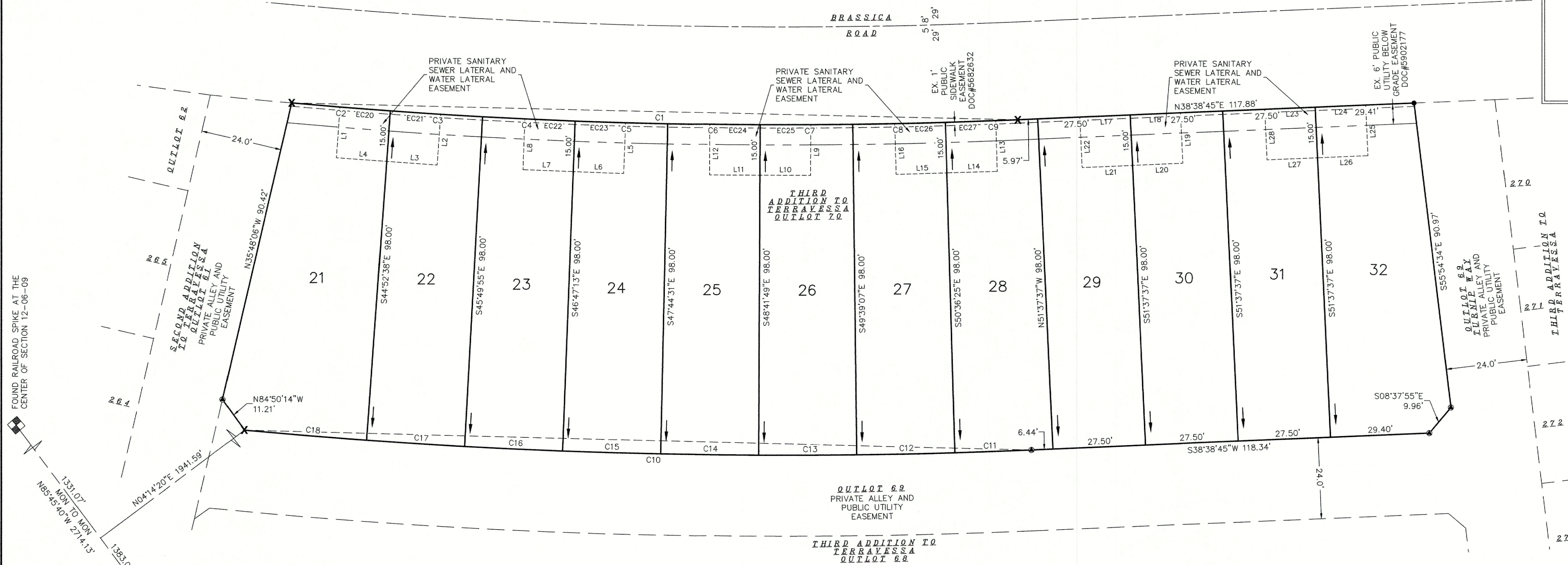
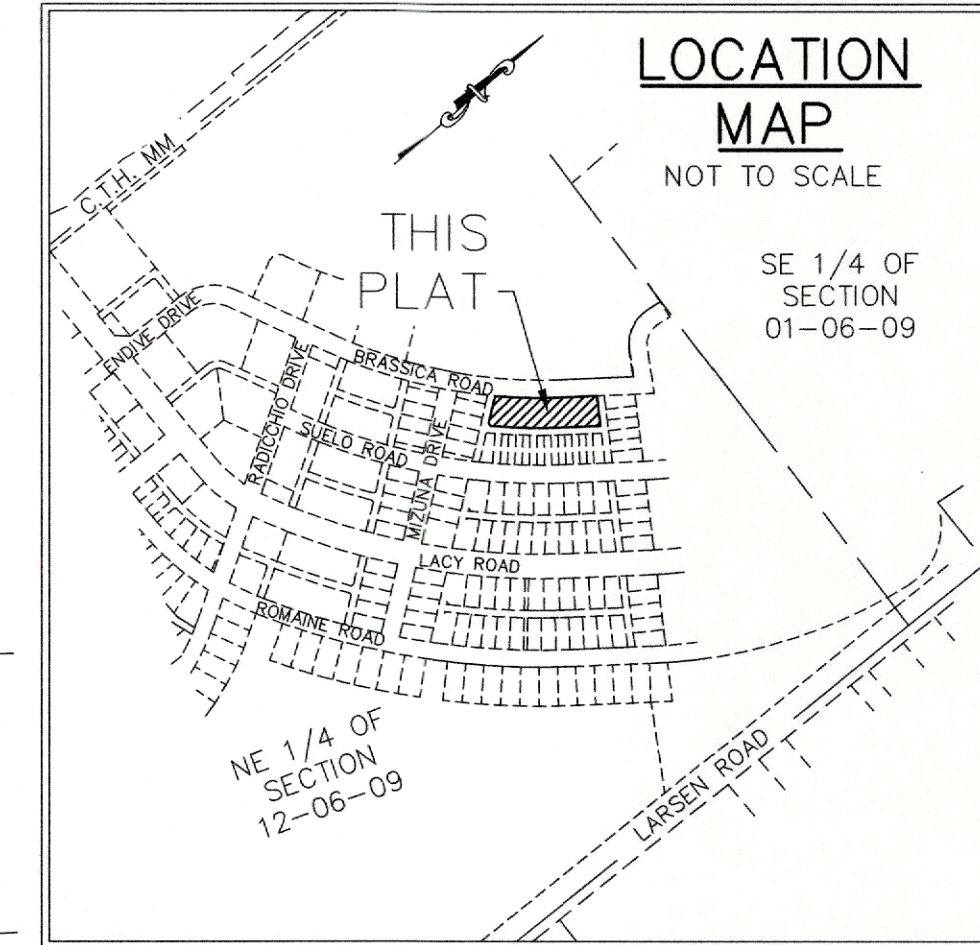
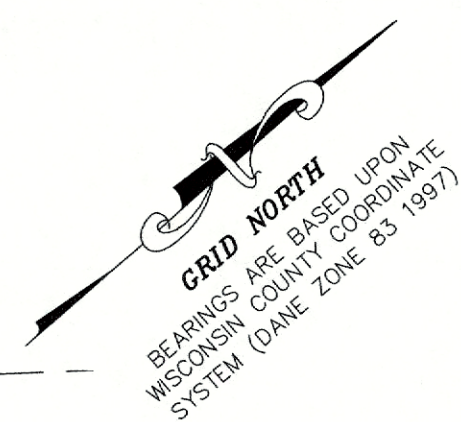
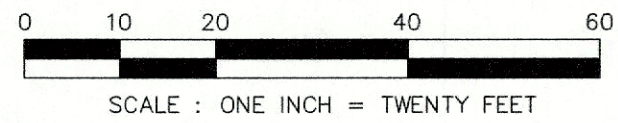


