOUT THE WINTER AND EARLY SPRING.
 - 2.5. TREE WRAPS ARE TEMPORARY AND NO LONGER NEEDED ONCE THE TREES DEVELOP CORKY BARK.
3. STAKING/GUYING:
 - 3.1. STAKE/GUY ALL TREES IMMEDIATELY AFTER LAWN SODDING OPERATIONS AND PRIOR TO ACCEPTANCE.
 - 3.2. STAKE DECIDUOUS TREES 2" CALIPER AND LESS. STAKE EVERGREEN TREES UNDER 7'-0" TALL.
 - 3.2.1. STAKES ARE PLACED IN LINE WITH PREVAILING WIND DIRECTION AND DRIVEN INTO UNDISTURBED SOIL.
 - 3.2.2. TIES ARE ATTACHED TO THE TREE, USUALLY AT THE LOWEST BRANCH.
 - 3.3. GUY DECIDUOUS TREES OVER 2" CALIPER, GUY EVERGREEN TREES 7'-0" TALL AND OVER.
 - 3.3.1. GUY WIRES TO BE ATTACHED TO THREE STAKES DRIVEN INTO UNDISTURBED SOIL, WITH ONE STAKE PLACED IN THE DIRECTION OF THE PREVAILING WIND.
 - 3.3.2. TIES ARE ATTACHED TO THE TREE, USUALLY AT THE LOWEST BRANCH.
 - 3.3.3. THE AXIS OF THE STAKE SHOULD BE AT 90 DEGREE ANGLE TO THE AXIS ON THE PULL OF THE GUY WIRE.
4. REMOVE ALL GUYING AND STAKING AFTER ONE YEAR FROM PLANTING.

PRUNING:

1. PRUNE DECIDUOUS TREES AND EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.

WORKMANSHIP

DURING LANDSCAPE/IRRIGATION INSTALLATION OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF INSTALLATION OPERATIONS, ALL EXCESS MATERIALS, EQUIPMENT, DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES. SWEEP PARKING AND WALKS CLEAN OF DIRT AND DEBRIS. REMOVE ALL PLANT TAGS AND OTHER DEBRIS FROM LAWNS AND PLANTING AREAS.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

MAINTENANCE

CONTRACTOR SHALL PROVIDE MAINTENANCE UNTIL WORK HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.

MAINTENANCE SHALL INCLUDE MOWING, FERTILIZING, MULCHING, PRUNING, CULTIVATION, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS AND LAWNS FREE OF INSECTS AND DISEASE.

1. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
2. REPAIR GUY WIRES AND STAKES AS REQUIRED. REMOVE ALL STAKES AND GUY WIRES AFTER 1 YEAR.
3. CORRECT DEFICIENCIES AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
4. WATER TREES, PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, AND NOT LESS THAN TWICE PER WEEK UNTIL FINAL ACCEPTANCE.

LANDSCAPE MAINTENANCE SPECIFICATIONS

THE CONTRACTOR SHALL PROVIDE AS A SEPARATE BID, MAINTENANCE FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPING. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER OR PROVIDE THE NAME OF A REPUTABLE LANDSCAPE CONTRACTOR WHO CAN PROVIDE MAINTENANCE.

STANDARDS

ALL LANDSCAPE MAINTENANCE SERVICES SHALL BE PERFORMED BY TRAINED PERSONNEL USING CURRENT, ACCEPTABLE HORTICULTURAL PRACTICES.

ALL WORK SHALL BE PERFORMED IN A MANNER THAT MAINTAINS THE ORIGINAL INTENT OF THE LANDSCAPE DESIGN.

ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT COUNTY, STATE AND FEDERAL LAWS, USING EPA REGISTERED MATERIALS AND METHODS OF APPLICATION. THESE APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR.

APPROVALS

ANY WORK PERFORMED IN ADDITION TO THAT WHICH IS OUTLINED IN THE CONTRACT SHALL ONLY BE DONE UPON WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE (GENERAL MANAGER OF THE RESTAURANT).

ALL SEASONAL COLOR SELECTIONS SHALL BE APPROVED BY THE GENERAL MANAGER PRIOR TO ORDERING AND INSTALLATION.

SOIL TESTING

THE MAINTENANCE CONTRACTOR SHALL PERFORM SOIL TESTS AS NEEDED TO IDENTIFY IMBALANCES OR DEFICIENCIES CAUSING PLANT MATERIAL DECLINE. THE OWNER SHALL BE NOTIFIED OF THE RECOMMENDATION FOR APPROVAL, AND THE NECESSARY CORRECTIONS MADE AT AN ADDITIONAL COST TO THE OWNER.

ACCEPTABLE SOIL TEST RESULTS

	LANDSCAPE TREES AND SHRUBS	TURF
pH RANGE	5.0 - 7.0	6.0 - 7.0
ORGANIC MATTER	> 1.5%	> 2.5%
MAGNESIUM (MG)	100+ LBS/ACRE	100+ LBS/ACRE
PHOSPHORUS (PPPM)	150+ LBS/ACRE	150+ LBS/ACRE
POTASSIUM (K2O)	120+ LBS/ACRE	120+ LBS/ACRE
SOLUBLE SALTS/ CONDUCTIVITY	NOT TO EXCEED 900PPM/1.9MMHOS/CM IN SOIL, NOT TO EXCEED 1400 PPM/2.5 MMHOS/CM IN HIGH ORGANIC MIX.	NOT TO EXCEED 900PPM/1.9MMHOS/CM IN SOIL, NOT TO EXCEED 1400 PPM/2.5 MMHOS/CM IN HIGH ORGANIC MIX.

WORKMANSHIP

DURING LANDSCAPE MAINTENANCE OPERATIONS, ALL AREAS SHALL BE KEPT NEAT AND CLEAN. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING STRUCTURES. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER TO THE OPERATORS, THE OCCUPANTS AND ANY PEDESTRIANS.

UPON COMPLETION OF MAINTENANCE OPERATIONS, ALL DEBRIS AND WASTE MATERIAL SHALL BE CLEANED UP AND REMOVED FROM THE SITE, UNLESS PROVISIONS HAVE BEEN GRANTED BY THE OWNER TO USE ON-SITE TRASH RECEPTACLES.

ANY DAMAGE TO THE LANDSCAPE, THE STRUCTURE, OR THE IRRIGATION SYSTEM CAUSED BY THE MAINTENANCE CONTRACTOR, SHALL BE REPAIRED BY THE MAINTENANCE CONTRACTOR WITHOUT CHARGE TO THE OWNER.

