

K-18-000533 K1 041909 3/28/2022



City of Fitchburg  
Planning/Zoning Department  
5520 Lacy Road  
Fitchburg, WI 53711  
(608-270-4200)

# LAND DIVISION APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

1. Type of Action Requested:
- Certified Survey Map Approval
  - Preliminary Plat Approval
  - Final Plat Approval
  - Replat
  - Comprehensive Development Plan Approval

2. Proposed Land Use (Check all that Apply):
- Single Family Residential
  - Two-Family Residential
  - Multi-Family Residential
  - Commercial/Industrial

3. No. of Parcels Proposed: 19

4. No. Of Buildable Lots Proposed: 14

5. Zoning District: PD

6. Current Owner of Property: Nine Springs Hill Inc - Jim Fosied

Address: 2721 Stevens Street, Madison, WI 53705 Phone No: 608-215-8296

7. Contact Person: Royal Capital - Terrell Walterse

Email: t.walter@royalcapital.net

Address: 710 N. Plankinton Ave Suite 300 Milwaukee, WI 53203 Phone No: 773-619-0416

8. Submission of legal description in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: *Terrell Walter* Terrell Walter, Owners Representative  
Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 03/25/2022

Ordinance Section No. \_\_\_\_\_ Fee Paid: \$ 3995.00

Permit Request No. FP-2447-22



# ROYAL CAPITAL

A Venture & Holdings Company

April 13, 2022

City of Fitchburg – Planning Department  
5520 Lacy Road  
Fitchburg, WI 53711

RE: Nine Springs Masterplan Development – GIP & Preliminary Plat Submittal

To: City of Fitchburg Planning Department,

We appreciate the various City Departments for taking the time to review the GIP and preliminary plat submittal for the Nine Springs site.

Please see our responses to the comments provided below:

## **Preliminary Plat**

1. Be prepared to provide an overview of your project to the Plan Commission and to be available for questions. In-person or virtual attendance for applicants is permitted; be sure to contact Deanna Schmidt in the Planning office for virtual attendance registration in advance of the meeting.
  - OK.
2. Confirm that trees in the wooded area that are not sufficiently of value to protect or could be valuable in the next 10-20 years?
  - The trees located on site are soft wood invasive species (box elder, cottonwood) and are not of sufficient value to protect due to the existing conditions and complications of grading the site. New tree plantings will be focused on species diversity and habitat enhancements.
3. Outlot 1 includes lands not currently owned by Nine Springs Hill Inc. Provide evidence of Dale Osborn's agreement to file this preliminary plat.
  - Acknowledgement letter attached.
4. Some streets do not meet the minimum required width of 66 feet for local or 80 'for a collector. Are you intending to have all streets to remain private?
  - Streets within the project will be private, consistent with the prior approvals.
5. Per Sec.24-8(g)(5) Every lot shall front or abut on a public street for a distance of at least 50 feet.
  - The project will be platted as a condominium plat.

6. Have documents been provided to Public Works to satisfy Sec.24-4(d) – subsurface evaluation?
  - The PSI summary report became available on April 12<sup>th</sup> and is attached..
7. Provide a copy of the recorded Discontinuance Order for Loniello Court. The discontinuance should have resulted in a new boundary for the Osbourn property to the south. Was a CSM completed to address this boundary change?
  - This will be a separate submittal along with the CSM at time of final plat.
8. As provided on CSM 3535 and CSM 3598, existing Lot 1 shall only be used for a well and underground reservoir site. There is also a 30' access easement on CSM 3535 & CSM 3598 to access existing Lot 1. Have these easements been released? How is this being addressed?
  - This will be a separate submittal along with the CSM at time of final plat.
9. Existing Lot 2 CSM 3598 provides that any future development shall conform to the City of Madison subdivision regulations. How is this being addressed?
  - This will be a separate submittal along with the CSM at time of final plat.
10. CSM 3598 has a plat note – “No vehicular access along C.T.H. MM.” How is this being addressed?
  - The access restriction will be released at time of final plat, in concert with the Dane County Highways review of the final plat.
11. The dimensions of Outlot 1 do not align with the existing grades and low point. To shape proposed Wet Pond A will require significant grading and impacts to the site. Perhaps this could be rethought.
  - Outlot 1 will be designed to handle the stormwater management requirements and reflect the challenges of grading the site.
12. Portions of lots 12, 13 and 14, have very steep slopes. How will building pads be created within natural and attractive landforms? This is an opportunity to create unique natural features.
  - The site presents significant grade challenges (100'+) and is designed with retaining walls to create developable sites.
13. Lot 15 is to be dedicated. Where is it? What is it to be dedicated for? Any proposed parkland dedications will need to be discussed with the Park Commission.

- Lot 15 was incorrectly noted on the Preliminary Plat originally submitted. It has since been corrected. We will work closely with Parks Staff and the Parks Commission in regards to the open space design, program, and dedication.
14. The Preliminary Plat appears to include the entire right-of-way of Loniello Court, but the PDD Site Plan seems to follow the centerline. Which is correct? See #7 above.
- The PDD graphic will be corrected to match the plat.
15. The traffic analysis identified a challenge to regarding sight distance looking north from the south development driveway. How is this being addressed?
- The site plan and grading have been updated to incorporate site distances at the intersections. Refer to Public Works response to comments.
16. Staff and Plan Commission may provide additional comments that shall be address as the review process continues.
- OK.

## Rezone – PDD-GIP

1. Be prepared to discuss the neighborhood meeting at Plan Commission.
  - OK
2. Refer to Sec. 22-593 regarding the requirements for GIP. In particular additional information is needed regarding:
  - Identity and protect any valuable natural features and trees. CARPC has identified an environmental corridor along most of the CNTY HWY MM right-of-way. NEN also identifies this are as open space. What steps are you taking to protect and enhance this natural feature?
    - i. The environmental corridor was released with CARPC as part of the prior approval as there are no environmental features along the frontage.
  - Potential for multi-modal transportation regional connections – more than two zip car parking spots. Consider how an expansion of the Madison Metro could be incorporated into the site planning.
    - i. The development team looks forward to incorporating and providing access to several modes of transportation. This includes:
      1. Zip Cars
      2. Bike sharing service
      3. Support for expansion other modes of transportation
  - Provide more specific information regarding staging and timeline. Provide a staging plan. Will the senior housing be built first? Commercial in the first phase?

- i. The development density and mix of units have been crafted to create a vibrant place, and rapidly expand to complete the site. It is our anticipation that the site will be completed as follows:
      - Phase 1: Years 1-3
        - All commercial buildings
        - All Active & Mature (Independent Senior Living) buildings
        - All Rental Units (includes live-work units)
        - All roads, stormwater management, and site amenities
        - Phase 1 presold townhomes
      - Phase 2: Years 3-5 (if applicable)
        - For sale townhomes.
  - Define which amenities, paths, are available to the general public. How is access to the general public controlled?
    - i. The pathways within the project are designed to be fully accessible to the general public and will not have any access restrictions.
  - Provide additional information regarding the landscape treatment? Types, natives, vegetation stabilizing steep slopes, general approach... The NEN Plan encourages the restoration of prairies and wetlands. How will this be addressed?
    - i. The landscape materials and design will compliment and build on visual themes and styles established by the proposed architecture within the Nine Springs development. Landscaping and diverse outdoor spaces/amenities will be provided throughout the development to create welcoming places to sit or walk between the buildings.
  - A variety of plantings will be used to highlight and define the edges of the overall development and architecture. An emphasis will be placed on low maintenance practices by using a biodiversity of native perennial species, particularly grasses and wildflowers, around building foundations. The species provided will be carefully selected to provide four season interest throughout the development by use of texture, flower color, fall color, and form. Open space areas and courtyards throughout the development will be highlighted with trees, shrubs and perennials that soften the hardscape/density of buildings and create outdoor rooms for various amenities highlighted in the site amenities plan.
- Refer to the Sample Plant list attached.
- It is very helpful to provide a detailed narrative – Overview, project location, land use, site access, circulation, parking, multi-modal approach, building design,

topography, landscape design with text that references the exhibits. I really don't know why we've gotten away from that. Please reconsider, i.e.

- i. Zoning – land uses as proposed currently each parcel could be zoned under Chapter 22, with the exception of the optional live-work
  1. The allowed use list has been detailed in the revised document to address uses that flow between multiple districts.
  
- ii. You state that the project will create \$68M in valuation. Jobs? Community development? Quality of life? Increase of housing? Affordability?
  1. In addition to the redevelopment and activation of an underutilized site, this project will include the following:
    - Introduce additional housing opportunities within the City of Fitchburg.
    - Developer evaluating this as a mixed-income campus.
    - As a best practice, Royal Capital applies self-imposed workforce and participation goals centered around hiring unemployed and underemployed persons, and contracting with subcontractors that hold the following certifications:
      - Minority Owned Business
      - Emerging Business
      - Women Owned Business
      - Small Business Enterprise
      - Disadvantaged Business
  
- iii. In response to the Criteria for Approval (b), you provide “The Nine Springs plan has been designed to comply with the Fitchburg Comprehensive Plan & the Northeast Neighborhood Plan.” Honestly, this is not sufficient justification for PDD.
  1. The Nine Springs plan has been designed to comply with the Fitchburg Comprehensive Plan & the Northeast Neighborhood Plan while delivering a mixed income/mixed use neighborhood with unique open spaces on a challenging site. The resulting concept features a vibrant walkable streetscape with buildings fronting onto the sidewalks with useable entrances, articulated architectural expressions that step down the slope to create unique aesthetics. The design of the parks and open space system utilizes the slope areas to facilitate walking paths, passive and active use gathering areas and highlight the views from the site.

- iv. Please include some history of @Edge and how Royal Capital has come this point in proposing the development of this site. @Edge provided significantly more thorough and higher quality proposal. It appears that this proposal was not viable. Why this proposal – which is broadly similar to @Edge – viable?

The @ Edge development provided a great case study for this site. Key differences that allow for Royal Capital to bring forward a viable development include the following:

- Lower scale across the site. This allows us to maintain an ease of construction and cost-effective build.
- Complementary commercial/retail opportunities that are in demand and easily activated.
- Royal Capital's technical acumen with being able to layer various financial resources in order to build out the capital stack.


3. Page 22 – “Clustered a key views” Can you explain this further?

- Corrected

4. The long blocks - +700, and the long rows of townhomes (+200 feet façade) are not appropriate to pleasant pedestrian activity. Provide additional design consideration how this will be addressed to prevent monotony, public housing feel. The renderings look like apartment blocks, not townhouses.

- Building footprints will be developed as part of ongoing Schematic Design and future Design Development. This development in the design will be included in future SIP submittal. Building recesses and projections, along with material changes will be the primary means of combating monotonous elevations throughout the development. The building design will also be significantly influenced by the grade transitions within the site, resulting in steps across the length of the building, further breaking down the scale and design of the buildings into multiple forms.
- Regarding long blocks, Article 1, Table 2 of Fitchburg Smart Code references maximum block perimeter of 2,300 ft. for T4-general urban zone. The block containing buildings B17-B20 has a perimeter less than 2,300 ft.

**TABLE 2. SUMMARY TABLE\***



	T1 NATURAL ZONE	T2 RURAL ZONE	T3 SUB-URBAN ZONE	T4 GENERAL URBAN ZONE	T5 URBAN CENTER ZONE
<b>a. ALLOCATION OF ZONES per Community Unit (applicable to Article 3 only)</b>					
CLD requires	50% min		30% max	20 - 50%	not permitted
TND requires	no minimum	no minimum	5 - 30% max	30 - 65%	5 - 40%
TOD requires	no minimum	not permitted	20% max	20 - 50%	40 - 60%
<b>b. BASE DENSITY (see Section 3.8)</b>					
By Right Residential	not permitted	1 unit / 20 acre avg.	3 - 8 DUA/net	6 - 12 DUA net (TND) 6-14.4 DUA net (TOD)	12 DUA min.
Residential Uses	not permitted	1 unit / 20 acre avg.	80% min	70% min	40% min - 80% max
Other uses/Retail Ready (see section 3.8.4 & 5.8.4(d))	not applicable	not permitted	not applicable	not applicable	20% min - 60% max
<b>c. BLOCK SIZE</b>					
Block Perimeter	no maximum	no maximum	2,400 ft. max	2,300 ft. max	2,050 ft. max*

- The site grading seems to be a tremendous lost opportunity. The shape of wet pond A and the steep slope are unattractive and mechanical. Develop an approach that uses these steep slopes as an amenity similar to natural hillsides, varying slopes, outcroppings.....
  - Site grades for the project are tied to the maximum grade for streets and the combination of street grade and existing grade of site results in design decisions to balance the cut and fill required on the site.

- The building footprint could also be reconsidered to create a more attractive landscape.



- Building articulation will be finalized at the time of SIP.

- Is Street 'B' one way?

- Portions of Street B (south of the commercial) are one way (directed south).
8. The development does not provide any true matching street frontage. Have you considered Street 'B' as a true street with frontage, stoops and front doors...What about bringing the senior housing to front on Street 'B', instead of a big parking lot?
    - The development team believes that holding the building frontage along Highway MM results in better overall aesthetic along the corridor.
  9. Check Street Sections C &D for incorrect labels.
    - Corrected
  10. Street C on the Utility Plan is not the same as on the Site Plan. Is Street C right in only, or right in and right out?
    - Corrected
  11. Building 6 & 7 on Utility Plan is not located as on the Site Plan.
    - Corrected
  12. Will a single homeowners association govern all housing units / commercial development? If not which housing units? Who and how will the private infrastructure be maintained? Please provide additional details.
    - A single homeowners association (HOA) will govern all housing units and commercial development.
    - Private infrastructure will be maintained at the HOA level with HOA fees/assessments adequately funding the upkeep and maintenance.
  13. Consider how the onsite pedestrian paths provide for future connections to Oregon School District's proposed environmental education center and other regional environmental networks.
    - Noted. City and County staff will need to provide the development team with further direction on where this connection wants to take place across County MM before a determination can be made.
  14. Review the B-G zoning district. Not all those uses / conditional uses may be appropriate. Please provide a more detailed use table for the mixed-use/commercial uses. What uses will be permitted? What uses will be conditional? Gas station? Day care is not a permitted use in B-G.
    - The use list has been refined to reflect allowed uses.
  15. Will the GIP be followed by multiple SIP Plans? Or one SIP Plan? Please explain the reference to SIPs on page 23.

- The project is designed to be implemented in two phases with multiple SIP submittals.
16. With approximately 347 units, 281 parking spaces is insufficient given the location is likely to primarily be access by vehicle. What about parking for the commercial development? With the commercial development only serve residents?
- See parking breakdown outlined in 17.b.
17. I prefer to have most if not all housing units with at least one available garage parking space including senior housing. Not every unit needs a garage space. Some more expensive units may need two garage spaces. But the development as a whole should provide approximately one garage parking space per unit.
- Reconsider the large parking lots at the senior apartments.  
The Senior housing will have dedicated valet services as a value add and convenience. This includes car retrieval with complimentary snow removal.
  - Provide a vehicle parking count table that identifies the parking required, parking provide by land use and unit. Identify parking that is surface or garage.

Apartments/Condominiums:	2 spaces per unit (1 garage/1 surface)
Age Targeted:	46 surface stalls w/valet parking
Commercial:	
B1:	47 surface stalls
B3:	87 surface stalls
B14:	21 surface stalls
  - Further details can be provided at the SIP stage, but additional information regarding the number of bike stalls – short-term and long-term parking is required for GIP
    - i. The development will provide a total of 1.5 bike stalls/unit with a minimum ratio of 1-to-1 enclosed/interior.
18. The minimum of 7' setback from CNTY HWY MM does not address the mapped environmental corridor. MM is a major and with likely increasing traffic. A 7' setback is not appropriate.
- The MM setback will be corrected to a minimum of 25'.
19. Clean up the inconsistencies:
- The site plan notes 2 story buildings
    - i. Corrected.
  - The development concept says 2-3 stories
    - i. This is the correct designation.

- The maximum building height is 55 feet or 4 stories.
  - i. Will be corrected to 45 feet or 3 stories to allow for walkup townhome options and grade transitions adjacent to buildings.
- Renderings show a four-story building.
  - i. Will be corrected.
- The GIP needs to present a consistent plan to the Plan Commission.
  - i. Will be corrected.

20. Explain the live-work units. Why are they optional? The GIP is not granted to optional development concepts. Instead, the GIP is realistic plan ready for further refinement at the SIP stage.

- Development of the live-work units are subject to market at the time of the SIP as the success of this unit type is subject to consumer demand.

21. As noted above, any proposed park improvements will need to be discussed with the Parks Commission.

- OK

22. Be prepared to provide additional evidence to Plan Commission regarding housing tenure. What is going to work for homeownership? Why?

- There are no one-bedroom units except for senior apartments. Does this encourage a mixed income community? Single-person households?
  - i. Yes, this community will provide for a mix of incomes. The market has shown the need for more two and three bedroom units serving couples and/or small families.
- What income levels is this development designed for?
  - i. Income levels are being finalized and will be shared ahead of the SIP submittal.
- Why are the senior apartment suitably located at the MM frontage?
  - i. The independent senior apartment units are designed for the active and mature population of renters. Highway MM will not impact the habitability of the units. We see the addition of signalized intersections nearby and the new uses provided by this site as factors that will naturally help to shift traffic patterns in a positive way.

- Where on the site plan are the for-sale condos? It appears all the buildings are two-story townhomes, except the senior apartments. How is rental vs. for-sale distinguished?
  - i. Site plan delineates the for sale units and the rental units.

23. Provide a narrative description of the HUBs. Who and how will they be maintained? Is this to be dedicated as parkland to the City?

- The site landscape plan is intentionally designed to create activated nodes throughout the campus. These areas are strategically located to provide hubs for the following:
  - Sports and active play
  - Social gathering
  - Designated walking and biking paths
  - Linear parks

24. May all residents access/utilize the clubhouses?

- Yes.

25. Will the 10-foot wide paths be accessible to the general public? What parts of the site, if any, are accessible to the general public from off MM?

- The trail system throughout the project is designed for public use and is intended to be available for public use.

26. Signage for the development should be addressed with the SIP.

- OK.

27. Staff and Plan Commission may provide additional comments that shall be address as the review process continues.

- OK.

## **Public Works Comments:**

### **General Comments**

1. A subdivision agreement will be needed for the public improvements.
  - OK.
2. Concurrence from utilities (gas, electric, cable, phone) needs to be provided with regards to the utility easement locations shown on the plat. A letter from the utilities would be sufficient.
  - OK.