Easement Line Table			Easement Line Table			Easement Line Table		
Number	Direction	Length	Number	Direction	Length	Number	Direction	Length
L1	S44°52'38"E	15.07	L11	N41°18'11"E	15.00	L21	S38°38'45"W	15.00
L2	S44°52'38"E	15.07	L12	S48°41'49"E	15.07	L22	S51°37'37"E	15.00
L3	N45°07'22"E	15.00	L13	S50°36'24"E	15.07	L23	S38°38'45"W	15.00
L4	N45°07'22"E	15.00	L14	N39°23'36"E	15.00	L24	S38°38'45"W	15.00
L5	S46°47'14"E	15.07	L15	N39°23'36"E	15.00	L25	S51°37'37"E	15.00
L6	N43°12'46"E	15.00	L16	S50°36'24"E	15.07	L26	S38°38'45"W	14.97
L7	N43°12'46"E	15.00	L17	S38°38'45"W	15.00	L27	S38°38'45"W	15.00
L8	S46°47'14"E	15.07	L18	S38°38'45"W	15.00	L28	S51°37'37"E	15.00
L9	S48°41'49"E	15.07	L19	S51°37'37"E	15.00			
L10	N41°18'11"E	15.00	L20	S38°38'45"W	15.00			

# SILVER MAPLE COMMONS III

OUTLOT 70, THIRD ADDITION TO TERRAVESSA, AS RECORDED IN VOLUME 61-087B OF PLATS, ON PAGES 507-508, AS DOCUMENT NUMBER 5902177, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST AND NORTHWEST QUARTERS OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



**LEGEND**

- X FOUND CUT X IN CONCRETE
- FOUND 3/4" SOLID IRON ROD
- FOUND 1-1/4" SOLID IRON ROD. ALL OTHER CORNERS MARKED WITH A 3/4"x18" SOLID IRON ROD, WT. 1.50 LBS./FT.
- UTILITY EASEMENTS. SEE NOTE BELOW.
- DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.
- ( ) INDICATES RECORDED AS
- ARROWS INDICATE THE DIRECTION OF SURFACE DRAINAGE SWALE AT INDIVIDUAL PROPERTY LINES. SAID DRAINAGE SWALE SHALL BE GRADED WITH THE CONSTRUCTION OF EACH PRINCIPAL STRUCTURE AND MAINTAINED BY THE LOT OWNER UNLESS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_

Department of Administration

**CERTIFICATE OF CITY TREASURER**

I, Misty Dodge, being the duly elected, qualified and acting City Treasurer of the City of Fitchburg, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_, on any of the lands included in the final plat of SILVER MAPLE COMMONS III.

Date \_\_\_\_\_ Misty Dodge, City Treasurer

**Curve Table**

No.	Length	Radius	Delta	Chord Direction	Chord L.	TB IN	TB OUT
C1	215.93'	1650.00'	7°29'54"	N42°23'41.3"E	215.78'	N46°08'38"E	N38°38'45"E
C2	29.40'	1650.00'	1°01'16"	N45°38'00.2"E	29.40'	N46°08'38"E	N45°07'22"E
C3	27.50'	1650.00'	0°57'17"	N44°38'43.6"E	27.50'	N45°07'22"E	N44°10'05"E
C4	27.50'	1650.00'	0°57'18"	N43°41'25.8"E	27.50'	N44°10'05"E	N43°12'47"E
C5	27.50'	1650.00'	0°57'18"	N42°44'07.6"E	27.50'	N43°12'47"E	N42°15'29"E
C6	27.50'	1650.00'	0°57'18"	N41°46'49.6"E	27.50'	N42°15'29"E	N41°18'11"E
C7	27.50'	1650.00'	0°57'18"	N40°49'31.8"E	27.50'	N41°18'11"E	N40°20'53"E
C8	27.50'	1650.00'	0°57'18"	N39°52'14.0"E	27.50'	N40°20'53"E	N39°23'35"E
C9	21.52'	1650.00'	0°44'51"	N39°01'09.8"E	21.52'	N39°23'35"E	N38°38'45"E
C10	234.08'	1748.00'	7°40'21"	S42°28'55.1"W	233.90'	S38°38'45"W	S46°19'06"W
C11	22.80'	1748.00'	0°44'51"	S39°01'09.8"W	22.80'	S38°38'45"W	S39°23'35"W
C12	29.13'	1748.00'	0°57'18"	S39°52'14.0"W	29.13'	S39°23'35"W	S40°20'53"W
C13	29.13'	1748.00'	0°57'18"	S40°49'31.8"W	29.13'	S40°20'53"W	S41°18'11"W
C14	29.13'	1748.00'	0°57'18"	S41°46'49.6"W	29.13'	S41°18'11"W	S42°15'29"W
C15	29.14'	1748.00'	0°57'18"	S42°44'07.6"W	29.14'	S42°15'29"W	S43°12'47"W
C16	29.14'	1748.00'	0°57'18"	S43°41'25.8"W	29.14'	S43°12'47"W	S44°10'05"W
C17	29.13'	1748.00'	0°57'17"	S44°38'43.6"W	29.13'	S44°10'05"W	S45°07'22"W
C18	36.47'	1748.00'	1°11'43"	S45°43'14.0"W	36.47'	S45°07'22"W	S46°19'06"W
EC20	15.00'	1650.00'	0°31'15"	S45°22'59.9"W	15.00'	S45°07'22"W	S45°38'37"W
EC21	15.00'	1650.00'	0°31'15"	S44°51'44.7"W	15.00'	S44°36'07"W	S45°07'22"W
EC22	15.00'	1650.00'	0°31'15"	S43°28'24.2"W	15.00'	S43°12'47"W	S43°44'02"W
EC23	15.00'	1650.00'	0°31'15"	S42°57'09.0"W	15.00'	S42°41'31"W	S43°12'47"W
EC24	15.00'	1650.00'	0°31'15"	S41°33'48.2"W	15.00'	S41°18'11"W	S41°49'26"W
EC25	15.00'	1650.00'	0°31'15"	S41°02'33.1"W	15.00'	S40°46'56"W	S41°18'11"W
EC26	15.00'	1650.00'	0°31'15"	S39°39'12.6"W	15.00'	S39°23'35"W	S39°54'50"W
EC27	15.00'	1650.00'	0°31'15"	S39°07'57.5"W	15.00'	S38°52'20"W	S39°23'35"W