TURF

GENERAL CLEAN UP

PRIOR TO MOWING, ALL TRASH, STICKS, AND OTHER UNWANTED DEBRIS SHALL BE REMOVED FROM LAWNS, PLANT BEDS, AND PAVED AREAS.

MOWING

WARM SEASON GRASSES (IE. BERMUDDA GRASS) SHALL BE MAINTAINED AT A HEIGHT OF 1" TO 2" DURING THE GROWING SEASON.

COOL SEASON GRASSES, INCLUDING BLUE GRASS, TALL FESCUE, PERENNIAL RYEGRASS, ETC., SHALL BE MAINTAINED AT A HEIGHT OF 2" TO 3" IN SPRING AND FALL. FROM JUNE THROUGH SEPTEMBER, MOWING HEIGHT SHALL BE MAINTAINED AT NO LESS THAN 3".

THE MOWING OPERATION INCLUDES TRIMMING AROUND ALL OBSTACLES, RAKING EXCESSIVE GRASS CLIPPINGS AND REMOVING DEBRIS FROM WALKS, CURBS, AND PARKING AREAS. CAUTION: WEED EATERS SHOULD NOT BE USED AROUND TREES BECAUSE OF POTENTIAL DAMAGE TO THE BARK.

EDGING

EDGING OF ALL SIDEWALKS, CURBS AND OTHER PAVED AREAS SHALL BE PERFORMED ONCE EVERY OTHER MOWING. DEBRIS FROM THE EDGING OPERATIONS SHALL BE REMOVED AND THE AREAS SWEEP CLEAN. CAUTION SHALL BE USED TO AVOID FLYING DEBRIS.

LIMING & FERTILIZING

A SOIL TEST SHALL BE TAKEN TO DETERMINE WHETHER AN APPLICATION OF LIMESTONE IN LATE FALL IS NECESSARY. IF LIMESTONE IS REQUIRED, THE LANDSCAPE CONTRACTOR SHALL SPECIFY THE RATE, OBTAIN APPROVAL FROM THE OWNER AND APPLY IT AT AN ADDITIONAL COST. A UNIT PRICE FOR LIMING OF TURF SHALL ACCOMPANY THE BID BASED ON A RATE OF 50 POUNDS PER 1000 SQUARE FEET.

FERTILIZER SHALL BE APPLIED IN AREAS BASED ON THE EXISTING TURF SPECIES.

LAWN WEED CONTROL-HERBICIDES

SELECTION AND PROPER USE OF HERBICIDES SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. ALL CHEMICAL APPLICATIONS SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED CERTIFIED APPLICATOR. READ THE LABEL PRIOR TO APPLYING ANY CHEMICAL.

INSECT & DISEASE CONTROL FOR TURF

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE SITE CONDITIONS ON EACH VISIT TO DETERMINE IF ANY INSECT PEST OR DISEASE PROBLEMS EXIST. THE CONTRACTOR SHALL IDENTIFY THE INSECT PEST OR DISEASE, AS WELL AS THE HOST PLANT, AND THEN CONSULT THE MOST CURRENT EDITION OF THE COOPERATIVE EXTENSION SERVICE'S "COMMERCIAL INSECTICIDE RECOMMENDATION FOR TURF" FOR CONTROL. THE LICENSED APPLICATOR SHALL BE FAMILIAR WITH THE LABEL PROVIDED FOR THE SELECTED PRODUCT PRIOR TO APPLICATION.

INSPECTION AND TREATMENT TO CONTROL INSECT PESTS SHALL BE INCLUDED IN THE CONTRACT PRICE.

TREES, SHRUBS, & GROUND COVER

PRUNING

ALL ORNAMENTAL TREES, SHRUBS AND GROUND COVER SHALL BE PRUNED WHEN APPROPRIATE TO REMOVE DEAD OR DAMAGED BRANCHES, DEVELOP THE NATURAL SHAPE, DO NOT SHEAR TREES OR SHRUBS. IF PREVIOUS MAINTENANCE PRACTICE HAS BEEN TO SHEAR AND BALL, THEN A NATURAL SHAPE WILL BE RESTORED GRADUALLY.

PRUNING GUIDELINES:

1. PRUNE THOSE THAT FLOWER BEFORE THE END OF JUNE IMMEDIATELY AFTER FLOWERING. FLOWER BUDS DEVELOP DURING THE PREVIOUS GROWING SEASON. FALL, WINTER OR SPRING PRUNING WOULD REDUCE THE SPRING FLOWERING DISPLAY.
2. PRUNE THOSE THAT FLOWER IN SUMMER OR AUTUMN IN WINTER OR SPRING BEFORE NEW GROWTH BEGINS, SINCE THESE PLANTS DEVELOP FLOWERS ON NEW GROWTH.

3. DELAY PRUNING PLANTS GROWN FOR ORNAMENTAL FRUITS, SUCH AS COTONEASTERS, PYRACANTHAS AND VIBURNUMS.
4. HOLLES AND OTHER EVERGREENS MAY BE PRUNED DURING WINTER IN ORDER TO USE THEIR BRANCHES FOR SEASONAL DECORATION. HOWEVER, SEVERE PRUNING OF EVERGREENS SHOULD BE DONE IN EARLY SPRING ONLY.
5. BROAD-LEAF EVERGREEN SHRUBS SHALL BE HAND-PRUNED TO MAINTAIN THEIR NATURAL APPEARANCE AFTER THE NEW GROWTH HARDENS OFF.
6. HEDGES OR SHRUBS THAT REQUIRE SHEARING TO MAINTAIN A FORMAL APPEARANCE SHALL BE PRUNED AS REQUIRED. DEAD WOOD SHALL BE REMOVED FROM SHEARED PLANTS BEFORE THE FIRST SHEARING OF THE SEASON.
7. CONFISERS SHALL BE PRUNED, IF REQUIRED, ACCORDING TO THEIR GENUS.
 - 7.1. WIRES, JUNIPERS, HEMLOCKS, ARBORVITAE, AND FALSE-CYPRESS MAY BE PRUNED AFTER NEW GROWTH HAS HARDENED OFF IN LATE SUMMER. IF SEVERE PRUNING IS NECESSARY, IT MUST BE DONE IN EARLY SPRING.
 - 7.2. FIRS AND SPRUCES MAY BE LIGHTLY PRUNED IN LATE SUMMER, FALL, OR WINTER AFTER COMPLETING GROWTH. LEAVE SIDE BUDS. NEVER CUT CENTRAL LEADER.
 - 7.3. PINES MAY BE LIGHTLY PRUNED IN EARLY JUNE BY REDUCING CANDLES.
8. GROUNDCOVER SHALL BE PRUNED AS NEEDED TO CONTAIN IT WITHIN ITS BORDERS.
9. THINNING- REMOVE BRANCHES AND WATER SPROUTS BY CUTTING THEM BACK TO THEIR POINT OF ORIGIN ON PARENT STEMS. THIS METHOD RESULTS IN A MORE OPEN PLANT, WITHOUT STIMULATING EXCESSIVE GROWTH. THINNING IS USED ON CREPE MYRTLES, LILACS, VIBURNUMS, SMOKE BUSH ETC.
10. UNDESIRABLE PRUNING OF THE OLDEST BRANCHES OF SHRUB AT GROUND, LEAVING THE YOUNGER, MORE VIGOROUS BRANCHES. THIS METHOD ALSO REMOVE WEAK STEMS ON OVERGROWN PLANTS. THIS METHOD MAY BE BEST DONE OVER A THREE-YEAR PERIOD. RENEWAL PRUNING MAY BE USED ON ABELIA, FORSYTHIA, DEUTZIA, SPIREA, ETC.

