

Rec. 16.000971 11/19/18 7850. RB



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the R-1 district to the PD-SIP district the following described property:

PD-GIP PD-SIP

1. Location of Property/Street Address: Southwest corner of the intersection of Novation Parkway and Ski Lane

Legal Description - (Metes & Bounds, or Lot No. And Plat):

PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 01 AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 02, ALL IN TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

To allow for the construction of a multi-family residential development consistent with the City of Fitchburg Southdale Neighborhood Plan. Please refer to the General Implementation Plan written statement attached.

3. Proposed Development Schedule: Construction anticipated to begin on the first building in spring 2019.

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Multi-family and live/work dwelling units

Total Dwelling Units Proposed: 169 No. Of Parking Stalls: 258

Type of Non-residential Development (If Applicable): N/A

Proposed Hours of Operation: N/A No. Of Employees: N/A

Floor Area: N/A No. Of Parking Stalls: N/A

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Mid-Town Center LLC

Address: 345 W Washington Avenue, Madison, WI 53703 Phone No: 608-268-8106

Contact Person: Matt Meier

Email: mdm@alexandercompany.com

Address: Same as above. Phone No: Same as above.

Respectfully Submitted By: [Signature] Matt Meier
Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 11/16/2018 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$ 850.00

Permit Request No. RZ-2262-18

APPROVED
By Plan Commission 12/18/18



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Matt Meler, Mid-Town Center LLC

Address: 345 W Washington Avenue Phone Number of Contact Person: 608-268-8106

City, State, Zip Code: Madison, WI 53703 Email of Contact Person: mdm@alexandercompany.com

Project Address: SW corner of Novation Pkwy & Ski Ln Lot: _____ Subdivision: _____

Project Type: Multi-Family _____ Commercial _____ Industrial _____ Other
 _____ New _____ Addition

Impervious Surface Ratio (ISR): _____ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drives and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

APPROVED
 By Plan Commission
 12/18/18

Artisan Village

Specific Implementation Plan

Prepared for:

Alexander
Company

345 W. Washington Ave., Suite 301
Madison, WI 53703

Prepared by:

JSD *Professional Services, Inc.*
• *Engineers* • *Surveyors* • *Planners*

161 Horizon Drive, Suite 101
Verona, WI 53593

November 16, 2018
Rev. December 5, 2018

Project Background

In June 2018, the project site was rezoned from conventional zoning to Planned Development District – General Implementation Plan by both the Dane County Board (June 21) and the City of Fitchburg Common Council (June 26). Both entities found that the proposed General Implementation Plan was consistent with the Dane County and City of Fitchburg adopted plans, including:

- City of Fitchburg Comprehensive Plan;
- Dane County Comprehensive Plan;
- Southdale Neighborhood Plan; and
- County and City Planned Development District standards.

This Specific Implementation Plan will complete the Planned Development District rezoning process.

In conjunction with the General Implementation Plan, Certified Survey Maps (“CSMs”) were submitted to both the Dane County and the City of Fitchburg for review and consideration. The CSMs will combine the several smaller parcels currently comprising the project site in their respective jurisdictions. Both CSMs have been conditionally approved and are in the process of being finalized and recorded.

Introduction – Project Team

For over 35 years The Alexander Company has earned national recognition specializing in historic preservation, urban revitalization, adaptive reuse, and urban infill development. The company is the master developer of the Novation Campus, a master-planned urban-infill redevelopment of approximately 70 acres along Rimrock Road just south of the Beltline. The Alexander Company, along with the development team, is pleased to introduce the next phase, Artisan Village, to be built on land now owned by affiliates of The Alexander Company.

Project Site Location

The project site is generally located at the southeast corner of the intersection of Novation Parkway and Oregon Road/Ski Lane as highlighted in the red at the right. The project site lies within both the jurisdictions of the City of Fitchburg (southern three parcels, parcels 3-5 in the table below) and the Town of Madison (northern two parcels, parcels 1 and 2 in the table below).

Today, the project site is vacant.

In all, the project site is comprised of five parcels and roughly 8.22 acres as noted by Dane County, DCiMap:

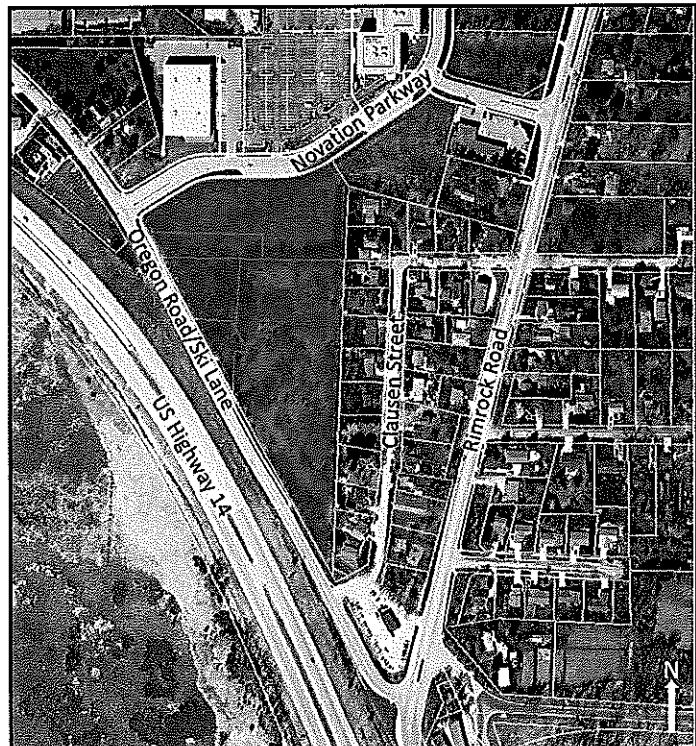


Table 1: Project Site Composition				
	Parcel ID No.	Parcel Size	Zoning	Jurisdiction
1	070936323330	2.38	C-1	Town of Madison/Dane County
2	070935498505	0.50	C-1	Town of Madison/Dane County
3	060902180009	0.71	R-L	City of Fitchburg
4	060902184809	0.32	R-L	City of Fitchburg
5	060901286004	4.42	R-L	City of Fitchburg

The northern two parcels comprising the project site are located in the Town of Madison. Upon the dissolution of the Town in 2022, the intergovernmental agreement stipulates that these parcels are to be absorbed into the City of Fitchburg.

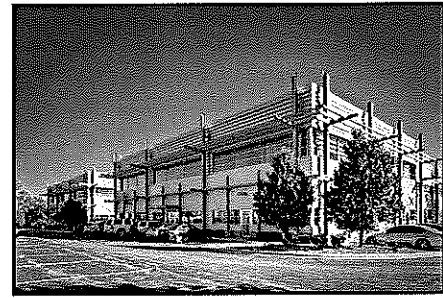
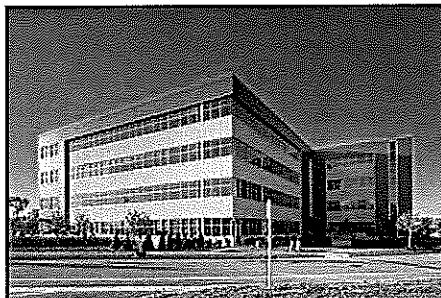
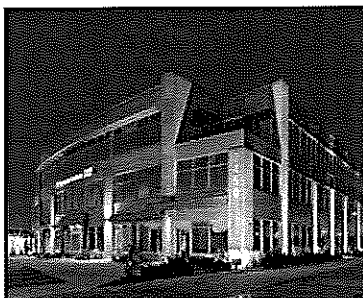
Project Site Context

The project site’s location presents a unique opportunity for development given the diversity of the existing surrounding uses, the transportation connectivity, and the goals identified in the Southdale Neighborhood Plan and Novation Campus Master Plan of creating a walkable, mixed-use center.

The project site is highly accessible to major transportation corridors, including Rimrock Road, Highways 12 and 14, and County Highway MM. The project site is located along the Madison Metro All Day Service Bus Route 16, with the nearest transit stops being less than a quarter- mile away along Rimrock Road, and the Peak Hour Service Route 49. Both routes run to the South Transfer Point, which is located at S Park Street and W Badger Road.

The Southdale Neighborhood Plan identifies the project site as being within an area recommended for Urban Residential and Commercial Employment land uses. Both land use recommendations are intended to support a mix of uses at varying levels of intensity, including higher density residential development, supportive neighborhood scale retail, live/work units, institutional and office uses, business incubator, etc. The neighborhood plan focuses on facilitating successful transitions between uses and districts in a variety of ways, including building mass and scale, architectural style, and landscaping.

The project site is also located within the existing larger Novation Campus, a multi-phase master planned development anticipating commercial, mixed-use retail, multi-family, and hotel uses. Currently, the project site is surrounded by a mix of uses at varying levels of intensity, including indoor recreation, single- and multi-family



residential, and various employment uses, including a car dealership, a financial institution, biotech laboratory, and various office uses.

In addition to being located within the larger Novation Campus, the project site is located within proximity (three-mile radius) of several activity centers providing additional services, including those located along South Park Street, South Towne Road, Lacy Road, and Fish Hatchery Road.

Uses immediately adjacent to the project site include indoor recreation and office to the north, across Novation Parkway, single-family detached residential to the east, motor vehicle sales to the south, and Oregon Road right-of-way and US HWY 14 on the west.

In addition, the project site is well-situated with easy access to the Beltline via Rimrock Road as well as US HWY 14, both regional major transit corridors. The project site is also well served by Metro Transit with multiple bus stops within a one-quarter mile of the project site.

Artisan Village - Specific Implementation Plan Overview

The project site is roughly 8.22 acres located in both the Town of Madison on the north, and the City of Fitchburg on the south. The project site's location is unique in that it is surrounded by a mix of uses, ranging from single-family residential to indoor recreation, and it is located within the larger Novation Campus, a mixed-use center. The Artisan Village is designed to be sensitive to the existing site context, providing for adequate transitions between the non-residential uses to the north, across Novation Parkway, and the single-family residential development to the east.

Overall, the proposed development is comprised of approximately 169 apartment-style residential units spread across a collection of six buildings ranging in size from 17,000 square-feet to 35,000 square-feet and which are organized around a central green space and clubhouse amenity. Refer to the following tables for detailed development data, including Land Use Summary, Building Summary, and Parking Summary tables as well as **Attachment A: Artisan Village Specific Implementation Plan**.

Land Use Summary Table			
	City of Fitchburg	Town of Madison	Total
Site Area	5.34 acres	2.88 acres	8.22 acres
Lot Coverage (building and impervious)	2.97 acres	1.83 acres	4.8 acres
Open Space	1.34 acres (0.25)	0.42 acres (0.14)	1.76 acres (0.21)
Stormwater Management	1.03 acres	0.63 acres	1.66 acres
Building Coverage	62,136	35,506	97,642
FAR	0.48	0.62	0.53
Number of Units	102	67	169
Density	19.1 du/acre	23.26 du/acre	20.55 du/acre

Building Summary Table					
City of Fitchburg					
	Floor Area (sq. ft.)	Number of Stories	1-BD Units	2-BD Units	Total Units
Building A	16,863	2	12	5	17
Building B	34,050	2	26	8	34
Building C	16,863	2	12	5	17
Building D	34,050	2	26	8	34
Club House (Building E)	4,220	1	N/A	N/A	N/A
Detached Garage F	2,132	1	N/A	N/A	N/A
Detached Garage G (w/maintenance garage)	4,871	1	N/A	N/A	N/A
Town of Madison					
Building AA	34,050	2	26	8	34
Building BB	43,909	3	13	20	33
Total	191,008	N/A	115	54	169

Vehicle Parking Summary Table			
	City of Fitchburg	Town of Madison	Total
Surface Parking	50	76	126
Tuck-under Garage	34	22	56
Detached Garage	24	0	24
Tandem Parking (Behind Tuck-under Garages)	34	18	52
Total	142	116	258
Parking Ratios			
Stalls per Unit	142/102 = 1.39	116/67 = 1.73	258/169 = 1.52
Stalls per Bedroom	142/128 = 1.10	116/97 = 1.19	258/225 = 1.14

Bicycle Parking Table			
	City of Fitchburg	Town of Madison	Total
Public – Short Term Parking	22 (11 racks)	8 (4 racks)	30 (15 racks)

Permitted Uses. Overall, the development proposal is comprised of roughly 8.22 acres and approximately 169 apartment-style residential units, including live/work units. The intent of the live-work units is twofold; to provide a transition from the commercial uses to the north; and to provide an amenity and housing option. The live/work units are aimed at providing workforce housing while allowing for start-up or home occupation businesses, service type uses, or artist workspace.

Planned Development Permitted Uses as defined by the City of Fitchburg Zoning Code
Uses permitted as noted in the RH zoning district
Multi-family residential dwelling unit structures
Multiple multi-family dwelling unit structures per lot
Live/work units, including a limited vocational activity compatible with residential occupancy. Such uses may include, but are not limited to artist studio, office, small-scale commercial space, retail, personal and professional services, etc.
Home occupations
Accessory uses applicable to residential districts

Architectural Design and Materials. General building massing will be two-stories for all of the proposed buildings with the exception of the building fronting on Novation Parkway, which will be three stories. The design intent is to present a building forward design with parking being located behind buildings and screened from view. Building design is intended to reflect context, with a more modern, flat-roofed architectural style along Novation Parkway, while a more traditional residential building design is being utilized for those buildings located adjacent to the Clausen Street residences.

Generally, the building material palette is a mix of modern and traditional materials, including clapboard siding, corrugated metal paneling, and masonry. The application of materials is intended to enhance architecture by creating a strong base course that anchors the building and provides a human scale (masonry), while also creating interest.

Landscape. Landscape materials that will compliment and build on visual themes and styles established by the proposed architecture within the Artisan Village development have been chosen with an emphasis on native species, particularly perennial grasses and wildflowers, around building foundations.

Landscaping and outdoor spaces are provided throughout the development to create welcoming places to sit or walk between the buildings. Plantings are used to highlight and define the edges of the overall development and architecture.

Site Lighting. Recognizing that site lighting contributes to placemaking as well as providing additional security, site lighting is provided in a few different forms, including pole mounted fixtures in parking areas, bollards along certain internal pathways and open spaces, and wall mounted fixtures to serve both as security lighting at building entries and as architectural accents.

Overall, site lighting is dark skies compliant, consistent with both the City of Fitchburg and Dane County zoning codes.

Sign Program. Three types of signage are anticipated, including:

- Apartment complex monument signage, one located along Novation Parkway, subject to Dane County sign standards and one located along Ski Lane, subject to City of Fitchburg standards;
- Projecting signage for the live/work units subject to Dane County signage standards; and
- Directional wayfinding signage located internal to the development, subject to both the City and County standards.

Based on review of the current code standards within both the City and County zoning ordinances, sign code modifications are anticipated, including:

- Apartment complex monument signage: size, height, and setback (Dane County and City of Fitchburg ordinances); and
- Directional signage: height (Dane County ordinances).

Sign Code Compliance – Reference Table (see signage exhibit for more details)			
	City of Fitchburg	Dane County	Proposed
Monument Signage	Total sign area: 150 sq. ft. Copy area size: 40 sq. ft.	Considered ground or wall signs Size: 32 sq. ft. Height: 8 ft. Distance from intersection: 100' Setback: 5 ft. min.	Total sign area: 54.4 sq. ft. one size/109 sq. ft. both sides Copy area: 29 sq. ft. one side/58 sq. ft. both sides Height: 4 ft. horizontal/13 ft. vertical Setback: 5 ft.
Projecting Signage	N/A	Size: 32 sq. ft. Height: 15 feet Clearance: Bottom edge shall be a minimum of 8 feet from the ground	Size: 6.25 sq. ft. one side/12.5 sq. ft. total Projection: 2'-10" Height: 11 ft. Clearance: 8 ft.
Directional Signage	Considered auxiliary signs and are exempt from permitting Size: 16 sq. ft. max.	Considered auxiliary signage Size: Max. 5 sq. ft. Total sign copy area: 50 sq. ft. Height: 4 ft. max.	Size: 3 sq. ft. Total copy area: 9 sq. ft. Height: 5'-4"

City and County Zoning Code Modifications

City of Fitchburg (RH Zoning)

Section 22-145, Conditional Uses

Section 22-146, Dimensional Standards, including lot area requirements and setbacks

City of Fitchburg Parking Requirements and Driveway Standards, Revised July 2010, two parking stalls per residential dwelling unit are required.

Chapter 26, Signs

Dane County (C-1 Zoning)

Section 10.13(2), Conditional Uses

Section 10.13(3), 5-7, Setbacks and Height Requirements

Section 10.11(5), Minimum Lot Width and Area

Subchapter II, Sections 10.70-10.93, Signs (including size, shape, and projection)

Schedule of Completion

Construction is anticipated to begin on the first building spring 2019. The preliminary timeline calls for subsequent buildings to be delivered on a staggered basis until completion in late 2020 or early 2021.

Attachments:

Attachment A: Artisan Village Specific Implementation Plan

The Alexander Company
345 W. Washington Ave., Ste. 301
Madison, WI 53703

**CITY OF FITCHBURG
REZONING DESCRIPTION FROM PDD-GIP TO PDD-SIP**

Part of the Northwest Quarter of the Northwest Quarter of Section 01 and the Northeast Quarter of the Northeast Quarter of Section 02, all in Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin, described more particularly as follows:

Beginning at the Northwest corner of Section 01, aforesaid; thence South 87 degrees 56 minutes 27 seconds East, along the North line of the Northwest Quarter of Section 01, aforesaid, 64.29 feet to the Southeast corner of Section 36, Township 07 North, Range 09 East; thence South 89 degrees 05 minutes 41 seconds East along the North line of the Northwest Quarter of Section 01, aforesaid, 235.05 feet; thence South 02 degrees 36 minutes 50 seconds West, 827.80 feet to the centerline of old U.S. highway 14; thence North 44 degrees 00 minutes 37 seconds West along said centerline, 119.72 feet to the Northeasterly right-of-way of Oregon Road (old U.S. highway 14); thence North 28 degrees 33 minutes 39 seconds West along said right-of-way line, 854.87 feet to the North line of the Northeast Quarter of Section 02, aforesaid; thence South 89 degrees 00 minutes 30 seconds East along said North line, 230.40 feet to the Point of Beginning.

Parcel contains 232,755 square feet or 5.343 acres.

ARTISAN VILLAGE

CITY OF FITCHBURG, WISCONSIN

LOT 14, NOVATION CAMPUS II, AND PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, ALL IN TOWNSHIP 07 NORTH, RANGE 09 EAST, TOWN OF MADISON, DANE COUNTY, WISCONSIN.

PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 01 AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 02, ALL IN TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

#	Date	Description
1	05 22 18	COUNTY CITY LDP SUBMITTAL
2	06 05 18	REVISED LDP SUBMITTAL
3	06 08 18	REVISED LDP SUBMITTAL
4	11 16 18	SIP SUBMITTAL
5	12 05 18	SIP RESUBMITTAL
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn:
Approved:

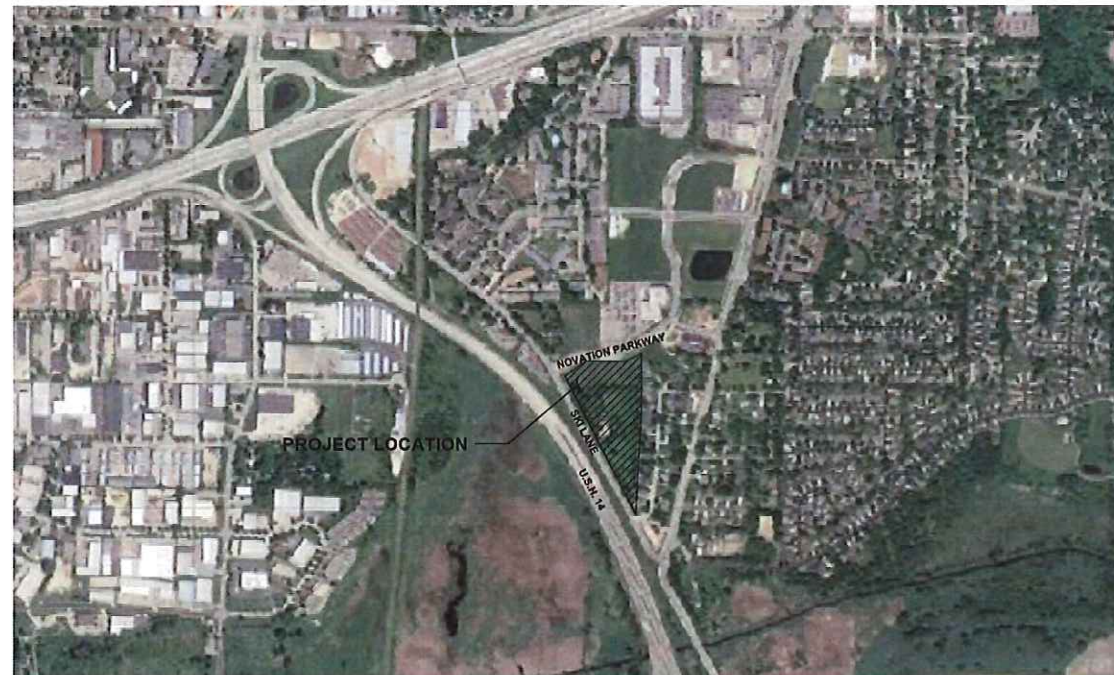
SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
TS0.0

JSD PROJECT NO: 17-8230

DRAWING INDEX

TS0.0	TITLE SHEET
S1.0	EXISTING CONDITIONS SURVEY
C1.0	OVERALL SITE PLAN
C1.1 - C1.6	DETAILED SITE PLAN
C2.0	OVERALL GRADING AND EROSION CONTROL PLAN
C2.1 - C2.6	DETAILED GRADING PLAN
C3.0	OVERALL UTILITY PLAN
C3.1	UTILITY PLAN NORTH
C3.2	UTILITY PLAN SOUTH
C4.0	DETAILS SITE
C4.1	DETAILS SITE
C4.2	DETAILS EROSION CONTROL
C4.3	DETAILS UTILITY
C4.4	DETAILS PIPE AND STRUCTURE TABLES
C4.5	DETAILS STORMWATER FACILITIES
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN - NORTHEAST
L1.2	LANDSCAPE PLAN - CENTRAL
L1.3	LANDSCAPE PLAN - SOUTH
L1.4	LANDSCAPE PLAN - NORTHWEST
L1.5	LANDSCAPE PLAN - SOUTHWEST
L1.6	LANDSCAPE PLAN - CLUBHOUSE
L2.0	LANDSCAPE DETAILS, NOTES & SPECIFICATIONS
L2.1	LANDSCAPE NOTES & SPECIFICATIONS



PROJECT AREA



PROJECT INFORMATION

OWNER
THE ALEXANDER COMPANY
CONTACT: MATT MEIER
345 W. WASHINGTON AVE STE 301
MADISON, WI 53703
P: 608-268-8106
mdm@alexandercompany.com

ARCHITECT
KAHLER SLATER
CONTACT: THOMAS MILLER
44 EAST MIFFLIN ST.
MADISON, WI 53703
P: 414-290-3748
tmiller@kahlerslater.com

CIVIL CONSULTANT
JSD PROFESSIONAL SERVICES
CONTACT: HANS JUSTESON
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
P: 608-848-5060 (OFFICE)
hans.justeson@jdsinc.com

MUNICIPAL CONTACTS

TOWN OF MADISON
DEPARTMENT OF PUBLIC WORKS
CONTACT: RENEE SCHWASS
2120 FISH HATCHERY RD.
MADISON, WI 53713-1289
P: 608-210-7264
schwassar@town.madison.wi.us

CITY OF FITCHBURG
DEPARTMENT OF PUBLIC WORKS
CONTACT: BILL BALKE, P.E.
5520 LACY ROAD
FITCBURG, WI 53711
P: 608-270-4260
bill.balke@fitchburgwi.gov

UTILITY CONTACTS

GAS
MADISON GAS AND ELECTRIC CO.
CONTACT: STEVE BEVERSDORF
133 S. BLAIR ST.
MADISON, WI 53701-1231
P: 608-252-1552
C: 608-444-9620
Sbeversdorf@mge.com

CABLE TV
CHARTER COMMUNICATIONS
CONTACT: GLEN JAKUSZ
2701 DANIELS ST.
MADISON, WI 53718
P: 608-274-3822
C: 608-209-3202
gjakusz@chartercom.com

TELEPHONE
AT&T
CONTACT: LISA GUNDLACH
316 W. WASHINGTON AVE.
MADISON, WI 53703
P: 608-252-2432
lg6852@att.com

ELECTRIC
MADISON GAS AND ELECTRIC CO.
CONTACT: CHRIS ERICKSON
133 S. BLAIR ST.
MADISON, WI 53701-1231
P: 608-252-5670
C: 608-516-7940
cerickson@mge.com



Toll Free (800) 242-8511

LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
▭	BUILDING OUTLINE
▭	EDGE OF PAVEMENT
▭	STANDARD CURB AND GUTTER
▭	REJECT CURB AND GUTTER
▭	ASPHALT PAVEMENT
▭	HEAVY DUTY ASPHALT PAVEMENT
▭	CONCRETE PAVEMENT
○	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
○	PARKING BOLLARD
○	ADA PARKING BOLLARDS/SIGNS
▭	BOULDER RETAINING WALL
▭	GABION/CORTEN RETAINING WALL
▭	GABION RETAINING WALL (UNLESS NOTED OTHERWISE)

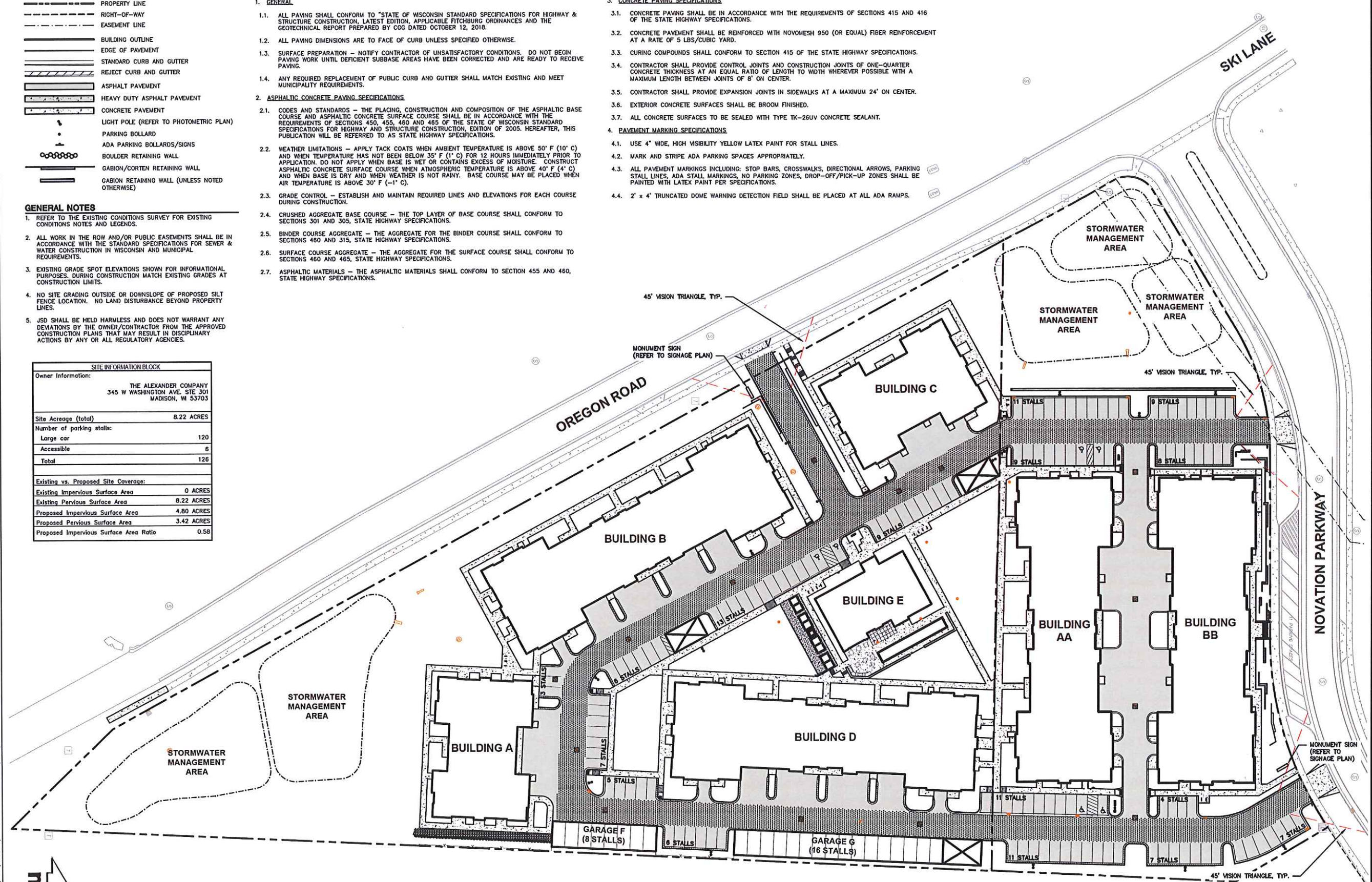
- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

SITE INFORMATION BLOCK

Owner Information:	
THE ALEXANDER COMPANY 345 W WASHINGTON AVE. STE 301 MADISON, WI 53703	
Site Acreage (total)	8.22 ACRES
Number of parking stalls:	
Large car	120
Accessible	6
Total	126
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	0 ACRES
Existing Pervious Surface Area	8.22 ACRES
Proposed Impervious Surface Area	4.80 ACRES
Proposed Pervious Surface Area	3.42 ACRES
Proposed Impervious Surface Area Ratio	0.58

- PAVING NOTES**
- GENERAL**
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE FITCHBURG ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGG DATED OCTOBER 12, 2018.
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
 - ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

- PAVING NOTES (CONT.)**
- CONCRETE PAVING SPECIFICATIONS**
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-260V CONCRETE SEALANT.
 - PAVEMENT MARKING SPECIFICATIONS**
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.



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CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
FITCHBURG, WI
DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	11.16.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

SHEET TITLE:
OVERALL SITE PLAN

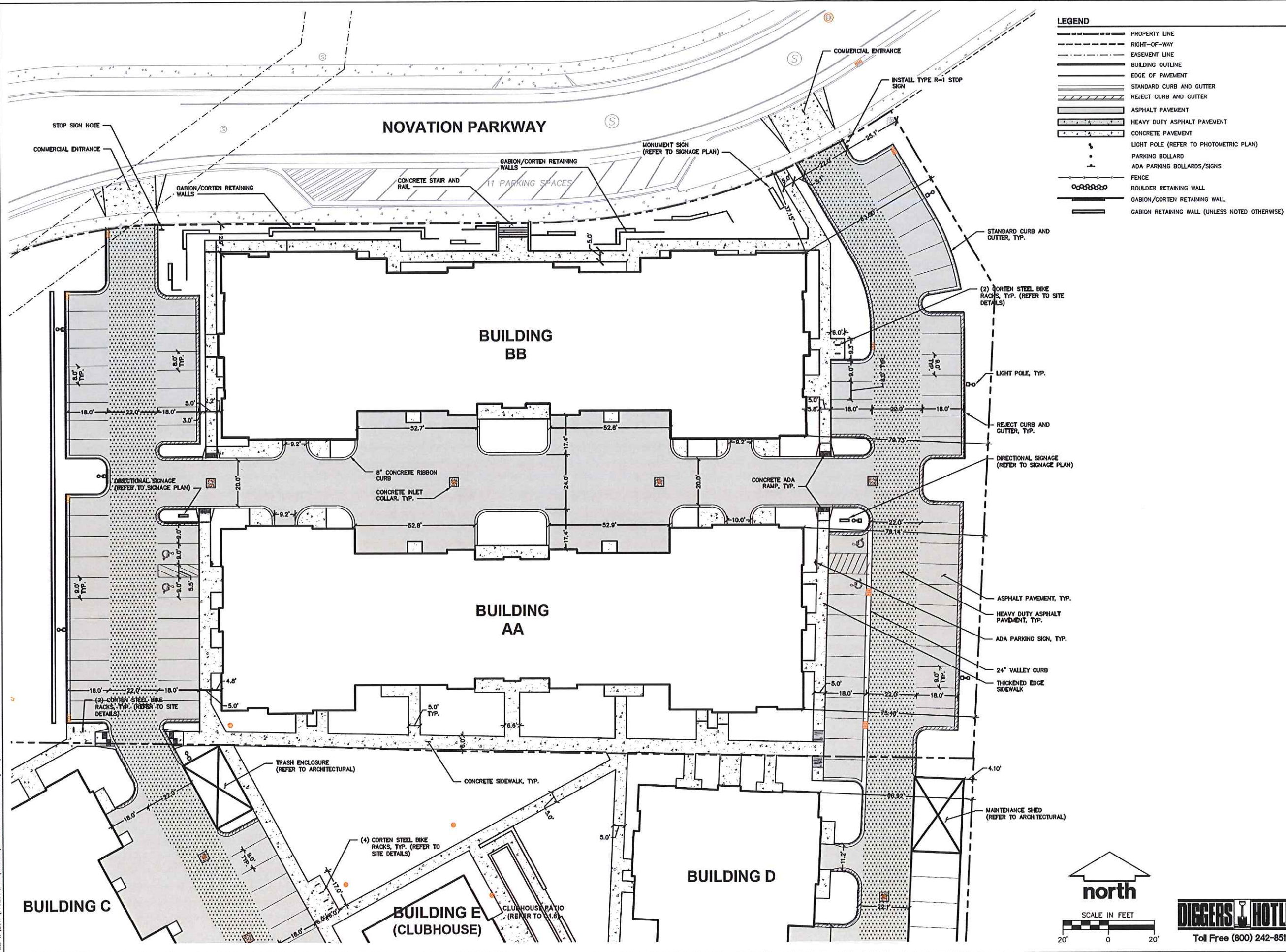
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LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	PARKING BOLLARD
	ADA PARKING BOLLARDS/SIGNS
	FENCE
	BOULDER RETAINING WALL
	GABION/CORTEN RETAINING WALL
	GABION RETAINING WALL (UNLESS NOTED OTHERWISE)



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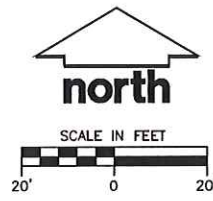
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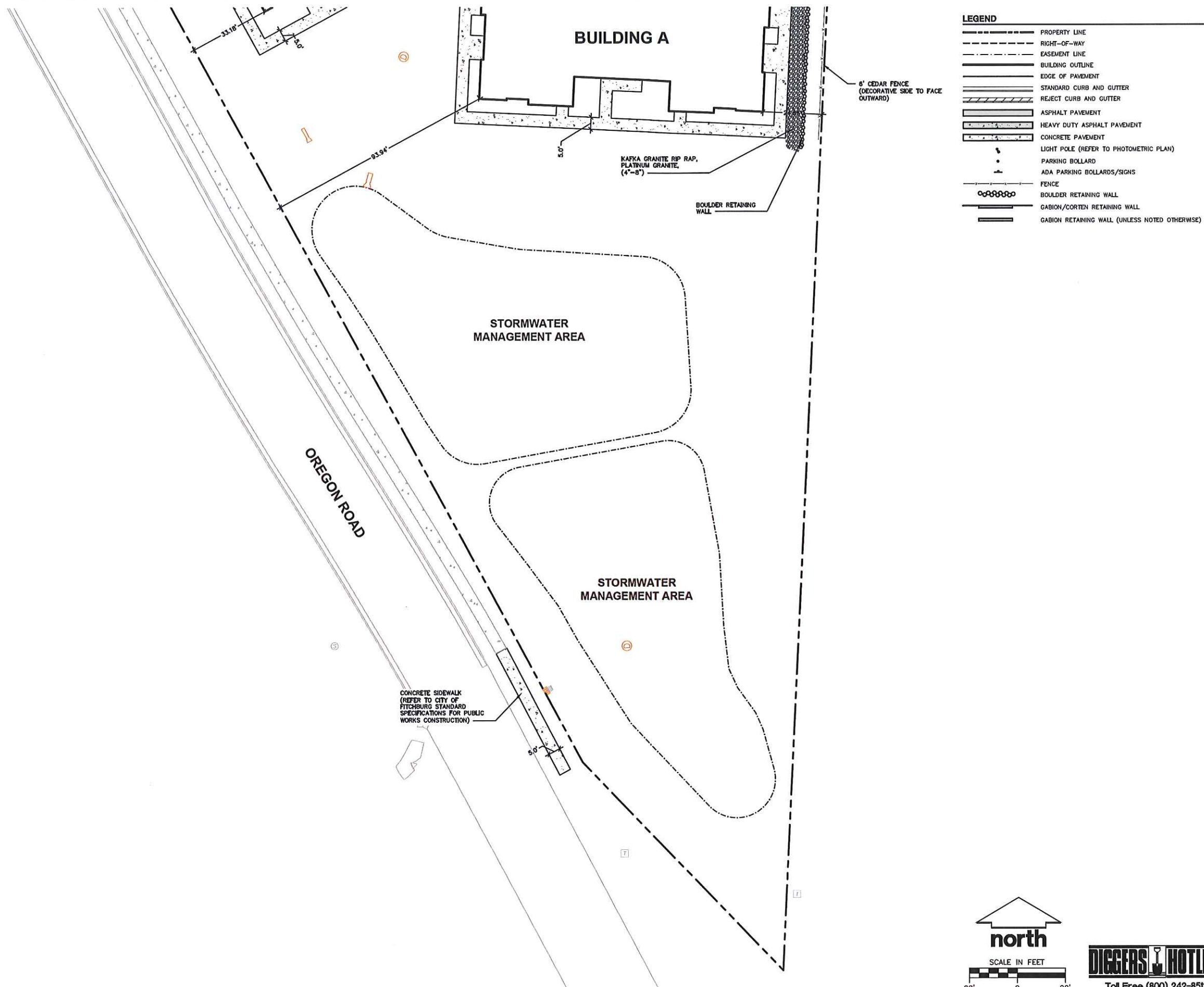
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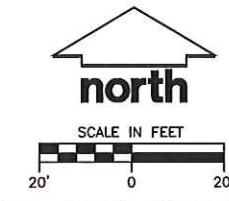
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LEGEND

