



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the PDD GIP district to the PDD-SIP district the following described property:

1. **Location of Property/Street Address:** 2674 Botanical Drive - Fitchburg, Wisconsin

Legal Description - (Metes & Bounds, or Lot No. And Plat):

LOT #7 (Final Plat FP-2514-23- as approved at 15 aug 2024 plan commission)

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. **Proposed Use of Property - Explanation of Request:**

Construction of a new multi-family apartment building with four stories of residential over one level of parking. The residential level consist of approximately 210 units with on-site amenities. The parking level is approximately 67,000 GSF.

3. **Proposed Development Schedule:** City Approvals 2024. Construction Start Early 2025. Summer 2026 Opening

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Multi-Family

Total Dwelling Units Proposed: 210 **No. Of Parking Stalls:** 199 interior

Type of Non-residential Development (If Applicable): N/A

Proposed Hours of Operation: TBD **No. Of Employees:** TBD

Floor Area: _____ **No. Of Parking Stalls:** _____

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Hartunh Brothers, INC.

Address: 2662 Blaney Road **Phone No:** 608-825-8772

Contact Person: Woronora Ventures LLC (Edward Hoyt)

Email: ned@happenstancegroup.com.au

Address: 3101 Fish Hatchery Road #411, Fitchburg WI 53713 **Phone No:** 608-949-2151

Respectfully Submitted By:  
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** _____ **Publish:** _____ and _____

Ordinance Section No. _____ **Fee Paid:** _____

Permit Request No. _____



JLA
ARCHITECTS

TRANSMITTAL

Date: September 17, 2024

To: City of Fitchburg - Planning/Zoning Department
Attn. Deanna Schmidt, City Planner & Zoning Administrator
5520 Lacy Road
Fitchburg, Wisconsin 53711
via online transmittal only

Project Name: Hartung Fields Lot 7 Development - High Density Residential Development
(Hartung Fields Apartments)

JLA Project: W22-0913-02

Message:

This is a formal letter of transmittal to confirm our submittal for the PDD-SIP review of the proposed development to be on the agenda for the October 15, 2024 plan commission meeting. The project proposes a new high density residential development to be located on Lot 7 on Botanical Drive.

We are awaiting owner signatures for the application and authorized agents acknowledgement forms, these will be forwarded immediately once received. The lighting and photometric plans are also delayed and will be uploaded as soon as received.

If you should have any questions or comments, then please feel free to contact me at (608)442-3828 or rzdanowski@jla-ap.com.

Please let me know if you have any questions.

Sincerely,

Rob Zdanowski
Project Manager

Cc: Ned Hoyt

Hartung Fields Lot 7 Development High Density Residential Development

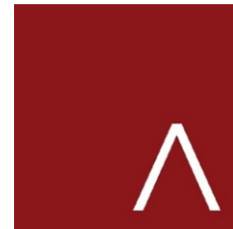
FITCHBURG, WISCONSIN

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PROJECT TEAM:

WORONORA VENTURES LLC
3101 Fish Hatchery Road #411
Fitchburg, WI 53713
Contact: Ned Hoyt
608.949.2151



JLA ARCHITECTS + PLANNERS
800 West Broadway, Suite 200
Monona, Wisconsin 53713
Contact: Joe Lee
608.442.3858

vierbicher
planners | engineers | advisors



VIERBICHER
999 Fourier Drive, Suite 201
Madison, WI 53713
Contact: Matt Schreiner
608.826.0532

PROJECT LOCATION & GENERAL DESCRIPTION

This proposal is for the second of 3 multi-family apartment buildings within the new The Hartung Fields Technology Park. Lots 6, 7 and 8 have been approved for high density, multi-family apartments as part of the Comprehensive Development plan and General Implementation Plan approved for the ~167 acre site south of Lacy Road.

The Lot 7 Development will be a distinctive, market rate, 210 unit high density residential multi-family development serving the increased demand for quality, higher density housing in the Fitchburg area over the next five years and beyond. It will be located on the approximately 3.17-acre vacant parcel south of Lacy Road, just east of South Syene Road, and between New Blaney Road and Botanical Drive (once constructed).

Surrounding Context

The project site is currently an agricultural area, located South and East of existing higher density residential areas, and just west of US Highway 14. The Hartung Fields Technology Park is intended to provide both jobs and housing as part of a comprehensively designed broadscale project, that also accounts for and incorporates parks and wetlands. The existing Hartung Farms farm facility will remain operational on Lot 4 pending future redevelopment.

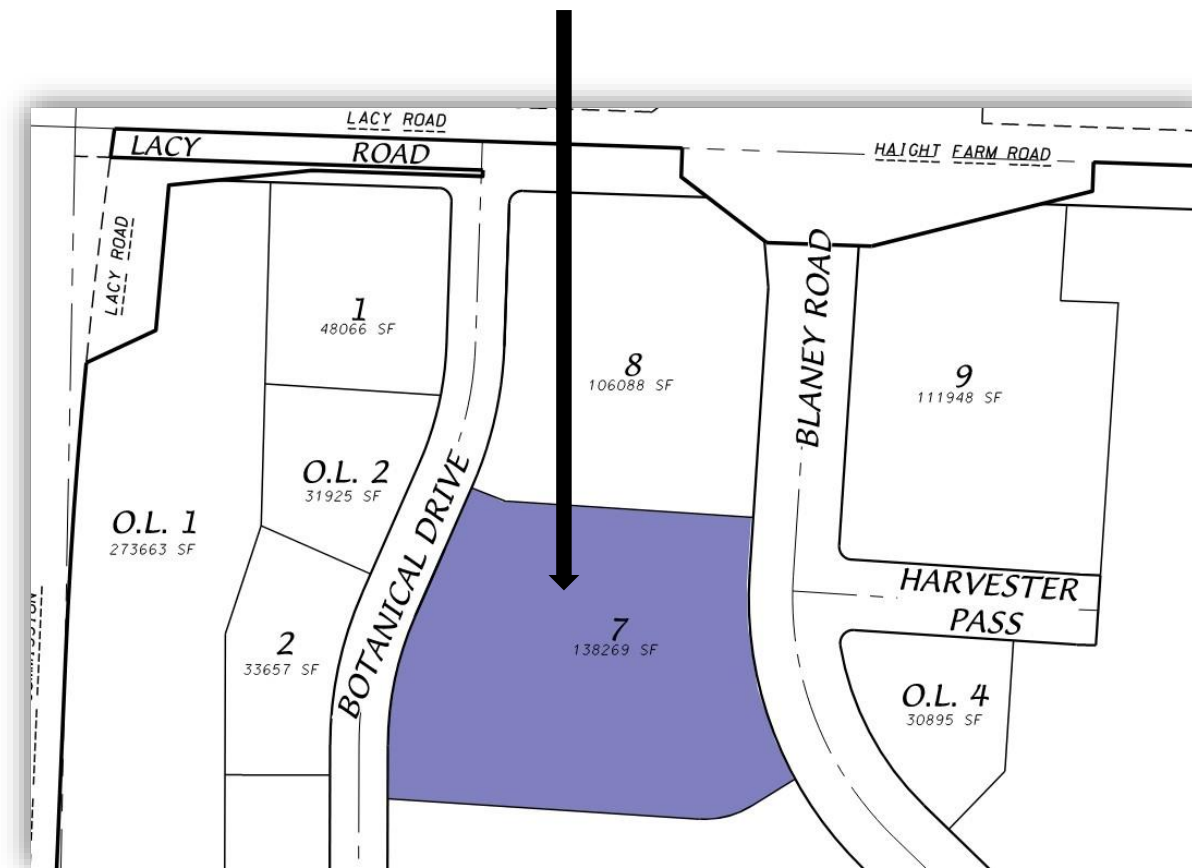
Existing Topography

The project site slopes down to the west towards Botanical Drive. The lot is currently vacant and bare, as Bulk Earthworks have been completed as part of an earlier approval. There are no wetlands within the boundary of the parcel, though they have been identified and protected as part of the broader project.

Existing Site Conditions

A GIP approval was issued and recorded in May 2022 for the whole of the Hartung Fields project, and was amended in June 2023 to align

PROJECT SITE



LEGAL DESCRIPTION

Lot 7, From Final Plat Approval on August 15, 2023. FP-2514-23

with the proposed multi-family designs. This SIP application is substantially in accordance with that GIP approval.

LAND USE

When complete, this project will contain multi-family residential use. This 3.17 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 210 market rate housing units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio 4.76%
- 1 Bedroom: 53.81%
- 1 Bedroom + Den: 13.33%
- 2 Bedroom: 22.38%
- 3 Bedroom: 5.71%

Within the one- and two-bedroom unit types there will be a variety of unit sizes - with an average unit size of approximately 750 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, the project will contain various common space amenities integrated within the building or around the site. At the time of this Specific Implementation Plan, the common amenities are:

- Community Room with Common Space Access
- Green Roof Common Space with the Following Amenities:
 - Pergola and Shade Sails
 - Extensive Landscaping
 - Fire Pit
 - Grilling Area for Tenant Use
- Fitness Center
- Other Green and/or Open Space for passive and active activities

ESTIMATED DAILY WATER USAGE

ESTIMATED DAILY WATER USAGE CALCULATIONS					
UNIT TYPE	TENANTS/UNIT	NUMBER OF UNITS	TOTAL TENANTS	GALLONS/ DAY/ TENANT	TOTAL GALLONS/ DAY
STUDIOS	1.5	10	15	54	810
1 BEDROOM	1.5	141	211.5	54	11,421
2 BEDROOM	2.5	47	117.5	54	6,345
3 BEDROOM	2.5	12	30	54	1,620
TOTAL WATER USAGE PER DAY					20,196
TOTAL HOT WATER USAGE PER DAY					6,867
TOTAL COLD WATER USAGE PER DAY					13,329

SITE DESIGN & GENERAL INFORMATION

The Masterplan for the Hartung Fields Lot 7 Development has been thoughtfully designed to address numerous site challenges including the existing topography and project identity.

Masterplan Design Highlights:

- The building is located, designed & orientated to address the street edge of both Botanical Drive and New Blaney Road and to help define the public realm.
- Given the slope of the land, the lobby area in the SE corner has been designed with extra height ceilings and a step down in the slab to maximize presentation.
- The access from the northwest via lot 8, and the shared drive with lot 6 to the south, provide safe and efficient access without reducing the efficiency of Botanical Drive or New Blaney Rd
- Four levels of residential development above the covered parking will provide a prominent development which will tie into the comprehensive Hartung Fields project.
- Residential parking is designed to be primarily supported by covered parking, though additional parking for tenants and visitors will be provided along the west side and shared access drive on the south side of the property.
- Surface parking provides additional parking capacity, while being screened with landscaping.
- The site contains an elevated green roof that creates a private courtyard for resident use, and a ground level dog run amenity.

Vehicle Parking:

The approved GIP includes requirements for a total ratio of 1.5 parking spots per unit, including street parking, and 0.9 covered parking spots per unit.

The proposed project provides 315 total parking spots per unit on site, including 199 covered parking spots per unit on site.

Bicycle Parking:

In addition to off-street vehicular parking, we are proposing dedicated bike storage areas that will provide 96 wall-hung and 50 floor racks for the storage of at least 141 bicycles in the covered parking area. In addition, there will be bicycle parking racks for 14 short-term parking at the exterior of the building for use by visitors.

Site Density:

Site Density is currently conceived as roughly 66.25 units per acre, which is consistent with the GIP approval, but may be higher than other recent high density approvals. Because the site uses various outlots for substantially all its stormwater treatment, the site density overstates the comparable density of the project to other projects with on site stormwater treatment.

Storm Water Management Overview:

The stormwater for the site has been designed to be treated as part of a comprehensive system designed and developed as part of the Hartung Fields Technology Park project as a whole.

Stormwater discharge from the building and site has been designed to discharge to the infrastructure designed as part of that project. Incremental treatment infrastructure within the driveways and site will be provided as needed to connect to those facilities, and the Project will meet certification requirements required under the relevant ordinances, etc.

All City of Fitchburg ordinance requirements will be met.

Maintenance of all storm sewer structures and pipes within the development parcel will be the responsibility of the property Owner.

CONCEPT DATA														
FLOOR	BUILDING USE	AREA (G.S.F.)	RESIDENTIAL UNITS							PARKING				
			STUDIO	1BR	1BR+	2 BR	3 BR	TOT	BEDS	COVERED	SURFACE		RATIO PER UNIT	
											APTS.	TOTAL		
5	APARTMENTS/CIRCULATION	46,889	2	29	7	12	3	53	71					
4	APARTMENTS/CIRCULATION	46,889	2	29	7	12	3	53	71					
3	APARTMENTS/CIRCULATION	46,889	2	29	7	12	3	53	71					
2	APARTMENTS/CIRCULATION	46,889	4	26	7	11	3	51	68					
	CLUBROOM	1,869						0	0					
1	PARKING/CIRCULATION	66,649												
	LOBBY/FITNESS	1,395												
T	NEW TOTAL LIVABLE/LEASABLE	257,469	10	113	28	47	12	210	281	199	0	116	315	1.50
	LOT AREA	138,269	3.17											
	BUILDING FOOTPRINT	69,912												

Landscape Design:

The new landscape design for this project will meet all City of Fitchburg landscape design requirements. In particular screening is proposed along Botanical Drive in regards to the surface parking approved with the GIP concepts plans to satisfy the conditions of that approval.

Refuse & Recycling Storage & Removal:

This building will have a refuse & recycling room in the Lower Level with room for a minimum of (10) – 4 yard containers for refuse and recycling. A private waste management company will be contracted to provide recycling & refuse services as appropriate for the development.

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Masterplan Data is as follows. This final Masterplan Data will meet the *“Planned Development Zoning Standards”* listed below.

DEVELOPMENT VALUES						
ZONING REQUIREMENT	CURRENT DESIGN VALUE		CALCULATIONS			
SITE DENSITY	66.25	Units/Acre	210 Units	/	3.17 AC.	= 66.25
BUILDING COVERAGE	50.56	% of Parcel	69,912 S.F.	/	138,269 S.F.	= 50.56%
LANDSCAPE AREA	14.65	% of Parcel	20,259 S.F.	/	138,269 S.F.	= 14.65%
IMPERVIOUS SURFACE	85.03	% of Parcel	117,565 S.F.	/	138,269 S.F.	= 85.03%
FLOOR AREA RATIO	1.86	of Parcel	257,469 S.F.	/	138,269 S.F.	= 1.86

The landscape area in the table above does not include the landscaped roof deck over the first level parking.