3. Given underground installation for electric and communications, a restriction shall be recorded with the Final Plat stating that the final grade shall not be altered by more than six (6) inches without written consent of the utilities involved.
  - OK.
4. Provide gas/electric/telephone/cable preliminary plans for review of utility easements. Minimum 6' public utility easements are required adjacent to all public streets, confirm width with utility companies.
  - Preliminary plans for gas/electric/telephone/cable will be coordinated as part of the final plat submittal.
5. Show areas of all City easements and ROW on the Plat.
  - Preliminary watermain and sanitary sewer easements are depicted on the preliminary plat. Easements will be further coordinated and defined as part of the final plat submittal.
6. Developer needs to provide a designated location for US Postal Service Centralized Mode of Delivery
  - OK.

## **Transportation Comments**

1. Preference for bus pull out (extended acceleration lane) for southbound traffic south of the signalized intersection.
  - Royal Capital would be open to furthering these discussions with Transportation staff for we value multi-modal transportation opportunities to and from our development.
  - The intent is to NOT signalize the south intersection as the traffic study by KL Engineering does not warrant a signal
2. Please extend sidewalk 50' south of signalized intersection on east side of CTH MM.
  - This detail will be added at Final Plat following additional communications with staff about the northbound bus stop pull-off lane and intersection relationship.
3. Please confirm adequate sight distance is provided at south access for full movement access, as currently shown.
  - The intersection sight distance at the three proposed development driveways along CTH MM were evaluated using the concept sight plan and concept CTH MM improvements.

- Intersection sight distance for the north and middle driveway is adequate for all but semi-trucks. Semi-trucks are not anticipated to frequently utilize the development driveways.
  - Intersection sight distance for the south driveway is adequate for passenger cars for all movements. Single unit trucks have adequate sight distance for all but the left turn from the driveway. Semi-trucks were found to have adequate sight distance for only the movements entering the driveway. Because of the sight distance limitations for semi-trucks exiting the south driveway, signage is recommended to encourage them to exit the development using one of the other two driveways.
4. Plans and permits will also need to be submitted to Dane County for review.
    - OK.
  5. The City has planned for a bicycle/pedestrian overpass of USH 14 to connect the Northeast Neighborhood to the Uptown neighborhood. The proposed location for the overpass is immediately south of this development (see attached sketch). This development should take into consideration this potential bike/ped overpass of USH 14 and how it can be connected to from the development. (TMF)
    - This significant piece of infrastructure and overall land planning decision requires further discussion and additional information from City staff before this can be considered by Royal Capital and Dale Osborn.
  6. The plan shows Loniello Ct being extended through land of the adjoining parcel to the south. This parcel owner would need to dedicate the land for R/W (TMF).
    - Loniello Ct will be discontinued as part of this project.
  7. All streets shall be private within this development (TMF).
    - OK.

### **Water Main and Sanitary Sewer Comments**

1. MMSD fees shall be paid prior to signing of the plat.
  - OK.
2. McCoy Interceptor fees shall be paid prior to the City signing the CSM or within 30 days of invoice, whichever comes second.
  - OK.
3. Water impact fees shall be paid for each building prior to the release of each building permit.
  - OK.

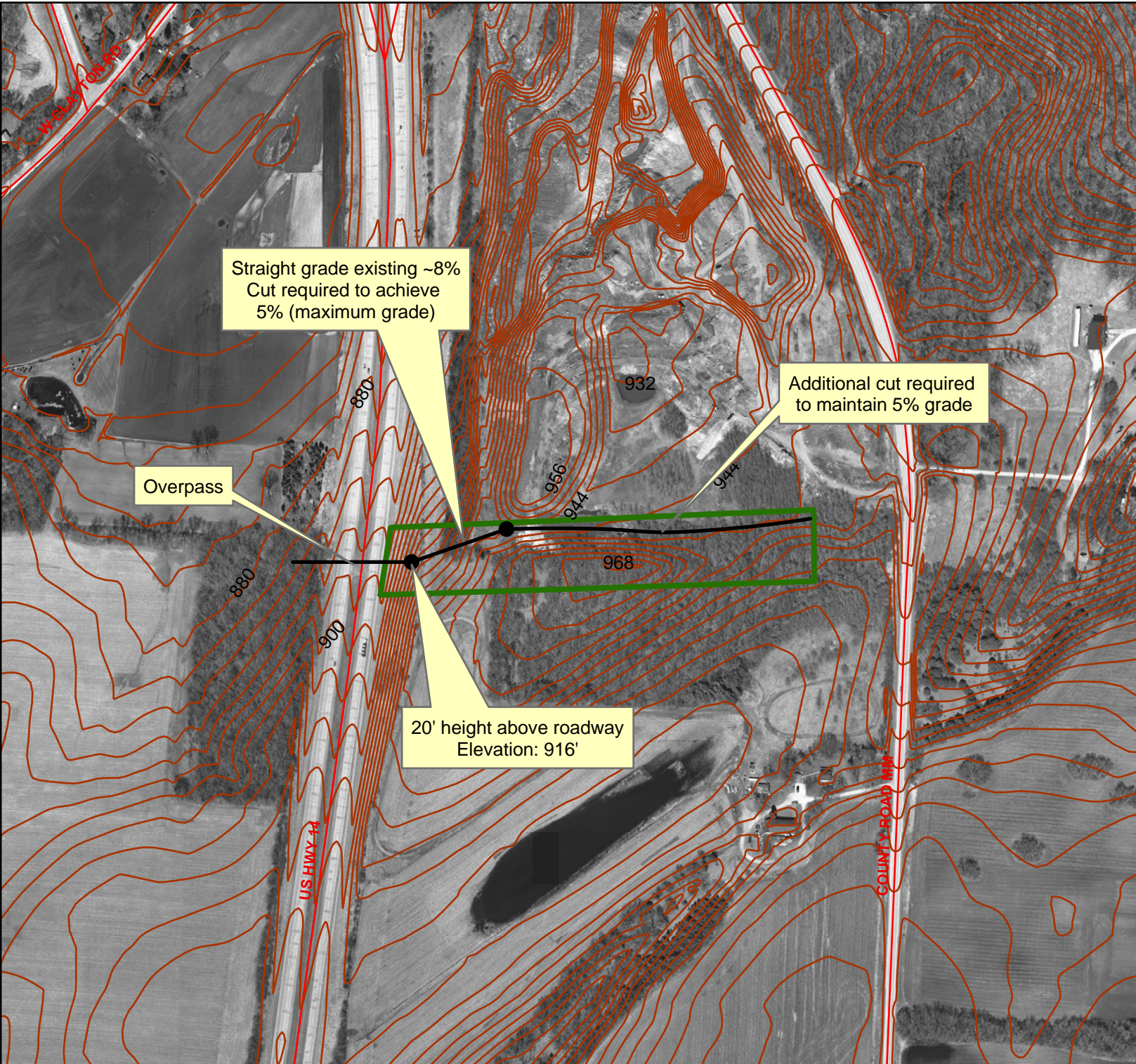
4. Water main assessments shall be paid prior to the City signing the Plat.
  - OK.
5. Sanitary sewer is currently not extended to this development. The City is planning to extend sanitary sewer to the north plat line as part of the McCoy/MM signal improvements project this summer.
  - OK.
6. Sanitary sewer will be required to be extended to the plat line along Cty Hwy MM to service the Osborn property and properties east of Cty Hwy MM.
  - A public sanitary main is proposed along County MM and up to Osborn lands.
7. Sanitary sewer shall be private and water shall be public within this development.
  - OK.
8. The subdivider shall pay all costs for a Geotechnical consultant, hired by the City, to review public utility plans and consultants geotechnical reports for design purposes.
  - OK.

### **Erosion Control and Stormwater Management (ECSWM) Comments**

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval if land disturbance will exceed 4,000 s.f. The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>.
  - OK.
2. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). A draft copy of this agreement is due with the ECSWM application materials. After approval of the agreement language, a recorded copy must be provided to the City prior to issuance of the ECSWM Permit.
  - OK.
3. If private stormwater measures are constructed on site, the owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.
  - OK.

4. If infiltration is required to meet the ECSWM requirements, follow the DNR's *Site Evaluation for Stormwater Infiltration (1002)* guidelines to determine the infiltration rate used for modeling prior to submitting the Stormwater Report.
  - OK.
5. This site is within the Northeast Neighborhood Plan which has specific stormwater performance standards (e.g. demonstrate a reduction of existing agricultural phosphorus loading to creeks or similar water bodies by at least 50% at fully developed, stabilized conditions, etc.) described in the approved plan at: <http://wi-fitchburg.civicplus.com/404/Northeast-Neighborhood-Plan>. The designer may contact Fitchburg's Environmental Engineer at 270-4262 or [claudia.guy@fitchburgwi.gov](mailto:claudia.guy@fitchburgwi.gov) if he/she has any questions on ECSWM performance standards for this site.
  - OK.
6. Stormwater facilities should be designed using DNR's post-construction technical standards, available at: [https://dnr.wi.gov/topic/stormwater/standards/postconst\\_standards.html](https://dnr.wi.gov/topic/stormwater/standards/postconst_standards.html).
  - OK.
7. Proposed grades cannot block offsite water that drained through the lot in pre-development conditions. Localized ponding should not be created, and drainage of offsite properties should not be impacted by proposed development.
  - OK.
8. Any stormwater facilities to be maintained by the City of Fitchburg's Stormwater Utility must be designed in accordance with DNR technical standards and must meet the requirements listed at the website below: <http://www.fitchburgwi.gov/DocumentCenter/View/21019/Requirements-for-New-Public-SW-Facilities>.
  - OK.
9. Show minimum unprotected opening elevations (MUOE) for any at lot (including, but not limited to, lots adjacent to ponds). The MUOE shall be 2-feet above the 100-year flood elevation.
  - This detail will be verified at Final Plat and confirmed as part of the permit submittal to Dane County.
10. Staff do not recommend allowing privately-maintained stormwater facilities in residential areas. Stormwater facilities should be located on outlots dedicated to the public for stormwater management purposes, to be maintained by the Stormwater Utility.
  - Royal Capital supports this approach.

# Northeast Neighborhood Possible Bike and Pedestrian Overpass



Straight grade existing ~8%  
Cut required to achieve  
5% (maximum grade)

Additional cut required  
to maintain 5% grade

Overpass


20' height above roadway  
Elevation: 916'

### Legend

- Streets
- contours\_4
- Proposed corridor
- Possible route

Contour interval: 4'

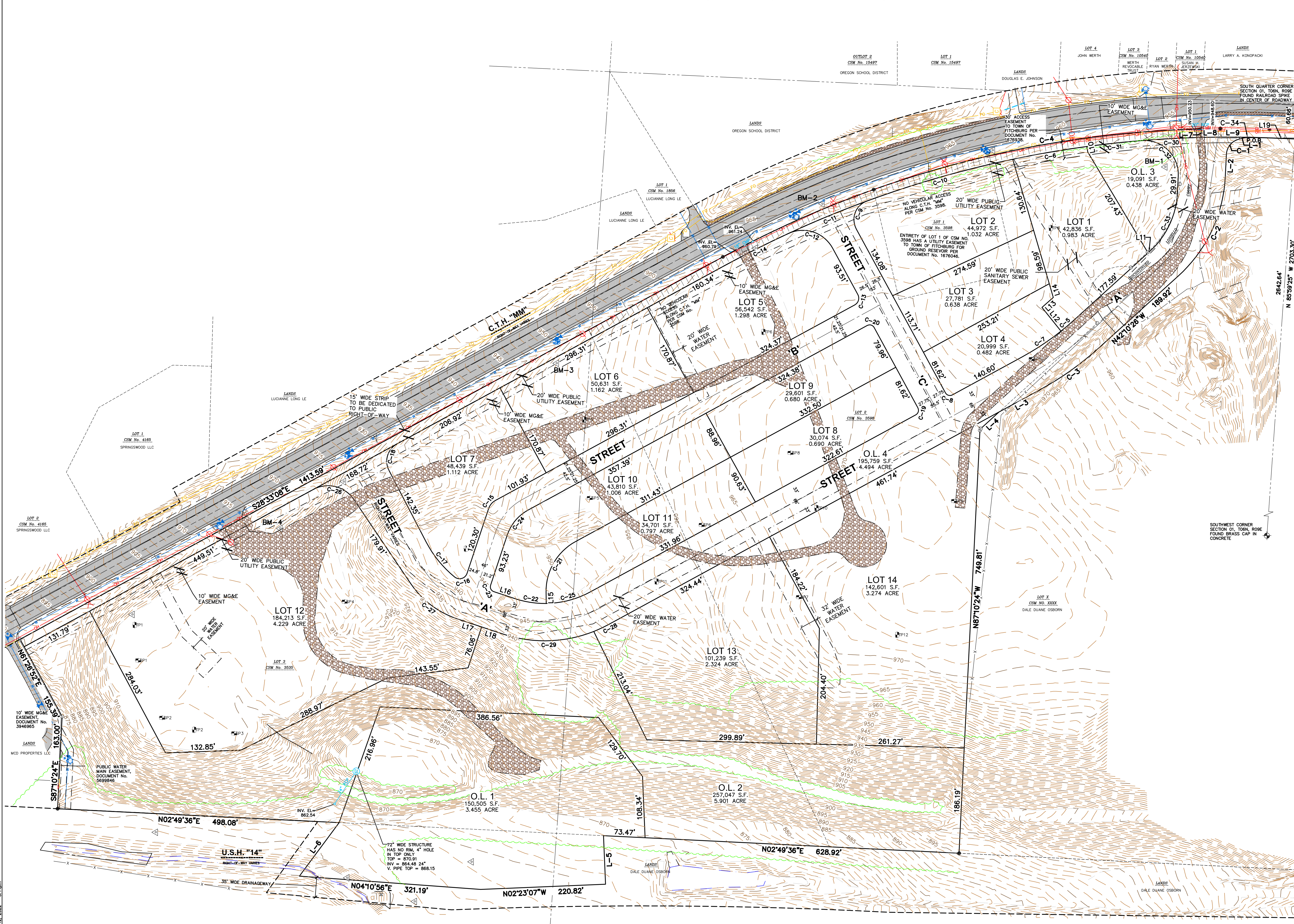
N  
Scale:  
1 in. equals 400 ft.



City of Fitchburg  
Department  
5520 Lacy Road  
Fitchburg, WI 53711-5318  
(608)270-4200

# PRELIMINARY PLAT OF NINE SPRINGS

PART OUTLOT 1 AND OUTLOT 3 OF CERTIFIED SURVEY MAP NO. XXXX, RECORDED IN VOLUME XX, PAGES XXX, AS DOCUMENT NO. XXXXXX; LOTS 1 AND 2 AND PART OF DISCONTINUED LONIELLO COURT, CERTIFIED SURVEY MAP NO. 3598, RECORDED IN VOLUME 14, PAGES 234-235, AS DOCUMENT NO. 1691387 AND PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 01, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.



- LEGEND**
- Government Corner
  - 1/4" REBAR FOUND
  - CONTROL POINT
  - SETTLING PLATE
  - BOLLARD
  - SIGN
  - ENDWALL/END OF PIPE
  - STORM MANHOLE
  - POWER POLE W/GUY
  - TELEPHONE PEDESTAL
  - DECIDUOUS TREE
  - CHORD LINE
  - CENTERLINE
  - RIGHT-OF-WAY LINE
  - SECTION LINE
  - PROPOSED PLAT BOUNDARY
  - PROPOSED RIGHT-OF-WAY
  - PROPOSED PROPERTY LINE
  - PROPERTY LINE
  - EASEMENT LINE
  - FENCE LINE
  - EDGE OF GRAVEL
  - NO VEHICULAR ACCESS
  - OVERHEAD LINE
  - UNDERGROUND TELEPHONE
  - EDGE OF WATER
  - EDGE OF WOODS OR BRUSH
  - INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - DITCH LINE
  - SPOT ELEVATION
  - BITUMINOUS PAVEMENT
  - GRAVEL
  - EDGE OF BITUMINOUS
  - NO VEHICULAR ACCESS
  - DEMOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY
- NOTES**
- FIELD WORK COMPLETED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 9, 2021.
  - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A RAIL ROAD SPIKE MARKING THE SOUTH 1/4 CORNER OF SECTION 01, T60N, R09E, ELEVATION = 946.82'
  - CONTOUR INTERVAL IS ONE FOOT.
  - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20171003664, 20171003635, 20171003639, AND 20171003660, WITH A CLEAR DATE OF MARCH 13, 2017.
  - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: CITY OF FITCHBURG (ELECTRIC AND GAS) CHARTER COMMUNICATIONS AT&T WISCONSIN INDEPENDENT NETWORK
  - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
  - LOT 2, CERTIFIED SURVEY MAP NO. 3598—"ANY FUTURE DEVELOPMENT OF LOT 2 SHALL CONFORM TO THE CITY OF MADISON SUBDIVISION REGULATIONS."
  - LOT 1, CERTIFIED SURVEY MAP NO. 3598—"LOT 1 SHALL ONLY BE USED FOR A WELL AND UNDERGROUND RESERVOIR SITE."
  - COUNTY TRUNK HIGHWAY MM IS A CONTROLLED ACCESS HIGHWAY PURSUANT TO CHAPTER 79 OF THE DANE COUNTY CODE OF ORDINANCES.
  - U.S.H. "14" IS A CONTROLLED ACCESS HIGHWAY PER STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION 233
  - CURRENT ZONING: RURAL DEVELOPMENT
  - EXISTING ASPHALTIC PAVEMENT ON C.T.H. MM IS (42') WIDE
  - STREET "C" ACCESS IS LIMITED TO A RIGHT IN AND RIGHT OUT USE ONLY.
  - STORMWATER PONDS LOCATED ON OUTLOT 1 AND OUTLOT 3 SHALL BE PRIVATELY OWNED AND MAINTAINED.