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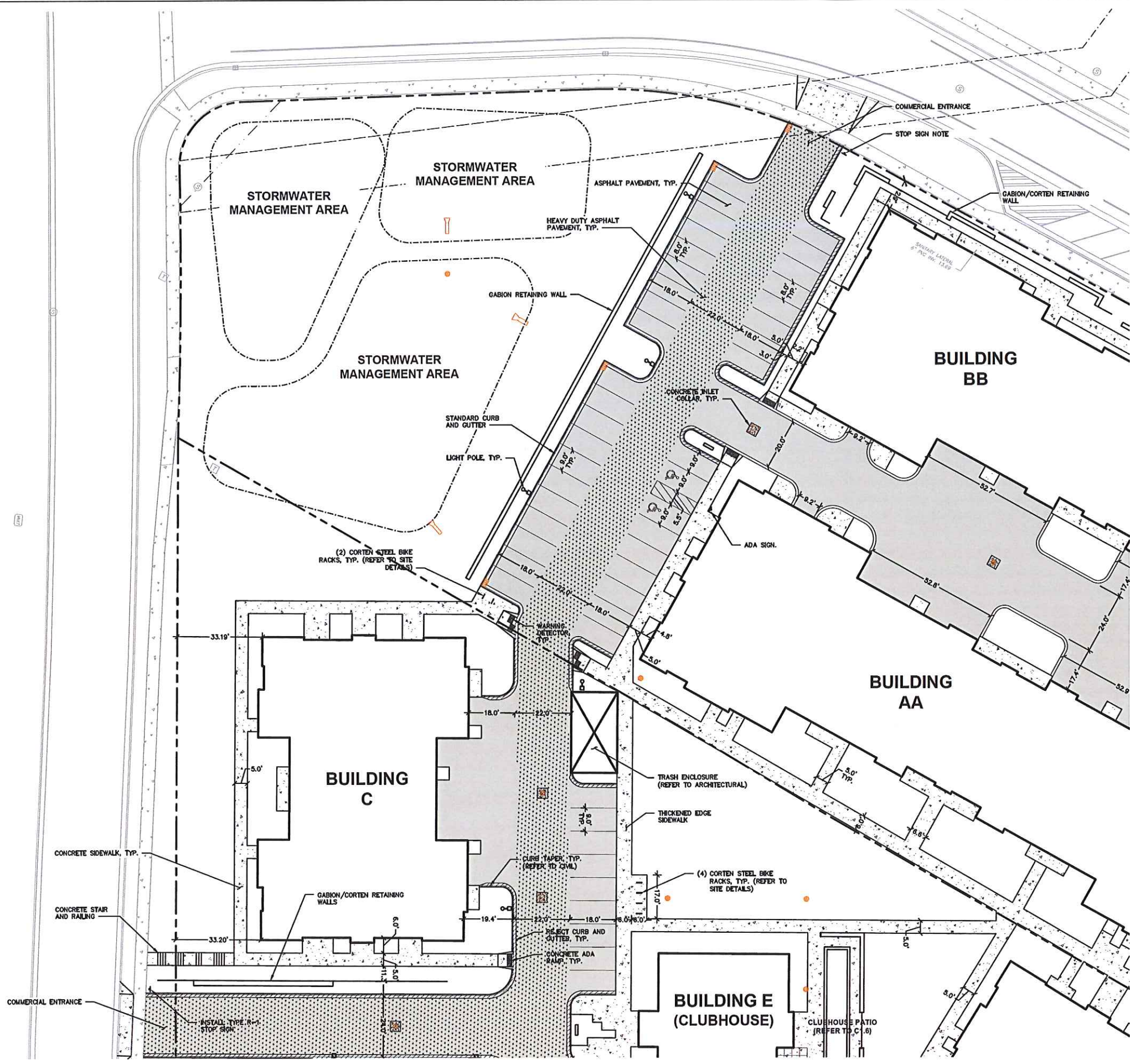
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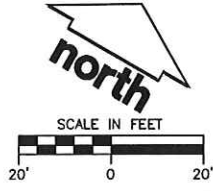
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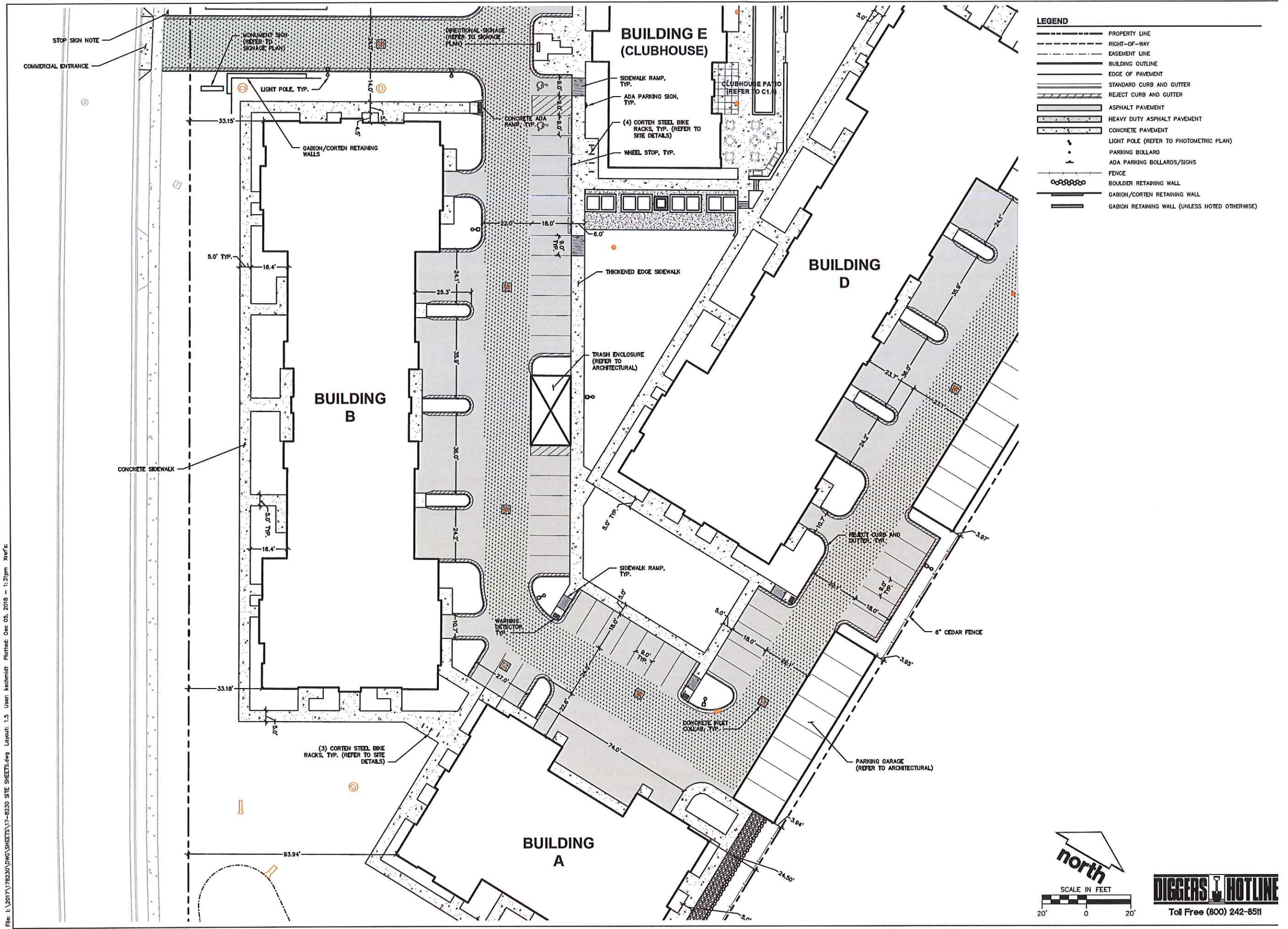
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LEGEND

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- - - RIGHT-OF-WAY
- - - EASEMENT LINE
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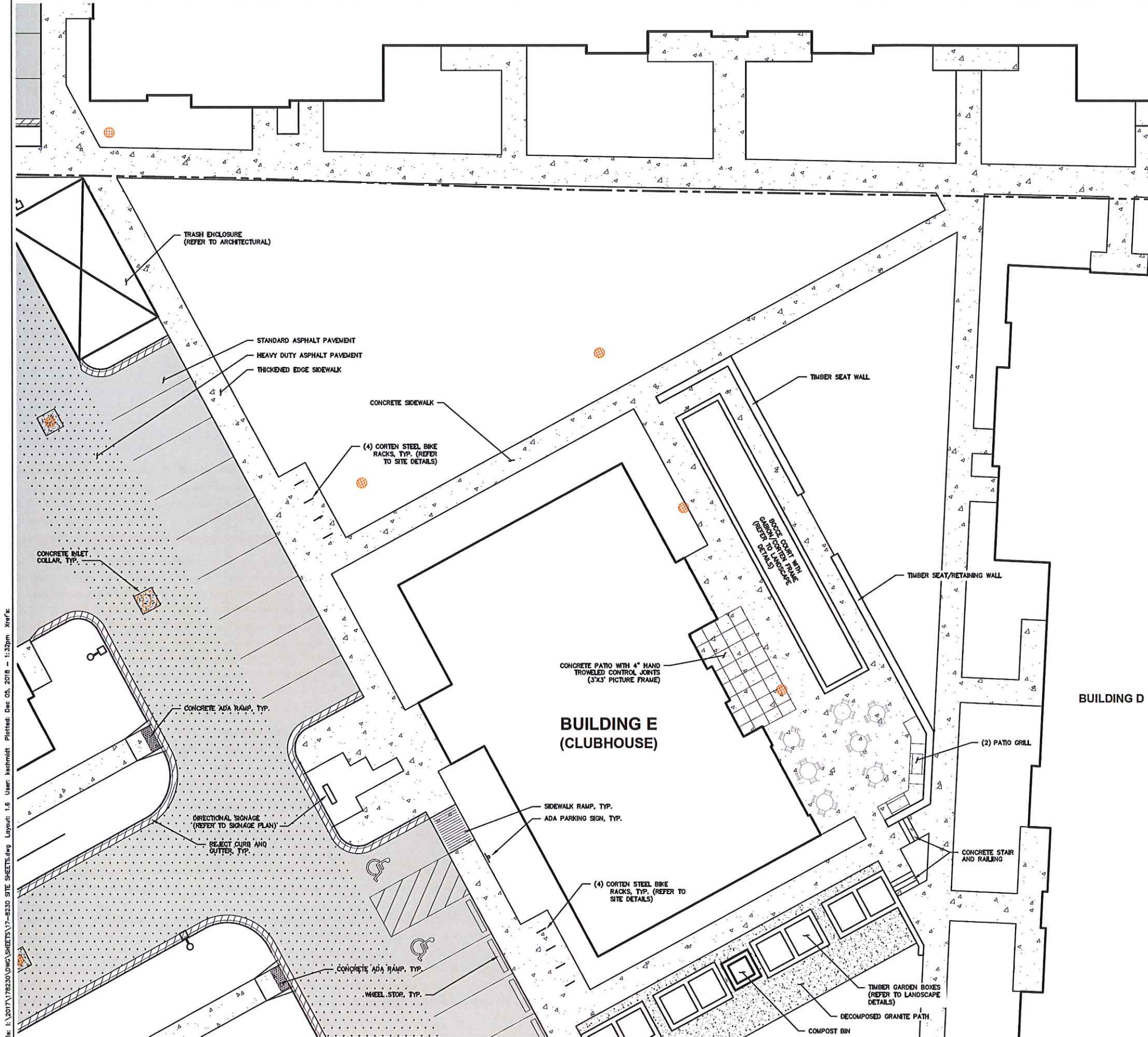
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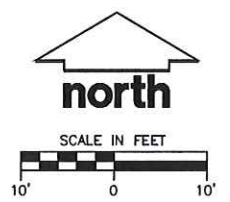
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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- INSTALL A CONSTRUCTION ENTRANCE, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED. CONTRACTOR TO ONLY EXIT FROM CONSTRUCTION ENTRANCE LOCATIONS SHOWN ON EROSION CONTROL PLAN.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SEVENTEEN (17) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL AND MAINTENANCE OF EROSION CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL KEEP COMPLETE INSPECTION FORMS ON SITE.
- CONTRACTOR SHALL CLEAN THE PUBLIC STREET DAILY AND AS DIRECTED BY ENGINEER. HYDRAULIC FLUSHING IS NOT ALLOWED.

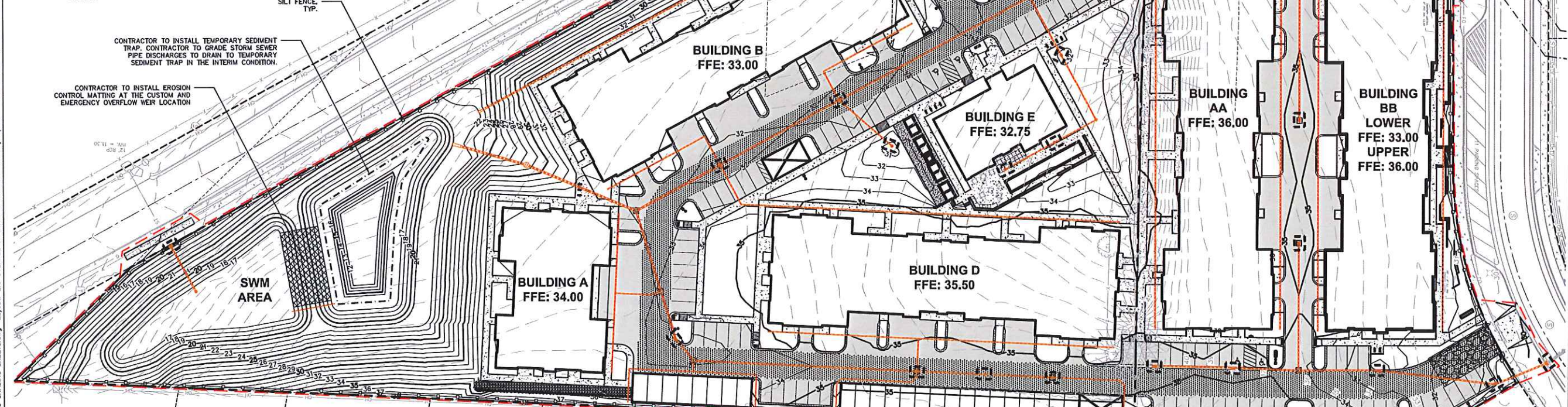
- 17. STABILIZATION PRACTICES:**
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING
 - CONTRACTOR TO INSTALL TEMPORARY SEDIMENT TRAP. CONTRACTOR TO GRADE STORM SEWER PIPE DISCHARGES TO DRAIN TO TEMPORARY SEDIMENT TRAP IN THE INTERIM CONDITION.
 - CONTRACTOR TO INSTALL EROSION CONTROL MATTING AT THE CUSTOM AND EMERGENCY OVERFLOW WEIR LOCATION.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOG/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

CONSTRUCTION SEQUENCING

- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- REMOVE EXISTING PAVEMENT/STRUCTURES
- INSTALL UTILITIES AND UNDERGROUND STORMWATER TREATMENT FACILITY.
- EXCAVATE BUILDING FOUNDATIONS.
- COMPLETE ALL OTHER GRADING.
- INSTALL STORM SEWER & INLET PROTECTION MEASURES.
- INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
- STABILIZE NEWLY GRADED SOILS.
- COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.



LEGEND (GRADING & EROSION CONTROL PLAN)

--- PROPERTY LINE	ASPHALT PAVEMENT	□ INLET PROTECTION, TYPE D
- - - RIGHT-OF-WAY	HEAVY DUTY ASPHALT PAVEMENT	SPOT ELEVATION
- - - EASEMENT LINE	CONCRETE PAVEMENT	EP - EDGE OF PAVEMENT
--- BUILDING OUTLINE	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)	FG - FINISH GRADE
--- EDGE OF PAVEMENT	DRAINAGE DIRECTION	EC - EDGE OF CONCRETE
--- STANDARD CURB AND GUTTER	PRIVATE STORM SEWER	RIM - RIM ELEVATION
--- REJECT CURB AND GUTTER	SILT FENCE	
--- PROPOSED 1 FOOT CONTOUR	CONSTRUCTION LIMITS	
--- 904	GRADE BREAK	
--- 905		

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CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
ARTISAN VILLAGE NOVATION CAMPUS

PROJECT LOCATION:
FITCHBURG, WI
DANE COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	11.18.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

SHEET TITLE:
OVERALL GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
C2.0

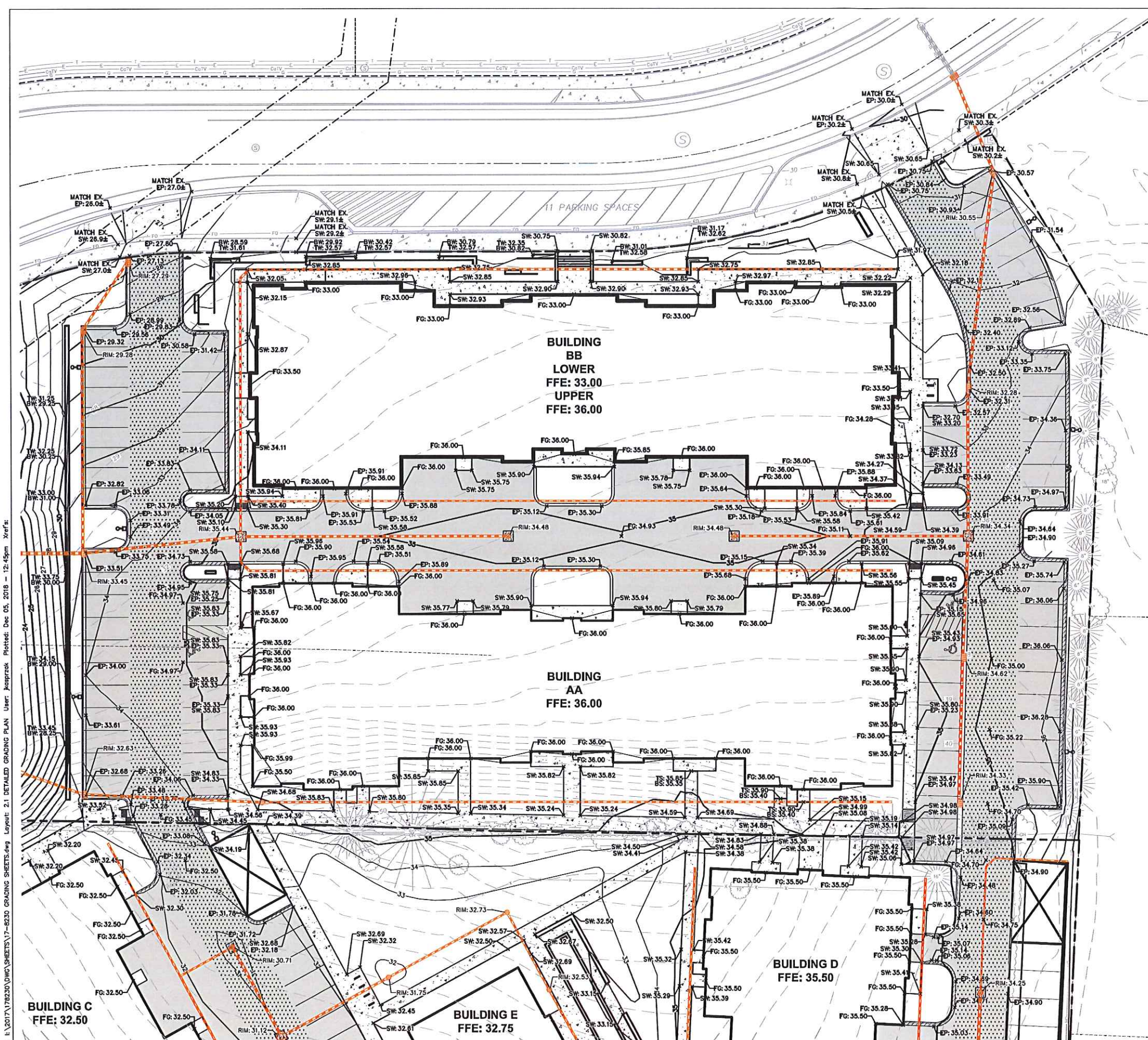
JSD PROJECT NO: 17-8230

File: I:\2017\178230\DWG\SHEETS\17-8230 GRADING SHEETS.dwg Layout: 2.0 OVERALL GRADING & EC PLAN User: jasonrak Plotted: Dec 05, 2018 - 12:41pm Xref:

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CONTRACTOR TO PRESERVE AND PROTECT EXISTING WHITE PINE TREES BOARDING EAST PROPERTY LINE

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LEGEND (GRADING & EROSION CONTROL PLAN)

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- 904 PROPOSED 1 FOOT CONTOUR
- 905 PROPOSED 1 FOOT CONTOUR
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGNS
- DRAINAGE DIRECTION
- PRIVATE STORM SEWER
- SILT FENCE
- CONSTRUCTION LIMITS
- GRADE BREAK
- INLET PROTECTION, TYPE D
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- RIM - RIM ELEVATION

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**345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703**

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	11.16.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

SHEET TITLE:
DETAILED GRADING PLAN

SHEET NUMBER:
C2.1

JSD PROJECT NO: 17-8230

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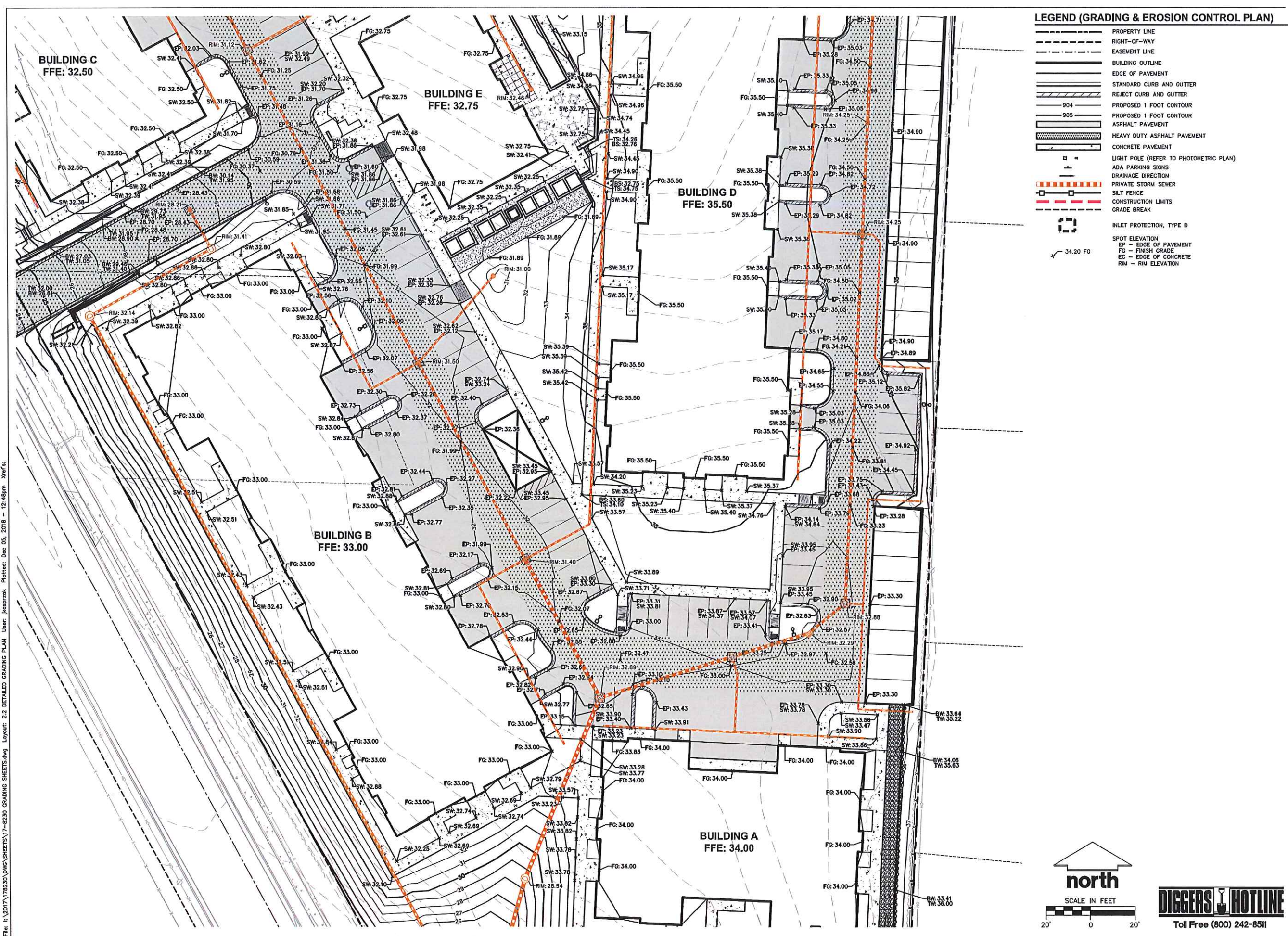
north

SCALE IN FEET

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LEGEND (GRADING & EROSION CONTROL PLAN)

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- REJECT CURB AND GUTTER
- PROPOSED 1 FOOT CONTOUR ASPHALT PAVEMENT
- PROPOSED 1 FOOT CONTOUR CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- DRAINAGE DIRECTION
- PRIVATE STORM SEWER
- SILT FENCE
- CONSTRUCTION LIMITS
- GRADE BREAK
- INLET PROTECTION, TYPE D
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- RIM - RIM ELEVATION

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PROJECT:
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NOVATION CAMPUS**

PROJECT LOCATION:
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DANE COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	11.18.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

SHEET TITLE:
DETAILED GRADING PLAN

SHEET NUMBER:
C2.2

JSD PROJECT NO: 17-8230

north

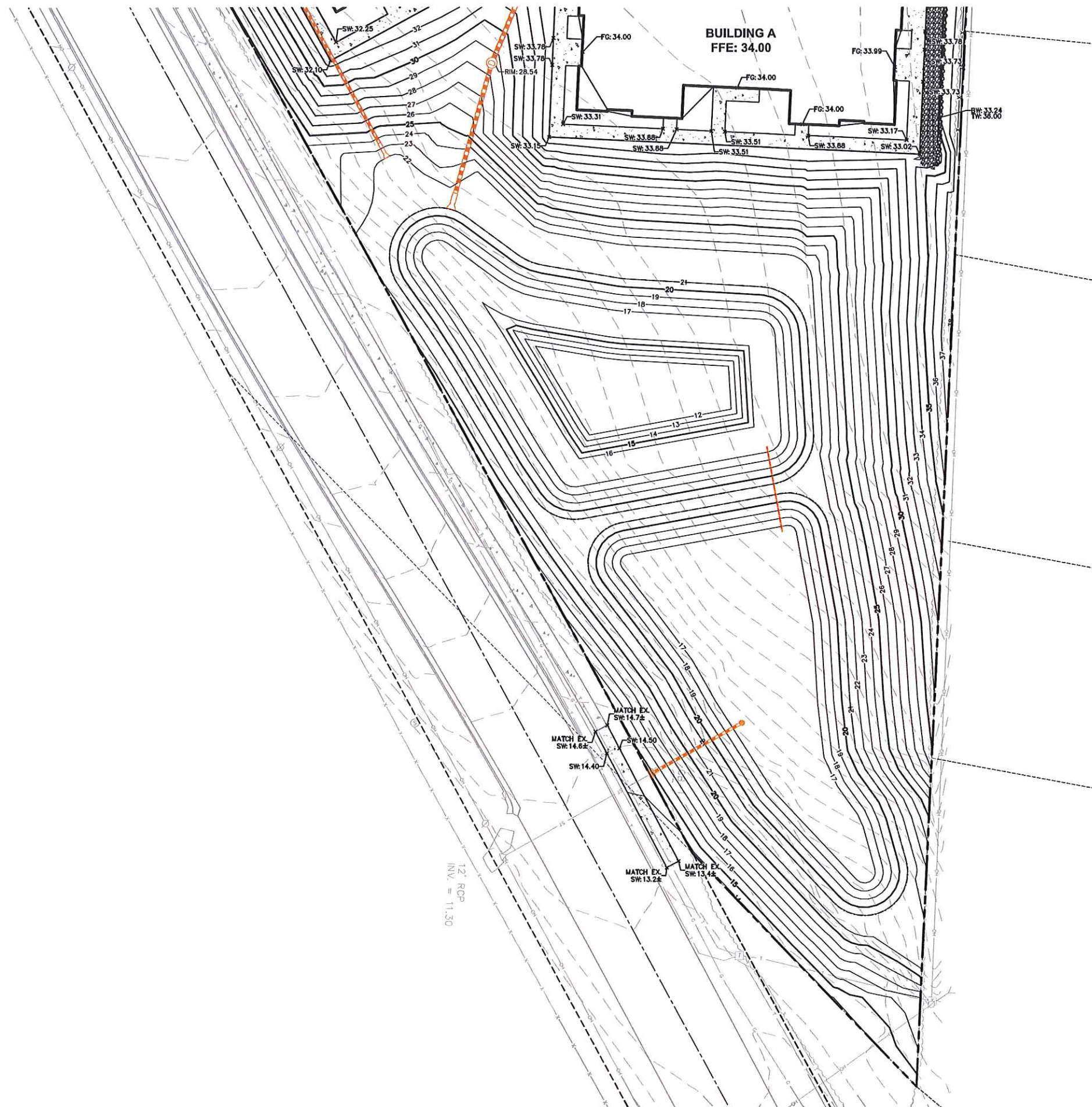
SCALE IN FEET

20' 0 20'

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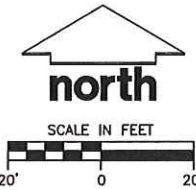
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LEGEND (GRADING & EROSION CONTROL PLAN)

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- 904 PROPOSED 1 FOOT CONTOUR
- 905 PROPOSED 1 FOOT CONTOUR
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGNS
- DRAINAGE DIRECTION
- PRIVATE STORM SEWER
- SILT FENCE
- CONSTRUCTION LIMITS
- GRADE BREAK
- INLET PROTECTION, TYPE D
- SPOT ELEVATION**
 - EP - EDGE OF PAVEMENT
 - FG - FINISH GRADE
 - EC - EDGE OF CONCRETE
 - RIM - RIM ELEVATION

x 34.20 FG



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CLIENT:
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CLIENT ADDRESS:
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MADISON, WI, 53703**

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	11.18.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

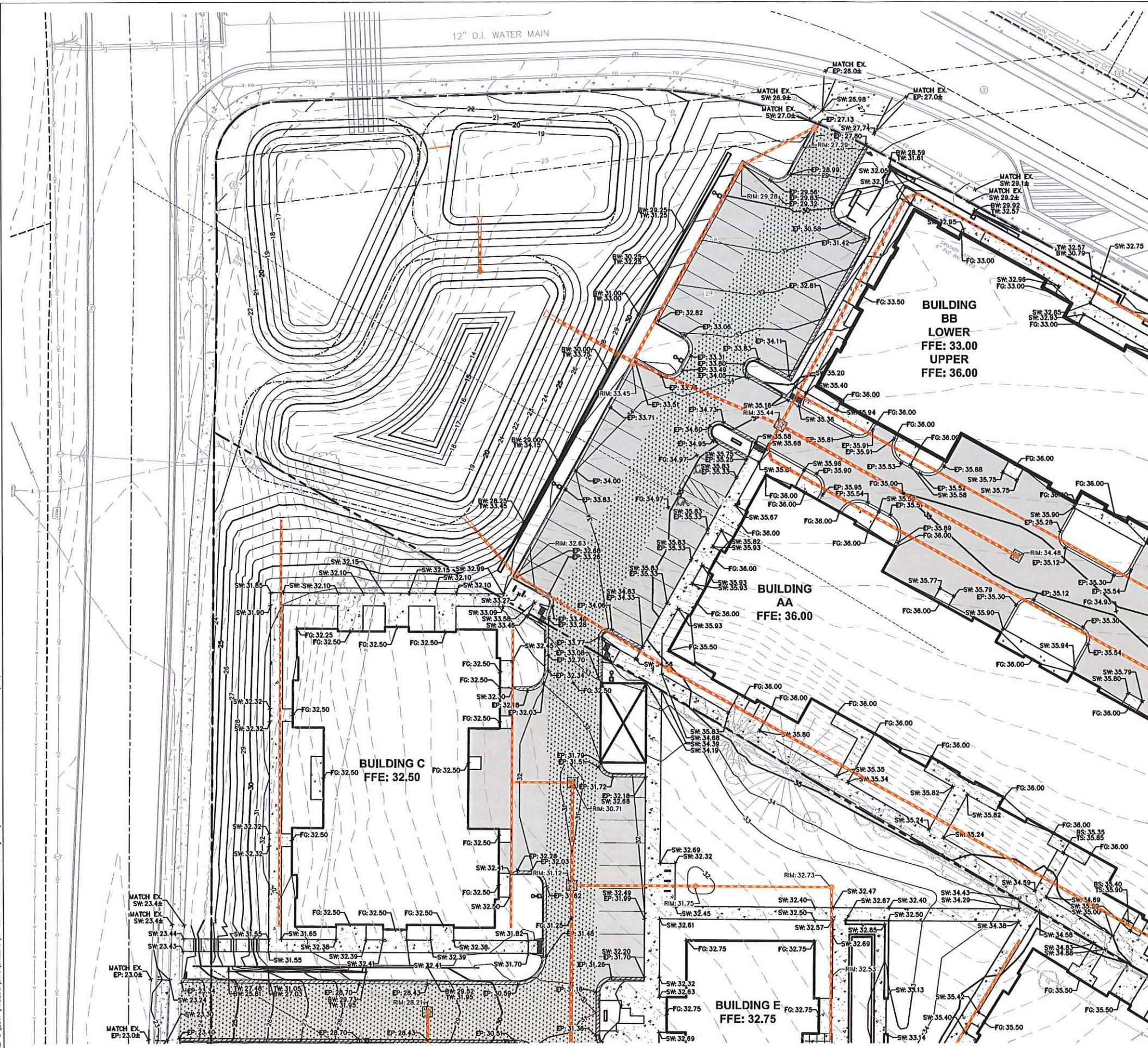
SHEET TITLE:
DETAILED GRADING PLAN

SHEET NUMBER:
C2.3

JSD PROJECT NO: 17-8230

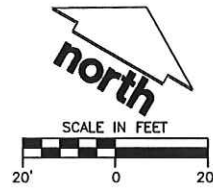
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LEGEND (GRADING & EROSION CONTROL PLAN)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- 904 PROPOSED 1 FOOT CONTOUR
- 905 PROPOSED 1 FOOT CONTOUR ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGNS
- DRAINAGE DIRECTION
- PRIVATE STORM SEWER
- SILT FENCE
- CONSTRUCTION LIMITS
- GRADE BREAK
- INLET PROTECTION, TYPE D
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- RIM - RIM ELEVATION



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CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
ARTISAN VILLAGE NOVATION CAMPUS

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	11.15.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

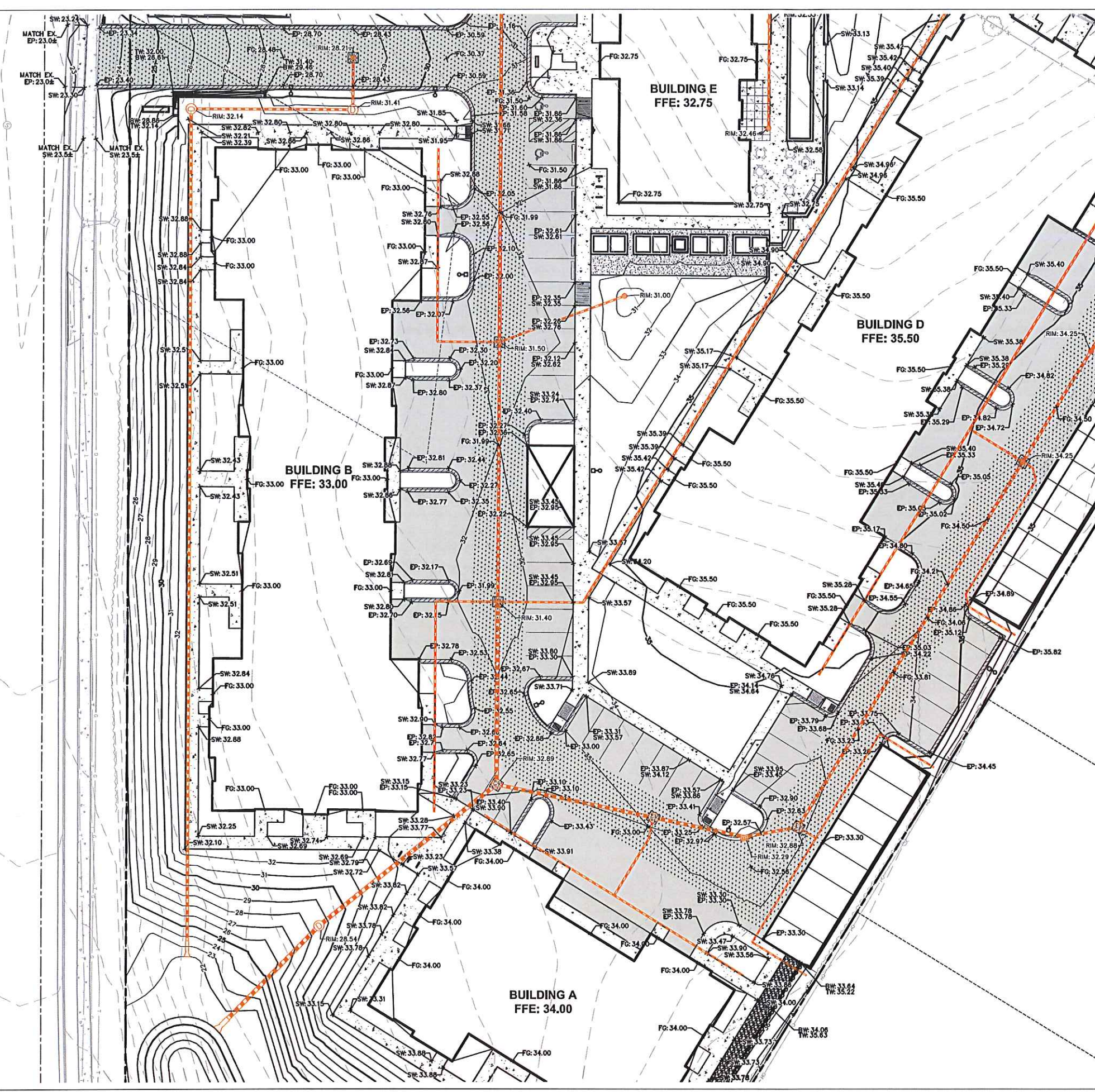
SHEET TITLE:
DETAILED GRADING PLAN

SHEET NUMBER:
C2.4

JSD PROJECT NO: 17-8230

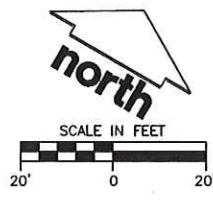
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LEGEND (GRADING & EROSION CONTROL PLAN)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- 904 PROPOSED 1 FOOT CONTOUR
- 905 PROPOSED 1 FOOT CONTOUR
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- DRAINAGE DIRECTION
- PRIVATE STORM SEWER
- SILT FENCE
- CONSTRUCTION LIMITS
- GRADE BREAK
- INLET PROTECTION, TYPE D
- 34.20 FG SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- RIM - RIM ELEVATION



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**345 W. WASHINGTON AVE STE 301
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PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
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DANE COUNTY**

PLAN MODIFICATIONS:

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1	11.18.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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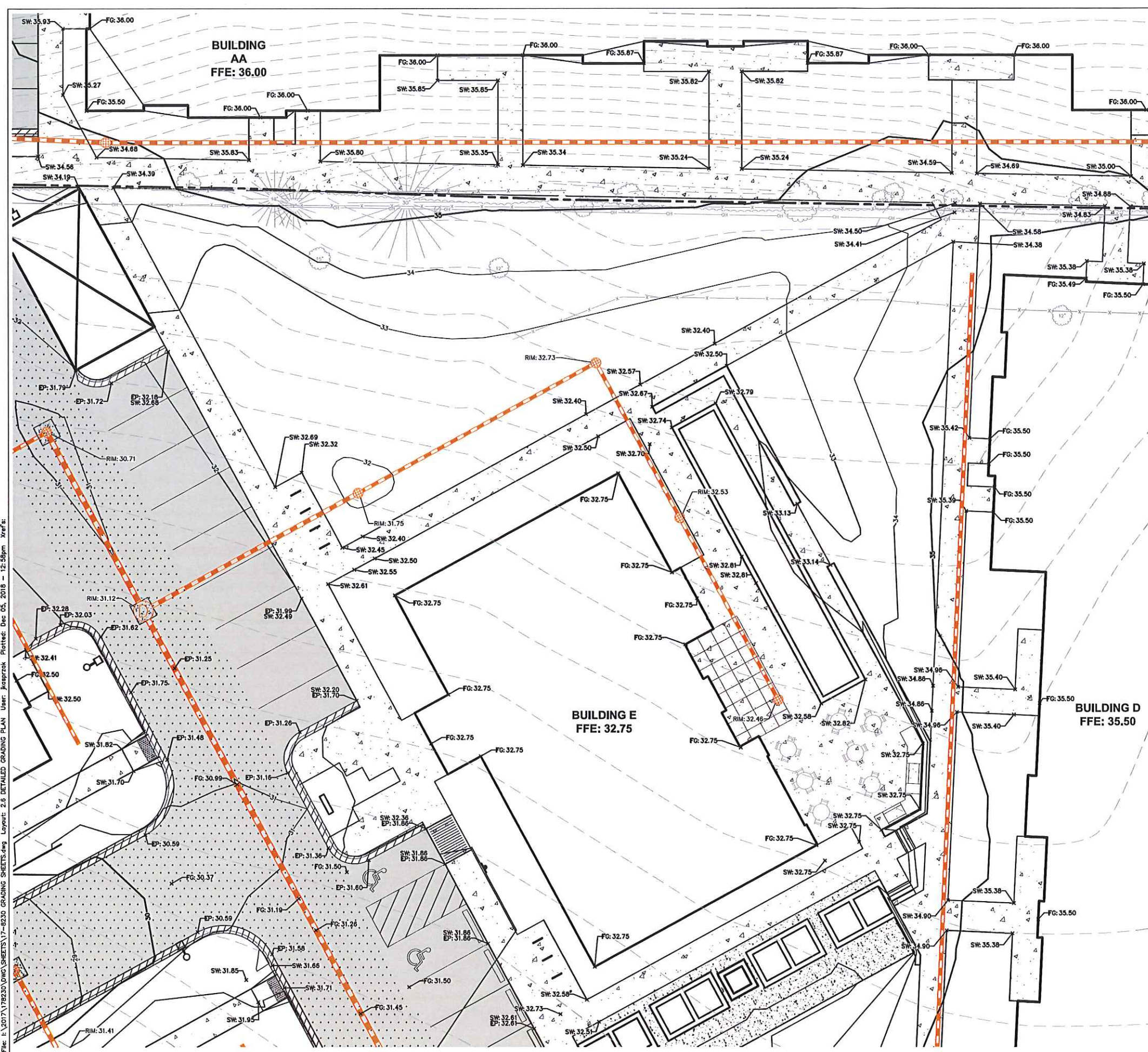
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DETAILED GRADING PLAN

SHEET NUMBER:
C2.5

JSD PROJECT NO: 17-8230

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LEGEND (GRADING & EROSION CONTROL PLAN)

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- PROPOSED 1 FOOT CONTOUR 904
- PROPOSED 1 FOOT CONTOUR 905
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGNS
- DRAINAGE DIRECTION
- PRIVATE STORM SEWER
- SILT FENCE
- CONSTRUCTION LIMITS
- GRADE BREAK
- INLET PROTECTION, TYPE D
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
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**345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703**

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

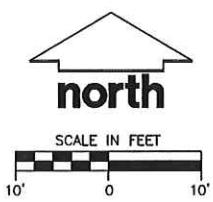
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Design/Drawn:
Approved:

SHEET TITLE:
DETAILED GRADING PLAN

SHEET NUMBER:
C2.6

JSD PROJECT NO: 17-8230



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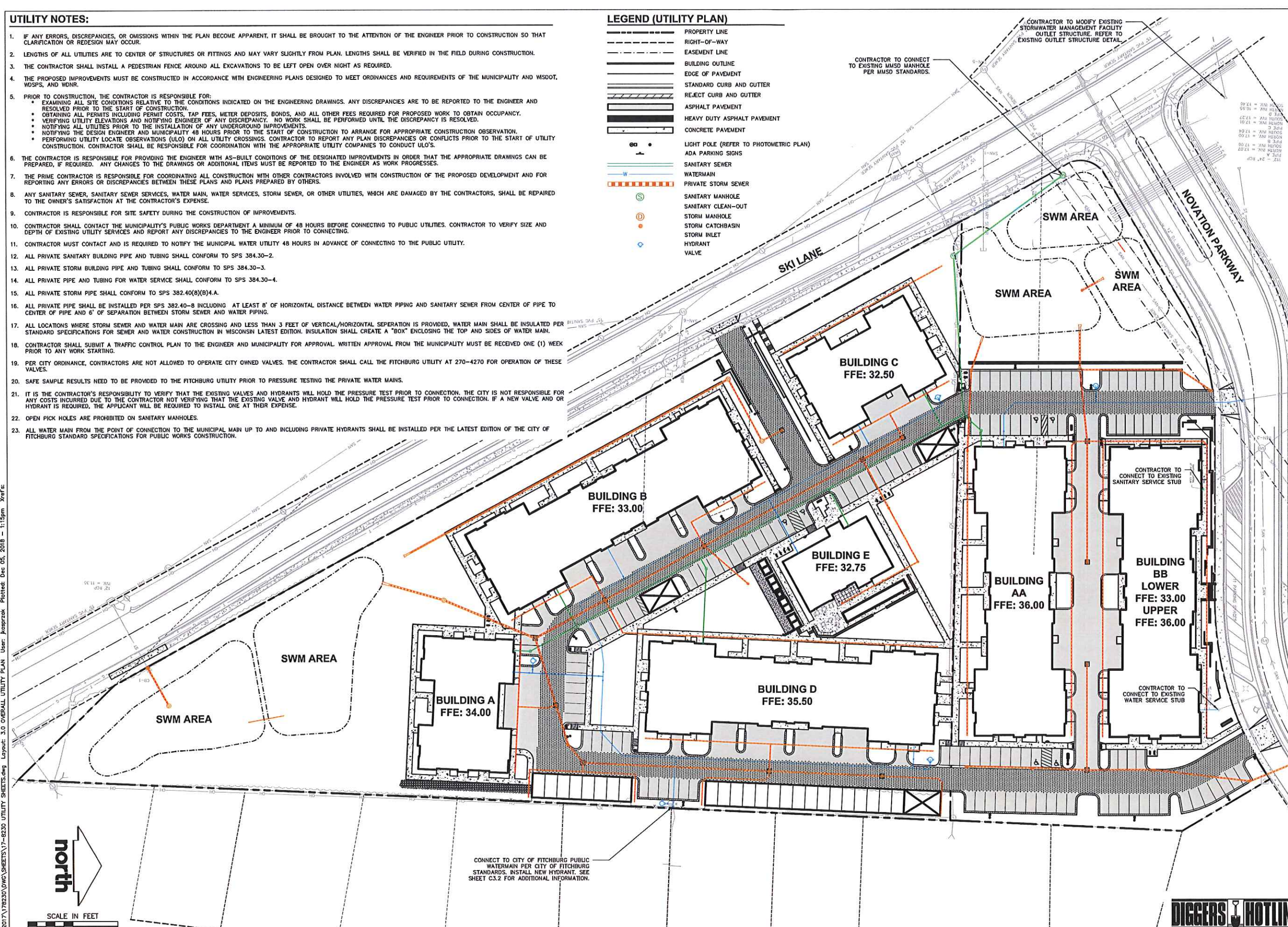
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UTILITY NOTES:

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WSPS, AND WDNR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - PERFORMING UTILITY LOCATE OBSERVATIONS (ULO) ON ALL UTILITY CROSSINGS. CONTRACTOR TO REPORT ANY PLAN DISCREPANCIES OR CONFLICTS PRIOR TO THE START OF UTILITY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES TO CONDUCT ULO'S.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE MUNICIPAL WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(B)4.A.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.
- CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE ENGINEER AND MUNICIPALITY FOR APPROVAL. WRITTEN APPROVAL FROM THE MUNICIPALITY MUST BE RECEIVED ONE (1) WEEK PRIOR TO ANY WORK STARTING.
- PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.
- SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES AND HYDRANTS WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE AND HYDRANT WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE AND OR HYDRANT IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE.
- OPEN PICK HOLES ARE PROHIBITED ON SANITARY MANHOLES.
- ALL WATER MAIN FROM THE POINT OF CONNECTION TO THE MUNICIPAL MAIN UP TO AND INCLUDING PRIVATE HYDRANTS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

LEGEND (UTILITY PLAN)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ===== BUILDING OUTLINE
- ===== EDGE OF PAVEMENT
- ===== STANDARD CURB AND GUTTER
- ===== REJECT CURB AND GUTTER
- ===== ASPHALT PAVEMENT
- ===== HEAVY DUTY ASPHALT PAVEMENT
- ===== CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGNS
- SANITARY SEWER
- WATERMAIN
- PRIVATE STORM SEWER
- SANITARY MANHOLE
- SANITARY CLEAN-OUT
- STORM MANHOLE
- STORM CATCHBASIN
- STORM INLET
- HYDRANT
- VALVE



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MADISON, WI, 53703

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
FITCHBURG, WI
DANE COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	11.18.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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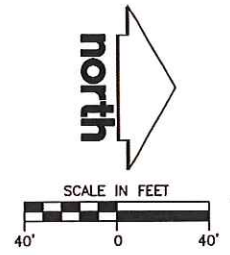
Design/Drawn:
Approved:

SHEET TITLE:
OVERALL UTILITY PLAN

SHEET NUMBER:
C3.0

JSD PROJECT NO: 17-8230

File: I:\2017\178230\DWG\SHEETS\17-8230 UTILITY SHEETS.dwg Layout: 3.0 OVERALL UTILITY PLAN User: jsoopraczk Plotted: Dec 05, 2018 - 1:15pm Xref's:



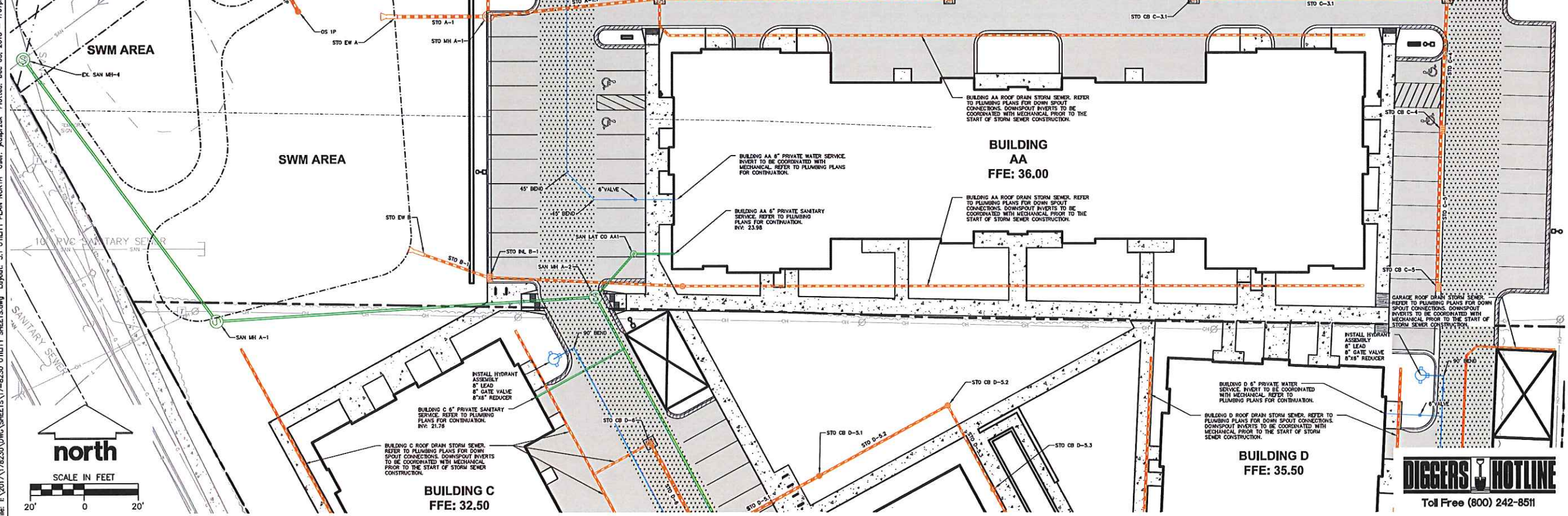
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UTILITY NOTES:

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WOSPS, AND WDMR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE UTILITY OBSERVATION.
 - PERFORMING UTILITY LOCATE OBSERVATIONS (ULO) ON ALL UTILITY CROSSINGS. CONTRACTOR TO REPORT ANY PLAN DISCREPANCIES OR CONFLICTS PRIOR TO THE START OF UTILITY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES TO CONDUCT ULO'S.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
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- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
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- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(b)4.A.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.
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- OPEN PICK HOLES ARE PROHIBITED ON SANITARY MANHOLES.
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LEGEND (UTILITY PLAN)

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| | PROPERTY LINE | | ASPHALT PAVEMENT | | PRIVATE STORM SEWER |
| | RIGHT-OF-WAY | | HEAVY DUTY ASPHALT PAVEMENT | | SANITARY MANHOLE |
| | EASEMENT LINE | | CONCRETE PAVEMENT | | SANITARY CLEAN-OUT |
| | BUILDING OUTLINE | | LIGHT POLE (REFER TO PHOTOMETRIC PLAN) | | STORM MANHOLE |
| | EDGE OF PAVEMENT | | ADA PARKING SIGNS | | STORM CATCHBASIN |
| | STANDARD CURB AND GUTTER | | SANITARY SEWER | | STORM INLET |
| | REJECT CURB AND GUTTER | | WATERMAIN | | HYDRANT |
| | | | | | VALVE |



CREATE THE VISION TELL THE STORY

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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
ARTISAN VILLAGE NOVATION CAMPUS

PROJECT LOCATION:
FITCHBURG, WI
DANE COUNTY

PLAN MODIFICATIONS:

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Design/Drawn:
Approved:

SHEET TITLE:
UTILITY PLAN NORTH

SHEET NUMBER:
C3.1

JSD PROJECT NO: 17-8230

File: I:\2017\178230\DWG\SHEETS\17-8230 UTILITY SHEETS.dwg Layout: 3.1 UTILITY PLAN NORTH User: kpoprzek Plotted: Dec 05, 2018 - 1:07pm Ref: THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



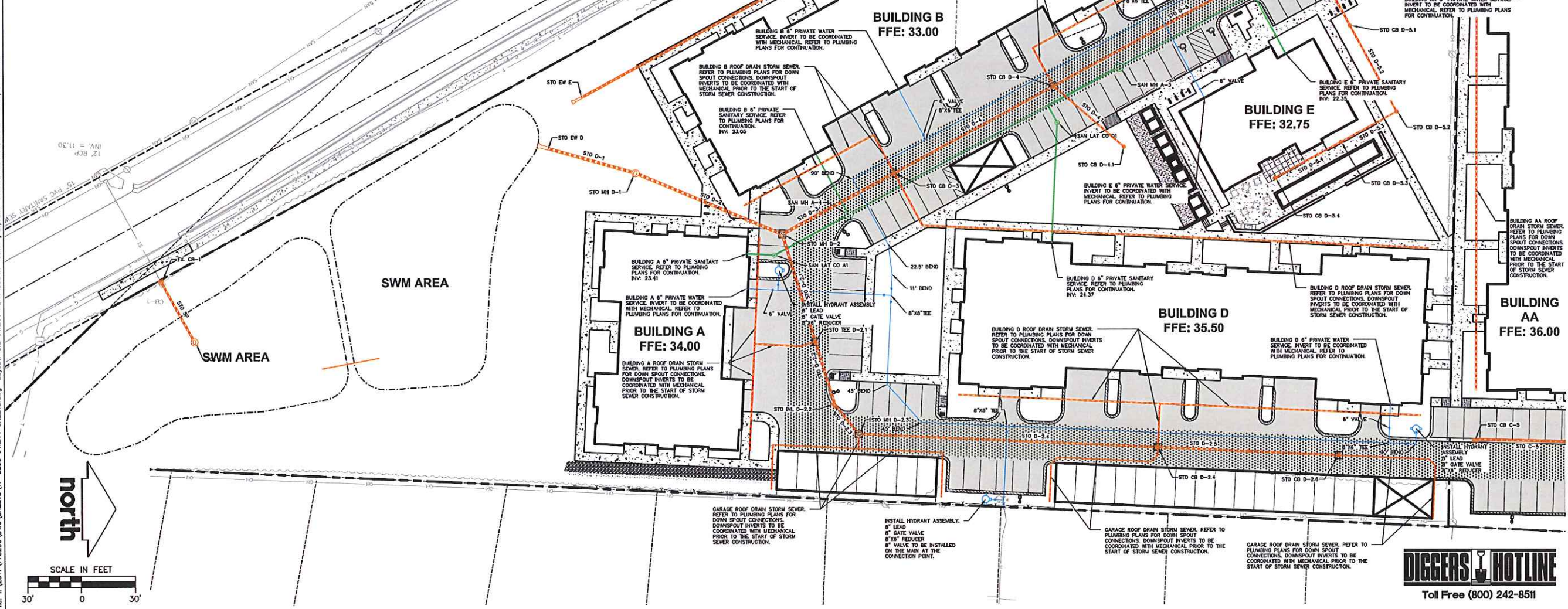
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LEGEND (UTILITY PLAN)

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- STORM INLET
- HYDRANT
- VALVE

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345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
ARTISAN VILLAGE NOVATION CAMPUS

PROJECT LOCATION:
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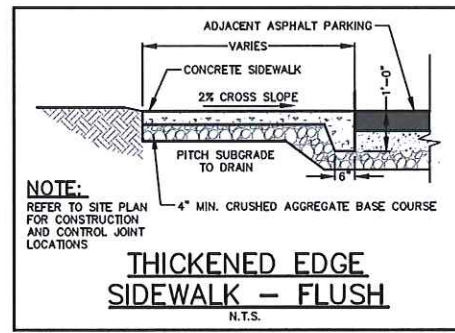
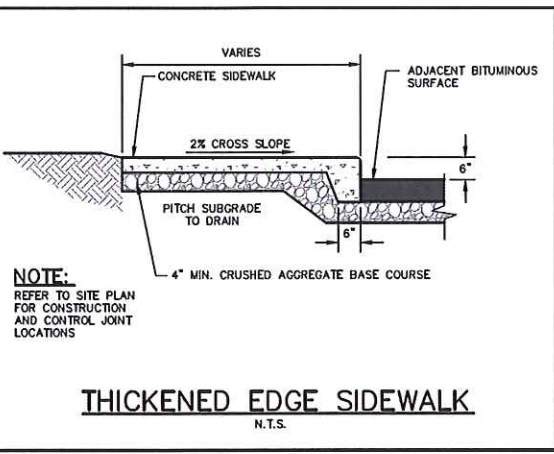
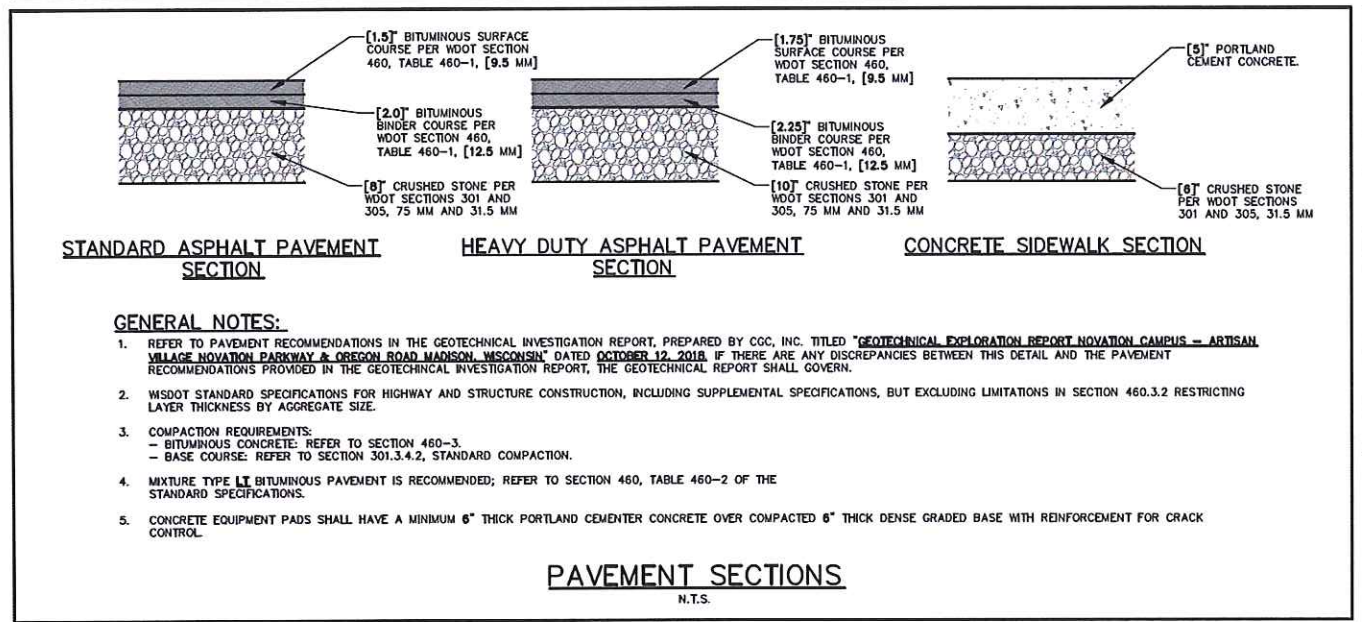
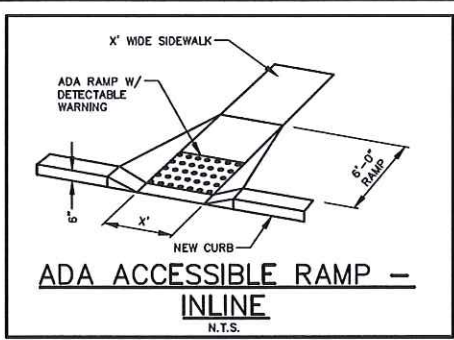
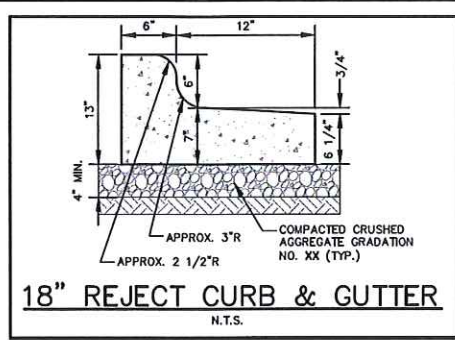
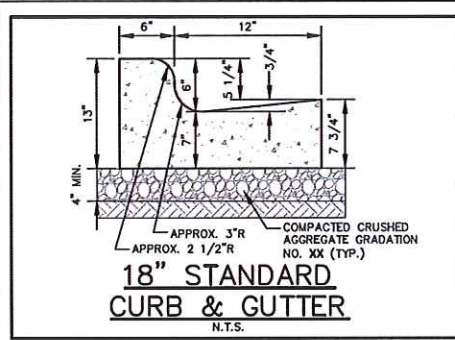
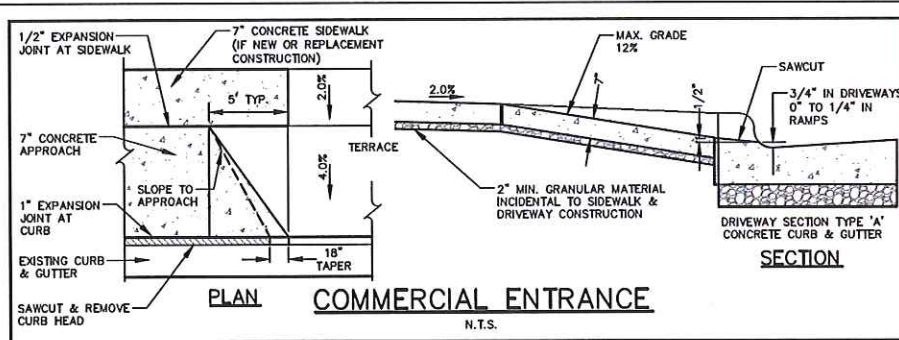
Design/Drawn:
Approved:

SHEET TITLE:
UTILITY PLAN SOUTH

SHEET NUMBER:
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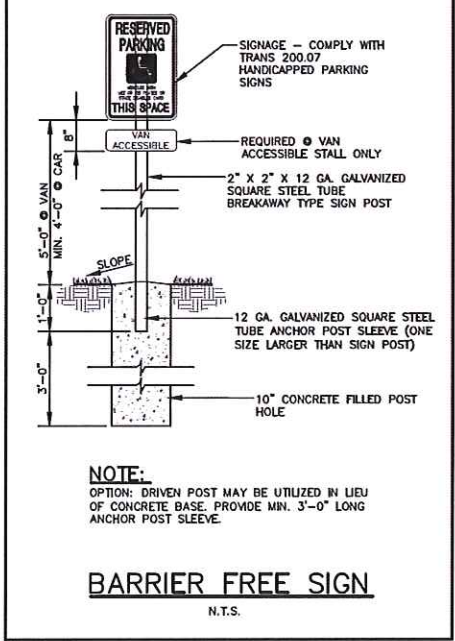
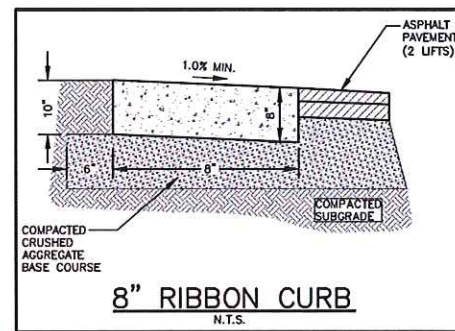
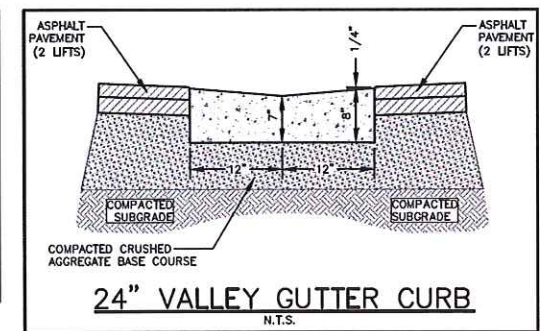
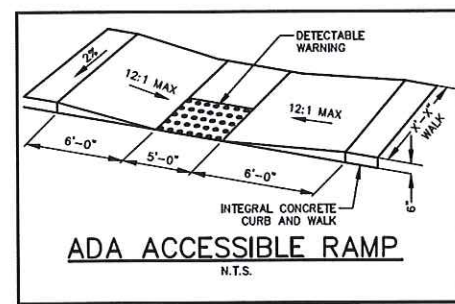
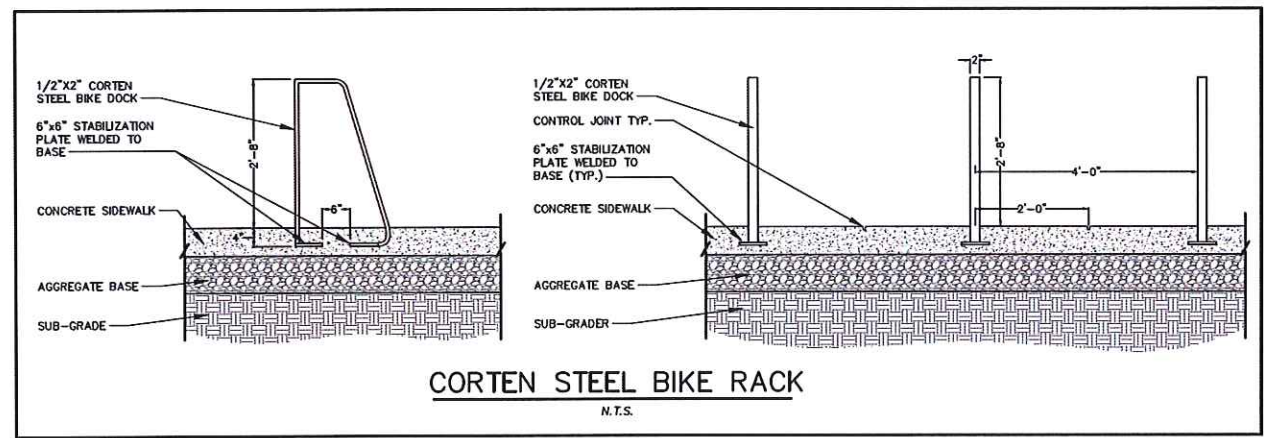
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GENERAL NOTES:

1. REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY CGC, INC. TITLED "GEOTECHNICAL EXPLORATION REPORT NOVATION CAMPUS - ARTISAN VILLAGE NOVATION PARKWAY & OREGON ROAD MADISON, WISCONSIN" DATED OCTOBER 12, 2018. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
2. WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, BUT EXCLUDING LIMITATIONS IN SECTION 460.3.2 RESTRICTING LAYER THICKNESS BY AGGREGATE SIZE.
3. COMPACTION REQUIREMENTS:
- BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
- BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
4. MIXTURE TYPE **LT** BITUMINOUS PAVEMENT IS RECOMMENDED; REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS.
5. CONCRETE EQUIPMENT PADS SHALL HAVE A MINIMUM 6" THICK PORTLAND CEMENT CONCRETE OVER COMPACTED 6" THICK DENSE GRADED BASE WITH REINFORCEMENT FOR CRACK CONTROL.

PAVEMENT SECTIONS



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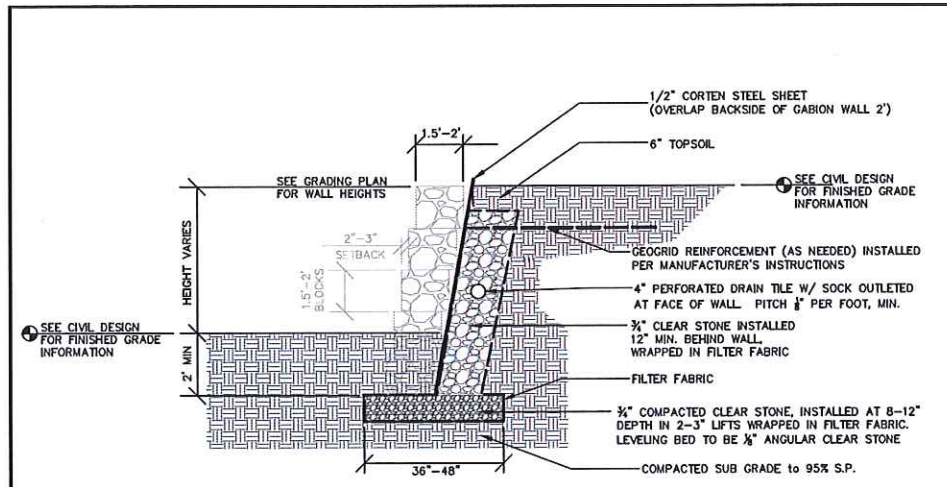
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DETAILS SITE

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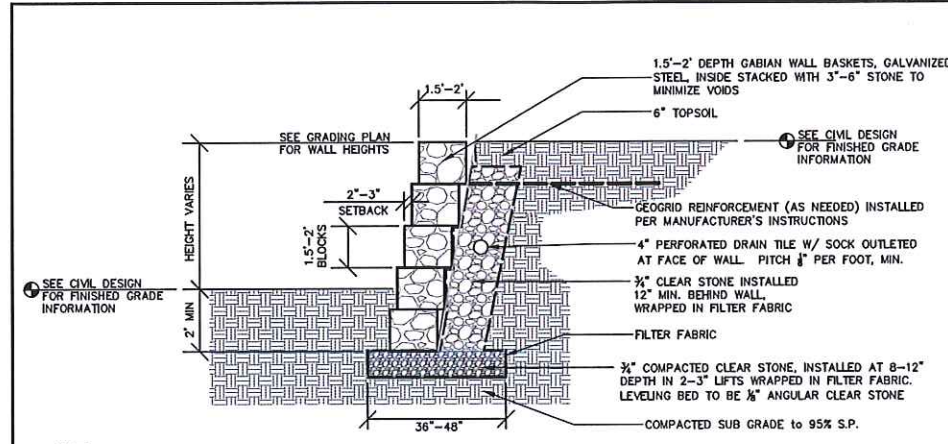
JSD PROJECT NO: 17-8230



CORTEN RETAINING WALL

N.T.S.

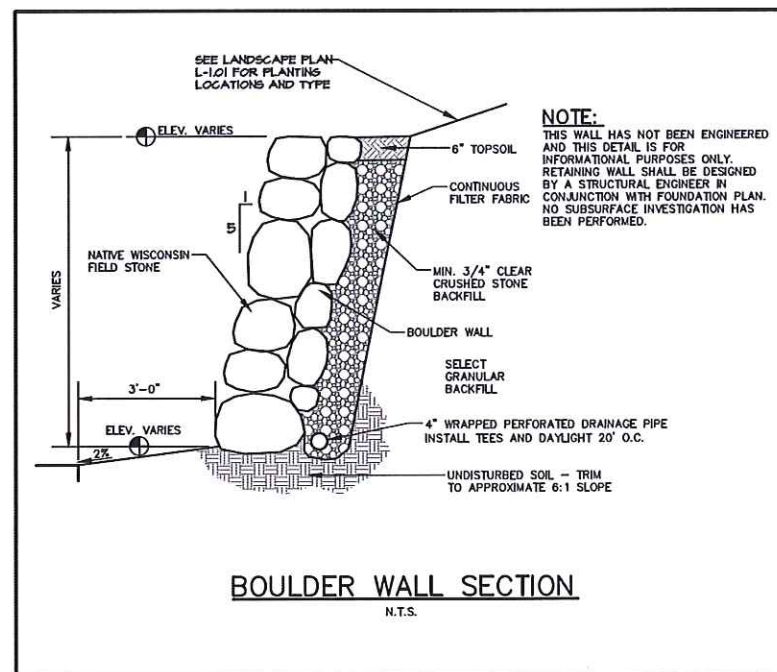
NOTE:
1. SIZE, COLOR AND SPECIFICATION TO BE PROVIDED FOR APPROVAL BY OWNER OR CONTRACTOR'S REPRESENTATIVE PRIOR TO CONSTRUCTION.



GABION RETAINING WALL

N.T.S.

NOTE:
1. SIZE, COLOR AND SPECIFICATION TO BE PROVIDED FOR APPROVAL BY OWNER OR CONTRACTOR'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. GABION WALLS OVER 4 FEET HEIGHT SHALL BE DESIGNED BY REGISTERED GEOTECHNICAL OR STRUCTURAL ENGINEER AS PROVIDED ON SHOP DRAWINGS AND SUBMITTED PRIOR TO CONSTRUCTION.



BOULDER WALL SECTION

N.T.S.

NOTE:
THIS WALL HAS NOT BEEN ENGINEERED AND THIS DETAIL IS FOR INFORMATIONAL PURPOSES ONLY. RETAINING WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER IN CONJUNCTION WITH FOUNDATION PLAN. NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED.

File: I:\2017\178230\DWG\SHEETS\17-8230 DETAIL SHEETS.dwg Layout: C4.1 DETAILS - SITE User: kschmidt Plotted: Dec 05, 2018 - 1:53pm Xref's:



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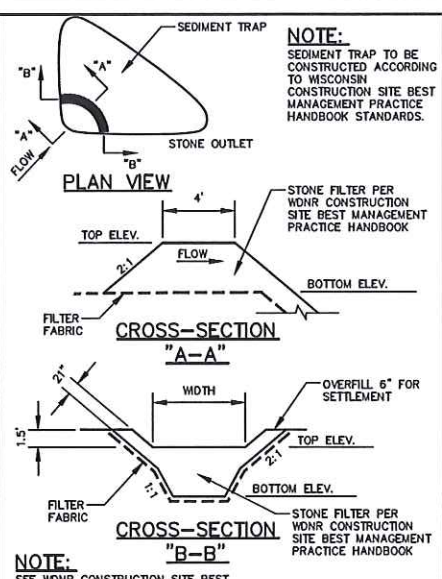
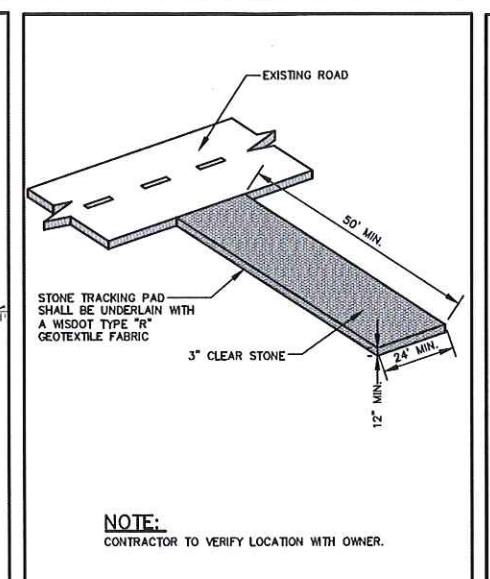
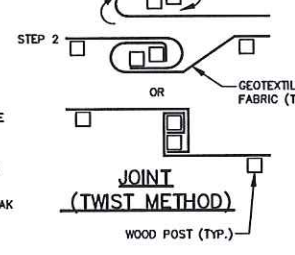
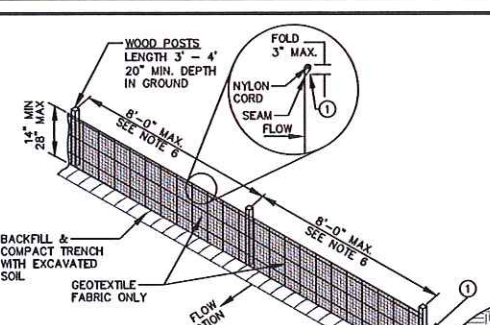
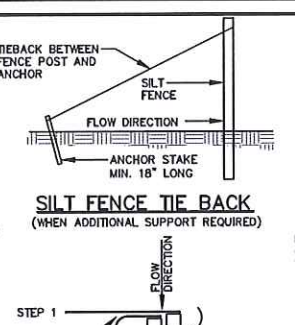
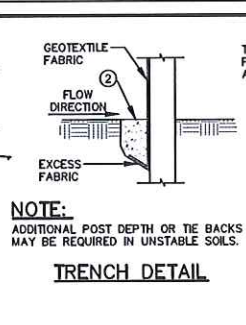
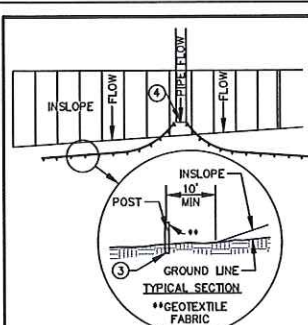
Design/Drawn:
Approved:

SHEET TITLE:
**DETAILS
SITE**

SHEET NUMBER:
C4.1



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SILT FENCE ALONG SLOPES & OUTFALLS

GENERAL NOTES:

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WNR TECHNICAL STANDARD 1056.
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

GENERAL NOTES:

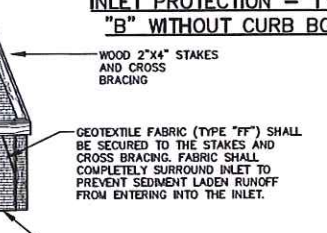
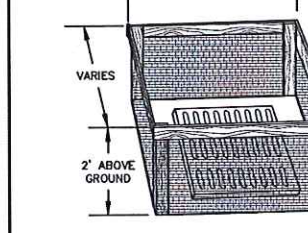
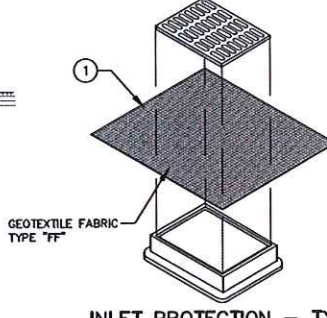
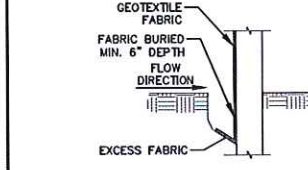
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- 1) FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER OF FACILITATE MAINTENANCE OR REMOVAL.
 - 2) FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - 3) FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2X4

INSTALLATION NOTES:

- TYPE "B" & "C"**
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

INSTALLATION NOTES:

- TYPE "D"**
- DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.

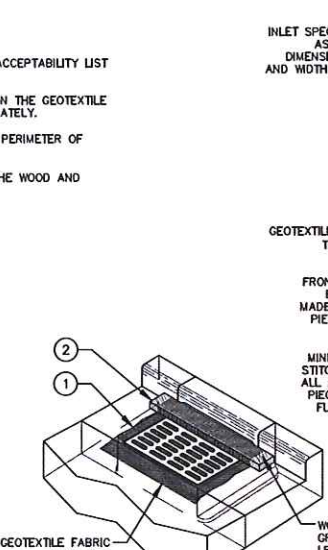


INSTALLATION NOTES:

- TYPE "D"**
- DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.

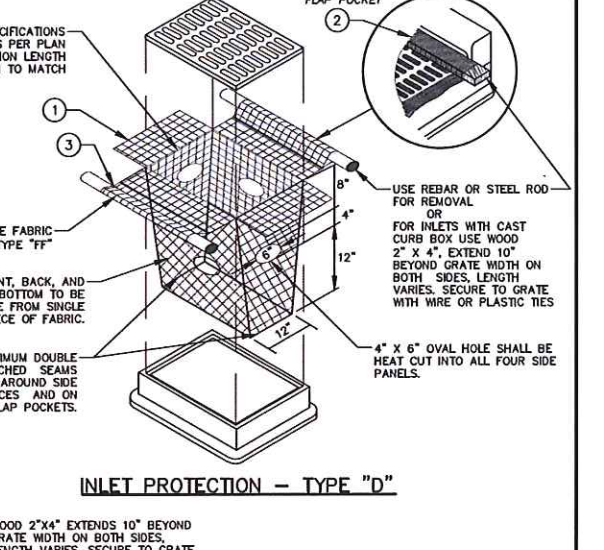
INLET PROTECTION

N.T.S.



INLET PROTECTION - TYPE "C" WITH CURB BOX

N.T.S.



INLET PROTECTION - TYPE "D"

N.T.S.