PLANTS OVERHANGING PASSAGEWAYS AND PARKING AREAS AND DAMAGED PLANTS SHALL BE PRUNED AS NEEDED.

SHADE TREES THAT CANNOT BE ADEQUATELY PRUNED FROM THE GROUND SHALL NOT BE INCLUDED IN THE MAINTENANCE CONTRACT. A CERTIFIED ARBORIST UNDER A SEPARATE CONTRACT SHALL PERFORM THIS TYPE OF WORK.

SPRING CLEANUP

PLANT BEDS SHALL RECEIVE A GENERAL CLEANUP BEFORE FERTILIZING AND MULCHING. CLEANUP INCLUDES REMOVING DEBRIS AND TRASH FROM BEDS AND CUTTING BACK HERBACEOUS PERENNIALS LEFT STANDING THROUGH WINTER, E.G. ORNAMENTAL GRASSES, SEDUM AUTUMN JOY.

FERTILIZING

FOR TREES: THE RATE OF FERTILIZATION DEPENDS ON THE TREE SPECIES, TREE VIGOR, AREA AVAILABLE FOR FERTILIZATION, AND GROWTH STAGE OF THE TREE. MATURE SPECIMENS BENEFIT FROM FERTILIZATION EVERY 3 TO 4 YEARS; YOUNGER TREES SHALL BE FERTILIZED MORE OFTEN DURING RAPID GROWTH STAGES.

THE CURRENT RECOMMENDATION IS BASED ON THE RATE OF 1000 SQUARE FEET OF AREA UNDER THE TREE TO BE FERTILIZED. FOR DECIDUOUS TREES, 2 TO 6 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR NARROW-LEAF EVERGREENS, 1 TO 4 POUNDS OF NITROGEN PER 1000 SQUARE FEET; FOR BROAD-LEAF EVERGREENS, 1 TO 3 POUNDS OF NITROGEN PER 2000 SQUARE FEET.

SHRUBS AND GROUNDCOVER SHALL BE TOP-DRESSED WITH COMPOST 1" DEEP, OR FERTILIZED ONCE IN MARCH WITH 10-6-4 ANALYSIS FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SQUARE FEET OF BED AREA. ERICACEOUS MATERIAL SHALL BE FERTILIZED WITH AN ERICACEOUS FERTILIZER AT THE MANUFACTURER'S RECOMMENDATION RATE. IF PLANTS ARE GROWING POORLY, A SOIL SAMPLE SHOULD BE TAKEN.

MULCHING

ANNUALLY, ALL TREE AND SHRUB BEDS WILL BE PREPARED AND MULCHED, TO A MINIMUM DEPTH OF 3" WITH QUALITY MULCH TO MATCH EXISTING. BED PREPARATION SHALL INCLUDE REMOVING ALL WEEDS, CLEANING UP SAID BED, EDGING AND CULTIVATING



NORTH EAST PERSPECTIVE VIEW



SOUTH EAST PERSPECTIVE VIEW



SOUTH WEST PERSPECTIVE VIEW



NORTH WEST PERSPECTIVE VIEW



SOUTH EXTERIOR ELEVATION



NORTH EXTERIOR ELEVATION



WEST EXTERIOR ELEVATION



EAST EXTERIOR ELEVATION

EXTERIOR FINISHES

(BR-A) BRICK VENEER COLOR: DARK BROWN SIZE: MODULAR	(EC-1) PREFINISHED METAL COPING COLOR: MIDNIGHT BRONZE
(BR-B) BRICK VENEER COLOR: LIGHT BROWN SIZE: MODULAR	(PT-1) EXTERIOR PAINT COLOR: DARK BRONZE FINISH: SEMI-GLOSS
	(ST-1) STOREFRONT COLOR: DARK BRONZE

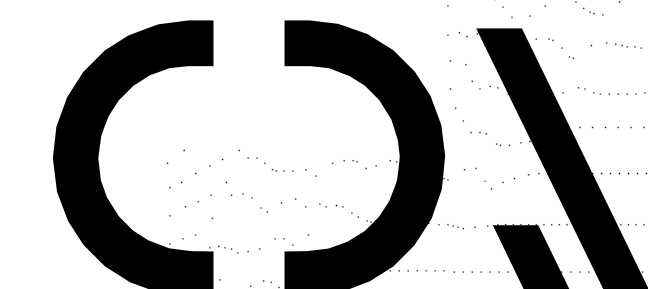
ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	9	6'-4"	1'-0"	0"	No
C4-B	Exterior Canopy	2	5'-4"	4'-0"	2'-4"	Yes
C4-G	Exterior Canopy	1	7'-4"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-4"	4'-0"	2'-4"	Yes
Grand total		13				



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



CHIPMAN DESIGN
ARCHITECTURE INC
1350 E TOUHY AVE
FIRST FLOOR EAST
DES PLAINES, IL 60018
TEL: 847.298.6900

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF FITCHBURG, WI RELATING TO STRUCTURES AND BUILDINGS.

