



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Terron Wright

Address: 200 S Michigan Ave. Suite #1020 **Phone Number of Contact Person:** 561.628.9845

City, State, Zip Code: Chicago, IL 60604 **Email of Contact Person:** wright@tapchicago.com

Project Address: 3052 Cahill Main **Lot:** _____ **Subdivision:** _____

Project Type: _____ **Multi-Family** **Commercial** _____ **Industrial** _____ **Other**
 New **Addition**

Impervious Surface Ratio (ISR): 44.4 (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: Terron Wright  Date: 02/21/2023
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:



Deanna Schmidt
City Planner & Zoning Administrator
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

February 21, 2023.

Re: Project narrative for the property 3052 Cahill Main.

Dear Ms. Schmidt,

This letter is to detail our application for Architectural Design Review Approval to provide a bank with a drive-up ATM lane within the existing building at 4231 N Oakland Avenue.

The proposed JPMC development will be located at the West corner of the intersection between Fish Hatchery Rd. and High Ridge Trail. The proposed Chase will be comprised by the existing +/-4,475 S.F. building, one (1) drive-up lane and a parking lot. Existing site will undergo updates to be ADA compliant. The proposed grading at the parking lot will mimic existing site.

The design intent of the proposed Chase Bank is to compliment the surrounding and existing architecture of the area. The proposed Banking Center is comprised of existing masonry, which will be painted color "Passive" Sherwin Williams, existing EIF's painted color "Gray Matter" Sherwin Williams, existing masonry to remain, Roof system to be replaced to match existing and rough opening to remain as-is with new black anodized storefront. All the exterior cladding finishes are long lasting cladding materials that will mesh well with the development growth of the area.

Parties Involved:

Applicant
Terron Wright
The Architects Partnership, LTD (TAP)

Architect of Record
Timothy Meseck
The Architects Partnership, LTD (TAP)

Civil Engineer & Landscape
Tom Szafranski
Kimley-Horn and Associates, Inc.

Property Owner
Klinke Hatchery LLC

Property Lessee
Kenneth Colliander
obo JPMChase Bank, NA



Zoning Classification:

The property in question is in a zoning district classified as PDD Planned Development District Specific Implementation Plan.

Type of Business:

The type of business is a retail banking center with a drive-through service lane for use of an automatic teller machine (ATM). The hours of operation will be Monday – Friday 9 AM – 6 PM and Saturday 9 AM – 2 PM. The total number of employees and any one time will be eight. The eight employees will consist of (1) teller, (1) lead teller, (2) bankers, (1) branch manager, (1) mortgage loan offices, (1) financial advisor and (1) business banker.

Lighting Design and Locations:

To provide the best and most efficient lighting design and locations a photometric study has been developed and included in this submittal.

Sustainability Components:

The project will contain the following components which would contribute to sustainability practices the City is encouraging:

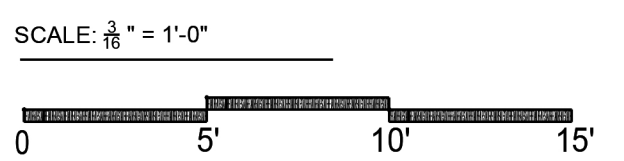
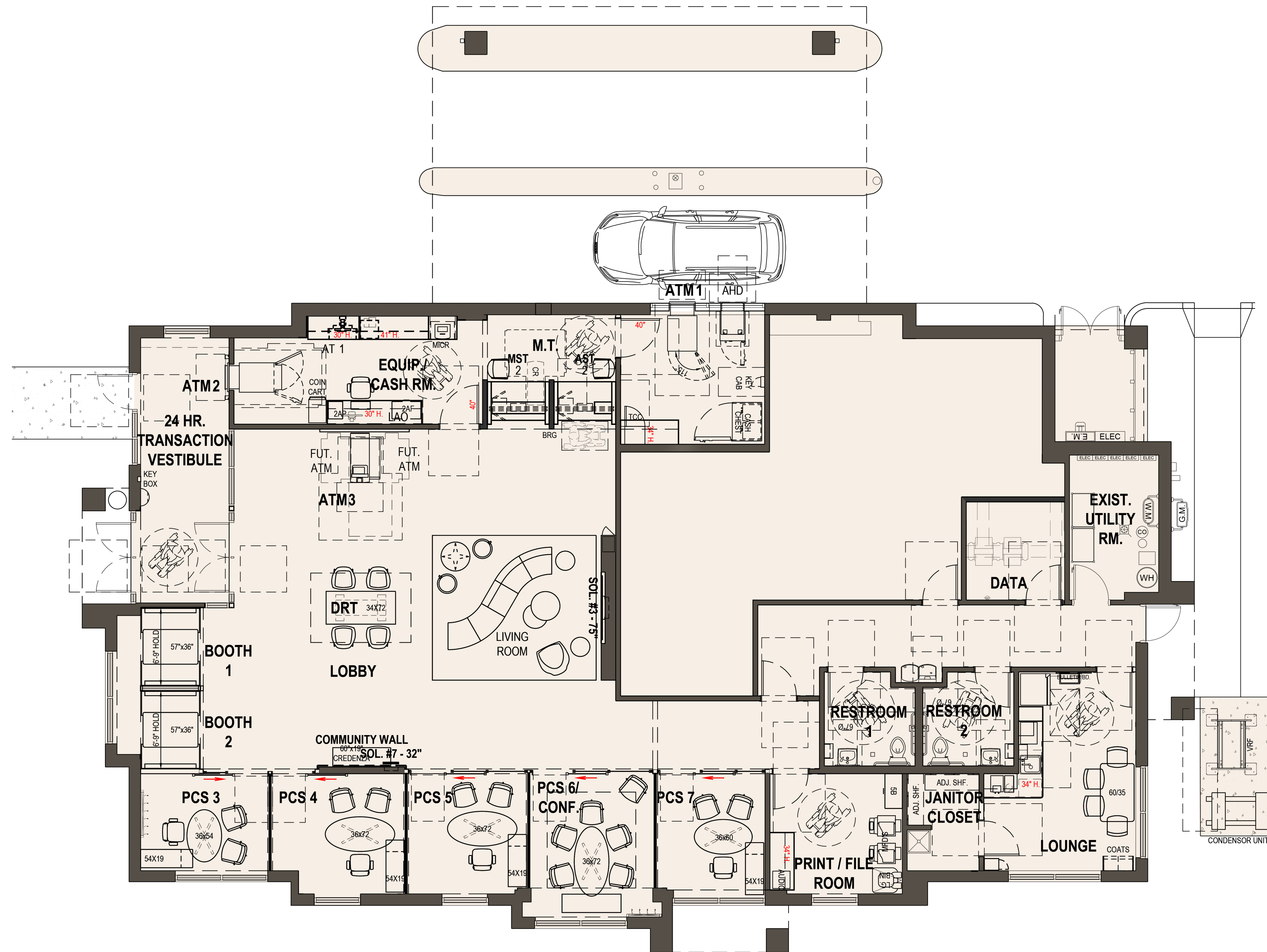
- Installation of additional trees/landscaping within development area
- LED lighting

Project Timeline:

The projected construction date is end of May 2023 pending Conditional Use Process approval, with a forecasted opening in October 2023.

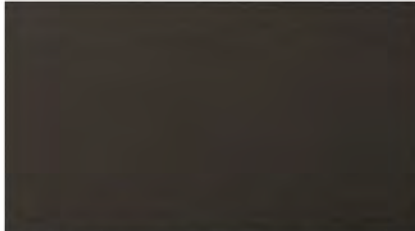




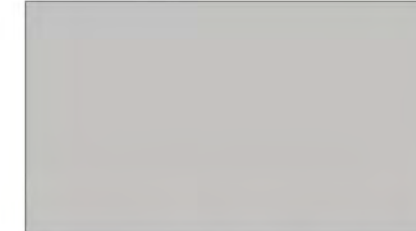
A handwritten signature in black ink that reads 'Terron Wright'. The signature is written in a cursive, flowing style.

Terron Wright
The Architects Partnership, LTD.





SOUTHWEST ELEVATION

-  STORE FRONT & CANOPY
COLOR: BLACK ANODIZED ALUM.
-  EIFs PAINT
COLOR: GRAY MATTER
-  CLEAR GLASS
-  ROOF SYSTEM
COLOR: BLACK
-  EXISTING MASONRY
COLOR: TO REMAIN
-  BRICK PAINT
COLOR: PASSIVE

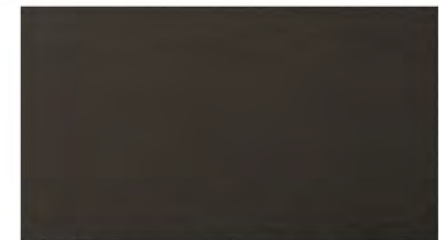
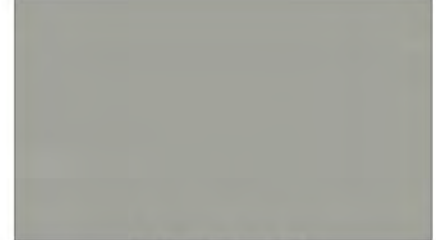



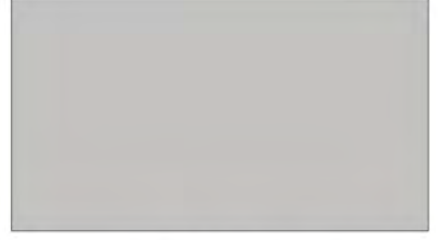


SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"




NORTHEAST ELEVATION

-  STORE FRONT & CANOPY
COLOR: BLACK ANODIZED ALUM.
-  EIFs PAINT
COLOR: GRAY MATTER
-  CLEAR GLASS
-  ROOF SYSTEM
COLOR: BLACK
-  EXISTING MASONRY
COLOR: TO REMAIN
-  BRICK PAINT
COLOR: PASSIVE



NORTHWEST ELEVATION



FINAL ENGINEERING PLANS

CHASE BANK

3052 CAHILL MAIN, FITCHBURG, WI 53713

UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING & ZONING
 FITCHBURG PLANING & ZONING
 5520 LACY ROAD
 FITCHBURG, WI 53711
 TEL: (608) 270-4200
 CONTACT: DEANNA SCHMIDT

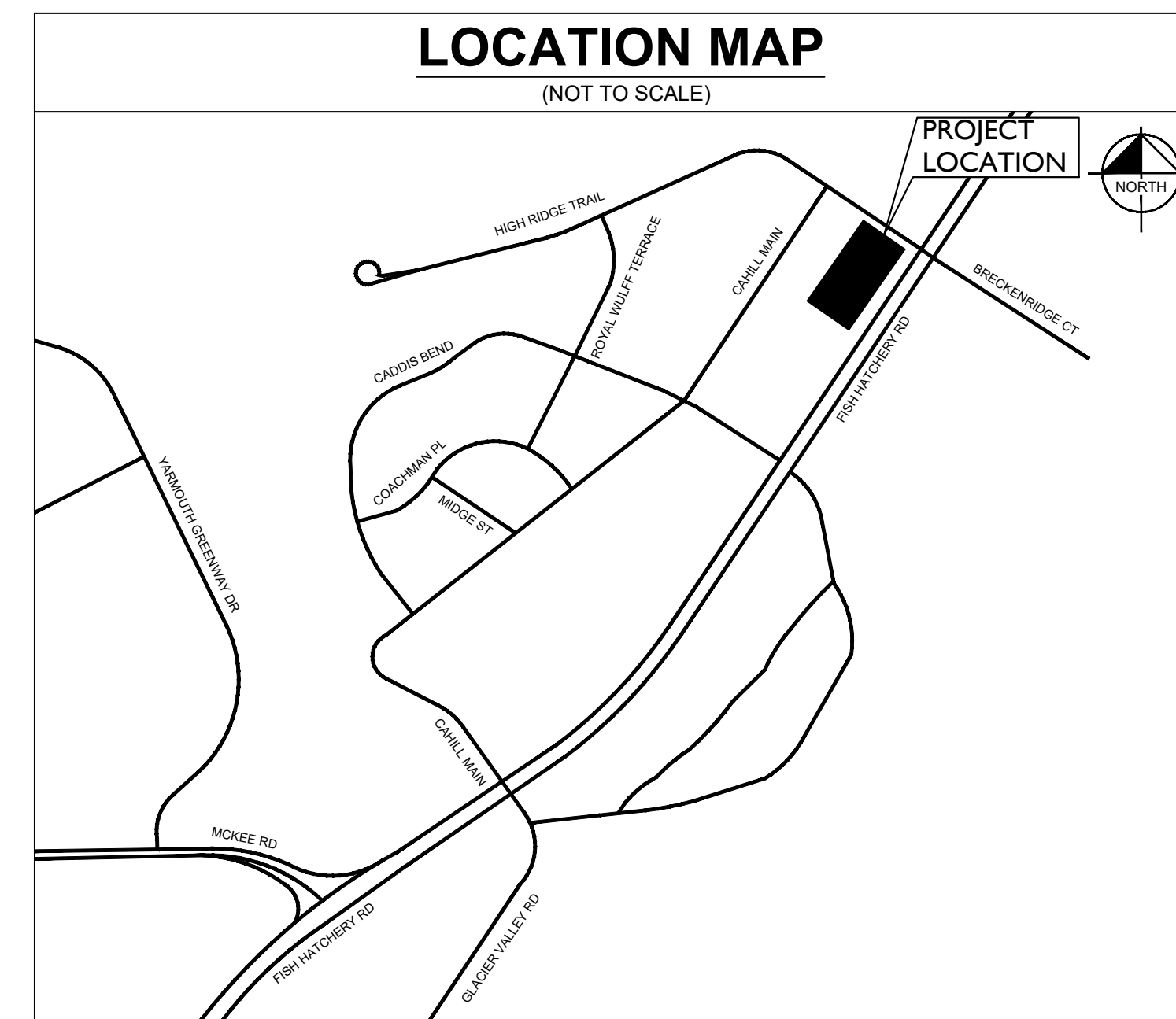
CITY ENGINEER
 FITCHBURG PUBLIC WORKS
 5520 LACY ROAD
 FITCHBURG, WI 53711
 TEL: (608) 270-4260
 CONTACT: TIM VOELKER

PROJECT TEAM

DEVELOPER
 JP MORGAN CHASE BANK, N.A.
 10 SOUTH DEARBORN, 25TH FL
 CHICAGO, IL 60603-2300
 TEL: (312) 320-9594
 CONTACT: KEN COLLIANDER

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD RD, SUITE 600
 WARRENVILLE, IL 60555
 TEL: (331) 481-7330
 EMAIL: TOM.SZAFRANSKI@KIMLEY-HORN.COM
 CONTACT: TOM SZAFRANSKI

SURVEYOR
 CHAPUT LAND SURVEYS
 234 W. FLORIDA STREET
 MILWAUKEE, WI 53204
 TEL: (414) 224-8068
 CONTACT: DONALD C. CHAPUT



SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
V0.0	ALTA SURVEY
C1.0	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE IMPROVEMENT PLAN
C4.0	CONSTRUCTION DETAILS

LEGAL DESCRIPTION

LOT 3 OF CERTIFIED SURVEY MAP NO. 9158 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON WISCONSIN, IN VOLUME 51 OF CERTIFIED SURVEY MAPS, PAGE 248 AS DOCUMENT NO. 3064965, SAID CERTIFIED SURVEY MAPS BEING A REDIVISION OF LOT 1 & LOT 2, HATCHERY HILL LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 6 NORTH, RANGE 9 EAST, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

BENCHMARKS

SITE BENCHMARKS:
 SITE BENCHMARK: 880.744
 SET CHISELED "X" ON RIM TOP BACK OF CURB

 SITE NCHMARK: 891.04
 CHISELED "X" ON CURB INLET

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ANDREW HEINEN, A LICENSED PROFESSIONAL ENGINEER OF WI, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF CHASE BANK BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 21ST DAY OF FEBRUARY, A.D., 2023.

WI LICENSED PROFESSIONAL ENGINEER 36037-6
 MY LICENSE EXPIRES ON JULY 31ST, 2023
 DESIGN FIRM REGISTRATION NUMBER: 184002012-0006

Drawing name: K:\GIS\DEV\168558043_Chase_Fitchburg_MV2 Design\PlanSheets\CAD\PlanSheets\C0.0 - COVER SHEET.dwg CO.0 Feb 21, 2023 10:02am by: Juliette Strosser
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

No.	REVISIONS	DATE	BY

Kimley-Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 4201 WINFIELD ROAD, SUITE 600
 WARRENVILLE, IL 60555
 PHONE: 630-487-2550
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
 DESIGNED BY: RRG
 DRAWN BY: RRG
 CHECKED BY: TJS



COVER SHEET

CHASE BANK
 3052 CAHILL MAIN,
 FITCHBURG, WI 53713

ORIGINAL ISSUE:
 02/21/2023
 KHA PROJECT NO.
 168558043

SHEET NUMBER
C0.0

ALTA/NSPS LAND TITLE SURVEY

CLIENT

Architects Partnership

PROJECT REFERENCE

TAP #23028

SITE ADDRESS

3052 Cahill Main, Fitchburg, Wisconsin.

LEGAL DESCRIPTION

LOT 3 OF CERTIFIED SURVEY MAP NO. 9158 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON WISCONSIN, IN VOLUME 51 OF CERTIFIED SURVEY MAPS, PAGE 248 AS DOCUMENT NO. 3064965, SAID CERTIFIED SURVEY MAPS BEING A REDIVISION OF LOT 1 & LOT 2, HATCHERY HILL LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 3, TOWNSHIP 6 NORTH, RANGE 9 EAST, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

BASIS OF BEARINGS

Bearings are referenced to the Northerly line of Fish Hatchery Road, which bears South 33°35'30" West per C.S.M. No. 9158

TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1149262-CH2, effective date of September 29, 2022 which lists the following easements and/or restrictions from schedule B-II:

1, 2, 3, 5 & 10 visible evidence shown, if any.

