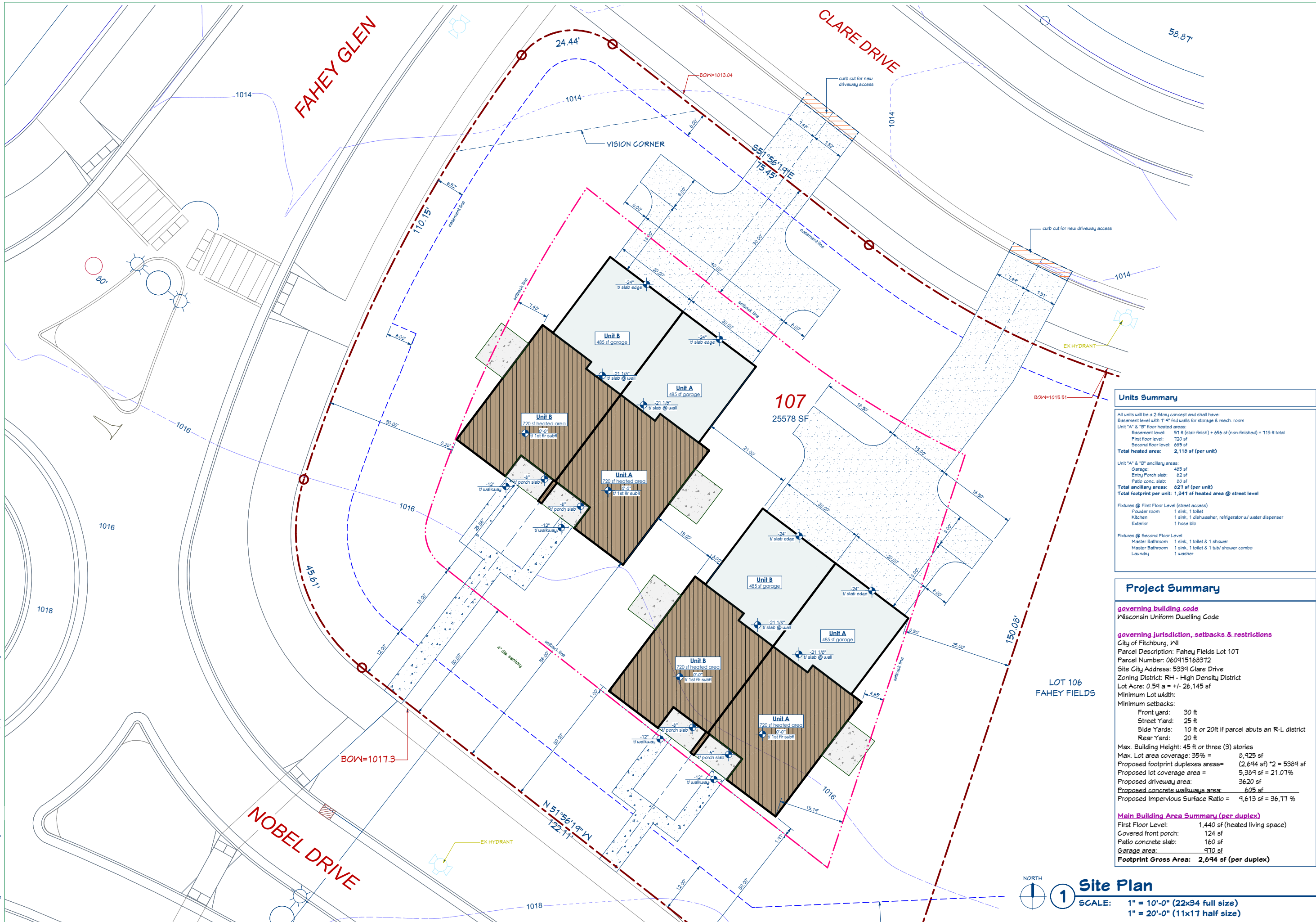


C:\Users\jvaughn\OneDrive - Bouril Design Studios, LLC\2024\24014 G Hamilton Homes, Duplexes\5 Technical\5-Units layout 5/22/2024 - 3:50:18 PM



Units Summary	
All units will be a 2-Story concept and shall have: Basement level with 1"-4" frid walls for storage & mech. room	
Unit "A" & "B" floor heated areas: Basement level: 51 R (stair finish) + 656 sf (non-finished) = 707 ft total	
First floor level:	120 sf
Second floor level:	665 sf
<b>Total heated area:</b>	<b>2,110 sf (per unit)</b>
Unit "A" & "B" ancillary areas: Garage: 485 sf Entry Porch slab: 62 sf Patio conc. slab: 80 sf	
<b>Total ancillary areas:</b>	<b>627 sf (per unit)</b>
<b>Total footprint per unit:</b>	<b>1,347 sf of heated area @ street level</b>
Figures @ First Floor Level (street access)	
Powder room	1 sink, 1 toilet
Kitchen	1 sink, 1 dishwasher, refrigerator w/ water dispenser
Exterior	1 hose bib
Figures @ Second Floor Level	
Master Bathroom	1 sink, 1 toilet & 1 shower
Master Bathroom	1 sink, 1 toilet & 1 tub/shower combo
Laundry	1 washer

Project Summary	
<b>governing building code</b> Wisconsin Uniform Dwelling Code	
<b>governing jurisdiction, setbacks &amp; restrictions</b> City of Fitchburg, WI Parcel Description: Fahey Fields Lot 107 Parcel Number: 060415168372 Site City Address: 5339 Clare Drive Zoning District: RH - High Density District Lot Acre: 0.59 a = +/- 26,145 sf Minimum Lot width: Minimum setbacks: Front yard: 30 ft Street Yard: 25 ft Side Yards: 10 ft or 20ft if parcel abuts an R-L district Rear Yard: 20 ft	
Max. Building Height: 45 ft or three (3) stories Max. Lot area coverage: 35% = 8,925 sf Proposed footprint duplexes areas= (2,694 sf) *2 = 5389 sf Proposed lot coverage area = 5,389 sf = 21.07% Proposed driveway area: 3620 sf Proposed concrete walkways area: 605 sf Proposed Impervious Surface Ratio = 9,613 sf = 36.77 %	
<b>Main Building Area Summary (per duplex)</b> First Floor Level: 1,440 sf (heated living space) Covered front porch: 124 sf Patio concrete slab: 160 sf Garage area: 470 sf <b>Footprint Gross Area: 2,694 sf (per duplex)</b>	

**1 Site Plan**  
SCALE: 1" = 10'-0" (22x34 full size)  
1" = 20'-0" (11x17 half size)

The design represented by these drawings is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, WI.

**Architectural Design Review & Conditional Use Submittal**  
**NOT FOR CONSTRUCTION**

Bouril Design Associates, LLC  
5714 D'Onofrio Drive, Suite 16  
Madison, Wisconsin 53714  
608-955-5400 www.bourildesign.com