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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	11.16.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

SHEET TITLE:
**DETAILS
EROSION CONTROL**

SHEET NUMBER:

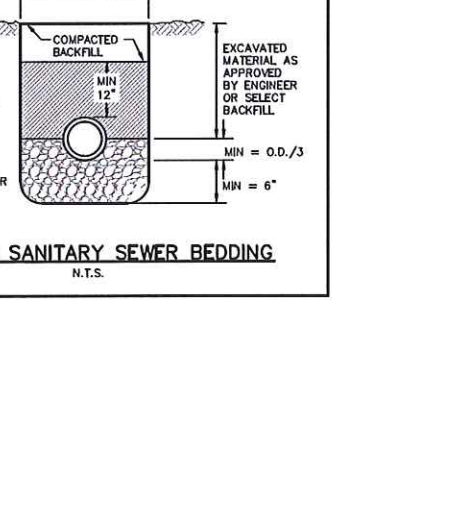
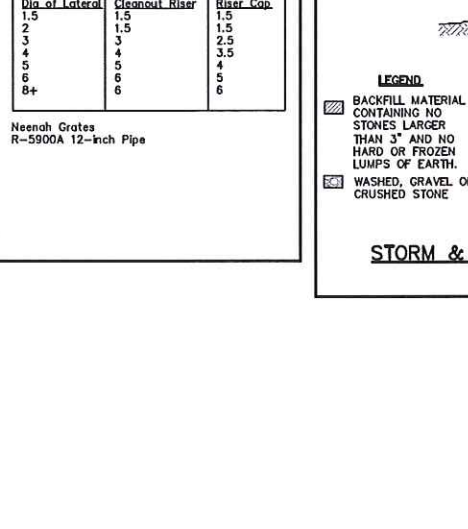
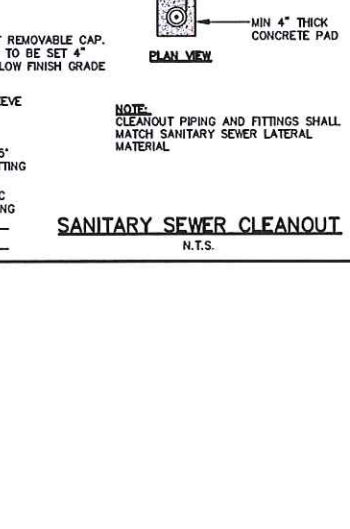
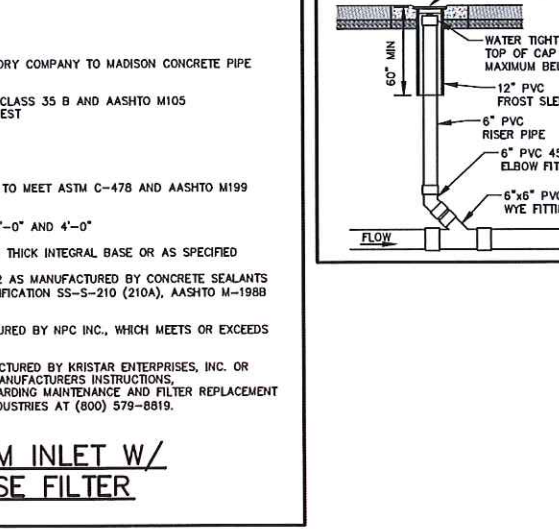
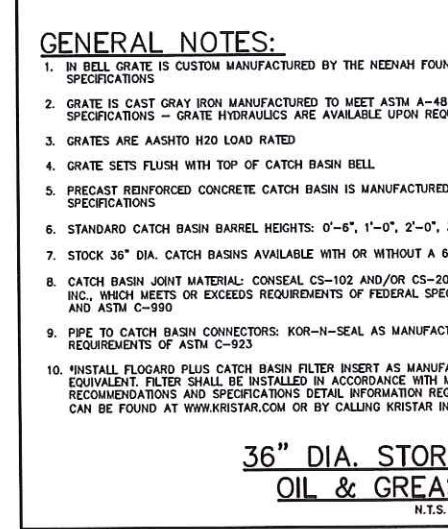
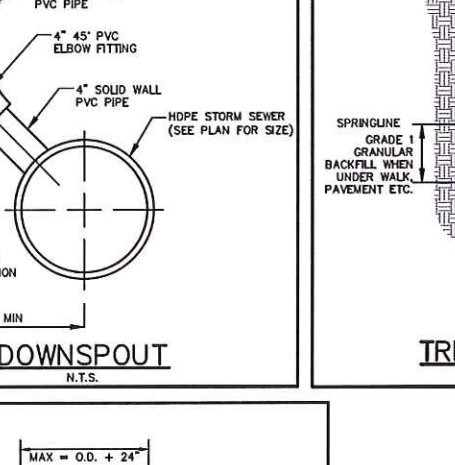
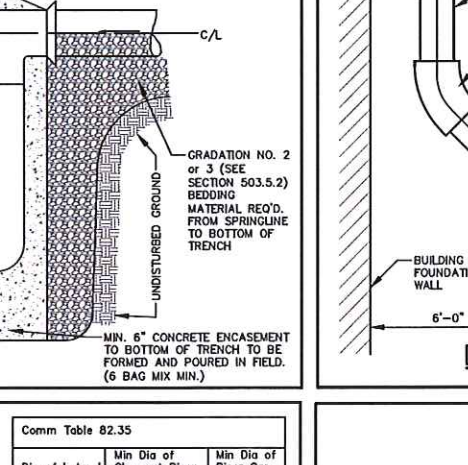
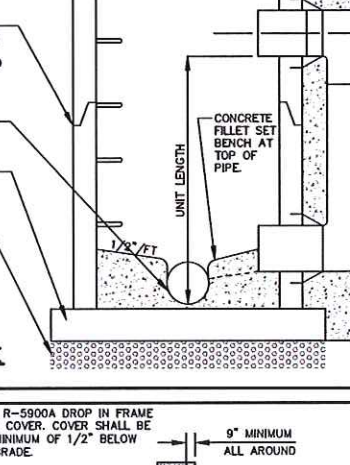
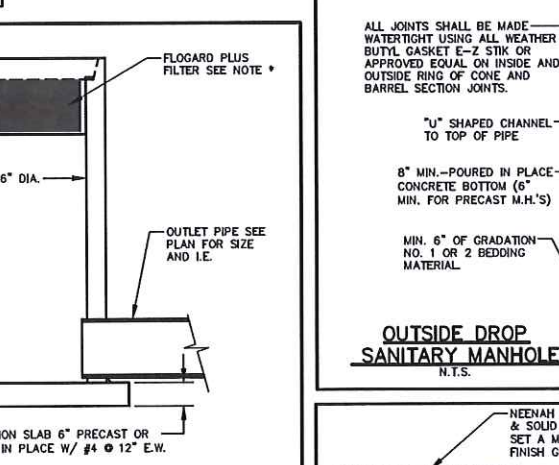
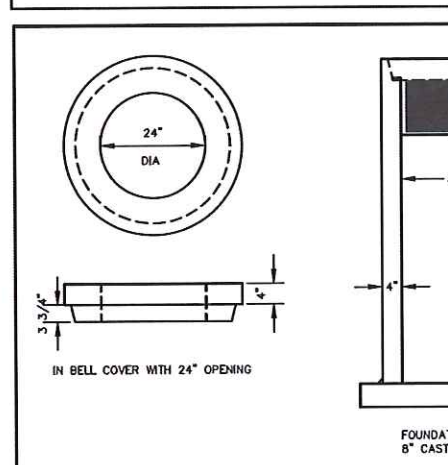
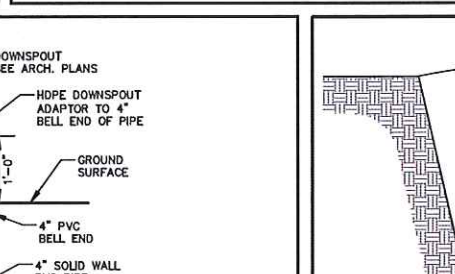
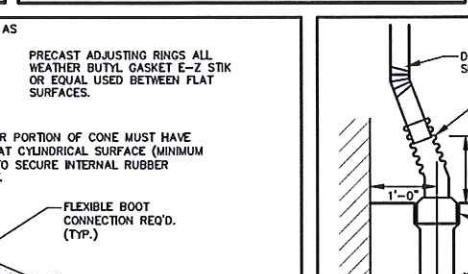
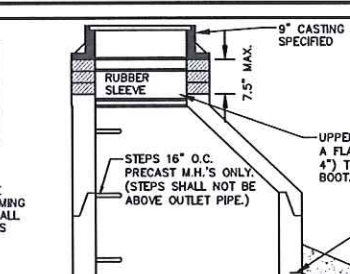
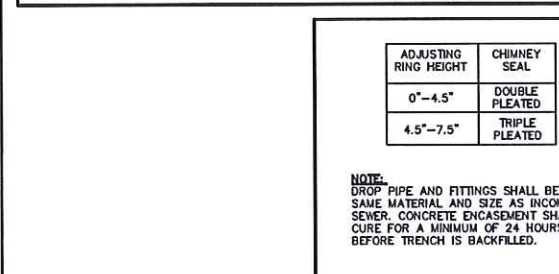
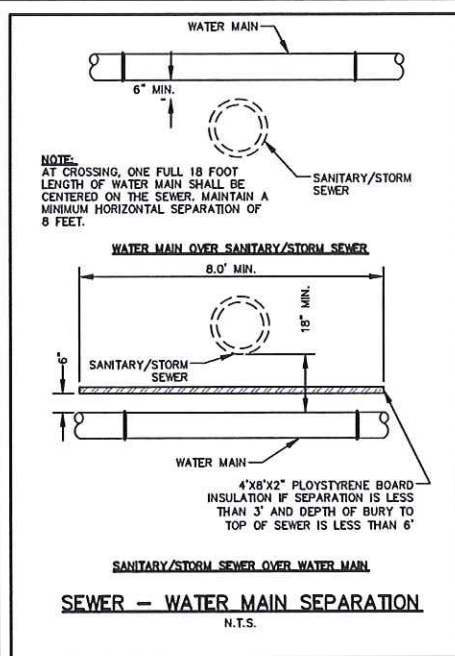
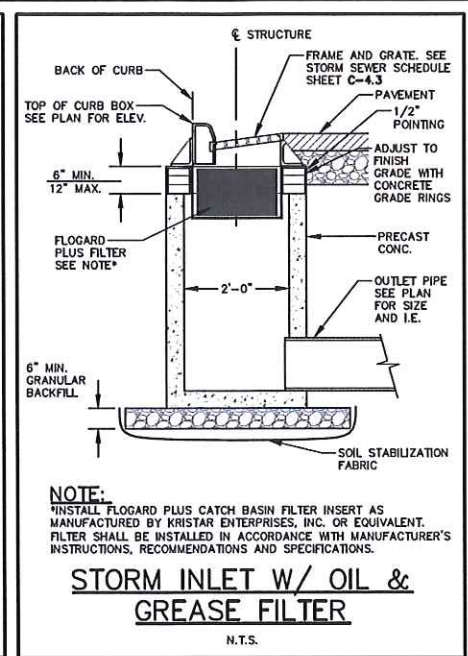
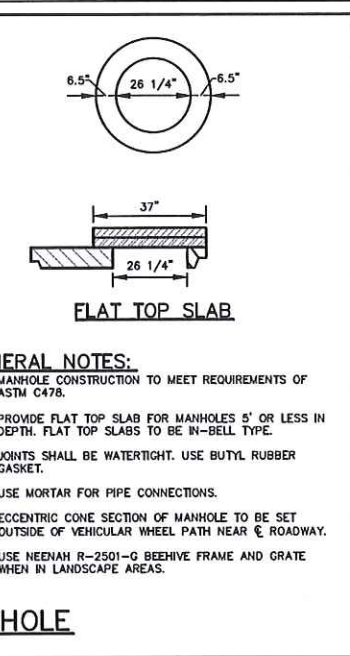
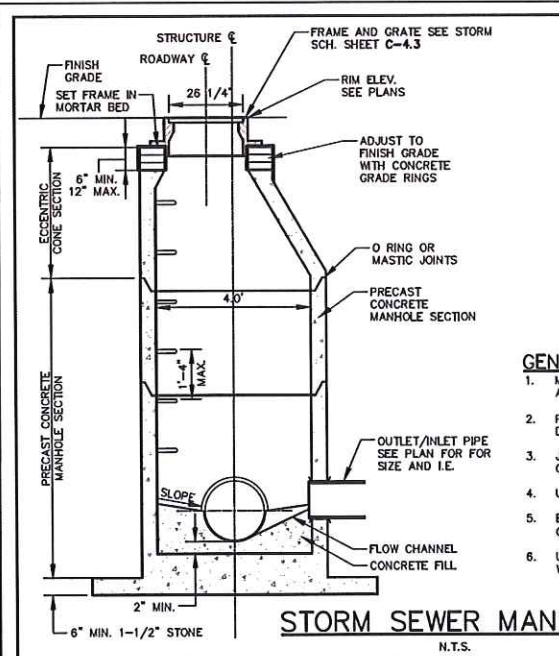
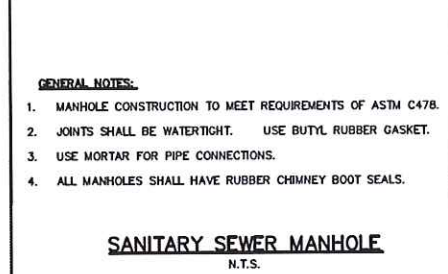
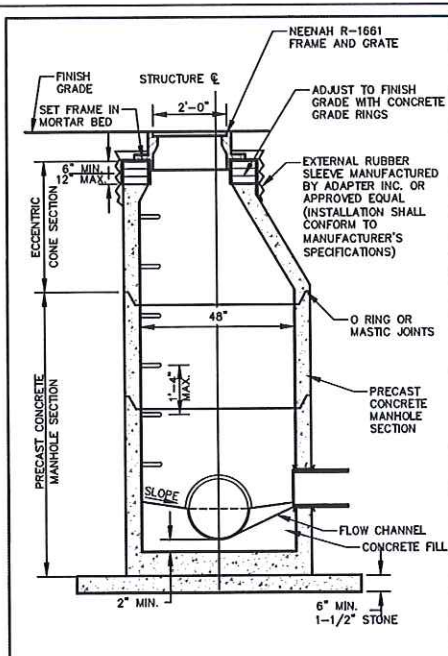
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JSD PROJECT NO: 17-8230

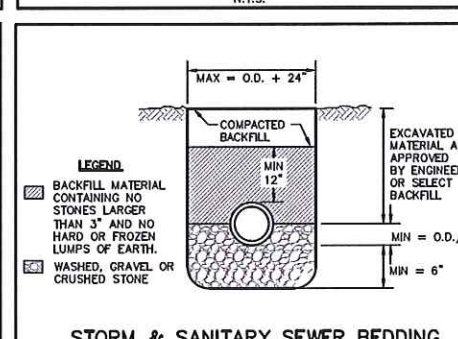
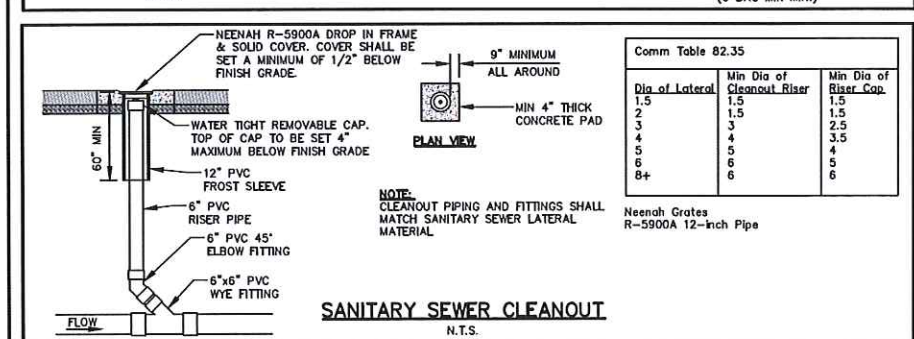
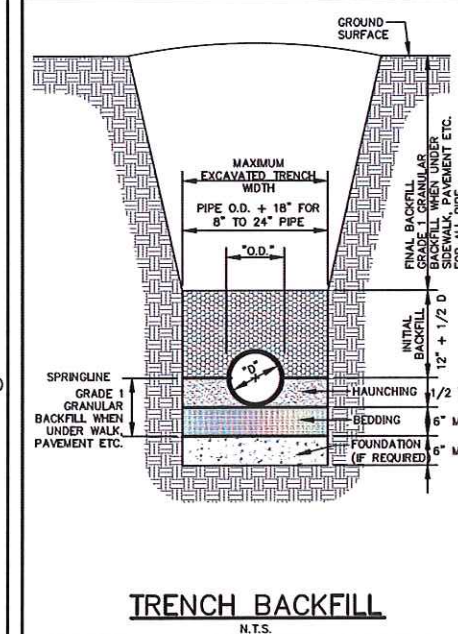
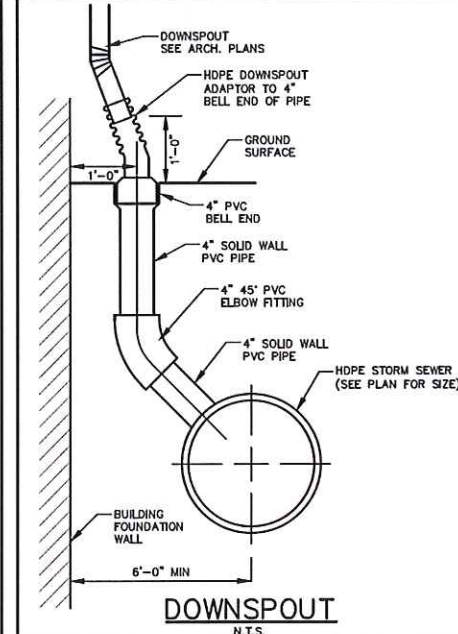
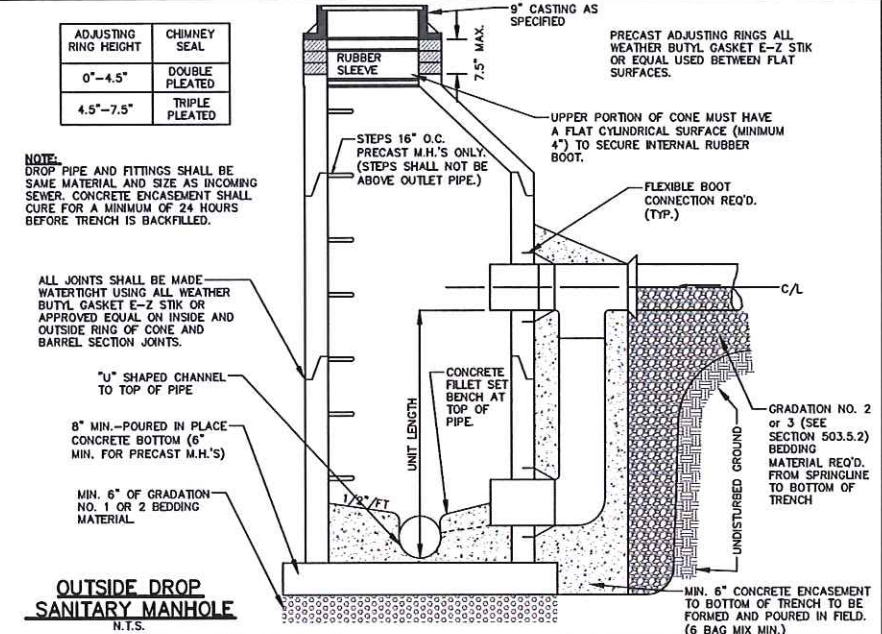
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- GENERAL NOTES:**
1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
 2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
 3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
 4. USE MORTAR FOR PIPE CONNECTIONS.
 5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR ROADWAY.
 6. USE NEENAH R-2501-G BEEHIVE FRAME AND GRATE WHEN IN LANDSCAPE AREAS.

- GENERAL NOTES:**
1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
 2. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
 3. USE MORTAR FOR PIPE CONNECTIONS.
 4. ALL MANHOLES SHALL HAVE RUBBER CHIMNEY BOOT SEALS.



- GENERAL NOTES:**
1. IN BELL GRATE IS CUSTOM MANUFACTURED BY THE NEENAH FOUNDRY COMPANY TO MADISON CONCRETE PIPE SPECIFICATIONS
 2. GRATE IS CAST GRAY IRON MANUFACTURED TO MEET ASTM A-48 CLASS 35 B AND AASHTO M105 SPECIFICATIONS - GRATE HYDRAULICS ARE AVAILABLE UPON REQUEST
 3. GRATES ARE AASHTO H20 LOAD RATED
 4. GRATE SETS FLUSH WITH TOP OF CATCH BASIN BELL
 5. PRECAST REINFORCED CONCRETE CATCH BASIN IS MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS
 6. STANDARD CATCH BASIN BARREL HEIGHTS: 0'-6", 1'-0", 2'-0", 3'-0" AND 4'-0"
 7. STOCK 36" DIA. CATCH BASINS AVAILABLE WITH OR WITHOUT A 6" THICK INTEGRAL BASE OR AS SPECIFIED
 8. CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 AS MANUFACTURED BY CONCRETE SEALANTS INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF FEDERAL SPECIFICATION SS-S-210 (210A), AASHTO M-198B AND ASTM C-990
 9. PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL AS MANUFACTURED BY NPC INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923
 10. INSTALL FLOGARD PLUS CATCH BASIN FILTER INSERT AS MANUFACTURED BY KRISTAR ENTERPRISES, INC. OR EQUIVALENT. FILTER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. RECOMMENDATIONS AND SPECIFICATIONS DETAIL INFORMATION REGARDING MAINTENANCE AND FILTER REPLACEMENT CAN BE FOUND AT WWW.KRISTAR.COM OR BY CALLING KRISTAR INDUSTRIES AT (800) 579-8819.

**36" DIA. STORM INLET W/
OIL & GREASE FILTER**
N.T.S.



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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**THE ALEXANDER
COMPANY**

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	11.16.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

SHEET TITLE:
**DETAILS
UTILITY**

SHEET NUMBER:
C4.3



**STORM SEWER
STRUCTURE TABLE**

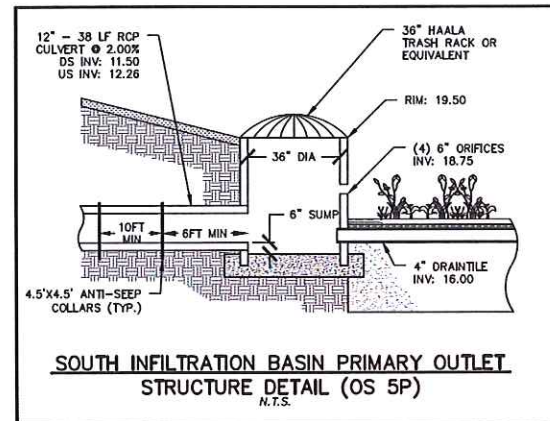
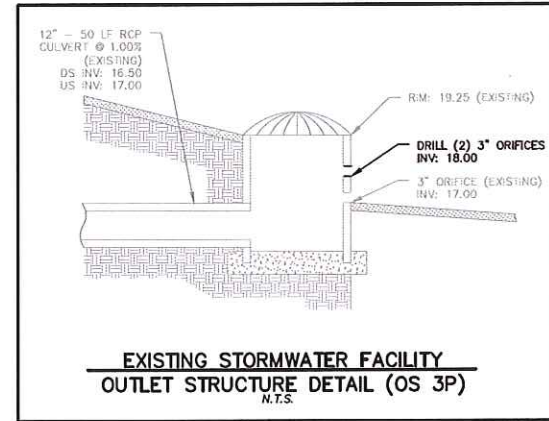
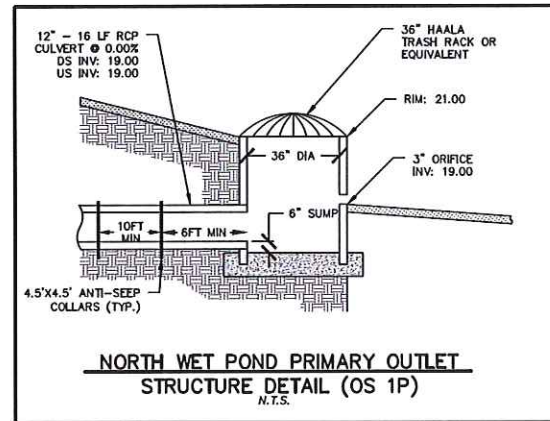
PROPOSED STRUCTURES TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX. INL 1	28.97	NW INV: 24.33 (18") S INV: 24.83 (12")	4.6	2 x 3 INLET	R-3067 TYPE L
EX. MH 1	26.72	SE INV: 23.84 (18")	2.9	48 IN MH (FLAT)	R-1550 SOLID LID
STO CB A-1.2	34.48	W INV: 31.43 (12")	3.1	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-2	32.28	N INV: 27.73 (12") S INV: 27.83 (12")	4.6	2 x 3 INLET	R-3067 TYPE L
STO CB C-3.1	34.48	E INV: 30.91 (10")	3.6	36 IN MH (FLAT)	R-2050 TYPE D
STO CB C-4	34.62	N INV: 29.59 (12") S INV: 29.69 (12")	5.0	36 IN MH (FLAT)	R-3360-A TYPE C
STO CB C-5	34.33	N INV: 30.27 (12")	4.1	2 x 3 INLET	R-3360-A TYPE C
STO CB D-2.4	34.25	S INV: 30.04 (12") N INV: 30.14 (12") W INV: 31.33 (8") E INV: 31.50 (6")	4.2	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-2.5	34.25	S INV: 30.52 (12") N INV: 30.62 (12")	3.7	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-2.6	34.25	S INV: 31.00 (12") N INV: 32.50 (8")	3.3	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-3	31.40	SE INV: 25.33 (18") NW INV: 25.83 (12") NE INV: 29.33 (8") SW INV: 29.33 (8")	6.1	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-4	31.50	SE INV: 26.33 (12") NW INV: 26.43 (12") SW INV: 29.23 (8") NE INV: 27.31 (8")	5.2	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-4.1	31.00	SW INV: 28.33 (8")	2.7	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-5.1	31.75	SW INV: 27.84 (10") NE INV: 28.01 (8")	3.9	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-5.2	32.73	SW INV: 28.28 (8") SE INV: 28.38 (8")	4.4	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-5.3	32.53	NW INV: 28.56 (8") SE INV: 28.66 (8")	4.0	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-5.4	32.46	NW INV: 28.87 (8")	3.6	36 IN MH (FLAT)	R-2050 TYPE D
STO CB D-6	30.71	SE INV: 27.63 (12") SW INV: 28.08 (8")	3.1	36 IN MH (FLAT)	R-2050 TYPE D
STO CB E-3	28.21	SE INV: 25.21 (10")	3.0	36 IN MH (FLAT)	R-2050 TYPE D
STO EW A	N/A	E INV: 22.75 (15")	N/A	15 IN HDPE FES	N/A
STO EW B	N/A	E INV: 25.00 (10")	N/A	12 IN HDPE FES	N/A
STO EW D	N/A	N INV: 22.38 (18")	N/A	18 IN HDPE FES	N/A
STO EW E	N/A	NW INV: 22.93 (12")	N/A	12 IN HDPE FES	N/A
STO INL A-2	29.28	S INV: 23.78 (12") NE INV: 23.95 (10")	5.5	2 x 3 INLET	R-3067 TYPE L
STO INL A-3	27.29	SW INV: 24.27 (10")	3.0	2 x 3 INLET	R-3067 TYPE L
STO INL B-1	32.63	W INV: 26.01 (10") E INV: 29.33 (10")	6.6	2 x 3 INLET	R-3067 TYPE L
STO INL C-1	30.55	N INV: 25.64 (12") S INV: 26.00 (12")	4.9	2 x 3 INLET	R-3067 TYPE L
STO INL D-2.2	32.29	W INV: 28.34 (15") NE INV: 28.59 (12")	4.0	48 IN MH (FLAT)	R-3067 TYPE L
STO MH A-1	33.45	W INV: 23.09 (15") E INV: 28.99 (12") N INV: 23.34 (12")	10.4	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-1.1	35.44	W INV: 30.26 (12") N INV: 31.01 (10") E INV: 30.36 (12") S INV: 31.01 (10")	5.2	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH C-3	34.34	N INV: 29.01 (12") S INV: 29.11 (12") W INV: 29.98 (10")	5.3	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH D-1	28.54	S INV: 22.88 (18") NE INV: 24.00 (18")	5.7	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH D-2	32.89	SW INV: 24.88 (18") NW INV: 24.98 (18") E INV: 27.85 (15")	8.0	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH D-2.3	32.88	SW INV: 28.70 (12") N INV: 28.80 (12") E INV: 29.75 (8")	4.2	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH D-5	31.12	SE INV: 27.23 (12") NW INV: 27.33 (12") NE INV: 27.50 (10")	3.9	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH E-1	32.14	SE INV: 24.53 (12") NE INV: 24.70 (10")	7.6	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH E-2	31.41	SW INV: 25.01 (10") NW INV: 25.11 (10")	6.4	48 IN MH (FLAT)	R-1550 SOLID LID

**STORM SEWER
PIPE TABLE**

PROPOSED PIPES TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO MH A-1	STO EW A	34'	23.09	22.75	1.00%	15 IN HDPE
STO A-1.1	STO MH A-1.1	STO MH A-1	64'	30.26	28.99	2.00%	12 IN HDPE
STO A-1.2	STO CB A-1.2	STO MH A-1.1	107'	31.43	30.36	1.00%	12 IN HDPE
STO A-2	STO INL A-2	STO MH A-1	89'	23.78	23.34	0.50%	12 IN HDPE
STO A-3	STO INL A-3	STO INL A-2	32'	24.27	23.95	1.00%	10 IN HDPE
STO B-1	STO INL B-1	STO EW B	25'	26.01	25.00	4.00%	10 IN HDPE
STO C-1	STO INL C-1	EX. INL 1	41'	25.64	24.83	2.00%	12 IN HDPE
STO C-2	STO CB C-2	STO INL C-1	86'	27.73	26.00	2.00%	12 IN HDPE
STO C-3	STO MH C-3	STO CB C-2	59'	29.01	27.83	2.00%	12 IN HDPE
STO C-3.1	STO CB C-3.1	STO MH C-3	93'	30.91	29.98	1.00%	10 IN HDPE
STO C-4	STO CB C-4	STO MH C-3	48'	29.59	29.11	1.00%	12 IN HDPE
STO C-5	STO CB C-5	STO CB C-4	58'	30.27	29.69	1.00%	12 IN HDPE
STO D-1	STO MH D-1	STO EW D	50'	22.88	22.38	1.00%	18 IN HDPE
STO D-2	STO MH D-2	STO MH D-1	88'	24.88	24.00	1.00%	18 IN HDPE
STO D-2.1	STO TEE D-2.1	STO MH D-2	62'	28.16	27.85	0.50%	15 IN HDPE
STO D-2.2	STO INL D-2.2	STO TEE D-2.1	36'	28.34	28.16	0.50%	15 IN HDPE
STO D-2.3	STO MH D-2.3	STO INL D-2.2	21'	28.70	28.59	0.50%	12 IN HDPE
STO D-2.4	STO CB D-2.4	STO MH D-2.3	165'	30.04	28.80	0.75%	12 IN HDPE
STO D-2.5	STO CB D-2.5	STO CB D-2.4	50'	30.52	30.14	0.75%	12 IN HDPE
STO D-2.6	STO CB D-2.6	STO CB D-2.5	50'	31.00	30.62	0.75%	12 IN HDPE
STO D-3	STO MH D-3	STO MH D-2	70'	25.33	24.98	0.50%	18 IN HDPE
STO D-4	STO CB D-4	STO CB D-3	100'	26.33	25.83	0.50%	12 IN HDPE
STO D-4.1	STO CB D-4.1	STO CB D-4	51'	28.33	27.31	2.00%	8 IN HDPE
STO D-5	STO MH D-5	STO CB D-4	159'	27.23	26.43	0.50%	12 IN HDPE
STO D-5.1	STO CB D-5.1	STO MH D-5	49'	27.84	27.50	0.70%	10 IN HDPE
STO D-5.2	STO CB D-5.2	STO CB D-5.1	54'	28.28	28.01	0.50%	8 IN HDPE
STO D-5.3	STO CB D-5.3	STO CB D-5.2	35'	28.56	28.38	0.50%	8 IN HDPE
STO D-5.4	STO CB D-5.4	STO CB D-5.3	41'	28.87	28.66	0.50%	8 IN HDPE
STO D-6	STO CB D-6	STO MH D-5	41'	27.63	27.33	0.75%	12 IN HDPE
STO E-1	STO MH E-1	STO EW E	320'	24.53	22.93	0.50%	12 IN HDPE
STO E-2	STO MH E-2	STO MH E-1	62'	25.01	24.70	0.50%	10 IN HDPE
STO E-3	STO CB E-3	STO MH E-2	20'	25.21	25.11	0.50%	10 IN HDPE

**SANITARY
STRUCTURE TABLE**

PROPOSED STRUCTURES TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX. SAN MH-4	21.22	SW INV: 10.12 (10") SE INV: 10.28 (8") NE INV: 10.25 (10")	11.1	48 IN MH	EXISTING
SAN LAT CO A1	33.19	NW INV: 23.98 (6") S INV: 24.08 (8")	9.2	CLEAN-OUT	SEE DETAIL
SAN LAT CO D1	32.06	SW INV: 22.28 (6") E INV: 22.38 (6")	9.8	CLEAN-OUT	SEE DETAIL
SAN MH A-1	23.38	NW INV: 10.88 (8") E INV: 10.98 (8")	12.5	48 IN MH	R-1661 SOLID LID
SAN MH A-2	33.67	W INV: 15.89 (8") SE INV: 21.29 (8") NE INV: 25.00 (6")	17.8	48 IN MH	R-1661 SOLID LID
SAN MH A-3	32.05	NW INV: 22.39 (8") SE INV: 22.49 (8")	9.7	48 IN MH	R-1661 SOLID LID
SAN MH A-4	32.51	NW INV: 23.33 (8") SE INV: 23.50 (6") SW INV: 23.50 (6")	9.2	48 IN MH	R-1661 SOLID LID



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P. 608.848.5060

CLIENT:
**THE ALEXANDER
COMPANY**

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	11.16.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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Design/Drawn:
Approved:

SHEET TITLE:
**DETAILS
PIPE AND STRUCTURE
TABLES**

SHEET NUMBER:

C4.4



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JSD PROJECT NO: 17-8230

PLAN MODIFICATIONS:

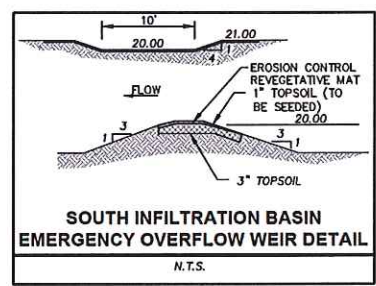
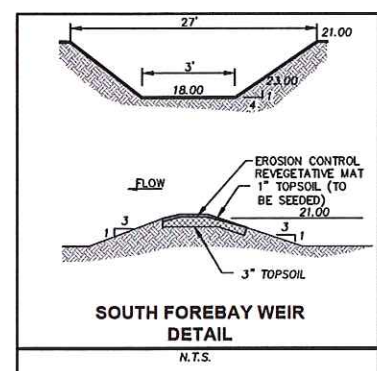
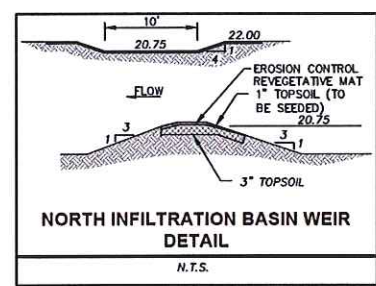
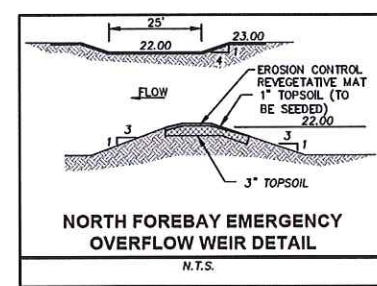
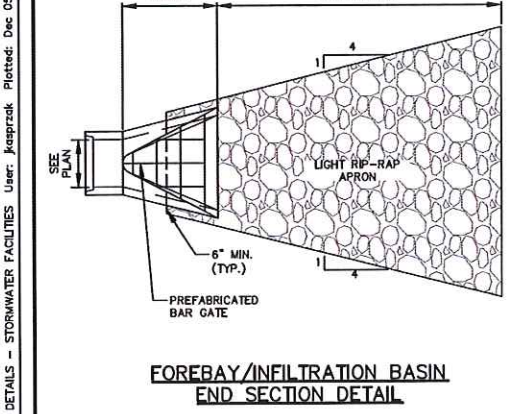
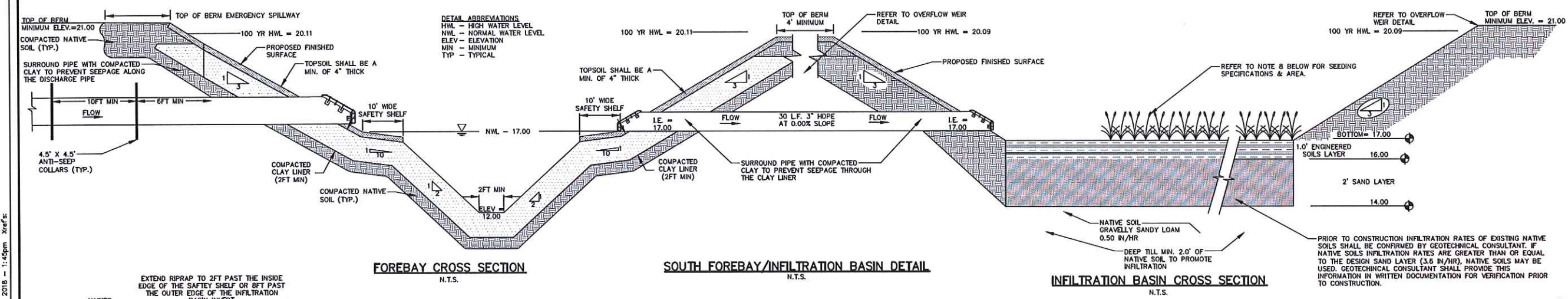
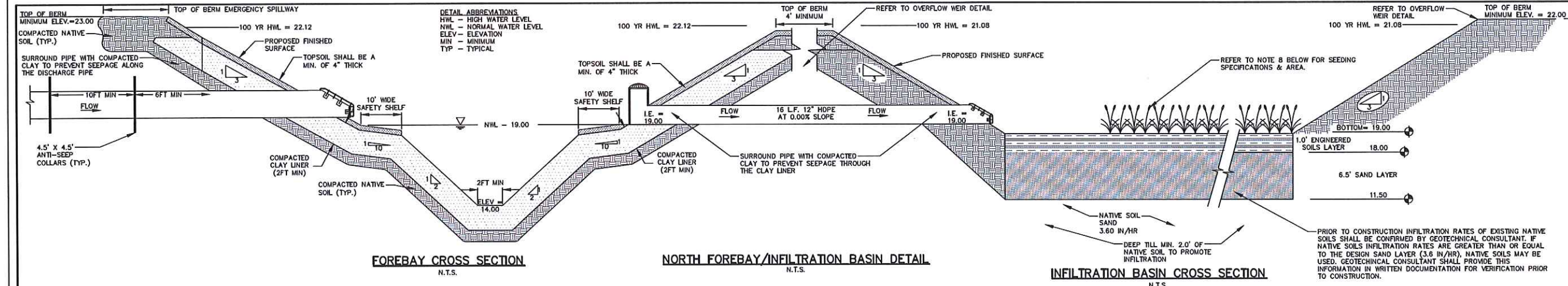
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Design/Drawn:
Approved:

SHEET TITLE:
**DETAILS
STORMWATER FACILITIES**

SHEET NUMBER:

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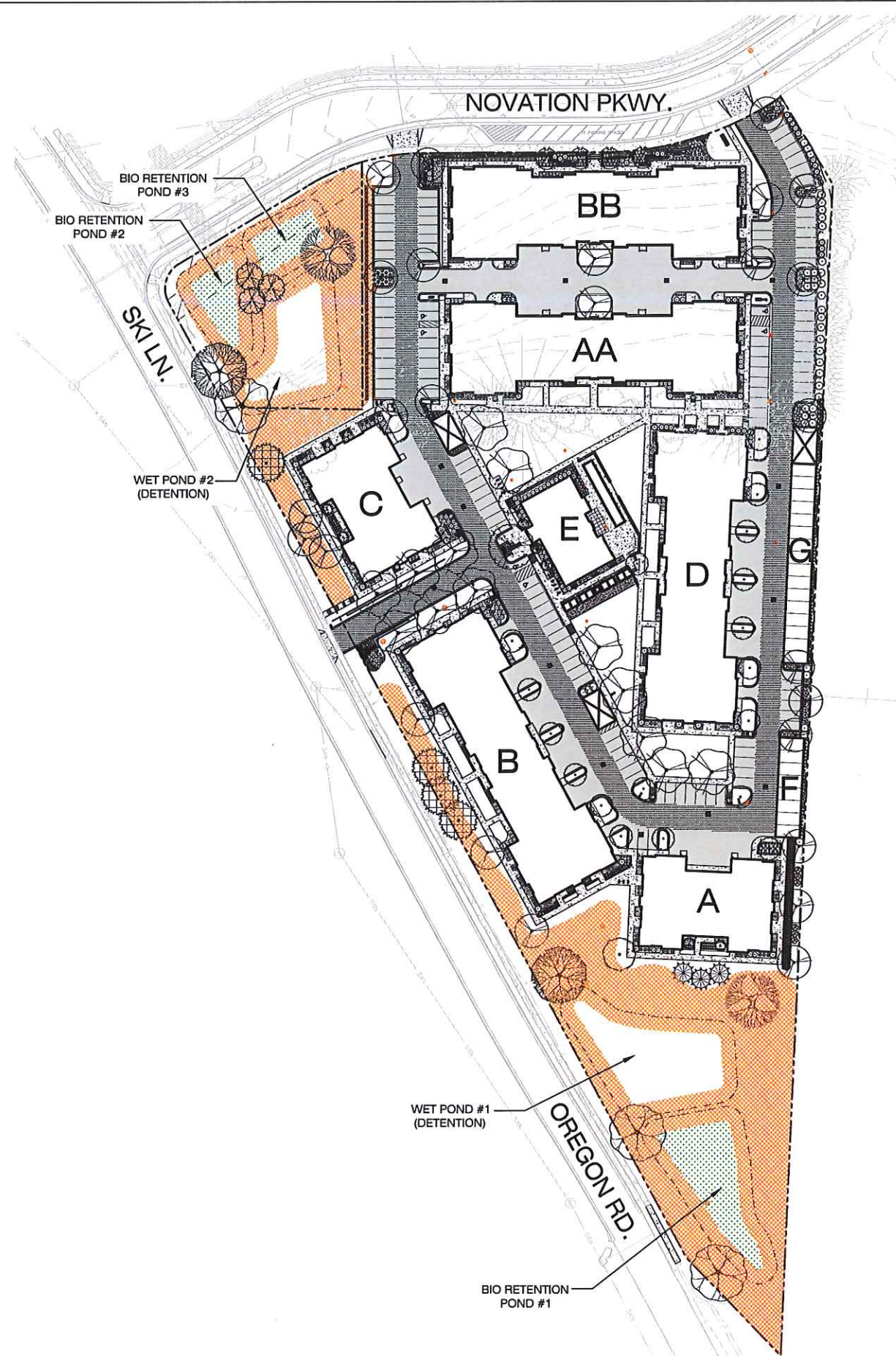
- FOREBAY GENERAL NOTES:**
- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "MNR WET DETENTION BASIN, TECHNICAL STANDARD 1001". IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE FOREBAY IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
 - ROP PIPING & INSTALLATION WITHIN THE BASIN SHALL BE IN ACCORDANCE WITH (ASTM C-76/C443) WITH RUBBER GASKETS.
 - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE SEED MIX AND SEEDING RATES.
 - CLAY LINER SHALL BE A MINIMUM OF 2- FEET THICK. CLAY SHALL BE COMPACTED AT $\pm 2.0\%$ OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN-PLACE AT THE POND SIDE SLOPES OR BOTTOM OR OTHER ON-SITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
 - FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDING 3- FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2- FEET DEEP AND 8- FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.
 - CONTRACTOR SHALL POSITION ANTI-SEEP COLLAR SUCH THAT THE COLLARS ARE COMPLETELY CONTAINED WITHIN EMBANKMENT.