**LEGAL DESCRIPTION**

OUTLOT 1 AND OUTLOT 3 OF CERTIFIED SURVEY MAP NO. XXXX, RECORDED IN VOLUME XX, PAGES XXX, AS DOCUMENT NO. XXXXXX; LOTS 1 AND 2 AND PART OF DISCONTINUED LONIELLO COURT, CERTIFIED SURVEY MAP NO. 3598, RECORDED IN VOLUME 14, PAGES 234-235, AS DOCUMENT NO. 1691387 AND PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 01, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 01, AFORESAID; THENCE NORTH 85 DEGREES 59 MINUTES 25 SECONDS WEST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 01, AFORESAID, 60.66 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF COUNTY TRUNK HIGHWAY "MM"; THENCE NORTH 02 DEGREES 18 MINUTES 17 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 152.95 FEET TO A POINT OF CURVE; THENCE NORTHEASTERLY 40.75 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1948.33 FEET, THE CHORD BEARS NORTH 01 DEGREES 20 SECONDS EAST, 40.75 FEET TO THE POINT OF BEGINNING; THENCE NORTH 15 DEGREES 38 MINUTES 46 SECONDS WEST, 14.04 FEET TO A POINT OF CURVE; THENCE NORTHWESTERLY 36.22 FEET ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 230.00 FEET, THE CHORD BEARS NORTH 51 DEGREES 25 MINUTES 23 SECONDS WEST, 33.91 FEET; THENCE NORTH 87 DEGREES 10 MINUTES 24 SECONDS WEST, 39.44 FEET TO A POINT OF CURVE; THENCE NORTHWESTERLY 199.10 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 253.50 FEET, THE CHORD BEARS NORTH 64 DEGREES 40 MINUTES 25 SECONDS WEST, 194.02 FEET; THENCE NORTH 42 DEGREES 10 MINUTES 26 SECONDS WEST, 180.82 FEET TO A POINT OF CURVE; THENCE NORTHWESTERLY 127.07 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 534.50 FEET, THE CHORD BEARS NORTH 35 DEGREES 21 MINUTES 47 SECONDS WEST, 126.77 FEET; THENCE NORTH 28 DEGREES 33 MINUTES 08 SECONDS WEST, 82.48 FEET; THENCE NORTH 42 DEGREES 10 MINUTES 24 SECONDS WEST, 45.61 FEET; THENCE NORTH 87 DEGREES 10 MINUTES 24 SECONDS WEST, 748.81 FEET; THENCE NORTH 02 DEGREES 49 MINUTES 36 SECONDS EAST, 628.92 FEET; THENCE SOUTH 87 DEGREES 36 MINUTES 53 SECONDS WEST, 85.83 FEET; THENCE NORTH 02 DEGREES 23 MINUTES 07 SECONDS WEST, 220.82 FEET; THENCE NORTH 04 DEGREES 10 MINUTES 56 SECONDS EAST, 321.19 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S.H. "14"; THENCE SOUTH 53 DEGREES 20 MINUTES 58 SECONDS EAST ALONG SAID LINE, 117.89 FEET; THENCE NORTH 02 DEGREES 49 MINUTES 36 SECONDS EAST, 498.08 FEET; THENCE SOUTH 87 DEGREES 10 MINUTES 24 SECONDS WEST, 163.00 FEET; THENCE NORTH 61 DEGREES 26 MINUTES 52 SECONDS EAST, 155.39 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF COUNTY TRUNK HIGHWAY "MM"; THENCE SOUTH 28 DEGREES 33 MINUTES 08 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 143.59 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY 88.12 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1863.34 FEET, THE CHORD BEARS SOUTH 14 DEGREES 08 MINUTES 29 SECONDS EAST, 874.88 FEET; THENCE NORTH 87 DEGREES 10 MINUTES 24 SECONDS WEST, 15.04 FEET; THENCE SOUTH 00 DEGREES 55 MINUTES 08 SECONDS EAST, 33.07 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 02 SECONDS WEST, 46.67 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1,515,230 S.F. OR 34.785 ACRES.

**SURVEYOR'S CERTIFICATE**

I, TODD J. BUHR, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-2614, HEREBY CERTIFY THAT THIS PRELIMINARY PLAT MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

TODD J. BUHR, S-2614  
PROFESSIONAL LAND SURVEYOR  
Email: todd.buhr@pdinc.com  
Website: www.jdsinc.com

DATE: \_\_\_\_\_

**SURVEYED FOR:**

ROYAL CAPITAL  
701 N PLANKINTON AVE, SUITE 300  
MILWAUKEE, WI 53203

**SURVEYED BY:**

JSD PROFESSIONAL SERVICES, INC.  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
(608) 848-5060



BEARINGS ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 01-06-09 BEARS N65°59'25"W.

SCALE: 1" = 80'

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING
C-1	36.22'	29.00'	20.90'	71°33'13"	33.91'	N51°25'23"W
C-2	199.10'	253.50'	105.00'	44°59'58"	194.02'	N64°40'25"W
C-3	127.07'	534.50'	63.84'	13°37'18"	126.77'	N35°21'47"W
C-4	883.12'	1863.34'	450.02'	27°09'19"	874.88'	S14°58'29"E
C-5	29.16'	468.50'	14.58'	3°33'57"	29.15'	S40°23'27"E
C-6	132.70'	1848.34'	66.38'	4°06'49"	132.67'	N94°45'42"W
C-7	82.22'	468.50'	41.22'	10°33'21"	82.12'	S33°34'48"E
C-8	14.14'	9.00'	9.00'	90°00'00"	12.73'	S16°28'52"W
C-9	60.12'	35.00'	40.56'	98°25'12"	53.00'	N69°20'32"W
C-10	268.20'	1848.34'	140.78'	8°42'39"	267.96'	N15°58'32"W
C-11	150.07'	1848.34'	75.07'	4°39'07"	150.03'	N22°27'30"W
C-12	90.28'	60.05'	56.13'	86°08'08"	82.02'	N18°19'55"E
C-13	21.21'	13.50'	9.00°00'00"	19.09'	S73°33'08"E	
C-14	121.56'	1848.34'	60.80'	3°46'05"	121.53'	N26°40'05"W
C-15	19.55'	26.00'	10.26'	4°30'43"	19.09'	S50°05'29"E
C-16	27.11'	14.00'	20.36'	110°57'53"	23.07'	S16°08'55"E
C-17	80.32'	198.27'	40.72'	2°31'41"	79.78'	S50°56'22"W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING
C-18	54.31'	35.00'	34.34'	88°54'09"	49.02'	N73°00'13"W
C-19	14.14'	9.00'	9.00'	90°00'00"	12.73'	S73°33'08"E
C-20	14.14'	9.00'	9.00'	90°00'00"	12.73'	N16°26'52"E
C-21	108.77'	100.00'	60.47'	62°19'24"	103.49'	N59°42'50"W
C-22	56.60'	168.50'	28.57'	19°14'41"	56.33'	S8°44'49"W
C-23	14.14'	9.00'	9.00'	90°00'00"	12.73'	S63°22'09"W
C-24	59.40'	79.00'	31.18'	43°04'43"	58.01'	N50°05'29"W
C-25	81.39'	168.50'	41.51'	27°40'36"	80.60'	S14°42'06"E
C-26	81.12'	55.00'	49.97'	84°30'28"	73.97'	N13°42'06"E
C-27	104.30'	159.00'	54.11'	37°35'11"	102.44'	N37°09'45"E
C-28	28.25'	234.50'	14.14'	6°54'13"	28.24'	N25°06'02"W
C-29	163.79'	234.50'	85.39'	40°01'04"	160.48'	N1°38'23"W
C-30	104.91'	1848.34'	52.47'	3°15'07"	104.89'	N30°32'26"W
C-31	97.48'	1848.34'	48.75'	3°01'18"	97.47'	N6°11'39"W
C-32	102.11'	60.00'	68.43'	97°30'37"	90.23'	N44°04'18"E
C-33	117.02'	149.00'	61.72'	44°59'58"	114.04'	S64°40'25"E
C-34	40.75'	1848.33'	20.38'	1°15'48"	40.75'	N1°40'20"E

**LINE TABLE**

LINE	BEARING	DISTANCE
L-1	N15°38'46"W	14.04'
L-2	N87°10'24"W	39.44'
L-3	N28°33'08"W	82.48'
L-4	N42°10'24"W	45.61'
L-5	S87°36'53"W	85.83'
L-6	S53°20'58"E	117.89'
L-7	N87°10'24"W	15.04'
L-8	S0°55'08"E	33.07'
L-9	S0°19'02"W	46.67'
L-10	S78°48'44"W	10.14'

**LOT SUMMARY TABLE**

LOTS	TYPE	ACREAGE
LOT 1	COMMERCIAL	0.383
LOT 2	TOWNHOMES	1.032
LOT 3	TOWNHOMES	0.638
LOT 4	TOWNHOMES	0.482
LOT 5	SENIOR LIVING	1.309
LOT 6	SENIOR LIVING	1.162
LOT 7	COMMERCIAL	1.112
LOT 8	TOWNHOMES	0.690
LOT 9	TOWNHOMES	0.690
LOT 10	TOWNHOMES	1.006

**LOT SUMMARY TABLE**

LOTS	TYPE	ACREAGE
LOT 11	TOWNHOMES	0.797
LOT 12	FOR SALE	4.229
LOT 13	COMMERCIAL	2.324
LOT 14	FOR SALE	3.274
OUTLOT 1	STORMWATER MANAGEMENT	3.455
OUTLOT 2	OPEN SPACE	5.901
OUTLOT 3	STORMWATER MANAGEMENT	0.438
OUTLOT 4	PRIVATE ROADS	4.483

**BENCHMARKS**

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	956.78	No. 6 REBAR
BM-2	964.66	No. 6 REBAR
BM-3	951.35	No. 6 REBAR
BM-4	915.54	No. 6 REBAR

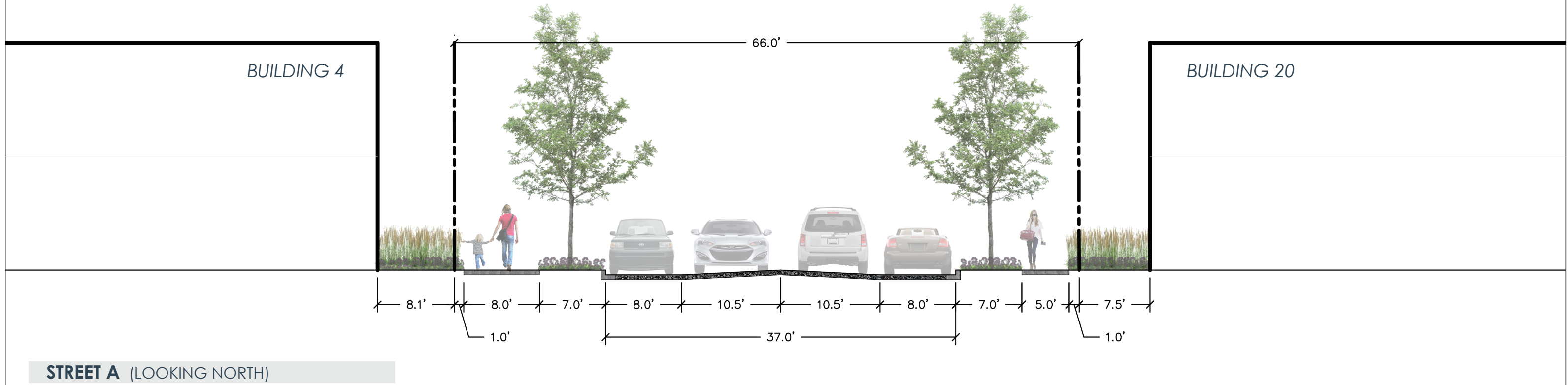
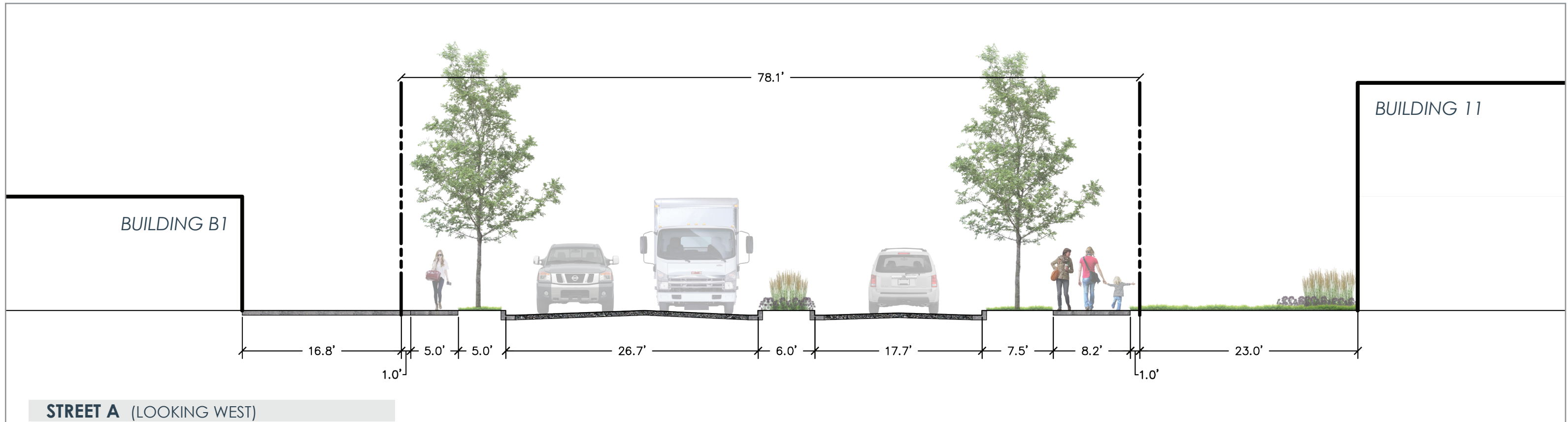
PROJECT LOCATION:  
SECTION 01,  
TOWNSHIP 06 NORTH,  
RANGE 09 EAST,  
CITY OF FITCHBURG,  
DANE COUNTY, WI

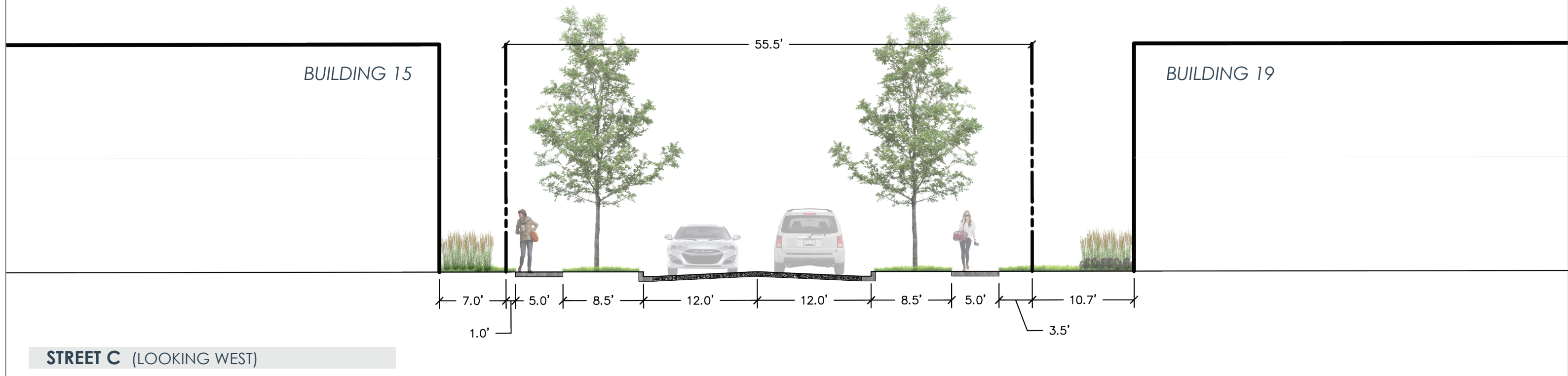
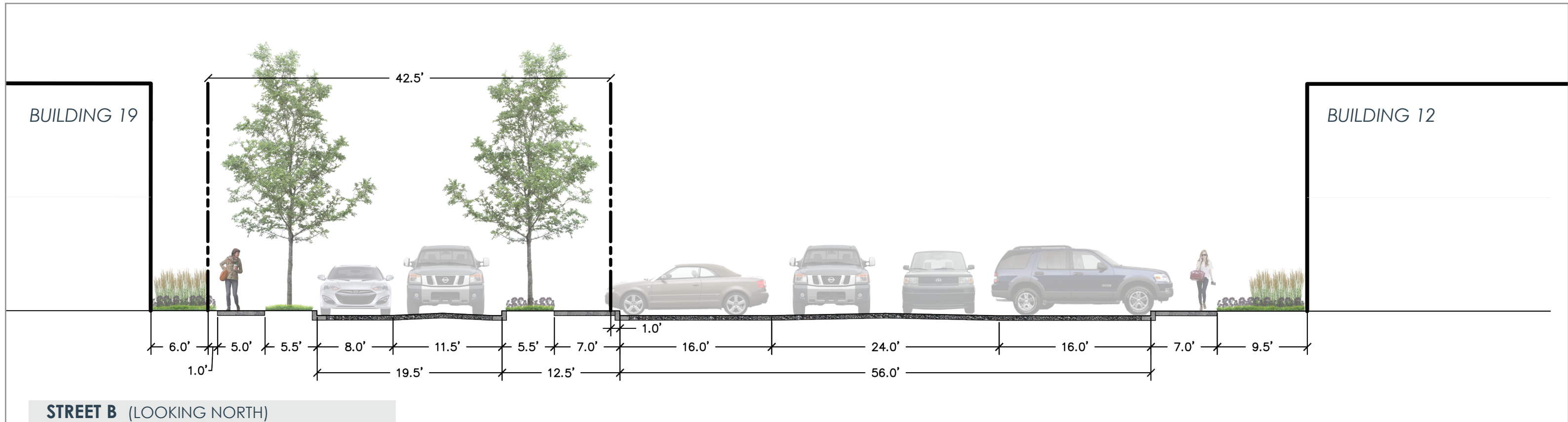
**JSD** CREATE THE VIDEO TELL THE STORY  
jdsinc.com

**PRELIMINARY PLAT OF NINE SPRINGS**

PROJECT NO. 21-1066 DRAWN BY: MJS INITIAL SUBMITAL DATE: 3-25-2022  
 FILEBOOK/PG. CHECKED BY: JLS REVISION RESUBMITAL DATE: -  
 SURVEYED BY: J.B. COLE APPROVED BY: - REVISION RESUBMITAL DATE: -

SHEET 1 OF 1







April 12, 2022

Royal Capital Group  
710 N. Plankinton Avenue, Suite 300  
Milwaukee, WI 53203

Attn: Mr. Terrell Walter  
Development Manager

Re: Summary of Preliminary Subsurface Exploration and Site Feasibility Evaluation  
Nine Springs Development  
County Road MM  
Fitchburg, WI  
PSI Project No. 00522947

Dear Mr. Walter:

This letter is a brief summary of our preliminary exploration and site feasibility evaluation at the Nine Springs Development project in Fitchburg, WI. This should be read and considered in complete context with the formal report which will be submitted at a later date.