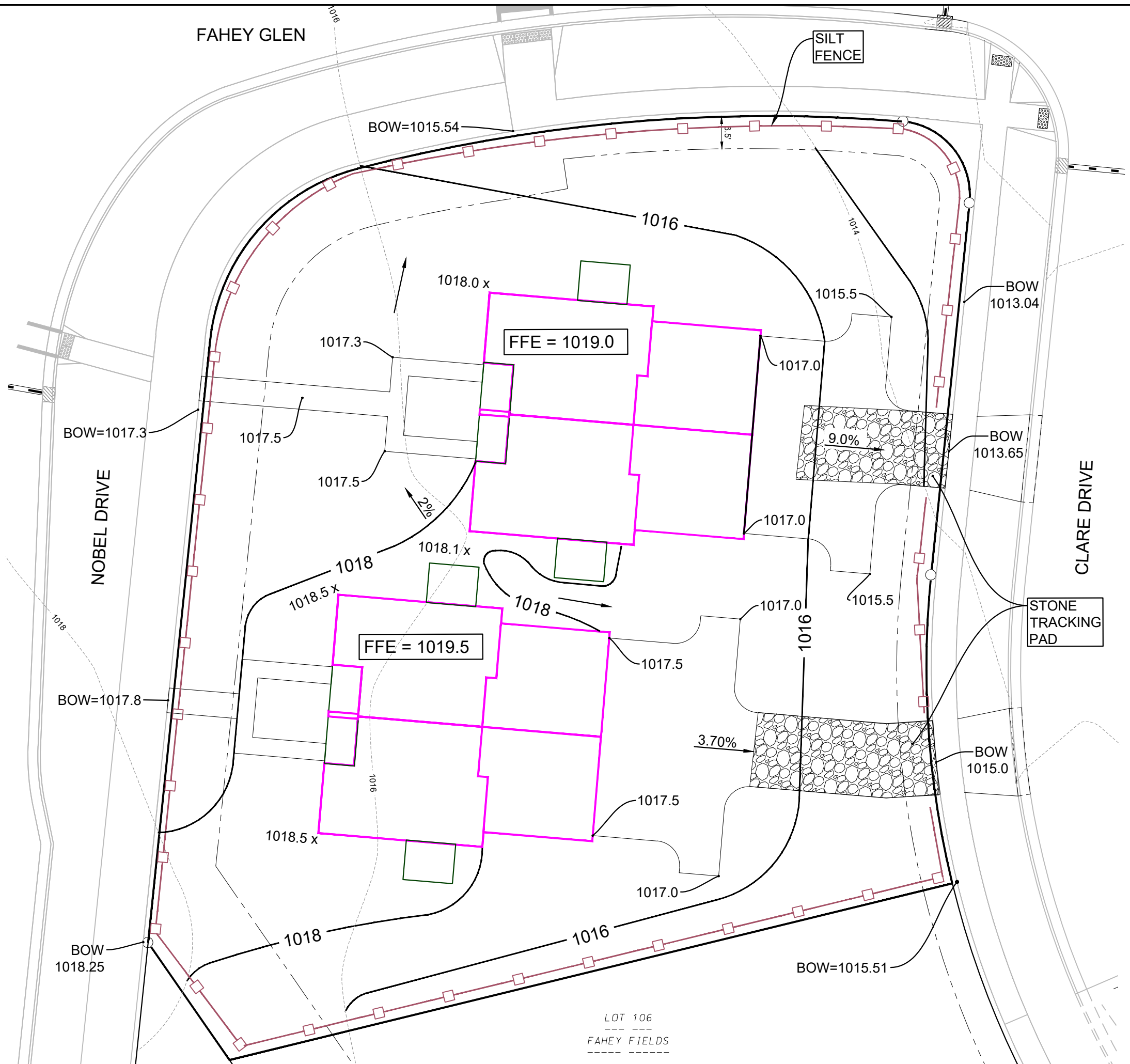
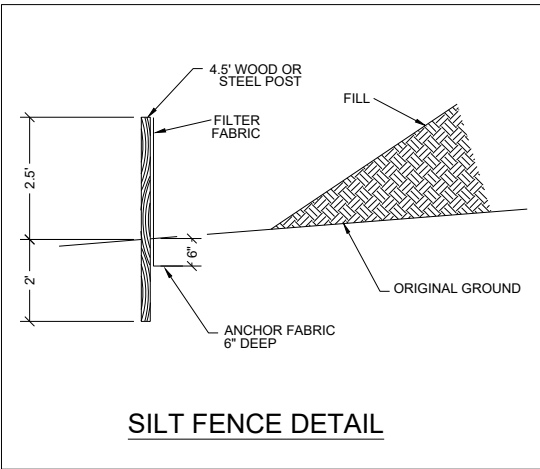
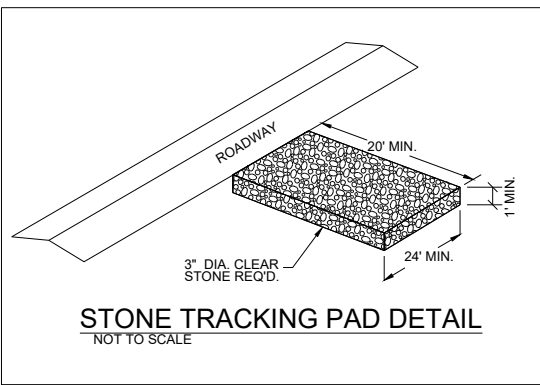


**G-Units for**  
**G. Hamilton Homes, LLC**  
Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53711

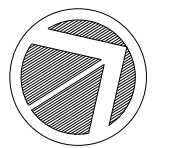
revision index		
#	date	ref

project: 24014  
date: 5/22/2024  
drawn by: BDS

**C100**



- GENERAL NOTES:**
1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF FITCHBURG STANDARDS.
  2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
  3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
  4. IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION AND OFFSITE DURING FINAL RESTORATION.
- SITE GRADING AND EROSION CONTROL NOTES:**
1. ALL SITE GRADING AND EROSION CONTROL SHALL CONFORM WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE, CHAPTER 30 AND ANY ADDENDUMS ISSUED PRIOR TO THE CONTRACT BID DATE.
  2. STONE TRACKING PADS AND SILT FENCE SHALL BE INSTALLED AT THE START OF SITE GRADING AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
  3. DISTURBED AREAS WITHIN THE CITY ROW SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE CITY SPECIFICATIONS. ALL DISTURBED AREAS ON SITE SHALL BE RESTORED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ANY DISTURBED SLOPES 4:1 OR STEEPER SHALL BE RESTORED WITH CLASS I, TYPE A EROSION MATTING WITHIN 48 HRS OF FINAL TOPSOIL PLACEMENT ON THE BANKS.  
SEED: MADISON PARKS MIX APPLIED AT A RATE OF 6 POUNDS PER 1000 SF  
FERTILIZER: FERTILIZER COMPOSITION SHALL BE DETERMINED BY A SOILS TEST AND APPLIED AT A RATE OF 0.5 NITROGEN POUNDS PER 1000 SF.
  4. EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED. EROSION MEASURES AS LISTED SHALL BE THE MINIMUM MEASURES THAT WILL BE ACCEPTABLE.
  5. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION MEASURES AS REQUESTED IN WRITING BY THE PROJECT SUPERINTENDENT OR THE CITY OF FITCHBURG WITHIN 24 HOURS OF NOTIFICATION.
  6. ONCE THE SITE HAS UNDERGONE FINAL RESTORATION AND VEGETATION HAS ESTABLISHED, THE SILT FENCE SHALL BE REMOVED AND IF NECESSARY, RESTORED WITH FERTILIZER, SEED AND MULCH. ALTERNATIVELY, IF VEGETATION HAS NOT ESTABLISHED, EROSION MATTING MUST BE PLACED ON ALL DISTURBED AREAS THAT MAY DRAIN TOWARD THE SILT FENCE.
  7. SITE INSPECTIONS SHALL BE COMPLETED ON A WEEKLY BASIS OR AFTER EVERY RAINFALL OF AT LEAST 0.5 INCHES. ALL NECESSARY REPAIRS MUST BE COMPLETED WITHIN 24 HOURS OF NOTIFICATION.
  8. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
  9. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
  10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF ANY STOCKPILES.
  11. DEWATERING, IF APPLICABLE SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.
  12. DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING FOR RESIDENTIAL DRIVEWAYS. THIS INCLUDES A STRAIGHT TAPER IN THE APRON. CONCRETE THICKNESS SHOULD BE 7" THROUGHOUT THE APRON. STONE BASE TO BE 6 INCHES.



SCALE: 1" = 10'  
(PAGE SIZE: 11x17)

DKA PROJECT NUMBER: 24-05-114

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**G-UNITS  
LOT 107**

CITY SET

DATE OF ISSUANCE MAY 21, 2024

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

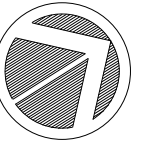
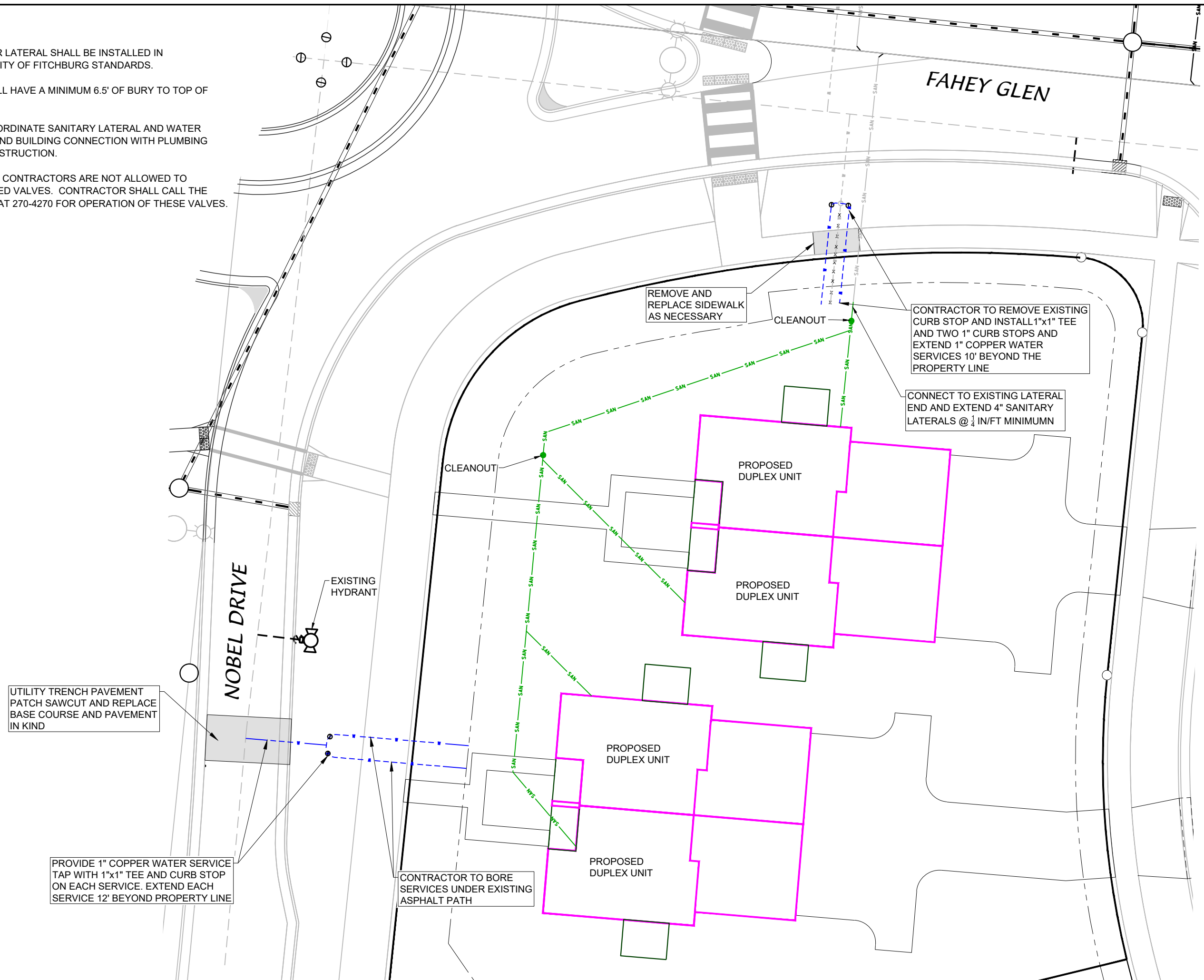
**GRADING &  
EROSION CONTROL  
PLAN**

SHEET NUMBER

**C200**

UTILITY NOTES:

1. SANITARY AND WATER LATERAL SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FITCHBURG STANDARDS.
2. WATER LATERAL SHALL HAVE A MINIMUM 6.5' OF BURY TO TOP OF PIPE.
3. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.
4. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.