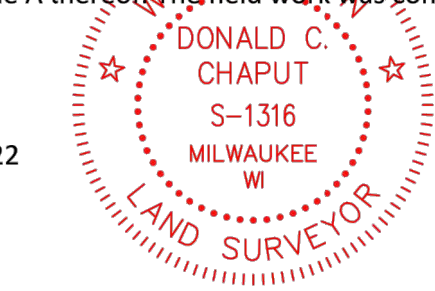
4, 6, 7, 8, 9, 27, 28, 29, 30 & 31 not survey related.

11. Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of Hatchery Hill, as recorded in May 19, 1997 in Volume 57, Page 283 as Document No. 2854451, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). **Affects property by location, shown.**
12. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 9158 recorded January 04, 1999, in Volume 51, Page 248 as Document No. 3064965 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. **Affects property by location, shown.**
13. The terms and provisions contained in the document entitled "Recreational Easement" recorded November 07, 1972, in Volume 392, Page 561 as Document No. 1346300 of Official Records. **Does not affect property by location.**
14. Gas Line Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated October 03, 1972, recorded/fled April 24, 1973, in Volume 432, Page 394 as Document No. 1362117. **Does not affect property by location.**
15. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated October 03, 1972, recorded/fled April 24, 1973, in Volume 432, Page 398 as Document No. 1362120. **Does not affect property by location.**
16. Covenants, conditions, restrictions, easements, assessments, liens, charges, terms and provisions in the document recorded May 19, 1997 as Document No. 2854452 of Official Records, but deleting any covenant, condition, or restriction, if any, indicating a preference, limitation, or discrimination based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, handicap, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, to the extent that such covenants, conditions or restrictions violate applicable state or federal laws. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. **Affects property by location, general in nature.**
17. Covenants, conditions, restrictions and easements in the document recorded January 04, 1999 as Document No. 3064959 of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, national origin, sexual orientation, marital status, ancestry, source of income or disability, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. **Affects property by location, blanket in nature.**
18. Covenants, conditions, restrictions and easements in the document recorded January 04, 1999 as Document No. 3064964 of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, national origin, sexual orientation, marital status, ancestry, source of income or disability, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. **Affects property by location, general in nature.**
19. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated April 07, 1999, recorded/fled December 13, 1999 as Document No. 3178017. **Affects property by location, shown.**
20. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated September 17, 2001, recorded/fled January 23, 2002 as Document No. 3434483. **Affects property by location, shown.**
21. Utility Easement to Wisconsin Bell Telephone Company d/b/a Ameritech Wisconsin, a Wisconsin Corporation, dated August 31, 2001, recorded/fled September 30, 2002 as Document No. 3556675. **Does not affect property by location.**
22. Utility Easement to Wisconsin Bell, Inc. d/b/a Ameritech Wisconsin, a Wisconsin Corporation, dated February 21, 2002, recorded/fled September 30, 2002 as Document No. 3556676. **Does not affect property by location.**
23. Planned Development District Granting Specific Implementation Plan Zoning for Lot 3 CSM 9158 recorded February 17, 2022 as Document No. 5813076. **Affects property by location, general in nature.**
24. The terms and provisions contained in the document entitled "Declaration of Private Water Main Easement Agreement" recorded June 16, 2022 as Document No. 5841318 of Official Records. **Benefits property by location, shown.**
25. Matters as disclosed by Transportation Project Plat No: 19-3488-4.04 recorded June 12, 2019, as Document No. 5495471. **Affects property by location, shown.**
26. Temporary Limited Easement recorded January 29, 2020, as Document No. 5559201. **Affects property by location, shown.**

TO: Architects Partnership
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 11(b), 12, 13, 14, 16, 17, 18, 19, 20(a) of Table A thereof. The field work was completed on October 26, 2022.

Date of Map: November 1, 2022



Donald C. Chapat
Professional Land Surveyor
Registration Number S-1316

Date	Revision description



This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyors' client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Drawing No. 4285-dmb

TABLE "A" ITEMS

3. According to the flood insurance rate map of the County of Milwaukee, Community Panel No.55025C0418G, effective date of January 2, 2009, this site falls in Zone X (Areas of minimal flood hazard).
4. The Land Area of the subject property is 44,666 square feet or 1.0254 acres.
9. There are 18 regular parking spaces and 1 handicap space marked on this site.
- 11(a). No plans or reports provided by client.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20224021124 & 20224021134. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
16. There is no visible evidence of earth moving, building construction or building additions within recent months.
17. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
- 20(a). List the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements, if any. Identify the date and source of the zoning information.

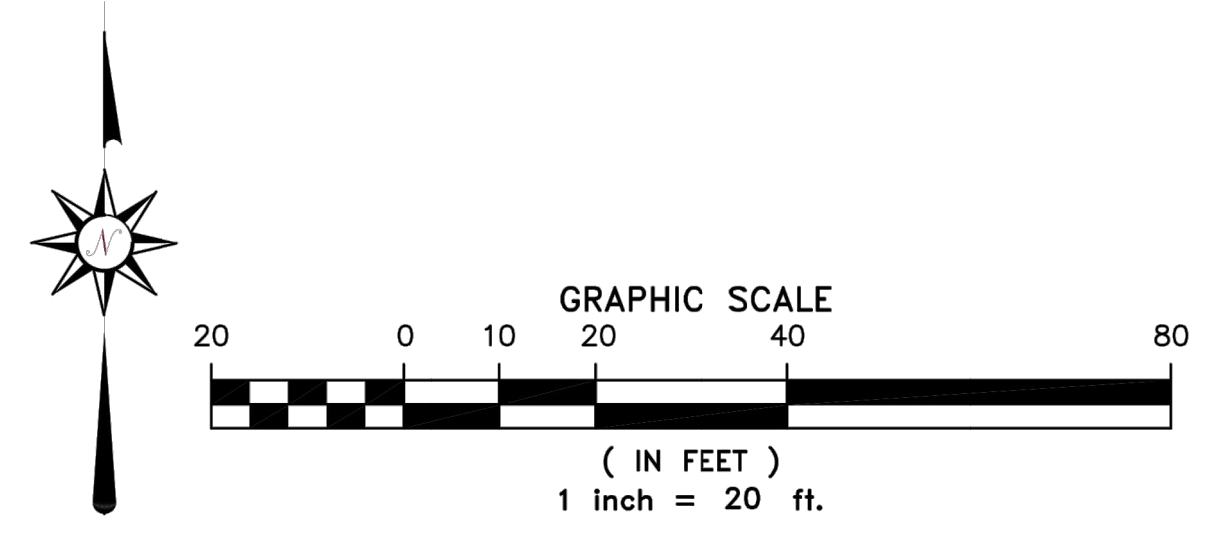
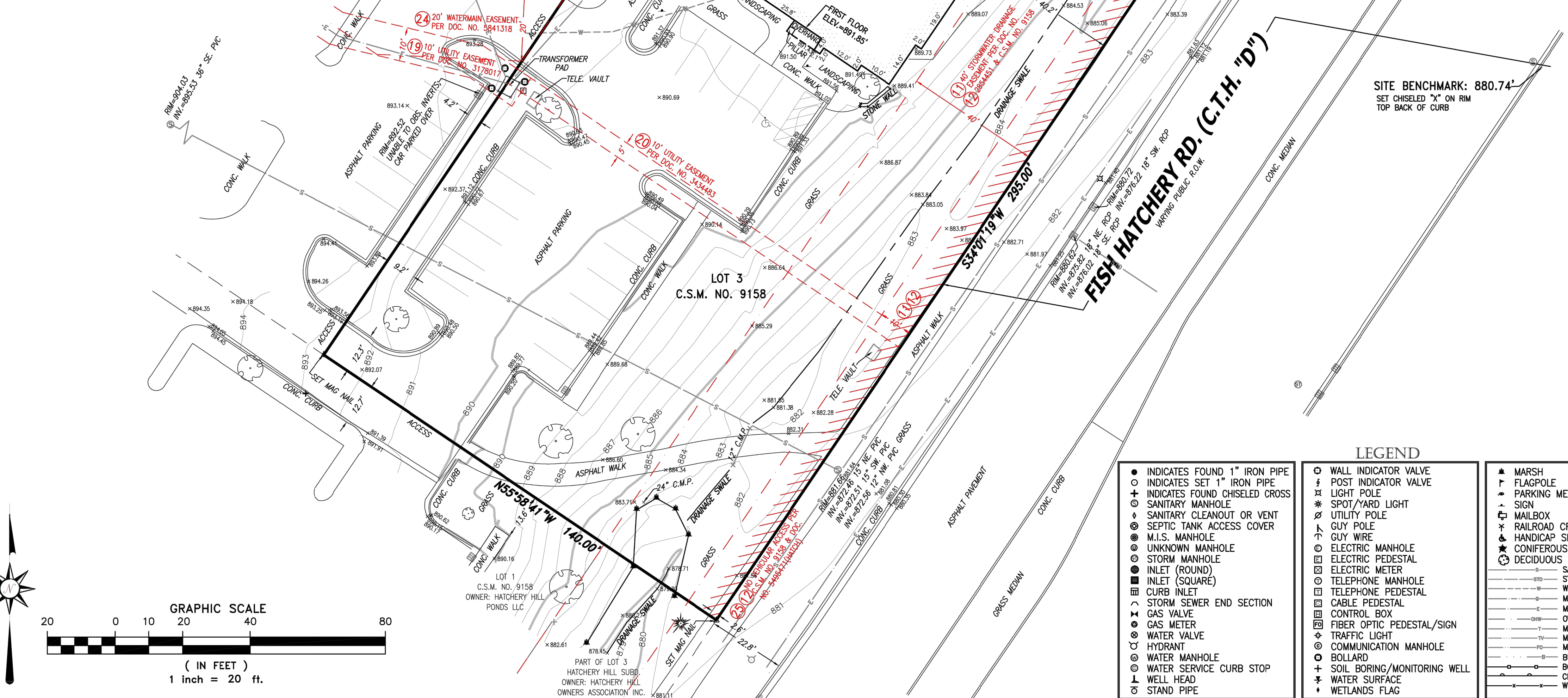
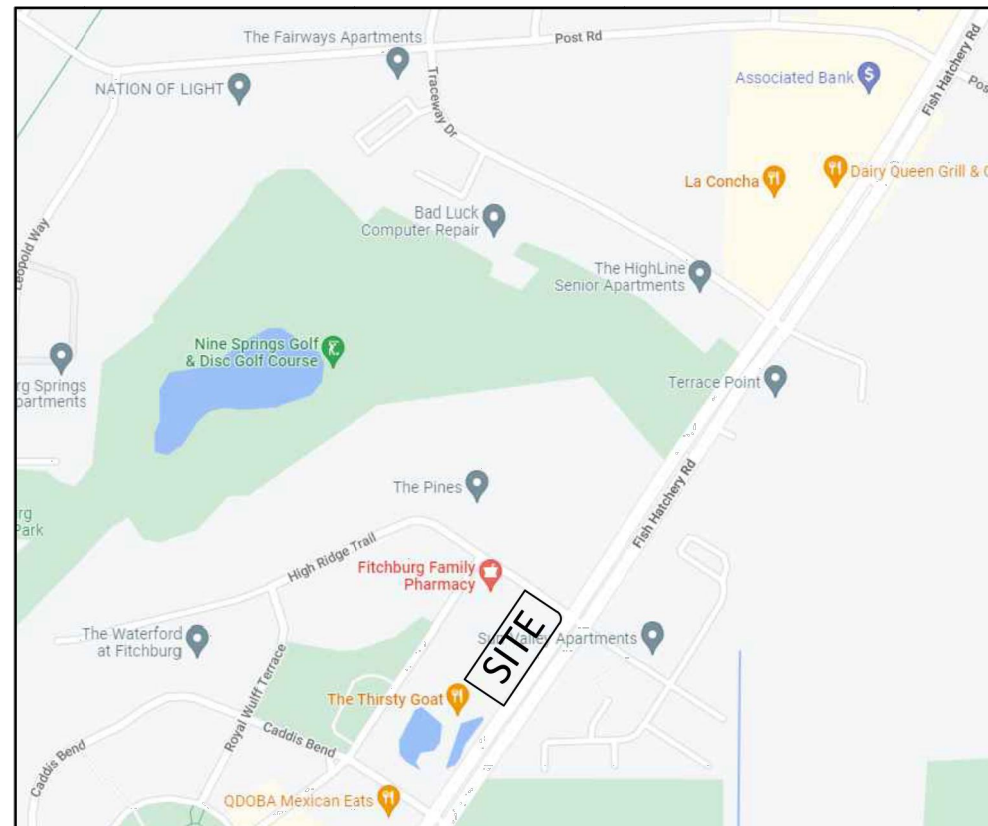
The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.

Municipal Code: City of Fitchburg Municipal Code; Sec. 22-599

Site is zoned: PDD-SIP (Planned Development District - Specific Implementation Plan)

Setbacks determined by the Municipality

VICINITY MAP



LEGEND

● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE	▲ MARSH
○ INDICATES SET 1" IRON PIPE	○ POST INDICATOR VALVE	▲ FLAGPOLE
+ INDICATES FOUND CHISELED CROSS	○ LIGHT POLE	▲ PARKING METER
○ SANITARY MANHOLE	* SPOT/YARD LIGHT	▲ SIGN
○ SANITARY CLEANOUT OR VENT	○ UTILITY POLE	▲ MAILBOX
○ SEPTIC TANK ACCESS COVER	○ GUY POLE	▲ RAILROAD CROSSING SIGNAL
○ M.I.S. MANHOLE	○ GUY WIRE	▲ HANDICAP SPACE
○ UNKNOWN MANHOLE	○ ELECTRIC MANHOLE	▲ CONIFEROUS TREE
○ STORM MANHOLE	○ ELECTRIC PEDESTAL	▲ DECIDUOUS TREE
○ INLET (ROUND)	○ ELECTRIC METER	○ SANITARY SEWER
■ INLET (SQUARE)	○ TELEPHONE MANHOLE	○ STORM SEWER
○ CURB INLET	○ TELEPHONE PEDESTAL	○ WATERLINE
○ STORM SEWER END SECTION	○ CABLE PEDESTAL	○ MARKED GAS MAIN
○ GAS VALVE	○ CONTROL BOX	○ MARKED ELECTRIC
○ GAS METER	○ FIBER OPTIC PEDESTAL/SIGN	○ OVERHEAD WIRES
○ WATER VALVE	○ TRAFFIC LIGHT	○ MARKED TELEPHONE
○ HYDRANT	○ COMMUNICATION MANHOLE	○ MARKED CABLE TV LINE
○ WATER MANHOLE	○ BOLLARD	○ MARKED FIBER OPTIC
○ WATER SERVICE CURB STOP	○ SOIL BORING/MONITORING WELL	○ BURIED ELECTRIC SERVICE
○ WELL HEAD	○ WATER SURFACE	○ BOARD FENCE
○ STAND PIPE	○ WETLANDS FLAG	○ CHAIN LINK FENCE
		○ WIRE FENCE

CHAPUT LAND SURVEYS

GENERAL NOTES

- 1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:
CHARPT LAND SURVEYS
234 W. FLORIDA STREET
MILWAUKEE, W 53204
TEL: (414) 224-8068
- COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
- 2. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- 3. THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- 4. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
 - A. "ROADWAY STANDARD SPECIFICATIONS, WISCONSIN DEPARTMENT OF TRANSPORTATION," AS PREPARED BY WISDOT, CURRENT EDITION AND ITS SUPPLEMENTS.
 - B. "10 STATE RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES," AS PUBLISHED BY HEALTH RESEARCH INC., LATEST EDITION.
 - C. REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE MUNICIPALITY, UNLESS OTHERWISE NOTED ON THE PLANS.
 - D. THE NATIONAL ELECTRIC CODE.
 - E. ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- 5. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT.
- 6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES RESPONSIBILITY IN THE EVENT OF DISCREPANCY BETWEEN THE PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS. THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- 8. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY-HORN AND ASSOCIATES, INC. THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN.
- 9. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 10. CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS DIRECTED BY THE OWNER.
- 11. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- 12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND EASEMENTS.
- 13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 14. NOTIFICATION OF COMMENCING CONSTRUCTION:
 - 14.A. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE MUNICIPALITY, AND THE OWNER 48-HOURS IN ADVANCE OF CONSTRUCTION.
 - 14.B. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE CONTRACTOR.
- 15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE MUNICIPALITY.
- 16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- 17. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER WSDOT SECTION 202. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.
- 18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT, FORESTER, OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY MANNER SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- 19. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- 20. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.
- 21. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH DISPOSAL.
- 22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER HAZARDOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
- 23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY.
- 24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE MERGED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAID IN FULL FOR CLEANING, PATCHING, REMOVAL, AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL DIGGERS NOTIUNG LOCATING SERVICES (1-800-242-8511) AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
- 26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONSULT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- 28. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TILE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- 29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL.