CHICK-FIL-A
FITCHBURG FSU
NWQ OF MCKEE & FITCHRONA
FITCHBURG, WI 53719

FSR#05918
BUILDING TYPE / SIZE: P14 LE BN
RELEASE: 24.08

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

FOR REVIEW ONLY

CONSULTANT PROJECT # 24-2416.00
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DATE 10/09/2024
DRAWN BY MR
CHECKED BY MR
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SHEET DESIGN OVERVIEW - BRICK
SHEET NUMBER

X-900



APPENDIX H

Lot 4 Site Plans

GENERAL NOTES

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE RIGHT-OF-WAY AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS...
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES...
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION...
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR...
6. CONTRACTOR SHALL RESTORE ALL BUILDINGS, PAVEMENT, PIPES, SLOPES, AND STRUCTURES DAMAGED BY THE CONTRACTOR...
7. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE JURISDICTIONAL AUTHORITY AND IS SUBJECT TO CHANGE AT ANY TIME...
8. ANY REFERENCES TO THE TERMS OR ENTITY ABBREVIATIONS IN THE FOLLOWING NOTES AND SPECIFICATIONS SHALL BE UNDERSTOOD AS FOLLOWS:
9.1. "JURISDICTION" - THE LOCAL GOVERNMENTAL AGENCY (I.E., CITY, VILLAGE, TOWN, COUNTY, STATE, OR UTILITY SERVICE PROVIDER) HAVING AUTHORITY.
9.2. "STATE HIGHWAY SPECIFICATIONS" - STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION...
9.3. "STANDARD SPECIFICATIONS" - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN...
9.4. WISCONSIN DEPARTMENT OF TRANSPORTATION - "WISDOT"
9.5. WISCONSIN DEPARTMENT OF NATURAL RESOURCES - "WDNR"
9.6. DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES - "DPS" OR "SPS"

DEMOLITION NOTES

- 1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE...
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION-RELATED DIRT, DUST, AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION...
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY...
5. ABANDONED/REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF OFFSITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES THAT WERE DAMAGED BY THE CONSTRUCTION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO:
7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS...
7.2. VERIFY UTILITY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES...
7.3. NOTIFY ALL UTILITIES OWNERS PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
7.4. NOTIFY THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION...
8. ANY UTILITIES THAT ARE DAMAGED BY THE CONTRACTORS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION...
9. CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL/ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY...
10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED JURISDICTION'S RECYCLING PLAN.
11. ANY CONTAMINATED SOILS ENCOUNTERED SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS...
12. ALL EXISTING UTILITIES SHALL BE FIELD LOCATED AND CLEARLY MARKED BY CONTRACTOR PRIOR TO ANY EXCAVATION...
13. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE STANDARD SPECIFICATIONS...
14. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS...
15. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES...
16. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHALL BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS...

CONSTRUCTION SEQUENCING

- 1. INSTALL PERIMETER SILT FENCE, WATTLES, INLET PROTECTION, AND CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL AND INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
7. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% CONTIGUOUS VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

- 1. GENERAL:
1.1. PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS AND APPLICABLE JURISDICTIONAL SPECIFICATIONS.
1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
1.3. ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
1.4. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS...
1.5. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER, PAVEMENT, OR SIDEWALK SHALL MATCH EXISTING AND MEET JURISDICTIONAL REQUIREMENTS.
2. CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS:
2.1. THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS.
2.2. RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER...
2.3. DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
2.4. DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.
3. HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:
3.1. THE PLACING, CONSTRUCTION, AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
3.2. WEATHER LIMITATIONS:
3.2.1. DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
3.2.2. DO NOT PLACE ASPHALTIC MIXTURE WHEN THE AIR TEMPERATURE APPROXIMATELY 3' ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F...
3.2.3. PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM, AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL...
3.2.4. APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING.
3.2.5. ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
3.3. CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
3.4.1. THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
3.5. SURFACE COURSE AGGREGATE
3.5.1. THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
3.6. ASPHALTIC MATERIALS
3.6.1. THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
4. CONCRETE PAVING SPECIFICATIONS:
4.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
4.2. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
4.3. CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO THE ENGINEER IF NOT INCLUDED IN THE PLANS...
4.4. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
4.5. PLACE EXPANSION JOINTS IN CURB, GUTTER, OR CURB AND GUTTER CONSTRUCTION NEXT TO ASPHALTIC PAVEMENT OR SURFACING...
4.6. CONTRACTOR SHALL CONSTRUCT CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS...
4.7. FOR CURB AND GUTTER, FORM CONTRACTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONTRACTION JOINTS...
4.8. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
4.9. CONTRACTOR SHALL INSTALL TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.
5. PAVEMENT MARKING SPECIFICATIONS:
5.1. ALL PARKING STALL LINES SHALL BE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT.
5.2. ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, AND DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

SEEDING AND RESTORATION NOTES

- 1. CONTRACTOR SHALL PROVIDE NOTICE TO THE JURISDICTIONAL AUTHORITIES IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES...
2. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES...
3. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS...
4. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE...
5. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES...
6. SEEDING SPECIFICATIONS:
6.1. TURF-LAWN SEED MIXTURE: WISDOT SEED MIX NO. 40 AT RATES SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.
6.2. LOW MAINTENANCE AREA SEED MIXTURE: WISDOT SEED MIX NO. 10 OR 20 APPLIED AT RATES AS SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.
6.3. NO-MOW AREA SEED MIXTURE: WISDOT SEED MIX AS PROVIDED BY PRAIRIE NURSERY...
6.4. [OTHER SEEDING MIXTURE SPECIFICATIONS AS APPLICABLE TO PROJECT]
7. SEED PREPARATION SPECIFICATIONS:
7.1. SCARIFY SUBSOILS TO A DEPTH OF 3" WHERE TOPSOIL SHALL BE PLACED TO REDUCE COMPACTION.
7.2. PLACE TOPSOIL AT A MINIMUM DEPTH OF 6" UNLESS OTHERWISE NOTED ON THE PLANS.
7.3. APPLY FERTILIZER IN ACCORDANCE WITH SEED MIX MANUFACTURERS RECOMMENDATIONS.
7.4. SOW SEED AT RATES SPECIFIED USING METHOD "A" OR METHOD "B" AS SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.
8. SEED MULCHING/EROSION MATTING SPECIFICATIONS:
8.1. ALL SEEDING SHALL BE PERFORMED AT LEAST 4.1, UNLESS OTHERWISE NOTED ON THE PLANS...
8.2. ALL SEEDED AREAS WITH SLOPES EQUAL TO OR STEEPER THAN 4.1, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE STABILIZED WITH EROSION MATTING MATERIALS AS SPECIFIED ON THE PLANS...