SCALE: 1" = 10'  
(PAGE SIZE: 11x17)

DKA PROJECT NUMBER: 24-05-114

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**G-UNITS  
LOT 107**

CITY SET

DATE OF ISSUANCE MAY 21, 2024

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

**SITE UTILITY PLAN**

SHEET NUMBER

**C300**

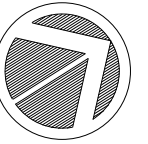
FAHEY GLEN

PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND
<b>OVERSTORY DECIDUOUS TREES</b>					
PAE	Platanus x acerifolia 'Exclamation'	Exclamation Sycamore	2	2"	B&B
QB	Quercus bicolor	Swamp White Oak	2	2"	B&B
<b>TALL EVERGREEN TREES</b>					
PGD	Picea glauca 'Densata'	Black Hills Spruce	1	4' TALL	B&B
PN	Pinus nigra	Austrian Pine	2	4' TALL	B&B
<b>DECIDUOUS SHRUB</b>					
CAI	Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	2	24" TALL	POT
DKF	Diervilla 'Kodiak Fresh'	Kodiak Fresh Honeysuckle	7	12" TALL	POT
DXB	Daphne x burkwoodii 'Carol Mack'	Carol Mackie Daphne	6	18" TALL	POT
FGB	Fothergilla gardenii 'Blue Mist'	Blue Mist Fothergilla	4	18" TALL	POT
FVB	Forsythia veridissima 'Bronxensis'	Bronx Forsythia	6	12" TALL	POT
HME	Hydrangea 'Bailmer'	Endless Summer Hydrangea	6	18" TALL	POT
ML	Tea virginica 'Little Henry'	Little Henry Sweetspire	6	12" TALL	POT
WFD	Weigela 'Dark Horse'	Dark Horse Weigela	3	18" TALL	POT
<b>EVERGREEN SHRUB</b>					
JHF	Juniperus horizontalis 'Blue Forest'	Blue Forest Juniper	4	3 GAL	POT
JHG	Juniperus horizontalis 'Gold Strike'	Gold Strike Juniper	4	3 GAL	POT
RP	Rhododendron 'PJM'	PJM Rhododendron	2	24" TALL	POT

LANDSCAPE NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK
- ALL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" DEPTH OF COMPACTED TOPSOIL
- MAINTENANCE STRIPS SHALL BE INSTALLED ADJACENT TO THE BUILDING FOUNDATION WHERE LANDSCAPE BEDS ARE NOT PRESENT - SEE DETAIL
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3-INCH DEPTH OF 1.5-INCH LOCAL WASHED STONE PLACED OVER WISDOT TYPE DF GEOTEXTILE FABRIC AND SHALL BE CONTAINED BY LANDSCAPE EDGING UNLESS OTHERWISE NOTED
- LANDSCAPE EDGING SHALL BE BLACK DIAMOND VINYL EDGING AS MANUFACTURED BY VALLEY VIEW INDUSTRIES (www.valleyviewind.com)
- ALL DECIDUOUS TREES IN LAWN AREAS SHALL HAVE A 4-FOOT DIAMETER CIRCLE OF 3-INCH DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING UNLESS INDICATED DIFFERENTLY ON THE PLANS
- ALL EVERGREEN TREES IN TURF AREAS SHALL HAVE A 8' DIAMETER CIRCLE OF 3-INCH DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING UNLESS INDICATED DIFFERENTLY ON THE PLANS
- GENERAL LANDSCAPE AREAS SHALL BE SODDED.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARDS & REQUIREMENTS & PERTINENT DEED RESTRICTIONS & COVENANTS.
- INSTALLATION OF LANDSCAPING SHALL INCLUDE A 1 YEAR LANDSCAPE MAINTENANCE & WARRANTY PERIOD. LANDSCAPE MAINTENANCE SHALL INCLUDE ANY CARE NECESSARY TO ESTABLISH THE PLANTS CALLED OUT ON THE LANDSCAPE PLAN. LANDSCAPE WARRANTY SHALL INCLUDE THE REPLACEMENT OF ANY DAMAGED, DYING, OR DEAD PLANTS THAT HAVE BEEN INSTALLED AS PART OF THIS PROJECT AS CALLED OUT ON THE LANDSCAPE PLAN



SCALE: 1" = 10'  
(PAGE SIZE: 11x17)