### Project Description

The overall project is understood to be a mixed-use development with both residential buildings and some retail buildings. The buildings are all estimated to be slab-on-grade and will include 2-story townhomes, 2-story condominiums, a 2-story senior apartment building, and several 1-story retail buildings. The development will also include 2 stormwater management areas as well as paved parking and drive areas. Based on information provided by the client and test pit explorations performed by others, the site was a former sand borrow pit which was then filled in with construction and demolition debris including concrete, asphalt, sand, gravel, clay, brick, and pipe which was end dumped without compaction. Fill depths are estimated to be up to about 100 feet in depth.

### Scope

This preliminary exploration has been commissioned to evaluate the subsurface conditions across areas of the subject site and to provide subsurface information for general site feasibility and preliminary design planning for the proposed development. The number, spacing, and locations of the borings requested is not considered sufficient

to serve as a conventional foundation evaluation for proposed buildings. Additional borings are necessary and recommended within any proposed building footprints to further evaluate more specific soil conditions and provide subsequent recommendations at each building location. In addition, when finished first and basement floor, yard, utility invert, roadway, and other elevations are determined, PSI must be provided an opportunity to review them and determine if a redirection of the evaluation and recommendations contained herein is warranted.

### Subsurface Conditions

A description of the subsurface conditions encountered at the test boring locations is shown on the Soil Boring Logs. The lines of demarcation shown on the logs represent approximate boundaries between the various soil classifications. It must be recognized that the soil descriptions are considered representative estimates for the specific test hole locations, and that variations may occur between and beyond the sampling intervals and boring locations. Soil depths, topsoil, and layer thicknesses, and demarcation lines utilized for preconstruction planning should not be expected to yield exact and final quantities. A summary of the major soil profile components is described in the following paragraphs.

Surficial material encountered at borings B-3, B-4, B-5, and B-9 consisted of about 8 to 24 inches of silty clay or sandy clay topsoil fill. Below the surficial topsoil at the above locations, and exposed at the surface at the remaining locations, were existing fill/possible fill materials generally comprised of silty clay, sandy clay, and/or silty sand, with intermixed asphalt, concrete, brick, and wood to depths of about 18 feet below existing grades to below the maximum depths explored. Strength tests on the fill/possible fill materials indicated N-values ranging from 4 blows per foot (bpf) to 50 blows for 2 inches of split spoon sampler penetration. Underlying natural soils, encountered at B-2, B-5, B-9, and B-10 at depths of about 18 to 27 feet (EL. 947 to EL. 895.3) below existing grades, consisted of yellowish brown to brown silty fine sand, lean clay/silty clay, or fine to medium sand to the termination depths of these borings. These soils were medium dense to very dense with N-values ranging from about 10 bpf to 50 blows for 4 inches of split spoon sampler penetration, but generally greater than about 40 bpf; and stiff to hard in consistency with estimated unconfined compressive strengths ranging from about 1.1 to 5.0 tons per square foot (tsf)

Auger refusal was encountered at boring B-3 on possible cobbles, boulders, or rubble at a depth of about 20 feet (EL. 940). Two other attempts at extending B-3 to natural soils at offset distances encountered refusal at 8 feet (EL. 952) and 10 feet (EL. 950). At boring B-4, the auger string became far off of vertical to make extending the boring beyond 20 feet (EL. 938) not possible. Extending borings B-1 and B-6 through B-8 below depths of 40 to 42 feet was not feasible given the limited time allowed for the exploration. A table with the summary of the estimated fill depths and elevation to natural soils at each boring is shown below:

Boring	Approximate Ground Surface Elevation (ft.)	Approximate Depth of Boring Below Existing Grades (ft.)	Approximate Depth of Fill Below Existing Grades (ft.)	Approximate Elevation of Natural Soils (ft.)
B-1	912.0	40	>40	< EL. 872
B-2	938.0	41.5	21	EL. 917
B-3	960.0	20	>20	< EL. 940
B-4	958.0	20	>20	< EL. 938
B-5	967.0	40	27	EL. 940
B-6	971.0	42	>42	< EL. 929
B-7	973.8	40	>40	< EL. 933.8
B-8	966.0	40	>40	< EL. 926
B-9	965.0	40	18	EL. 947
B-10	913.3	35	18	EL. 895.3

Groundwater Observations

Groundwater observations were made during the drilling operations, and in the open boreholes at completion. Groundwater was encountered during auger advancement within borings B-1 and B-4 at depths of about 38.5 and 8.5 feet (EL. 873.5 and EL. 949.5), respectively, below existing grades. Upon completion of drilling and removal of the augers, water was encountered within boring B-4 at a depth of about 3 feet (EL. 955) below existing grade, above the caved soils.

Longer term monitoring would be required and is recommended to better evaluate groundwater levels on this site, especially with regard to utility and basement floor elevations.

General Development Considerations

The existing fill materials, including the rubble materials, encountered to depths ranging from about 18 feet below existing grade to below the maximum depths explored (EL. 947 to < EL. 872) are not considered suitable for support of foundations due to highly variable relative density and composition, and the potential for overall and differential settlement. Due to the extent of the existing fill, a deep foundation system such as micropiles which are extended through the existing fill and into the underlying natural soils a suitable depth, can be considered for support of the structure foundations. Driven piles can also be considered for support of foundations. However, the concrete and asphalt construction and demolition debris encountered presents the potential for damaging piles during driving. The pile driving contractor should be presented with the results of the geotechnical exploration in order to assess the risk of damaging piles during driving. Driving pile within holes predrilled through the rubble fill, which appeared to be more prevalent in the upper fill materials, is another alternative which can be considered.

Where floor slabs, pavements, sidewalks, exterior slabs, and other structures are supported by the existing fill materials, the risk of settlement of the fill and the distress to the overlying structures must be accepted.

Groundwater was encountered during auger advancement within borings B-1 and B-4 at depths of about 38.5 and 8.5 feet (EL. 873.5 and EL. 949.5), respectively, below existing grades. Upon completion of drilling and removal of the augers, water was encountered within boring B-4 at a depth of about 3 feet (EL. 955) below existing grade, above the caved soils. Difficulty with groundwater may occur in at least some areas where excavations encroach upon or extend below the groundwater level or perched zones, especially within basement and utility excavation work. An adequate dewatering effort, possibly in conjunction with the over-excavation of unstable zones, and the use of a crushed stone working mat (or "mud mat"), may be required. Additionally, it is recommended that basement slabs be placed at least 2 feet above the groundwater level. Careful design planning will be essential when establishing surface grades and corresponding basement floor elevations across the site. Additional evaluation of the groundwater level at the site is recommended with the use of test pits or monitoring wells. It must be recognized that groundwater levels fluctuate with time due to variations in seasonal precipitation, lateral drainage conditions, and soil permeability characteristics.

Auger refusal on possible cobbles, boulders, or rubble was encountered at B-3 at a depth of about 20 feet (EL. 940) below existing grade, and very dense materials were encountered throughout the existing fill materials, likely due to the rubble materials. Therefore, major difficulty digging, and longer excavation times should be anticipated.

A formal Preliminary Exploration and Site Feasibility Evaluation is to follow shortly.

Sincerely,


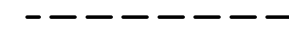
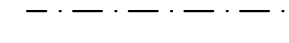





**PROFESSIONAL SERVICE INDUSTRIES, INC.**

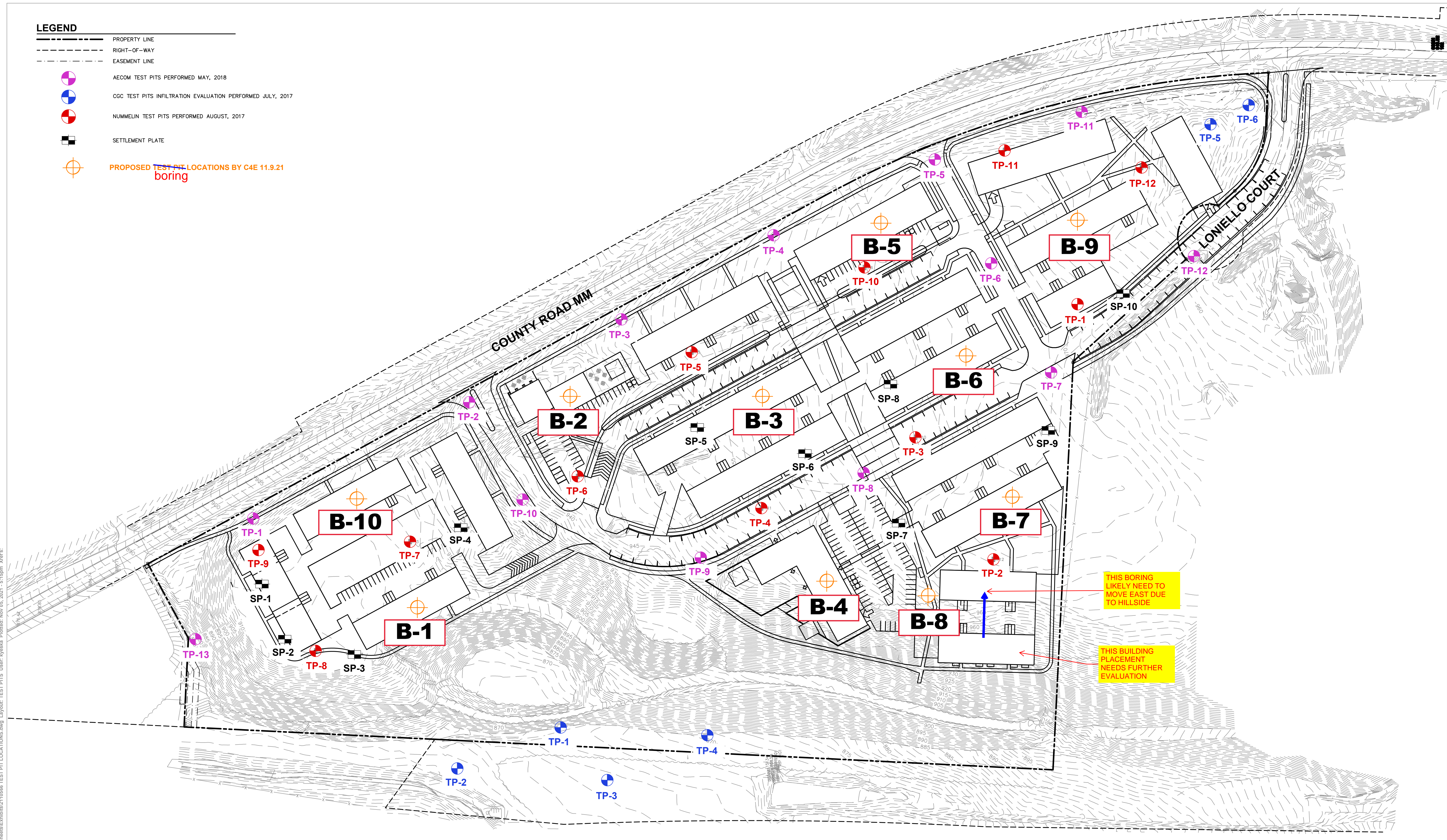


Bradley J. Broback, P.E.  
Department Manager  
Geotechnical Services

Attachments:      Boring Location Plan  
                         Boring Logs  
                         General Notes

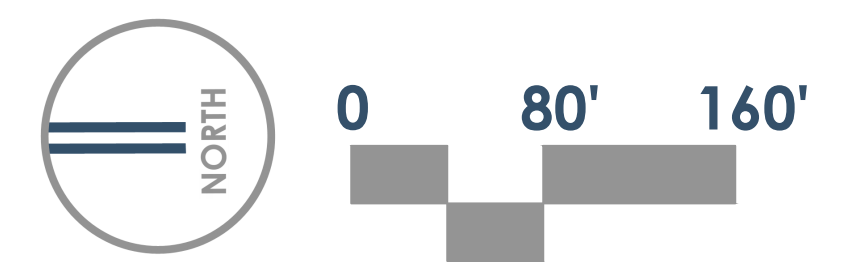
**LEGEND**

-  PROPERTY LINE
-  RIGHT-OF-WAY
-  EASEMENT LINE
-  AECOM TEST PITS PERFORMED MAY, 2018
-  CGC TEST PITS INFILTRATION EVALUATION PERFORMED JULY, 2017
-  NUMMELIN TEST PITS PERFORMED AUGUST, 2017
-  SETTLEMENT PLATE
-  PROPOSED TEST PIT LOCATIONS BY C4E 11.9.21 boring



THIS BORING LIKELY NEED TO MOVE EAST DUE TO HILLSIDE

THIS BUILDING PLACEMENT NEEDS FURTHER EVALUATION



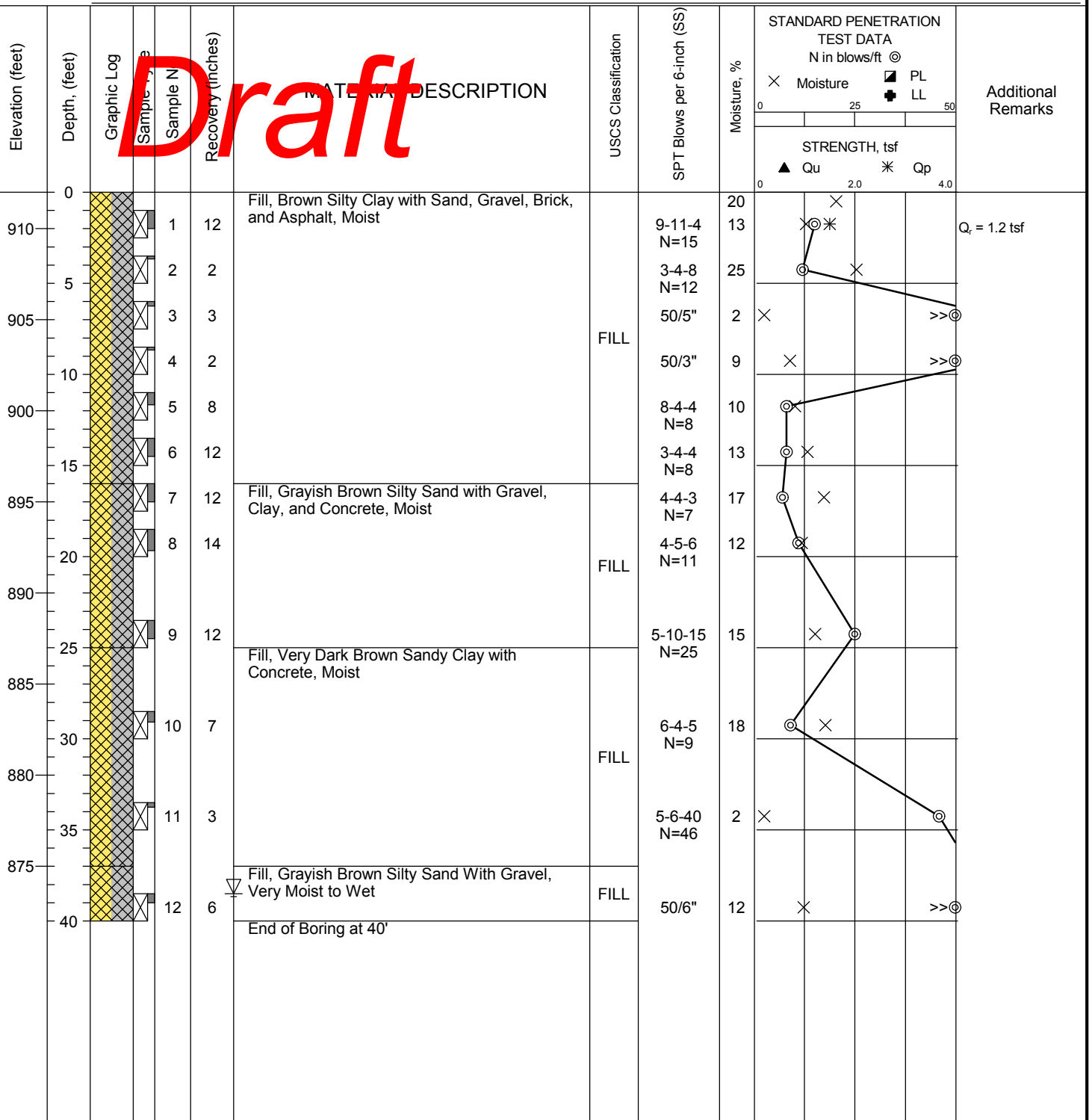
File: I:\2021\2110566\DWG\Civil\_Sheets\I\2110566 TEST PIT LOCATIONS.dwg Layout: TEST PITS User: kyasha Plotdate: Nov 05, 2021 5:15pm Xref(s):

**DATE STARTED:** 3/24/22 **DRILL COMPANY:** PSI, Inc.  
**DATE COMPLETED:** 3/24/22 **DRILLER:** DT **LOGGED BY:** AW  
**COMPLETION DEPTH:** 40.0 ft **DRILL RIG:** Marooka D-50 ATV - Rig #395  
**BENCHMARK:** N/A **DRILLING METHOD:** Hollow Stem Auger  
**ELEVATION:** 912.0 ft **SAMPLING METHOD:** 2-in SS  
**LATITUDE:** **HAMMER TYPE:** Automatic  
**LONGITUDE:** **EFFICIENCY:** N/A  
**STATION:** N/A **OFFSET:** N/A **REVIEWED BY:**

### BORING B-01

**Water**  
 ∇ While Drilling 38.5 feet  
 ▼ Upon Completion Not Obsvd  
 ▽ Delay N/A

**BORING LOCATION:**



Professional Service Industries, Inc.  
 821 Corporate Court, Suite 100  
 Waukesha, WI 53189  
 Telephone: (262) 521-2125