- 30. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT AT THE CONTRACTOR'S OWN EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 31. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.
- 32. IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH WELL-COMPACTED, CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING. ANY UNDERCUTS OF TWO (2) FEET OR LESS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. DEPTHS GREATER THAN TWO (2) FEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING.
- 33. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DETERMINING IF EMPLOYMENT SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DETERIORATING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER.
- 34. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
- 35. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- 36. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES REGULATIONS AND WISDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER, HAS DEVELOPED.
- 37. THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES THROUGH THE PERMIT PHASE. IF PERMIT PLACEMENT REQUIREMENTS AND GOVERNING MUNICIPALITY, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR SUPPLIERS, WHICH CONTRIBUTE TO DEFICIENCIES IN THE SWPPP OR ANY VIOLATIONS RESULTING FROM INADEQUATE EROSION CONTROL PROTECTION AND/OR DOCUMENTATION.
- 38. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY TO KEEP A SWEEPER ON-SITE AT ALL TIMES.
- 39. ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION CONDITIONS WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER WISDOT STANDARDS.
- 40. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED OTHERWISE.
- 41. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- 42. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- 43. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
- 44. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE MUNICIPALITY, AS NECESSARY.

EARTHWORK NOTES

- 1. GENERAL
 - 1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.
 - 1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.
 - 1.3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR.
 - 1.4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADEQUATE REQUESTS FOR DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.
 - 1.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.
 - 1.6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTRED AROUND THE TREE, WHOSE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
- 2. TOPSOIL EXCAVATION INCLUDES:
 - 2.1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED FILL MATERIAL EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
 - 2.2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL, PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.
 - 2.3. TOPSOIL STOCKPILED FOR RESPAED SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.
 - 2.4. TOPSOIL SPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.
 - 2.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.
- 3. EARTH EXCAVATION INCLUDES:
 - 3.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
 - 3.2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.
 - 3.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION, IN AREAS REQUIRING STRUCTURAL FILL. HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
 - 3.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS. SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.
- 4. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- 5. MISCELLANEOUS. THE CONTRACTOR SHALL:
 - 5.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPILL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
 - 5.2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
 - 5.3. ADD WATER TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
 - 5.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
 - 6. TESTING AND FINAL ACCEPTANCE
 - 6.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE TESTING ENGINEER AND THE OWNER. (SEE PAVING SPECIFICATION.)
 - 6.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

PAVING NOTES

- 1. GENERAL
 - 1.1. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.
 - 1.2. COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] FOR SUBGRADE, SUBBASE, AGGREGATE BASE COURSE, AND BITUMINOUS COURSES SHALL MEET WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) HIGHWAY STANDARDS.
 - 1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE MUNICIPALITY CODE.
- 2. SUBGRADE PREPARATION
 - 2.1. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
 - 2.2. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:
 - 2.2.1. SCARIFY, DISC, AND AERATE.
 - 2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
 - 2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL.
 - 2.2.4. USE OF GEOTEXTILE FABRIC.MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.
 - 2.3. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
 - 2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING ENGINEER.
- 3. CONCRETE WORK
 - 3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) INCH AND SHALL BE CURED TO A MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH AT TWENTY-EIGHT (28) DAYS. ALL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
 - 3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVING SPECIFICATIONS FOR DETERMINING THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRE-MOLDED FIBER EXPANSION JOINTS, WITH TWO 3/4-INCH BY 16-INCH EPOXY-COATED STEEL DOMEL BARS, SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES.
 - 3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.
 - 3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.
 - 3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 4-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 20-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES.
 - 3.6. CONCRETE CURING AND PROTECTION SHALL BE PER WISDOT STANDARDS. TWO (2) COATS OF WSDOT APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES.
 - 3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.
- 4. FLEXIBLE PAVEMENT
 - 4.1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS, UNLESS OTHERWISE SHOWN ON THE PLANS. THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B, BITUMINOUS CONCRETE BINDER COURSE, AND BITUMINOUS CONCRETE SURFACE COURSE. OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.
 - 4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE WSDOT APPROVED.
 - 4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK-COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE, OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER WSDOT STANDARDS.
 - 4.4. SEAMS IN BAM, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES.
 - 5. TESTING AND FINAL ACCEPTANCE.
 - 5.1. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE MATERIALS/TESTING ENGINEER.
 - 5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE MUNICIPALITY, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.
 - 5.3. WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD REQUIRED BY WSDOT STANDARDS.
 - 5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.
- 5. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE MUNICIPALITY CODE. WHEN CONFLICTS ARISE BETWEEN MUNICIPAL CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE PRECEDENCE.

SIGNAGE AND PAVEMENT MARKING NOTES

- 1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARDS.
- 2. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080-INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD.
- 3. POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT, SUCH AS A TYPE B METAL POST, AS PER THE IDOT STANDARDS (OR 2-INCH PERFORATED STEEL TUBE).
- 4. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH WISDOT STANDARDS.
- 5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC ON ASPHALT AND MODIFIED URETHANE ON CONCRETE OR AS APPROVED BY WSDOT.
- 6. PAVEMENT MARKINGS ON BICYCLE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE WITH WISDOT STANDARDS.
- 7. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE OR YELLOW PER LOCAL CODE.
- 8. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING. MODIFIED URETHANE MARKINGS SHALL BE INSTALLED DURING CONDITIONS OF DRY WEATHER AND WHEN THE PAVEMENT TEMPERATURE IS 40 DEGREES FAHRENHEIT AND RISING.

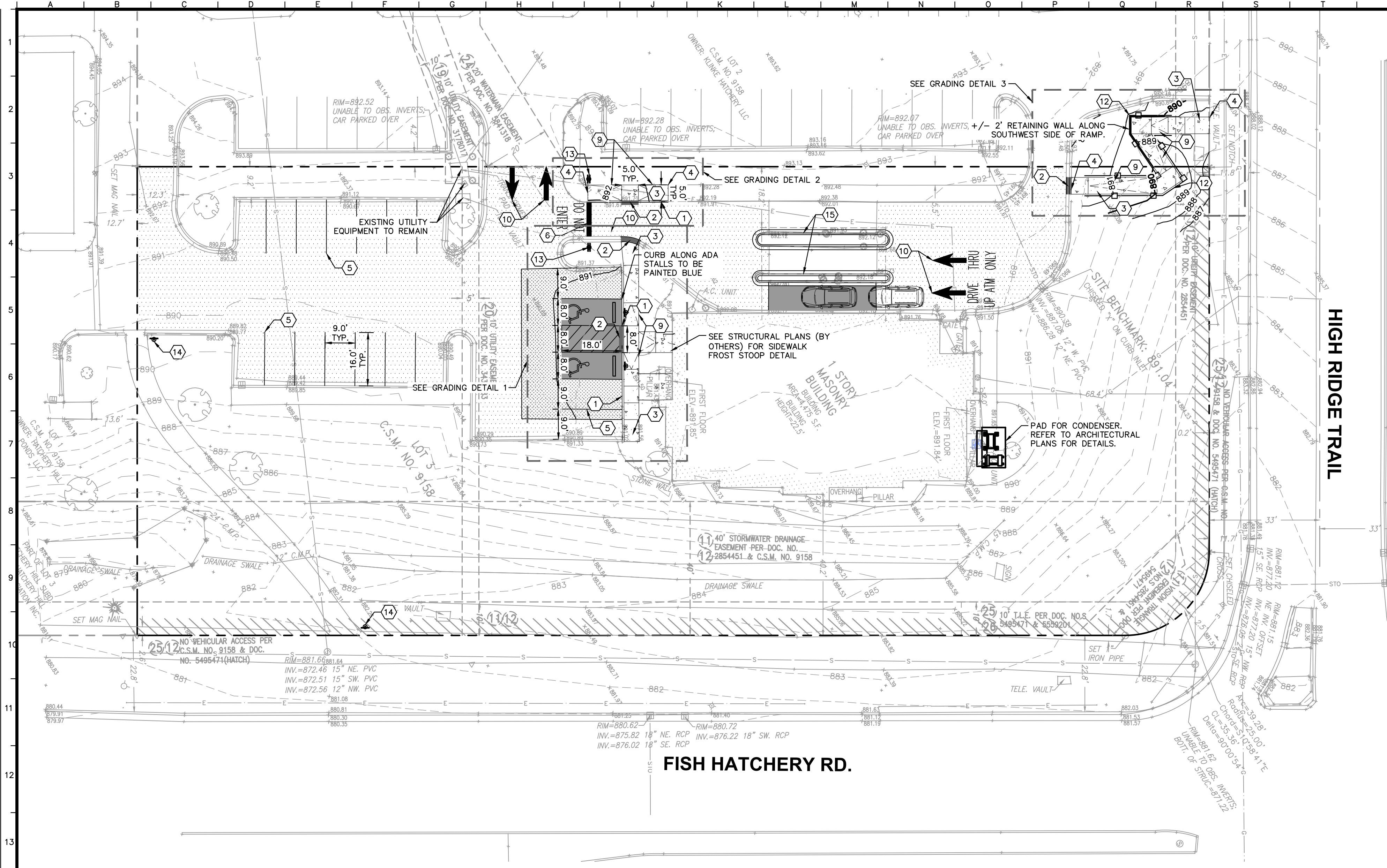
ADA GENERAL NOTES

- 1. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS OF THE AUTHORITY HAVING JURISDICTION.
- 2. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- 3. ANY COMPONENTS OF THE PROJECT SERVING MULTI-FAMILY DWELLINGS IN BUILDINGS THAT HAVE (4) OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- 4. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESSIBLE ASILES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL CONVENTIONAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- 5. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

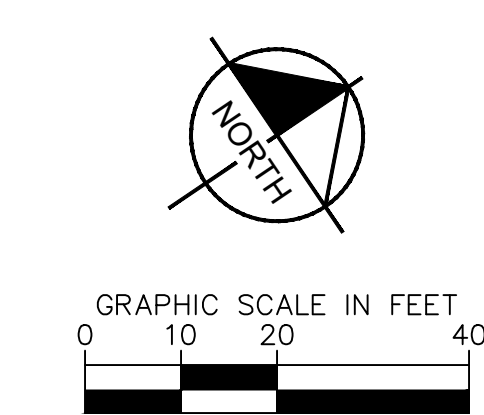
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SCALE: AS NOTED			
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CHASE BANK 3055 CAHILL MAIN, FITZCHBURG, WI 53713			
GENERAL NOTES			
CHASE			
KIMLEY-HORN			
ORIGINAL ISSUE: 02/21/2023			
KHA PROJECT NO. 168558043			
SHEET NUMBER C1.0			

Drawing name: K:\GIS_DEVELOPMENT\168558043_Chase_Fitchburg_MV2_Site_Improvement_Plan.dwg C:\0 Feb 21, 2023 10:04am by Juliette.Schroeder
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NOTE: TO ADHERE TO ADA GUIDELINES ALL ACCESSIBLE ROUTING SHALL BE A MAXIMUM OF 5% RUNNING SLOPE AND A MAXIMUM OF 2% CROSS SLOPE. RUNNING SLOPE REFERS TO THE DIRECTION OF TRAVEL, CROSS SLOPE REFERS TO THE DIRECTION PERPENDICULAR TO THE DIRECTION OF TRAVEL (ALONG THE SIDEWALK JOINTS).

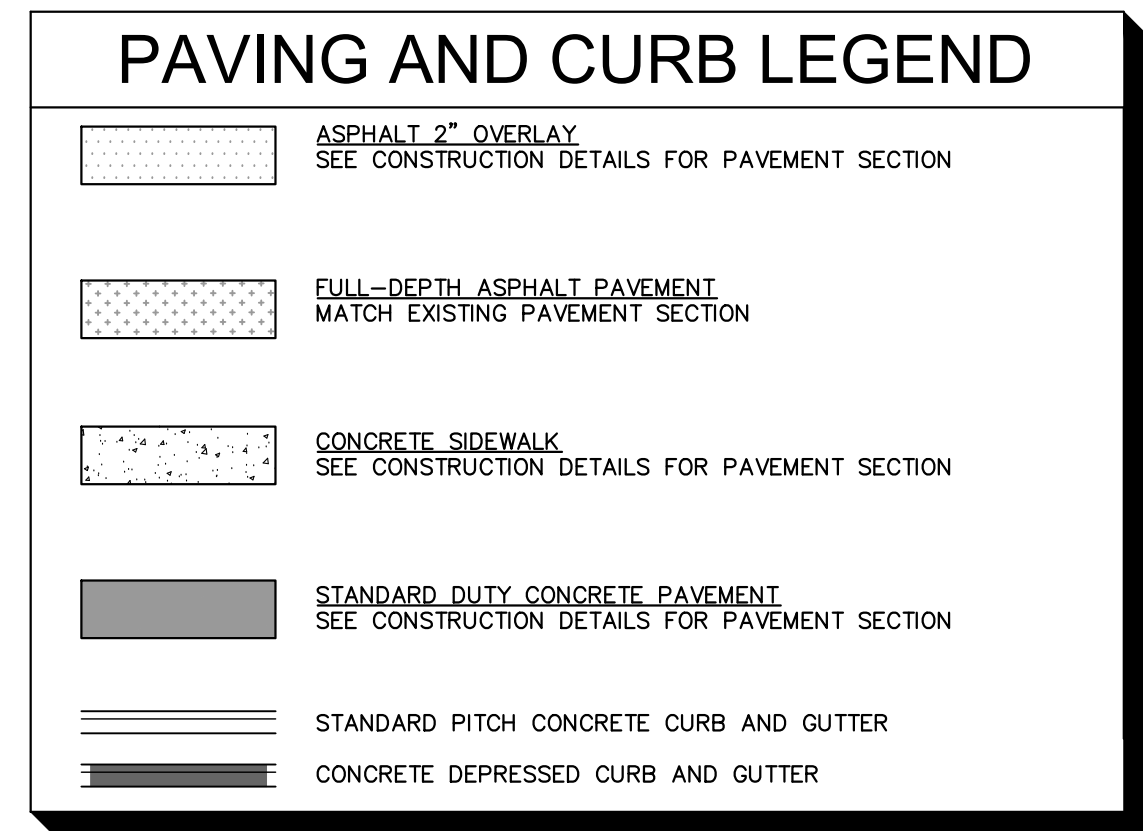


- ### GENERAL NOTES
- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 - ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO INSTALL NEW SIDEWALK TO THE EXTENTS SHOWN IMPROVED ON THIS SHEET. ALL SIDEWALKS SHALL BOTH MATCH EXISTING GRADES AT "CONNECTION TO EXISTING", AND BE ADA COMPLIANT. (SEE NOTE, THIS SHEET)