DKA PROJECT NUMBER: 24-05-114

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**

7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

G-UNITS  
LOT 107

CITY SET

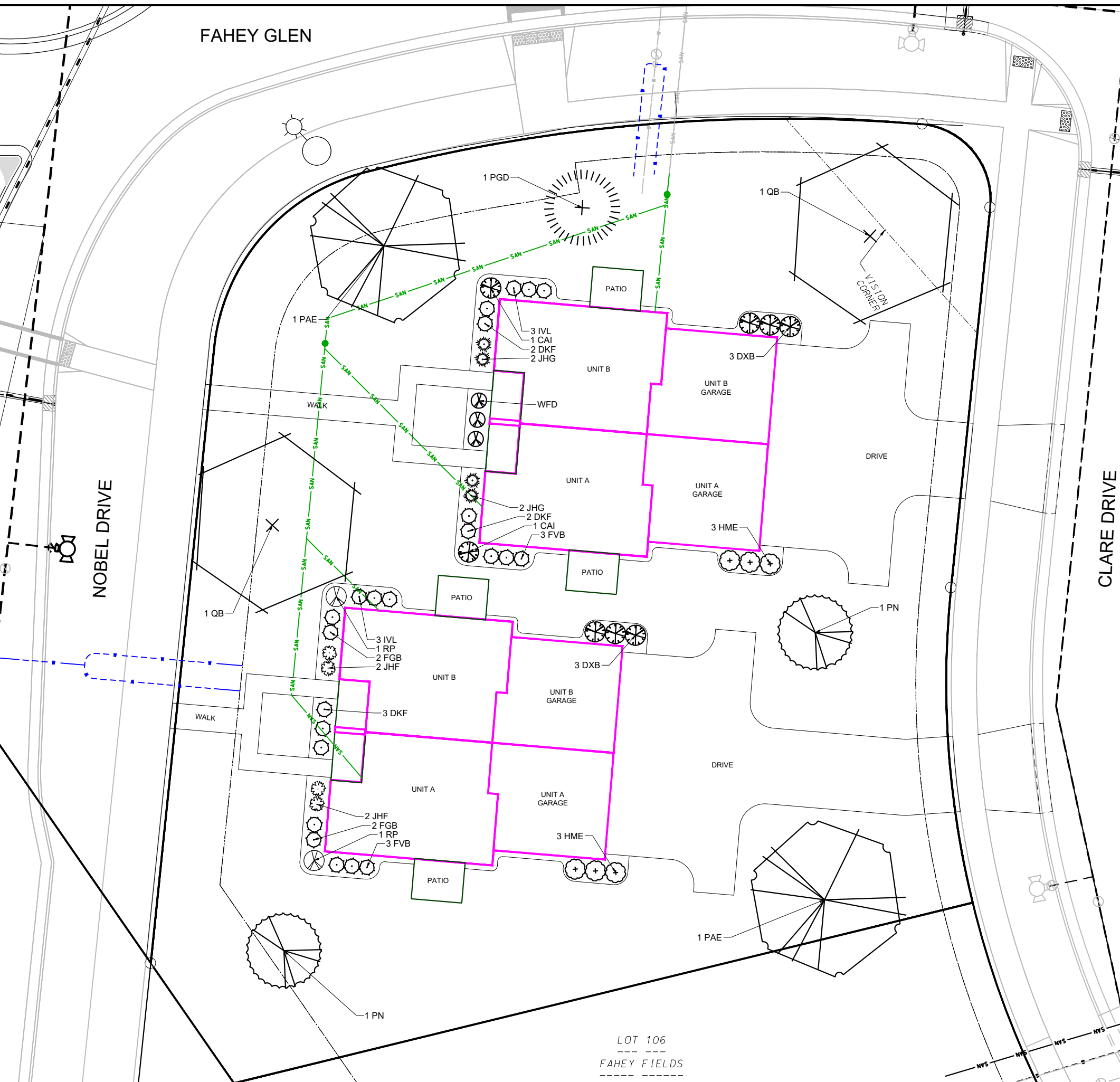
DATE OF ISSUANCE MAY 21, 2024

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**L100**



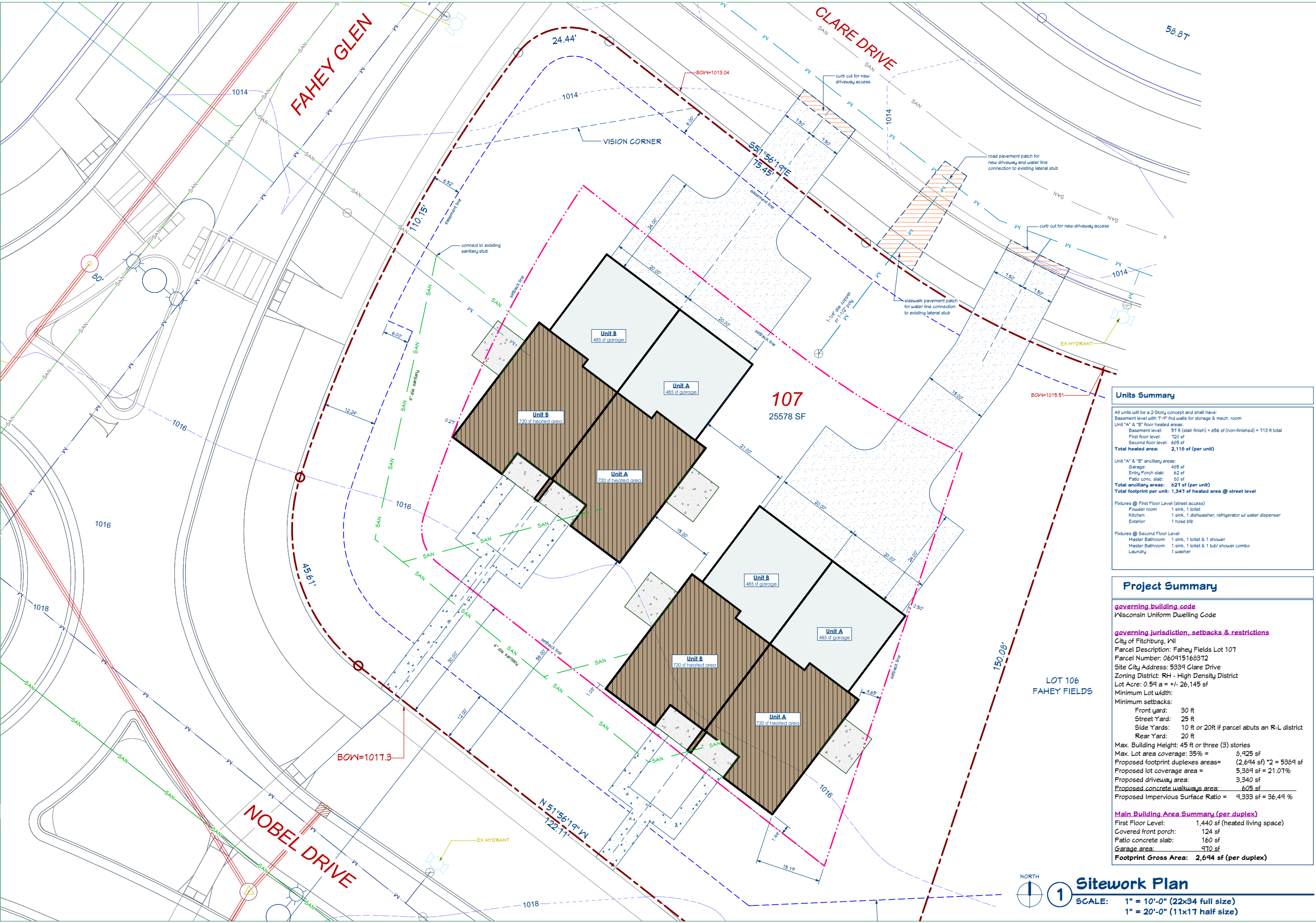
LOT 106  
FAHEY FIELDS

CLARE DRIVE

NOBEL DRIVE



C:\Users\j\OneDrive - Bouril Design Associates, LLC\Documents\Technical\Engineering\G-Hamilton Homes, Duplexes\5 Technical\Fig 107.dwg, 4/23/2024 - 10:42:20 AM



Units Summary	
All units will be a 2-Story concept and shall have: Basement level with 1'-4" fire walls for storage & mech. room	
Unit "A" & "B" floor heated areas:	Basement level: 51 R (stair finish) + 656 sf (non-finished) = 707 sf total
	First floor level: 120 sf
	Second floor level: 685 sf
<b>Total heated area:</b>	<b>2,110 sf (per unit)</b>
Unit "A" & "B" ancillary areas:	
Garage:	485 sf
Entry Porch slab:	62 sf
Patio conc. slab:	80 sf
<b>Total ancillary areas:</b>	<b>627 sf (per unit)</b>
<b>Total footprint per unit:</b>	<b>1,347 sf of heated area @ street level</b>
Figures @ First Floor Level (street access)	
Powder room:	1 sink, 1 toilet
Kitchen:	1 sink, 1 dishwasher, refrigerator w/ water dispenser
Exterior:	1 hose bib
Figures @ Second Floor Level	
Master Bathroom:	1 sink, 1 toilet & 1 shower
Master Bathroom:	1 sink, 1 toilet & 1 tub/shower combo
Laundry:	1 washer

Project Summary	
<b>governing building code</b> Wisconsin Uniform Dwelling Code	
<b>governing jurisdiction, setbacks &amp; restrictions</b> City of Fitchburg, WI Parcel Description: Fahey Fields Lot 107 Parcel Number: 0604151683T2 Site City Address: 5339 Clare Drive Zoning District: RH - High Density District Lot Acre: 0.59 a +/- 26,145 sf Minimum Lot width: Minimum setbacks: Front yard: 30 ft Street Yard: 25 ft Side Yards: 10 ft or 20ft if parcel abuts an R-L district Rear Yard: 20 ft Max. Building Height: 45 ft or three (3) stories Max. Lot area coverage: 35% = 8,925 sf Proposed footprint duplexes areas= (2,694 sf) * 2 = 5389 sf Proposed lot coverage area = 5,389 sf = 21.07% Proposed driveway area: 3,340 sf Proposed concrete walkways area: 605 sf Proposed Impervious Surface Ratio = 9,333 sf = 36.49 %	
<b>Main Building Area Summary (per duplex)</b>	
First Floor Level:	1,440 sf (heated living space)
Covered front porch:	124 sf
Patio concrete slab:	160 sf
Garage area:	970 sf
<b>Footprint Gross Area:</b>	<b>2,694 sf (per duplex)</b>

NORTH

**1 Sitework Plan**

SCALE: 1" = 10'-0" (22x34 full size)  
1" = 20'-0" (11x17 half size)

The design represented by these drawings is the property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, Wisconsin.

**Zoning Submittal**  
**Conditional Use Permit**  
**Not for Construction**

**Bouril Design Associates, LLC**  
5714 D'Orefrio Drive, Suite 16  
Madison, Wisconsin 53714  
608-959-9400 www.bourildesign.com

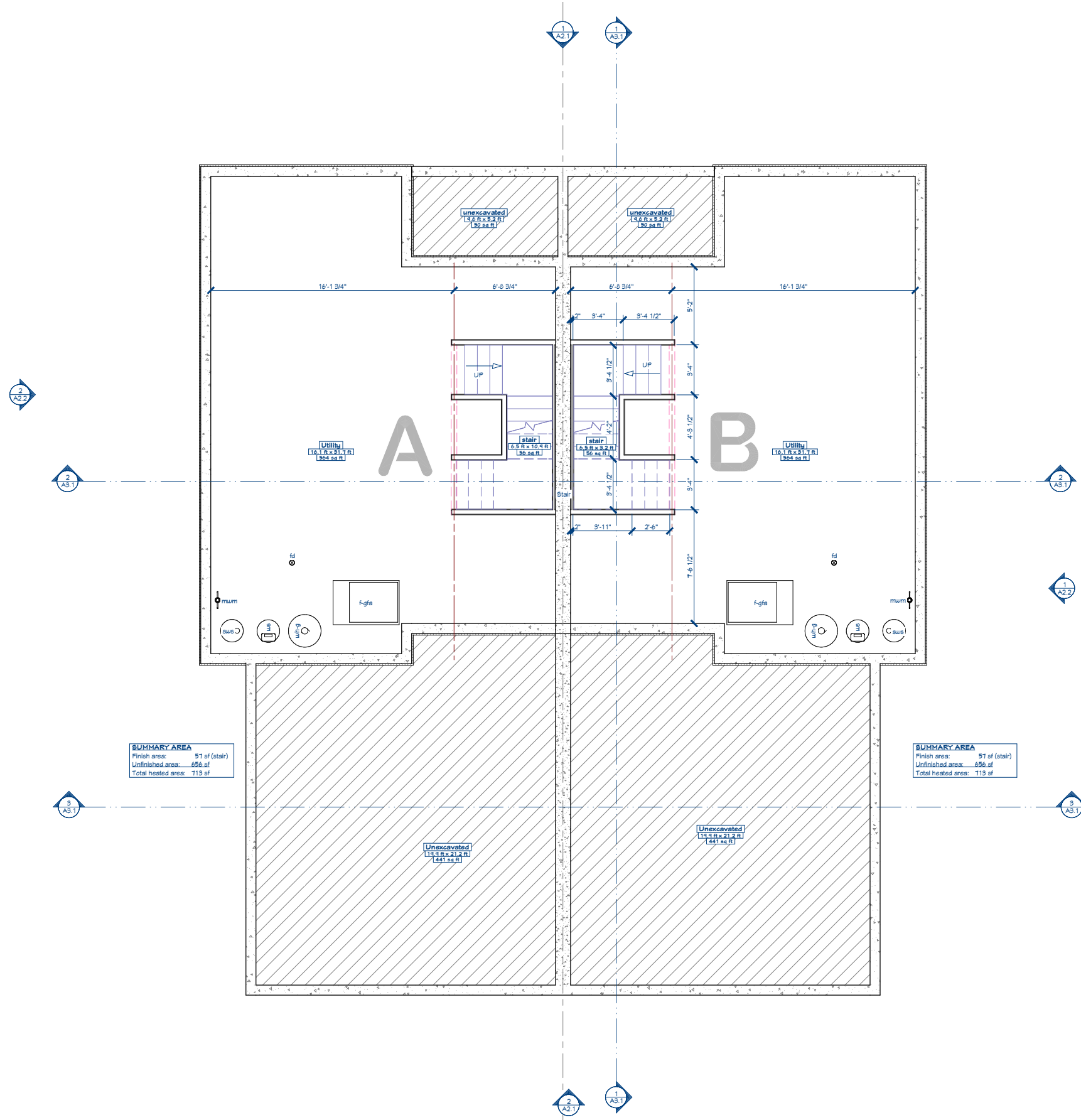
**G-Units for**  
**G. Hamilton Homes, LLC**  
Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53711