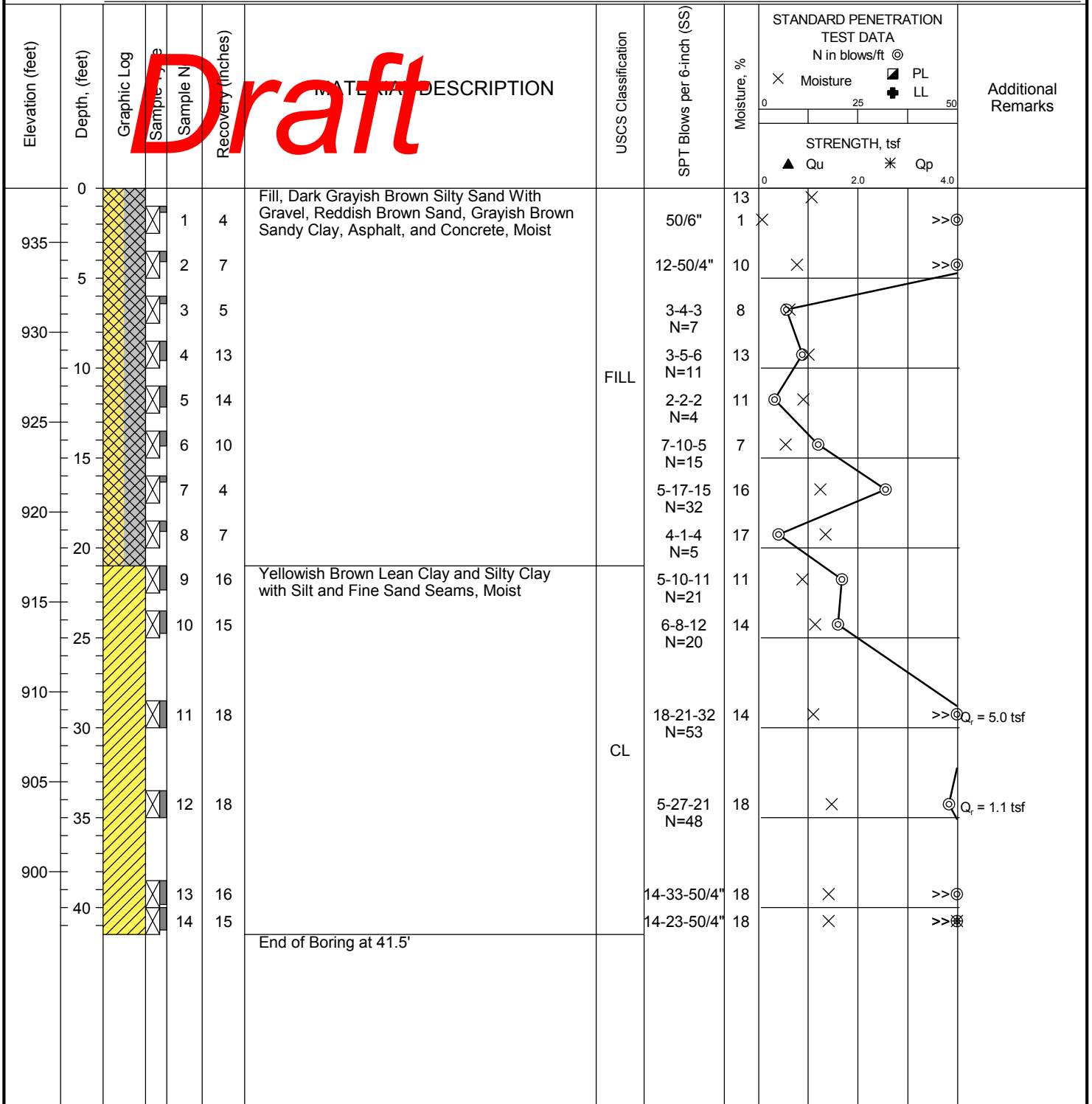
**PROJECT NO.:** 00522947  
**PROJECT:** Nine Springs Development  
**LOCATION:** County Rd MM  
 Fitchburg, WI

DATE STARTED: 3/16/22  
 DATE COMPLETED: 3/16/22  
 COMPLETION DEPTH: 41.5 ft  
 BENCHMARK: N/A  
 ELEVATION: 938.0 ft  
 LATITUDE:  
 LONGITUDE:  
 STATION: N/A    OFFSET: N/A  
 REMARKS:

DRILL COMPANY: PSI, Inc.  
 DRILLER: PR    LOGGED BY: AW  
 DRILL RIG: Diedrich HD D-50 ATV - Rig #419  
 DRILLING METHOD: Hollow Stem Auger  
 SAMPLING METHOD: 2-in SS  
 HAMMER TYPE: Automatic  
 EFFICIENCY: N/A  
 REVIEWED BY:

<b>BORING B-02</b>			
<b>Water</b>	▽	While Drilling	Not Obsvd
	▼	Upon Completion	Not Obsvd
	▽	Delay	N/A

**BORING LOCATION:**



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 821 Corporate Court, Suite 100  
 Waukesha, WI 53189  
 Telephone: (262) 521-2125

PROJECT NO.: 00522947  
 PROJECT: Nine Springs Development  
 LOCATION: County Rd MM  
 Fitchburg, WI

**DATE STARTED:** 3/16/22 **DRILL COMPANY:** PSI, Inc.  
**DATE COMPLETED:** 3/16/22 **DRILLER:** PR **LOGGED BY:** AW  
**COMPLETION DEPTH:** 20.0 ft **DRILL RIG:** Diedrich HD D-50 ATV - Rig #419  
**BENCHMARK:** N/A **DRILLING METHOD:** Hollow Stem Auger  
**ELEVATION:** 960.0 ft **SAMPLING METHOD:** 2-in SS  
**LATITUDE:** **HAMMER TYPE:** Automatic  
**LONGITUDE:** **EFFICIENCY:** N/A  
**STATION:** N/A **OFFSET:** N/A **REVIEWED BY:** \_\_\_\_\_  
**REMARKS:**

## BORING B-03

<b>Water</b>	▽	While Drilling	Not Obsvd
	▼	Upon Completion	Not Obsvd
	▽	Delay	N/A

**BORING LOCATION:** \_\_\_\_\_

Elevation (feet)	Depth (feet)	Graphic Log	Sample No.	Sample No.	Recovery (inches)	MATERIAL DESCRIPTION	USCS Classification	SPT Blows per 6-inch (SS)	STANDARD PENETRATION TEST DATA N in blows/ft ⊙ Moisture % PL LL STRENGTH, tsf ▲ Qu * Qp	Additional Remarks
960.0	0					Topsoil, Dark Brown Silty Clay, Very Moist	TPSL			
			1		15	Fill, Brown Silty Sand with Brick and Concrete. Moist	FILL	7-35-50/3"		Q <sub>r</sub> = 2.1 tsf
			2		12	Fill, Greenish Gray Silty Clay, Moist	FILL	5-3-3 N=6		Q <sub>r</sub> = 1.5 tsf
955	5		3		18	Fill, Grayish Brown Silty Sand With Brick, Concrete, and Wood, Moist	FILL	6-10-12 N=22		
			4		12			8-9-25 N=34		
950	10		5		18			11-7-16 N=23		
			6		5			8-12-11 N=23		
945	15		7		12	Fill, Dark Grayish Brown Silty Clay, Moist	FILL	2-2-2 N=4		
940	20		8		0	Auger Refusal at 20' on possible cobbles, boulders, or rubble		5-6-4 N=10		Q <sub>r</sub> = 0.3 tsf
						Auger Refusal at 8' and 10' on additional offset attempts				



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**PROJECT:** Nine Springs Development  
**LOCATION:** County Rd MM  
 Fitchburg, WI

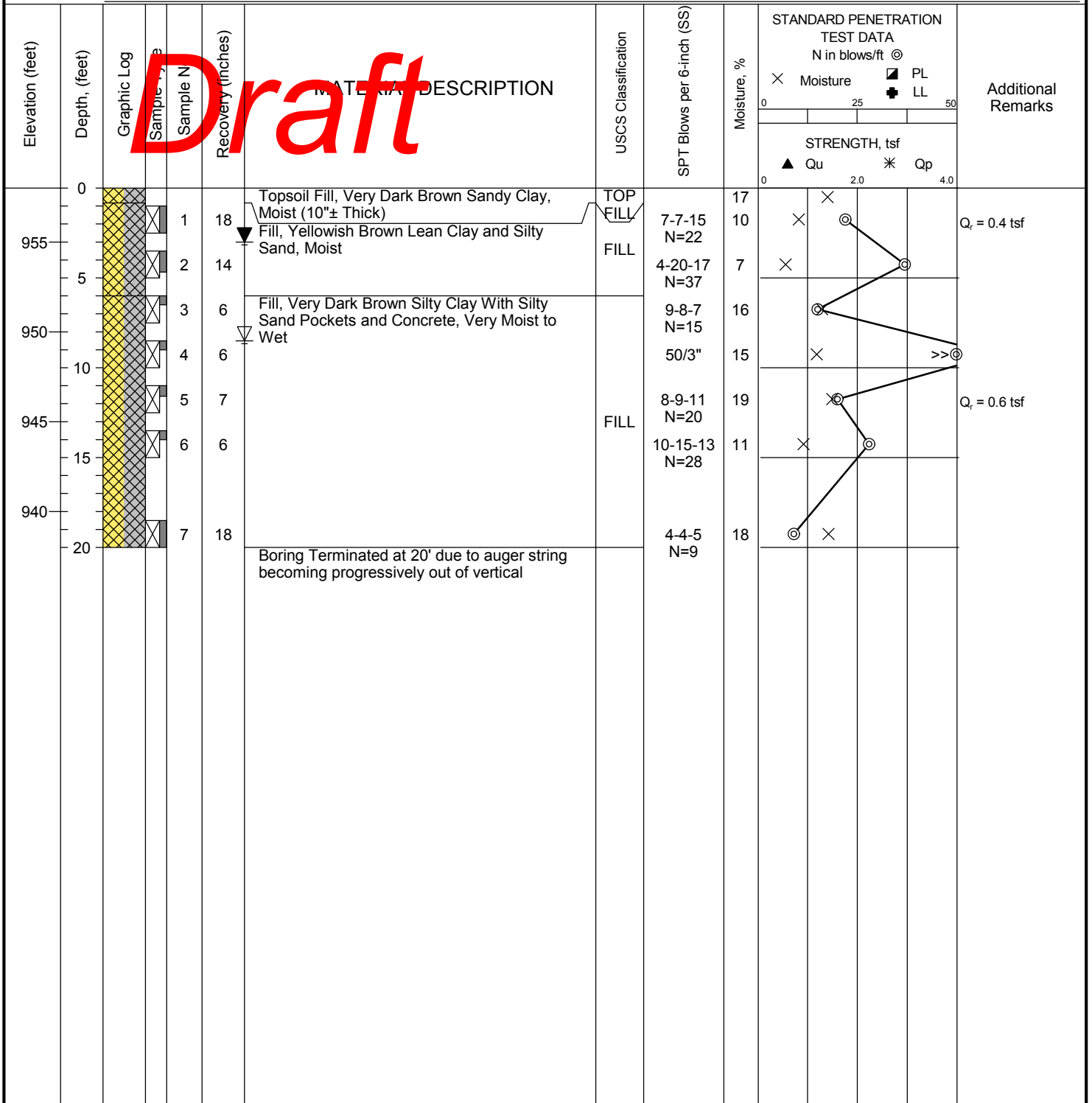
DATE STARTED: 3/24/22  
 DATE COMPLETED: 3/24/22  
 COMPLETION DEPTH: 20.0 ft  
 BENCHMARK: N/A  
 ELEVATION: 958.0 ft  
 LATITUDE:  
 LONGITUDE:  
 STATION: N/A      OFFSET: N/A  
 REMARKS:

DRILL COMPANY: PSI, Inc.  
 DRILLER: DT      LOGGED BY: AW  
 DRILL RIG: Marooka D-50 ATV - Rig #395  
 DRILLING METHOD: Hollow Stem Auger  
 SAMPLING METHOD: 2-in SS  
 HAMMER TYPE: Automatic  
 EFFICIENCY: N/A  
 REVIEWED BY:

## BORING B-04

<b>Water</b>	▽ While Drilling	8.5 feet
	▼ Upon Completion	3 feet
	▽ Delay	N/A

**BORING LOCATION:**



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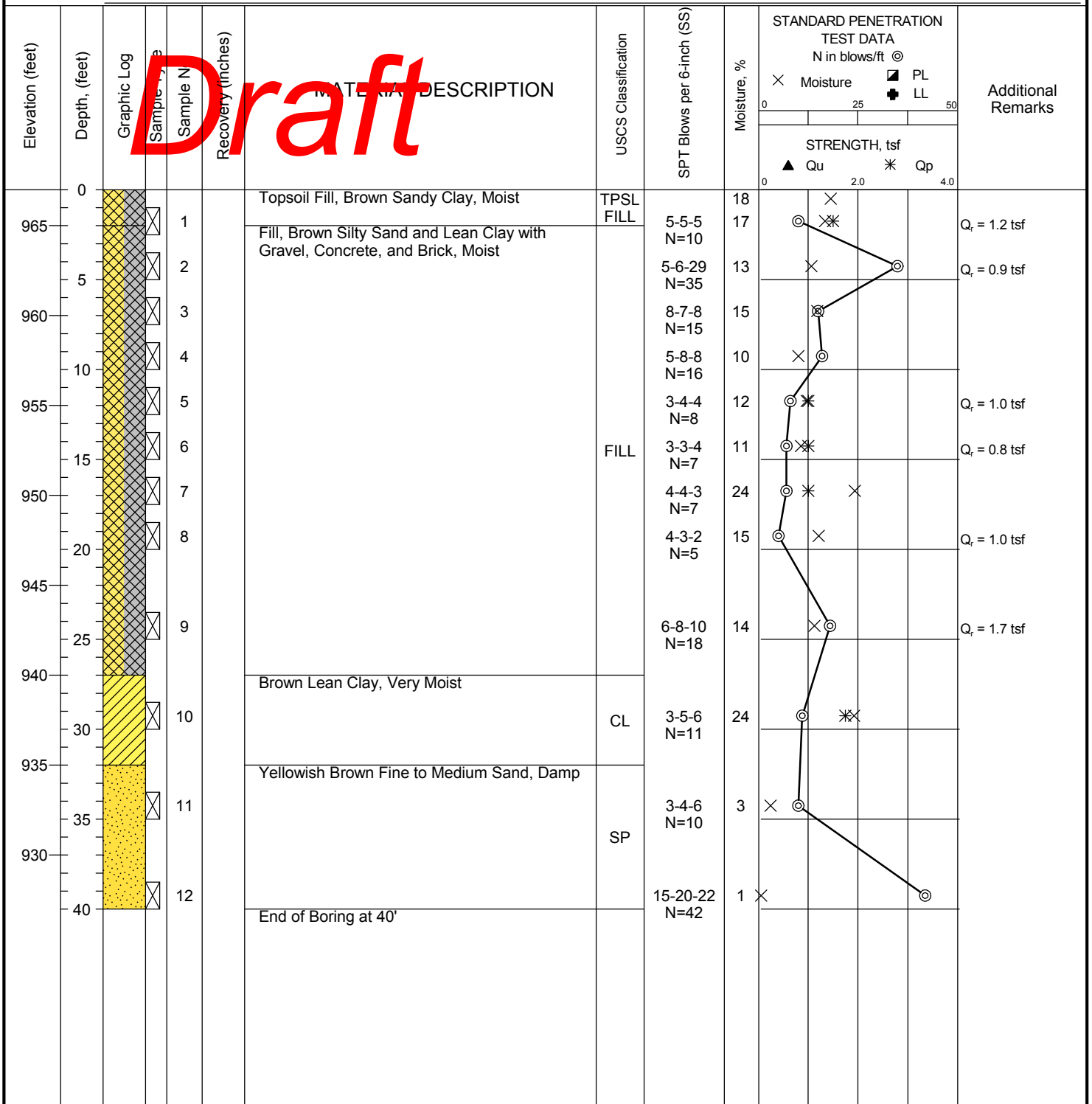
PROJECT NO.: 00522947  
 PROJECT: Nine Springs Development  
 LOCATION: County Rd MM  
 Fitchburg, WI

**DATE STARTED:** 3/16/22 **DRILL COMPANY:** PSI, Inc.  
**DATE COMPLETED:** 3/16/22 **DRILLER:** DT **LOGGED BY:** GM  
**COMPLETION DEPTH:** 40.0 ft **DRILL RIG:** Marooka D-50 ATV - Rig #395  
**BENCHMARK:** N/A **DRILLING METHOD:** Hollow Stem Auger  
**ELEVATION:** 967.0 ft **SAMPLING METHOD:** 2-in SS  
**LATITUDE:** **HAMMER TYPE:** Automatic  
**LONGITUDE:** **EFFICIENCY:** N/A  
**STATION:** N/A **OFFSET:** N/A **REVIEWED BY:** \_\_\_\_\_  
**REMARKS:** \_\_\_\_\_

## BORING B-05

**Water**  
 ∇ While Drilling Not Obsvd  
 ▼ Upon Completion Not Obsvd  
 ▽ Delay N/A

**BORING LOCATION:** \_\_\_\_\_



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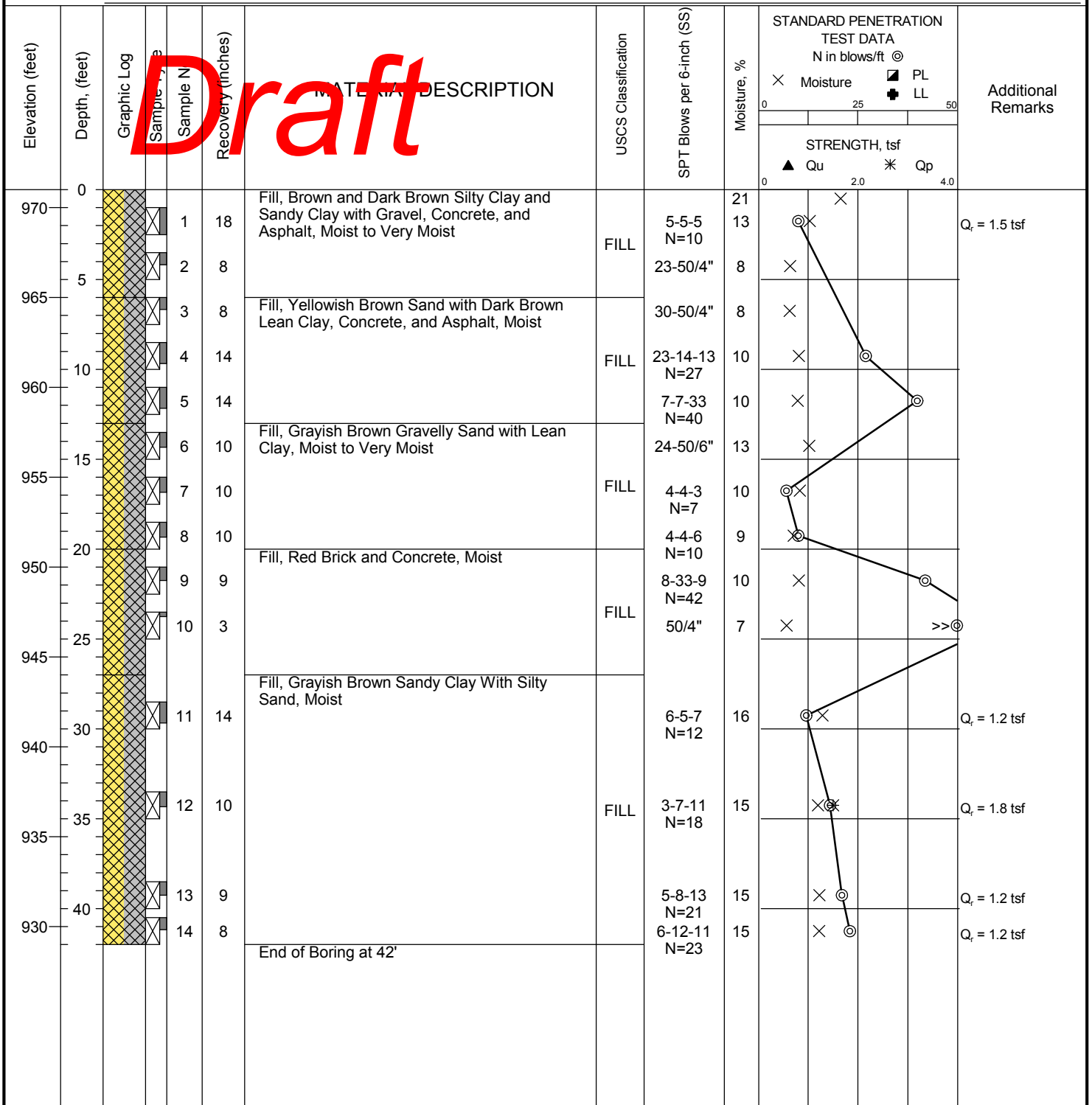
**PROJECT NO.:** 00522947  
**PROJECT:** Nine Springs Development  
**LOCATION:** County Rd MM  
 Fitchburg, WI