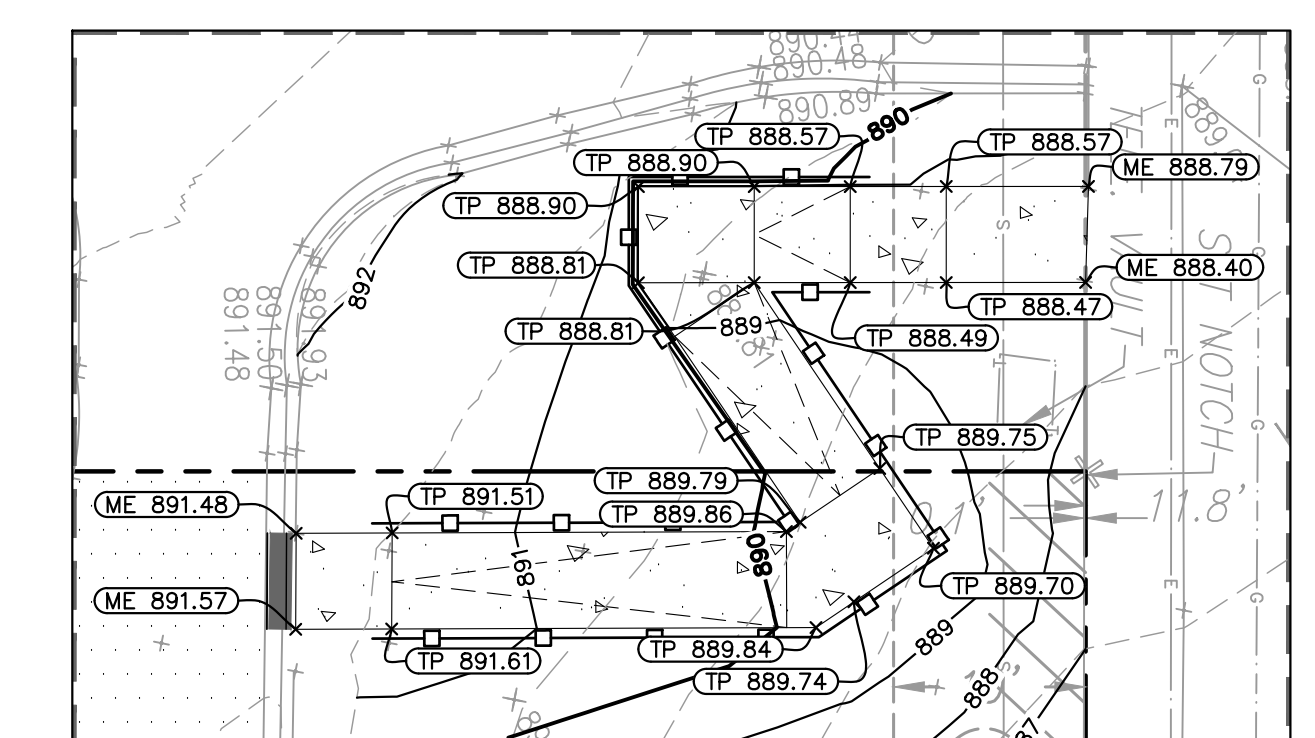
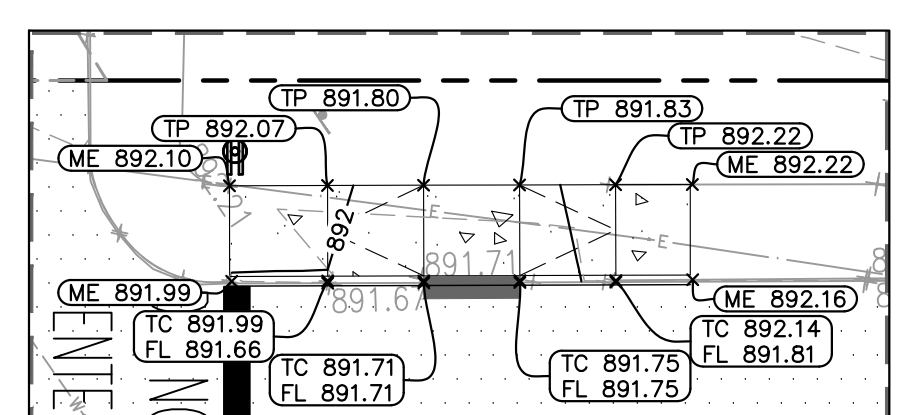
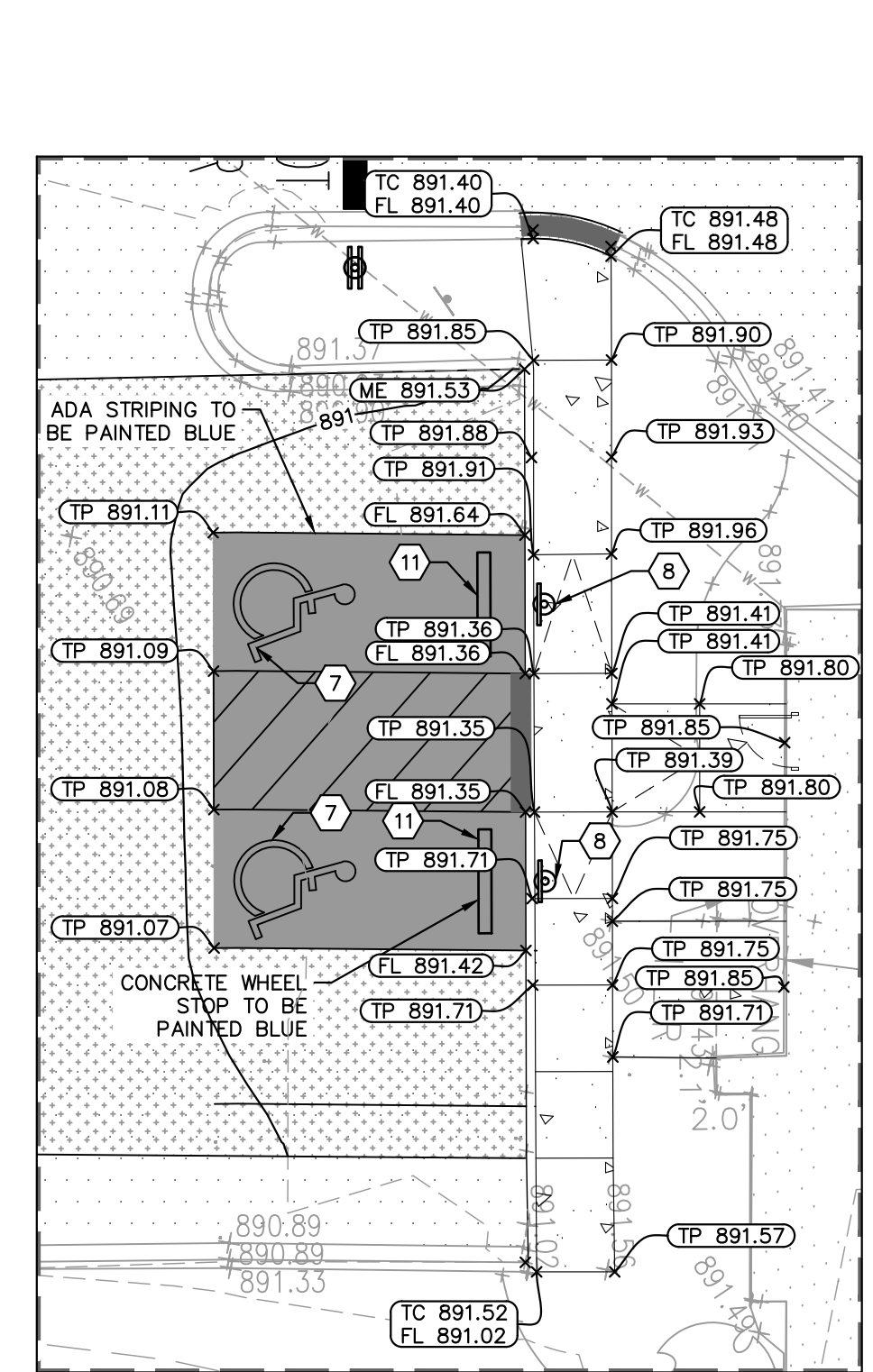
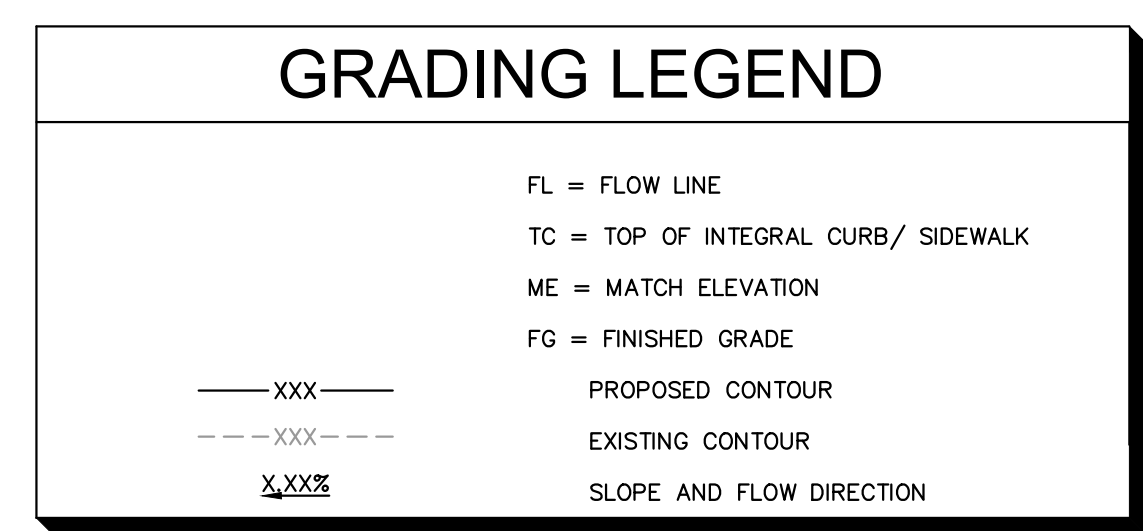
PARKING SUMMARY

EXISTING CONDITIONS:	
STANDARD PARKING SPACES	= 18 SPACES
ACCESSIBLE PARKING SPACES	= 1 SPACES
TOTAL PARKING SPACES	= 19 SPACES
PROPOSED CONDITIONS:	
STANDARD PARKING SPACES	= 17 SPACES
ACCESSIBLE PARKING SPACES	= 2 SPACES
TOTAL PARKING SPACES	= 19 SPACES

- ### KEY NOTES
- INTEGRAL CURB AND SIDEWALK (SEE DETAILS)
 - SIDEWALK FLUSH WITH PAVEMENT
 - CONCRETE SIDEWALK (SEE DETAILS)
 - CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
 - 4" WIDE PAINTED SOLID LINE, TYP.
 - PAINTED STOP BAR, TYP. (SEE DETAILS)
 - ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
 - ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
 - ACCESSIBLE RAMP (SEE DETAILS)
 - SITE DIRECTIONAL MARKING (SEE ARCHITECTURAL DETAILS)
 - CONCRETE WHEEL STOP, PAINTED BLUE (SEE ARCHITECTURAL DETAILS)
 - GUARDRAIL (SEE DETAILS)
 - STOP SIGN & DO NOT ENTER SIGN (SEE DETAILS)
 - SIGNAGE NOTING A NON-ACCESSIBLE PATH (SEE DETAILS)
 - 6" CONCRETE CURB WITH 12" GUTTER (SEE DETAILS)



- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER OR INTEGRAL CURB AND SIDEWALK REFER TO FLOW LINE OR TOP OF ASPHALT ELEVATIONS, RESPECTIVELY, UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES. THE ONLY EXCEPTION TO THIS IS ALONG THE PROPOSED SIDEWALK RAMP WITH RAILINGS WHICH SHALL NOT EXCEED 8.3% RUNNING SLOPE.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.



GRADING DETAIL 1
SCALE: 1" = 10'

GRADING DETAIL 2
SCALE: 1" = 10'