Proposed Planned Development Zoning Standards

Under the proposed Planned Development Zoning, the project shall meet the following Zoning Standards:

- Residential Density: 70 units per acre (maximum)
- Building Height: Maximum of 5 Stories and Maximum 70 feet
- New Blaney Road Setback: 15' (minimum)
Architectural articulation, Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Botanical Road Setback: 15' (minimum)
Architectural articulation, Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Building Coverage: 60% of Parcel Area (maximum)
- Floor Area Ratio: 1.86 (maximum)
- Impervious Surface Ratio: 80% of Parcel Area (maximum)
- Off-Street Parking: 1.45 Auto Spaces per Dwelling Unit (minimum)
- Covered Parking: 0.9 Covered Spaces per Dwelling Unit (minimum)
- Bicycle Parking: Short Term - .05 per bed (minimum)
Long Term - .5 per bed (minimum)
- Permitted Uses: Multi-family residential

BICYCLE PARKING						
BUILDING		BICYCLE PARKING				
NAME	BEDS	COVERED	SURFACE	TOTAL	REQUIRED	
RESIDENTIAL	281	146	14	160	Short Term (.05 Bed)	Long Term (0.5 Bed)
					14	141

PROJECT IMPLEMENTATION

The construction of the project located at Lot 7 on Botanical Drive is anticipated to start in early 2025, and maintain a schedule that allows for all improvements to be done with completion in summer of 2026.

It is proposed to have a split delivery of the completed units, with the western “half” including the lobby, and community room, through and including the firewall on the north hallway, will be available at initial occupancy, and the units on the eastern side of the building available soon thereafter subject to final fit out and inspections.

It is anticipated that the main subdivision works for the Hartung Fields project will complete by Spring of 2025, allowing delivery of this site within the completed subdivision.

NEIGHBORHOOD INPUT

As this project is one portion of the larger project that has already had substantive neighborhood and community engagement, and is consistent with that approved GIP and Comprehensive plan, no building specific additional engagement has been progressed at this time.

Neighborhood Meeting took place on May 4, 2022 for GIP review.

APPENDIX "A"
SPECIFIC IMPLEMENTATION PLAN
CONCEPTUAL MASTER PLAN



16 ARCHITECTURAL SITE PLAN
1" = 30'-0"



JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0913-2

HARTUNG - B

HARTUNG B - SIP SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 09/17/2024

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE
LAYOUT PLAN

SHEET NUMBER

ASP-100

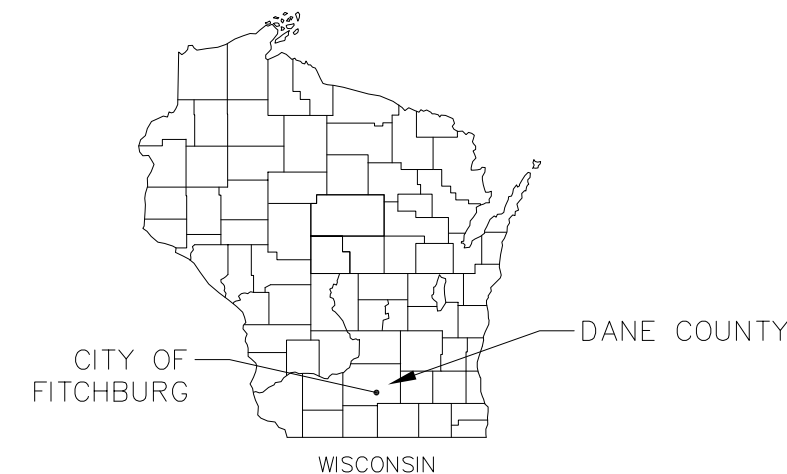
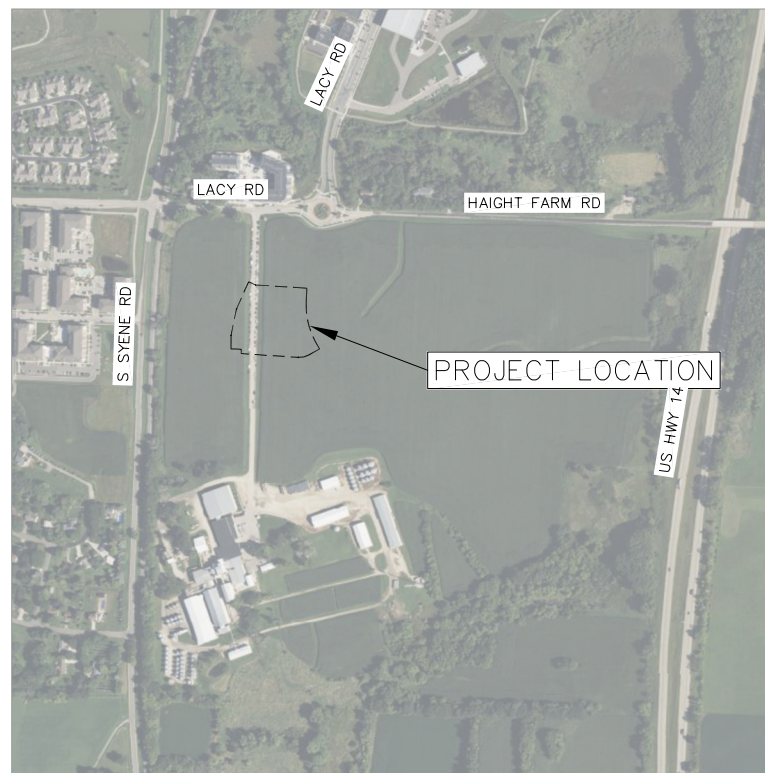
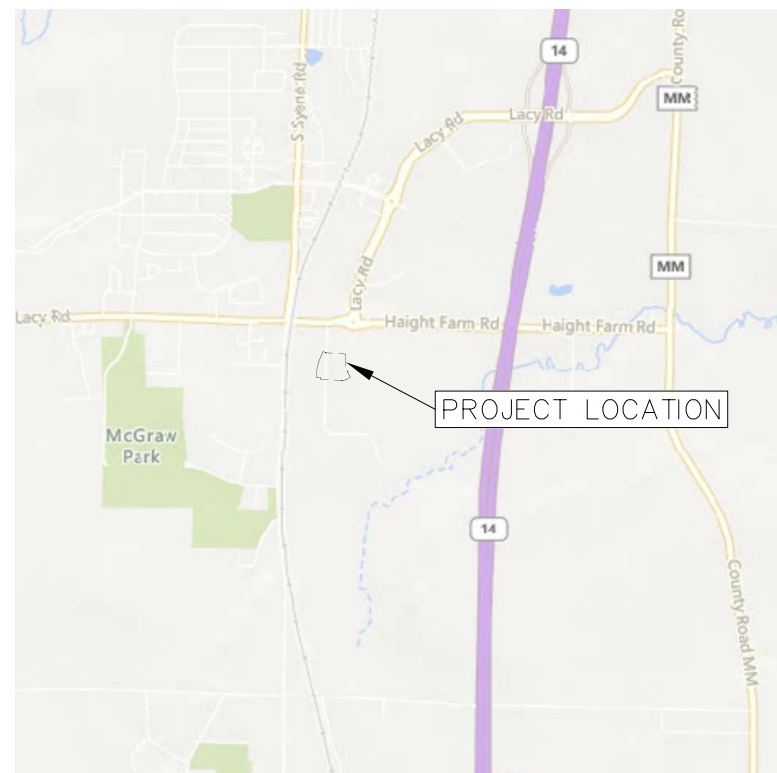
APPENDIX 'B'
SPECIFIC IMPLEMENTATION PLAN
PRELIMINARY CIVIL, SITE DEMOLITION, NEW SITE, GRADING, AND UTILITY PLANS

HARTUNG B - SIP SUBMITTAL

CITY OF FITCHBURG
DANE COUNTY, WISCONSIN



vierbicher
planners | engineers | advisors



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
C001	NOTES & LEGENDS
C100	EXISTING CONDITIONS & DEMOLITION PLAN
C200	SITE PLAN
C300	EROSION CONTROL PLAN
C400	OVERALL GRADING PLAN
C401	MAIN ENTRANCE GRADING PLAN
C500	UTILITY PLAN
C600-603	CONSTRUCTION DETAILS
L100-101	LANDSCAPE PLAN

TITLE SHEET

HARTUNG B - SIP SUBMITTAL
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	09/13/2024
DRAFTER	BMUM
CHECKED	JLIL
PROJECT NO.	240559

NOT FOR CONSTRUCTION

C000

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
EXISTING ENDWALL
EXISTING FIELD INLET RECTANGULAR
EXISTING FIELD INLET
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING WATER MAIN (SIZE NOTED)
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING EDGE OF PAVEMENT
EXISTING CONCRETE SURFACE
EXISTING ASPHALT SURFACE

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER ENDWALL
STORM SEWER CURB INLET
STORM SEWER CURB INLET W/MANHOLE
STORM SEWER FIELD INLET
ROOF DRAIN CLEANOUT
SANITARY SEWER PIPE (GRAVITY)
SANITARY SEWER PIPE (FORCE MAIN)
SANITARY SEWER LATERAL PIPE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER MAIN
WATER SERVICE LATERAL PIPE
FIRE HYDRANT
WATER VALVE
CURB STOP
WATER VALVE MANHOLE
PROPOSED PIPE INSULATION
GAS MAIN
ELECTRIC SERVICE

ABBREVIATIONS table with symbols for STMH, FI, CI, CB, EW, SMH.

SITE PLAN LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER
REJECT CURB AND GUTTER
MOUNTABLE CURB AND GUTTER
PROPOSED CHAIN LINK FENCE
PROPOSED WOOD FENCE
PROPOSED CONCRETE
PROPOSED ASPHALT
PROPOSED SIGN
PROPOSED LIGHT POLE
PROPOSED BOLLARD
PROPOSED ADA DETECTABLE WARNING FIELD
PROPOSED HANDICAP PARKING

ABBREVIATIONS table with symbols for TC, FF, FL, SW, TW, BW.

SITE PLAN NOTES:

- 1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED BASE COURSE UNLESS OTHERWISE NOTED.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE COURSE OF 5" COMPACTED SAND OR CRUSHED STONE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS TO BE RESTORED WITH TOPSOIL AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. SEE ARCHITECTS PLANS FOR THE BUILDING DIMENSIONS. ALL BUILDING DIMENSIONS SHALL BE COORDINATED AND VERIFIED WITH THE ARCHITECTS PLANS. ALL DIMENSIONS TO BUILDINGS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

GRADING LEGEND

- EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
DITCH CENTERLINE
SILT FENCE
PHASE 1 LIMITS OF IMPROVEMENT
BERM
DRAINAGE DIRECTION
PROPOSED SLOPE ARROWS
PROPOSED SPOT ELEVATIONS (BY OTHERS)
PROPOSED SPOT ELEVATIONS
STONE WEEPER
VELOCITY CHECK
INLET PROTECTION
EROSION MAT CLASS I, TYPE A
EROSION MAT CLASS II, TYPE B
EROSION MAT CLASS III, TYPE C
EROSION MAT CLASS II, TYPE A
TRACKING PAD
RIP RAP

GENERAL NOTES:

- 1. THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL ALSO VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO INSTALLATION OF SUCH ITEM.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
6. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, DRIVEWAY, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
7. RETAINING WALLS TO BE DESIGNED BY OTHERS
8. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

DEMOLITION NOTES:

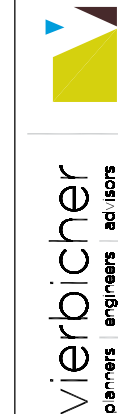
- 1. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE PUBLIC STREETS, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY PATCHING CRITERIA.

GRADING NOTES:

- 1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL NOT EXCEED 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

UTILITY NOTES:

- 1. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
2. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
3. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(C).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(D).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(C).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(H) AND SPS 382.40(8)(K).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(B.).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE LOCAL MUNICIPALITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES. CONTRACTOR SHALL PROVIDE SAFE SAMPLE RESULTS TO FITCHBURG UTILITY PRIOR TO PRESSURE TESTING PRIVATE WATER MAINS.
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
21. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
22. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.
23. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
24. OPEN PICK HOLES ARE PROHIBITED ON SANITARY MANHOLES.
25. INSTALL 1 SHEET OF 4'X8'X4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
26. CONTRACTOR TO INSTALL BENDS AND CLEANOUTS AS NECESSARY ON WATER AND SEWER LATERALS.



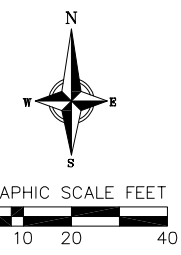
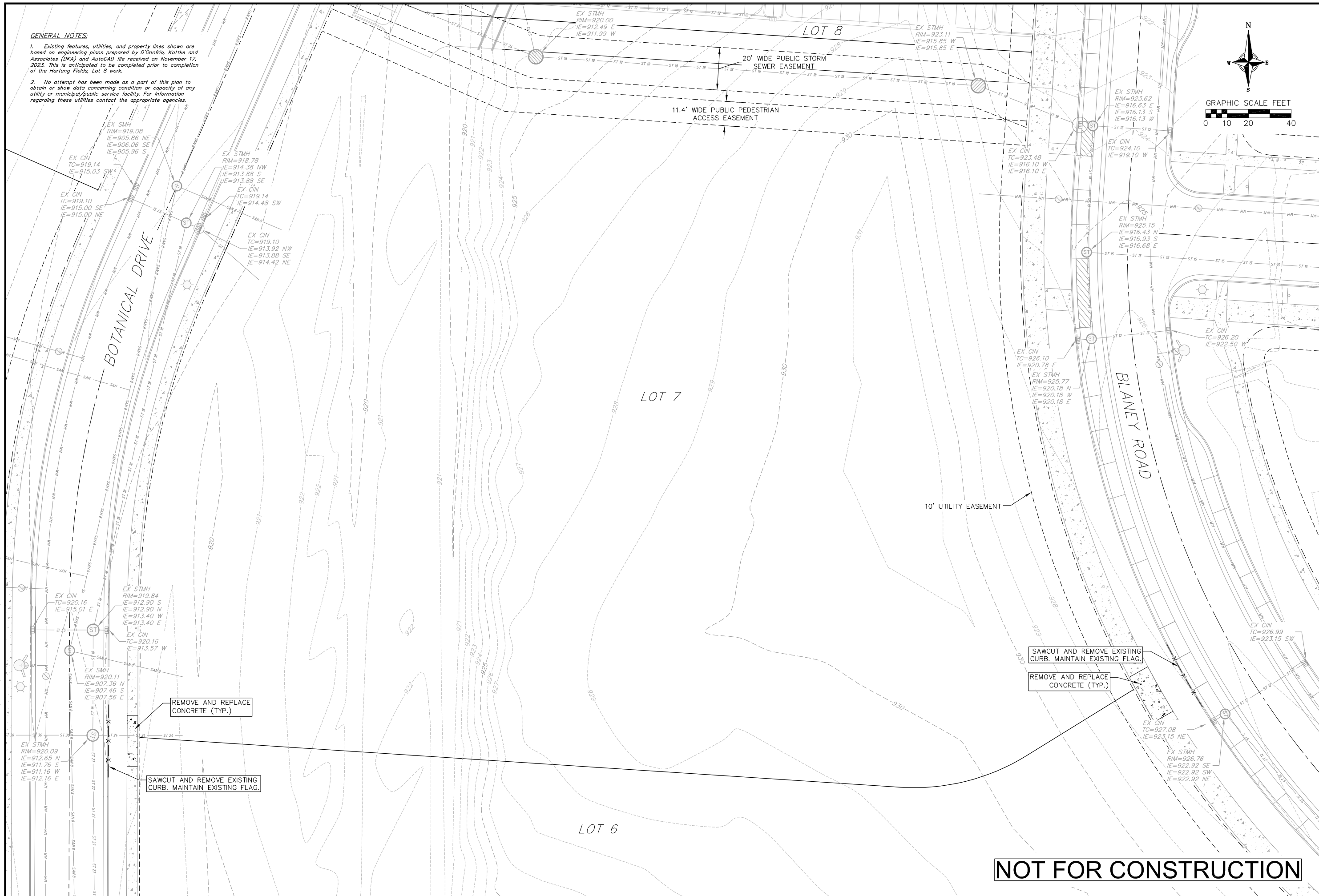
NOTES & LEGENDS
HARTUNG B - SIP SUBMITTAL
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

Table with columns for REVISIONS, NO., DATE, REMARKS. Includes draft date 09/13/2024, drafter BMUM, checked JUIL, project no. 240559, and sheet no. C001.