**DATE STARTED:** 3/21/22 **DRILL COMPANY:** PSI, Inc.  
**DATE COMPLETED:** 3/21/22 **DRILLER:** DT **LOGGED BY:** AW  
**COMPLETION DEPTH:** 42.0 ft **DRILL RIG:** Marooka D-50 ATV - Rig #395  
**BENCHMARK:** N/A **DRILLING METHOD:** Hollow Stem Auger  
**ELEVATION:** 971.0 ft **SAMPLING METHOD:** 2-in SS  
**LATITUDE:** **HAMMER TYPE:** Automatic  
**LONGITUDE:** **EFFICIENCY:** N/A  
**STATION:** N/A **OFFSET:** N/A **REVIEWED BY:** \_\_\_\_\_  
**REMARKS:**

## BORING B-06

**Water**  
 ∇ While Drilling Not Obsvd  
 ▼ Upon Completion Not Obsvd  
 ▽ Delay N/A

**BORING LOCATION:** \_\_\_\_\_



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 Telephone: (262) 521-2125

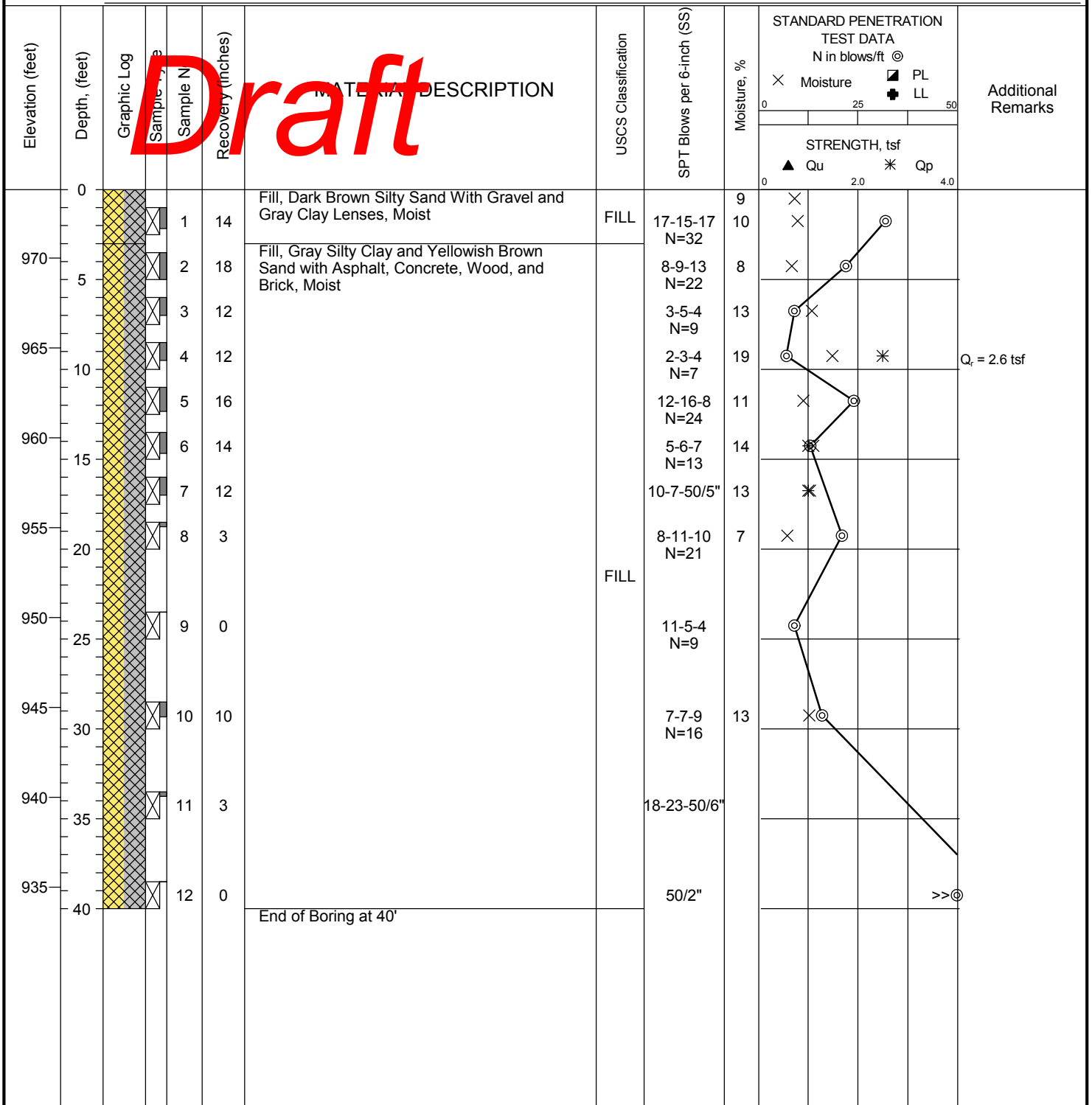
**PROJECT NO.:** 00522947  
**PROJECT:** Nine Springs Development  
**LOCATION:** County Rd MM  
 Fitchburg, WI

**DATE STARTED:** 3/25/22 **DRILL COMPANY:** PSI, Inc.  
**DATE COMPLETED:** 3/25/22 **DRILLER:** DT **LOGGED BY:** AW  
**COMPLETION DEPTH:** 40.0 ft **DRILL RIG:** Marooka D-50 ATV - Rig #395  
**BENCHMARK:** N/A **DRILLING METHOD:** Hollow Stem Auger  
**ELEVATION:** 973.8 ft **SAMPLING METHOD:** 2-in SS  
**LATITUDE:** **HAMMER TYPE:** Automatic  
**LONGITUDE:** **EFFICIENCY:** N/A  
**STATION:** N/A **OFFSET:** N/A **REVIEWED BY:** \_\_\_\_\_  
**REMARKS:**

## BORING B-07

<b>Water</b>	▽	While Drilling	Not Obsvd
	▼	Upon Completion	Not Obsvd
	▽	Delay	N/A

**BORING LOCATION:** \_\_\_\_\_



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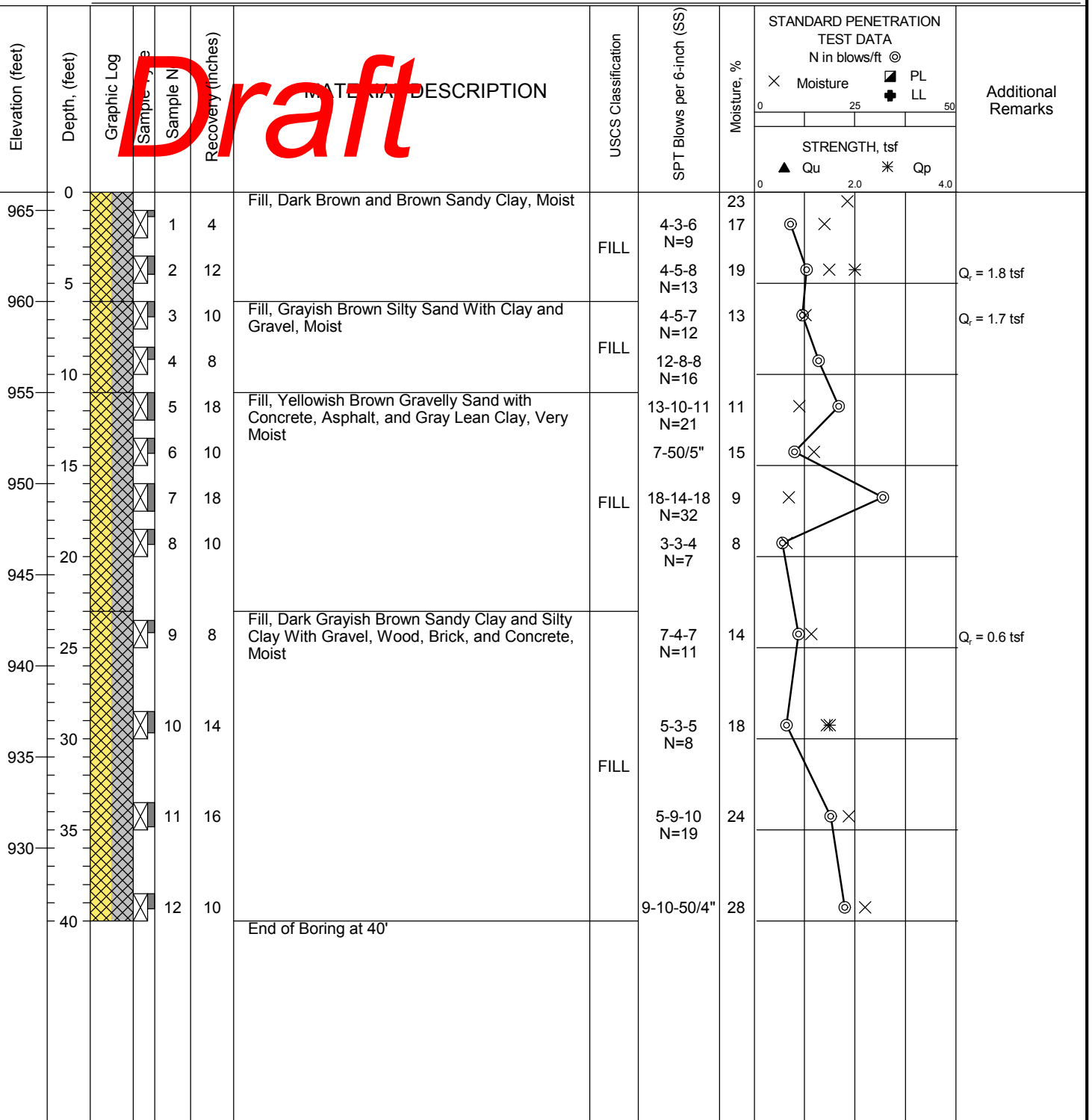
**PROJECT NO.:** 00522947  
**PROJECT:** Nine Springs Development  
**LOCATION:** County Rd MM  
 Fitchburg, WI

**DATE STARTED:** 3/25/22 **DRILL COMPANY:** PSI, Inc.  
**DATE COMPLETED:** 3/25/22 **DRILLER:** DT **LOGGED BY:** AW  
**COMPLETION DEPTH:** 40.0 ft **DRILL RIG:** Marooka D-50 ATV - Rig #395  
**BENCHMARK:** N/A **DRILLING METHOD:** Hollow Stem Auger  
**ELEVATION:** 966.0 ft **SAMPLING METHOD:** 2-in SS  
**LATITUDE:** **HAMMER TYPE:** Automatic  
**LONGITUDE:** **EFFICIENCY:** N/A  
**STATION:** N/A **OFFSET:** N/A **REVIEWED BY:**

## BORING B-08

<b>Water</b>	▽	While Drilling	Not Obsvd
	▼	Upon Completion	Not Obsvd
	▽	Delay	N/A

**BORING LOCATION:** \_\_\_\_\_



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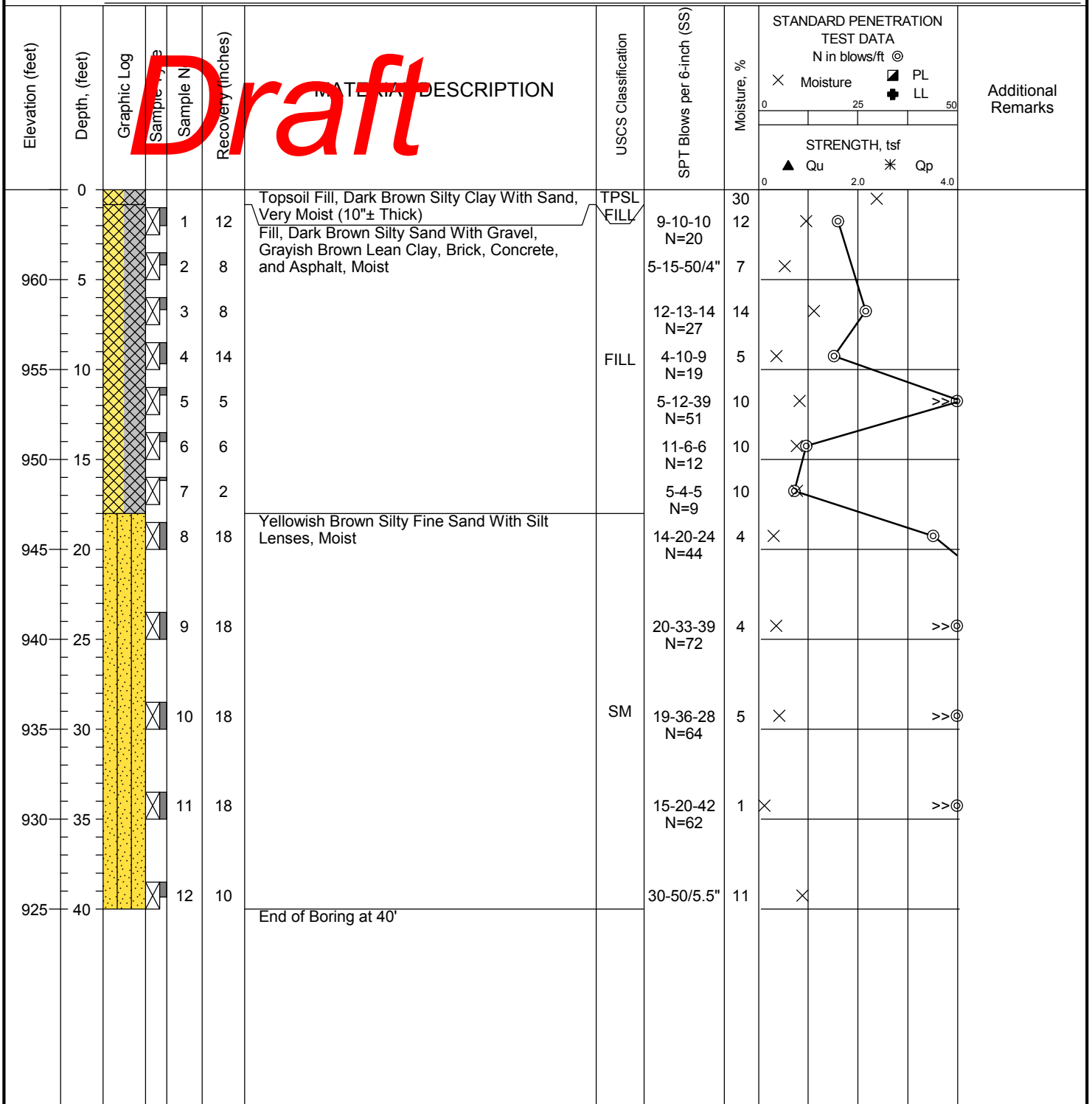
**PROJECT NO.:** 00522947  
**PROJECT:** Nine Springs Development  
**LOCATION:** County Rd MM  
 Fitchburg, WI

**DATE STARTED:** 3/21/22 **DRILL COMPANY:** PSI, Inc.  
**DATE COMPLETED:** 3/21/22 **DRILLER:** DT **LOGGED BY:** AW  
**COMPLETION DEPTH:** 40.0 ft **DRILL RIG:** Marooka D-50 ATV - Rig #395  
**BENCHMARK:** N/A **DRILLING METHOD:** Hollow Stem Auger  
**ELEVATION:** 965.0 ft **SAMPLING METHOD:** 2-in SS  
**LATITUDE:** **HAMMER TYPE:** Automatic  
**LONGITUDE:** **EFFICIENCY:** N/A  
**STATION:** N/A **OFFSET:** N/A **REVIEWED BY:** \_\_\_\_\_  
**REMARKS:**