**CERTIFICATE OF CITY CLERK**

I, Tracy Oldenburg, City Clerk, do hereby certify that the conditions of said approval were fulfilled on this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_, and that said resolution further provided for the acceptance of those lands and rights dedicated by said SILVER MAPLE COMMONS III for public use.

Date \_\_\_\_\_ Tracy Oldenburg, City Clerk

**CERTIFICATE OF COUNTY TREASURER**

I, Adam Gallagher, being the duly elected, qualified and acting treasurer of the County of Dane, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or unpaid special assessments as of this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_, affecting the lands included in the plat of SILVER MAPLE COMMONS III.

Date \_\_\_\_\_ Adam Gallagher, County Treasurer

**NOTES:**

- UTILITY EASEMENTS. NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE, OR OBSTRUCT VISION ALONG ANY LOT LINE. THE DISTURBANCE OF A SURVEY MONUMENT BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.
- Given underground installation for electric and communications, the final grade shall not be altered by more than six (6) inches without written consent of the utilities involved.
- Except for light poles, no above ground pedestals, transformers or other switch equipment shall be allowed within street rights-of-way or along the front yards of lots. Said above ground structures shall be allowed at rear yards or where specifically called out on this plat.

**SURVEYOR'S CERTIFICATE:**

I, Michelle L. Burse, Professional Land Surveyor, hereby certify that in full compliance with the provisions of Chapter 236 of the Wisconsin State Statutes and the Land Division Ordinance of the City of Fitchburg and under the direction of AY DEVELOPMENT LLC, owner of said lands, I have surveyed, divided and mapped the plat of SILVER MAPLE COMMONS III, that such plat correctly represents all exterior boundaries and the subdivision of the lands surveyed and that such plat is described as follows: ALL OF OUTLOT 70, THIRD ADDITION TO TERRAVESSA, AS RECORDED IN VOLUME 61-087B OF PLATS, ON PAGES 507-508, AS DOCUMENT NUMBER 5902177, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST AND NORTHWEST QUARTERS OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