revision index		
#	date	ref

project: xxx  
date: 4/23/2024  
drawn by: BDS

SW1

C:\Users\jveau\OneDrive - Bouril Design Studio, LLC\2024\24014 G Hamilton Homes, Duplexes\5 Technical\Fig 6 en\_5-Units layout\_4/23/2024 - 104220 AM



**SUMMARY AREA**  
 Finish area: 51 sf (stair)  
 Unfinished area: 656 sf  
 Total heated area: 713 sf

**SUMMARY AREA**  
 Finish area: 51 sf (stair)  
 Unfinished area: 656 sf  
 Total heated area: 713 sf

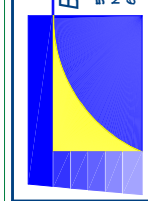
**1** **Basement Floor Plan - Duplex**  
 SCALE: 1/4" = 1'-0" (22x34 full size)  
 1/8" = 1'-0" (11x17 half size)

revision index		
#	date	ref

project: xxx  
 date: 4/23/2024  
 drawn by: BDS

**A1.0**

G-Units for  
**G. Hamilton Homes, LLC**  
 Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53711

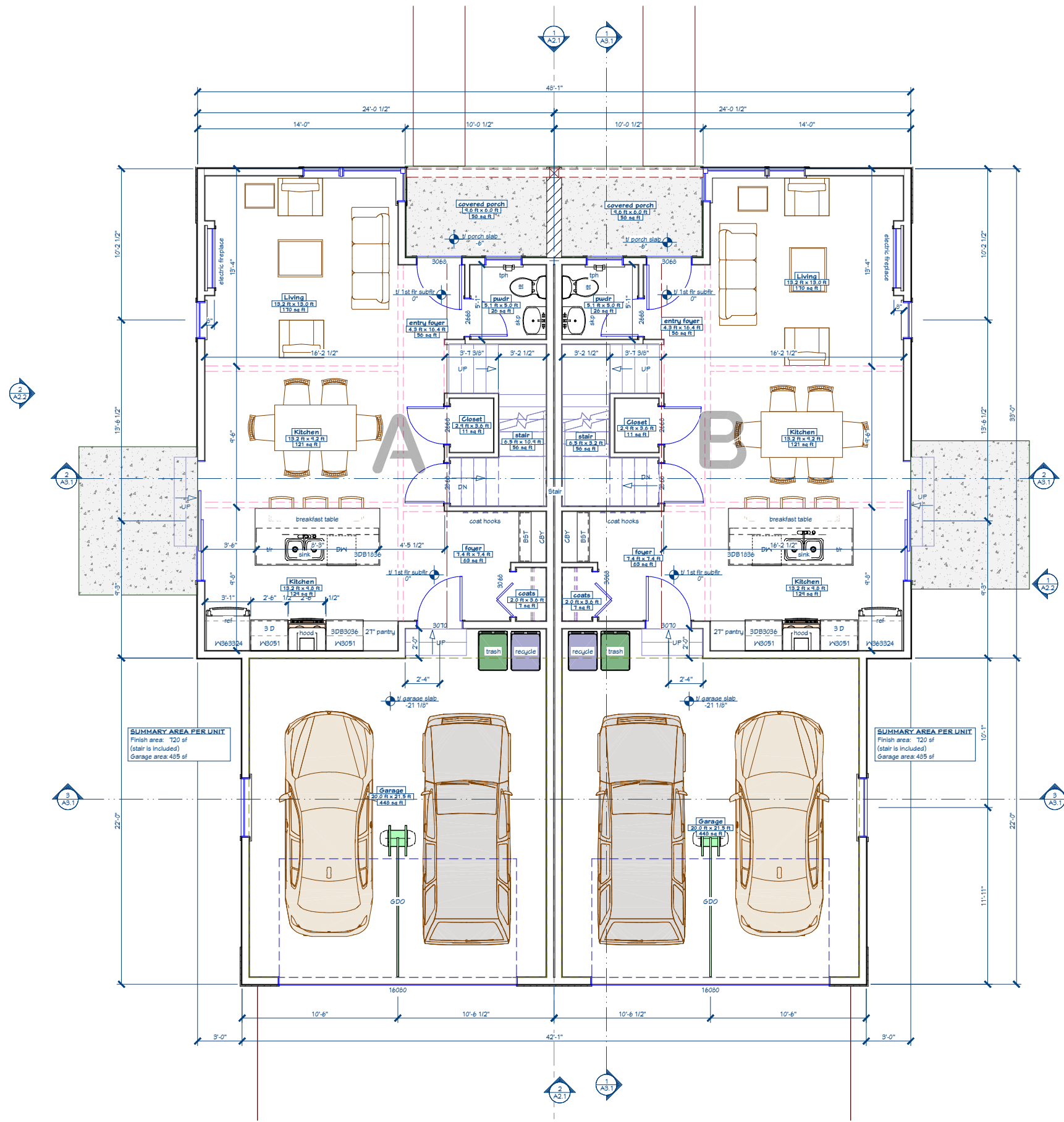


**Bouril Design Associates, LLC**  
 574 D'Onofrio Drive, Suite 16  
 Madison, Wisconsin 53714  
 608-955-9400 www.bourildesign.com

**Zoning Submittal**  
**Conditional Use Permit**  
**Not for Construction**

The design represented by these drawings is federal copyright protected & is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, Wisconsin.

C:\Users\j\_sauel\OneDrive - Bouril Design Studios, LLC\2024\24014 G Hamilton Homes, Duplexes\5 Technical\Fig 6.mxd - 10/23/2024 - 10:42:21 AM



**SUMMARY AREA PER UNIT**  
 Finish area: 120 sf  
 (stair is included)  
 Garage area: 495 sf

**SUMMARY AREA PER UNIT**  
 Finish area: 120 sf  
 (stair is included)  
 Garage area: 495 sf



1

**First Floor Plan - Duplex**

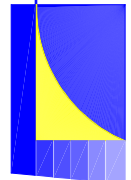
SCALE: 1/4" = 1'-0" (22x34 full size)  
 1/8" = 1'-0" (11x17 half size)

revision index		
#	date	ref

project: xxx  
 date: 4/23/2024  
 drawn by: BDS

**A1.1**

G-Units for  
**G. Hamilton Homes, LLC**  
 Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53711