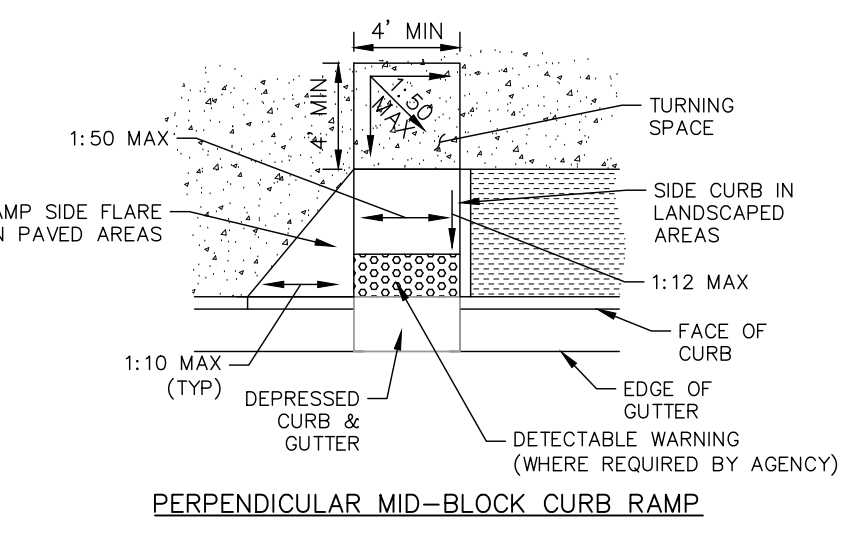
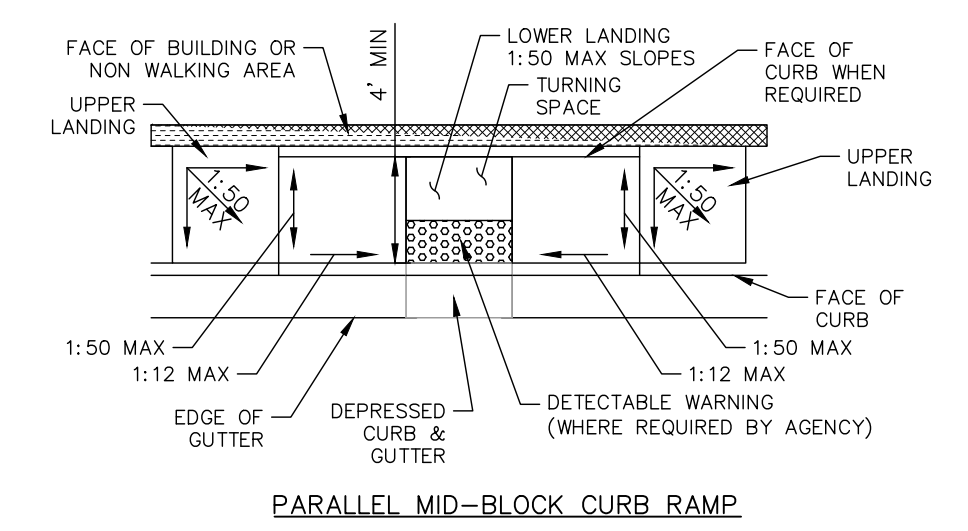
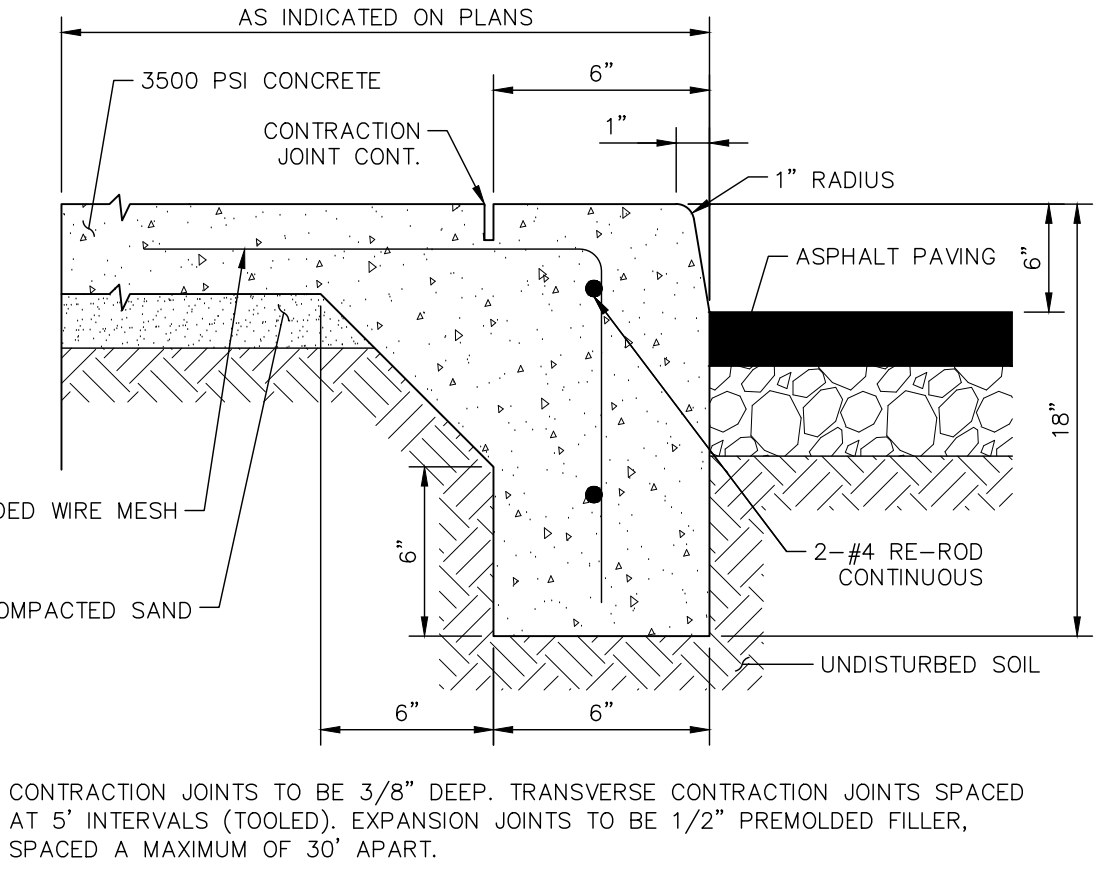
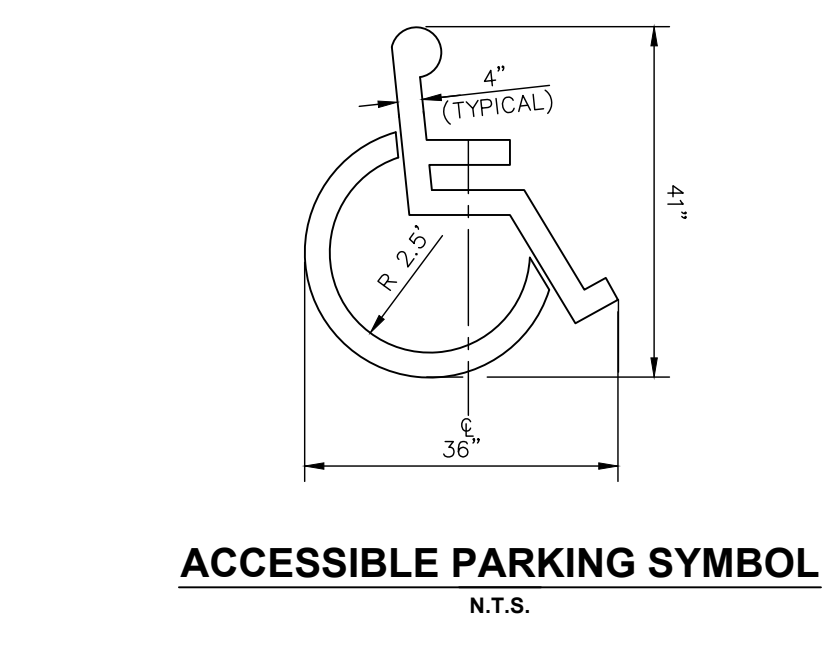
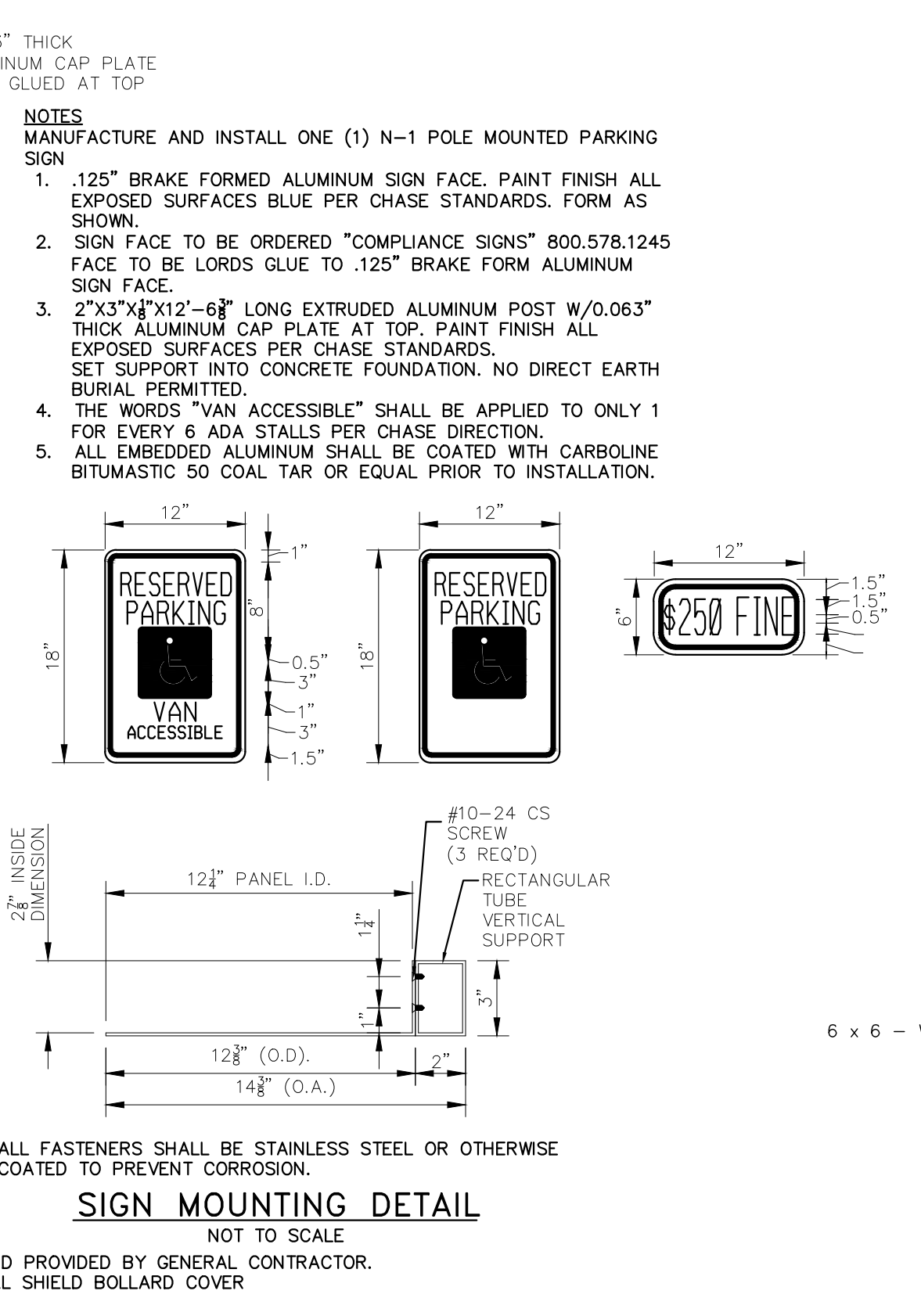
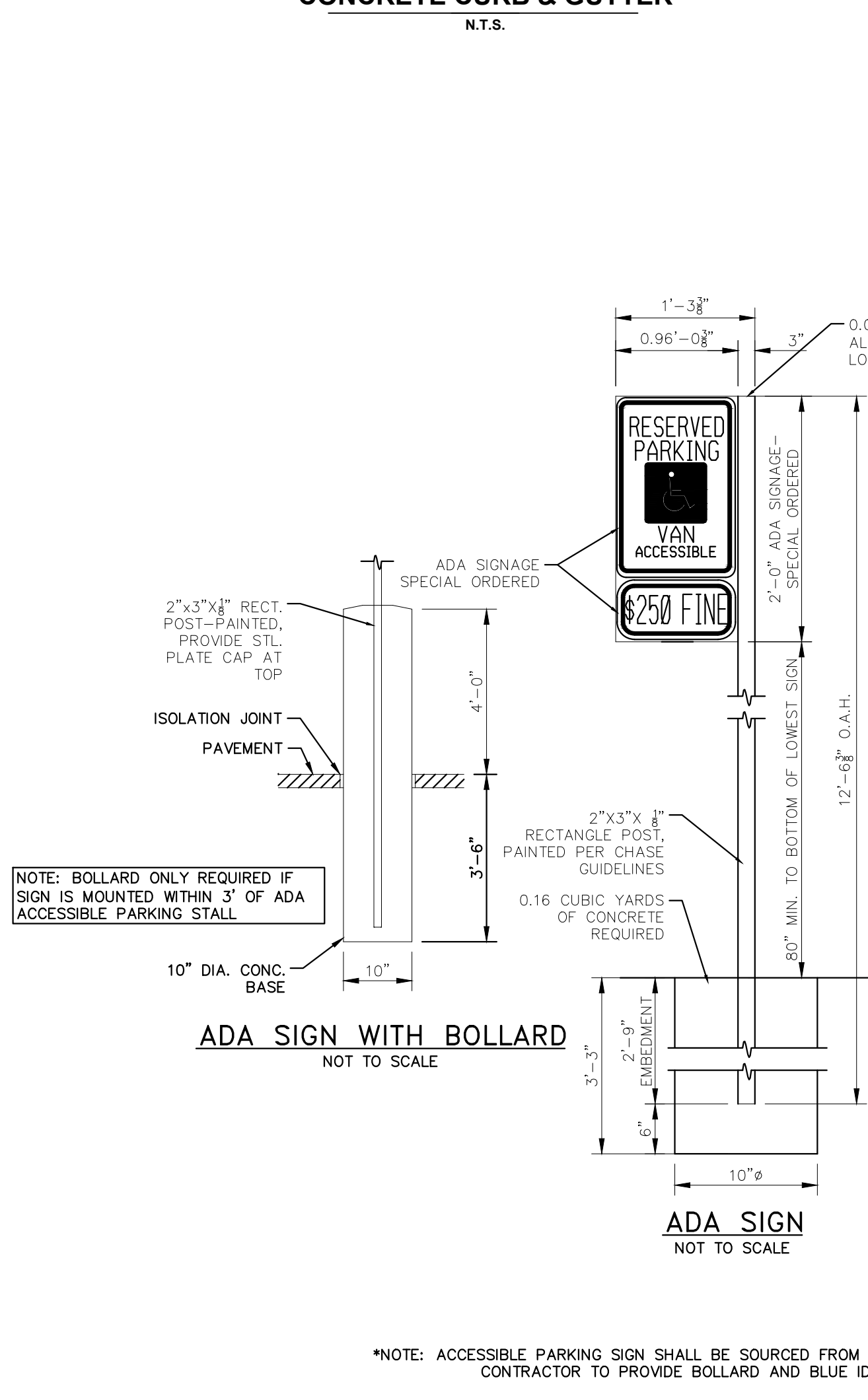
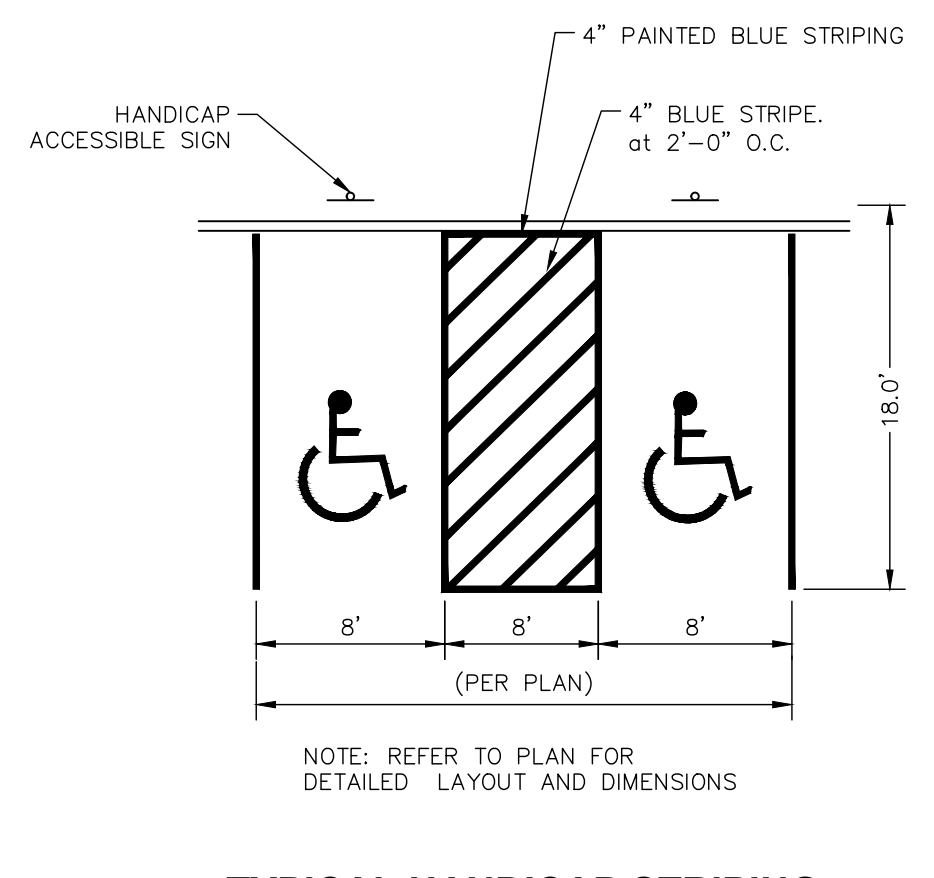
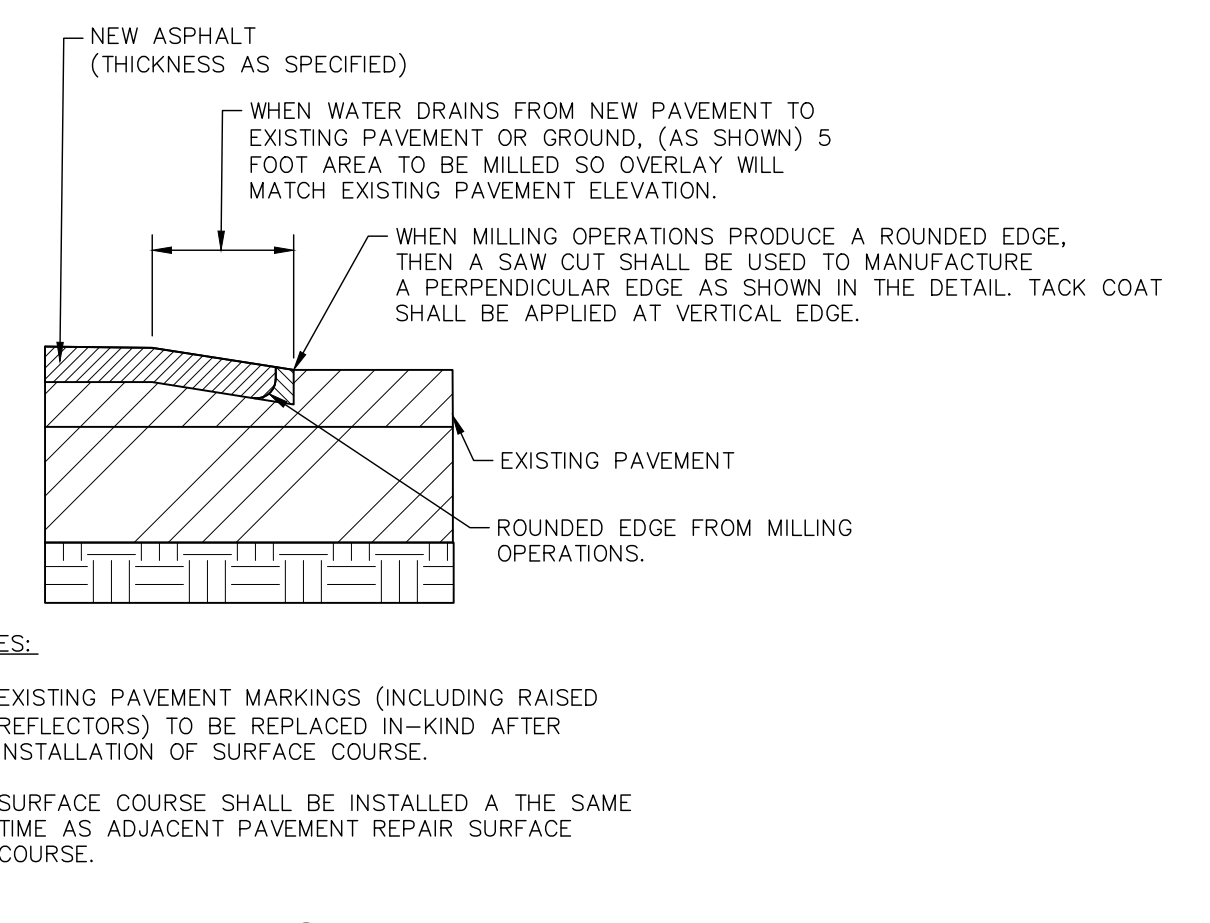