Dated this 28 day of MARCH, 2024

Signed: Michelle L. Burse  
Michelle L. Burse, P.L.S. No. 2020



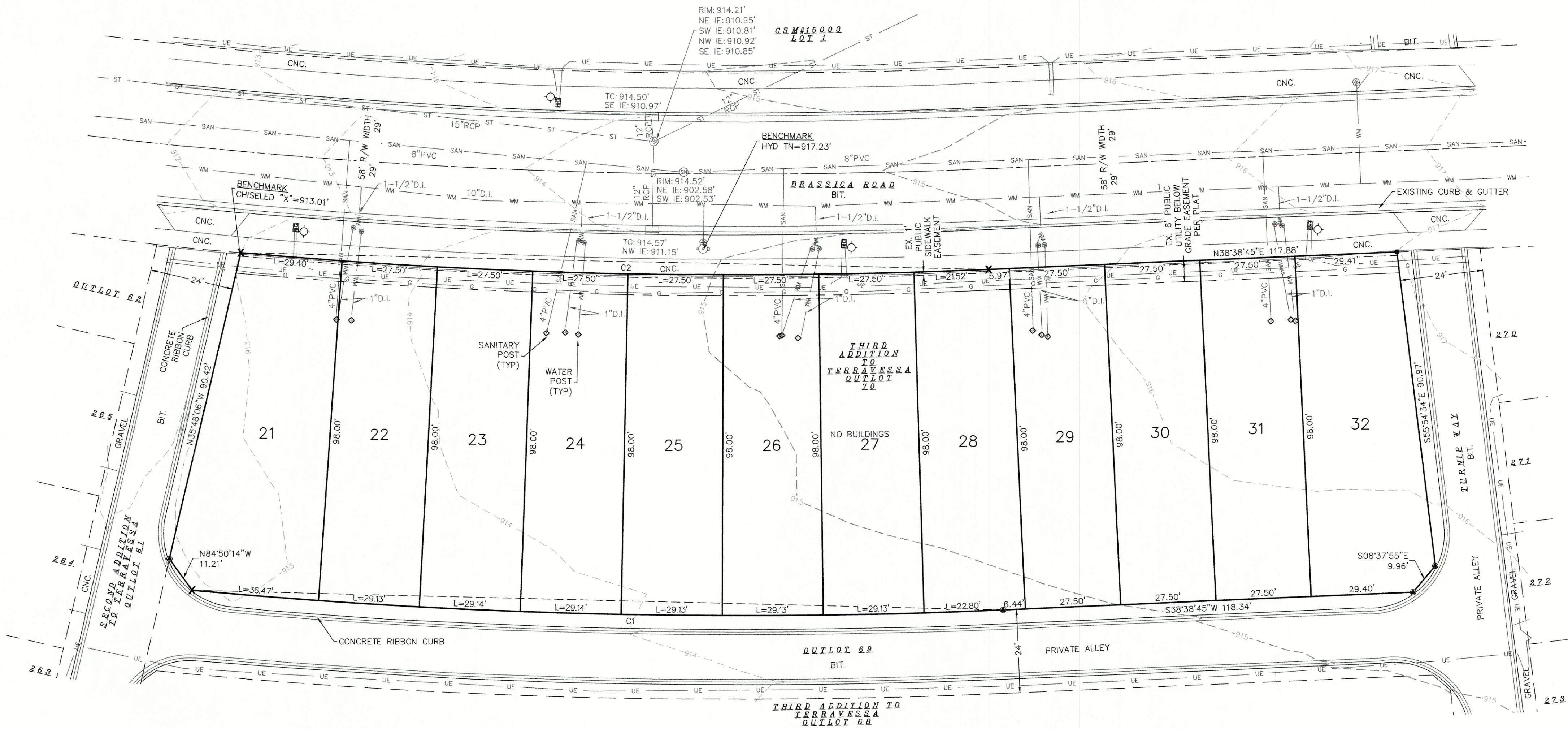
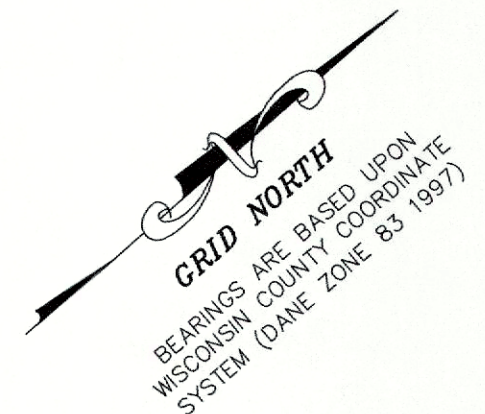
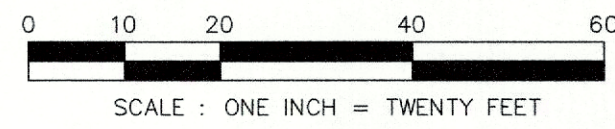
SURVEYED FOR: AY DEVELOPMENT LLC

SURVEYED BY: **Burse** surveying & engineering, Inc.