UTILITY NOTES

- 1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE...
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
2.1. EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS...
2.2. OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES...
2.3. VERIFYING ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER, AND STORM LATERALS...
2.4. NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
2.5. NOTIFYING THE DESIGN ENGINEER AND JURISDICTIONAL AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION...
2.6. COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT...
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES AND STATE DSPS/SPS AND LOCAL CODES...
4. SPECIFICATIONS SHALL COMPLY WITH THE JURISDICTIONAL AUTHORITY'S SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN...
6. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT...
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS...
9. ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE...
10. DRY UTILITIES (COMMUNICATION, TELEPHONE, GAS, ELECTRIC, ETC.) ARE SHOWN FOR GENERAL ROUTING ONLY...
11. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS...
12. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES...
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS...
14. IN ANY LOCATIONS WHERE BUILDING SEWERS (STORM AND SANITARY) ARE INSTALLED WITH LESS THAN THE MINIMUM COVER...
15. STORM SEWER SPECIFICATIONS:
15.1. PIPE:
15.1.1. REINFORCED CONCRETE PIPE (RCP)...
15.1.2. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE (HDPE)...
15.1.3. POLYVINYL CHLORIDE (PVC)...
15.2. INLETS AND CATCH BASINS.
15.2.1. INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 6.3.3 AND DETAIL DRAWINGS...
15.2.2. GRATE FRAME AND GRATES SHALL BE NEENAH R-1550, HEAVY DUTY WITH A R-2578 GRATE OR EQUAL...
15.2.3. FRAME AND GRATE LIDS:
15.2.3.1. CURB FRAME AND GRATES SHALL BE NEENAH R-3067 WITH TYPE "R" GRATE...
15.2.3.2. SOLID LID FRAME AND GRATES SHALL BE NEENAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL...
15.2.3.3. GRATE FRAME AND GRATES SHALL BE NEENAH R-1550, HEAVY DUTY WITH A R-2578 GRATE OR EQUAL...
15.2.4. MANHOLES:
15.2.4.1. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.5.0 AND DETAIL DRAWINGS...
15.2.4.2. MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL...
15.3. BACKFILL AND BEDDING:
15.3.1. STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING...
15.3.2. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL...
15.4. FIELD TILE CONNECTIONS:
15.4.1. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER...
16. WATER MAIN & WATER LATERAL SPECIFICATIONS:
16.1. PIPE:
16.1.1. DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0...
16.1.2. POLYVINYL CHLORIDE PRESSURE PIPE (PVC) SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C900...
16.1.3. COPPER TYPE K TUBING SHALL CONFORM TO ASTM DESIGNATION 888...
16.1.4. HIGH DENSITY POLYETHYLENE (HDPE) SHALL CONFORM TO THE REQUIREMENTS OF AWWA C901...
17.2. VALVES AND VALVE BOXES:
17.2.1. GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C500...
17.2.2. CURB STOPS AND CORPORATION VALVES SHALL BE AWWA C800 AND ASTM B62...
17.3. WATER SERVICES CONNECTIONS:
17.3.1. SERVICES 2" IN DIAMETER OR LESS SHALL USE A TAP SERVICE WITH A CORPORATION STOP AND CURB STOP VALVE...
17.3.2. SERVICES GREATER THAN 2" IN DIAMETER SHALL USE A TAPPING SLEEVE...
17.4. HYDRANTS:
17.4.1. HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITIES...
17.5. JOINT RESTRAINT:
17.5.1. WHERE SPECIFIED, DUCTILE IRON PIPE SHALL INCLUDE MECHANICAL JOINTS...
17.6. BEDDING AND COVER MATERIAL:
17.6.1. PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS...
17.6.2. BURY DEPTH SHALL CONFIRM TO LOCAL JURISDICTION REQUIREMENTS...
17.7. BACKFILL:
17.7.1. BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTERS 2.6.0 AND 4.1.7.0...
17.7.2. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL...
18. SEPARATION DISTANCES:
• WHERE PRIVATE WATER MAIN OR WATER SERVICES CROSSES A SANITARY SEWER OR SANITARY LATERAL...
• WATER PIPING SHALL BE INSTALLED AT LEAST 12 INCHES ABOVE THE TOP OF SANITARY PIPING
• WATER PIPING SHALL BE INSTALLED AT LEAST 18 INCHES BELOW THE BOTTOM OF SANITARY PIPING.

UTILITY NOTES, CONTINUED

- 19. SANITARY SEWER SPECIFICATIONS:
19.1. PIPE:
19.1.1. POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034...
19.1.2. CONNECTION TO DISSIMILAR PIPE MATERIALS SHALL CONFORM TO CHAPTER 3.4.2...
19.2. MANHOLES:
19.2.1. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.5.0...
19.2.2. MANHOLES SHALL HAVE INTERNAL CHIMNEY SEALS...
19.2.3. MANHOLES SHALL HAVE ALL EXTERNAL JOINTS WRAPPED WITH MAC WARP...
19.2.4. MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550...
19.3. BEDDING AND COVER MATERIAL:
19.3.1. MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE STANDARD SPECIFICATIONS...
19.3.2. MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS...
19.4. BACKFILL:
19.4.1. MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0...
19.4.2. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL...
2. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES...
3. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR...
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY JURISDICTIONS HAVING AUTHORITY...
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE...
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS...
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS...
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED...
9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLETS...
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES...
11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED...
12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
12.1. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
12.2. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
12.3. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN...
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING...
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS...
15. A CONCRETE WASHOUT AREA SHALL BE DESIGNATED ON-SITE...
16. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE...
17. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY...
18. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT...

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CLIENT: THE ARCHITECTS PARTNERSHIP. CLIENT ADDRESS: 200 S MICHIGAN AVE, STE 1020 CHICAGO, IL 60604.

CLIENT ADDRESS: 200 S MICHIGAN AVE, STE 1020 CHICAGO, IL 60604

PROJECT: CHASE BANK LOT 4 JAMESTOWN QUARRY PLAT. PROJECT LOCATION: FITCHBURG, DANE COUNTY WI, 53719. PLAN MODIFICATIONS table with columns #, Date, Description. Designated By: CAD, Reviewed By: CWD, Approved By: CWD. SHEET NOTES section.

PLAN MODIFICATIONS table with columns #, Date, Description. Row 1: # 1, Date 09.16.24, Description DESIGN REVIEW.

Designated By: CAD, Reviewed By: CWD, Approved By: CWD.

SHEET NOTES

EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A CONTIGUOUS DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES...

SHEET NUMBER: C1.0. JSD PROJECT NO: 24-14560. Digging Hotline logo with phone number Toll Free (800) 242-8511.