NOT FOR CONSTRUCTION

GENERAL NOTES:

- Existing features, utilities, and property lines shown are based on engineering plans prepared by D'Onofrio, Kottke and Associates (DKA) and AutoCAD file received on November 17, 2023. This is anticipated to be completed prior to completion of the Hartung Fields, Lot 8 work.
- No attempt has been made as a part of this plan to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.



EXISTING CONDITIONS & DEMOLITION PLAN
HARTUNG B - SIP SUBMITTAL
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

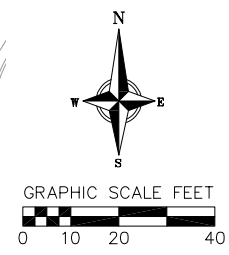
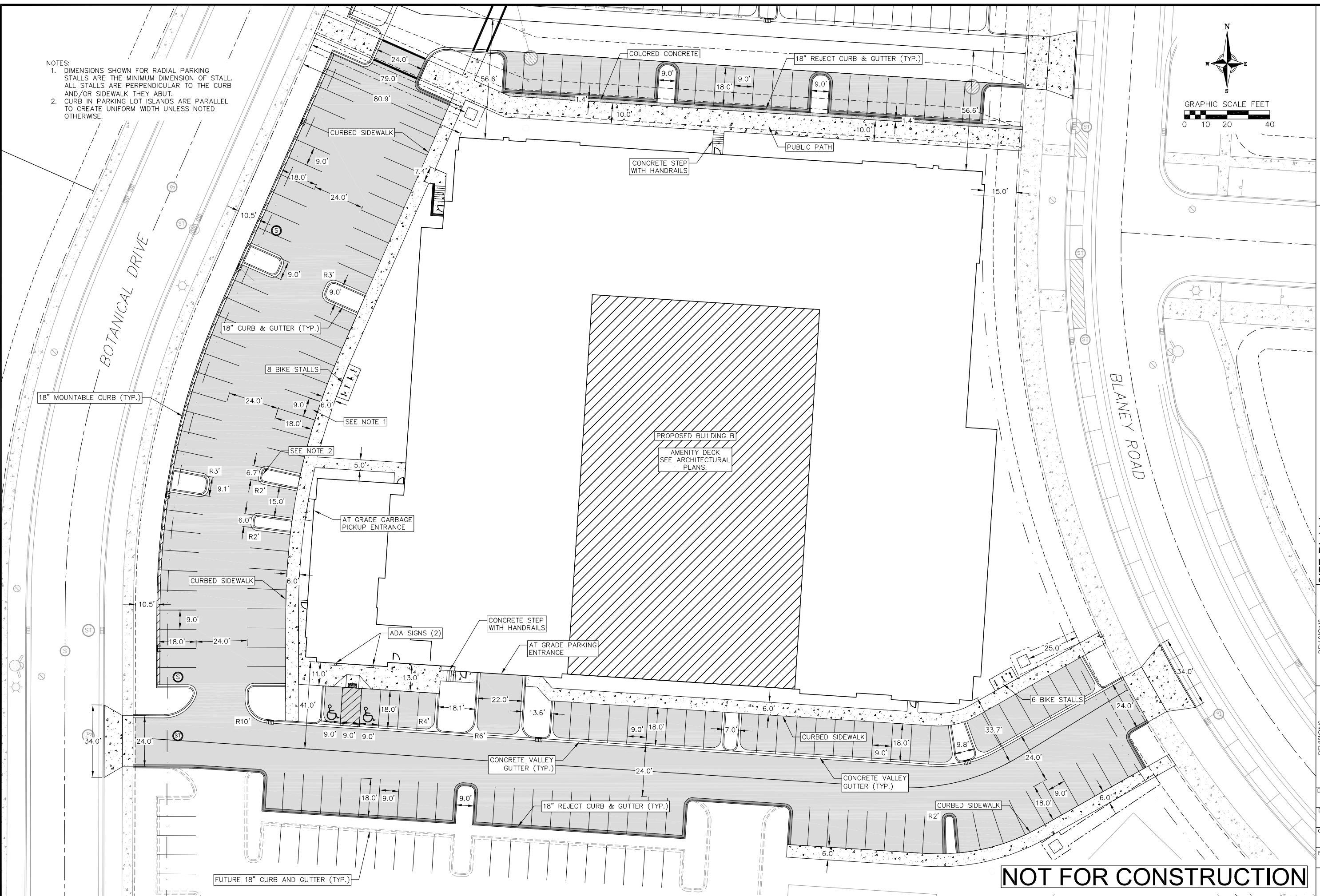
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CHECKED: JILL
PROJECT NO.: 240559

NOT FOR CONSTRUCTION

12 Sep 2024 - 4:54p M:\Worona Ventures, LLC\240559_Hartung Building B\CADD\240559 - RoseEng.dwg by: bhan

© Vierbicher Associates, Inc.

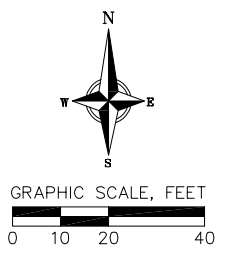
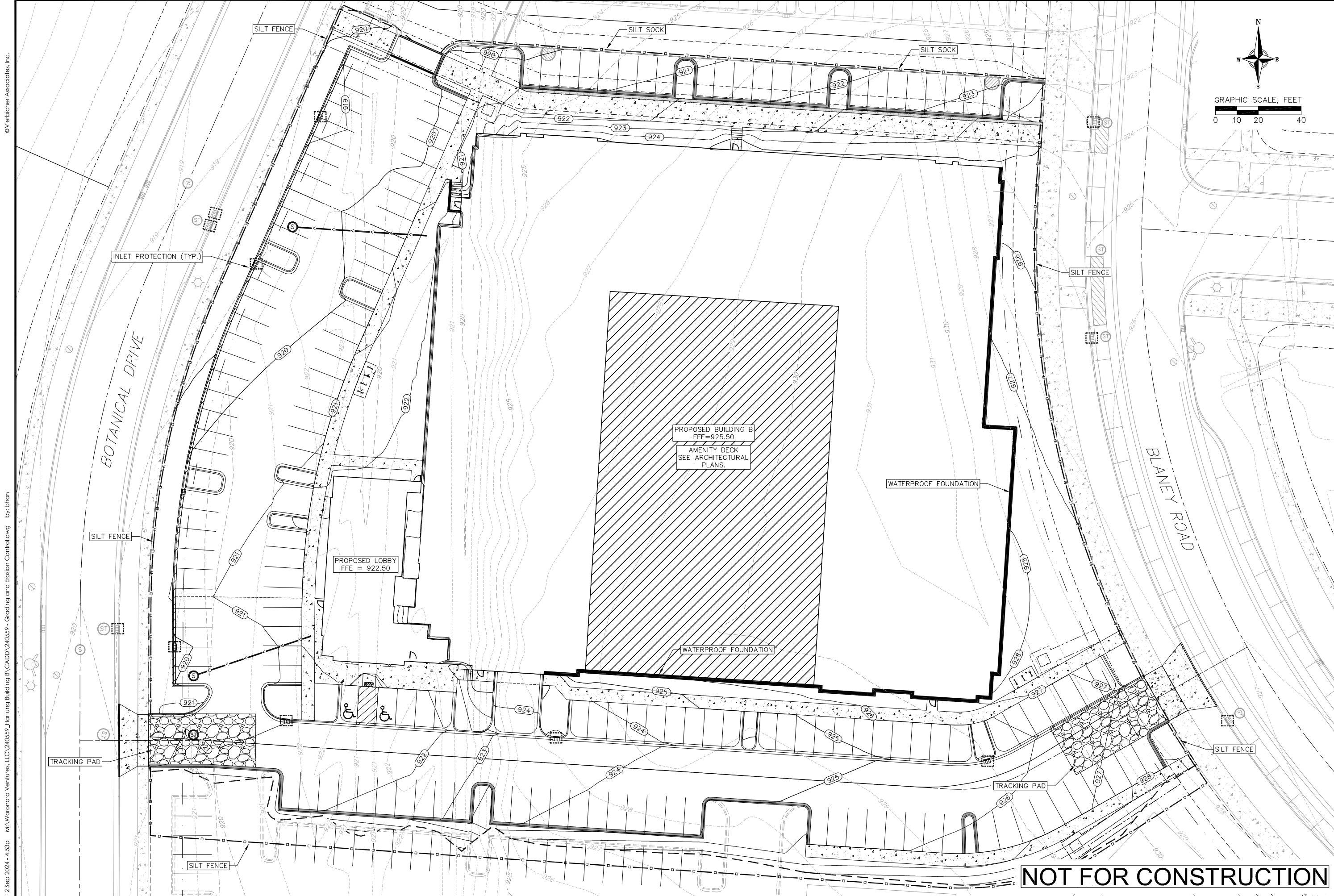
- NOTES:
1. DIMENSIONS SHOWN FOR RADIAL PARKING STALLS ARE THE MINIMUM DIMENSION OF STALL. ALL STALLS ARE PERPENDICULAR TO THE CURB AND/OR SIDEWALK THEY ABUT.
 2. CURB IN PARKING LOT ISLANDS ARE PARALLEL TO CREATE UNIFORM WIDTH UNLESS NOTED OTHERWISE.



REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

NOT FOR CONSTRUCTION

12 Sep 2024 - 4:53p M:\Worona Ventures, LLC\240559_Hartung B\CADD\240559 - Grading and Erosion Control.dwg by: bhan

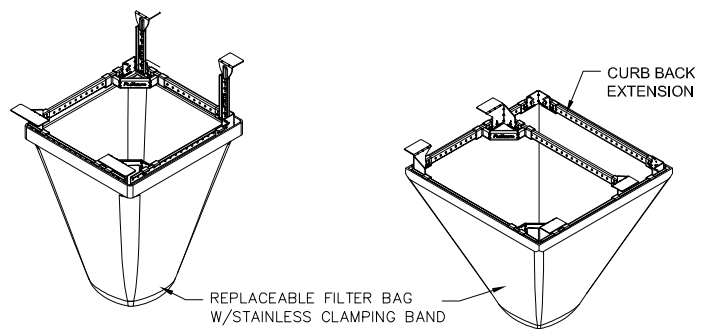


EROSION CONTROL PLAN
HARTUNG B - SIP SUBMITTAL
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

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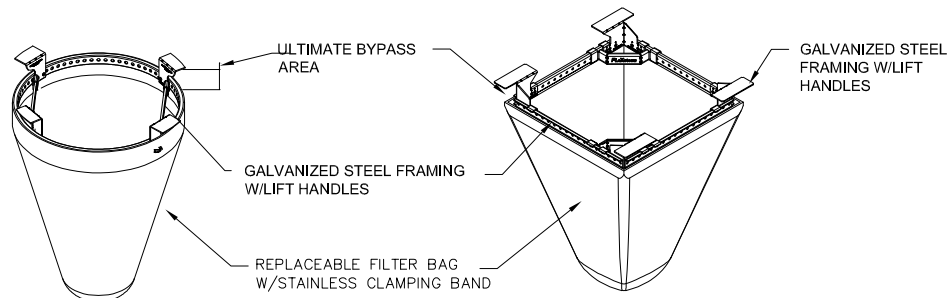
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DRAFTER: BMUM
CHECKED: JLIL
PROJECT NO.: 240559

NOT FOR CONSTRUCTION



FLEXSTORM CATCH-IT INLET FILTERS FOR ROLLED CURB

FLEXSTORM CATCH-IT INLET FILTERS FOR CURB BOX OPENINGS (MAGNETIC CURB FLAP)



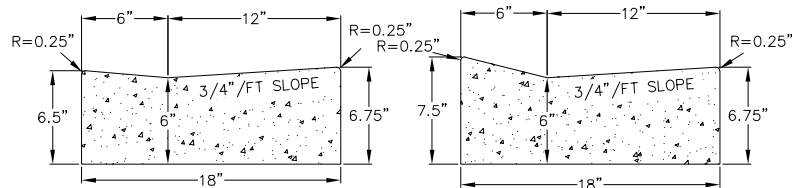
FLEXSTORM CATCH-IT INLET FILTERS FOR ROUND OPENINGS

FLEXSTORM CATCH-IT INLET FILTERS FOR SQUARE/RECTANGULAR OPENINGS

NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

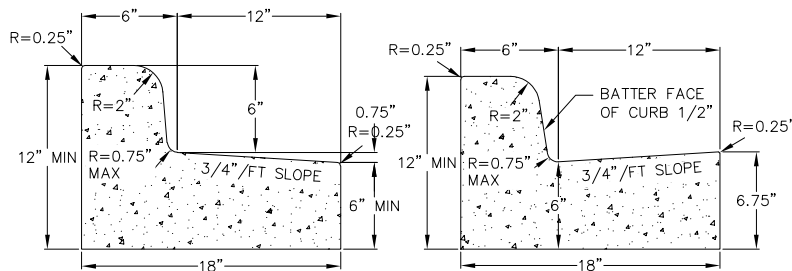
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.