- INFILTRATION BASIN GENERAL NOTES:**
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE MNR TECHNICAL STANDARD 1003 - INFILTRATION BASIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE INFILTRATION BASIN IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
 - CONTRACTOR SHALL INSTALL 12" OF ENGINEERED SOIL CONSISTING OF: 85% ASTM C33 SAND AND 15% CERTIFIED COMPOST (SEE GENERAL NOTE 3).
 - CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
 - SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
 - INSTALL TYPE I STRAW EROSION MATTING OVER ENGINEERED SOIL LAYER FOLLOWING SEEDING OF THE BOTTOM OF THE INFILTRATION BASIN TO PROVIDE SOIL STABILIZATION PRIOR TO MATURE VEGETATION COVER.
 - CONFIRM WITH GEOTECHNICAL ENGINEER THAT THE SILT LOAM SOIL PROFILE HAS BEEN REACHED PRIOR TO BACKFILLING THE INFILTRATION BASIN.
 - IF ADDITIONAL EXCAVATION BELOW THE SAND SOIL PROFILE IS REQUIRED TO REACH SILT LOAM SOIL PROFILE, THE BACKFILL USED TO RETURN THE BOTTOM OF THE BASIN TO THE SAND SOIL LAYER ELEVATION MUST HAVE AN EQUAL OR HIGHER INFILTRATION RATE THAN THE LISTED NATIVE SOIL AS CONFIRMED BY A GEOTECHNICAL ENGINEER.
 - FILTER FABRIC SHALL BE PLACED ABOVE AND ON THE SIDES OF THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
 - RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
 - SEE LANDSCAPING PLAN AND CONSULT WITH LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE SEED MIX AND SEEDING RATES.

NOTE:
THE STORMWATER MANAGEMENT FEATURES CONTAINED WITHIN THIS PLAN SET HAVE BEEN DESIGNED IN ACCORDANCE WITH APPLICABLE STANDARDS SET FORTH IN WISCONSIN DNR NR151 AND LOCAL ORDINANCES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER CONSTRUCTION PRACTICES HAVE BEEN UTILIZED AND THAT STORMWATER MANAGEMENT FEATURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED DESIGN PLANS. JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL NOT BE LIABLE FOR ANY CONSTRUCTION PRACTICES OR INSTALLATION WHICH DEVIATES FROM THE APPROVED PLAN SET. ONCE THE OWNER HAS PROVIDED FINAL APPROVAL TO THE WORK PERFORMED BY THE CONTRACTOR AND ENSURED COMPLIANCE WITH THE PLAN, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN STORMWATER MANAGEMENT FEATURES IN ACCORDANCE WITH THE RECORDED MAINTENANCE AGREEMENT. PROPER OPERATION IS DEPENDENT ON A MULTITUDE OF VARIABLES INCLUDING WEATHER. THESE COMPONENTS REQUIRE ONGOING MAINTENANCE FOR WHICH THE OWNER IS RESPONSIBLE. JSD TAKES NO RESPONSIBILITY FOR PROPER OPERATION OF THE WATER QUALITY COMPONENTS.

NOTE:
INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



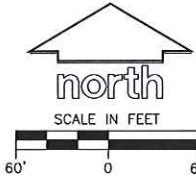
PLANT SCHEDULE NOVATION				
	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
DECIDUOUS TREES				
	<i>Acer rubrum</i> 'Redspire' / Redspire Maple	B & B	1.5' Cal. min.	25
	<i>Betula nigra</i> 'Heritage' / Heritage River Birch	B & B	1.5' Cal-Mult-stem	3
	<i>Betula platyphylla japonica</i> 'Whitespire' / Japanese Birch	B & B	1.5' Cal-Mult-stem	4
	<i>Ginkgo biloba</i> 'Autumn Gold' TM / Maidenhair Tree	B & B	1.5' Cal. min.	1
	<i>Platanus x acerifolia</i> 'Excelsion' TM / Exclamation London Plane Tree	B & B	1.5' Cal. min.	1
	<i>Quercus bicolor</i> / Swamp White Oak	B & B	1.5' Cal. min.	2
	<i>Quercus muhlenbergii</i> / Chinquapin Oak	B & B	1.5' Cal. min.	2
	<i>Quercus rubra</i> / Red Oak	B & B	1.5' Cal. min.	3
	<i>Ulmus americana</i> 'New Harmony' / New Harmony American Elm	B & B	1.5' Cal. min.	13
EVERGREEN TREES				
	<i>Picea abies</i> / Norway Spruce	B & B	6.8' ball min.	4
	<i>Picea glauca</i> 'Donsola' / Black Hills Spruce	B & B	6.8' ball min.	3
	<i>Thuja occidentalis</i> 'Techny' / Techny Arborvitae	B & B	6' Tall	12
TREES - DECIDUOUS ORNAMENTAL				
	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' T.F. / 'Autumn Brilliance' Serviceberry	B & B	1.5' Cal	13
	<i>Magnolia stellata</i> 'Juno Plant' / Star Magnolia	B & B	1-2' Cal	7
PERENNIALS				
	<i>Allium x 'Millenium'</i> / Millenium Ornamental Chive	1 Gal	COONT	19
	<i>Drechampsia cespitosa</i> 'Goldstr' / Gold Dew Tufted Hair Grass	4.5"	Flag	149
	<i>Geranium x cantabrigiense</i> 'Blokovo' / Blokovo Cranebill	1 Gal	COONT	10
	<i>Hemerocallis x 'Chicago Apache'</i> / Daylily	1 Gal	COONT	274
	<i>Hemerocallis x 'Chicago Goldcoast'</i> / Chicago Goldcoast Daylily	1 Gal	COONT	207
	<i>Naucleria americana</i> 'Berry Timeless' / Berry Timeless Coral Bells	1 Gal	COONT	12
	<i>Hosta x 'Haleyon'</i> / Haleyon Plantain Lily	1 Gal	COONT	4
	<i>Hosta x 'Patrol'</i> / Patrol Hosta	1 Gal	COONT	18
	<i>Nepeta racemosa</i> 'Walker's Low' / Catmint	1 Gal	COONT	3
	<i>Paricum stipitatum</i> 'Shenandoah' / Switch Grass	1 Gal	COONT	164
	<i>Perovskia x 'Little Spire'</i> / Russian Sage	1 Gal	COONT	129
	<i>Schizachyrium scoparium</i> 'The Blues' / Little Bluestem	1 Gal	COONT	118
	<i>Sedum x 'Autumn Joy'</i> / Autumn Joy Sedum	1 Gal	COONT	45
SHRUBS - DECIDUOUS				
	<i>Diervilla sessifolia</i> 'Cool Splash' / Cool Splash False Honeyuckle	3 gal	COONT	101
	<i>Forsythia x intermedia</i> 'Show Off' / Golden-Bells	3 gal	COONT	26
	<i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Hydrangea	3 gal	COONT	8
	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	3 gal	COONT	22
	<i>Physocarpus opulifolius</i> 'SMPTIV' / Tiny Wine Ninebark	3 gal	COONT	116
	<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	COONT	15
	<i>Ribes alpinum</i> 'Green Mount' / Green Mount Alpine Currant	3 gal	COONT	72
	<i>Viburnum dentatum</i> 'Christom' / Blue Muffin Viburnum	3 gal	COONT	41
	<i>Wigelia florida</i> 'Missus' / Missus Wigelia	3 gal	COONT	164
SHRUBS - EVERGREEN				
	<i>Juniperus x pfitzeriana</i> 'Sea Green' / Sea Green Juniper	3 gal	COONT	11
	<i>Taxus cuspidata</i> 'Nana' / Dwarf Japanese Yew	3 gal	COONT	31
	<i>Taxus x media</i> 'Tomboni' / Tandon Yew	3 gal	COONT	12

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER SERVICE
- EXISTING FIBER OPTIC
- EXISTING GAS
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE EDGING
- SHOVEL CUT LANDSCAPE EDGING
- BIORETENTION - VEGETATIVE MAT
- EROSION CONTROL SEED MIX
- BIKE RACK
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE



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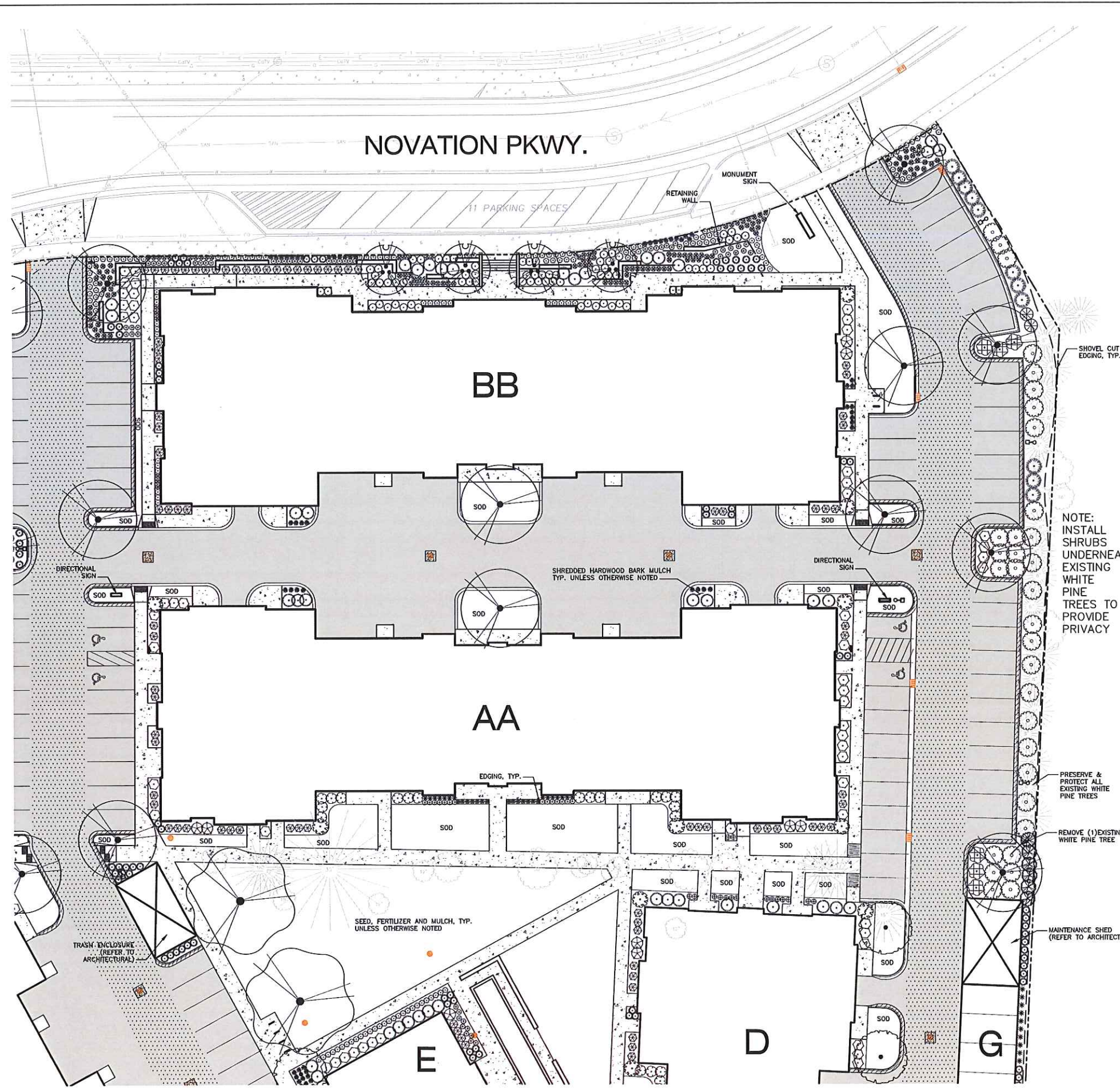
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Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
**OVERALL
LANDSCAPE PLAN**

SHEET NUMBER:
L1.0

File: I:\2017\78230\DWG\17-8230 Landscape.dwg Layout: L1.1 User: mms1042017 Plot Date: Dec 05, 2018 12:43pm Xref's:



LEGEND

- PROPERTY LINE
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- EASEMENT LINE
- ST --- EXISTING STORM SEWER
- SAN --- EXISTING SANITARY SEWER
- W --- EXISTING WATER SERVICE
- FO --- EXISTING FIBER OPTIC
- G --- EXISTING GAS
- BUILDING OUTLINE
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- STANDARD CURB AND GUTTER
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE EDGING
- SHOVEL CUT LANDSCAPE EDGING
- | BIKE RACK
- o LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

PLANT SCHEDULE L1.1

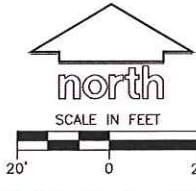
BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
DECIDUOUS TREES			
<i>Acer rubrum</i> 'Redpointe' / Redpointe Maple	B & B	1.5" Cal. min.	11
<i>Betula platyphylla japonica</i> 'Whitegate' / Japanese Birch	B & B	1.5" Cal. Min. min.	4
<i>Ulmus americana</i> 'New Harmony' / New Harmony American Elm	B & B	1.5" Cal. min.	2
EVERGREEN TREES			
<i>Thuja occidentalis</i> 'Teddy' / Teddy Arborvitae	B & B	6" Tall	8
TREES - DECIDUOUS ORNAMENTAL			
<i>Aster sp.</i> 'Autumn Brilliance' / Autumn Brilliance Aster	B & B	1.5" Cal.	2
PERENNIALS			
<i>Deschampsia cespitosa</i> 'Goldens' / Gold Owe Tuleed Hair Grass	CONT.	4.5"	128
<i>Hemerocallis</i> 'Chicago Apache' / Daylily	CONT.	1 Gal.	60
<i>Hemerocallis</i> 'Chicago Goldenseal' / Chicago Goldenseal Daylily	CONT.	1 Gal.	136
<i>Hosta</i> 'Patriot' / Patriot Hosta	CONT.	1 Gal.	18
<i>Panicum virgatum</i> 'Shenandoah' / Switch Grass	CONT.	1 Gal.	72
<i>Perovskia</i> 'Little Spire' / Russian Sage	CONT.	1 Gal.	48
<i>Schizanthus luteus</i> 'The Blues' / Little Blues	CONT.	1 Gal.	24
<i>Sedum</i> 'Autumn Joy' / Autumn Joy Sedum	CONT.	1 Gal.	19
SHRUBS - DECIDUOUS			
<i>Chenille plantain</i> 'Coral Spash' / Coral Spash False Honeyuckle	CONT.	3 gal.	18
<i>Forsythia</i> 'Harmadea' / Golden-Bells	CONT.	3 gal.	8
<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	CONT.	3 gal.	8
<i>Physocarpus opulifolius</i> 'SAPOTW' / Tiny Wine Mulberry	CONT.	3 gal.	50
<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac	CONT.	3 gal.	4
<i>Ribes alpinum</i> 'Green Mount' / Green Mount Alpine Currant	CONT.	3 gal.	72
<i>Viburnum dentatum</i> 'Onyx' / Blue Mountain Viburnum	CONT.	3 gal.	33
<i>Wegelia florida</i> 'Mistral' / Mistral Weigela	CONT.	3 gal.	27
SHRUBS - EVERGREEN			
<i>Juniperus</i> 'pfeifferiana' / Sea Green / Sea Green Juniper	CONT.	3 gal.	11
<i>Taxus canadensis</i> 'Nana' / Dwarf Japanese Yew	CONT.	3 gal.	40
<i>Taxus media</i> 'Tautou' / Tautou Yew	CONT.	3 gal.	3

NOTE:
INSTALL SHRUBS UNDERNEATH EXISTING WHITE PINE TREES TO PROVIDE PRIVACY

PRESERVE & PROTECT ALL EXISTING WHITE PINE TREES

REMOVE (1) EXISTING WHITE PINE TREE

MAINTENANCE SHED (REFER TO ARCHITECTURAL)



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CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
**345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703**

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	11.16.2018	SIP/ADR SUBMITTAL
2	12.05.2018	SIP RESUBMITTAL
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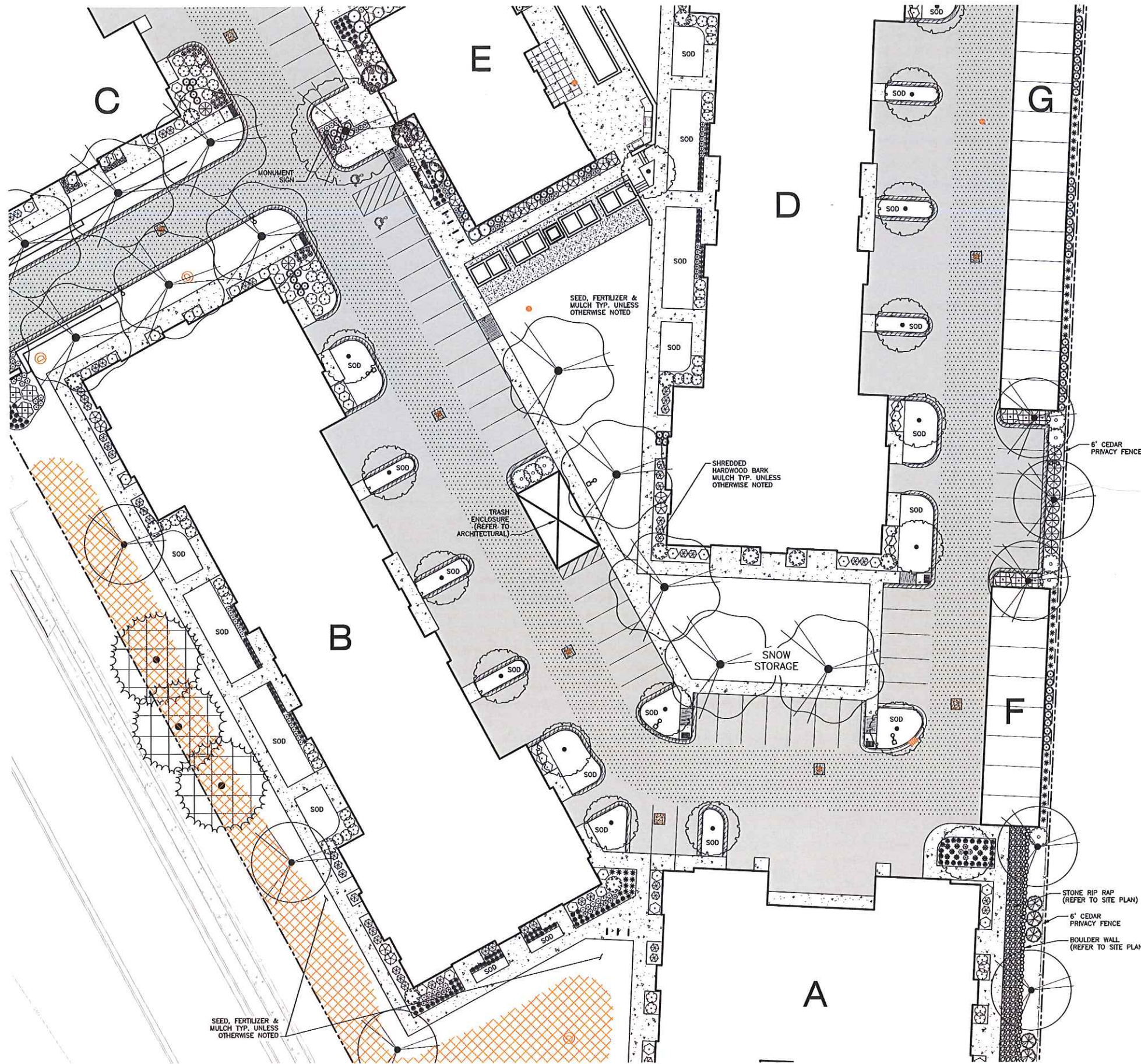
Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
**LANDSCAPE PLAN -
NORTHEAST**

SHEET NUMBER:
L1.1

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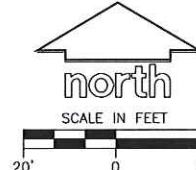


LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- ST EXISTING STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATER SERVICE
- FO EXISTING FIBER OPTIC
- G EXISTING GAS
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE EDGING
- SHOVEL CUT LANDSCAPE EDGING
- EROSION CONTROL SEED MIX
- I BIKE RACK
- o LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

PLANT SCHEDULE L1.2

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
○	<i>Acer rubrum</i> 'Redpointe' / Redpointe Maple	BBB	15' Cal. min.	8
○	<i>Platanus x acerifolia</i> 'Exclamation' TM / Exclamation London Plane Tree	BBB	15' Cal. min.	1
○	<i>Ulmus americana</i> 'New Harmony' / New Harmony American Elm	BBB	15' Cal. min.	10
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
●	<i>Picea abies</i> / Norway Spruce	BBB	8' Cal. min.	3
●	<i>Thuja occidentalis</i> 'Trophy' / Trophy Arborvitae	BBB	6' Tall	5
TREES - DECIDUOUS ORNAMENTAL	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
○	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' T.F. / Autumn Brilliance Starburst	BBB	15' Cal.	17
○	<i>Magnolia alba</i> 'Star Plut' / Star Magnolia	BBB	12' Cal.	3
PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
☼	<i>Allium x Millerianum</i> / Millerian Ornamental Onion	1 Gal.	CONT.	19
☼	<i>Germium x cambridgeana</i> 'Eloise' / Eloise Cranebill	1 Gal.	CONT.	10
☼	<i>Hemerocallis x 'Chicago Apache'</i> / Dptyly	1 Gal.	CONT.	131
☼	<i>Hemerocallis x 'Chicago Ginkweed'</i> / Chicago Ginkweed Dptyly	1 Gal.	CONT.	26
☼	<i>Hosta x 'Nelson'</i> / Nelson Plantain Lily	1 Gal.	CONT.	4
☼	<i>Panicum virgatum</i> 'Shenandoah' / Switch Grass	1 Gal.	CONT.	72
☼	<i>Parosela x 'Little Spire'</i> / Russian Sage	1 Gal.	CONT.	61
☼	<i>Schizanthus luteus</i> 'The Blue' / Little Bluebell	1 Gal.	CONT.	79
☼	<i>Sedum x 'Autumn Joy'</i> / Autumn Joy Sedum	1 Gal.	CONT.	18
☼	<i>Sedum x 'Autumn Joy'</i> / Autumn Joy Sedum	1 Gal.	CONT.	18
SHRUBS - DECIDUOUS	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
○	<i>Diervilla aestivata</i> 'Cool Spahn' / Cool Spahn False Honeysuckle	3 gal.	CONT.	66
○	<i>Forsythia x intermedia</i> 'Snow Gif' / Golden Balls	3 gal.	CONT.	12
○	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	3 gal.	CONT.	13
○	<i>Physocarpus opulifolius</i> 'SIBIRIY' / Tey-Itte Niburt	3 gal.	CONT.	48
○	<i>Rhus aromatica</i> 'Gro Low' / Gro Low Fragrant Sumac	3 gal.	CONT.	6
○	<i>Viburnum dentatum</i> 'Christi' / Blue Muffin Viburnum	3 gal.	CONT.	8
○	<i>Wigelia florida</i> 'Minuet' / Minuet Wigelia	3 gal.	CONT.	53
SHRUBS - EVERGREEN	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
○	<i>Taxus canadensis</i> 'Nana' / Dwarf Japanese Yew	3 gal.	CONT.	12
○	<i>Taxus x media</i> 'Tussock' / Tussock Yew	3 gal.	CONT.	10



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CLIENT ADDRESS:
**345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703**

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

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1	11.16.2018	SIP/ADR SUBMITTAL
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Design/Drawn: MWS
Approved: KJY

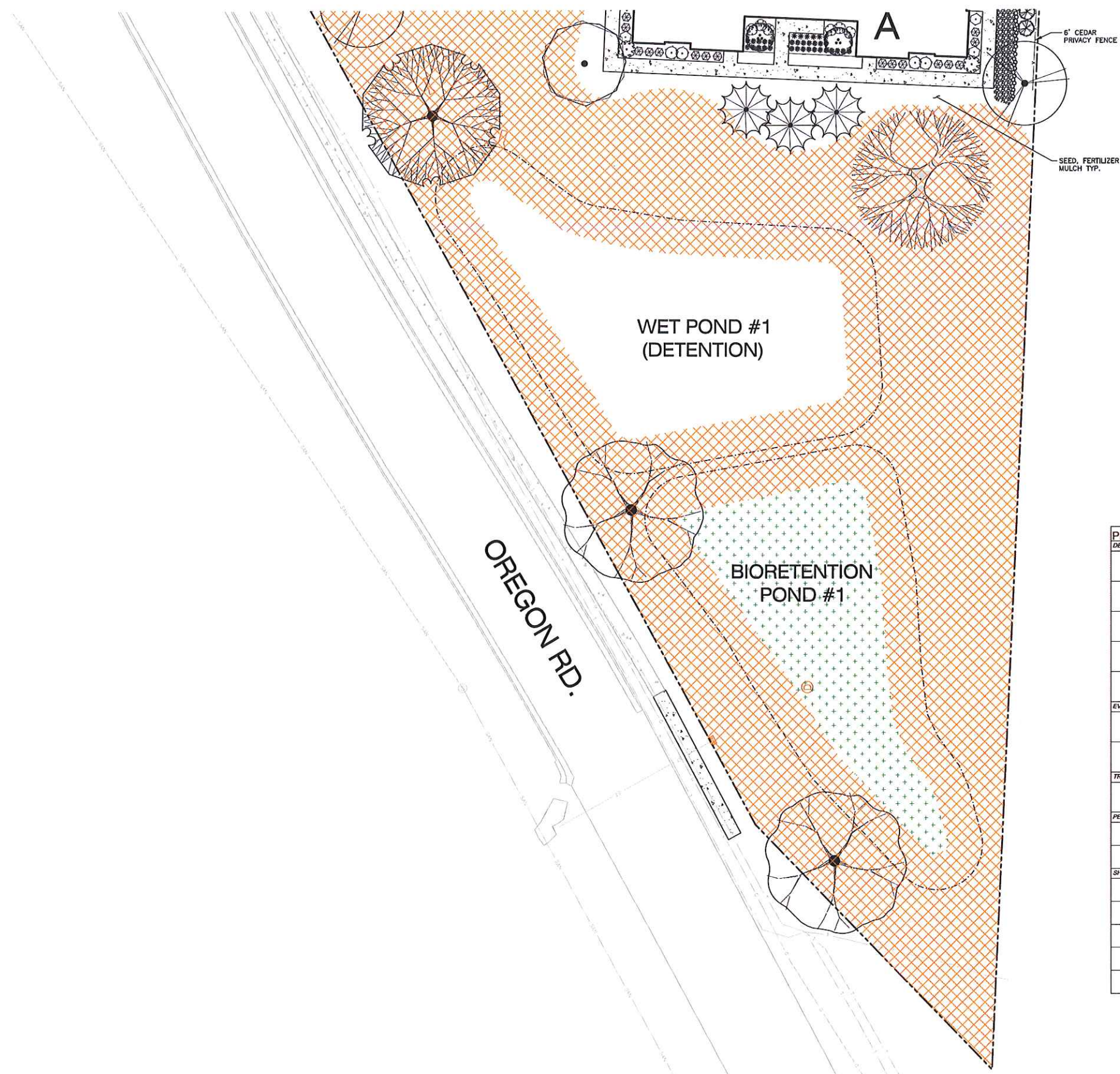
SHEET TITLE:
**LANDSCAPE PLAN -
CENTRAL**

SHEET NUMBER:
L1.2

JSD PROJECT NO. 17-8230

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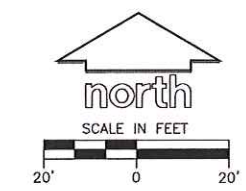


LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- ST EXISTING STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATER SERVICE
- FO EXISTING FIBER OPTIC
- G EXISTING GAS
- 39 EXISTING 1 FOOT CONTOUR
- 40 EXISTING 5 FOOT CONTOUR
- 39 PROPOSED 1 FOOT CONTOUR
- 40 PROPOSED 5 FOOT CONTOUR
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- CONCRETE PAVEMENT
- SHOVEL CUT LANDSCAPE EDGING
- BIORETENTION - VEGETATIVE MAT
- EROSION CONTROL SEED MIX

PLANT SCHEDULE L1.3

	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
DECIDUOUS TREES				
	<i>Acer rubrum</i> 'Redpointe' / Redpointe Maple	B & B	1.5" Cal. min.	1
	<i>Ginkgo biloba</i> 'Autumn Gold' TM / Maidenhair Tree	B & B	1.5" Cal. min.	1
	<i>Quercus bicolor</i> / Swamp White Oak	B & B	1.5" Cal. min.	1
	<i>Quercus muhlenbergii</i> / Chinkapin Oak	B & B	1.5" Cal. min.	1
	<i>Quercus rubra</i> / Red Oak	B & B	1.5" Cal. min.	2
EVERGREEN TREES				
	<i>Picea glauca</i> 'Densata' / Black Hills Spruce	B & B	6 R tall min.	3
	<i>Thuja occidentalis</i> 'Techny' / Techny Arborvitae	B & B	6' Tall	1
TREES - DECIDUOUS ORNAMENTAL				
	<i>Magnolia stellata</i> 'Jane Platt' / Star Magnolia	B & B	1-2" Cal	2
PERENNIALS				
	<i>Hemerocallis</i> x 'Chicago Apache' / Daylily	CONT	CONT	28
	<i>Schizachyrium scoparium</i> 'The Blues' / Little Bluestem	1 Gal	CONT	6
SHRUBS - DECIDUOUS				
	<i>Lonicera sempervirens</i> 'Cool Splash' / Cool Splash False Honeysuckle	3 gal	CONT	6
	<i>Forsythia</i> x 'intermedia' 'Show Off' / Golden-Bells	3 gal	CONT	2
	<i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Hydrangea	3 gal	CONT	4
	<i>Physocarpus opulifolius</i> 'SIMPOTW' / Tiny Wine Ninebark	3 gal	CONT	3
	<i>Weigela florida</i> 'Minuet' / Minuet Weigela	3 gal	CONT	15



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**345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703**

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

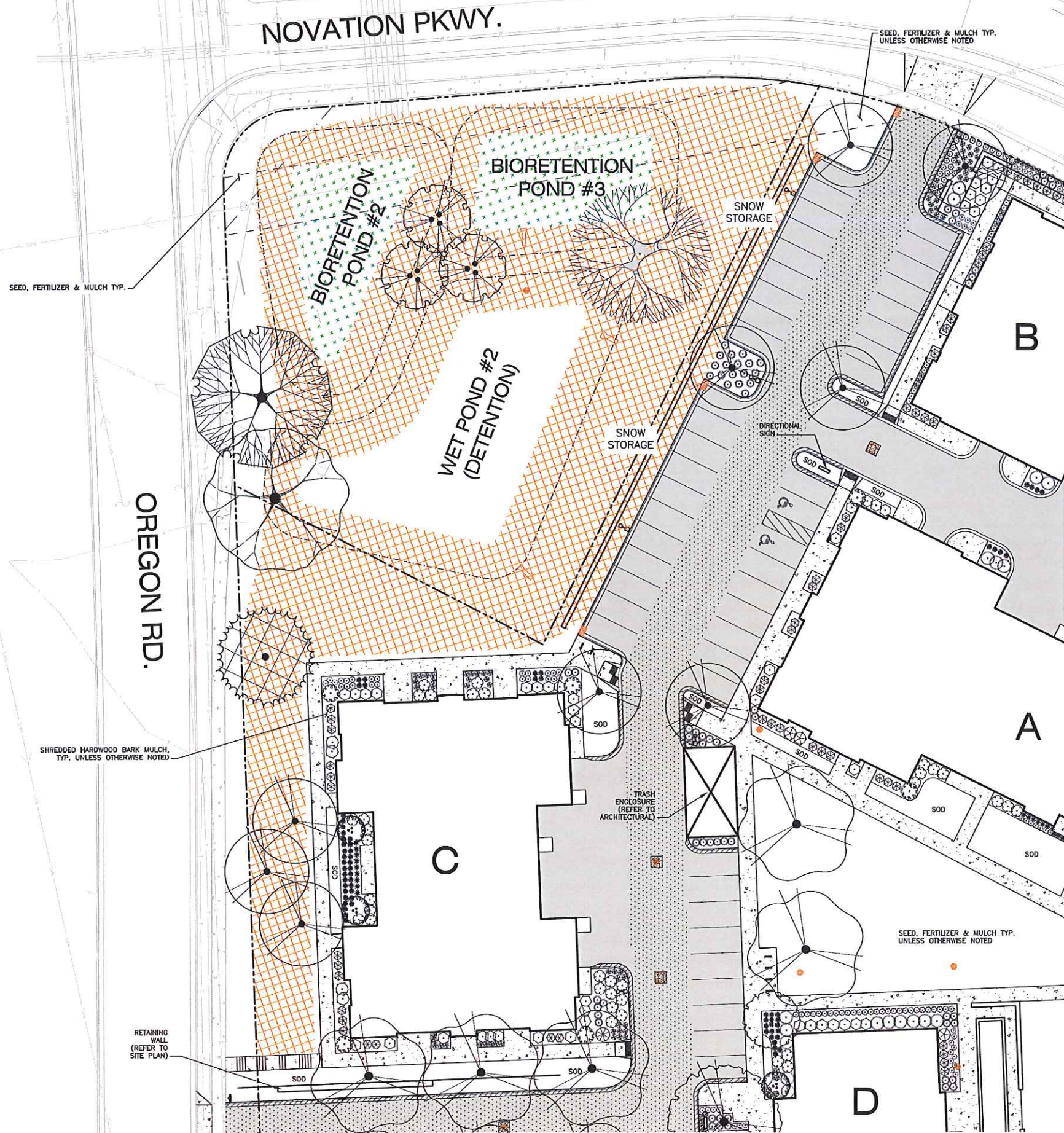
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Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
LANDSCAPE PLAN - SOUTH

SHEET NUMBER:
L1.3

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LEGEND

- PROPERTY LINE
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- - - EASEMENT LINE
- ST --- EXISTING STORM SEWER
- SAN --- EXISTING SANITARY SEWER
- W --- EXISTING WATER SERVICE
- FO --- EXISTING FIBER OPTIC
- G --- EXISTING GAS
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE EDGING
- SHOVEL CUT LANDSCAPE EDGING
- BIORETENTION - VEGETATIVE MAT
- EROSION CONTROL SEED MIX
- I --- BIKE RACK
- oo --- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

PLANT SCHEDULE L1.4

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	<i>Acer rubrum</i> / Red Maple / Redpointe Maple	B & B	1.5" Cal. min.	8
	<i>Betula nigra</i> / Heritage / Heritage River Birch	B & B	1.5" Cal. min.	3
	<i>Quercus bicolor</i> / Swamp White Oak	B & B	1.5" Cal. min.	1
	<i>Quercus muhlenbergii</i> / Chinquapin Oak	B & B	1.5" Cal. min.	1
	<i>Quercus rubra</i> / Red Oak	B & B	1.5" Cal. min.	1
	<i>Ulmus americana</i> / New Harmony / New Harmony American Elm	B & B	1.5" Cal. min.	8
	<i>Pinus strobus</i> / Norway Spruce	B & B	8.8" Cal. min.	1
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	<i>Pinus strobus</i> / Norway Spruce	B & B	8.8" Cal. min.	1
TREES - DECIDUOUS ORNAMENTAL	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	<i>Ampelopsis</i> s. <i>graniflora</i> / Autumn Brilliance™ / F. / Autumn Brilliance™ / Scuppernon	B & B	1.5" Cal.	1
	<i>Magnolia stellata</i> / Star Magnolia	B & B	1.5" Cal.	3
PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
	<i>Alumina</i> s. <i>Milium</i> / Milium Ornamental Olive	1 Gal.	CONT.	5
	<i>Deschampsia cespitosa</i> / Golden / Gold Dew Tufted Hair Grass	4.5"	Plug	50
	<i>Hemerocallis</i> s. <i>Chicago Apache</i> / Daylily	1 Gal.	CONT.	84
	<i>Hemerocallis</i> s. <i>Chicago Goldblatt</i> / Chicago Goldblatt Daylily	1 Gal.	CONT.	78
	<i>Heuchera americana</i> / Berry Tricolor / Berry Tricolor Coral Bell	1 Gal.	CONT.	12
	<i>Hosta racemosa</i> / Walker's Line / Cabot's	1 Gal.	CONT.	3
	<i>Panicum virgatum</i> / Shenandoah / Swan Grass	1 Gal.	CONT.	61
	<i>Perovskia</i> s. <i>Little Spire</i> / Russian Sage	1 Gal.	CONT.	28
	<i>Stachys triflorus</i> / Blue Star / Little Blue Star	1 Gal.	CONT.	19
	<i>Sedum</i> s. <i>Autumn Joy</i> / Autumn Joy Sedum	1 Gal.	CONT.	20
SHRUBS - DECIDUOUS	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
	<i>Desmodium illinoense</i> / Cow Splash / Cow Splash / False Honeyuckle	3 gal.	CONT.	34
	<i>Forsythia</i> s. <i>intermedia</i> / Show Off / Golden-Bells	3 gal.	CONT.	8
	<i>Hydrangea paniculata</i> / Little Lime / Little Lime Hydrangea	3 gal.	CONT.	4
	<i>Hydrangea paniculata</i> / Little Quick Fire / Little Quick Fire Hydrangea	3 gal.	CONT.	3
	<i>Physocarpus opulifolius</i> / SMF01W / Tiny Wine Newbark	3 gal.	CONT.	47
	<i>Wagnia bonin</i> / Minuet / Minuet Wagnia	3 gal.	CONT.	50
SHRUBS - EVERGREEN	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
	<i>Faxus cuspidata</i> / Nana / Dwarf Japanese Yew	3 gal.	CONT.	17
	<i>Faxus</i> s. <i>media</i> / Taunton / Taunton Yew	3 gal.	CONT.	1



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PROJECT LOCATION:
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DANE COUNTY**

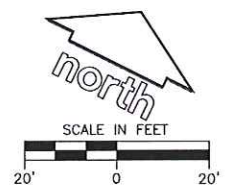
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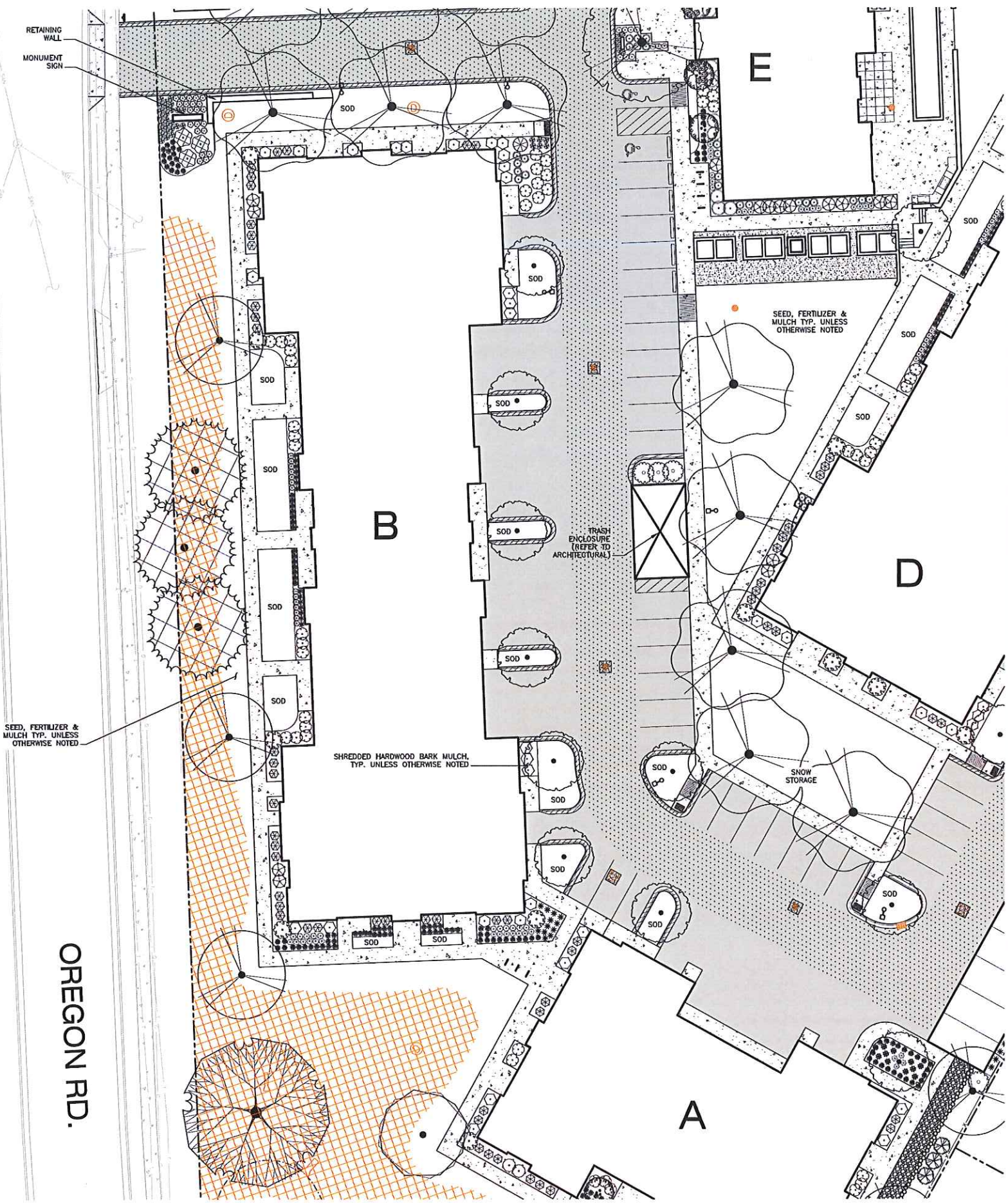
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Design/Drawn: MWS
Approved: KYJ