2801 International Lane, Suite 101  
Madison, WI 53704 608.250.9263  
Fax: 608.250.9266  
email: mburse@bse-inc.net  
www.bursesurveyengr.com

# PRELIMINARY PLAT OF SILVER MAPLE COMMONS III

OUTLOT 70, THIRD ADDITION TO TERRAVESSA, AS RECORDED IN VOLUME 61-087B OF PLATS, ON PAGES 507-508, AS DOCUMENT NUMBER 5902177, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST AND NORTHWEST QUARTERS OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



**LEGEND**

- 3/4" SOLID IRON ROD FOUND
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- 1-1/4" SOLID IRON ROD FOUND
- X FOUND CHISELED "X" IN CONCRETE
- × 851.2 SPOT ELEVATION
- OH— OVERHEAD UTILITY WIRE
- G— BURIED GAS LINE
- WM— WATER MAIN
- SS— SANITARY SEWER
- ST— STORM SEWER
- UT— BURIED TELEPHONE
- UE— BURIED ELECTRIC
- UTV— BURIED CABLE ACCESS TELEVISION LINE
- FO— BURIED FIBER OPTIC
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ AIR CONDITIONER
- ⊙ TV PEDESTAL
- ⊙ ELECTRIC PEDESTAL
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ GROUND LIGHT
- ⊙ TELEPHONE PEDESTAL
- ⊙ FIRE HYDRANT
- ⊙ SIGN
- ⊙ GUY WIRE
- ⊙ MAILBOX
- ⊙ BOLLARD
- ⊙ STORM SEWER INLET
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ ROUND CATCH BASIN
- ⊙ ELECTRIC HANDHOLE
- ⊙ SANITARY SEWER MANHOLE
- ( ) INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

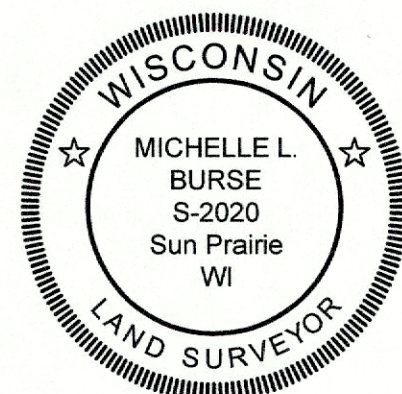
**DESCRIPTION FURNISHED:**

OUTLOT 70, THIRD ADDITION TO TERRAVESSA, AS RECORDED IN VOLUME 61-087B OF PLATS, ON PAGES 507-508, AS DOCUMENT NUMBER 5902177, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST AND NORTHWEST QUARTERS OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

**SURVEYOR'S CERTIFICATE:**

I, Michelle L. Burse, Professional Land Surveyor, No. 2020, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

Dated this 28 day of MARCH, 2024  
 Signed: Michelle L. Burse  
 Michelle L. Burse, P.L.S. No. 2020



Number	Sq. Ft.	Acres
21	3610	0.0829
22	2775	0.0637
23	2775	0.0637
24	2775	0.0637
25	2775	0.0637
26	2775	0.0637
27	2775	0.0637
28	2780	0.0638
29	2695	0.0619
30	2695	0.0619
31	2695	0.0619
32	3215	0.0738

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	234.08	1748.00	7°40'21"	S42°28'55"W	233.90
C2	215.93	1650.00	7°29'54"	N42°23'41"E	215.78

**NOTES:**

- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose. Survey was performed without the benefit of a title report.
- No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- Date of field work: March 21, 2024.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- All buildings, and surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- Routing of public utilities is based upon drawings obtained from the City of Fitchburg, markings provided by Digger's Hotline Ticket Number 20241216053 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
- Elevations are based upon NAVD88 datum. Elevations are transferred to the site utilizing RTK GPS surveying while observing the WSCORS Network. WI GE01D 12B
- Total Parcel Area = 34,341 sq. ft. or 0.7884 ac.

SURVEYED FOR :  
Coldwell Banker Real Estate Group

SURVEYED BY :  
**Burse**  
 surveying & engineering, Inc.  
 2801 International Lane, Suite 101  
 Madison, WI 53704 608.250.9263  
 Fax: 608.250.9266  
 email: mburse@bse-inc.net  
 www.bursesurveyengr.com

OUTLOT 70, THIRD ADDITION N TO  
TERRAVESSA