HANDICAP RAMP GUTTER CROSS SECTION

DRIVEWAY GUTTER CROSS SECTION

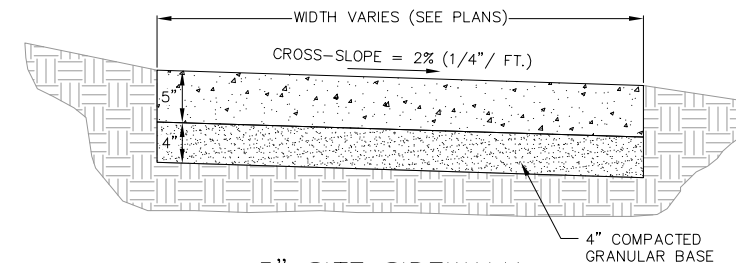


CURB AND GUTTER REJECT SECTION

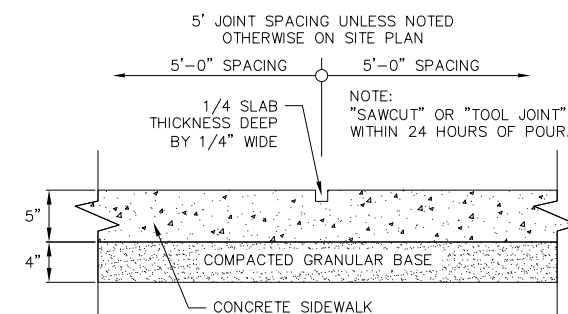
CURB AND GUTTER CROSS SECTION

1 18" CONCRETE CURB AND GUTTER

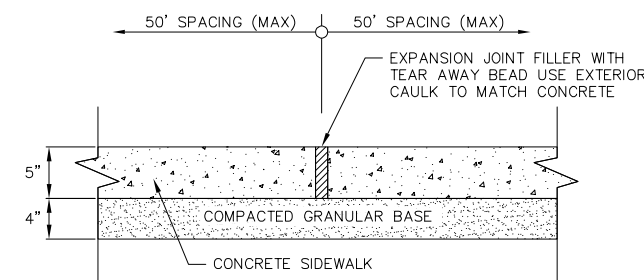
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5" SITE SIDEWALK



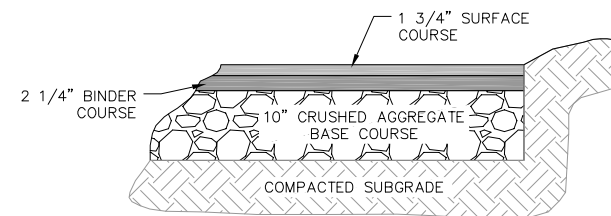
SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

1 5" SIDEWALK

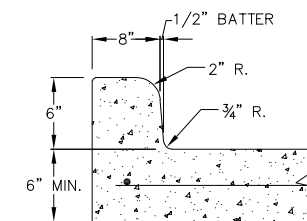
1 NOT TO SCALE



BITUMINOUS PAVEMENT DRIVES

1 ASPHALT PAVEMENT

1 NOT TO SCALE



CROSS SECTION

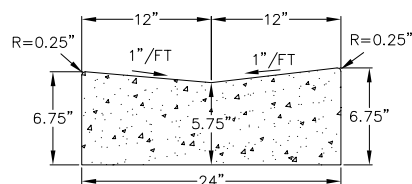
1 6" MONOLITHIC CURB

1 NOT TO SCALE

NOT FOR CONSTRUCTION

1 11 FRAMED INLET PROTECTION

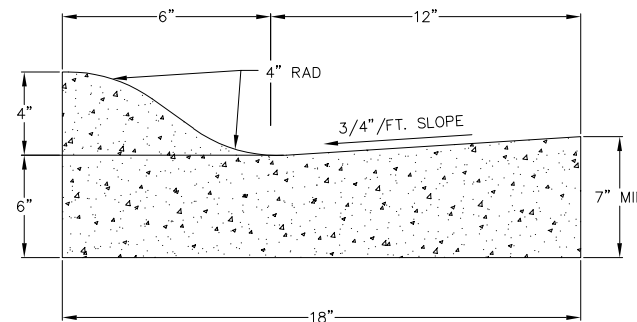
11 NOT TO SCALE



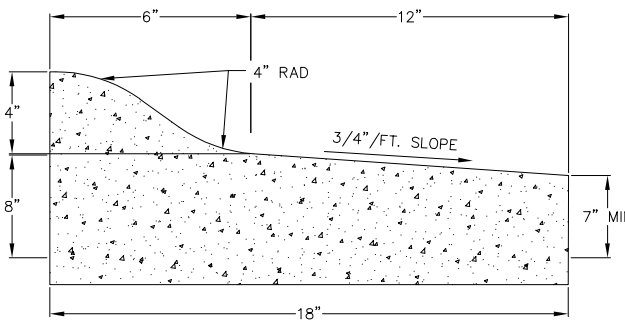
24" VALLEY GUTTER CROSS SECTION

1 24" VALLEY GUTTER

1 NOT TO SCALE



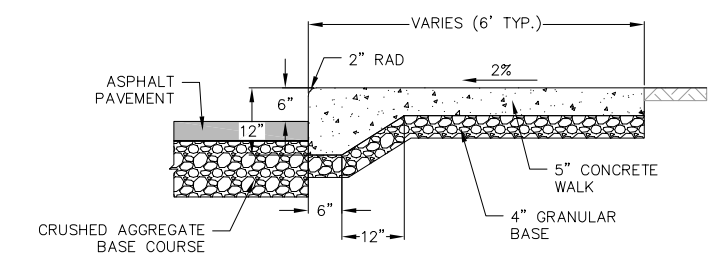
CURB AND GUTTER CROSS SECTION



CURB AND GUTTER REJECT SECTION

1 MOUNTABLE 18" CURB SECTION

1 NOT TO SCALE



1 CURBED SIDEWALK SITE DETAIL

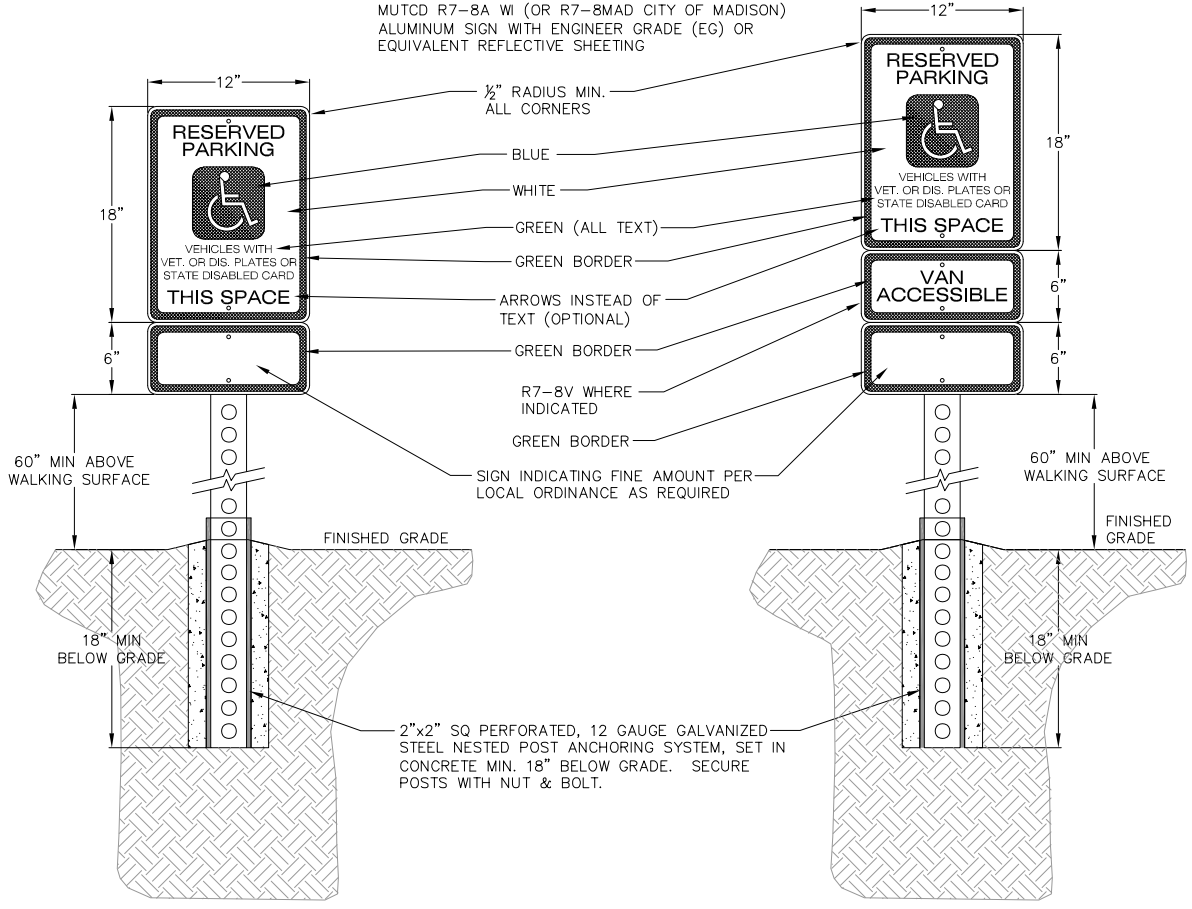
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REVISIONS	NO.	DATE	REMARKS

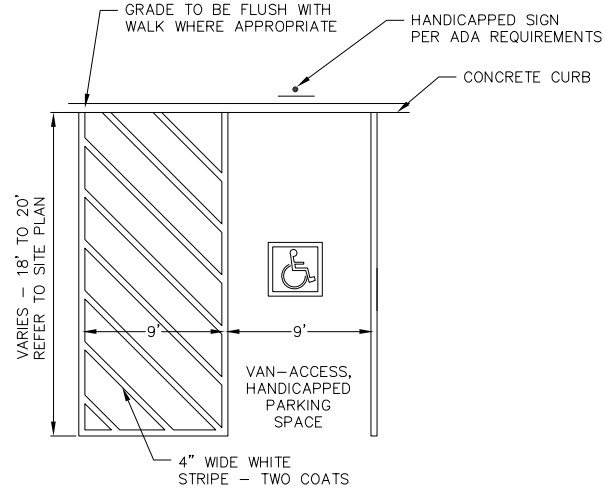
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CHECKED: JLIL
PROJECT NO.: 240559

12 Sep 2024 - 4:26p M:\Worona Ventures, LLC\240559_Hartung Building B\CADD\240559 - Title and Details.dwg by: bhan

NOTE:
SIGN TO BE CENTERED AT THE
INTERIOR END OF PARKING SPACE



1 HANDICAP SIGN DETAIL
1 NOT TO SCALE



1 HANDICAP STRIPING
1 NOT TO SCALE

SPECIFIER CHART			
MODEL	INLET ID	GRATE OD	COMMENTS
FF-12D	12" X 12"	15" X 15"	GRATED INLET
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	26" X 26"	GRATED INLET
FF-2436SD	24" X 36"	24" X 40"	GRATED INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36D (2 PIECE)	36" X 36"	36" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET

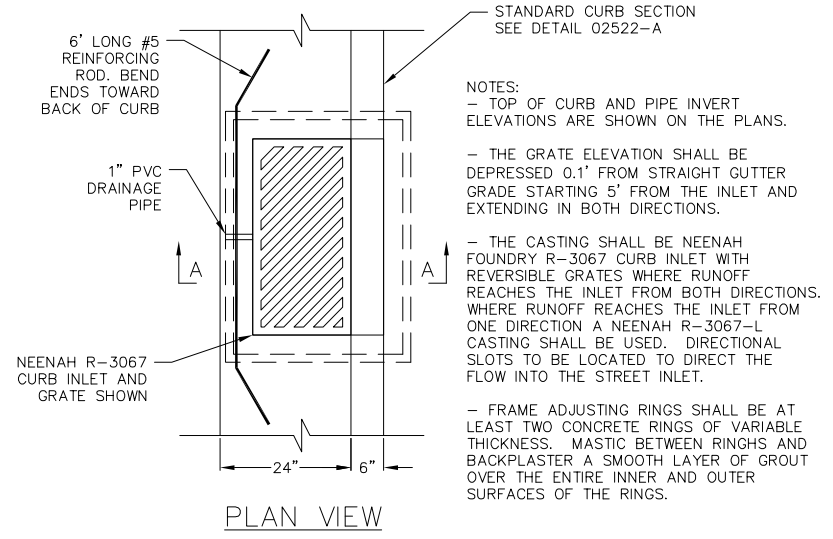
NOTES:

- Filter insert shall have a high flow bypass feature.
- Filter support frame shall be constructed from stainless steel Type 304.
- Filter medium shall be Fossil Rock™. Installed and maintained in accordance with manufacturer specifications.
- Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.