## BORING B-09

**Water**  
 ∇ While Drilling Not Obsvd  
 ▼ Upon Completion Not Obsvd  
 ▽ Delay N/A

**BORING LOCATION:** \_\_\_\_\_



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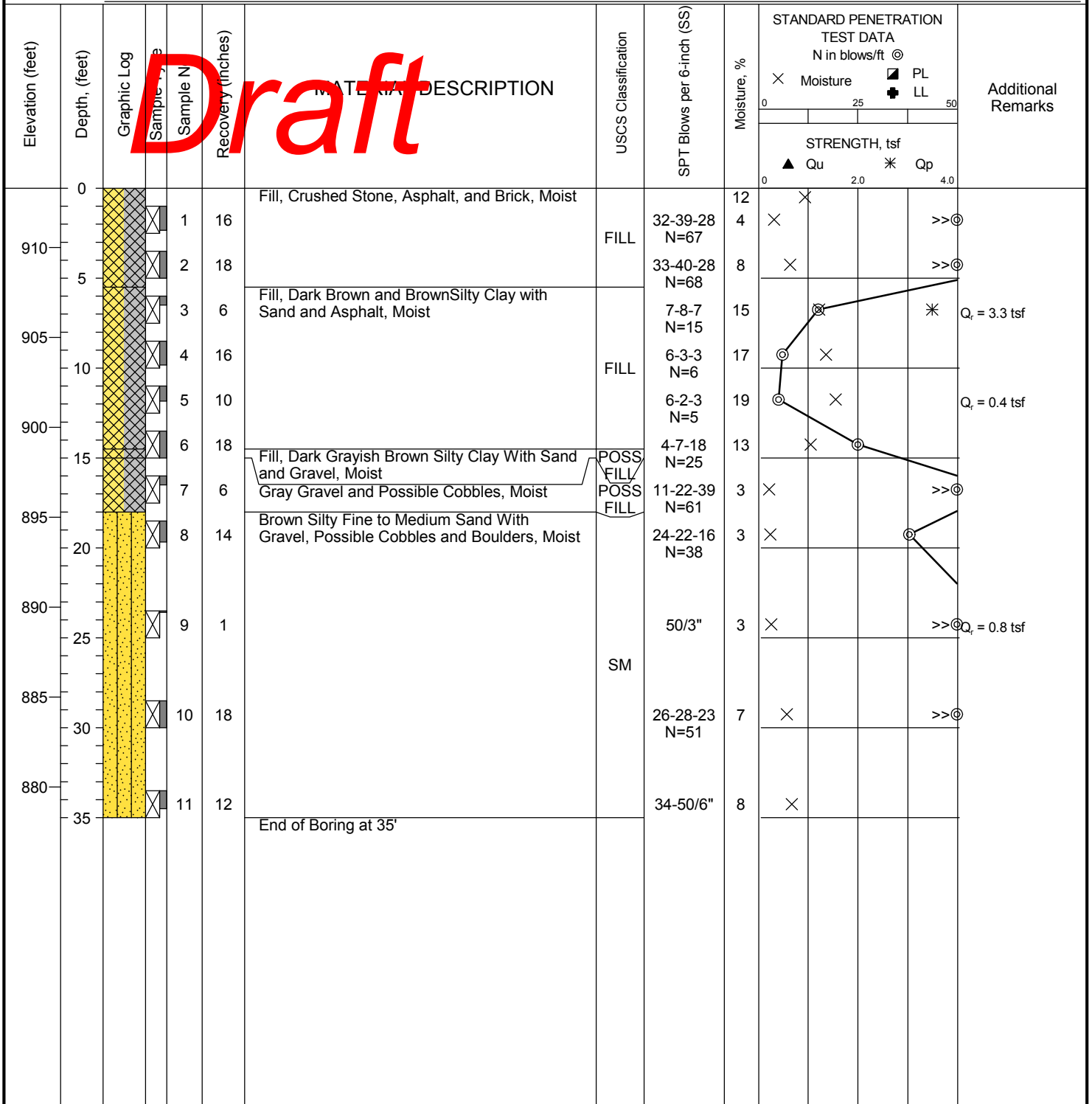
**PROJECT NO.:** 00522947  
**PROJECT:** Nine Springs Development  
**LOCATION:** County Rd MM  
 Fitchburg, WI

DATE STARTED: 3/16/22  
 DATE COMPLETED: 3/16/22  
 COMPLETION DEPTH: 35.0 ft  
 BENCHMARK: N/A  
 ELEVATION: 913.3 ft  
 LATITUDE:  
 LONGITUDE:  
 STATION: N/A OFFSET: N/A  
 REMARKS:

DRILL COMPANY: PSI, Inc.  
 DRILLER: PR LOGGED BY: AW  
 DRILL RIG: Diedrich HD D-50 ATV - Rig #419  
 DRILLING METHOD: Hollow Stem Auger  
 SAMPLING METHOD: 2-in SS  
 HAMMER TYPE: Automatic  
 EFFICIENCY: N/A  
 REVIEWED BY:

BORING B-10			
Water	▽	While Drilling	Not Obsvd
	▼	Upon Completion	Not Obsvd
	▽	Delay	N/A

BORING LOCATION:



Professional Service Industries, Inc.  
 821 Corporate Court, Suite 100  
 Waukesha, WI 53189  
 Telephone: (262) 521-2125

PROJECT NO.: 00522947  
 PROJECT: Nine Springs Development  
 LOCATION: County Rd MM  
 Fitchburg, WI

## GENERAL NOTES

### SAMPLE IDENTIFICATION

The Unified Soil Classification System (USCS), AASHTO 1988 and ASTM designations D2487 and D-2488 are used to identify the encountered materials unless otherwise noted. Coarse-grained soils are defined as having more than 50% of their dry weight retained on a #200 sieve (0.075mm); they are described as: boulders, cobbles, gravel or sand. Fine-grained soils have less than 50% of their dry weight retained on a #200 sieve; they are defined as silts or clay depending on their Atterberg Limit attributes. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size.

### DRILLING AND SAMPLING SYMBOLS

SFA: Solid Flight Auger - typically 4" diameter flights, except where noted.	☒ SS: Split-Spoon - 1 3/8" I.D., 2" O.D., except where noted.
HSA: Hollow Stem Auger - typically 3 1/4" or 4 1/4" I.D. openings, except where noted.	■ ST: Shelby Tube - 3" O.D., except where noted.
M.R.: Mud Rotary - Uses a rotary head with Bentonite or Polymer Slurry	▮ RC: Rock Core
R.C.: Diamond Bit Core Sampler	⬇ TC: Texas Cone
H.A.: Hand Auger	☞ BS: Bulk Sample
P.A.: Power Auger - Handheld motorized auger	☒ PM: Pressuremeter
	CPT-U: Cone Penetrometer Testing with Pore-Pressure Readings

### SOIL PROPERTY SYMBOLS

N: Standard "N" penetration: Blows per foot of a 140 pound hammer falling 30 inches on a 2-inch O.D. Split-Spoon.
N <sub>60</sub> : A "N" penetration value corrected to an equivalent 60% hammer energy transfer efficiency (ETR)
Q <sub>u</sub> : Unconfined compressive strength, TSF
Q <sub>p</sub> : Pocket penetrometer value, unconfined compressive strength, TSF
w%: Moisture/water content, %
LL: Liquid Limit, %
PL: Plastic Limit, %
PI: Plasticity Index = (LL-PL),%
DD: Dry unit weight, pcf
▼, ▼, ▼ Apparent groundwater level at time noted

### RELATIVE DENSITY OF COARSE-GRAINED SOILS

<u>Relative Density</u>	<u>N - Blows/foot</u>
Very Loose	0 - 4
Loose	4 - 10
Medium Dense	10 - 30
Dense	30 - 50
Very Dense	50 - 80
Extremely Dense	80+

### ANGULARITY OF COARSE-GRAINED PARTICLES

<u>Description</u>	<u>Criteria</u>
Angular:	Particles have sharp edges and relatively plane sides with unpolished surfaces
Subangular:	Particles are similar to angular description, but have rounded edges
Subrounded:	Particles have nearly plane sides, but have well-rounded corners and edges
Rounded:	Particles have smoothly curved sides and no edges

### GRAIN-SIZE TERMINOLOGY

<u>Component</u>	<u>Size Range</u>
Boulders:	Over 300 mm (>12 in.)
Cobbles:	75 mm to 300 mm (3 in. to 12 in.)
Coarse-Grained Gravel:	19 mm to 75 mm (¾ in. to 3 in.)
Fine-Grained Gravel:	4.75 mm to 19 mm (No.4 to ¾ in.)
Coarse-Grained Sand:	2 mm to 4.75 mm (No.10 to No.4)
Medium-Grained Sand:	0.42 mm to 2 mm (No.40 to No.10)
Fine-Grained Sand:	0.075 mm to 0.42 mm (No. 200 to No.40)
Silt:	0.005 mm to 0.075 mm
Clay:	<0.005 mm

### PARTICLE SHAPE

<u>Description</u>	<u>Criteria</u>
Flat:	Particles with width/thickness ratio > 3
Elongated:	Particles with length/width ratio > 3
Flat & Elongated:	Particles meet criteria for both flat and elongated

### RELATIVE PROPORTIONS OF FINES

<u>Descriptive Term</u>	<u>% Dry Weight</u>
Trace:	< 5%
With:	5% to 12%
Modifier:	>12%

## GENERAL NOTES

(Continued)

### CONSISTENCY OF FINE-GRAINED SOILS

<u>Q<sub>u</sub> - TSF</u>	<u>N - Blows/foot</u>	<u>Consistency</u>
0 - 0.25	0 - 2	Very Soft
0.25 - 0.50	2 - 4	Soft
0.50 - 1.00	4 - 8	Firm (Medium Stiff)
1.00 - 2.00	8 - 15	Stiff
2.00 - 4.00	15 - 30	Very Stiff
4.00 - 8.00	30 - 50	Hard
8.00+	50+	Very Hard

### MOISTURE CONDITION DESCRIPTION

<u>Description</u>	<u>Criteria</u>
Dry:	Absence of moisture, dusty, dry to the touch
Moist:	Damp but no visible water
Wet:	Visible free water, usually soil is below water table

### RELATIVE PROPORTIONS OF SAND AND GRAVEL

<u>Descriptive Term</u>	<u>% Dry Weight</u>
Trace:	< 15%
With:	15% to 30%
Modifier:	>30%

### STRUCTURE DESCRIPTION

<u>Description</u>	<u>Criteria</u>	<u>Description</u>	<u>Criteria</u>
Stratified:	Alternating layers of varying material or color with layers at least ¼-inch (6 mm) thick	Blocky:	Cohesive soil that can be broken down into small angular lumps which resist further breakdown
Laminated:	Alternating layers of varying material or color with layers less than ¼-inch (6 mm) thick	Lensed:	Inclusion of small pockets of different soils
Fissured:	Breaks along definite planes of fracture with little resistance to fracturing	Layer:	Inclusion greater than 3 inches thick (75 mm)
Slickensided:	Fracture planes appear polished or glossy, sometimes striated	Seam:	Inclusion 1/8-inch to 3 inches (3 to 75 mm) thick extending through the sample
		Parting:	Inclusion less than 1/8-inch (3 mm) thick

### SCALE OF RELATIVE ROCK HARDNESS

<u>Q<sub>u</sub> - TSF</u>	<u>Consistency</u>
2.5 - 10	Extremely Soft
10 - 50	Very Soft
50 - 250	Soft
250 - 525	Medium Hard
525 - 1,050	Moderately Hard
1,050 - 2,600	Hard
>2,600	Very Hard

### ROCK BEDDING THICKNESSES

<u>Description</u>	<u>Criteria</u>
Very Thick Bedded	Greater than 3-foot (>1.0 m)
Thick Bedded	1-foot to 3-foot (0.3 m to 1.0 m)
Medium Bedded	4-inch to 1-foot (0.1 m to 0.3 m)
Thin Bedded	1¼-inch to 4-inch (30 mm to 100 mm)
Very Thin Bedded	½-inch to 1¼-inch (10 mm to 30 mm)
Thickly Laminated	1/8-inch to ½-inch (3 mm to 10 mm)
Thinly Laminated	1/8-inch or less "paper thin" (<3 mm)

### ROCK VOIDS

<u>Voids</u>	<u>Void Diameter</u>
Pit	<6 mm (<0.25 in)
Vug	6 mm to 50 mm (0.25 in to 2 in)
Cavity	50 mm to 600 mm (2 in to 24 in)
Cave	>600 mm (>24 in)

### GRAIN-SIZED TERMINOLOGY

(Typically Sedimentary Rock)

<u>Component</u>	<u>Size Range</u>
Very Coarse Grained	>4.76 mm
Coarse Grained	2.0 mm - 4.76 mm
Medium Grained	0.42 mm - 2.0 mm
Fine Grained	0.075 mm - 0.42 mm
Very Fine Grained	<0.075 mm

### ROCK QUALITY DESCRIPTION

<u>Rock Mass Description</u>	<u>RQD Value</u>
Excellent	90 - 100
Good	75 - 90
Fair	50 - 75
Poor	25 - 50
Very Poor	Less than 25

### DEGREE OF WEATHERING

Slightly Weathered:	Rock generally fresh, joints stained and discoloration extends into rock up to 25 mm (1 in), open joints may contain clay, core rings under hammer impact.
Weathered:	Rock mass is decomposed 50% or less, significant portions of the rock show discoloration and weathering effects, cores cannot be broken by hand or scraped by knife.
Highly Weathered:	Rock mass is more than 50% decomposed, complete discoloration of rock fabric, core may be extremely broken and gives clunk sound when struck by hammer, may be shaved with a knife.

# SOIL CLASSIFICATION CHART

NOTE: DUAL SYMBOLS ARE USED TO INDICATE BORDERLINE SOIL CLASSIFICATIONS

MAJOR DIVISIONS			SYMBOLS		TYPICAL DESCRIPTIONS	
			GRAPH	LETTER		
COARSE GRAINED SOILS  MORE THAN 50% OF MATERIAL IS LARGER THAN NO. 200 SIEVE SIZE	GRAVEL AND GRAVELLY SOILS  (LITTLE OR NO FINES)	CLEAN GRAVELS		<b>GW</b>	WELL-GRADED GRAVELS, GRAVEL - SAND MIXTURES, LITTLE OR NO FINES	
				<b>GP</b>	POORLY-GRADED GRAVELS, GRAVEL - SAND MIXTURES, LITTLE OR NO FINES	
		GRAVELS WITH FINES		<b>GM</b>	SILTY GRAVELS, GRAVEL - SAND - SILT MIXTURES	
	MORE THAN 50% OF COARSE FRACTION RETAINED ON NO. 4 SIEVE	(APPRECIABLE AMOUNT OF FINES)			<b>GC</b>	CLAYEY GRAVELS, GRAVEL - SAND - CLAY MIXTURES
		SAND AND SANDY SOILS  (LITTLE OR NO FINES)	CLEAN SANDS		<b>SW</b>	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
						<b>SP</b>
	MORE THAN 50% OF COARSE FRACTION PASSING ON NO. 4 SIEVE	SANDS WITH FINES			<b>SM</b>	SILTY SANDS, SAND - SILT MIXTURES
			(APPRECIABLE AMOUNT OF FINES)		<b>SC</b>	CLAYEY SANDS, SAND - CLAY MIXTURES
		FINE GRAINED SOILS  MORE THAN 50% OF MATERIAL IS SMALLER THAN NO. 200 SIEVE SIZE	SILTS AND CLAYS  LIQUID LIMIT LESS THAN 50			<b>ML</b>
					<b>CL</b>	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
				<b>OL</b>	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY	
SILTS AND CLAYS  LIQUID LIMIT GREATER THAN 50				<b>MH</b>	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SAND OR SILTY SOILS	
				<b>CH</b>	INORGANIC CLAYS OF HIGH PLASTICITY	
				<b>OH</b>	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	
	HIGHLY ORGANIC SOILS			<b>PT</b>	PEAT, HUMUS, SWAMP SOILS WITH HIGH ORGANIC CONTENTS	

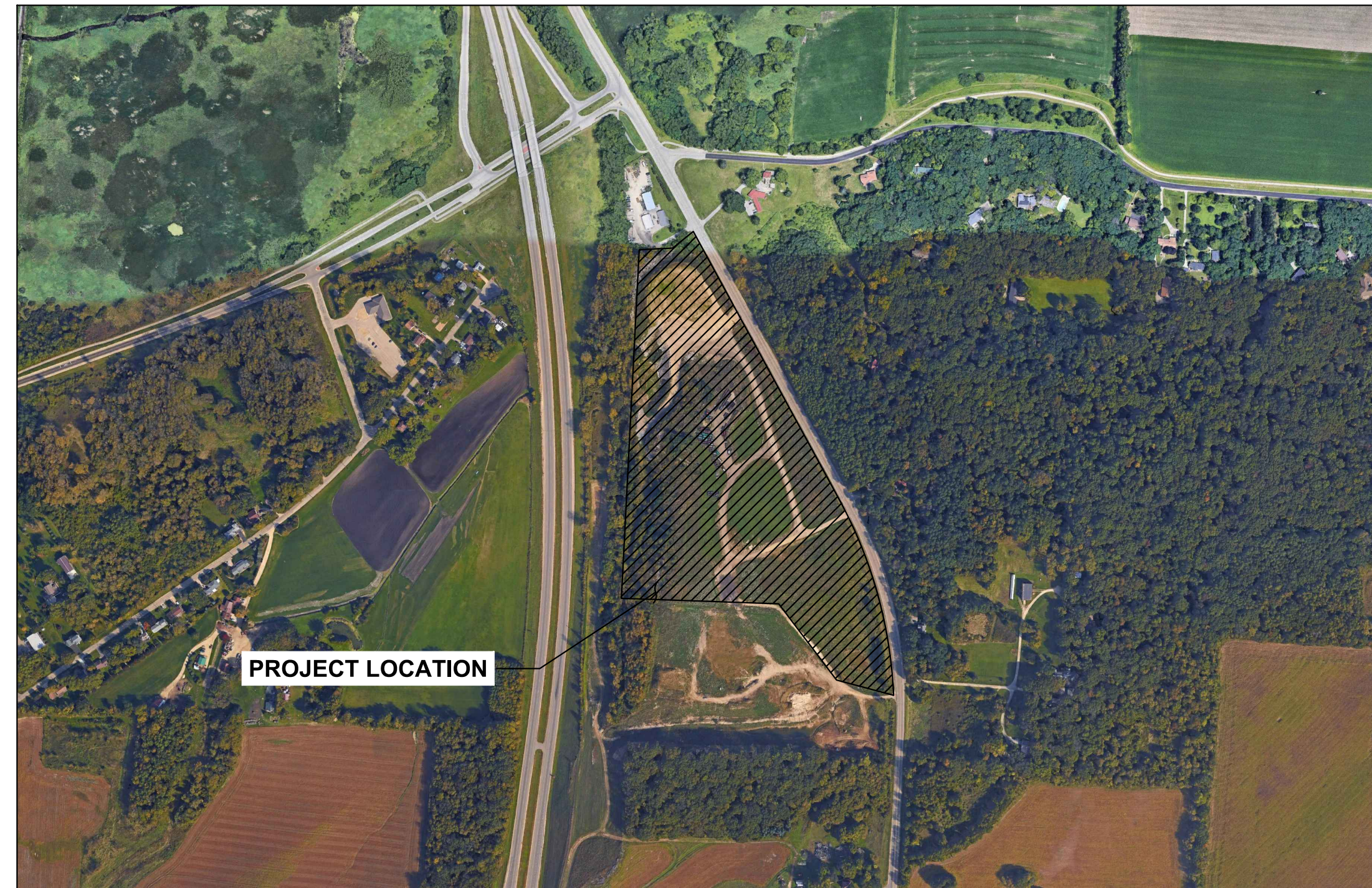
# NINE SPRINGS

## CITY OF FITCHBURG, WISCONSIN

NE1/4, SW 1/4, SECTION 01, TOWNSHIP 06 NORTH, RANGE 09 EAST

### DRAWING INDEX

C0.0	TITLE SHEET
C0.1	EXISTING CONDITIONS SURVEY
C1.0	NOTES
C1.1	NOTES & LEGEND
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	TYPICAL ROAD SECTIONS
C6.1	TYPICAL ROAD SECTIONS
C7.0	PLAN & PROFILE - STREET A
C7.1	PLAN & PROFILE - STREET A
C7.2	PLAN & PROFILE - STREET A
C7.3	PLAN & PROFILE - STREET A
C7.4	PLAN & PROFILE - STREET B
C7.5	PLAN & PROFILE - STREET B
C7.6	PLAN & PROFILE - STREET C
C8.0	DETAILS
C8.1	DETAILS
C8.2	STORMWATER DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	DETAILED LANDSCAPE PLAN
L1.2	DETAILED LANDSCAPE PLAN
L1.3	DETAILED LANDSCAPE PLAN
L1.4	DETAILED LANDSCAPE PLAN
L1.5	DETAILED LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS & NOTES



**PROJECT AREA**  
NOT TO SCALE



### PROJECT INFORMATION

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CLIENT ADDRESS:  
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MILWAUKEE, WI 53203**

**PRELIMINARY  
NOT FOR CONSTRUCTION**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	03.25.22	P-PLAT SUBMITTAL
2	04.12.22	RESPONSE TO P-PLAT COMMENTS
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MSS/CTD  
Reviewed By: ACG

Approved By:  
SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**C0.0**



**GENERAL NOTES:**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CITY SPECIFICATIONS).
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- SEE COUNTY HIGHWAY MM IMPROVEMENTS PLANS FOR WORK WITHIN CTH MM RIGHT OF WAY.