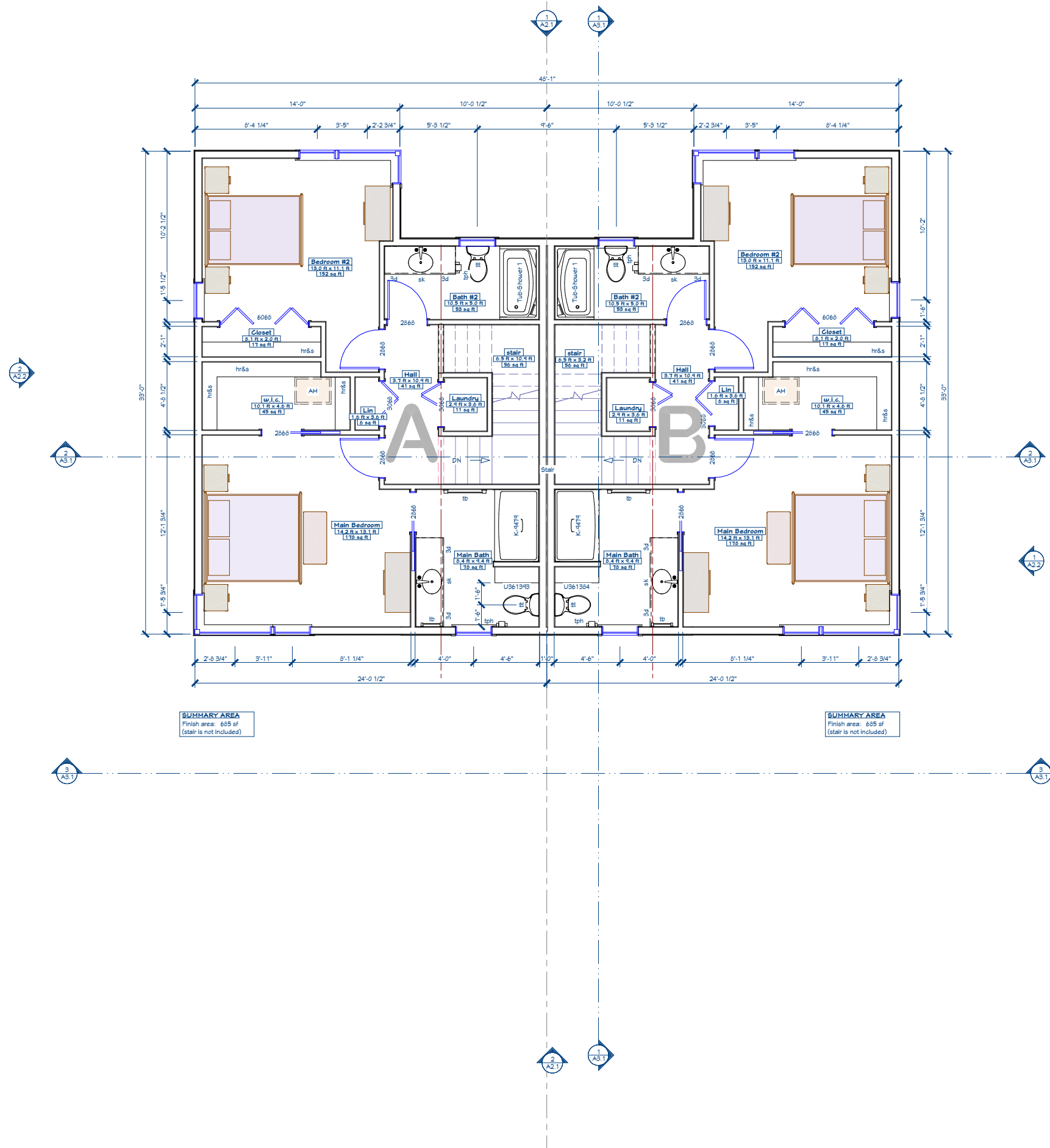


**Bouril Design Associates, LLC**  
 514 D'Onofrio Drive, Suite 16  
 Madison, Wisconsin 53711  
 608-955-9400 www.bourildesign.com

**Zoning Submittal**  
**Conditional Use Permit**  
**Not for Construction**

The design represented by these drawings is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, Wisconsin.

C:\Users\j\OneDrive - Bouril Design Studios\Documents\Projects\G-Units\G-Units\Layout - 104221.dwg



1

**Second Floor Plan - Duplex**

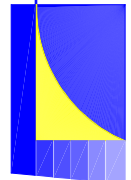
SCALE: 1/4" = 1'-0" (22x34 full size)  
1/8" = 1'-0" (11x17 half size)

revision index		
#	date	ref

project: xxx  
date: 4/23/2024  
drawn by: BDS

**A1.2**

G-Units for  
**G. Hamilton Homes, LLC**  
Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53111

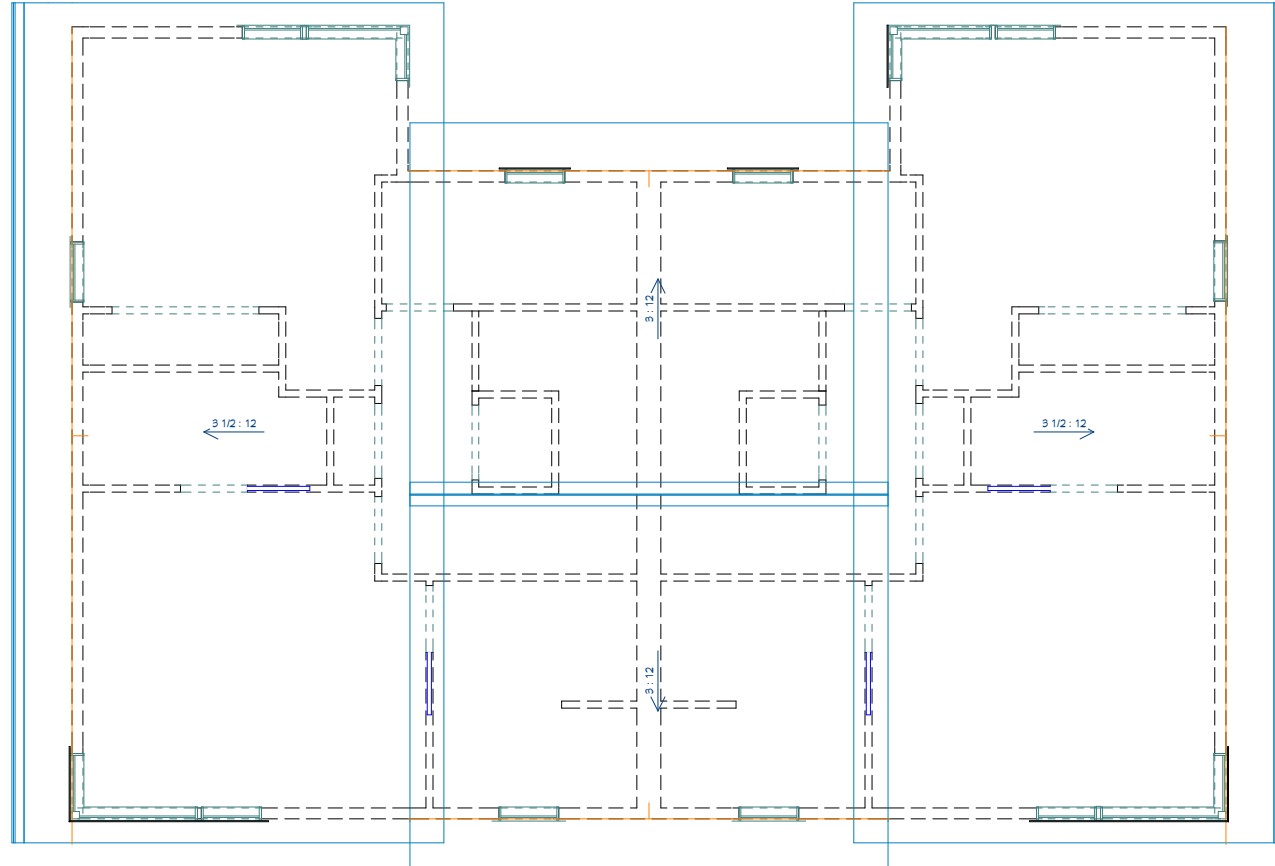


**Bouril Design Associates, LLC**  
574 D'Onofrio Drive, Suite 16  
Madison, Wisconsin 53714  
608-955-9400 www.bourildesign.com

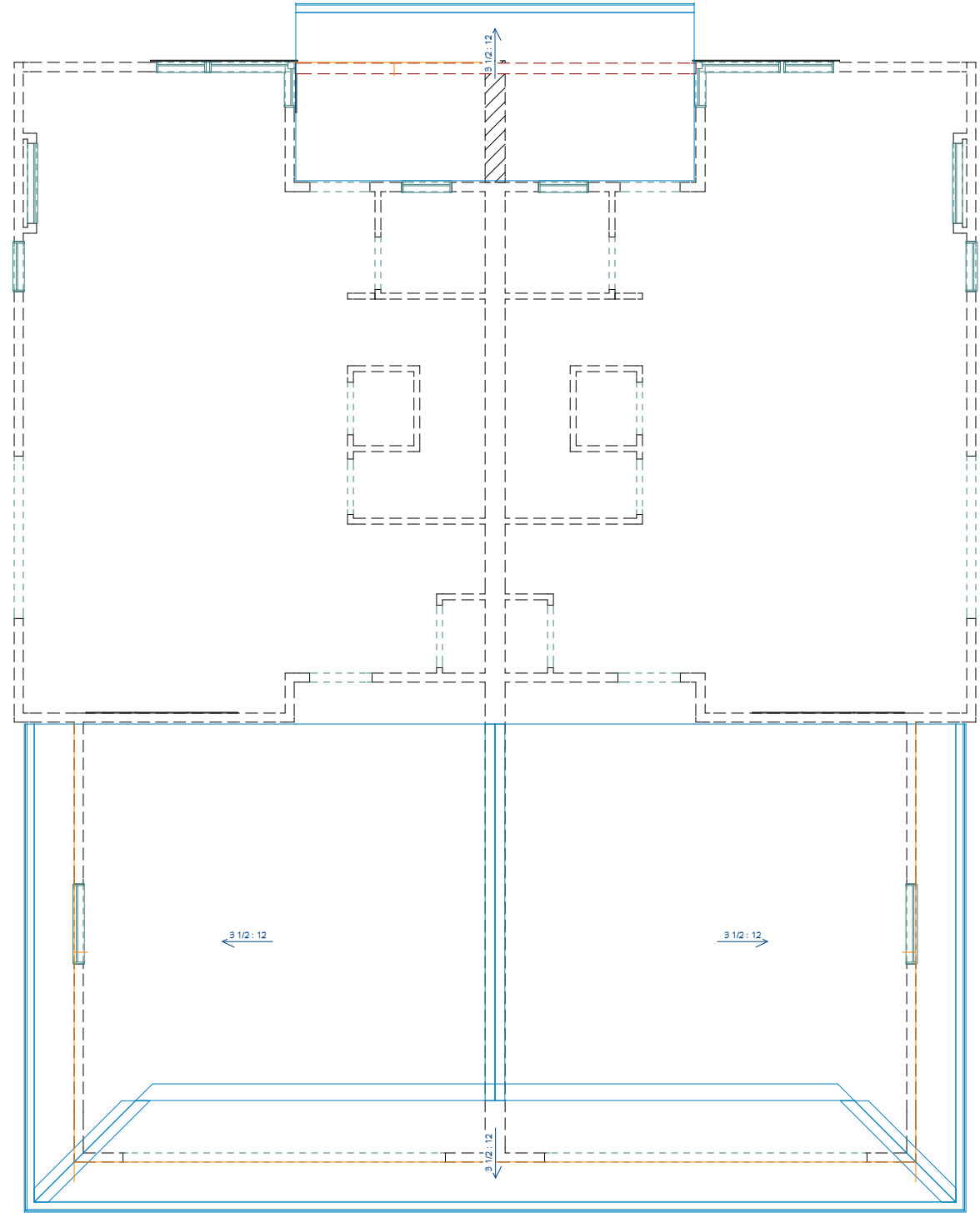
**Zoning Submittal**  
**Conditional Use Permit**  
**Not for Construction**