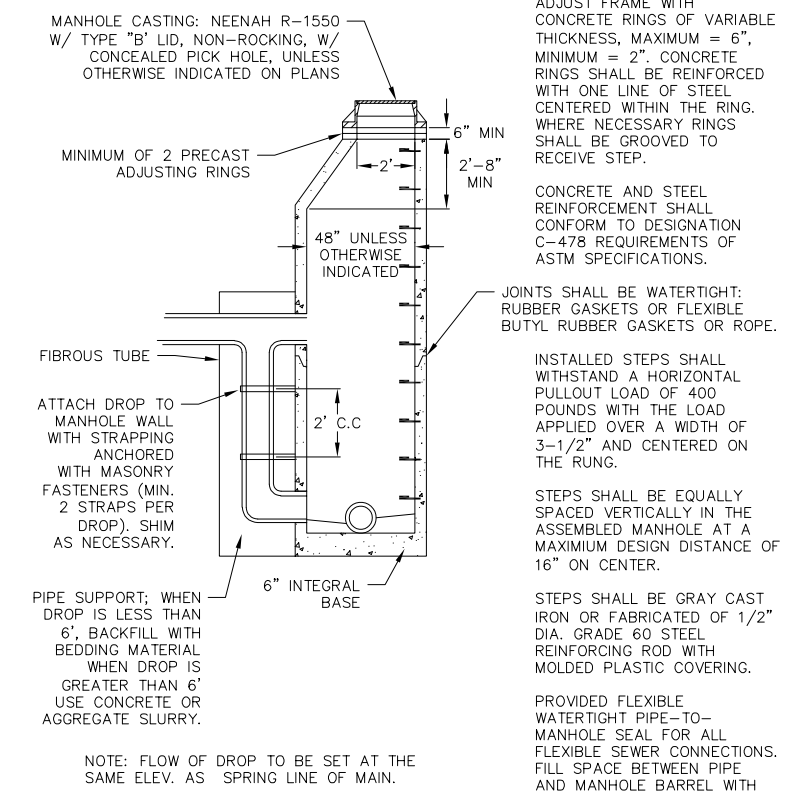
FloGard®
Catch Basin Insert Filter
Grated Inlet Style

Oldcastle®
Stormwater Solutions
7921 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800-579-8819 | oldcastlestormwater.com

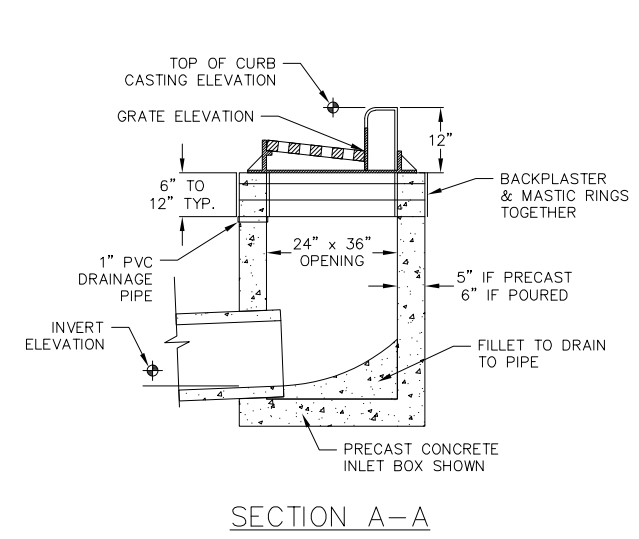
1 OIL & GREASE INLET FILTER
1 NOT TO SCALE



1 RECTANGULAR STREET INLET
1 NOT TO SCALE



1 OUTSIDE DROP MANHOLE
1 NOT TO SCALE



NOT FOR CONSTRUCTION

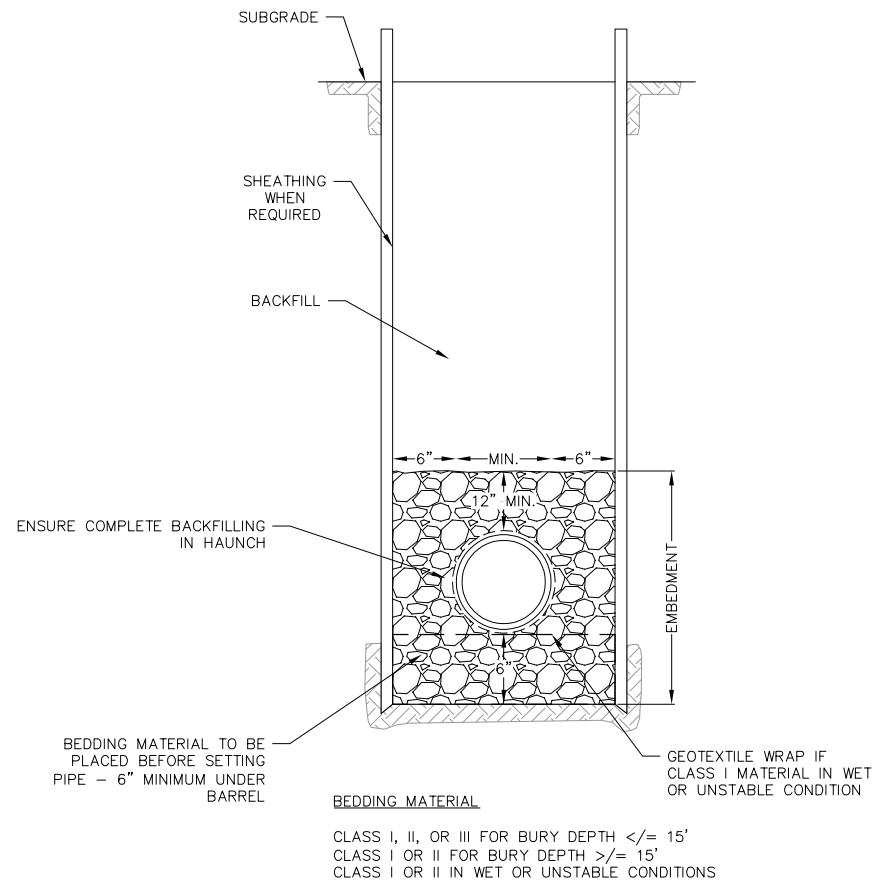
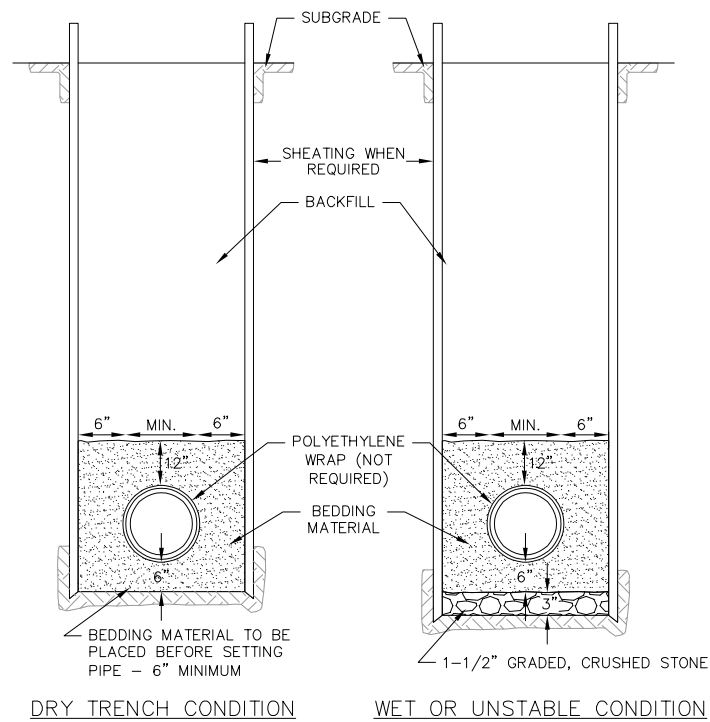
vierbicher
planners engineers advisors

CONSTRUCTION DETAILS
HARTUNG B - SIP SUBMITTAL
CITY OF FITCHBURG
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	REMARKS
NO.	DATE	NO.	DATE

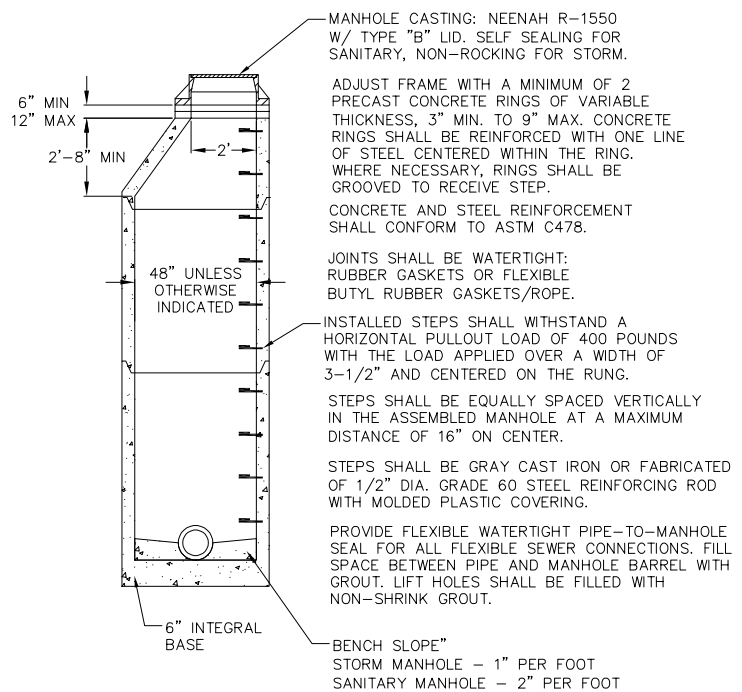
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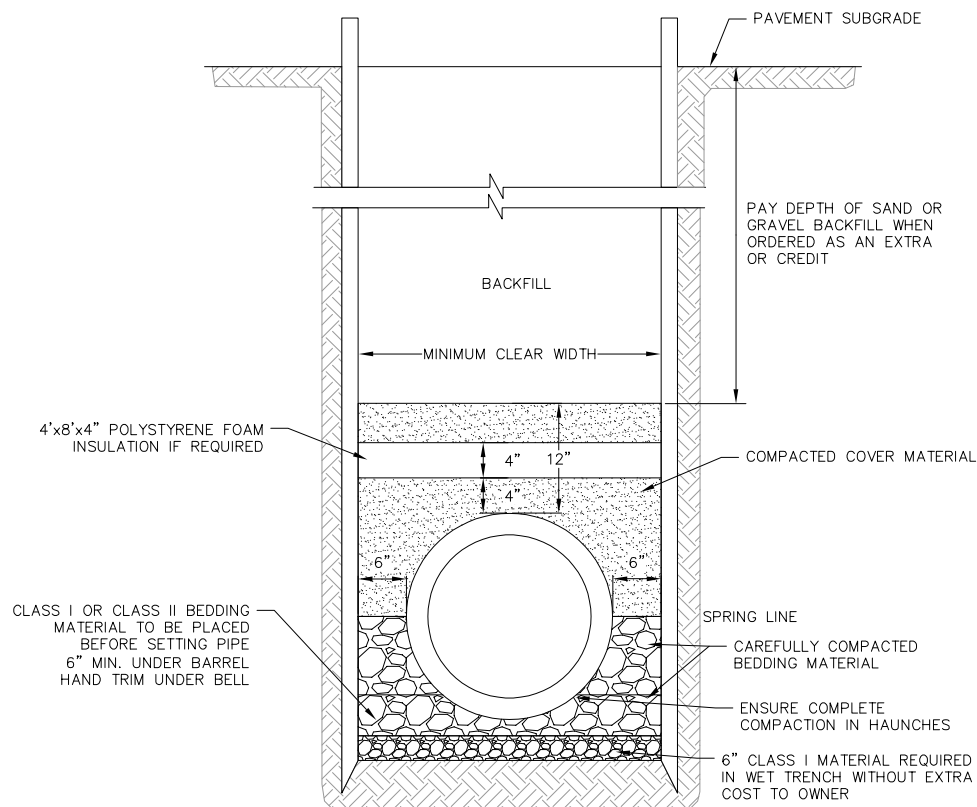


1 STANDARD SANITARY TRENCH SECTION
1 NOT TO SCALE

1 STANDARD WATER MAIN TRENCH SECTION
1 NOT TO SCALE



1 PRECAST CONCRETE MANHOLE
1 NOT TO SCALE



1 STORM PIPE TRENCH SECTION
1 NOT TO SCALE

NOT FOR CONSTRUCTION

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NO.	DATE	NO.	DATE

DATE: 09/13/2024
DRAFTER: BMUM
CHECKED: JUIL
PROJECT NO.: 240559

APPENDIX 'C'
SPECIFIC IMPLEMENTATION PLAN
PRELIMINARY LANDSCAPING PLAN

PLANT MATERIAL NOTES:

- 1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
5. EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE.

LANDSCAPE MATERIAL NOTES:

- 1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION," PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
3. LANDSCAPE BEDS TO BE MULCHED WITH WHITE CEDAR MULCH TO 2" DEPTH MIN.
4. WASHED STONE AREAS ARE TO BE INSTALLED USING 1"-2". WASHED STONE TO A DEPTH OF 3" MINIMUM. LAY COMMERCIAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.
5. LANDSCAPE BEDS, STONE AREAS AND SEEDED AREAS ARE SEPARATED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 1/2"x4" OR EQUAL, COLOR BLACK ANODIZED.
6. ALL TREES AND/OR SHRUBS PLANTED IN SEEDED AREAS TO BE INSTALLED WITH A 6" DIAMETER MULCH RING AND SHOVEL CUT EDGE. A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULATE SHOULD BE APPLIED TOPICALLY AT TIME OF PLANTING PRIOR TO MULCH APPLICATION. APPLICATION RATES TO REFLECT MANUFACTURER SPECIFICATIONS.

SEEDING AND PLUG PLANTING NOTES:

- 1. ALL UNLABELED DISTURBED AREAS, TO BE SEEDED WITH 'MADISON PARKS' SEED MIX BY LA GROSSE SEED OR EQUIVALENT. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/4" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"-6".) PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
4. INSTALL GROUNDCOVERS (GC) AS 2.5" PLUGS OR EQUAL. PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES AS SHOWN IN THE CONCEPT PLANT SCHEDULE THROUGHOUT PLANTING. PLUG NUMBERS ARE APPROXIMATE BASED ON AREA, CONTRACTOR TO CONFIRM QUANTITIES. QUANTITIES IN SCHEDULE REPRESENT TOTAL PLUGS PER SPECIES FOR ALL GROUNDCOVER AREAS SHOWN, EACH AREA TO RECEIVE A REPRESENTATIVE FRACTION OF PLUGS BASED ON THE SQUARE FOOTAGE OF EACH RESPECTIVE PLANTING LOCATION SPECIFIED. WHERE SHRUBS/TREES ARE SHOWN WITHIN GROUNDCOVER AREAS, SUBSTITUTE SHRUB/TREE FOR PLUG AND SPACE SURROUNDING PLUGS 12" FROM SHRUB/TREE ROOT MASS, PATTERN ACCORDING. WHERE PLANTINGS ABOUT WALKWAYS AND STRUCTURES, MAINTAIN A 12" BORDER OF MULCH CONTAINING NO PLUGS. APPLY 1/2" WATER DAILY FOR 4 WEEKS FOLLOWING INSTALLATION. APPLY AN INITIAL APPLICATION OF PRE-EMERGENT HERBICIDE PER MANUFACTURER'S INSTRUCTIONS AND STATE REGULATIONS, REPEAT APPLICATIONS THROUGHOUT ESTABLISHMENT PERIOD PER MANUFACTURER'S RECOMMENDATIONS. APPLY 3" OF SHREDDED HARDWOOD MULCH AT TIME OF PLANTING.

GENERAL LANDSCAPE NOTES:

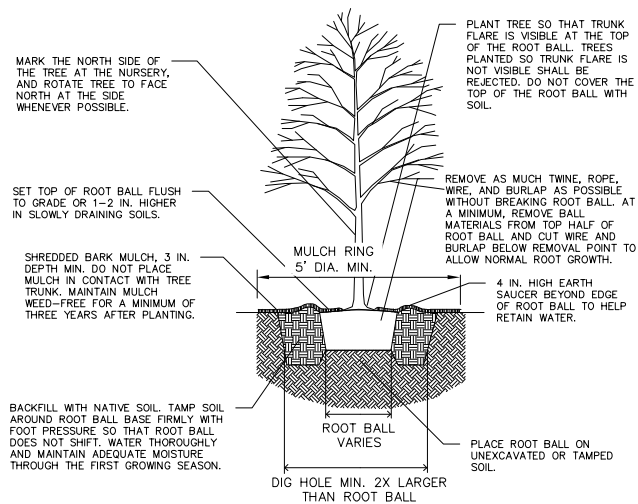
- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY RIGHT OF WAY WORK.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
3. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
4. CONTRACTOR SHALL CLEAN ALL PAVED AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.