File: U:\SD\NC\proj\casas2024\2414560\DWG\Civil Sheets\2414560 - Con Docs.dwg Layout: C1.0 NOTES User: chris.dawson Plotted: Sep 16, 2024, 3:24pm Xrefs:

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GRADING AND EARTHWORK NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. ALL EXCAVATIONS AND FILLS SHALL BE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL INCLUDE SUFFICIENT DEPTHS FOR PLACEMENT OF FILL MATERIALS, BASE COURSES, PAVEMENTS, TOPSOIL, AND OTHER MATERIALS TO THE SPECIFIED DEPTHS.
4. CONTRACTOR SHALL NOT EXCAVATE BELOW ELEVATIONS OR DESIGN GRADES SHOWN ON THE DRAWINGS WITHOUT PRIOR AUTHORIZATION FROM ENGINEER AND OWNER.
5. PRIOR TO ALL EXCAVATION OR FILLING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TOPSOIL FROM PROPOSED LOCATIONS OF BUILDINGS, STRUCTURES, ROADS, WALKS, OTHER PAVED AREAS, STORM WATER FACILITIES OR WITHIN THE GRADING EXTENTS WHERE EXISTING GRADES ARE ALTERED BY MORE THAN 3". REMOVED OR STRIPPED TOPSOIL SHALL BE SEGREGATED AND STOCKPILED ON-SITE IN AN APPROPRIATE LOCATION TO BE RESPREAD AS SPECIFIED ON THE DRAWINGS.
6. CONTRACTOR SHALL NOT PLACE ANY FILL OR OTHER MATERIALS ON AREAS THAT HAVE NOT HAD TOPSOIL REMOVED, ARE FROZEN, SATURATED, OR YIELDING. CONTRACTOR SHALL NOTIFY OWNER OR ENGINEER IF SUBGRADE CONDITIONS ARE NOT SUITABLE FOR SUPPORTING FILL AND A FURTHER DETERMINATION SHALL BE PROVIDED BY OWNER OR ENGINEER.
7. CONTRACTOR SHALL PLACE THE FILLS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT INCLUDING LIFT DEPTHS AND COMPACTION EFFORTS.
8. PRIOR TO PLACE OF BASE COURSE MATERIALS IN PAVEMENT OR HARD SURFACE AREAS OR CONDUCTING EXCAVATION BELOW SUBGRADE (EBS) ELEVATIONS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER TO CONDUCT AN INSPECTION OF THE PREPARED SUBGRADE AND PROOF-ROLLING. PROOF-ROLLING SHALL BE CONDUCTED BY THE CONTRACTOR IN WITNESS OF THE OWNER AND ENGINEER. OWNER AND ENGINEER SHALL DETERMINE IF AREAS OF EBS ARE REQUIRED. EBS SHALL BE COMPLETED BY THE CONTRACTOR PER THE DIRECTION OF THE OWNER AND ENGINEER.
9. SOIL MATERIAL SPECIFICATIONS:
 - 9.1. FILL AND BACKFILL MATERIALS
 - 9.1.1. MATERIAL SHALL BE SATISFACTORY MATERIALS EXCAVATED FROM THE SITE. PER THE GEOTECHNICAL REPORT. IF SATISFACTORY MATERIALS ARE NOT AVAILABLE ONSITE OR ADDITIONAL MATERIALS ARE REQUIRED, REFER TO IMPORTED FILL MATERIAL SPECIFICATIONS.
 - 9.2. IMPORTED FILL MATERIAL
 - 9.2.1. MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR FROM OFFSITE BORROW AREAS WHEN SUFFICIENT, SATISFACTORY MATERIALS ARE NOT AVAILABLE ONSITE. IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONSIST OF CLEAN MATERIAL OF INORGANIC SOILS OR A MIXTURE OF INORGANIC SOIL AND ROCK, STONE, OR GRAVEL. THE MATERIAL SHALL BE FREE OF TOPSOIL, VEGETATION, PAVEMENT RUBBLE, DEBRIS, OR OTHER DELETERIOUS MATERIALS. THE MAXIMUM NOMINAL DIMENSION OF MATERIALS CONSISTING OF ROCK, STONE, OR GRAVEL SHALL BE 6" .
 - 9.3. GRANULAR FILL
 - 9.3.1. MATERIAL SHALL CONSIST OF CLEAN MATERIAL MEETING THE REQUIREMENTS OF "GRADE 1" OR "GRADE 2" GRANULAR BACKFILL AS DEFINED IN SECTION 209.2.1 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 9.4. BUILDING STRUCTURAL FILL
 - 9.4.1. CLEAN MATERIAL MEETING THE REQUIREMENTS OF TYPE A "STRUCTURE BACKFILL" AS DEFINED IN SECTIONS 210.2.1 AND 210.2.2. OF THE STATE HIGHWAY SPECIFICATIONS AND GEOTECHNICAL REPORT .

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING SETBACK LINE
- PAVEMENT SETBACK LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- STORMWATER MANAGEMENT AREA
- RAILING
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- SIGN
- BOLLARD
- BIKE RACK
- SAWCUT EXISTING PAVEMENT
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- 8'x4'x4" INSULATION (PLAN VIEW)
- SILT FENCE
- RIP-RAP
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- SPOT ELEVATION
 EP - EDGE OF PAVEMENT
 FG - FINISH GRADE
 EC - EDGE OF CONCRETE
 EX - MATCH EXISTING GRADE
 HP - HIGH POINT
 SW - SIDEWALK
- DITCH CHECK
- INLET PROTECTION



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MADISON REGIONAL OFFICE
 507 WEST VERONA AVENUE, SUITE 500
 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
THE ARCHITECTS PARTNERSHIP

CLIENT ADDRESS:
**200 S MICHIGAN AVE, STE 1020
 CHICAGO, IL 60604**

PROJECT:
**CHASE BANK
 LOT 4 JAMESTOWN
 QUARRY PLAT**

PROJECT LOCATION:
**FITCHBURG, DANE COUNTY
 WI, 53719**

PLAN MODIFICATIONS:

#	Date:	Description:
1	09.16.24	DESIGN REVIEW
2		
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Designed By: CAC
 Reviewed By: CWD
 Approved By: CWD

**SHEET TITLE:
 NOTES & LEGEND**

SHEET NUMBER:

C1.1

JSD PROJECT NO: 24-14560



LOT 3

SITE INFORMATION BLOCK	
SITE ADDRESS	LOT 4, JAMESTOWN QUARRY PLAT
PROPERTY ACREAGE	0.991 ACRES
NUMBER OF BUILDING STORIES	1
TOTAL BUILDING SQUARE FOOTAGE	3,466
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	24
ACCESSIBLE	2
TOTAL SURFACE	26
NUMBER OF BICYCLE STALLS:	X
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	0 SF
EXISTING PERVIOUS SURFACE AREA	43,188 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.00
PROPOSED IMPERVIOUS SURFACE AREA	28,081 SF
PROPOSED PERVIOUS SURFACE AREA	15,107 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.65



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
THE ARCHITECTS PARTNERSHIP

CLIENT ADDRESS:
**200 S MICHIGAN AVE, STE 1020
CHICAGO, IL 60604**

PROJECT:
**CHASE BANK
LOT 4 JAMESTOWN
QUARRY PLAT**

PROJECT LOCATION:
**FITCHBURG, DANE COUNTY
WI, 53719**

PLAN MODIFICATIONS:

#	Date:	Description:
1	09.16.24	DESIGN REVIEW
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CAC
Reviewed By: CWD
Approved By: CWD

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C2.0

JSD PROJECT NO: 24-14560

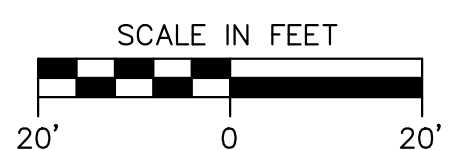
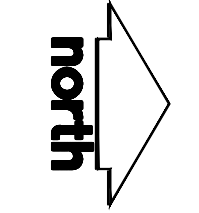
MCKEE ROAD

FITCHRONA ROAD

REGIONAL WET POND

CHASE BANK

STOP SIGN

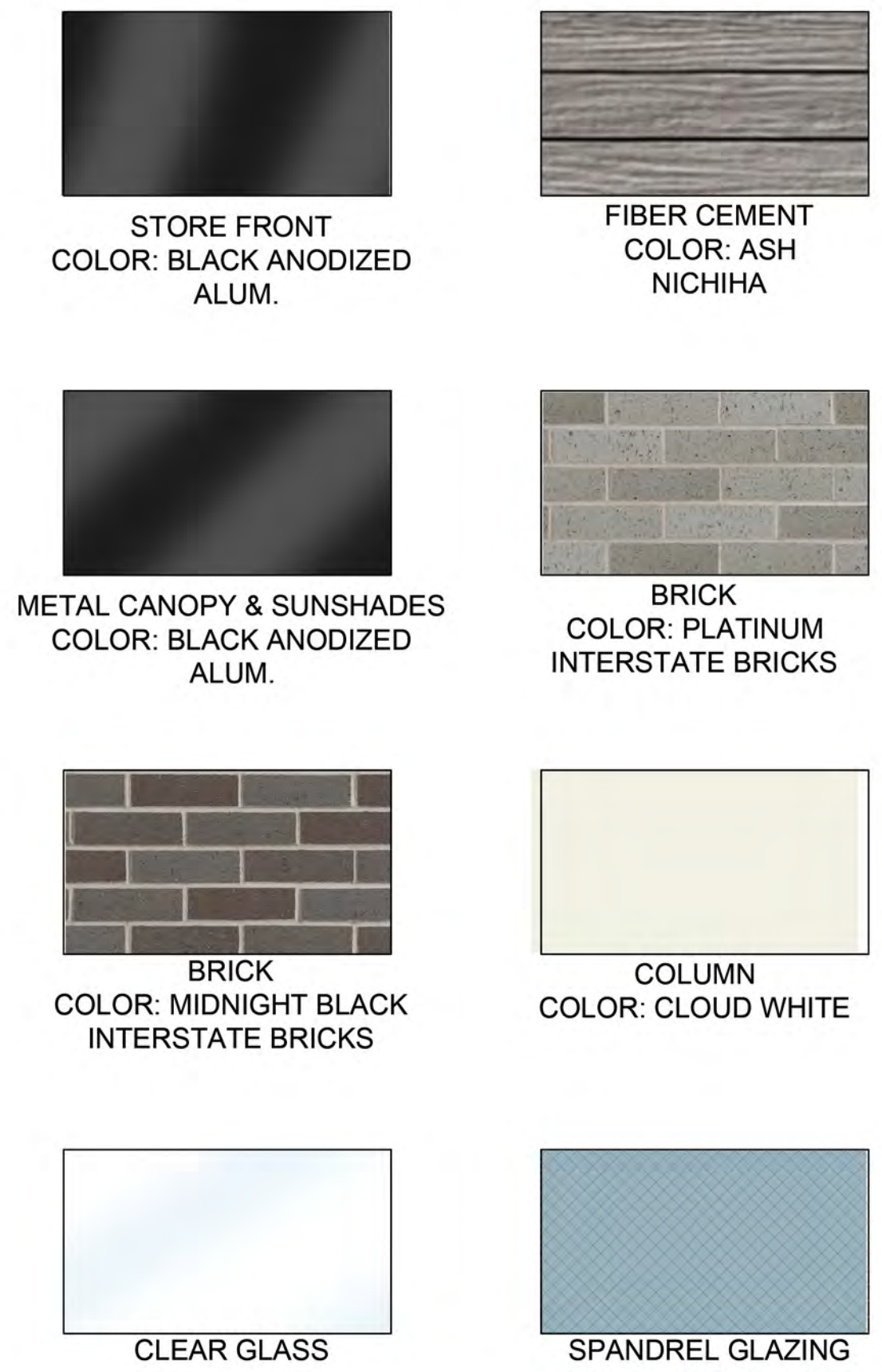


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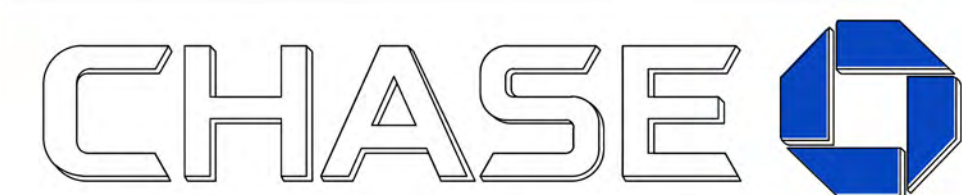
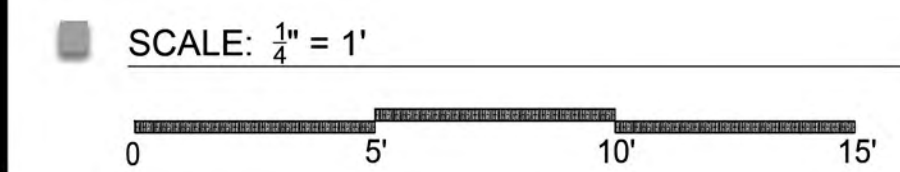


NORTH ELEVATION - PRIMARY PARKING



EAST ELEVATION - FITCHRONA RD

NOTE: PER AHJ REQUIREMENTS, THE PROPOSED ARCHITECTURE SHOULD MATCH THE EXISTING SURROUNDING BUILDINGS, MASONRY AND BRICK ARE OBSERVED IN THE SURROUNDING AREA. IN LIEU OF FIBER CEMENT NICHIIA IN COLOR "ASH" AND "BARK", BRICK IN COLOR "PLATINUM" AND "MIDNIGHT BLACK" WILL BE PROPOSED.