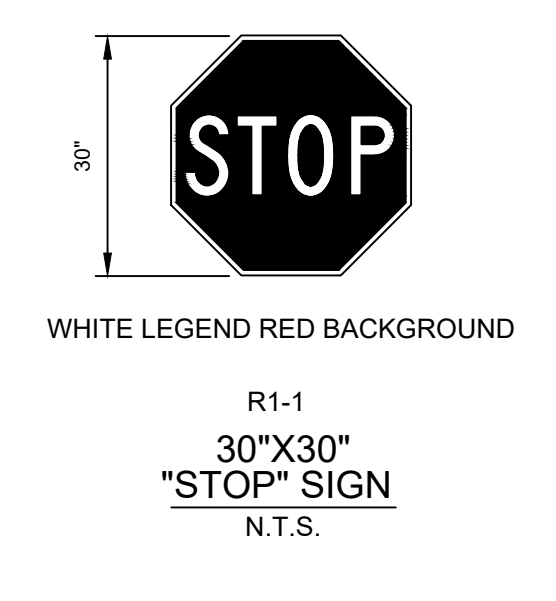
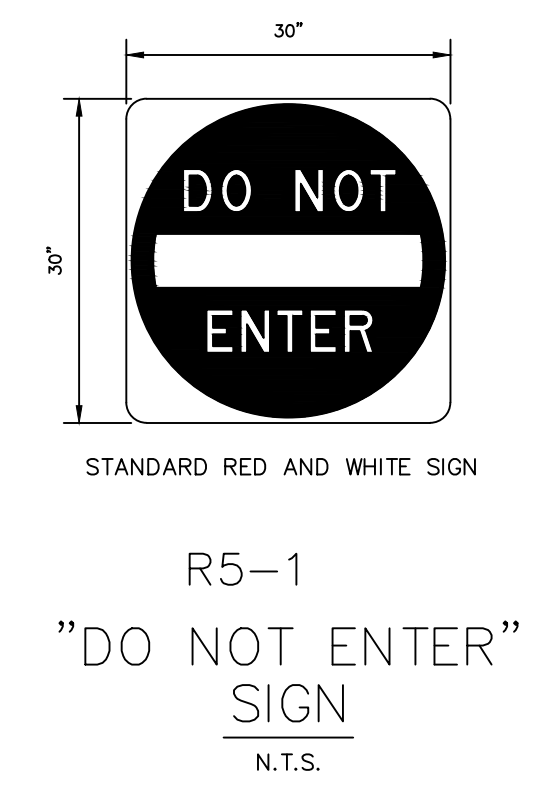
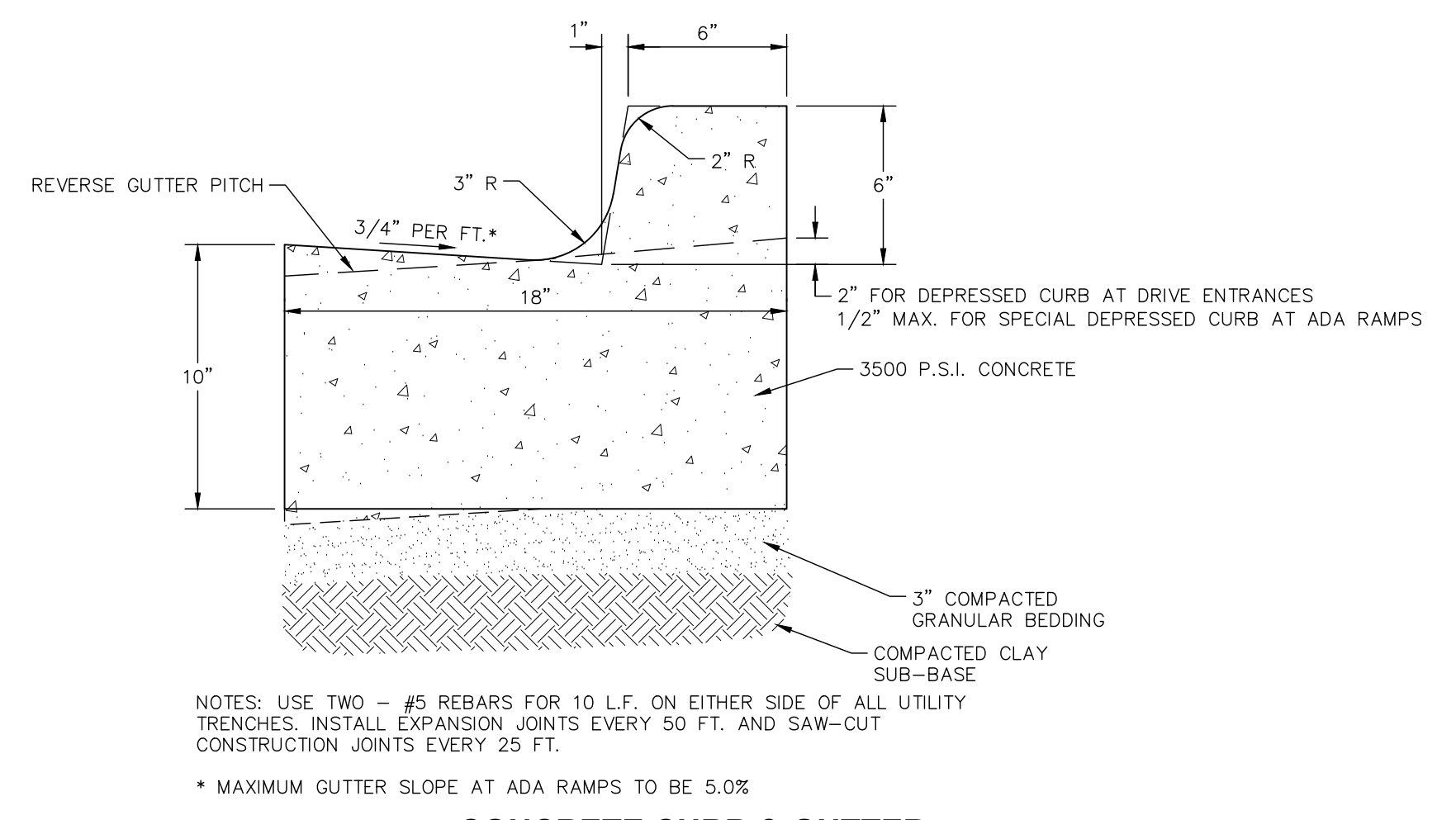
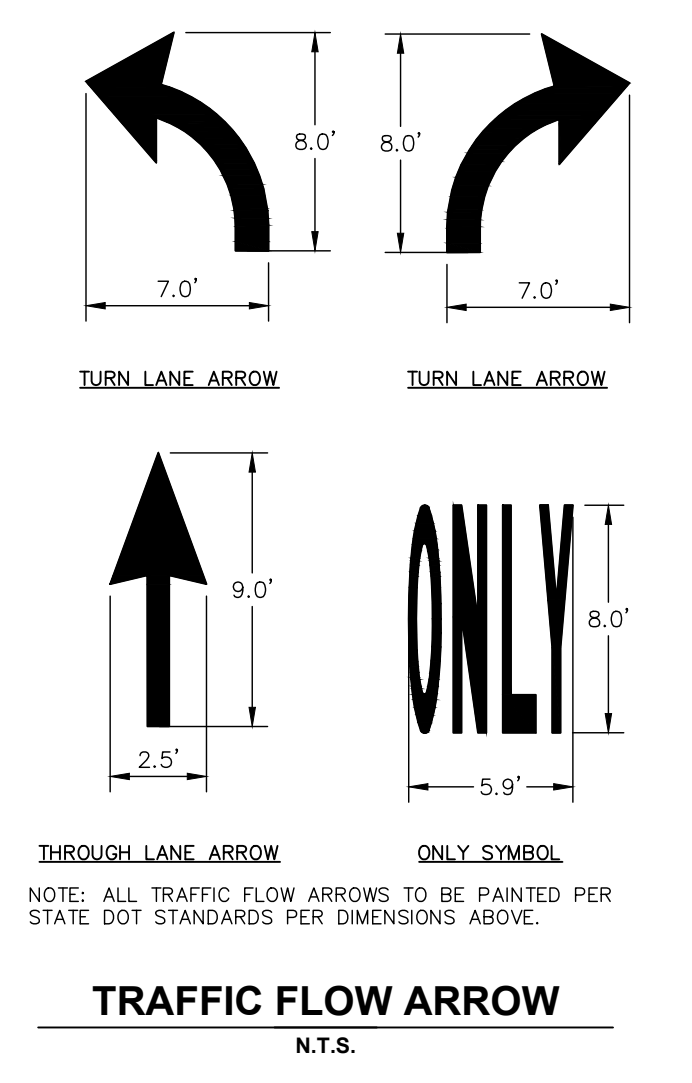
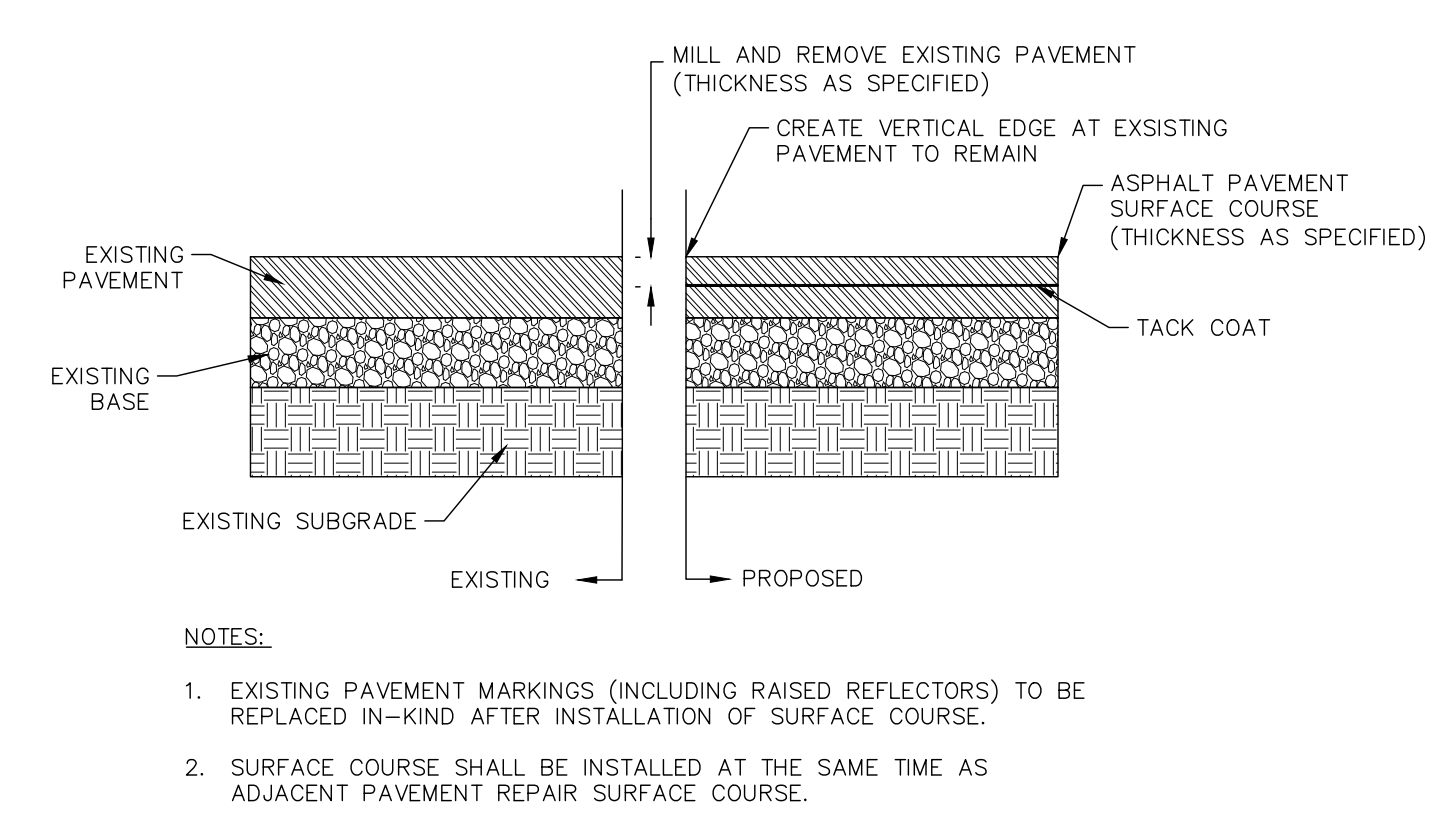
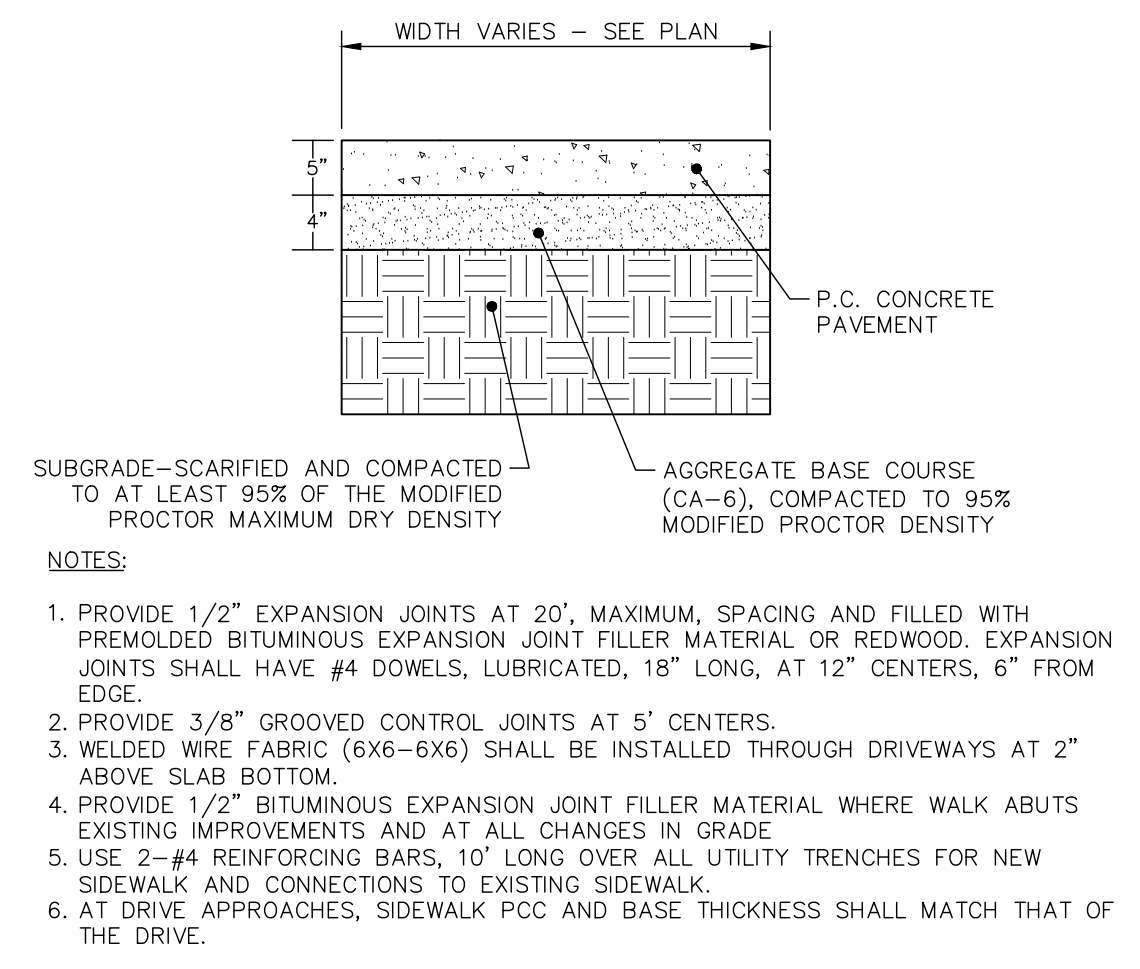
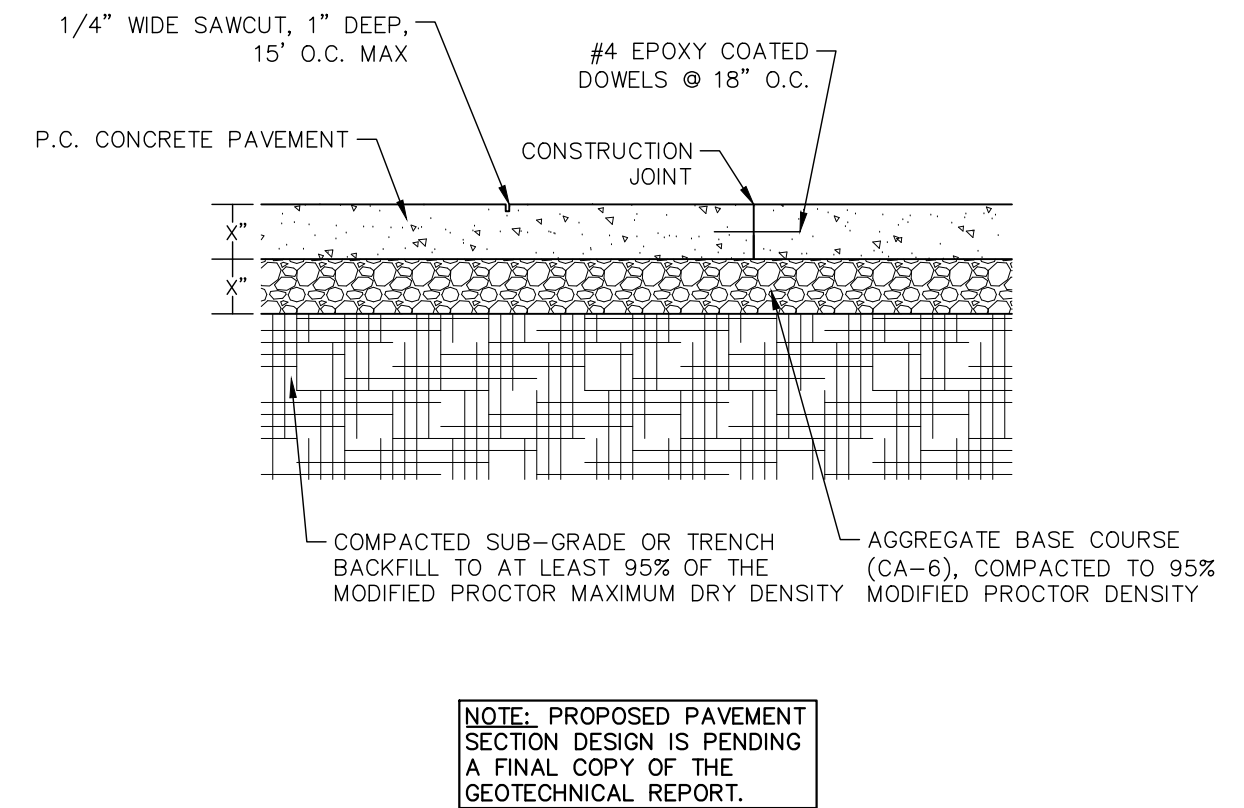
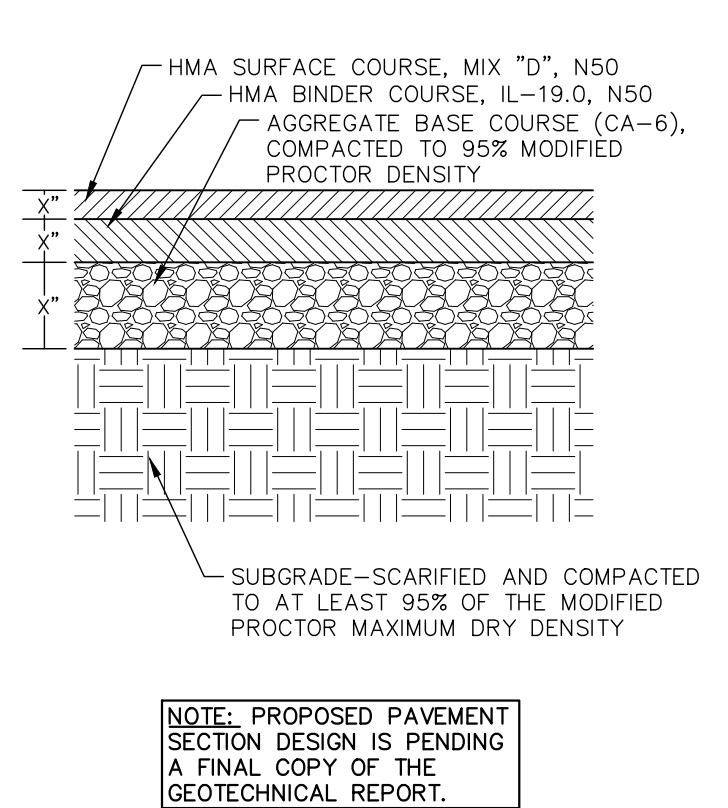
GRADING DETAIL 3
SCALE: 1" = 10'