PLANT SCHEDULE

Table with columns: CODE, BOTANICAL / COMMON NAME, ROOT COND., SIZE, NOTES, QTY. Includes sections for DECIDUOUS TREES, EVERGREEN TREES, UNDERSTORY TREES, DECIDUOUS SHRUBS, EVERGREEN SHRUBS, PERENNIALS SHADE, and PERENNIALS SUN.

NOTES:

- 1. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
3. WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.



1 B&B TREE PLANTING DETAIL
1 NOT TO SCALE

CONCEPT PLANT SCHEDULE

Table for GROUNDCOVER #1 with columns: Plant Name, Quantity. Includes plants like Anemone canadensis, Asclepias tuberosa, etc.

Table for GROUNDCOVER #2 with columns: Plant Name, Quantity. Includes plants like Anemone canadensis, Asclepias tuberosa, etc.

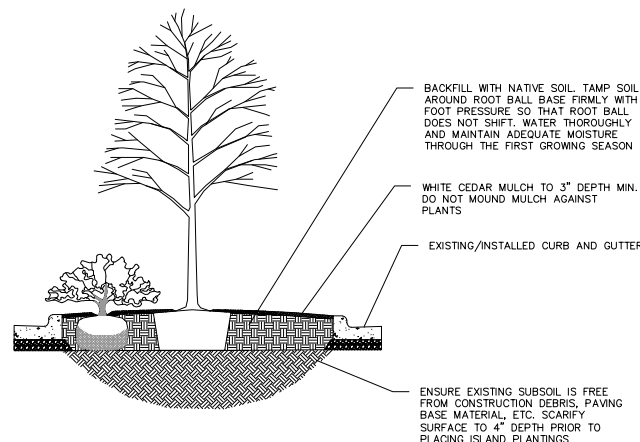
Table for GROUNDCOVER #3 with columns: Plant Name, Quantity. Includes plants like Carex albicans, Carex pensylvanica, etc.

Table for GROUNDCOVER #4 with columns: Plant Name, Quantity. Includes plants like Allium cernuum, Carex brevior, etc.

Table for TURF with columns: Plant Name, Quantity. Includes TURF with a quantity of 8,053 sf.

NOTES:

- 1. PARKING ISLAND TO BE FREE OF AGGREGATE TO A MINIMUM DEPTH OF 24"
2. ANY PAVEMENT BASE MATERIALS REMAINING FROM PAVEMENT INSTALLATION WITHIN PLANTING AREA SHALL BE REMOVED AND REPLACED WITH NATIVE SOIL PRIOR TO PLANTING



1 PARKING ISLAND PLANTING AREA
1 NOT TO SCALE

NOT FOR CONSTRUCTION

APPENDIX 'D'
SPECIFIC IMPLEMENTATION PLAN
PRELIMINARY FLOOR PLANS

HARTUNG - B

2674 BOTANICAL DRIVE
FITCHBURG , WI 53711



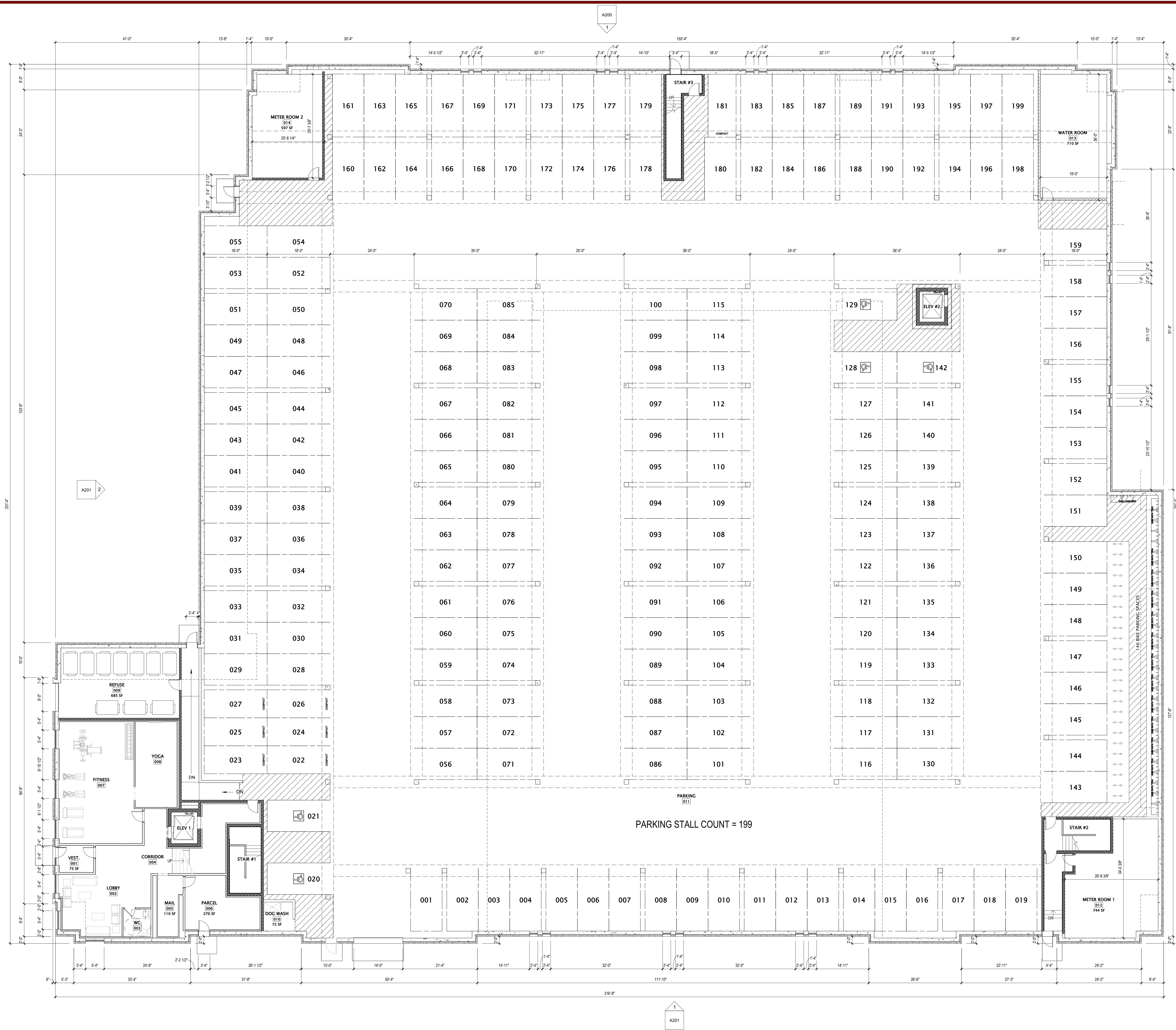
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09/17/2024



JLA
ARCHITECTS

JLA PROJECT NUMBER: W22-0913-2



- GENERAL NOTES - PARKING LEVEL FLOOR PLAN**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO ROUGH OPENING ENDS OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE M8-2X UNLESS NOTED OTHERWISE.
 - ALL METAL STUD WALLS SHALL BE AS TAGGED AND/OR INDICATED ON THE INTERIOR WALL ASSEMBLY SHEET, UNLESS NOTED OTHERWISE.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ANY EXPOSED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-APPLIED FIREPROOFING. GENERAL CONTRACTOR TO COORDINATE WITH FINAL DESIGN AND INSTALLATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
 - DESIGN-BUILD MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL MAINTAIN A CLEAR HEIGHT OF 7'-0" MINIMUM IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS PER 2019 IBC 408.
 - VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR HOSE BIBBS WITH OWNER.
 - PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING PRECAST, PLUMBING, SPRINKLERS, HVAC, ELEVATOR & ELECTRICAL.
 - GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATION AND OPENINGS THROUGH PRECAST PLANK WITH PRECAST PLANK PROVIDER, MEP CONTRACTORS, AND ARCHITECT.
 - COORDINATE LOCATION OF PRECAST PLANK DEPTHS W/ PRECAST SHOP DRAWINGS PRIOR TO POURING WALLS.
 - CONTRACTOR TO VERIFY LOCATIONS OF GAS METER, ELECTRICAL METERS, AND THEIR SPACE REQUIREMENTS PRIOR TO CONSTRUCTION.

KEYNOTE SCHEDULE

MARK	NOTE
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JLA PROJECT NUMBER: W22-0913-2

HARTUNG - B

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DATE OF ISSUANCE 09/17/2024

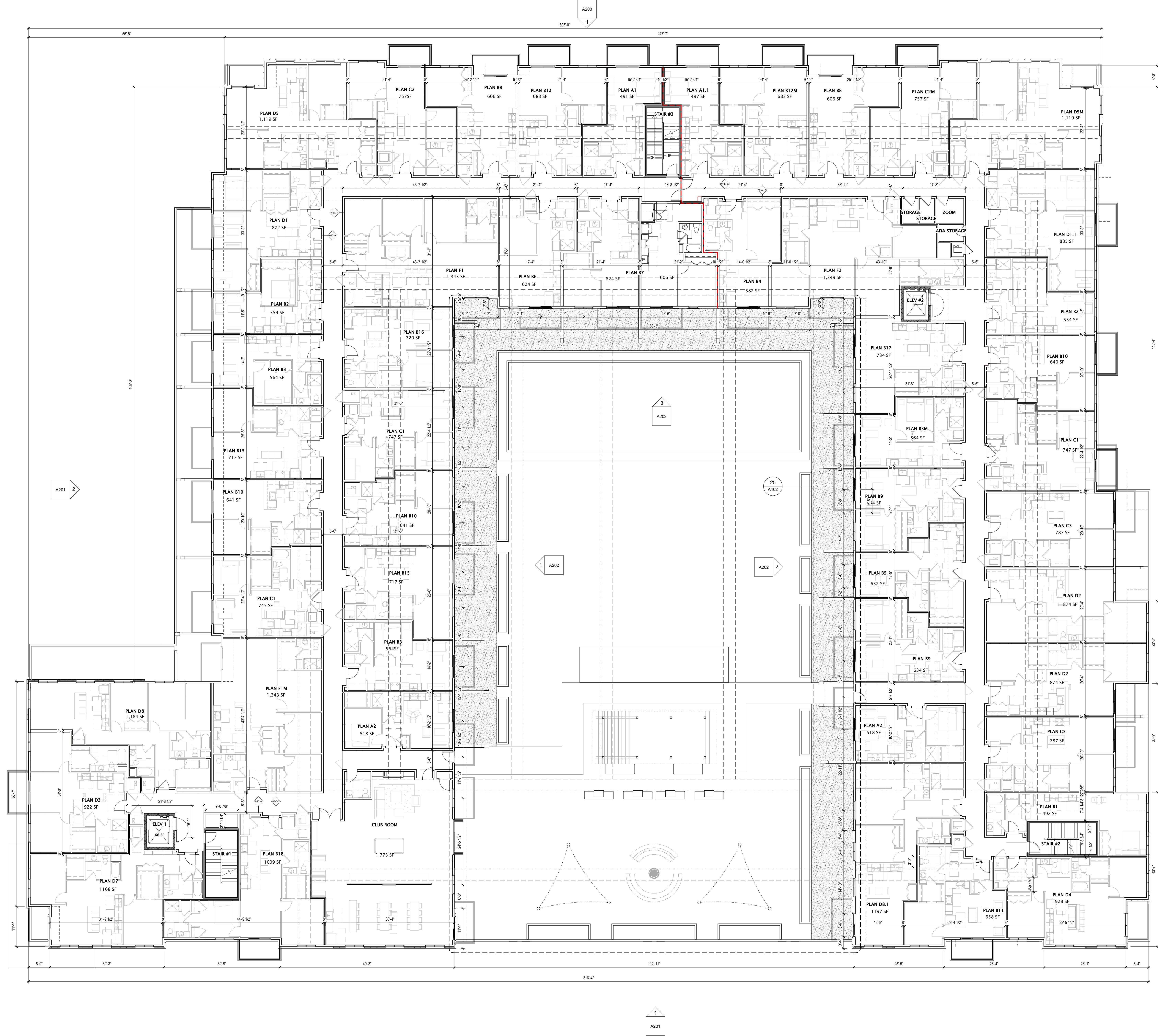
REVISION SCHEDULE

Mark	Description	Date
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FIRST FLOOR PLAN

SHEET NUMBER

A101



- ### GENERAL PLAN NOTES
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
 - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
 - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPLASHES.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