MCKEE RD AND FITCHRONA RD
6302 Mckee Rd
Fitchburg, WI 53719

ARCHITECTURAL ELEVATIONS

07.23.2024

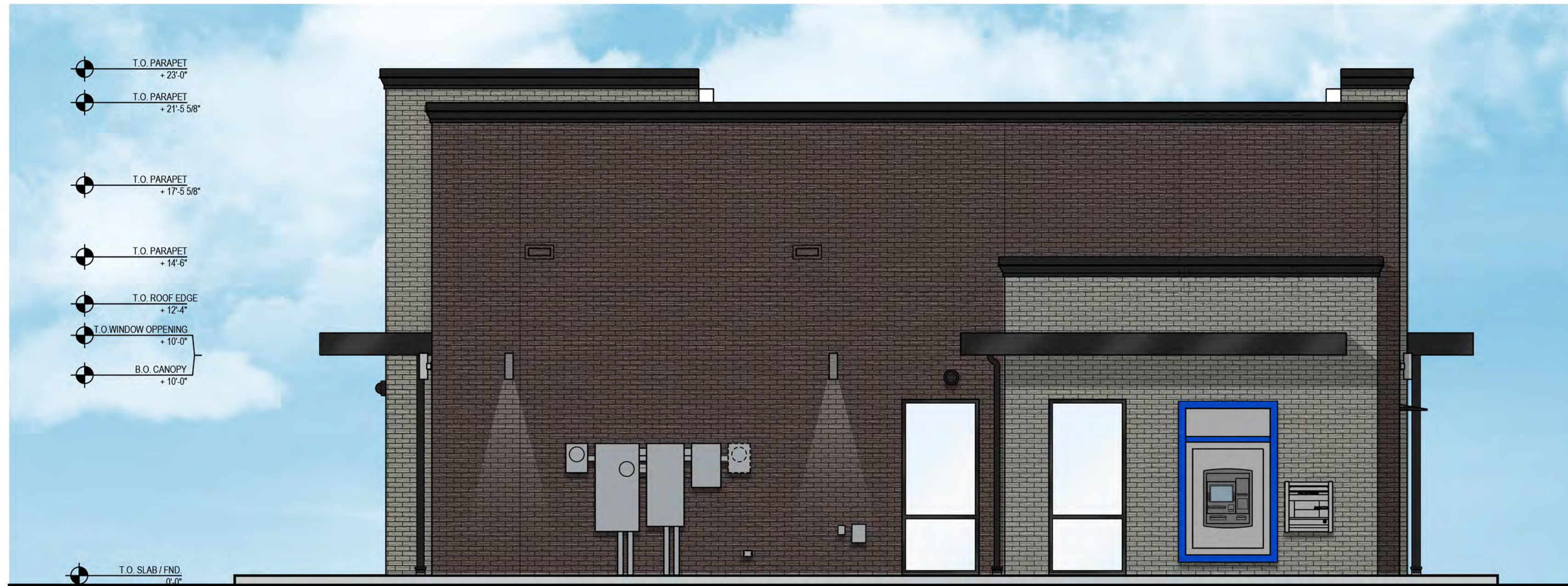
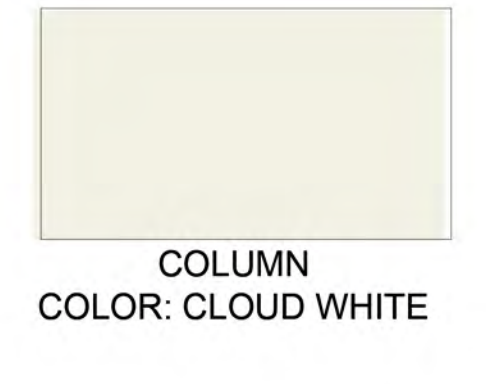
Architect/Designer
The Architects Partnership, Ltd.
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 24050



T.O. PARAPET +23'-0"
 T.O. PARAPET +21'-5 5/8"
 T.O. PARAPET +17'-5 5/8"
 T.O. PARAPET +14'-6"
 T.O. ROOF EDGE +12'-4"
 T.O. WINDOW OPENING +10'-0"
 B.O. CANOPY +10'-0"
 T.O. SLAB / FND. 0'-0"

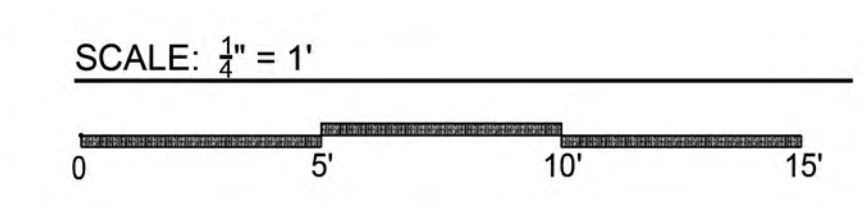


SOUTH ELEVATION - MCKEE RD



WEST ELEVATION - PARKING / DRIVE THROUGH LANE

NOTE: PER AHJ REQUIREMENTS, THE PROPOSED ARCHITECTURE SHOULD MATCH THE EXISTING SURROUNDING BUILDINGS, MASONRY AND BRICK ARE OBSERVED IN THE SURROUNDING AREA. IN LIEU OF FIBER CEMENT NICHIIHA IN COLOR "ASH" AND "BARK", BRICK IN COLOR "PLATINUM" AND "MIDNIGHT BLACK" WILL BE PROPOSED.





Conditional Use - Owner or Authorized Agent Acknowledgement

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting a CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

By signing below, I certify that the information included with this Conditional Use application is true and correct, to the best of my knowledge. Any agent signing below verifies that he/she has the consent of the owner to file the application.

Christopher Jaworski

Owner's or Authorized Agent's Signature

10/22/2024

Date (DD/MM/YYYY)