SHEET TITLE:
**LANDSCAPE PLAN -
NORTHWEST**

SHEET NUMBER:
L1.4





LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- ST EXISTING STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATER SERVICE
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- G EXISTING GAS
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- I BIKE RACK
- od LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

PLANT SCHEDULE L1.5

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	<i>Acer rubrum 'Redspire' / Redspire Maple</i>	B & B	1.5' Cal. min.	4
	<i>Grisea bicolor 'Autumn Gold' TM / Maidenhair Tree</i>	B & B	1.5' Cal. min.	1
	<i>Platanus x acerifolia 'Exclamation' TM / Exclamation London Plane Tree</i>	B & B	1.5' Cal. min.	1
	<i>Quercus muhlenbergii / Chinquapin Oak</i>	B & B	1.5' Cal. min.	1
	<i>Ulmus americana 'New Harmony' / New Harmony American Elm</i>	B & B	1.5' Cal. min.	8
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	<i>Picea abies / Norway Spruce</i>	B & B	8' Ball min.	3
	<i>Thuja occidentalis 'Tectory' / Tectory Arborvitae</i>	B & B	6' Tall	3
TREES - DE CADUCOUS ORNAMENTAL	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	<i>Amelanchier x grandiflora 'Autumn Brilliance' T.F. / Autumn Brilliance Serviceberry</i>	B & B	1.5' Cal.	11
	<i>Magnolia debilis 'Jane Platt' / Star Magnolia</i>	B & B	1.2' Cal.	2
PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
	<i>Allium x Millerium / Millerium Ornamental Chive</i>	1 Gal	COINT	14
	<i>Deschampsia cespitosa 'Goldax' / Gold Dew Tufted Hair Grass</i>	4.5"	Plug	21
	<i>Geranium x carolinense 'Bokoro' / Bokoro Geranium</i>	1 Gal	COINT	10
	<i>Hemerocallis x 'Chicago Apache' / Daylily</i>	1 Gal	COINT	121
	<i>Hemerocallis x 'Chicago Goldcrest' / Chicago Goldcrest Daylily</i>	1 Gal	COINT	21
	<i>Hakia x 'Hakyon' / Hakyon Plantain Lily</i>	1 Gal	COINT	4
	<i>Panicum virgatum 'Shenandoah' / Switch Grass</i>	1 Gal	COINT	28
	<i>Parosela x 'Little Spire' / Russian Sage</i>	1 Gal	COINT	55
	<i>Schizanthus lycopodium 'The Blues' / Little Bluebell</i>	1 Gal	COINT	33
	<i>Sedum x 'Autumn Joy' / Autumn Joy Sedum</i>	1 Gal	COINT	18
SHRUBS - DECIDUOUS	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
	<i>Diervilla aestivata 'Cool Splash' / Cool Splash False Honeyuckle</i>	3 gal	COINT	43
	<i>Forsythia x intermedia 'Show Off' / Golden Bell</i>	3 gal	COINT	11
	<i>Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea</i>	3 gal	COINT	2
	<i>Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea</i>	3 gal	COINT	13
	<i>Physocarpus opulifolius 'SM'OTIV' / Tiny Wine Nibbert</i>	3 gal	COINT	38
	<i>Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac</i>	3 gal	COINT	3
	<i>Viburnum dentatum 'Christina' / Blue Muffin Viburnum</i>	3 gal	COINT	4
	<i>Wegelia florida 'Mistral' / Mistral Weigela</i>	3 gal	COINT	56
SHRUBS - EVERGREEN	BOTANICAL NAME / COMMON NAME	CONT.	SIZE AT PLANTING	QTY
	<i>Taxus cuspidata 'Nana' / Dwarf Japanese Yew</i>	3 gal	COINT	7
	<i>Taxus x media 'Tauntton' / Tauntton Yew</i>	3 gal	COINT	1



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS:
345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

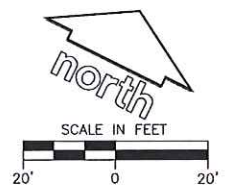
PLAN MODIFICATIONS:

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2	12.05.2018	SIP RESUBMITTAL
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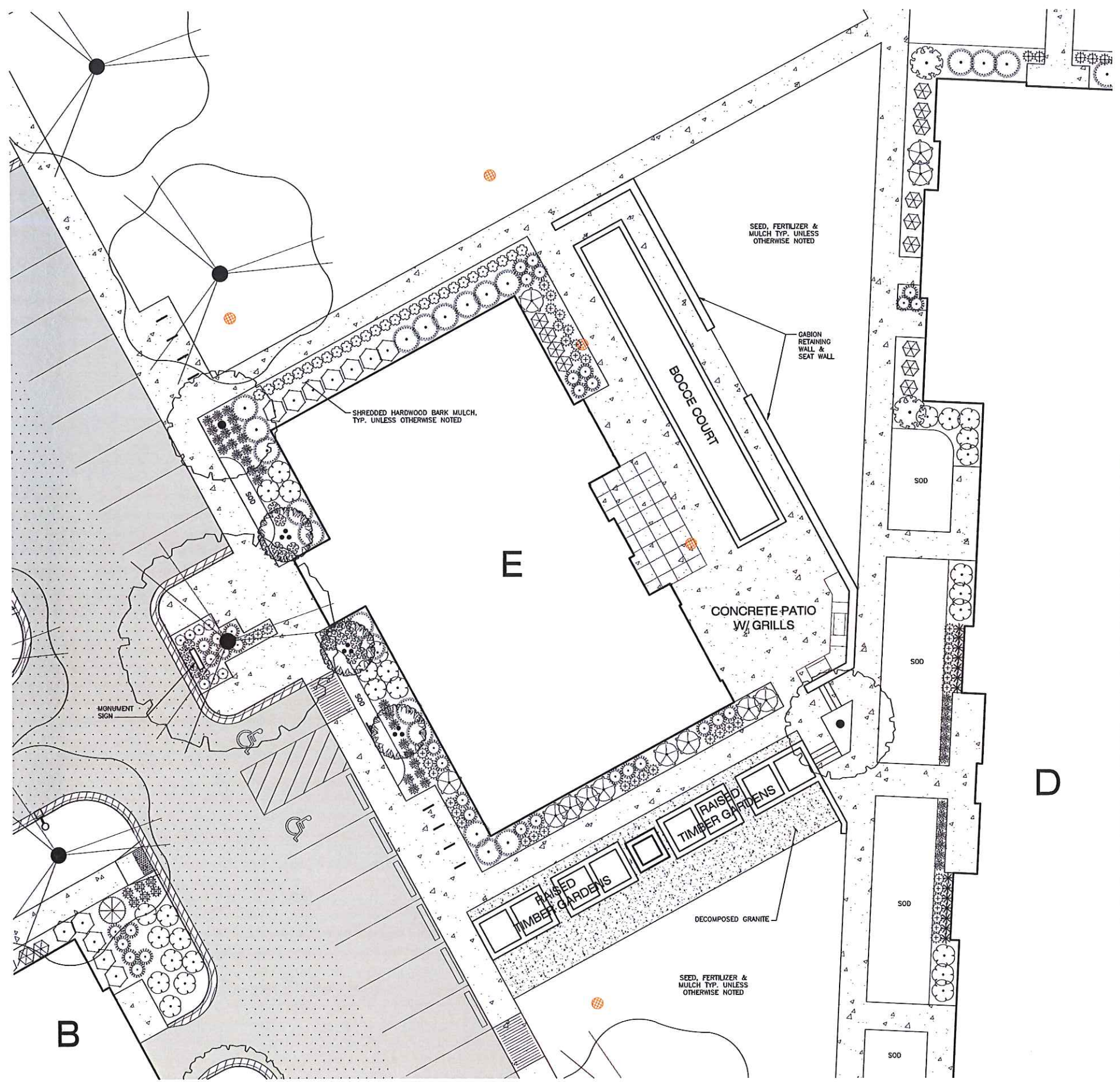
Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
**LANDSCAPE PLAN -
SOUTHWEST**

SHEET NUMBER:
L1.5



File: L:\2017\78230\DWG\17-8230 Landscape.dwg Layout: L1.6 User: mainiac@h Plotter: Dec 05, 2018 - 12:44pm Xref's:



LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE EDGING
- BIKE RACK
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

PLANT SCHEDULE L1.6

BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
DECIDUOUS TREES			
<i>Platanus x acerifolia</i> 'Exclamation' TM / Exclamation London Plane Tree	B & B	1.5" Cal. min.	1
<i>Ulmus americana</i> 'New Harmony' / New Harmony American Elm	B & B	1.5" Cal. min.	3
TREES - DECIDUOUS ORNAMENTAL			
<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' T.F. / 'Autumn Brilliance' Serviceberry	B & B	1.5" Cal.	2
<i>Magnolia stellata</i> 'Star Plant' / Star Magnolia	B & B	1-2" Cal.	3
PERENNIALS			
<i>Allium x 'Millenium'</i> / Millenium Ornamental Chive	1 Gal.	COINT	19
<i>Deschampsia cespitosa</i> 'Goldtau' / Gold Dew Tufted Hair Grass	4.5"	Plug	28
<i>Hemerocallis x 'Chicago Apache'</i> / Daylily	1 Gal.	COINT	41
<i>Hemerocallis x 'Chicago Gold Coast'</i> / Chicago Gold Coast Daylily	1 Gal.	COINT	8
<i>Hosta x 'Patriot'</i> / Patriot Hosta	1 Gal.	COINT	8
<i>Panicum virgatum</i> 'Shenandoah' / Switch Grass	1 Gal.	COINT	35
<i>Pierisella x 'Little Spire'</i> / Russian Sage	1 Gal.	COINT	44
<i>Schizanthus lacinjatus</i> 'The Blues' / Little Bluestem	1 Gal.	COINT	14
<i>Sedum x 'Autumn Joy'</i> / Autumn Joy Sedum	1 Gal.	COINT	7
SHRUBS - DECIDUOUS			
<i>Doronicum aureum</i> 'Cool Splash' / Cool Splash False Honeysuckle	3 gal.	COINT	28
<i>Forsythia x 'Intermedia'</i> 'Show Off' / Golden-Bells	3 gal.	COINT	2
<i>Hydrangea paniculata</i> 'Little Quack Fire' / Little Quack Fire Hydrangea	3 gal.	COINT	12
<i>Physocarpus opulifolius</i> 'SAPOTIV' / Tiny Wine Nervebark	3 gal.	COINT	12
<i>Wegelia florida</i> 'Mouset' / Mouset Weigela	3 gal.	COINT	14
SHRUBS - EVERGREEN			
<i>Taxus cuspidata</i> 'Nana' / Dwarf Japanese Yew	3 gal.	COINT	22
<i>Taxus x media</i> 'Taurinoni' / Tauron Yew	3 gal.	COINT	1



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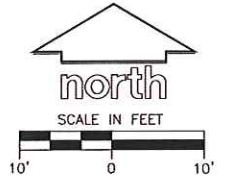
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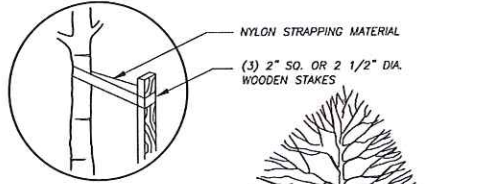
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Design/Drawn: MVS
Approved: KJY

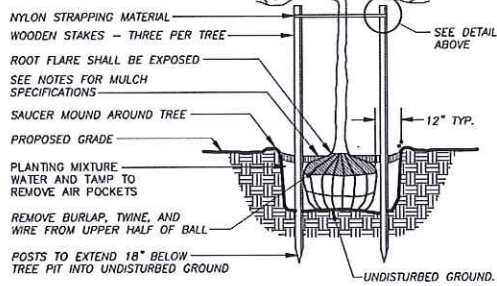
SHEET TITLE:
**LANDSCAPE PLAN -
CLUBHOUSE**

SHEET NUMBER:
L1.6

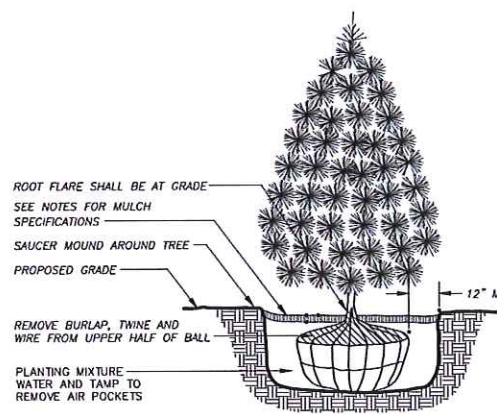




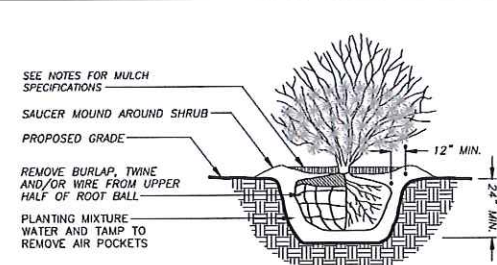
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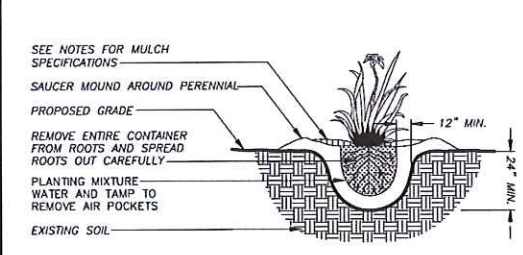
DECIDUOUS TREE PLANTING DETAIL
N.T.S.



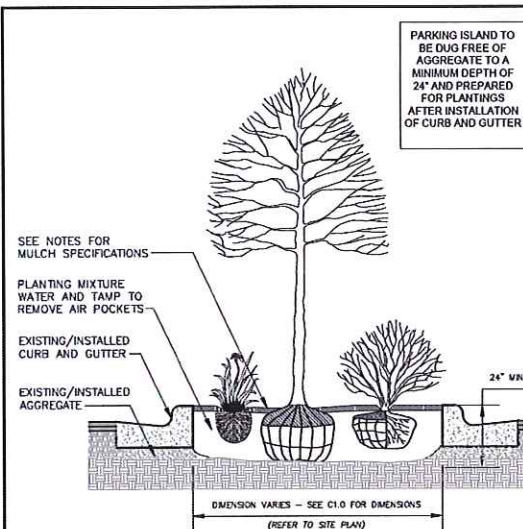
EVERGREEN TREE PLANTING DETAIL
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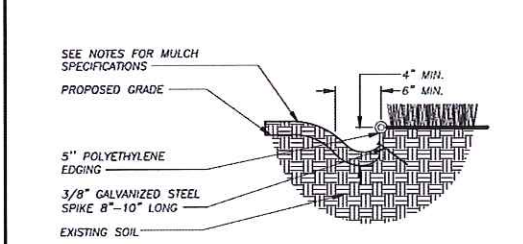
DECIDUOUS/EVERGREEN SHRUB PLANTING DETAIL
N.T.S.



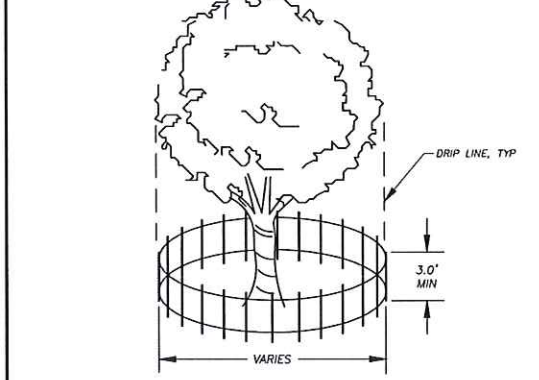
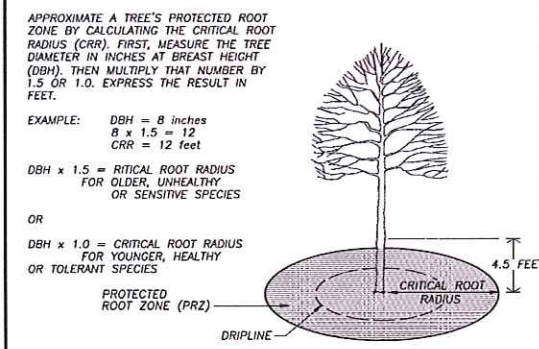
PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
N.T.S.



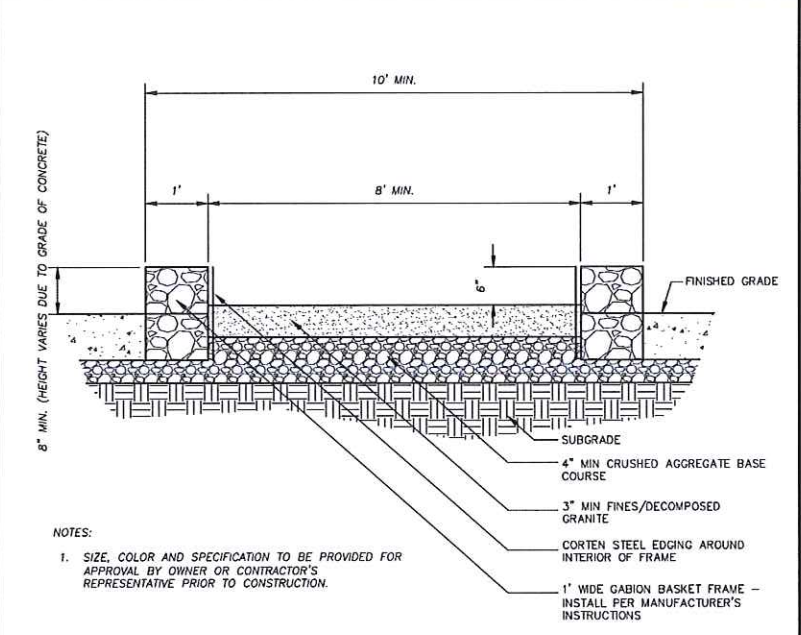
PARKING ISLAND LANDSCAPE DETAIL
N.T.S.



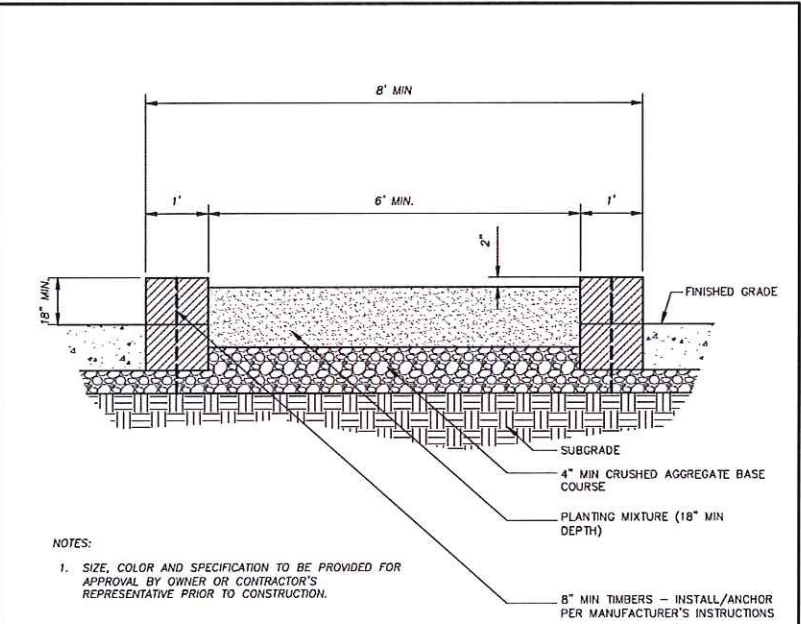
POLYETHYLENE LANDSCAPE EDGING DETAIL
N.T.S.



TREE PROTECTION DETAIL
N.T.S.



BOCCE COURT DETAIL
N.T.S.



TIMBER GARDEN DETAIL
N.T.S.



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Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
LANDSCAPE DETAILS,
NOTES &
SPECIFICATIONS

SHEET NUMBER:
L2.0



Botanical Name	Common Name	Quantity	Spacing
Bio-Retention Basin #1 Plug Plant Mix 4,883 S.F.			
Permanent Grasses:			
<i>Carex grayii</i>	Common Bur Sedge	273	1'-0" On Center
<i>Carex stipata</i>	Common Fox Sedge	272	1'-0" On Center
<i>Panicum virgatum</i>	Switch Grass	272	1'-0" On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	272	1'-0" On Center
Forbs:			
<i>Aster novae-angliae</i>	New England Aster	271	1'-0" On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	271	1'-0" On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	271	1'-0" On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	271	1'-0" On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	271	1'-0" On Center
<i>Liatris spicata</i>	Marsh Blazing Star	271	1'-0" On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	271	1'-0" On Center
<i>Monarda fistulosa</i>	Wild Bergamot	271	1'-0" On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	271	1'-0" On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	271	1'-0" On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	271	1'-0" On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	271	1'-0" On Center
<i>Veronicastrum virginianum</i>	Culver's Root	271	1'-0" On Center
<i>Zizia aurea</i>	Golden Alexanders	271	1'-0" On Center
	TOTAL	4883	

Botanical Name	Common Name	Quantity	Spacing
Bio-Retention Basin #2 Plug Plant Mix 1,925 S.F.			
Permanent Grasses:			
<i>Carex grayii</i>	Common Bur Sedge	107	1'-0" On Center
<i>Carex stipata</i>	Common Fox Sedge	107	1'-0" On Center
<i>Panicum virgatum</i>	Switch Grass	107	1'-0" On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	107	1'-0" On Center
Forbs:			
<i>Aster novae-angliae</i>	New England Aster	107	1'-0" On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	107	1'-0" On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	107	1'-0" On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	107	1'-0" On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	107	1'-0" On Center
<i>Liatris spicata</i>	Marsh Blazing Star	107	1'-0" On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	107	1'-0" On Center
<i>Monarda fistulosa</i>	Wild Bergamot	107	1'-0" On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	107	1'-0" On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	107	1'-0" On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	107	1'-0" On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	107	1'-0" On Center
<i>Veronicastrum virginianum</i>	Culver's Root	107	1'-0" On Center
<i>Zizia aurea</i>	Golden Alexanders	106	1'-0" On Center
	TOTAL	1925	

Botanical Name	Common Name	Quantity	Spacing
Bio-Retention Basin #3 Plug Plant Mix 1,967 S.F.			
Permanent Grasses:			
<i>Carex grayii</i>	Common Bur Sedge	111	1'-0" On Center
<i>Carex stipata</i>	Common Fox Sedge	110	1'-0" On Center
<i>Panicum virgatum</i>	Switch Grass	110	1'-0" On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	110	1'-0" On Center
Forbs:			
<i>Aster novae-angliae</i>	New England Aster	109	1'-0" On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	109	1'-0" On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	109	1'-0" On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	109	1'-0" On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	109	1'-0" On Center
<i>Liatris spicata</i>	Marsh Blazing Star	109	1'-0" On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	109	1'-0" On Center
<i>Monarda fistulosa</i>	Wild Bergamot	109	1'-0" On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	109	1'-0" On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	109	1'-0" On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	109	1'-0" On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	109	1'-0" On Center
<i>Veronicastrum virginianum</i>	Culver's Root	109	1'-0" On Center
<i>Zizia aurea</i>	Golden Alexanders	109	1'-0" On Center
	TOTAL	1967	

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHIPPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

GENERAL NOTES

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP:** THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROPERLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE:** ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL:** TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS:** ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - POLYETHYLENE EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

SEEDING, SODDING, & POND VEGETATION NOTES

- MATERIALS - TURFGRASS SEED:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - SOD:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF 60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- MATERIALS - EROSION CONTROL SEED MIX:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "EROSION CONTROL" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53984, TEL. 608-298-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.

4. **MATERIALS - BIORETENTION BASIN PLUG PLANTINGS:** PLUG PLANTINGS TO BE INSTALLED 1'-0" ON CENTER, MIXING SPECIES INTEGRALLY IN FLATS OF 20 AT A TIME. REFER TO WQWR PLUG PLANTING TECHNICAL STANDARDS FOR ROOTSTOCK AND INSTALLATION SPECIFICATIONS.

OR

5. **MATERIALS - BIORETENTION BASIN NATIVE VEGETATIVE MAT (NVM):** AREAS SPECIFIED ON PLANS SHALL RECEIVE AGRECOL "RAINWATER RENEWAL" NATIVE VEGETATIVE MAT - DEGRADABLE CORE. CONTRACTOR SHALL CONTACT AGRECOL NATIVE NURSERY 16 WEEKS IN ADVANCE OF INSTALLATION FOR PROPER GROWING LEAD TIME. CONTRACTOR SHALL ASSUME AVAILABLE DELIVERY DATE TO BE BETWEEN MID-JUNE THROUGH THE END OF OCTOBER DUE TO THE NVM GROWING SEASON. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.



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CLIENT:
THE ALEXANDER COMPANY

CLIENT ADDRESS
**345 W. WASHINGTON AVE STE 301
MADISON, WI, 53703**

PROJECT:
**ARTISAN VILLAGE
NOVATION CAMPUS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

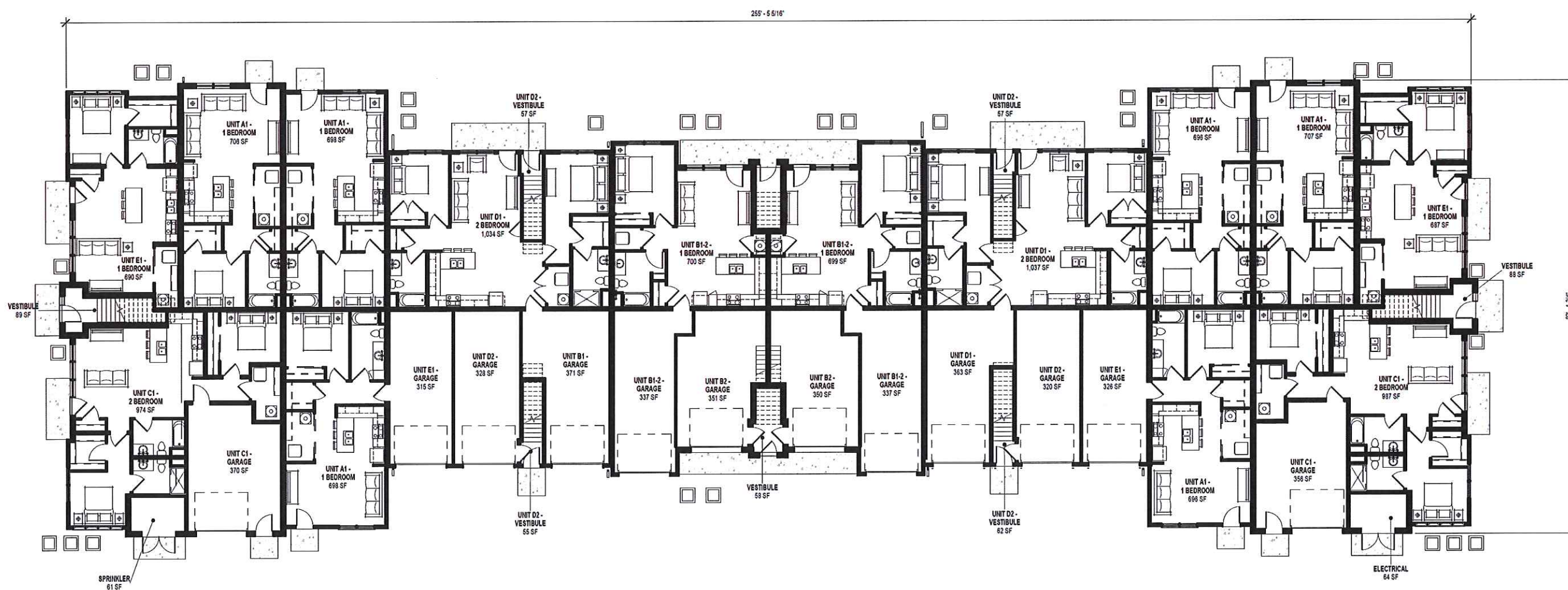
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2	12.05.2018	SIP RESUBMITTAL
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15		

Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
LANDSCAPE - NOTES & SPECIFICATIONS

SHEET NUMBER:
L2.1

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CONSTRUCTION



Revisions

Schematic

SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

34 UNIT APARTMENT BUILDING

Project No. THE ALEXANDER COMPANY
218015.00 000123

Sheet Title
FIRST FLOOR PLAN

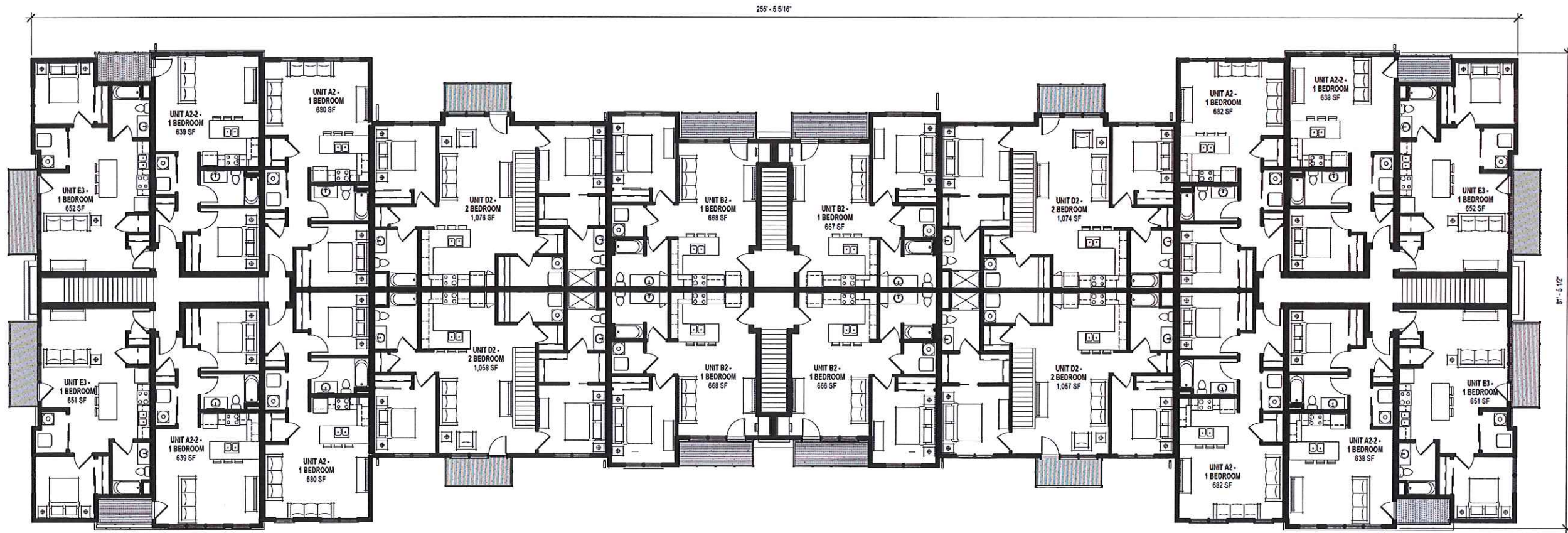
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Sheet No.
ASK-001

1 34 UNIT BUILDING - FIRST FLOOR PLAN
1" = 10'-0"

11/16/2018 12:25:03 PM

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Revisions

Schematic

SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

34 UNIT APARTMENT BUILDING

Project No. THE ALEXANDER COMPANY
218015.00 000123

Sheet Title
SECOND FLOOR PLAN

1 34 UNIT BUILDING - SECOND FLOOR PLAN
1" = 10'-0"

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ASK-002

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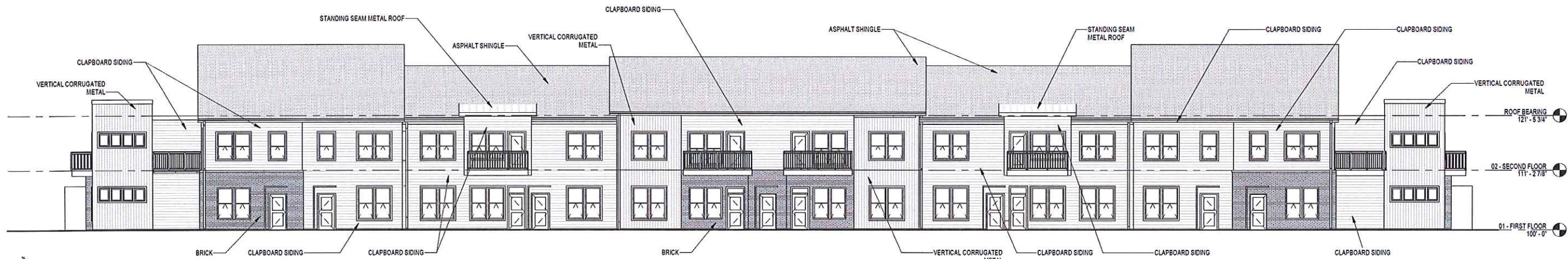
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1" = 10'-0"



3 EAST ELEVATION
1" = 10'-0"



2 SOUTH ELEVATION
1" = 10'-0"



1 NORTH ELEVATION
1" = 10'-0"

Revisions

Schematic

SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

34 UNIT APARTMENT BUILDING

Project No. THE ALEXANDER COMPANY

218015.00 000123

Sheet Title

ELEVATIONS

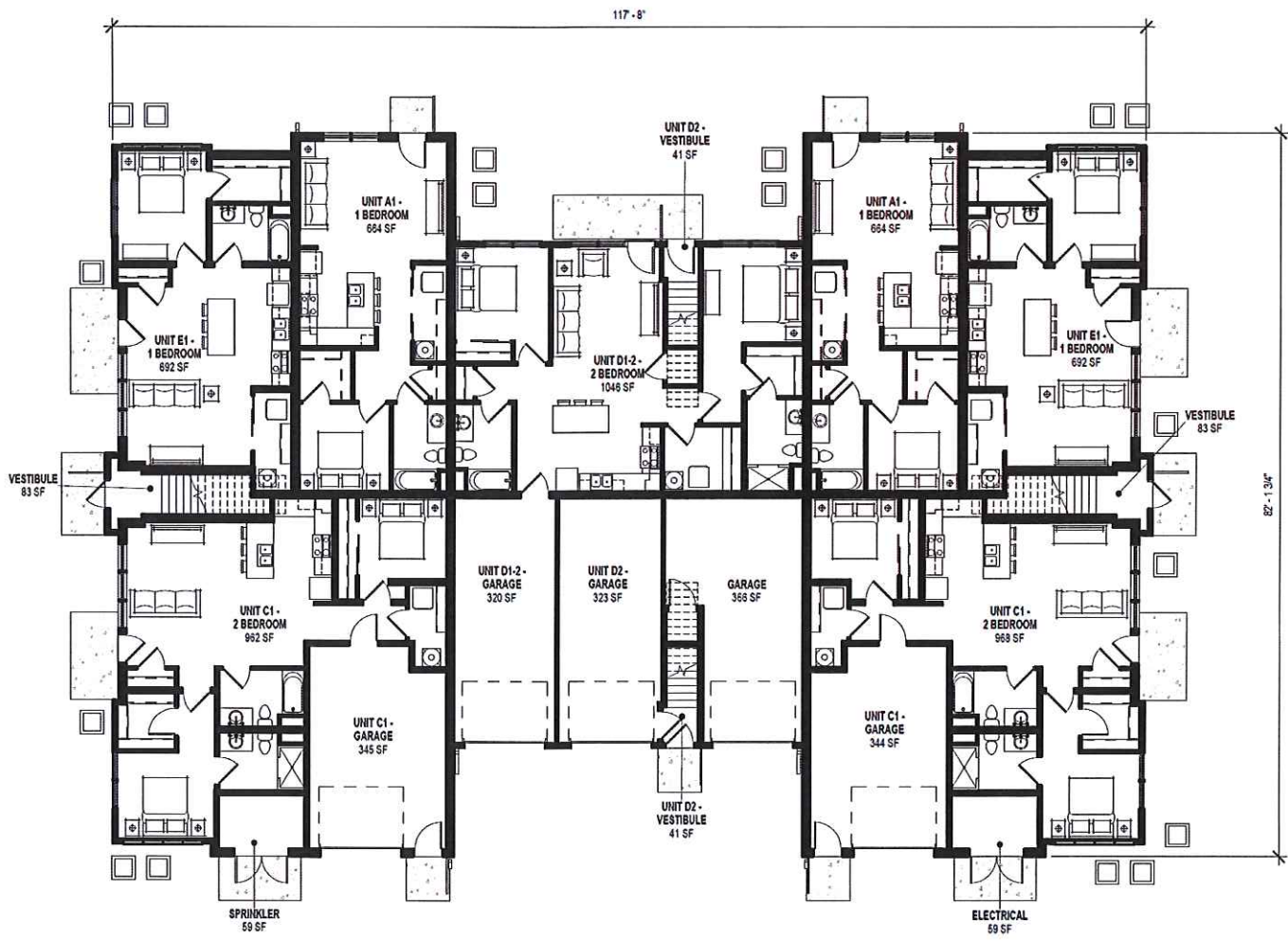
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ASK-003

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1 17 UNIT BUILDING - FIRST FLOOR PLAN
1" = 10'-0"

Revisions

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ARTISAN VILLAGE

17-UNIT APARTMENT BUILDING

Project No. THE ALEXANDER COMPANY
218015.00 000123

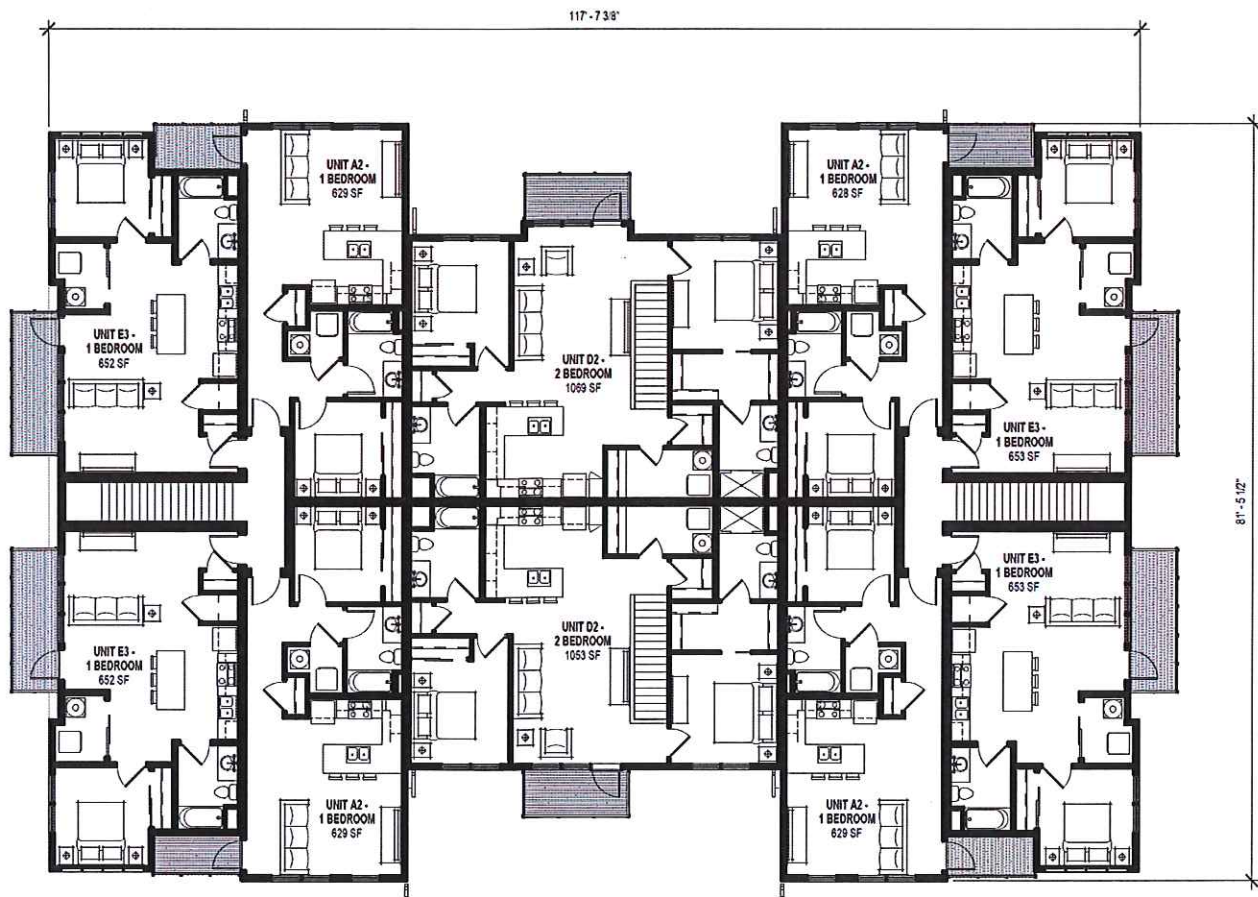
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17-UNIT APARTMENT BUILDING