SHEET INDEX - ENLARGED UNIT TYPES

PLAN TYPE	SHEET NO.
3RD FLOOR SW UNIT PLANS	
UNIT A1 - ENLARGED PLAN	A100
UNIT A1.1 - ENLARGED PLAN	A100
UNIT A2 - ENLARGED PLAN	A100
UNIT A2.1 - ENLARGED PLAN	A100
UNIT A2.2 - ENLARGED PLAN	A100
UNIT A2.3 - ENLARGED PLAN	A100
UNIT A2.4 - ENLARGED PLAN	A100
UNIT A2.5 - ENLARGED PLAN	A100
UNIT A2.6 - ENLARGED PLAN	A100
UNIT A2.7 - ENLARGED PLAN	A100
UNIT A2.8 - ENLARGED PLAN	A100
UNIT A2.9 - ENLARGED PLAN	A100
UNIT A2.10 - ENLARGED PLAN	A100
UNIT A2.11 - ENLARGED PLAN	A100
UNIT A2.12 - ENLARGED PLAN	A100
UNIT A2.13 - ENLARGED PLAN	A100
UNIT A2.14 - ENLARGED PLAN	A100
UNIT A2.15 - ENLARGED PLAN	A100
UNIT A2.16 - ENLARGED PLAN	A100
UNIT A2.17 - ENLARGED PLAN	A100
UNIT A2.18 - ENLARGED PLAN	A100
UNIT A2.19 - ENLARGED PLAN	A100
UNIT A2.20 - ENLARGED PLAN	A100
UNIT A2.21 - ENLARGED PLAN	A100
UNIT A2.22 - ENLARGED PLAN	A100
UNIT A2.23 - ENLARGED PLAN	A100
UNIT A2.24 - ENLARGED PLAN	A100
UNIT A2.25 - ENLARGED PLAN	A100
UNIT A2.26 - ENLARGED PLAN	A100
UNIT A2.27 - ENLARGED PLAN	A100
UNIT A2.28 - ENLARGED PLAN	A100
UNIT A2.29 - ENLARGED PLAN	A100
UNIT A2.30 - ENLARGED PLAN	A100
UNIT A2.31 - ENLARGED PLAN	A100
UNIT A2.32 - ENLARGED PLAN	A100
UNIT A2.33 - ENLARGED PLAN	A100
UNIT A2.34 - ENLARGED PLAN	A100
UNIT A2.35 - ENLARGED PLAN	A100
UNIT A2.36 - ENLARGED PLAN	A100
UNIT A2.37 - ENLARGED PLAN	A100
UNIT A2.38 - ENLARGED PLAN	A100
UNIT A2.39 - ENLARGED PLAN	A100
UNIT A2.40 - ENLARGED PLAN	A100
UNIT A2.41 - ENLARGED PLAN	A100
UNIT A2.42 - ENLARGED PLAN	A100
UNIT A2.43 - ENLARGED PLAN	A100
UNIT A2.44 - ENLARGED PLAN	A100
UNIT A2.45 - ENLARGED PLAN	A100
UNIT A2.46 - ENLARGED PLAN	A100
UNIT A2.47 - ENLARGED PLAN	A100
UNIT A2.48 - ENLARGED PLAN	A100
UNIT A2.49 - ENLARGED PLAN	A100
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UNIT A2.61 - ENLARGED PLAN	A100
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UNIT A2.65 - ENLARGED PLAN	A100
UNIT A2.66 - ENLARGED PLAN	A100
UNIT A2.67 - ENLARGED PLAN	A100
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UNIT A2.69 - ENLARGED PLAN	A100
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UNIT A2.71 - ENLARGED PLAN	A100
UNIT A2.72 - ENLARGED PLAN	A100
UNIT A2.73 - ENLARGED PLAN	A100
UNIT A2.74 - ENLARGED PLAN	A100
UNIT A2.75 - ENLARGED PLAN	A100
UNIT A2.76 - ENLARGED PLAN	A100
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UNIT A2.78 - ENLARGED PLAN	A100
UNIT A2.79 - ENLARGED PLAN	A100
UNIT A2.80 - ENLARGED PLAN	A100
UNIT A2.81 - ENLARGED PLAN	A100
UNIT A2.82 - ENLARGED PLAN	A100
UNIT A2.83 - ENLARGED PLAN	A100
UNIT A2.84 - ENLARGED PLAN	A100
UNIT A2.85 - ENLARGED PLAN	A100
UNIT A2.86 - ENLARGED PLAN	A100
UNIT A2.87 - ENLARGED PLAN	A100
UNIT A2.88 - ENLARGED PLAN	A100
UNIT A2.89 - ENLARGED PLAN	A100
UNIT A2.90 - ENLARGED PLAN	A100
UNIT A2.91 - ENLARGED PLAN	A100
UNIT A2.92 - ENLARGED PLAN	A100
UNIT A2.93 - ENLARGED PLAN	A100
UNIT A2.94 - ENLARGED PLAN	A100
UNIT A2.95 - ENLARGED PLAN	A100
UNIT A2.96 - ENLARGED PLAN	A100
UNIT A2.97 - ENLARGED PLAN	A100
UNIT A2.98 - ENLARGED PLAN	A100
UNIT A2.99 - ENLARGED PLAN	A100
UNIT A2.100 - ENLARGED PLAN	A100



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SECOND FLOOR PLAN

SHEET NUMBER
A102



- ### GENERAL PLAN NOTES
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
 - WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
 - FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
 - CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPLASHES.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
 - ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.

SHEET INDEX - ENLARGED UNIT TYPES

PLAN TYPE	SHEET NO.
3RD FLOOR SW UNIT PLANS	
UNIT A1 - ENLARGED PLAN	A410
UNIT A1-1 - ENLARGED PLAN	A410
UNIT A2 (OLD) - ENLARGED PLAN	A410
UNIT A2 - ENLARGED PLAN	A410
UNIT A3 - ENLARGED PLAN	A410
UNIT B1 - ENLARGED PLAN	A411
UNIT B2 - ENLARGED PLAN	A411
UNIT B3 - ENLARGED PLAN	A411
UNIT B4 - ENLARGED PLAN	A411
UNIT B5 - ENLARGED PLAN	A411
UNIT B6 - ENLARGED PLAN	A411
UNIT B7 - ENLARGED PLAN	A411
UNIT B8 - ENLARGED PLAN	A411
UNIT B9 - ENLARGED PLAN	A411
UNIT B10 - ENLARGED PLAN	A411
UNIT B11 - ENLARGED PLAN	A411
UNIT B12 - ENLARGED PLAN	A411
UNIT B13 - ENLARGED PLAN	A411
UNIT B14 - ENLARGED PLAN	A411
UNIT B15 - ENLARGED PLAN	A411
UNIT B16 - ENLARGED PLAN	A411
UNIT B17 - ENLARGED PLAN	A411
UNIT B18 - ENLARGED PLAN	A411
UNIT B19 - ENLARGED PLAN	A411
UNIT B20 - ENLARGED PLAN	A411
UNIT B21 - ENLARGED PLAN	A411
UNIT B22 - ENLARGED PLAN	A411
UNIT B23 - ENLARGED PLAN	A411
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UNIT B25 - ENLARGED PLAN	A411
UNIT B26 - ENLARGED PLAN	A411
UNIT B27 - ENLARGED PLAN	A411
UNIT B28 - ENLARGED PLAN	A411
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UNIT B30 - ENLARGED PLAN	A411
UNIT B31 - ENLARGED PLAN	A411
UNIT B32 - ENLARGED PLAN	A411
UNIT B33 - ENLARGED PLAN	A411
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UNIT B94 - ENLARGED PLAN	A411
UNIT B95 - ENLARGED PLAN	A411
UNIT B96 - ENLARGED PLAN	A411
UNIT B97 - ENLARGED PLAN	A411
UNIT B98 - ENLARGED PLAN	A411
UNIT B99 - ENLARGED PLAN	A411
UNIT B100 - ENLARGED PLAN	A411



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HARTUNG - B

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SHEET TITLE

FIFTH FLOOR PLAN

SHEET NUMBER

A105



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ARCHITECTS
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JLA-AP.COM

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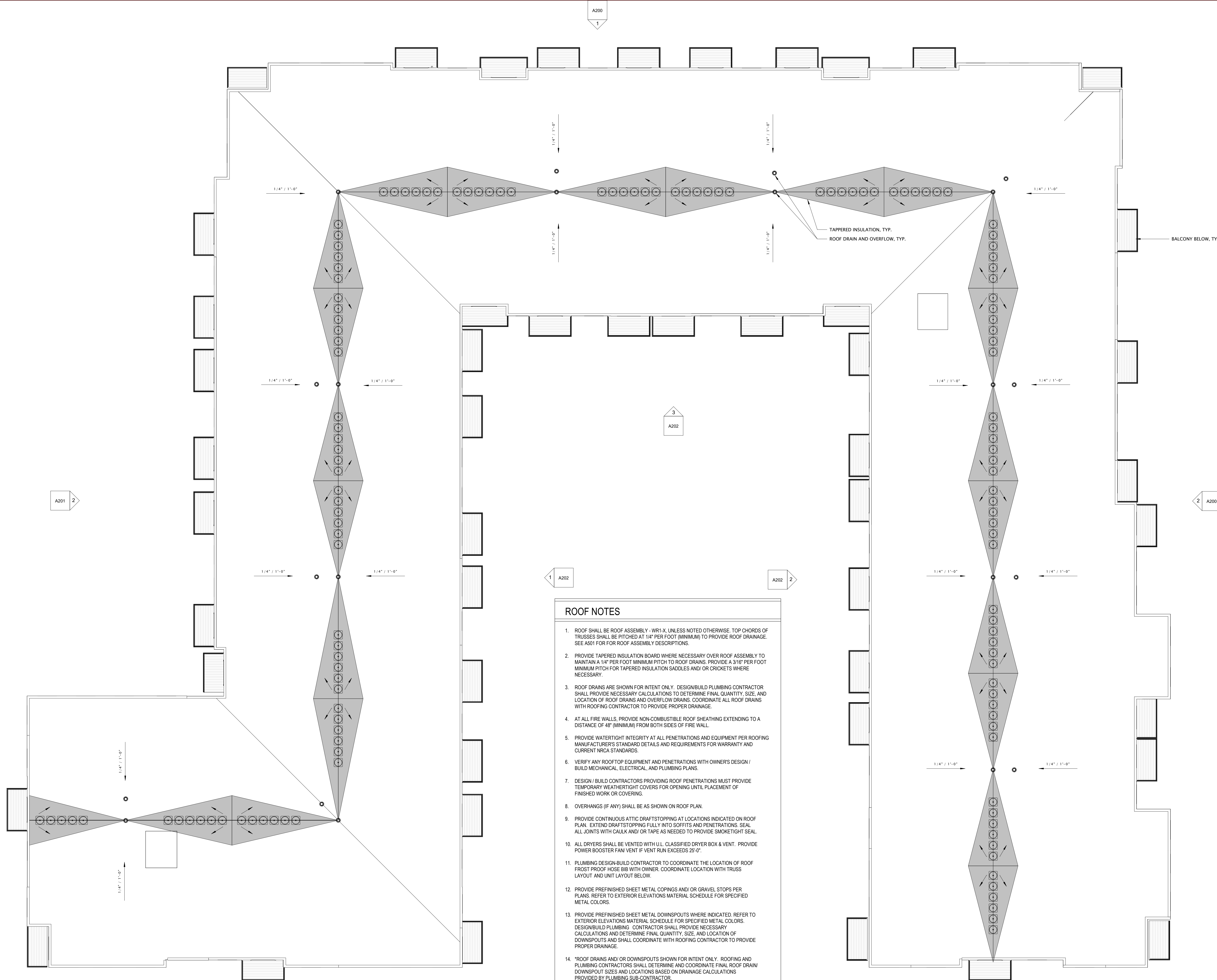
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A110



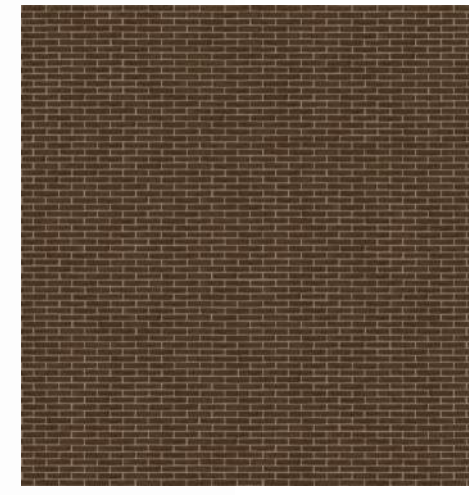
- ROOF NOTES**
- ROOF SHALL BE ROOF ASSEMBLY - WR1-X, UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AT 1/4" PER FOOT (MINIMUM) TO PROVIDE ROOF DRAINAGE. SEE A201 FOR ROOF ASSEMBLY DESCRIPTIONS.
 - PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND/OR CRICKETS WHERE NECESSARY.
 - ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
 - AT ALL FIRE WALLS, PROVIDE NON-COMBUSTIBLE ROOF SHEATHING EXTENDING TO A DISTANCE OF 48" (MINIMUM) FROM BOTH SIDES OF FIRE WALL.
 - PROVIDE WATERTIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.
 - VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER'S DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
 - DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATERTIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
 - OVERHANGS (IF ANY) SHALL BE AS SHOWN ON ROOF PLAN.
 - PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS INDICATED ON ROOF PLAN. EXTEND DRAFTSTOPPING FULLY INTO SOFFITS AND PENETRATIONS. SEAL ALL JOINTS WITH CAULK AND/ OR TAPE AS NEEDED TO PROVIDE SMOKE/TIGHT SEAL.
 - ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN VENT IF VENT RUN EXCEEDS 25'-0".
 - PLUMBING DESIGN/BUILD CONTRACTOR TO COORDINATE THE LOCATION OF ROOF FROST PROOF HOSE BIB WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT AND UNIT LAYOUT BELOW.
 - PROVIDE PREFINISHED SHEET METAL COPINGS AND/ OR GRAVEL STOPS PER PLANS. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
 - PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
 - *ROOF DRAINS AND/ OR DOWNSPOUTS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL DETERMINE AND COORDINATE FINAL ROOF DRAIN DOWNSPOUT SIZES AND LOCATIONS BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.

1 ROOF PLAN
3/32" = 1'-0"

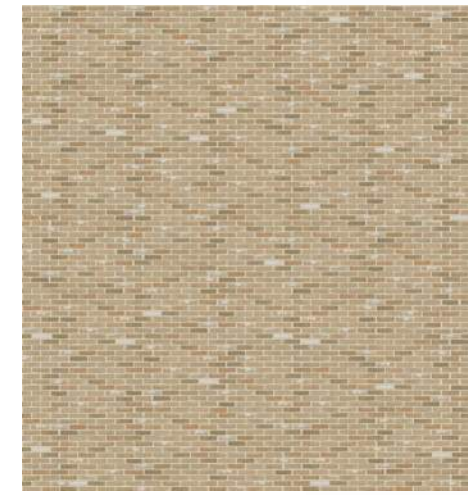
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APPENDIX 'E'
SPECIFIC IMPLEMENTATION PLAN
PRELIMINARY EXTERIOR ELEVATIONS & PERSPECTIVES