(800) 242-8511

 2023 KIMLEY-HORN AND ASSOCIATES, INC. 4291 WINFIELD ROAD, SUITE 600 FITCHBURG, VT 05702 PHONE: 802-487-5550 WWW.KIMLEY-HORN.COM	SCALE: AS NOTED DESIGNED BY: RRG DRAWN BY: RRG CHECKED BY: TJS
 CHASE BANK 3052 CAHILL MAIN, FITCHBURG, VT 05713	SITE IMPROVEMENT PLAN
ORIGINAL ISSUE: 02/21/2023 KHA PROJECT NO. 168558043 SHEET NUMBER C3.0	REVISIONS No. DATE BY

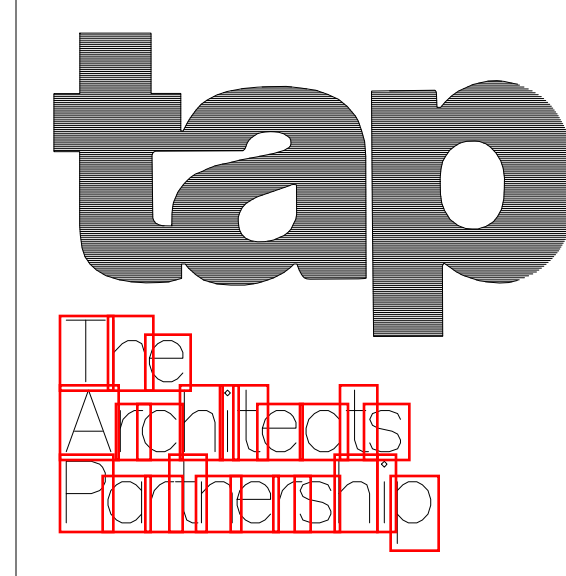
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CHASE			
CONSTRUCTION DETAILS			
CHASE BANK			
3052 CAHILL MAIN, FITCHBURG, WI 53713			
ORIGINAL ISSUE: 02/21/2023			
KHA PROJECT NO. 168558043			
SHEET NUMBER C4.0			

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ARCHITECT / ENGINEER OF RECORD



SEAL



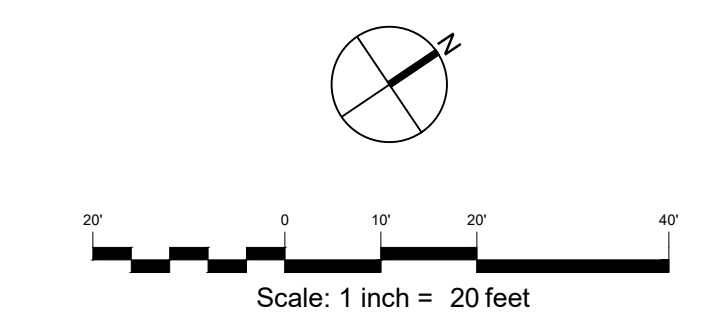
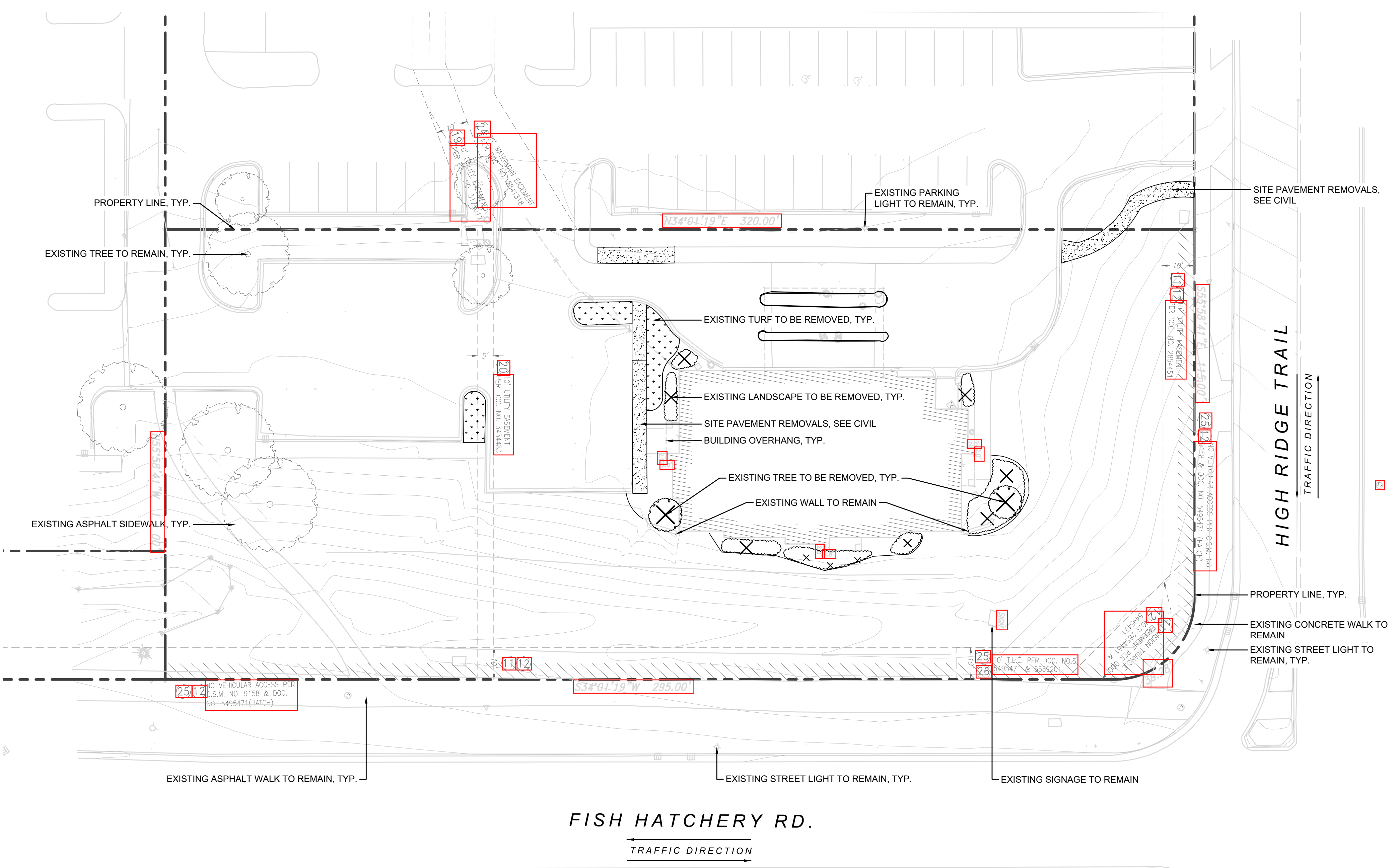
ISSUE	DATE	DESCRIPTION
2 - 21 - 2023		ISSUE FOR SUBMITTAL

PROJECT INFORMATION BLOCK	
JOB #	23028
DRAWN BY:	AM / AM
CHECKED BY:	CM / KG

SHEET TITLE
LANDSCAPE PLAN

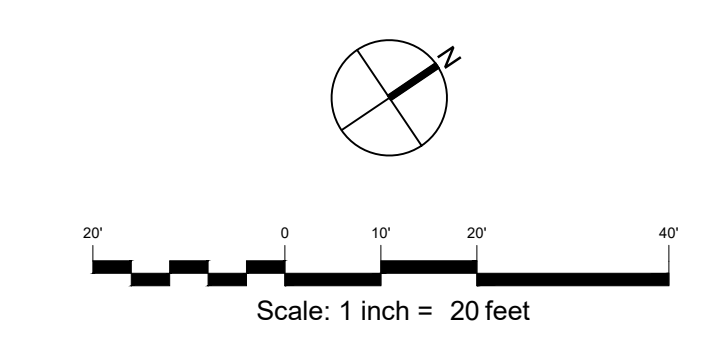
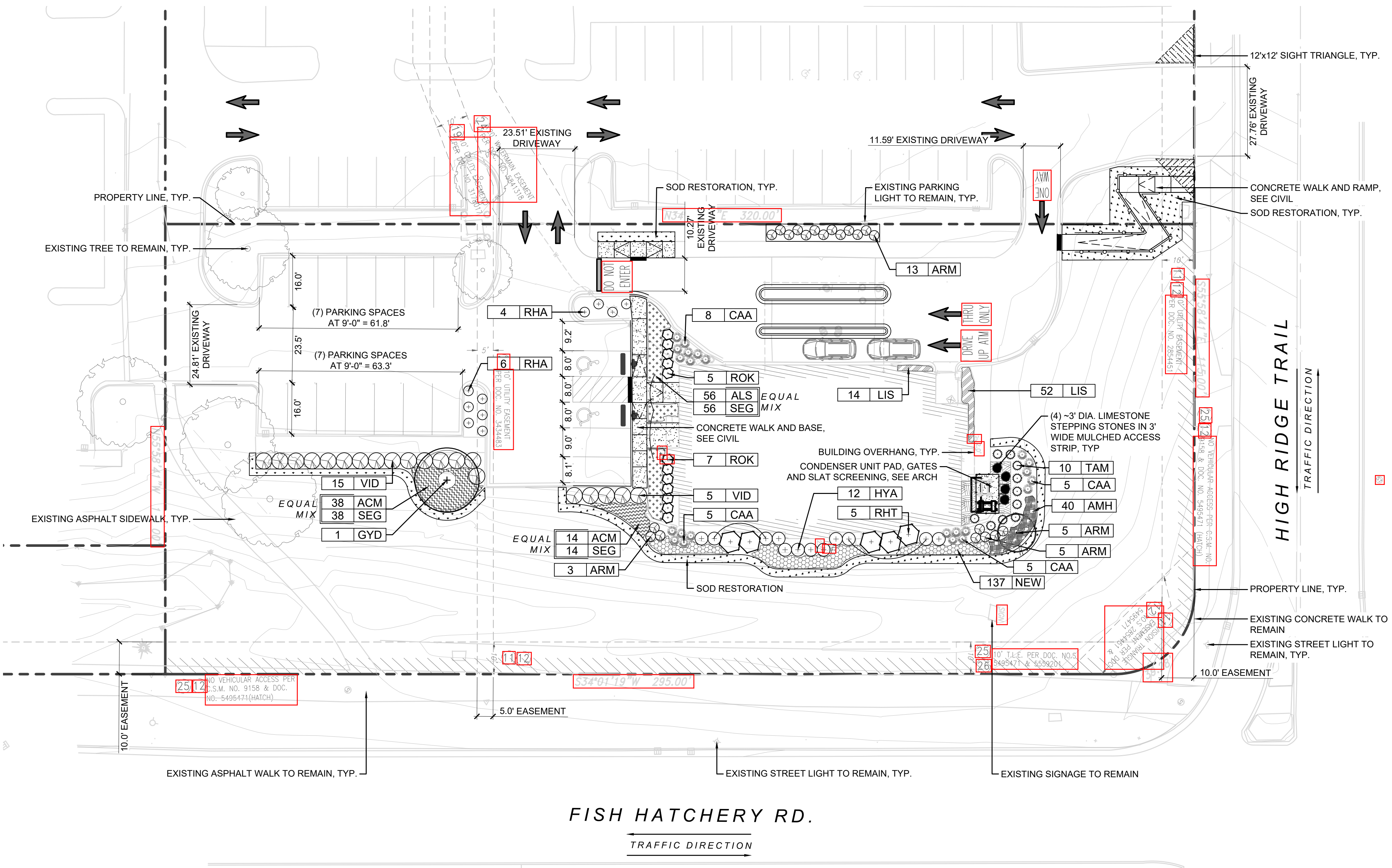
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- LEGEND:**
- PROPERTY LINE
 - EXISTING BUILDING
 - REMOVE CONCRETE WALK AND BASE
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING LANDSCAPE TO REMOVE
 - EXISTING TURF TO BE REMOVED

1 TREE PRESERVATION PLAN
 SCALE: 1" = 20'-0"

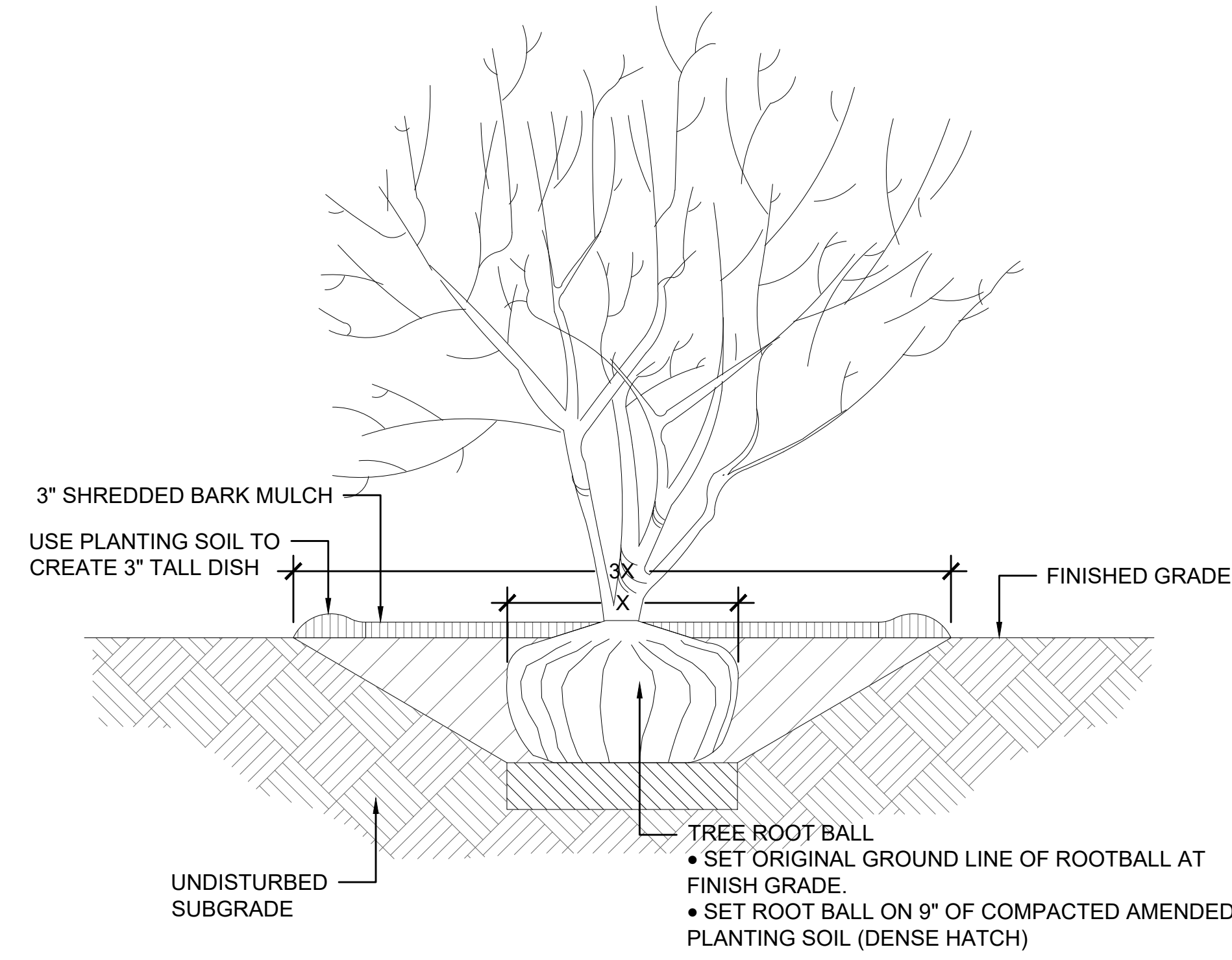


- LEGEND:**
- PROPERTY LINE
 - EXISTING BUILDING
 - EXISTING TREE TO REMAIN
 - CONCRETE WALK AND BASE
 - SHADE TREE
 - ORNAMENTAL TREE
 - DECIDUOUS SHRUBS
 - EVERGREEN SHRUBS
 - ORNAMENTAL GRASSES
 - SOD RESTORATION
 - PERENNIAL / GROUNDCOVER AREAS
 - 12' X 12' SIGHT TRIANGLE
 - 3' DIA. LIMESTONE STEPPING STONES