The design represented by these drawings is federal copyright protected & is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, Wisconsin.

C:\Users\jveau\OneDrive - Bouril Design Associates, LLC\2024\24014 G Hamilton Homes, Duplexes\5 Technical\Fig 6 en\_5\_Units layout\_4/23/2024 - 104221.dwg



**1** **Roof Plan (Upper roof)**  
SCALE: 1/4" = 1'-0" (22x34 full size)  
1/8" = 1'-0" (11x17 half size)



**1** **Roof Plan (Lower roof)**  
SCALE: 1/4" = 1'-0" (22x34 full size)  
1/8" = 1'-0" (11x17 half size)

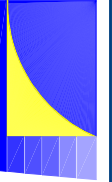
**Keynotes - Roof Plan**

- 1 Gutter
- 2 Downspout & leader
- 3 Downspout - discharge into drain receptor
- 4 Chimney penetration & flashing
- 5 Waterproof membrane
- 6 Skylight
- 7 Tubular skylite
- 8 Overbuild cricket

The design represented by these drawings is federal copyright protected & is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, Wisconsin.

**Zoning Submittal**  
**Conditional Use Permit**  
**Not for Construction**

**Bouril Design Associates, LLC**  
574 D'Onofrio Drive, Suite 16  
Madison, Wisconsin 53714  
608-955-9400 www.bourildesign.com



**G-Units for**  
**G. Hamilton Homes, LLC**  
Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53711

revision index		
#	date	ref

project: xxx  
date: 4/23/2024  
drawn by: BDS

**A1.3**

C:\Users\jvaud\OneDrive - Bouril Design Studios LLC\Desktop\2024\24014 G Hamilton Homes, Duplexes\Technical\Fig 6.en\_5-Units.layout\_4/23/2024 - 10:42:21 AM



## 2 Exterior Elevations - Nobel Street

SCALE: 1/4" = 1'-0" (22x34 full size)  
1/8" = 1'-0" (11x17 half size)



## 1 Exterior Elevations - Nobel Street

SCALE: 1/4" = 1'-0" (22x34 full size)  
1/8" = 1'-0" (11x17 half size)

### General Notes - Exterior Elevations

1. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.
2. Fiberglass Windows are Marvin Essential Series or similar, color frame: Black outside & white inside.
3. Fiberglass Sliding Patio Door are Marvin Elevate Series or similar, color frame: Black outside & white inside.
4. Entry Door System, mfr: Therma-Tru, Fiberglass construction, Pulse Series, wood finish or similar.
5. Insulated Garage doors, mfr: Clopay, Modern Style Collection, Flush Profile, wood finish or similar.

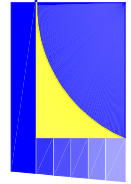
### Exterior Elevations Keyed Notes

1	Architectural Asphalt Shingles
2	Standing Seam Metal roofing, Galvalume finish
3	10" Fascia board (h.p.)
4	14" fascia board, no gutter at this eave
5	K-Style seamless gutter, aluminum finish, color: black
6	Engineered wood paneling siding, texture finish, color: to match window frame
7	Engineered wood window trim, color: to match paneling siding
8	Lap siding, Carvedwood 44 Double 4, color: Deep Cavern, mfr: Play Gem
9	Vertical vinyl siding, T' Board+Batten profile, color: white, mfr: Play Gem
10	Vinyl corner trim, color: to match siding
11	Aluminum flashing between lap siding and cmu veneer
12	CMU burnished block, thin application, color: North Star
13	Cementitious finish over rigid board at exposed frnd walls
14	Exterior steps to patio slab - PT wood structure w/ composite deck board treads
15	Concrete patio slab, broom finish

The design represented by these drawings is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, Wisconsin.

**Zoning Submittal**  
**Conditional Use Permit**  
**Not for Construction**

**Bouril Design Associates, LLC**  
574 D'Onofrio Drive, Suite 16  
Madison, Wisconsin 53714  
608-955-9400 www.bourildesign.com



**G-Units for**  
**G. Hamilton Homes, LLC**  
Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53711

revision index		
#	date	ref

project: xxx  
date: 4/23/2024  
drawn by: BDS

**A2.1**

C:\Users\jvaud\OneDrive - Bouril Design Associates, LLC\Jobs\2024\24014 G-Hamilton Homes, Duplexes\Technical\Drawings\Gen\_S-UHts\Layout\_4/23/2024 - 104221.dwg



**2 Exterior Elevations - Neighborhood**

SCALE: 1/4" = 1'-0" (22x34 full size)  
1/8" = 1'-0" (11x17 half size)



**1 Exterior Elevations - Fahey Glen**

SCALE: 1/4" = 1'-0" (22x34 full size)  
1/8" = 1'-0" (11x17 half size)

The design represented by these drawings is federal copyright protected & is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, Wisconsin.

**Zoning Submittal**  
**Conditional Use Permit**  
**Not for Construction**

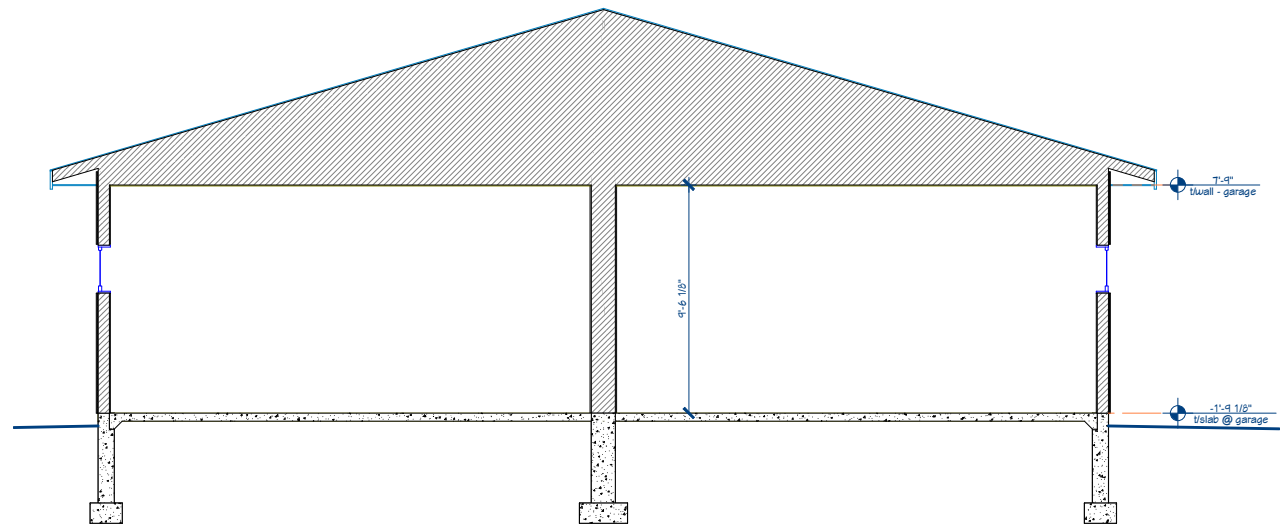
**Bouril Design Associates, LLC**  
574 D'Onofrio Drive, Suite 16  
Madison, Wisconsin 53714  
608-999-9400 www.bourildesign.com