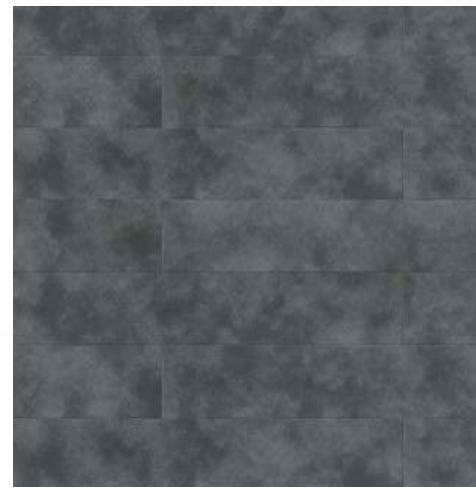
EXTERIOR MATERIAL LEGEND



BRICK 01



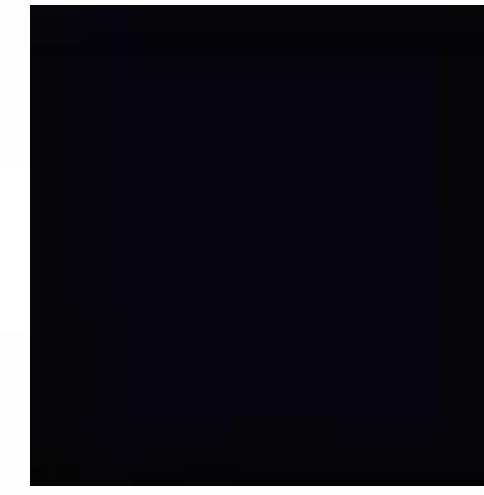
BRICK 02



PANEL 01



PANEL 02



WINDOW COLOR



STONE ROUGH FACE ONLY



FIBER CEMENT SIDING - 6' EXPOSURE



ALUMINUM RAILING - TEXTURED BLACK

EXTERIOR MATERIALS SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR
1	WINDOW (DARK)	MARVIN ESSENTIAL WINDOWS	SEE SCHEDULE	SEE WINDOW SCHEDULE	EBONY
2	MASONRY - STONE	FARRIS CRAFT BUILDING STONE	RENAISSANCE ROCK FACE	8" x 24"	BARNBOARD
4	MASONRY - 2 (BRICK)	CLOUD CERAMICS-KANSAS BRICK & TILE	UTILITY BRICK	UTILITY SIZE	WINTER BLEND
5	PANEL - 1 (DARK)	NICHIHA	CORBOSA CONCRETE SERIES	TBD	SHADOW
6	PANEL - 2 (ACCENT)	CERA CLAD	ORIGINAL DESIGN	TBD	ELEMENTS / CORTEN STEEL
7	SIDING - 1	JAMES HARDIE	CEDARMILL HORIZONTAL	8" NOMINAL (6" EXPOSURE)	COBBLESTONE
8	BALCONY RAILING	JAM SYSTEMS	ADVANTAGE	2 1/2" POSTS. SEE PLANS FOR SIZE	TEXTURED BLACK
9	BALCONY / DECK	TREX	COMPOSITE	SEE PLANS	CLAM SHELL
10	BALCONY FASCIA & TRIM	TBD	TBD	TBD	TBD
11	PATIO DOORS	MARVIN ESSENTIAL	SEE SCHEDULE	SEE PLANS	EBONY
18	DOOR / WINDOW TRIM	JAMES HARDIE	5/4 NTS SMOOTH	5/4x4	PAINT TO MATCH COBBLESTONE
20	PRECAST CONCRETE LINTEL - PROFILE #5	TBD	PRECAST CONCRETE	SEE PRECAST PROFILES	SEE PROFILES - SHEET A521
21	METAL WALL CAP (FABRICATED)	TBD	PREFINISHED ALUMINUM	SEE BAY BUILD-OUT DETAIL	MATCH ADJACENT SIDING
22	SOLDIER COURSE - MASONRY - 1 (BRICK)	CLOUD CERAMICS-KANSAS BRICK & TILE	UTILITY BRICK	UTILITY SIZE	COFFEE
23	PRECAST CONCRETE BAND - PROFILE #9, AND #5	TBD	PRECAST CONCRETE	SEE PRECAST PROFILES	SEE PROFILES - SHEET A521
26	PREFINISHED METAL COPING W/ FIBER CEMENT TRIM	TBD	PRECAST CONCRETE	SEE PRECAST PROFILES	SEE DETAIL
27	PREFINISHED METAL WALL CAP - 2	TBD	PREFINISHED METAL, FIBER CEMENT	SEE DETAIL	MATCH BRICK
					DARK GREY/BLACK



1 NORTH ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"



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JLA PROJECT NUMBER: W22-0913-2

HARTUNG - B

HARTUNG B - SIP SUBMITTAL

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 09/17/2024

REVISION SCHEDULE

Mark	Description	Date

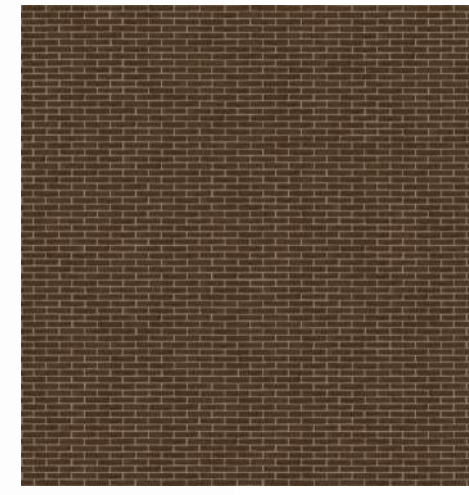
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EXTERIOR ELEVATIONS

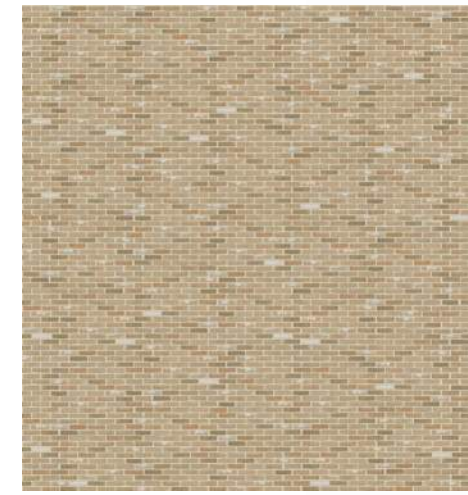
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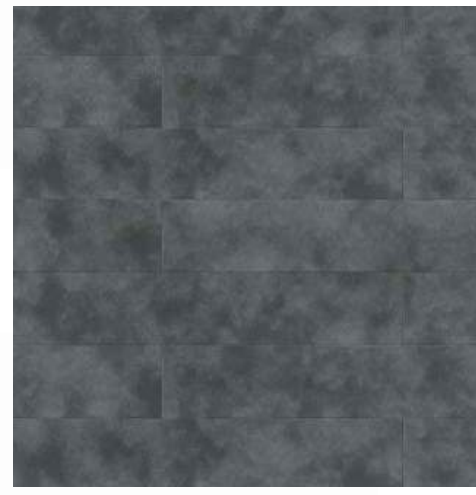
EXTERIOR MATERIAL LEGEND



BRICK 01



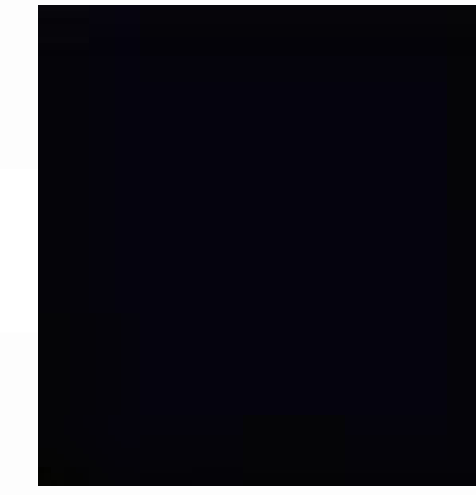
BRICK 02



PANEL 01



PANEL 02



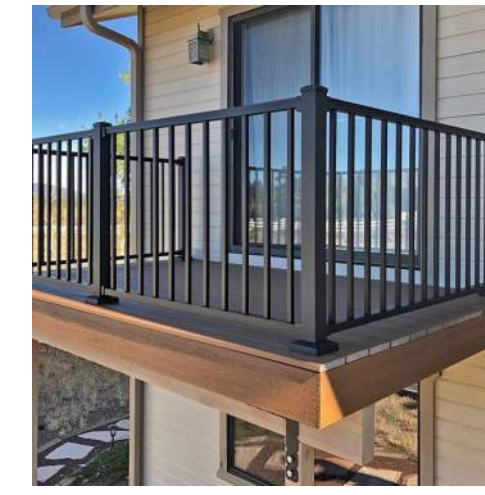
WINDOW COLOR



STONE ROUGH FACE ONLY



FIBER CEMENT SIDING - 6' EXPOSURE



ALUMINUM RAILING - TEXTURED BLACK

EXTERIOR MATERIALS SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR
1	WINDOW (DARK)	MARVIN ESSENTIAL WINDOWS	SEE SCHEDULE	SEE WINDOW SCHEDULE	EBONY
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4	MASONRY - 2 (BRICK)	CLOUD CERAMICS-KANSAS BRICK & TILE	UTILITY BRICK	UTILITY SIZE	WINTER BLEND
5	PANEL - 1 (DARK)	NICHIHA	CORBOSA CONCRETE SERIES ORIGINAL DESIGN	TBD	SHADOW
6	PANEL - 2 (ACCENT)	CERA CLAD	CEDARMILL HORIZONTAL	8" NOMINAL (6" EXPOSURE)	ELEMENTS / CORTEN STEEL
7	SIDING - 1	JAMES HARDIE	ADVANTAGE	2 1/2" POSTS. SEE PLANS FOR SIZE	TEXTURED BLACK
8	BALCONY RAILING	JAM SYSTEMS	COMPOSITE	SEE PLANS	CLAM SHELL
9	BALCONY / DECK	TREX	TBD	TBD	TBD
10	BALCONY FASCIA & TRIM	TBD	TBD	TBD	TBD
11	PATIO DOORS	MARVIN ESSENTIAL	SEE SCHEDULE	SEE PLANS	EBONY
18	DOOR / WINDOW TRIM	JAMES HARDIE	S4 N3 SMOOTH	S4H4	PAINT TO MATCH COBBLESTONE
20	PRECAST CONCRETE LINTEL - PROFILE #5	TBD	PRECAST CONCRETE	SEE PRECAST PROFILES	SEE PROFILES - SHEET A521
21	METAL WALL CAP (FABRICATED)	TBD	PREFINISHED ALUMINUM	SEE BAY BUILD-OUT DETAIL	MATCH ADJACENT SIDING
22	SOLDIER COURSE - MASONRY - 1 (BRICK)	CLOUD CERAMICS-KANSAS BRICK & TILE	UTILITY BRICK	UTILITY SIZE	COFFEE
23	PRECAST CONCRETE BAND - PROFILE #9, AND #5	TBD	PRECAST CONCRETE	SEE PRECAST PROFILES	SEE PROFILES - SHEET A521
26	PREFINISHED METAL COPING W/ FIBER CEMENT TRIM	TBD	PREFINISHED METAL, FIBER CEMENT	SEE DETAIL	MATCH BRICK
27	PREFINISHED METAL WALL CAP - 2	TBD	TBD	TBD	DARK GREY/BLACK



1 SOUTH ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



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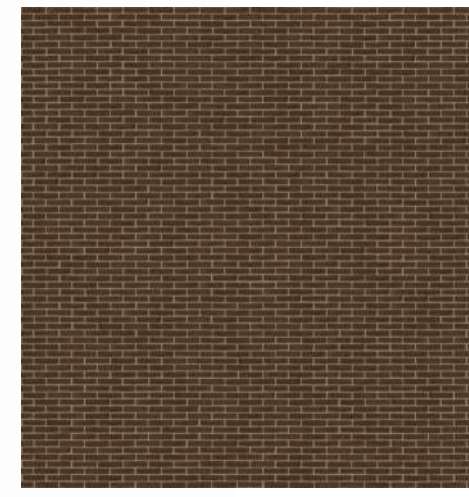
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EXTERIOR ELEVATIONS

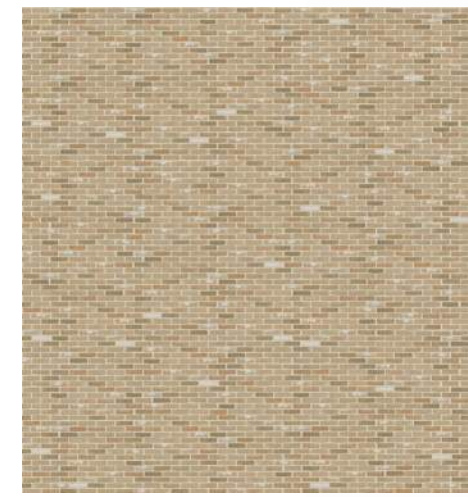
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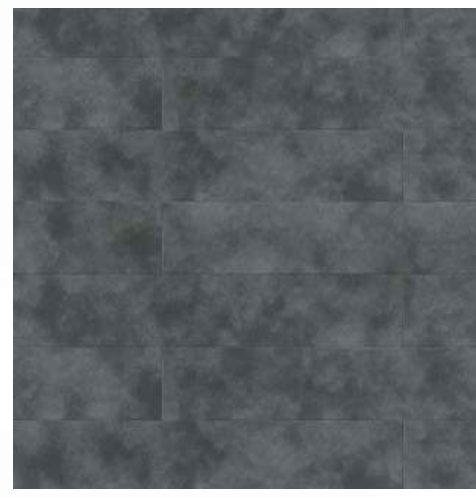
EXTERIOR MATERIAL LEGEND



BRICK 01



BRICK 02



PANEL 01



PANEL 02



WINDOW COLOR



STONE ROUGH FACE ONLY



FIBER CEMENT SIDING - 6" EXPOSURE



ALUMINUM RAILING - TEXTURED BLACK

EXTERIOR MATERIALS SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR
1	WINDOW (DARK)	MARVIN ESSENTIAL WINDOWS	SEE SCHEDULE	SEE WINDOW SCHEDULE	EBONY
2	MASONRY - STONE	HARRIS CRAFT BUILDING STONE	RENAISSANCE ROCK FACE	8" x 24"	BARNBOARD
4	MASONRY - 2 (BRICK)	CLOUD CERAMICS-KANSAS BRICK & TILE	UTILITY BRICK	UTILITY SIZE	WINTER BLEND
5	PANEL - 1 (DARK)	NICHIHA	CORBOSA CONCRETE SERIES	TBD	SHADOW
6	PANEL - 2 (ACCENT)	CERACLAD	ORIGINAL DESIGN	TBD	ELEMENTS / CORTEN STEEL
7	SIDING - 1	JAMES HARDIE	CEDARMILL HORIZONTAL	8" NOMINAL (6" EXPOSURE)	COBBLESTONE
8	BALCONY RAILING	JAM SYSTEMS	ADVANTAGE	2 1/2" POSTS. SEE PLANS FOR SIZE	TEXTURED BLACK
9	BALCONY / DECK	TREX	COMPOSITE	SEE PLANS	CLAM SHELL
10	BALCONY FASCIA & TRIM	TBD	TBD	TBD	TBD
11	PATIO DOORS	MARVIN ESSENTIAL	SEE SCHEDULE	SEE PLANS	EBONY
18	DOOR / WINDOW TRIM	JAMES HARDIE	5/4 NT3 SMOOTH	5/4x4	PAINT TO MATCH COBBLESTONE
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26	PREFINISHED METAL COPING W/ FIBER CEMENT TRIM	TBD	PREFINISHED METAL, FIBER CEMENT	SEE DETAIL	MATCH BRICK
27	PREFINISHED METAL WALL CAP - 2	TBD	TBD	TBD	DARK GREY/BLACK



3 SOUTH ELEVATION - PLAZA
3/32" = 1'-0"



2 WEST ELEVATION - PLAZA
3/32" = 1'-0"



1 EAST ELEVATION - PLAZA
3/32" = 1'-0"



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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A202



SOUTHWEST CORNER



SOUTHEAST CORNER



NORTHWEST CORNER



NORTHEAST CORNER



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HARTUNG - B

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
3d EXTERIOR VIEWS

SHEET NUMBER
A950

APPENDIX 'F'
SPECIFIC IMPLEMENTATION PLAN
EXTERIOR LIGHTING AND PHOTOMETRIC PLANS