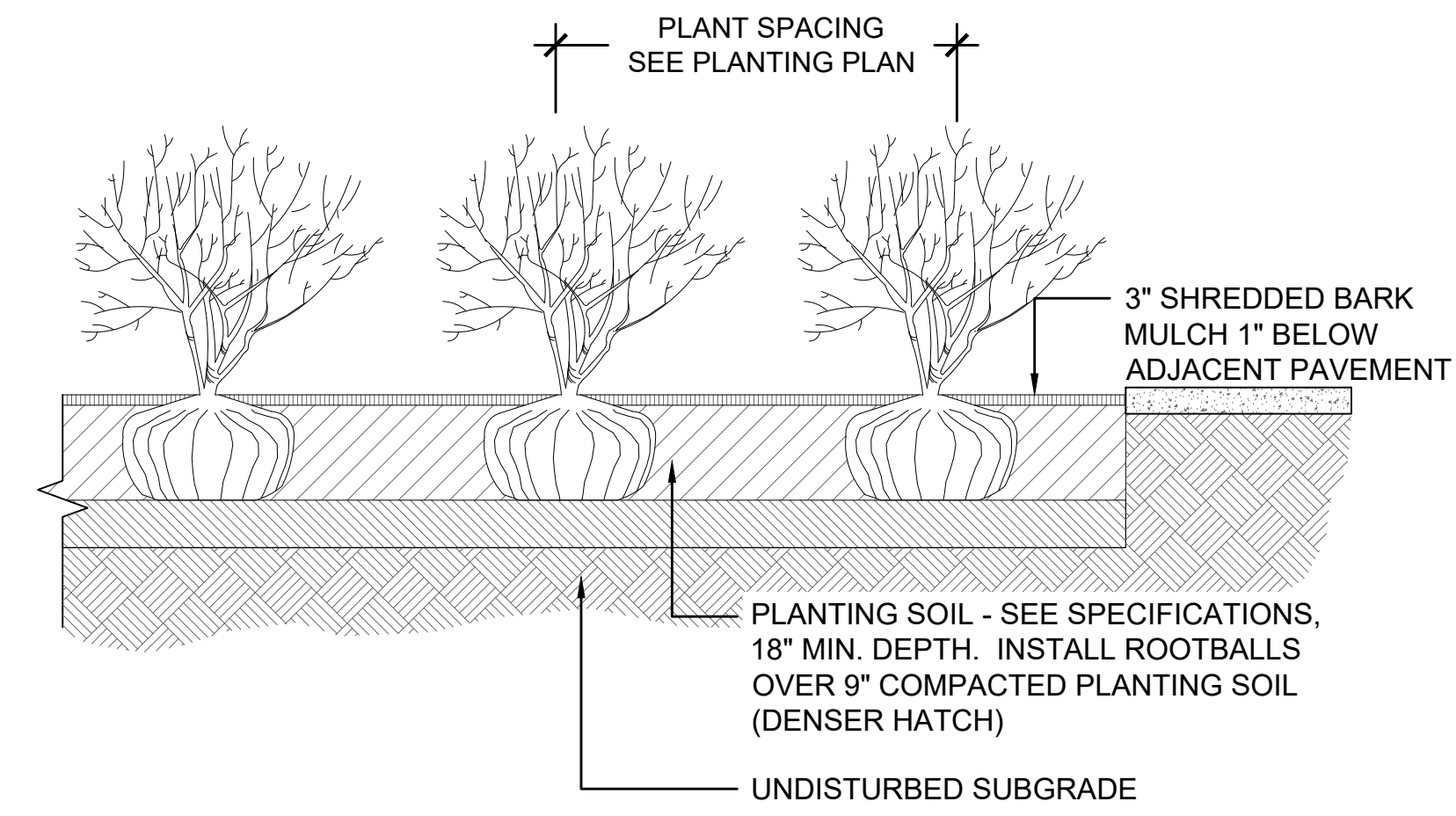
NOTE:
 1. ALL TURF AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH SOD

Plant Schedule
 Chase Bank - Fitchburg, WI

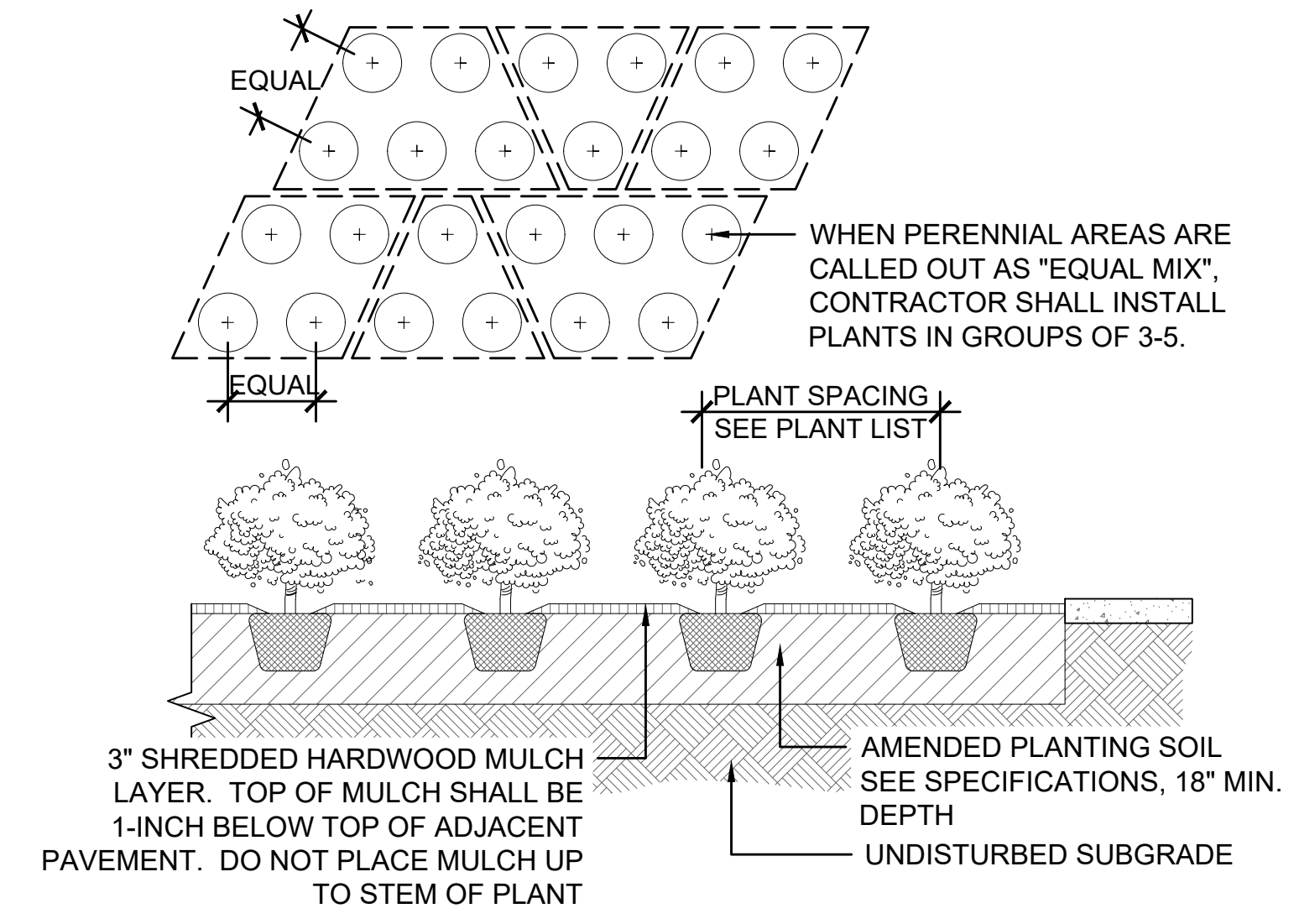
Qty.	Key	Botanical name	Common name	Size	Notes
TREE					
1	GYD	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	2.5' B&B	Central leader
1	AMG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' B&B	Multi-stem
SHRUBS					
21	ARM	Aronia melanocarpa 'Troquois Beauty'	Troquois Beauty Chokeberry	24" B&B	3' o.c.
12	HYA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 Cont.	4' o.c.
10	RVA	Rhus aromatica 'Glo-Low'	Glo-Low Fragrant Sumac	#5 Cont.	3' o.c.
5	RHT	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac	#5 Cont.	6' o.c.
12	ROK	Rosa 'Knock Out'	Knock Out Rose	#5 Cont.	3.5' o.c.
10	TAM	Taxus x media 'Densiformis'	Dense Yew	24" B&B	4' o.c.
20	VID	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood	30" B&B	5' o.c.
PERENNIALS					
52	ACM	Achillea millefolium 'Walter Funcke'	Walter Funcke Yarrow	#1 Cont.	18" o.c.
56	ALS	Allium 'Summer Beauty'	Summer Beauty Allium	#1 Cont.	18" o.c.
40	AMH	Artemisia ludoviciana	Narrow Leaf Blue Star	#1 Cont.	18" o.c.
66	LIS	Liriodendron tulipifera	Creeeping Lilyturf	3" pot	12" o.c.
137	NEW	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	#1 Cont.	18" o.c.
ORNAMENTAL GRASSES					
23	CAA	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 Cont.	3' o.c.
108	SEG	Sesleria 'Greenlee Hybrid'	Greenlee's Moor Grass	#1 Cont.	18" o.c.



1 TREE PLANTING DETAIL
 SCALE: NTS



2 SHRUB DETAILS
 SCALE: NTS



3 GROUNDCOVER/PERENNIAL DETAIL
 SCALE: NTS

FITCHBURG
 RETAIL BANKING CENTER
 3052 CAHILL MAIN
 FITCHBURG, WI 53711

68100R003121

ARCHITECT / ENGINEER OF RECORD



SEAL



Kevin Graham

ISSUE	DATE	DESCRIPTION
	2 - 21 - 2023	ISSUE FOR SUBMITTAL

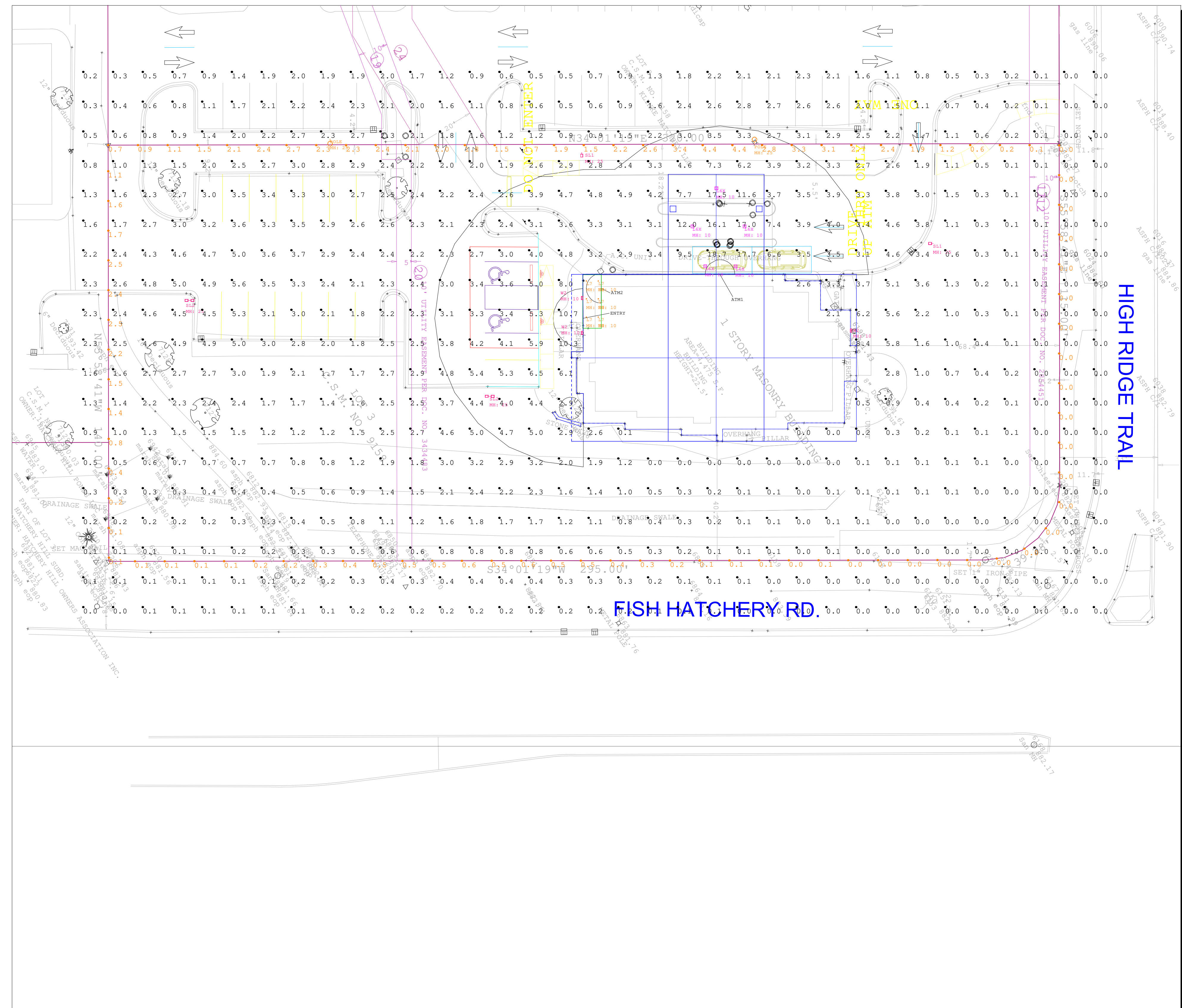
PROJECT INFORMATION BLOCK	
JOB #	Z3028
DRAWN BY:	AM / MY
CHECKED BY:	CM / KG

SHEET TITLE
**LANDSCAPE
 DETAILS**

SHEET NUMBER
L2.0

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
50' RADIUS	Fc	5.95	32.9	2.0	2.98	16.45	FC TAKEN 50' FROM ATM1 & ENTRY @ 3'-0" AFG
ATM1 5'	Fc	28.81	35.8	23.4	1.23	1.53	FC TAKEN 5' FROM ATM1 @ 3'-0" AFG
ATM2 5'	Fc	42.74	49.1	29.2	1.46	1.68	FC TAKEN 5' FROM ATM2 @ 3'-0" AFG
ENTRY	Fc	15.46	19.6	8.4	1.84	2.33	FC TAKE 10' FROM ENTRY @ 3'-0" AFG
PROPERTY LINE	Fc	1.01	4.4	0.0	N.A.	N.A.	FC TAKEN ON PROPERTY LINE @ GRADE
SITE	Fc	1.79	18.7	0.0	N.A.	N.A.	FC TAKEN @ GRADE

Symbol	Label	Qty	Part Number	Description
□	SL1	2	EACL01_F4AF740-DIMMING-D1-FINISH WITH ELSFULL CUTOFF AREA LIGHT W/SHIELD EAC-ABL-BLCK	
○	POLE	2	EXISTING POLE FIXTURE	EXISTING POLE
□	SL2	2	EACL01_F4AF740-DIMMING-D1-FINISH	FULL CUTOFF AREA LIGHT
⊕	L7	6	5811-1SAT20L8040W	RECESSED DOWNLIGHT
⊕	W2	3	EWAS010A3AW740D1FM-FINISH	WALL MOUNT FULL CUTOFF WALLPACK
+	L6X	5	ECLS010T5SM740-DIMMING-SM-WHITE	SURFACE MOUNT CANOPY



- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES

- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.

- THIS LAYOUT IS BASED ON IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY



#	Date	Comments

Revisions

Drawn By: JJM
 Checked By:
 Date: 2/17/2023

JPMC FITCHBURG, WI
 LIGHTING LAYOUT

PHOTOMETRIC CALCULATIONS