**G-Units for**  
**G. Hamilton Homes, LLC**  
Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53711

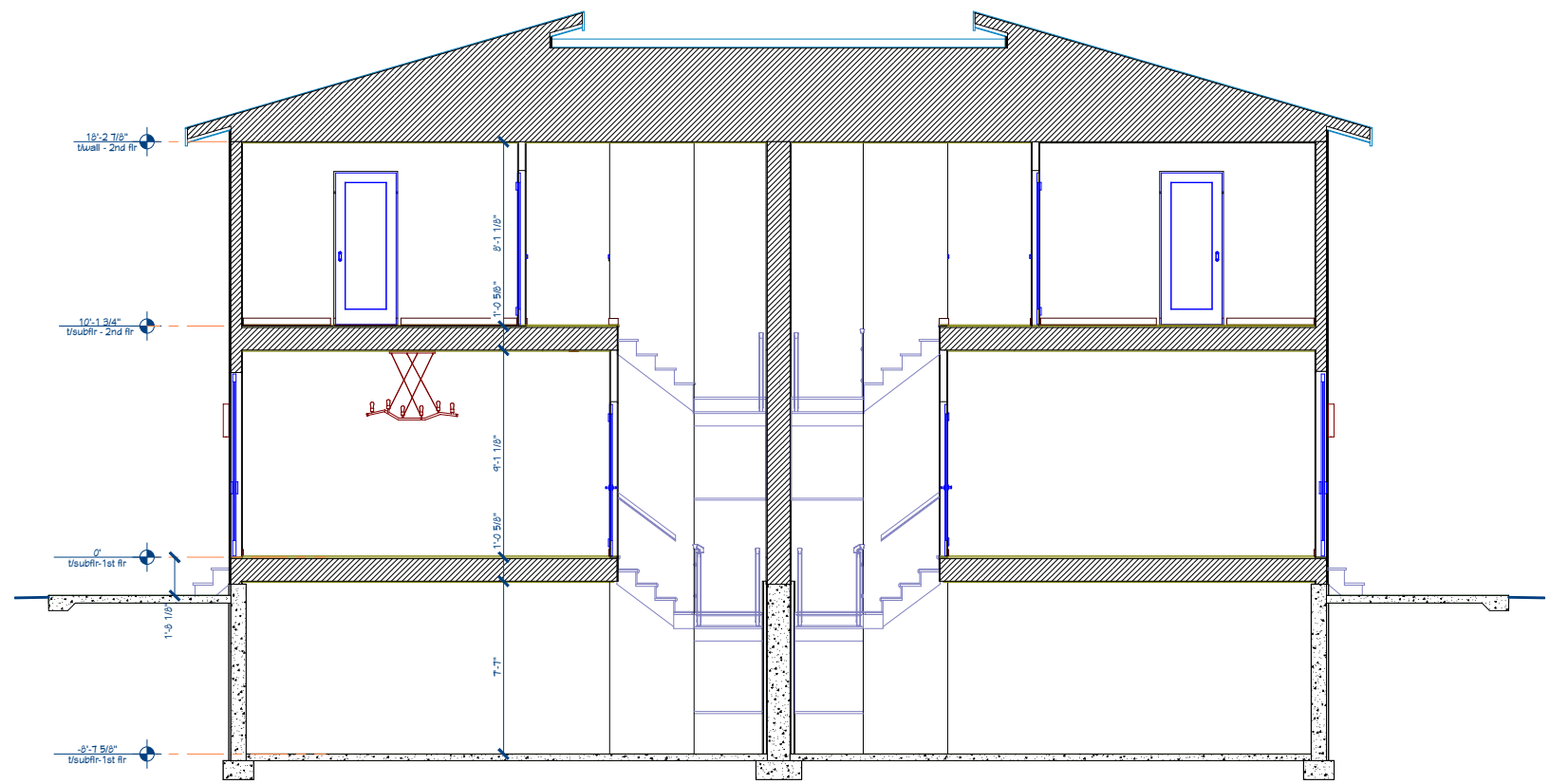
revision index		
#	date	ref

project: xxx  
date: 4/23/2024  
drawn by: BDS

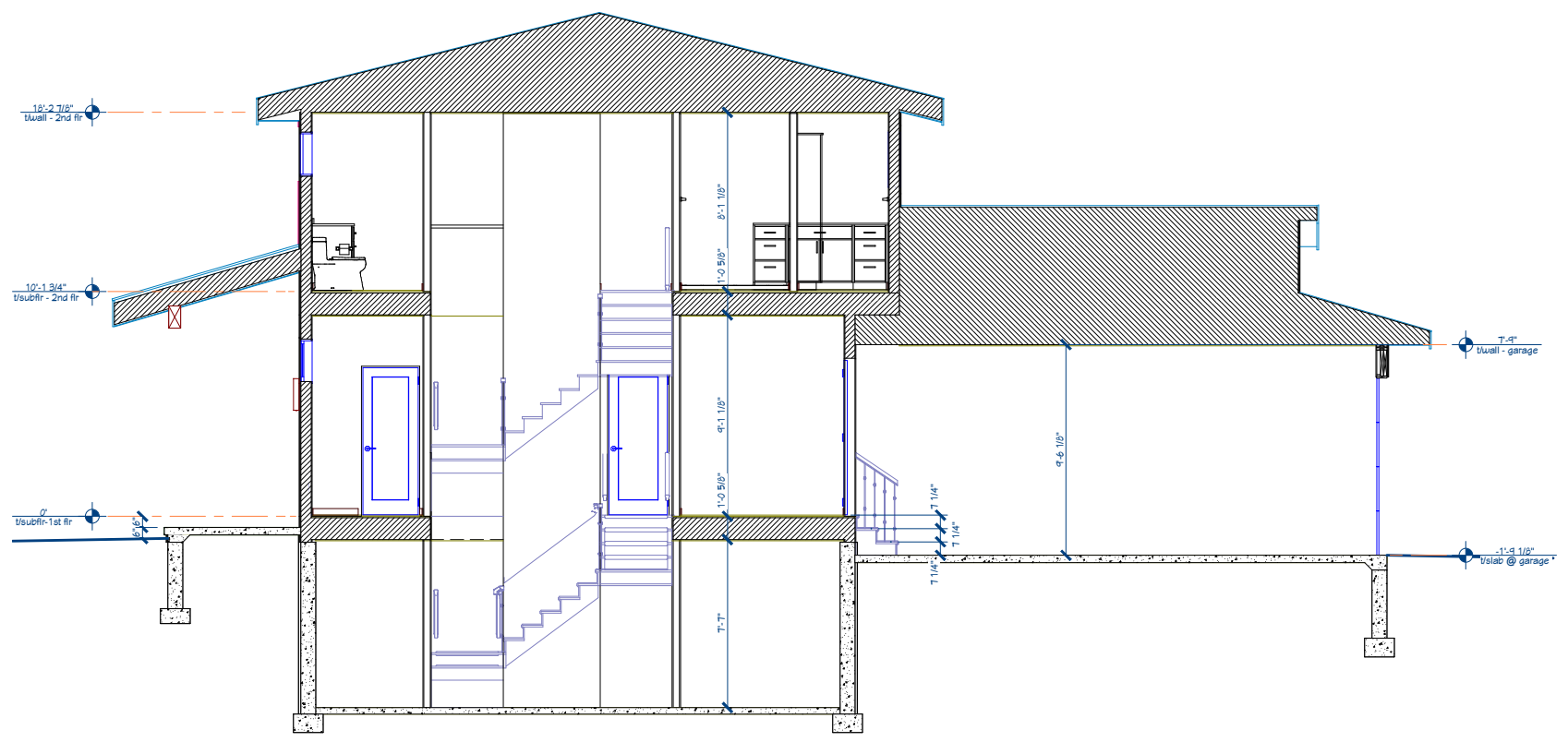
**A2.2**



**3 Building Section Profiles**  
 SCALE: 1/4" = 1'-0" (22x34 full size)  
 1/8" = 1'-0" (11x17 half size)



**2 Building Section Profiles**  
 SCALE: 1/4" = 1'-0" (22x34 full size)  
 1/8" = 1'-0" (11x17 half size)



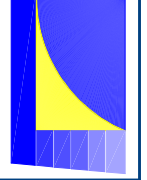
**1 Building Section Profiles**  
 SCALE: 1/4" = 1'-0" (22x34 full size)  
 1/8" = 1'-0" (11x17 half size)

C:\Users\jvaud\OneDrive - Bouril Design Associates, LLC\Desktop\Technical\Eng\61en\_5-Units\layout\_4/23/2024 - 10:42:22 AM

The design represented by these drawings is federal copyright protected & is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC Madison, Wisconsin.

**Zoning Submittal**  
**Conditional Use Permit**  
**Not for Construction**

**Bouril Design Associates, LLC**  
 574 D'Onofrio Drive, Suite 16  
 Madison, Wisconsin 53714  
 608-955-9400 www.bourildesign.com



**G-Units for**  
**G. Hamilton Homes, LLC**  
 Fahey Glen & Nobel Drive - Lot 7, Fitchburg, WI, 53711

revision index		
#	date	ref

project: xxx  
 date: 4/23/2024  
 drawn by: BDS

**A3.1**

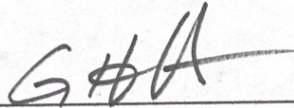


Conditional Use -  
Owner or Authorized Agent Acknowledgement

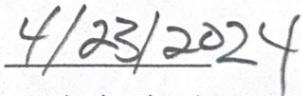
\*\* It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting a CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

By signing below, I certify that the information included with this Conditional Use application is true and correct, to the best of my knowledge. Any agent signing below verifies that he/she has the consent of the owner to file the application.

  
\_\_\_\_\_

Owner's or Authorized Agent's Signature



Date (DD/MM/YYYY)