Project No. THE ALEXANDER COMPANY
218015.00 000123

Sheet Title
SECOND FLOOR PLAN

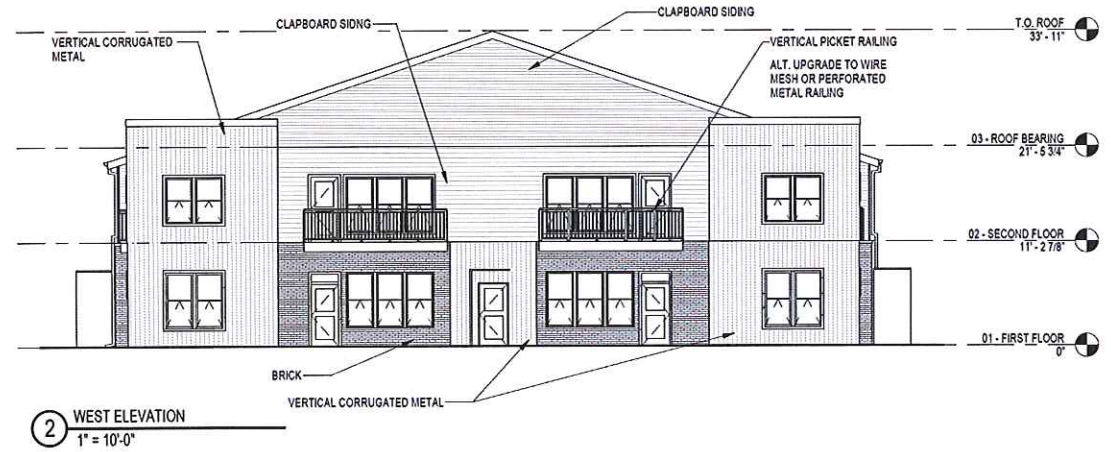
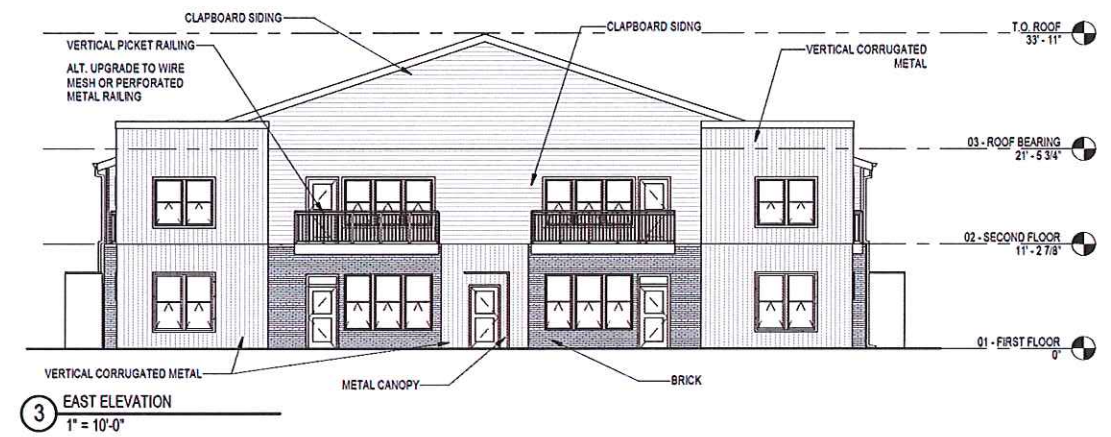
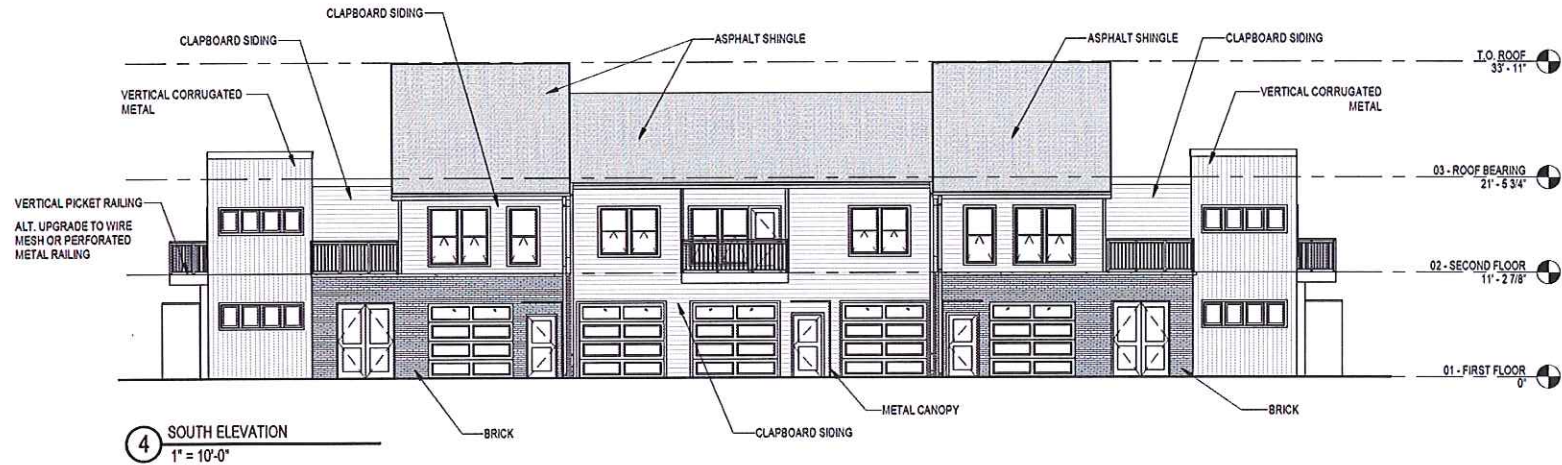
1 17 UNIT BUILDING - SECOND FLOOR PLAN
1" = 10'-0"

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ARTISAN VILLAGE

17-UNIT APARTMENT BUILDING

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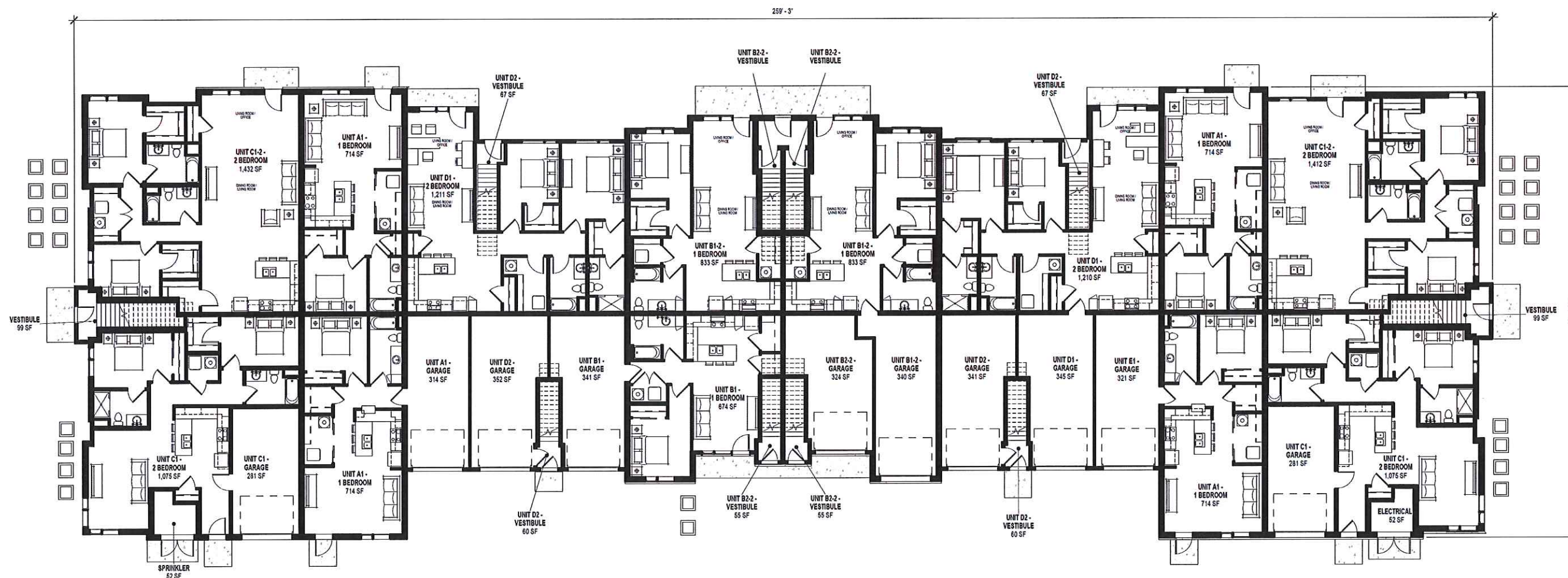
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ASK-006

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ARTISAN VILLAGE

33-UNIT LIVE/WORK APARTMENT
BUILDING (10 LOFTS)

Project No. THE ALEXANDER COMPANY
218015.00 000123

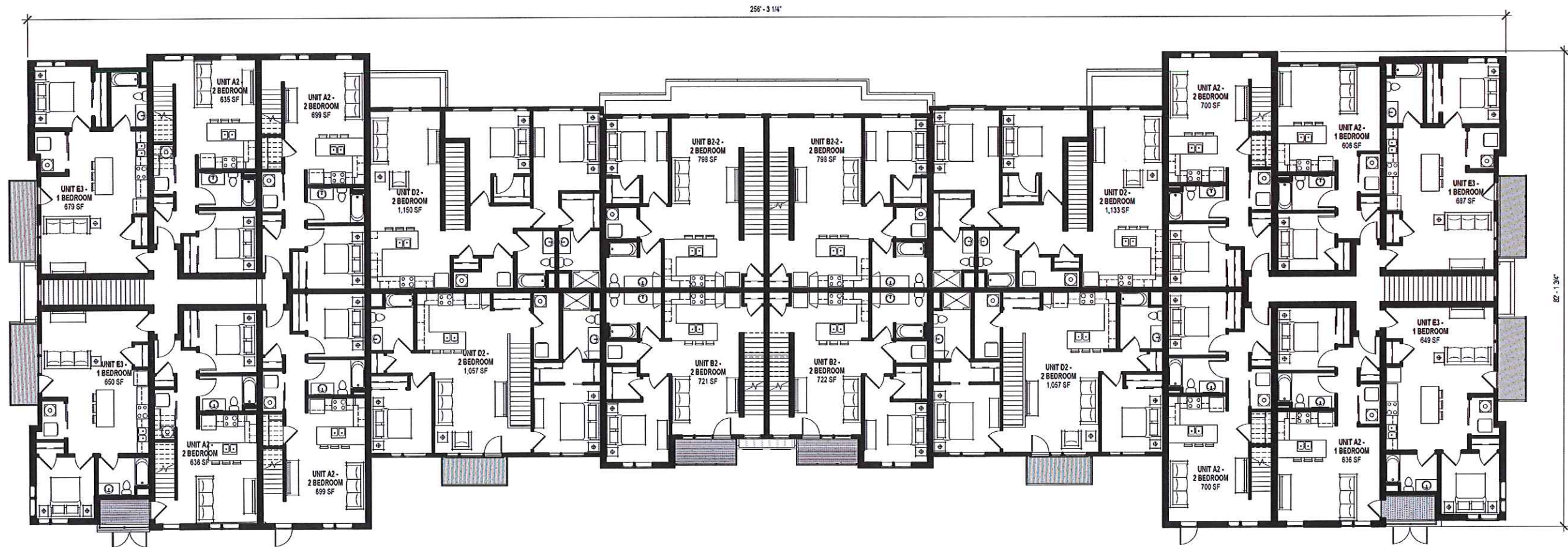
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FIRST FLOOR PLAN

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ASK-007

1 33 UNIT LIVE/WORK BUILDING - 1ST FLOOR PLAN
1" = 10'-0"

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SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

33-UNIT LIVE/WORK APARTMENT
BUILDING (10 LOFTS)

Project No. THE ALEXANDER COMPANY
218015.00 000123

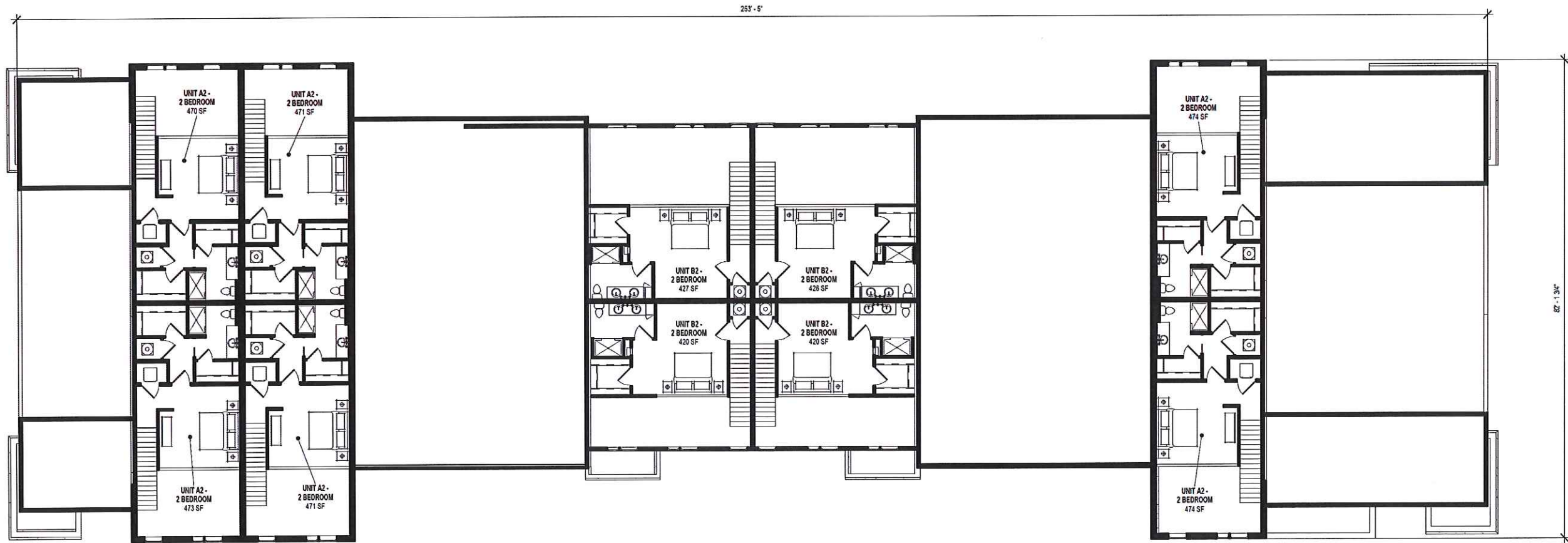
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SECOND FLOOR PLAN

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ASK-008

1 33 UNIT LIVE/WORK BUILDING - 2ND FLOOR PLAN
1" = 10'-0"

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Revisions

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SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

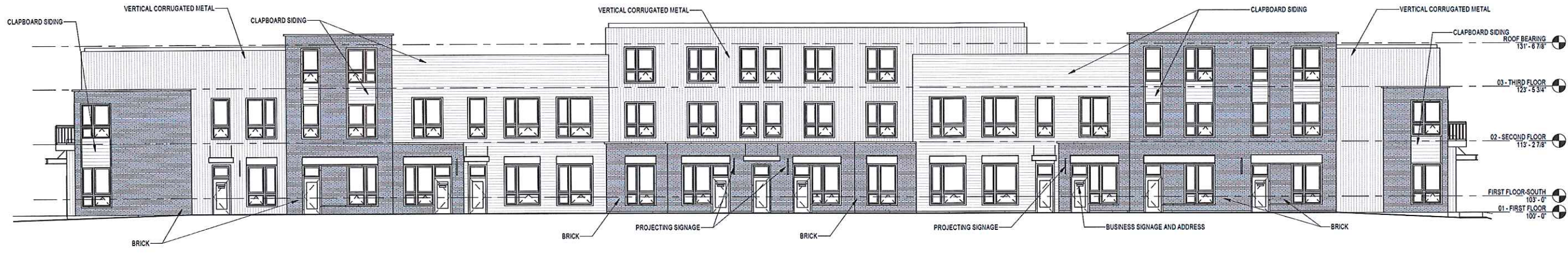
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BUILDING (10 LOFTS)

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LOFT FLOOR PLAN

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ASK-009



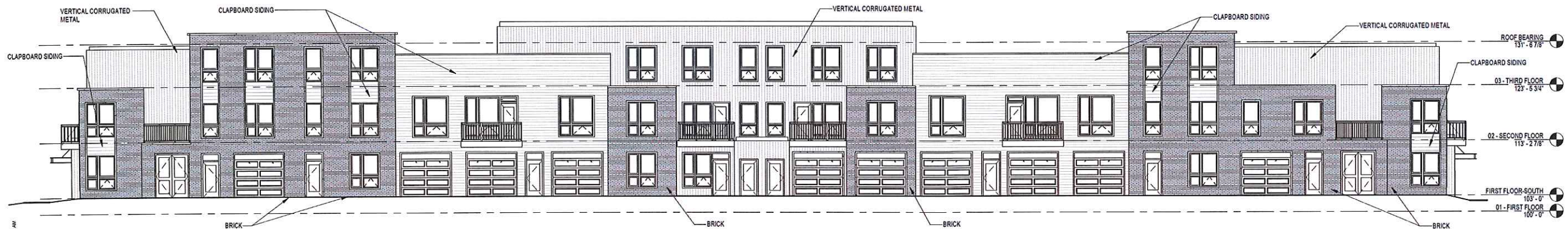
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3 WEST ELEVATION
1" = 10'-0"



2 EAST ELEVATION
1" = 10'-0"



1 SOUTH ELEVATION
1" = 10'-0"

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SCOPE DOCUMENTS

Drawing Date
12/05/18

ARTISAN VILLAGE

33-UNIT LIVE/WORK APARTMENT
BUILDING (10 LOFTS)

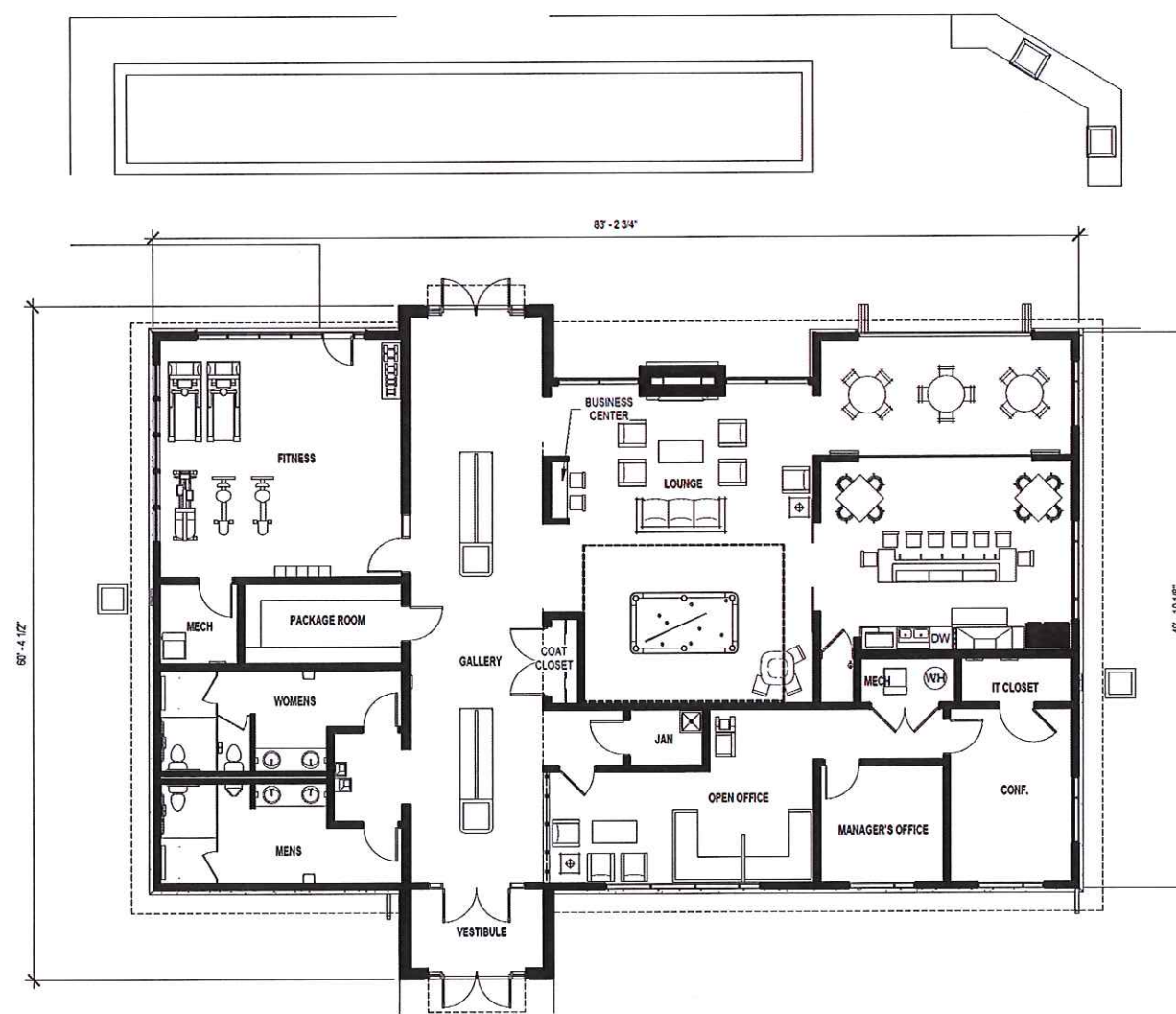
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① 01 FIRST FLOOR PLAN
1/8" = 1'-0"

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11/16/18

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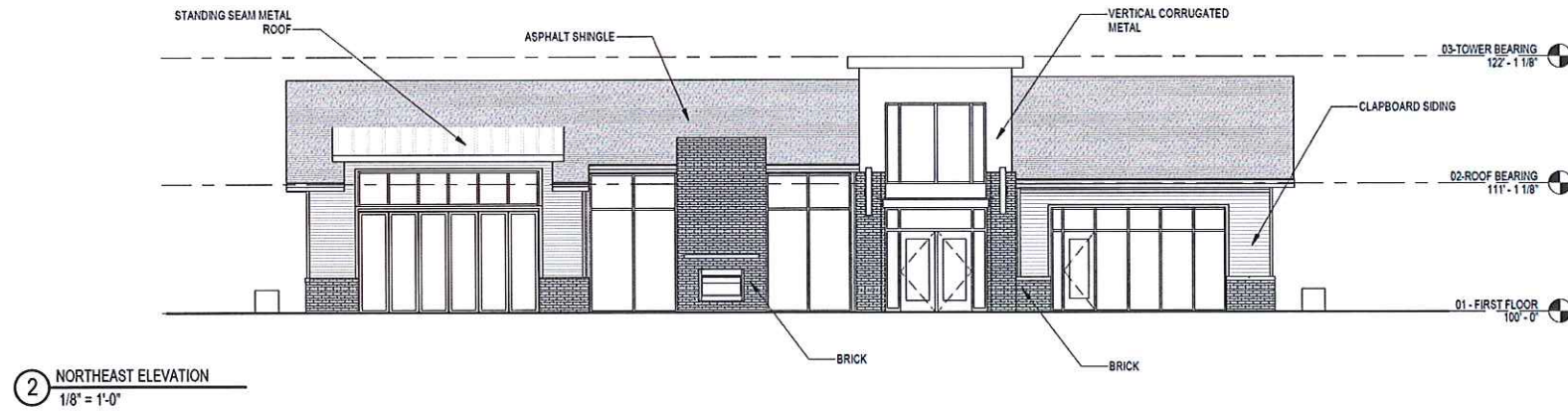
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Project No. ALEXANDER
218015.00 000123

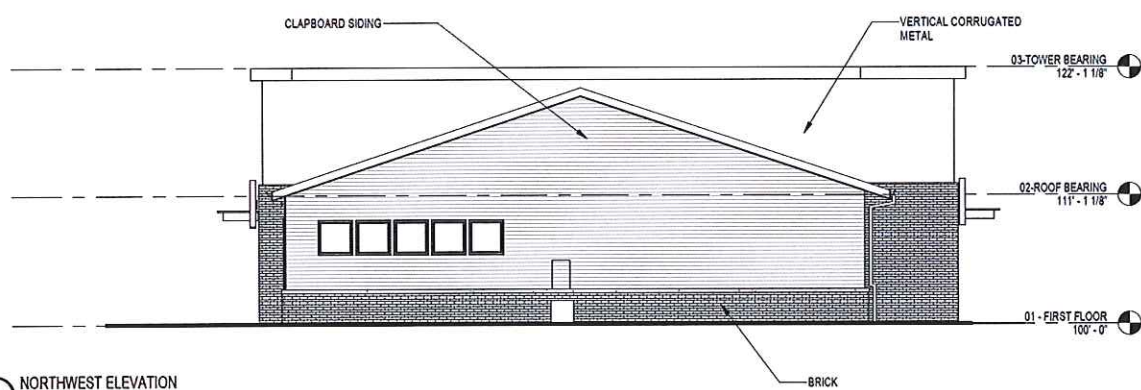
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FIRST FLOOR PLAN

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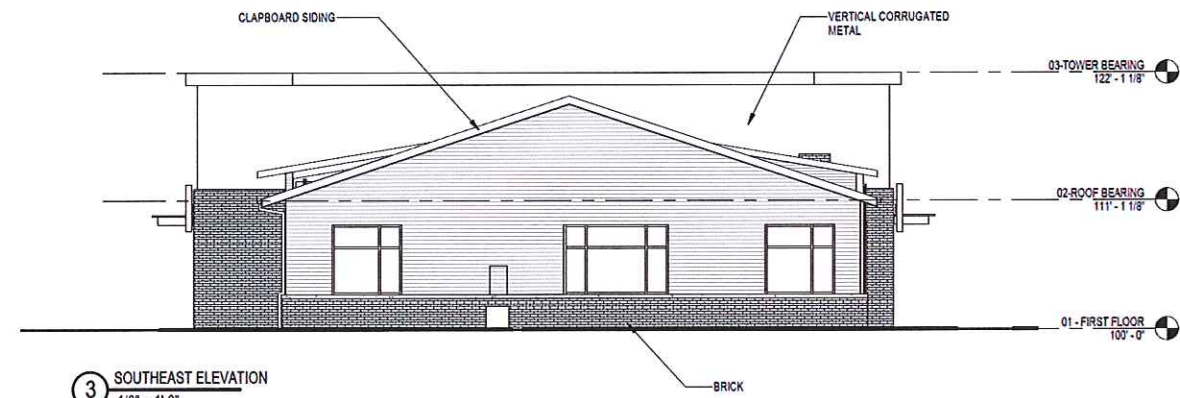
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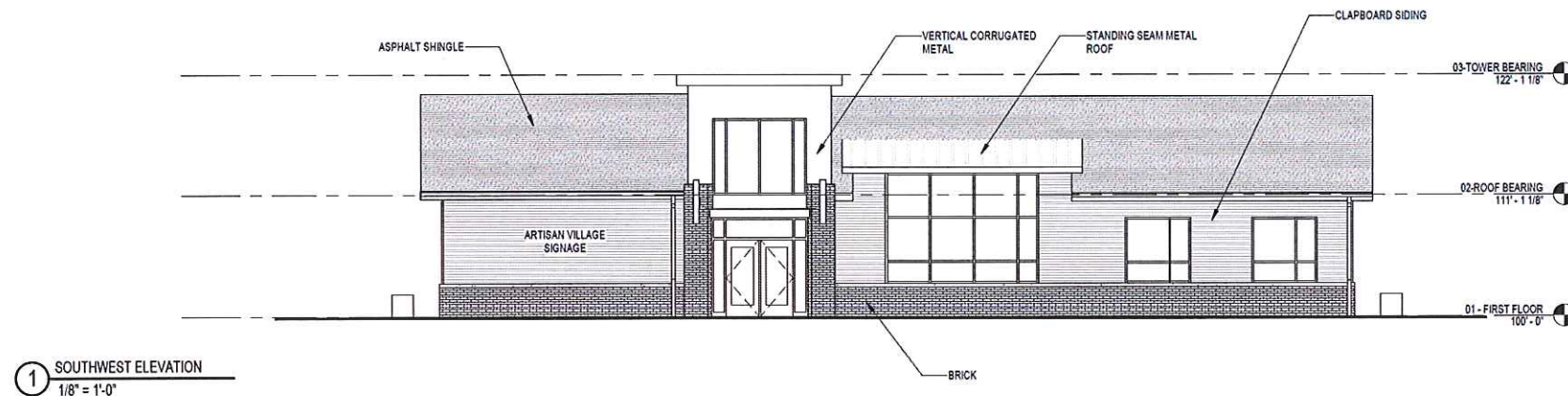
2 NORTHEAST ELEVATION
1/8" = 1'-0"



4 NORTHWEST ELEVATION
1/8" = 1'-0"



3 SOUTHEAST ELEVATION
1/8" = 1'-0"



1 SOUTHWEST ELEVATION
1/8" = 1'-0"

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Revisions

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SCOPE DOCUMENTS

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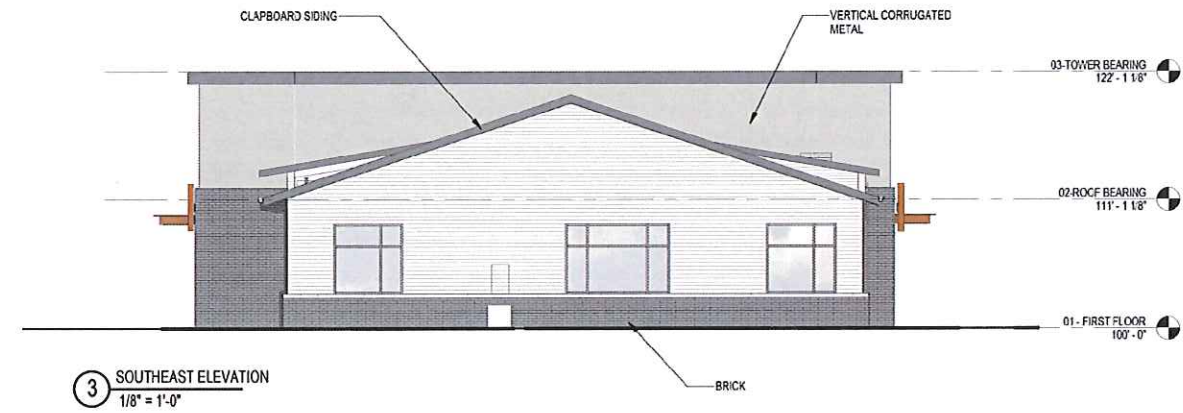
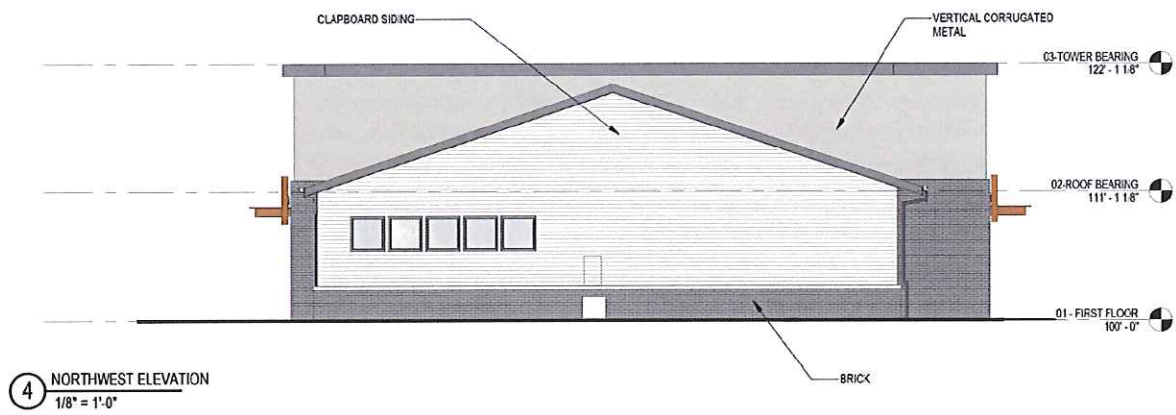
CLUBHOUSE

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CLUBHOUSE

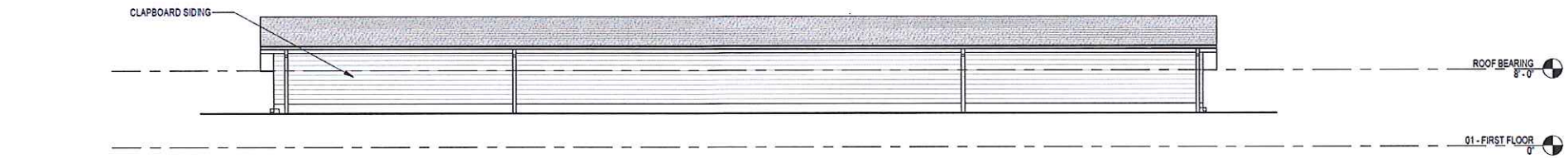
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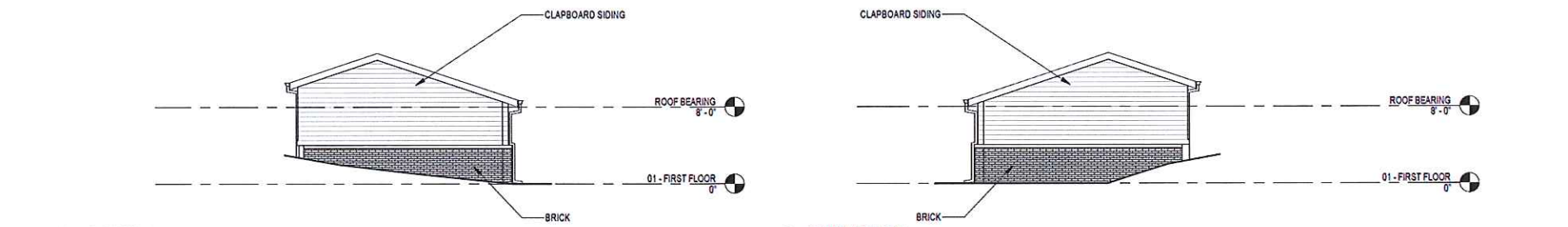
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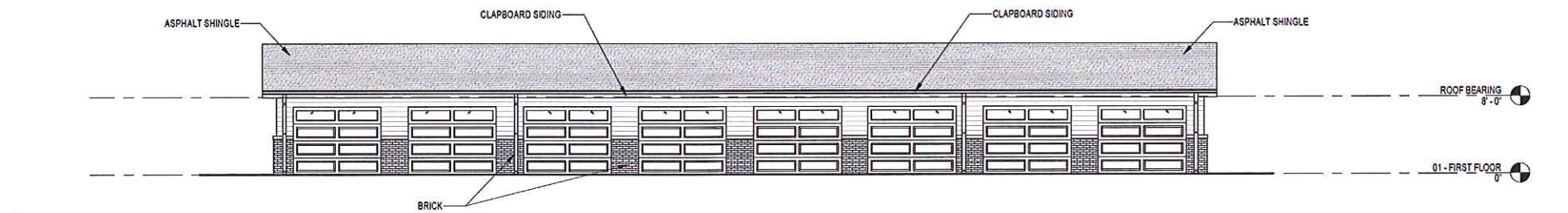


5 EAST ELEVATION
1/8" = 1'-0"

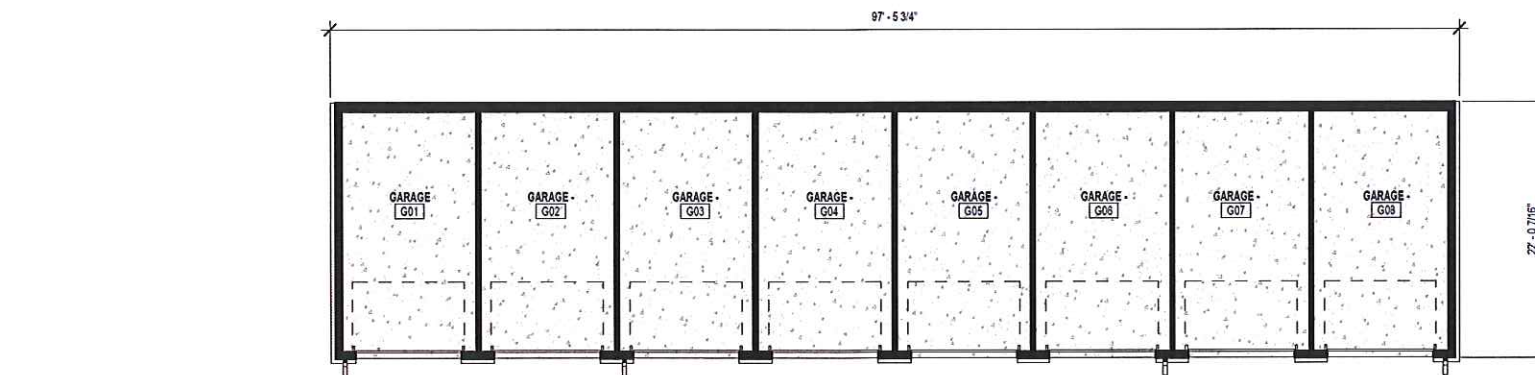


4 NORTH ELEVATION
1/8" = 1'-0"

3 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



1 01 FIRST FLOOR PLAN
1/8" = 1'-0"

Revisions

Schematic

SCOPE DOCUMENTS

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ARTISAN VILLAGE

GARAGE - 8 STALL

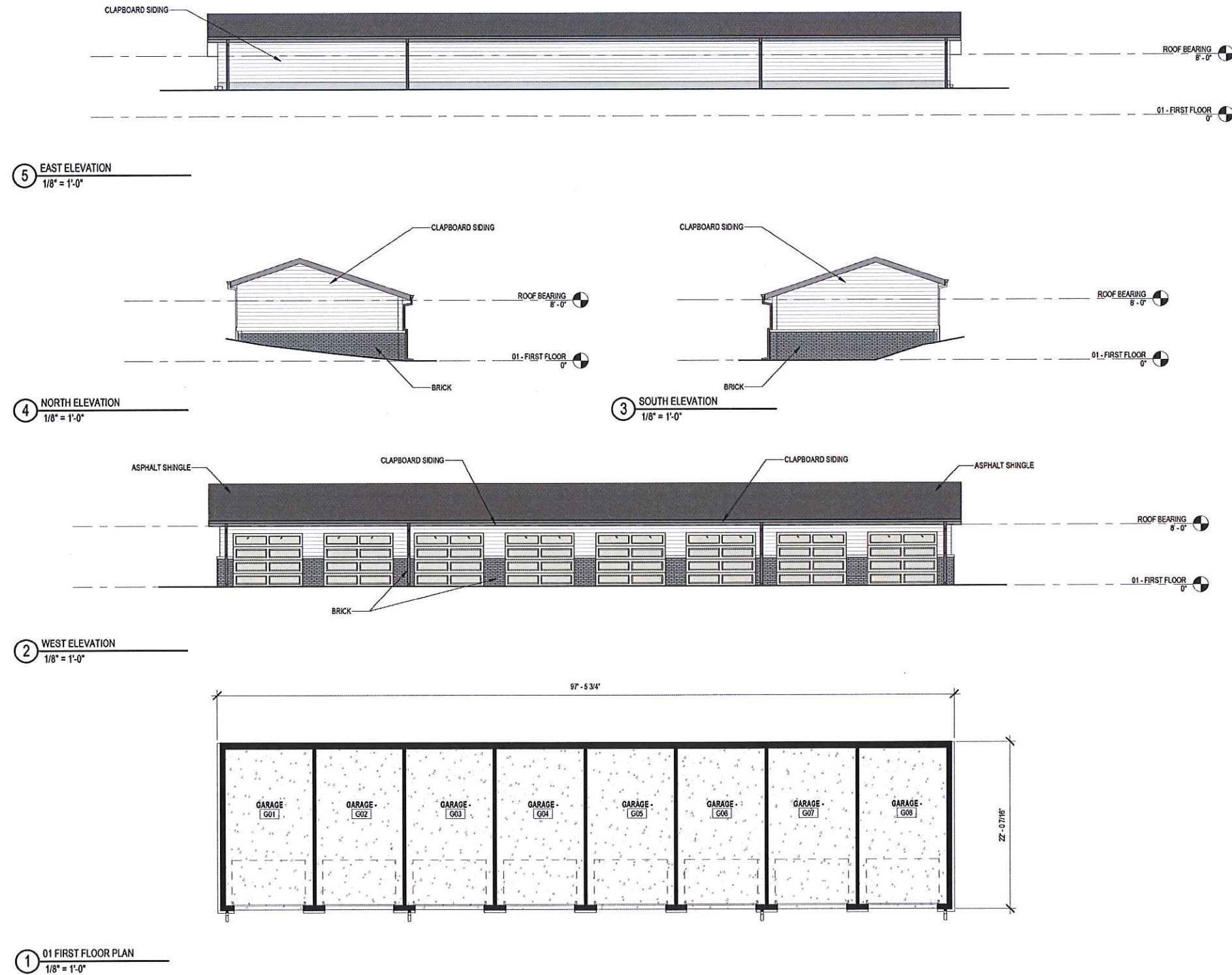
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GARAGE - 8 STALL

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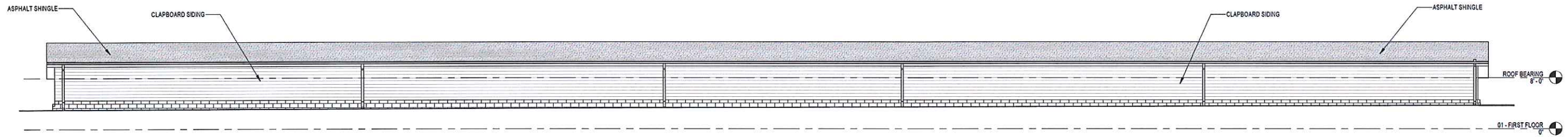
GARAGE - 8 STALL

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218015.00 000123

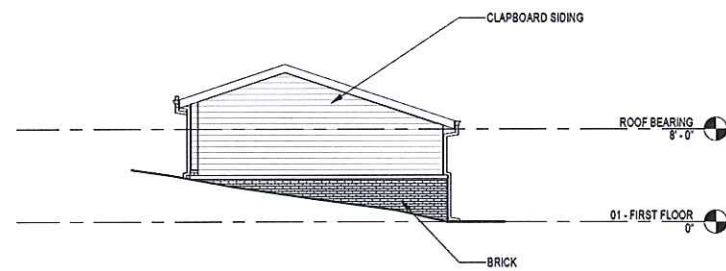
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**GARAGE - 8 STALL
RENDERED**

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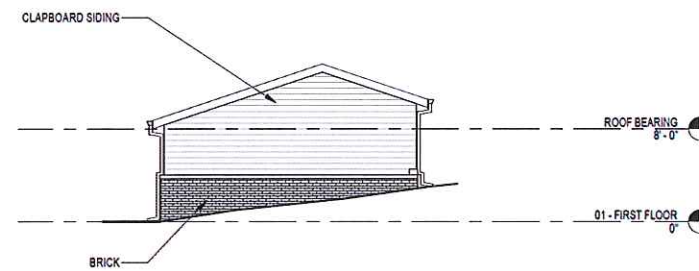
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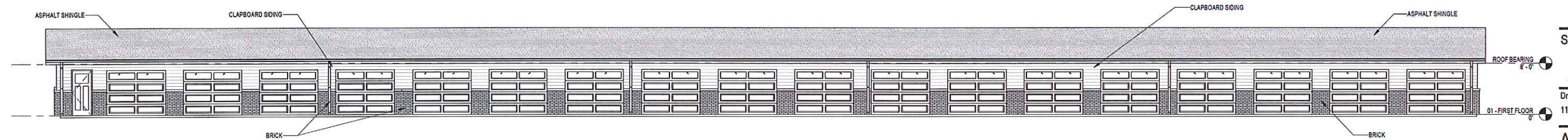
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1/8" = 1'-0"



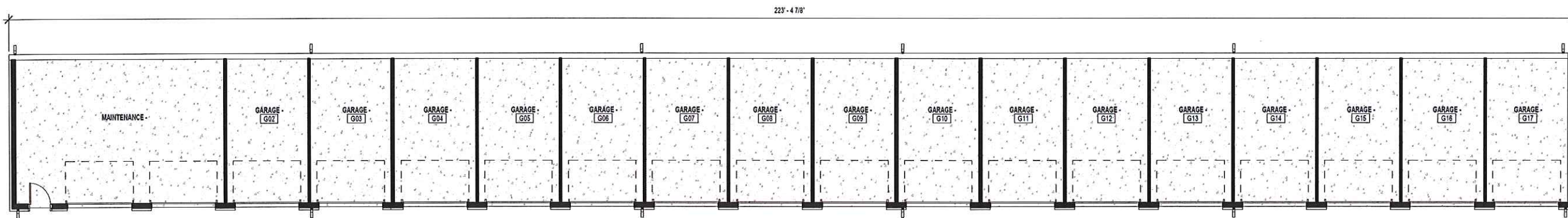
4 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



1 01 FIRST FLOOR PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION

Revisions

Schematic

SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

GARAGE WITH MAINTENANCE SHED

Project No. THE ALEXANDER COMPANY
218015.00 000123

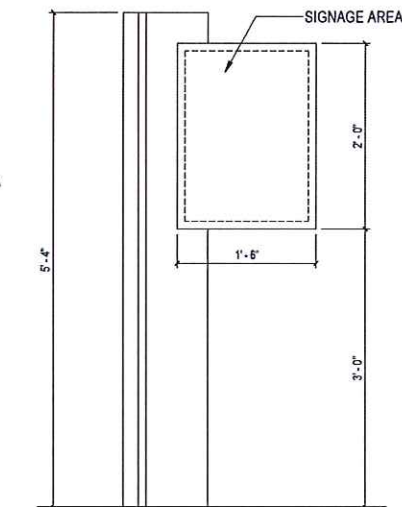
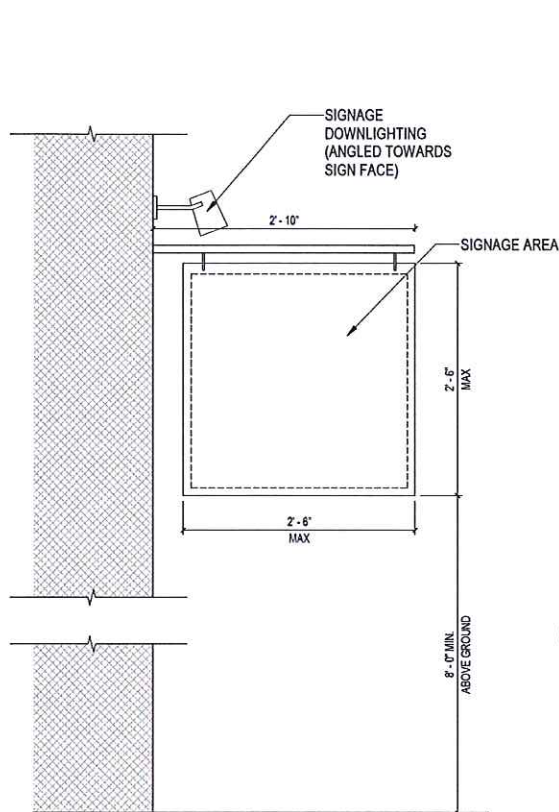
Sheet Title
**GARAGE W/
MAINTENANCE**

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111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
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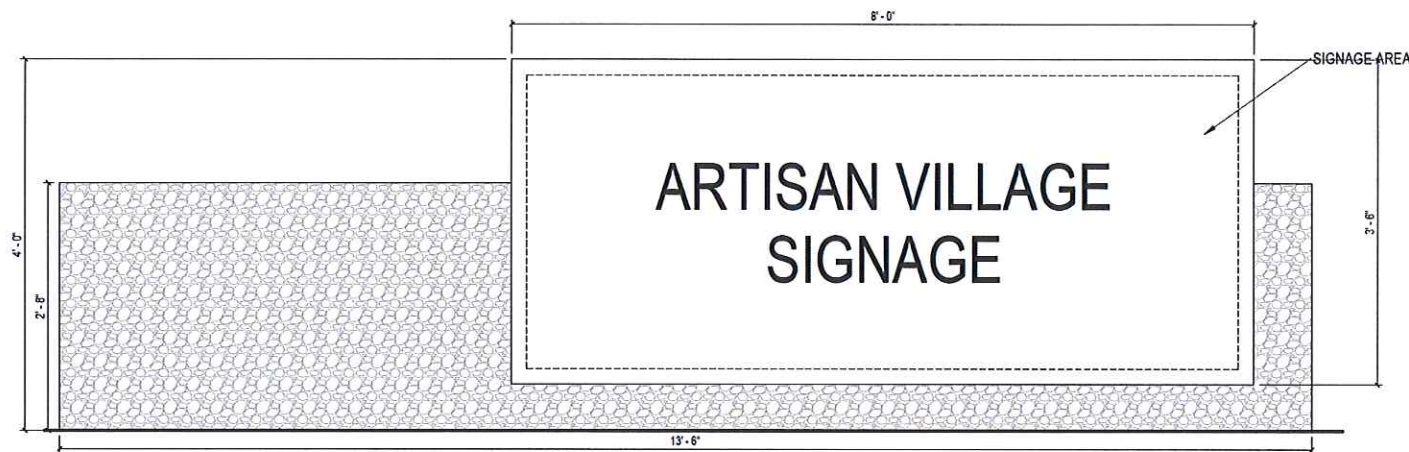
44 East Millin Street, Suite 700, Madison, Wisconsin 53703
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.
ASK-014

11/16/2018 3:31:10 PM



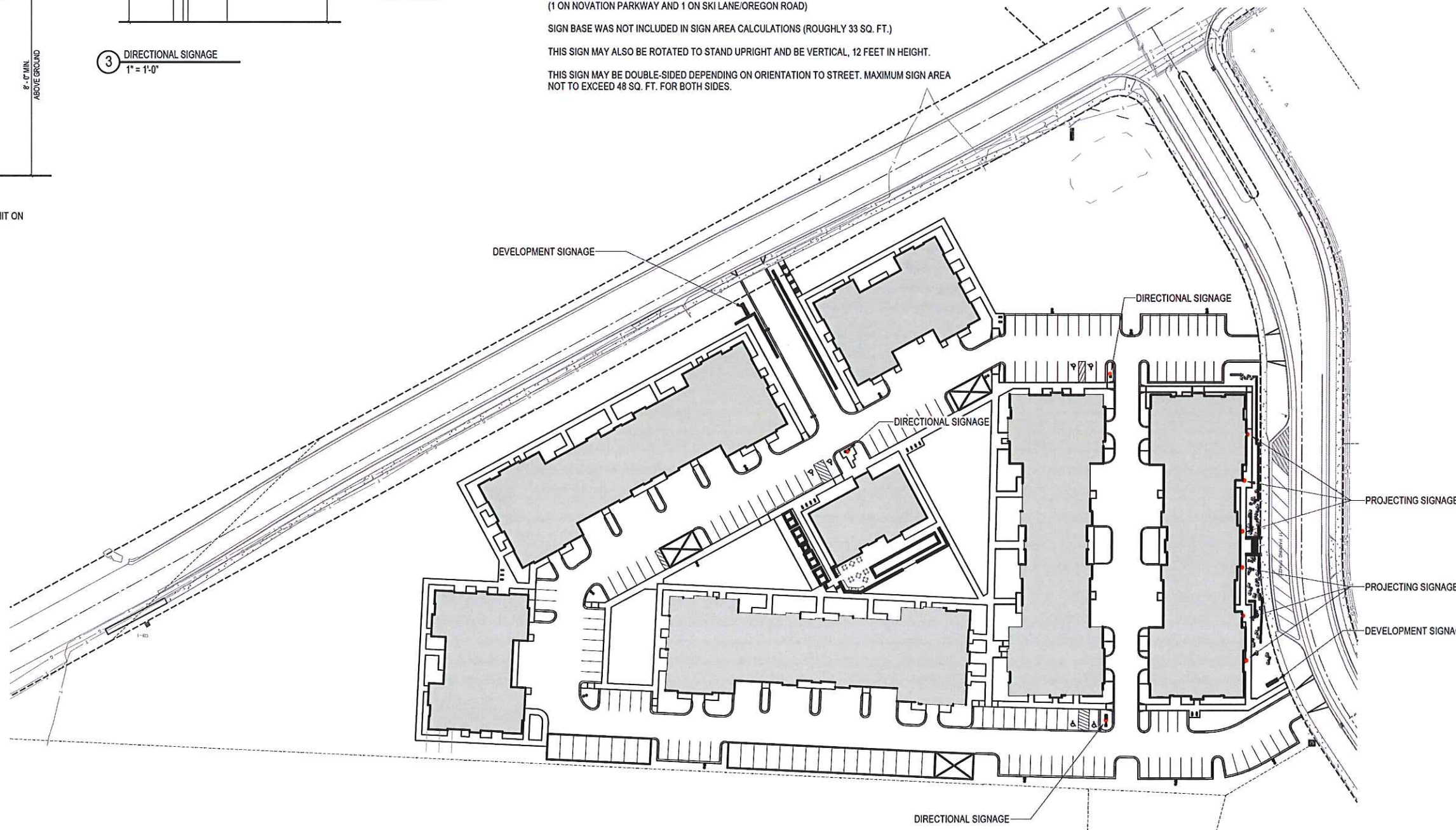
3 DIRECTIONAL SIGNAGE
1" = 1'-0"



2 DEVELOPMENT SIGNAGE
1" = 1'-0"

NOTES:
*QUANTITY: 2
(1 ON NOVATION PARKWAY AND 1 ON SKI LANE/OREGON ROAD)
SIGN BASE WAS NOT INCLUDED IN SIGN AREA CALCULATIONS (ROUGHLY 33 SQ. FT.)
THIS SIGN MAY ALSO BE ROTATED TO STAND UPRIGHT AND BE VERTICAL, 12 FEET IN HEIGHT.
THIS SIGN MAY BE DOUBLE-SIDED DEPENDING ON ORIENTATION TO STREET. MAXIMUM SIGN AREA NOT TO EXCEED 48 SQ. FT. FOR BOTH SIDES.

4 PROJECTING SIGN
1" = 1'-0"
*QUANTITY: 6
(1 FOR EACH LIVE/WORK UNIT ON NOVATION PARKWAY)



1 SIGNAGE PLAN
1" = 50'-0"

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CONSTRUCTION

Revisions

Project Status

SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

SIGNAGE PLAN

Project No. THE ALEXANDER COMPANY
218015.00 000123

Sheet Title
SIGNAGE PLAN

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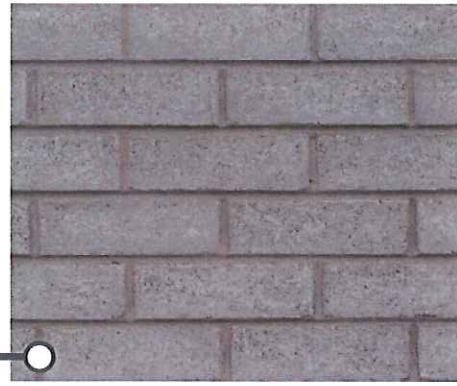
Sheet No.
ASK-015



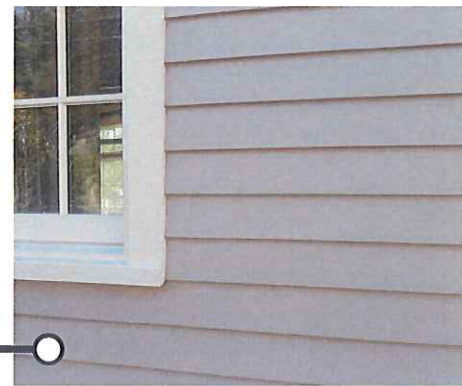
METAL PANEL (ALTERNATE)



VERTICAL CORRUGATED METAL



BRICK



CLAPBOARD SIDING



NOT FOR
CONSTRUCTION

Revisions

Schematic

SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

PROJECT RENDERINGS

Project No. THE ALEXANDER COMPANY
218015.00 000123

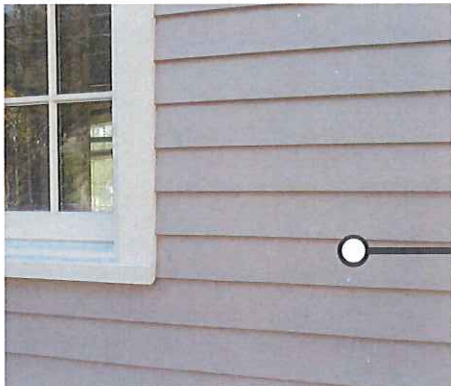
Sheet Title

**PERSPECTIVE AT
INTERIOR GREENSPACE**

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Sheet No.
ASK-016

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CONSTRUCTION



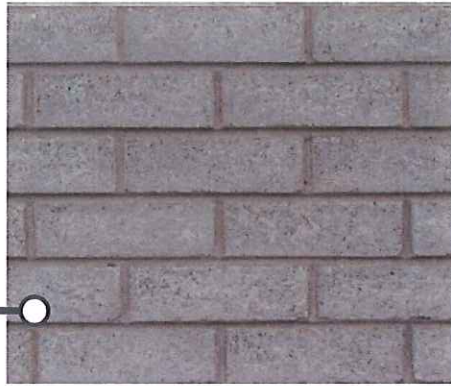
CLAPBOARD SIDING



STEEL CHANNEL ABOVE OPENINGS



VERTICAL CORRUGATED METAL



BRICK



Revisions

Schematic

SCOPE DOCUMENTS

Drawing Date
11/16/18

ARTISAN VILLAGE

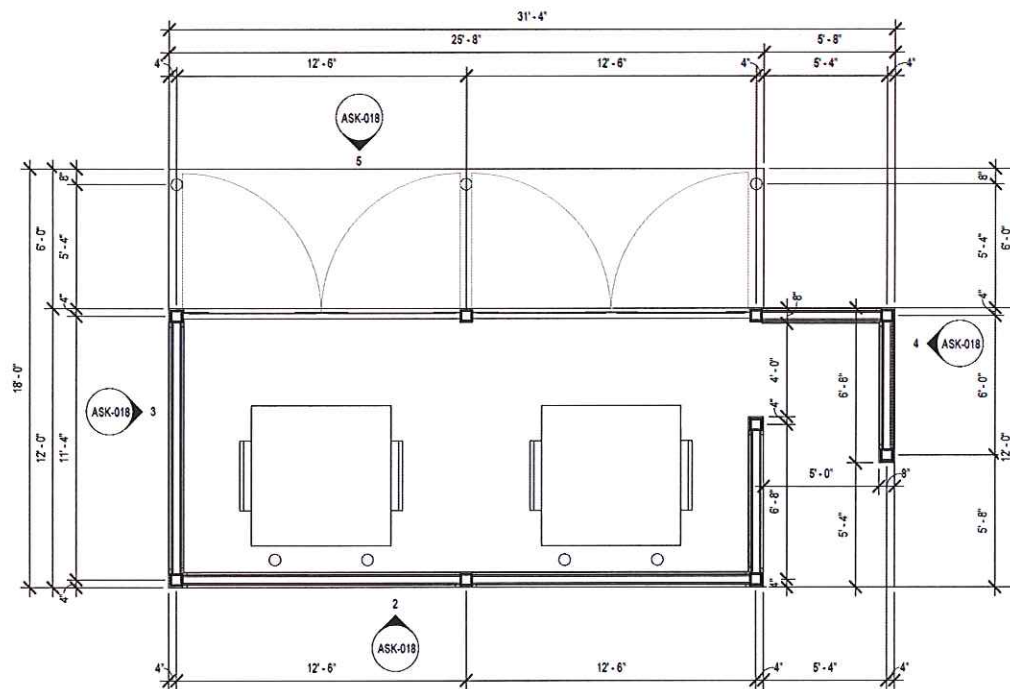
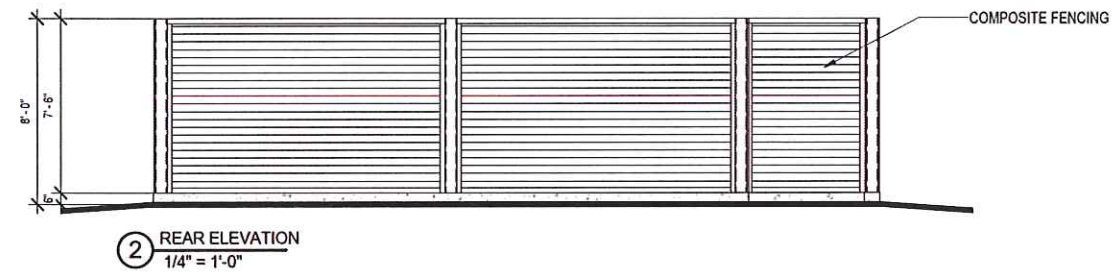
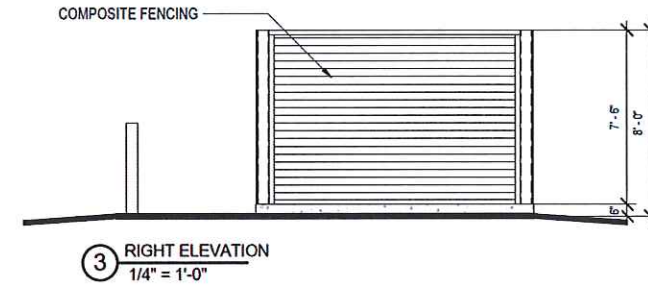
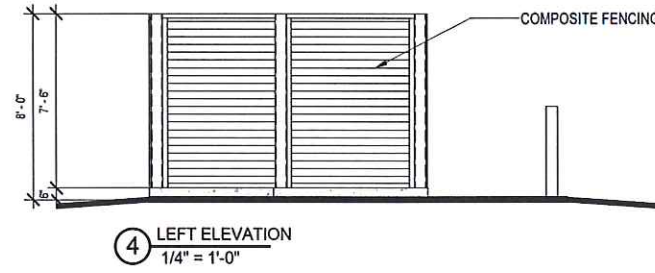
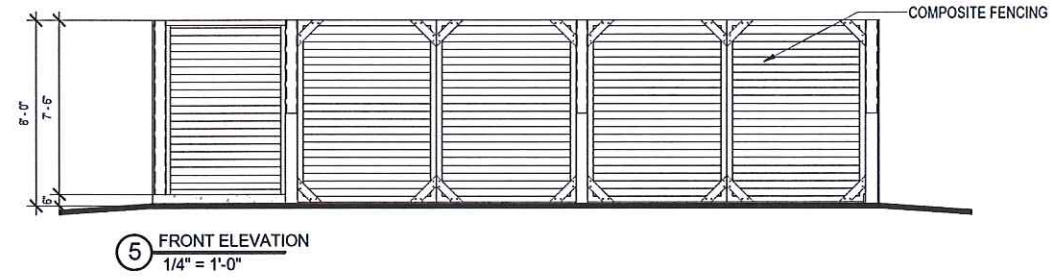
PROJECT RENDERINGS

Project No. THE ALEXANDER COMPANY
218015.00 000123

Sheet Title
**PERSPECTIVE OF
LIVE/WORK**

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Sheet No.
ASK-017



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Revisions

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SCOPE DOCUMENTS

Drawing Date
12/05/18

ARTISAN VILLAGE

TRASH ENCLOSURE

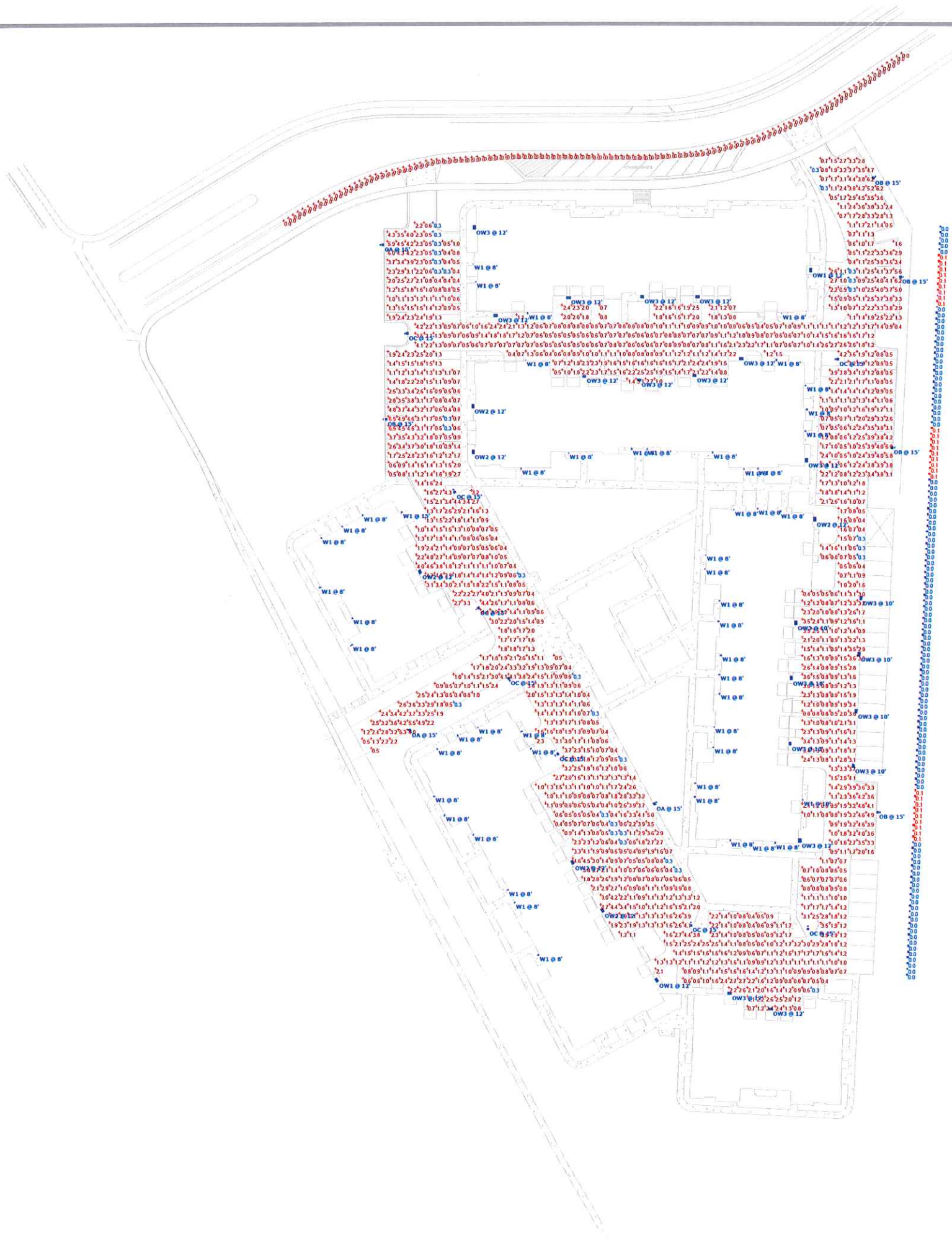
Project No. Bear Development
218015.00 000123

Sheet Title
TRASH ENCLOSURE
PLAN AND ELEVATIONS

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Sheet No.
ASK-018



Plan View

Symbol	Label	Manufacturer	Catalog Number	Quantity
□	OA	LSI	SLICE (HOUSE SHIELD) VERIFY FINISH WITH OWNER	3
□	OB	LSI	SLICE VERIFY FINISH WITH OWNER	5
□	OC	LSI	SLICE VERIFY FINISH WITH OWNER	8
□	OW1	LSI	MIRADA WALL PACK VERIFY FINISH WITH OWNER	2
□	OW2	LSI	MIRADA WALL PACK VERIFY FINISH WITH OWNER	6
□	W1	ELITE	ENTRY WALL PACK	52

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
HILL	■	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
PARKING LOT	+	1.7 fc	6.5 fc	0.3 fc	21.7:1	5.7:1
STREET	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

December 5, 2018

Ms. Sonja Kreusel Community Planner
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Subject: **Novation Campus – Artisan Village**
PDD-SIP
City of Fitchburg
JSD Project No. 17-8230

This letter is in response to the City of Fitchburg staff comments received to date for the Novation Campus – Artisan Village Planned Development - Specific Implementation Plan.

Planning (Sonja Kreusel, Community Planner)

1. The Land Use Summary table on page 4 of the narrative has a minor error. Update the total building coverage number to reflect the correct number (97,642 rather than 37,642).

Response: The table has been updated to correct the typo.

2. It does not appear a variance to City of Fitchburg standards regarding the monument sign is actually necessary, as outlined in the table on page 7. Explain or correct this information.

Response: Confirmation from the City is needed to confirm. Based on our read of the City's signage ordinance, a variance would be necessary for the total copy area. It is assumed that the total copy area specified in the City's ordinance applies to both sides of the sign and limits such to 40 sq. ft. maximum. The proposed sign would need a variance as it reflects a total copy area of 58 sq. ft. (both sides).

If, on the other hand, the total sign copy area is only applicable to one side, resulting in a total of 80 sq. ft. maximum for both sides of the sign, a variance is not needed. Please confirm.

3. The rezoning map should note that existing zoning is PDD-GIP zoning rather than R-L as shown. The proposed zoning should say PDD-SIP rather than PD-SIP.

Response: The rezoning exhibit has been updated to reflect the current zoning.

4. Cedar fence is proposed for screening of surface parking areas. Note that the decorative side of the face shall face out.

Response: A note has been added to sheets C1.2 and C1.3.

5. Provide detail on the trash enclosure and location.

Response: Please refer to sheets C1.1, C1.2, C1.4, C1.5, C1.6 as well as the landscape plan sheets for the trash enclosure locations.

Trash enclosure details are provided on Sheet ASK-018.

6. Provide detail on the retaining wall including height and material.

Response: Please refer to the grading plans (sheets 2.0-2.6) for retaining wall locations and heights. Retaining wall details are provided on sheets C4.0 and C4.1.

Generally, proposed wall heights range from zero to 5.5 feet and are comprised of either boulder, gabion, Corten steel, or timber construction materials.

7. Provide detail on type of bicycle rack proposed. Provide summary of total quantity and location of bicycle racks proposed.

Response: Please refer to the details provided on Sheet C4.0. The proposed public bike rack style is Corten steel. The bike parking table on page 5 of the SIP narrative has been updated to reflect the total number of racks (15) and bike spaces (30).

Private, long-term secure bike parking will also be accommodated in garages, and storage/mechanical areas within living units.

8. The standard for aisle width behind 90-degree parking stalls is 24'. The site plan shows that 22' is proposed. Why does the applicant believe 22 feet is adequate or why can 24 feet not be achieved?

Response: It is our understanding that the proposed aisle widths were part of the GIP approval, which were discussed with City staff, including the Fire Department. The aisle widths have not changed since the GIP approval.

Generally, aisle widths vary throughout the development from 22 feet to 24 feet. There was general consensus at the GIP level that maintaining a 22-foot wide clear path would provide the necessary space for fire access and safe backing distances. The 22' drive isles, which are not uncommon in our experience, will also tend to slow traffic through the site.

9. Be prepared to present a materials board to the Plan Commission for building materials.

Response: A materials board will be provided at the Plan Commission meeting.

10. Note that the proposed parking is 1.4 stalls per unit while the city typically requires 2.0 stalls per unit. Be prepared to explain why the applicant's assert that 1.4 stalls per unit is adequate.

Response: It is our understanding that the proposed parking ratios were part of the GIP approval as noted in the executed ordinance.

The proposed parking ratios have not changed since the GIP approval.

11. Note that the impervious surface ratio shall be limited to no more than 65 percent, except where a different level has been set forth thorough an approved plan, land division approval, other zoning standard or zoning approval. Pursuant to section 22-607(b)(7), the commission, in its judgment, may allow a higher ratio provided it is not contrary to an existing approval, and on-site infiltration, pervious pavement or other measure to mitigate the higher ratio are provided and maintained.

Response: As noted on Sheet C1.0, the impervious surface ratio for the development, as a whole, is 58 percent. For the City of Fitchburg parcel specifically, as noted on the SWMP permit, the impervious surface ratio is 56 percent, both of which are below the 65 percent maximum.

Parks, Recreation, and Forestry (Scott Endl, Director)

1. Parkland Dedication per Ordinance 24-2(d)(2)(a); Dedication of parks, playgrounds, recreation and open spaces – 2,900 square feet per dwelling unit. 102 units x 2,900 square feet = 295,800 square feet (6.79 acres).

Response: Noted. We will either pay the park fees or propose dedication of park land off site as permitted in the City Ordinance.

2. Fee in lieu of Parkland Dedication per Ordinance 24-2(d)(2)(e); \$4,330 (2018 rate) per dwelling unit or approximately \$65,000 per acre of deficiency.

- 102 units x \$4,330 = \$441,660 fee in lieu of parkland dedication.

Response: Noted. We will either pay the park fees or propose dedication of park land off site as permitted in the City Ordinance.

3. Parkland Improvement fee per Ordinance 24-15(d)(5), 22-647(2); \$160 (2018 rate) per Multi-family dwelling unit.

- 102 units x \$160 = \$16,320.

Response: Noted.

4. Fee in lieu of Street Frontage for Parks per Ordinance 24-9(i), 22-647(3).

- This amount will be determined at Final Plat stage.

Response: Noted. We will either pay the park fees or propose dedication of park land off site as permitted in the City Ordinance.

Public Works (Lisa Coleman, Director of Public Works/City Engineer)**General Comments**

1. Please confirm the sizing and location of the refuse and recycling containers.

Response: Please refer to sheets C1.1, C1.2, C1.4, C1.5, C1.6 as well as the landscape plan sheets for the trash enclosure locations.

Trash enclosure details are provided on Sheet ASK-018.

2. The applicant will need to submit a Construction & Demolition Reuse/Recycling (CDRR) Plan to Public Works. CDRR Plans are required both for new construction and for demolition.

Response: Noted, a CDRR will be submitted as part of the permit application package.

3. Discuss how trees will be saved along the east property line and accommodate grading proposed. (BB)

Response: A few of the southern-most evergreen trees will be removed due to the extents of the proposed grading and construction. The remaining trees will be able to be saved. The grading plan has been modified to limit or eliminate any grading in this area to do so. Refer to sheets C2.0-2.6 for additional information.

Transportation Comments

1. A driveway permit will be required for access onto Oregon Road constructed to City of Fitchburg Commercial Driveway Standards. (BB)

Response: Noted, a driveway permit will be submitted.

2. Provide the quantity of bicycle interior and exterior bicycle parking accommodations for the development. (BB)

Response: Please refer to the details provided on Sheet C4.0. The proposed public bike rack style is Corten steel. The bike parking table on page 5 of the SIP narrative has been updated to reflect the total number of racks (15) and bike spaces (30).

Private, long-term secure bike parking will also be accommodated in garages, and storage/mechanical areas within living units.

3. Add an accessible sidewalk (or convert existing proposed sidewalk) connecting development to Oregon Road (without steps). (BB) Consider additional sidewalk connection along west driveway to Novation Pkwy.

Response: An email was sent to City staff on Friday, November 30 to discuss the addition of a sidewalk in this location.

As noted in the email, "This is problematic given the grade in this location. An ADA route from here result in a switchback configuration across the steep grades (3:1) adjacent to the buildings along Oregon Road. This route would be long and cumbersome and very costly. For that reason, ADA is focused off of Novation Parkway due to the location of public amenities, including live-work units, the clubhouse, and proximity to bus stops and the existing pedestrian infrastructure. In looking at the site internally and overall, the site provides ADA throughout."

4. Ensure no signage or obstructions are within the vision triangles of drive entrances to the public roads. (BB)

Response: As noted in the City's ordinances, "the vision plane is a triangular plane located 30 inches above the curb elevation bounded by two 45-foot legs along the curb intersecting at the intersection corner." Based on this definition, there are no obstructions. Refer to Sheet C1.0.

Water Main and Sanitary Sewer Comments

1. Water impact fees will need to be paid prior to release of any building permits. These fees will be included with the permit fee.

Response: Noted.

2. MMSD fees have not been paid for this lot, they will need to be paid prior to recording of the CSM.

Response: Noted.

3. All water main is private up to the valve at Clausen Street.

Response: An email was sent to City staff on Friday, November 30 to discuss potential options in moving forward.

As noted in the email "This is in line with what was previously discussed. With that said, based on our last communications, there was follow-up needed on the public/private utility within the existing easement. In thinking about the utility easement, we see a couple of options in moving forward: (1) the existing public easement would remain for a public utility up to the property line (existing condition); (2) the existing public easement would remain for a private utility (as stated in the comment); (3) the public easement transferred to a private land owner for the private utility. Please confirm how this easement and utility should be handled moving forward."

4. The private water main on sheet C3.1 shall end with two 45 degree bends an 8" gate valve, an 8"x6" reducer and a hydrant. The water main between the north and south lots will not be connected in the future.

Response: Private water mains on C3.1 have been revised to no longer have tees that are capped and sealed. The service entering building AA has been revised to two 45 degree bends prior to entering the building. The Hydrant next to building C has been revised to have a 90 degree bend, 8" gate valve and an 8"x6" reducer. There is not enough space to construct two 45 degree bends prior to the hydrant assembly in this location.

5. Label size of service valves.

Response: Service valve sizes have been labeled.

6. Verify water main bend sizes. A 34-degree bend is labeled on the plans.

Response: All water main bends have been verified. The 34-degree bend has been revised.

7. Salvaged hydrant may not hold pressure test. The City is not responsible for reuse of this hydrant and any additional work that may be required to pass pressure test (cost to replace or fix hydrant). Label 8" lead, 8" gate valve and 8"x6" reducer on this hydrant and all other hydrants. Also label the 8" valve to be installed on this main at the connection point.

Response: Plans no longer call for existing hydrant to be salvaged. A new hydrant will be installed at this location. The 8" gate valve has been called out to be installed at the connection point on the main. All other hydrant assemblies have been called out to have 8" leads, 8" gate valves and 8"x6" reducers.

8. Connection to existing sanitary looks to be less than minimum, less than a 90-degree angle. Please verify and correct.

Response: Sanitary connection angle has been revised to be 90 degrees.

9. Please add the flowing notes to the plans:
 - a. Per City Ordinance, Contractors are not allowed to operate City owned valves. The Contractor shall call the Fitchburg Utility at 270-4270 for operation of these valves.
 - b. Safe sample results need to be provided to the Fitchburg Utility prior to pressure testing the private water mains.
 - c. It is the contractor's responsibility to verify that the existing valves and hydrants will hold the pressure test prior to connection. The City is not responsible for any costs incurred due to the contractor not verifying that the existing valve and hydrant will hold the pressure test prior to connection. If a new valve and or hydrant is required, the applicant will be required to install one at their expense.
 - d. Open pick holes are prohibited on sanitary manholes.

- e. All water main from the point of connection to the municipal main up to and including private hydrants shall be installed per the latest edition of the City of Fitchburg Standard Specifications for Public Works Construction (correct all other notes that conflict with this note).

Response: These notes have been added to the utility plan sheets C3.0, C3.1, and C3.2.

Erosion Control and Stormwater Management (ECSWM) Comments

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval if land disturbance will exceed 4,000 s.f. The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>.

Response: A new permit application has been completed and included with the resubmittal.

2. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.

Response: A storm water maintenance agreement will be provided with the updated stormwater management plan.

3. If infiltration is required to meet the ECSWM requirements, follow the DNR's *Site Evaluation for Stormwater Infiltration (1002)* guidelines to determine the infiltration rate used for modeling prior to submitting the Stormwater Report.

Response: Geotechnical investigations were completed in the stormwater infiltration areas and per WDNR technical standards. During construction of the facilities, a geotechnical engineer will be present to confirm that the soils encountered concur with the design infiltration rates. A geotechnical engineer will produce test results and report documenting that the design rates and soils were met. Infiltration basin details will note the requirement to have a geotechnical engineer confirm the design soils and infiltration rates are reached during construction.

4. Maintain pre-development runoff rates to the north and south of the site.

Response: Pre-development runoff rates are maintained to the north and south of the site.

5. Provide a minimum of 1-foot freeboard between overflow routes and building entrances.

Response: Parking lot overflow routes have been regraded to provide a minimum of 1-foot of freeboard between overflow routes and building entrances.

6. Additional information will be required on the stormwater basin on the south end of the development. There is no storm sewer available adjacent to the site and downstream impacts must be evaluated and addressed. Discharge of stormwater from the south stormwater management area directly onto neighboring property (Gervasi Brothers LLC) is not allowed. Reroute to the right-of-way. Additional piping and potentially associated private utility relocation may be required. What is the intention for existing CB- 1 near the south stormwater management area?



Response: Discharge location has been revised to no longer be directed at the neighboring property. The discharge will tie into existing CB-1 located within the right-of-way.

Fire Department (Joe Pulvermacher, Chief and Chad Grossen, Deputy Chief of Operations)

1. Also, as a reminder, the Fire Department Connections (for the building fire sprinkler systems) shall be within 100 feet of a fire hydrant.

Response: Noted. JSD staff is working off-line with the Fire Department staff to review compliance with City fire protection ordinances.

2. After review, the Fire Department has the following comments for the proposed project and buildings:
 - a. Comply with Fitchburg Ordinance Sec. 44-371 – Access road for construction sites.
 - b. Comply with Fitchburg Ordinance Chapter 44, Article IV, Division 2. – Fire Lanes
 - c. Comply with Fitchburg Ordinance Chapter 44, Article V, Division 2. – Fire Hydrants
 - d. All other building requirements must comply to the Wisconsin Enrolled Commercial Building Code.

Response: Noted. JSD staff is working off-line with the Fire Department staff to review compliance with City fire protection ordinances.

Please do not hesitate to contact me if you have any questions.

Sincerely,

JSD Professional Services, Inc.

Jessica Vaughn, AICP

Planner

cc: Matt Meier, Alexander Company, Inc.
Hans Justeson, JSD