**DEMOLITION NOTES**

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE. "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- SAWCUT LOCATIONS SHOWN ON THE PLAN ARE SUBJECT TO ADJUSTMENT BY THE ENGINEER IN THE FIELD. THE LINE OF SUCH SAWCUTS WILL BE NEATLY DELINEATED THRU THE ASPHALT.

**GRADING AND SEEDING NOTES**

- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF FITCHBURG TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- IF GRADING ACTIVITIES CEASE ON ANY PORTION OF THE SITE FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED IN ACCORDANCE WITH CSECR NOTE 16.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE IN ACCORDANCE WITH CSECR NOTE 16.

**SITE PLAN NOTES**

- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF FITCHBURG.
- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF FITCHBURG ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY AECOM DATED 4/13/2018.
- SURFACE PREPARATION – NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS
  - CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
  - GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - CRUSHED AGGREGATE BASE COURSE – THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - BINDER COURSE AGGREGATE – THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
  - SURFACE COURSE AGGREGATE – THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
  - ASPHALTIC MATERIALS – THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS
  - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
  - CONTRACTOR SHALL PROVIDE 1/2" EXPANSION JOINTS IN SIDEWALKS AT ALL RAMP LOCATIONS, THROUGH DRIVEWAYS, AGAINST CURB & GUTTER, AT RADII, AND AT EVERY 200' OF SIDEWALK.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE TREATMENT
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
  - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
  - 2' x 5' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL SIDEWALK ADA RAMPS WITH 5' SIDEWALK AND 2' x 8' AT BIKE PATH.
  - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY EPOXY PAINT PER PAVEMENT MARKING PLAN AND CITY OF FITCHBURG SPECIFICATIONS.
  - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.

**UTILITY NOTES:**

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDNR.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN – AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF FITCHBURG SPECIAL PROVISIONS
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE MUNICIPAL WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL PRIVATE (NOT WITHIN R.O.W. OR PUBLIC EASEMENTS) SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- STORM SEWER SPECIFICATIONS –
  - PIPE – REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
  - INLETS – INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE. NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3087 WITH TYPE R GRATE, OR EQUAL.
  - BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
  - MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
  - FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES GROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
  - ALL PRIVATE (NOT WITHIN R.O.W. OR PUBLIC EASEMENTS) STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3. ALL PRIVATE (NOT WITHIN R.O.W. OR PUBLIC EASEMENTS) STORM PIPE SHALL CONFORM TO SPS 382.40(8)(B)4.A
- WATER MAIN SPECIFICATIONS –
  - PIPE – DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).
  - VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

- HYDRANTS – HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF FITCHBURG. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
- BEDDING AND COVER MATERIAL – PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH
- ALL PRIVATE (NOT WITHIN R.O.W. OR PUBLIC EASEMENTS) PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- SANITARY SEWER SPECIFICATIONS –
  - PIPE – SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
  - BEDDING AND COVER MATERIAL – BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
  - BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
  - MANHOLES – MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF FITCHBURG.
  - MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
  - ALL PRIVATE (NOT WITHIN R.O.W. OR PUBLIC EASEMENTS) PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
  - ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPERATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER CITY OF FITCHBURG SPECIFICATIONS.
  - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF FITCHBURG AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
  - ALL SANITARY SEWER PIPES WITHIN THE RIGHT-OF-WAY SHALL BE PVC PIPE CONFORMING TO ASTM SDR 26 SPECIFICATIONS.
  - ALL PUBLIC WATERMAIN TO MAINTAIN A 10-FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SEWER AND WATERMANS. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER, AND 6" MINIMUM VERTICAL SEPARATION WHERE WATER CROSSES OVER SEWER.
  - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND HYDROMULCHING.
  - ALL UTILITY CROSSINGS SHALL BE MADE PRIOR TO PROOF ROLLING AND PLACEMENT OF BASE COARSE.
  - HYDRANTS AND HYDRANT VALVES SHALL BE LOCATED WITHIN THE TERRACE.
  - WATER VALVES WITH MORE THAN 7 FOOT OF COVER ARE REQUIRED TO HAVE VALVE EXTENSIONS.
  - ALL SANITARY LATERALS SHALL BE INSTALLED AT 2.0% SLOPE.
  - WATER MAIN SHALL ONLY BE DEFLECTED AS SHOWN ON PLANS.
  - SCOTCH MARKER BALL MARKERS ARE REQUIRED ABOVE SANITARY LATERAL AT EVERY HORIZONTAL BEND AND WITHIN 2' FROM RIGHT-OF-WAY. MARKERS SHALL BE PLACED 3.5' TO 4.5' FROM FINAL SURFACE.
  - PUBLIC SANITARY SEWER SHOWN ON SHEETS C8.13-C8.17 SHALL COMPLY WITH THE FOLLOWING: TRENCH SHALL BE EXCAVATED TO NATIVE SOILS AND BACKFILLED WITH SELECT GRANULAR FILL COMPACTED PER CITY OF FITCHBURG SPECIFICATIONS. IF NATIVE SOILS ARE NOT ENCOUNTERED WITHIN 3 FEET BELOW INVERT OF PROPOSED PIPE, PIPE SHALL BE INSTALLED AT 1.0% MINIMUM SLOPE WITH GEGRID REINFORCEMENT CONFORMING TO UTILITY TRENCH DETAIL ON SHEET C6.1. CONTRACTOR SHALL NOTIFY ENGINEER IF NATIVE SOILS ARE NOT ENCOUNTERED DURING TRENCH EXCAVATION.
  - TRANSFORMER PADS SHALL CONFORM TO UTILITY OWNER DETAILS AND SPECIFICATIONS.
  - TRANSFORMER AND ELECTRIC UTILITY CONDUITS LOCATIONS ARE CONCEPTUAL AND SHALL BE COORDINATED WITH THE UTILITY (MGE)



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MILWAUKEE, WI 53203**

PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	03.25.22	P-PLAT SUBMITTAL
2	04.12.22	RESPONSE TO P-PLAT COMMENTS
3		
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Designed By: MSS/CTD  
Reviewed by: ACG

Approved By:

SHEET TITLE:

**NOTES**

SHEET NUMBER:

**C1.0**

JSD PROJECT NO: 21-10566



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**CONSTRUCTION SEQUENCING**

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. ROUGH GRADE WET POND AND INSTALL POND OUTLET.
4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
8. RESTORE WET POND (FINAL GRADE RETENTION POND PER PLAN REQUIREMENTS)
9. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**STORMWATER FACILITIES CONSTRUCTION NOTES**

1. ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
3. AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
5. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
7. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.

**GRADING AND SEEDING NOTES**

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
8. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
10. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF FITCHBURG ORDINANCE.
11. **NON-PRAIRIE GRASS SEEDED SLOPES: ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE A URBAN EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE C EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.**
12. **REFER TO LANDSCAPE DETAILS, NOTES AND SPECIFICATIONS FOR STABILIZATION SPECIFICATIONS WITHIN PRAIRIE SEED MIX AREAS.**

**SITE EROSION CONTROL REQUIREMENTS NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://dnr.wi.gov/topic/stormwater/>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS AND ARE APPROVED BY CITY OF FITCHBURG ENGINEER.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. TEMPORARY SEDIMENT BASINS SHALL BE REMOVED AND THE WET BASIN, BIORETENTION BASINS, AND SEDIMENT BASIN SHALL BE INSTALLED ONCE A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED. COVER SHOULD BE ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED INCLUDING CONSTRUCTION OF THE WET BASIN, BIORETENTION BASINS, AND SEDIMENT BASIN.
7. INSTALL A TRACKING PAD, 50' LONG, 24' WIDE, AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
9. INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDNR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 1063. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
10. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
11. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
15. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
16. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
17. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF FITCHBURG.
18. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
19. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
20. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
20. **STABILIZATION PRACTICES:**
  - 20.1. \* STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - \* THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS) IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
  - 20.2. \* STABILIZATION MEASURES WITHIN PUBLIC R.O.W. SHALL CONFORM TO CITY OF FITCHBURG SPECIFICATIONS. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
    - \* PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
    - \* TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
    - \* HYDRO-MULCHING WITH A TACKIFIER
    - \* GEOTEXTILE EROSION MATTING
    - \* SODDING
  - 20.3.
  - 20.4.

**SIGNAGE AND LIGHTING NOTES:**

1. ALL SIGNS SHALL HAVE PREMIUM PROTECTIVE OVERLAY FILM; 3M SERIES 1160
2. ALL SIGN MATERIALS SHALL BE DIAMOND GRADE
3. REFER TO THE LIGHTING SPECIFICATIONS FOR FIXTURE CUT SHEETS.

**TRAFFIC CONTROL**

1. WORK IN THE CTH MM RIGHT OF WAY SHALL BE COORDINATED WITH THE CTH MM IMPROVEMENTS WORK.
2. TEMPORARY TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MUTCD AND WISDOT STANDARD DETAILS.
3. TEMPORARY LANE CLOSURES SHALL BE REPORTED TO THE CITY OF FITCHBURG POLICE DEPARTMENT, DANE COUNTY HIGHWAY DEPARTMENT AND DANE COUNTY SHERIFF A MINIMUM OF 72 HOURS PRIOR.

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	BUILDING SETBACK LINE
	PAVEMENT SETBACK LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	8" CONCRETE RIBBON CURB
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	GRADE BREAK
	STORMWATER MANAGEMENT AREA
	RETAINING WALL
	BOULDER WALL
	RAILING
	FENCE
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	FLAG POLE
	BOLLARD
	BOLLARD WITH ADA PARKING SIGN
	BIKE RACK
	TREE REMOVAL
	SHRUB REMOVAL
	SAWCUT EXISTING PAVEMENT
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	8'x4'x4" INSULATION (PLAN VIEW)
	8'x4'x4" INSULATION (PROFILE VIEW)
	SILT FENCE
	RIP-RAP
	CONSTRUCTION ENTRANCE
	EROSION MATTING
	TURF REINFORCEMENT MATTING
	SPOT ELEVATION
	EP - EDGE OF PAVEMENT
	FG - FINISH GRADE
	EC - EDGE OF CONCRETE
	BOC - BACK OF CURB
	MATCH - MATCH EXISTING GRADE
	HP - HIGH POINT
	SW - SIDEWALK
	FG: XXX.XX
	DITCH CHECK
	INLET PROTECTION
	DEMOLITION - REMOVAL OF STORM PIPE
	DEMOLITION - REMOVAL OF GRAVEL SURFACES
	DEMOLITION - REMOVAL OF FENCE
	DEMOLITION - REMOVAL OF TREES AND UNDERGROWTH
	TREE REMOVAL



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PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

PLAN MODIFICATIONS:

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1	03.25.22	P-PLAT SUBMITTAL
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Designed By: MSS/CTD  
Reviewed By: ACG  
Approved By:

SHEET TITLE:  
**NOTES & LEGEND**

SHEET NUMBER:  
**C1.1**

JSD PROJECT NO: 21-10566



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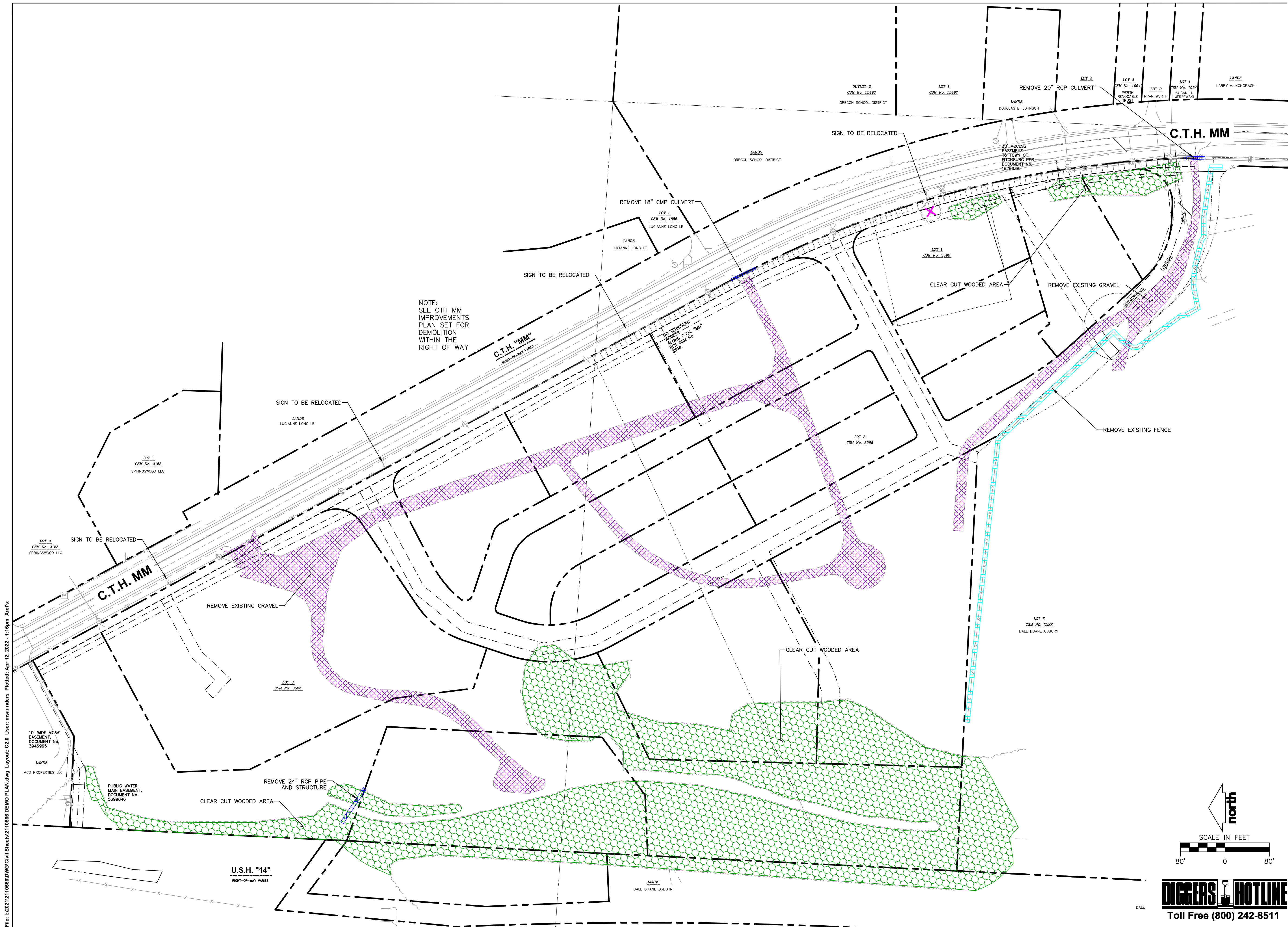
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Designed By: MSS/CTD  
Reviewed By: ACG

Approved By:  
SHEET TITLE:  
**DEMOLITION PLAN**

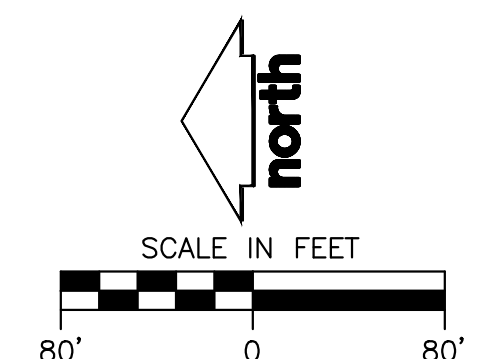
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**C2.0**

JSD PROJECT NO: 21-10566



NOTE:  
SEE CTH MM  
IMPROVEMENTS  
PLAN SET FOR  
DEMOLITION  
WITHIN THE  
RIGHT OF WAY

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Reviewed By: ACG

Approved By:

SHEET TITLE:  
**SITE PLAN**

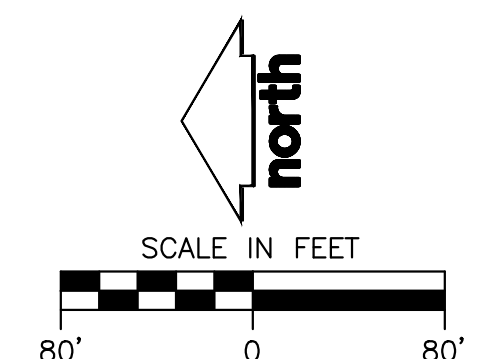
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JSD PROJECT NO: 21-10566



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Designed By: MSS/CTD  
Reviewed By: ACG

Approved By:

SHEET TITLE:

**GRADING PLAN**

SHEET NUMBER:

**C4.0**

JSD PROJECT NO: 21-10566



**PRELIMINARY  
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CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
MILWAUKEE, WI 53203**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	03.25.22	P-PLAT SUBMITTAL
2	04.12.22	RESPONSE TO P-PLAT COMMENTS
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Designed By: MSS/CTD  
Reviewed By: ACG

Approved By:

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:

**C5.0**

JSD PROJECT NO: 21-10566



**PRELIMINARY  
NOT FOR CONSTRUCTION**

File: I:\2021\2110566\DWG\Civil Sheets\2110566 Con Docs.dwg Layout: C5.0 User: msauanders Plotted: Apr 12, 2022 1:35pm Xrefs:

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CLIENT:  
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PROJECT:  
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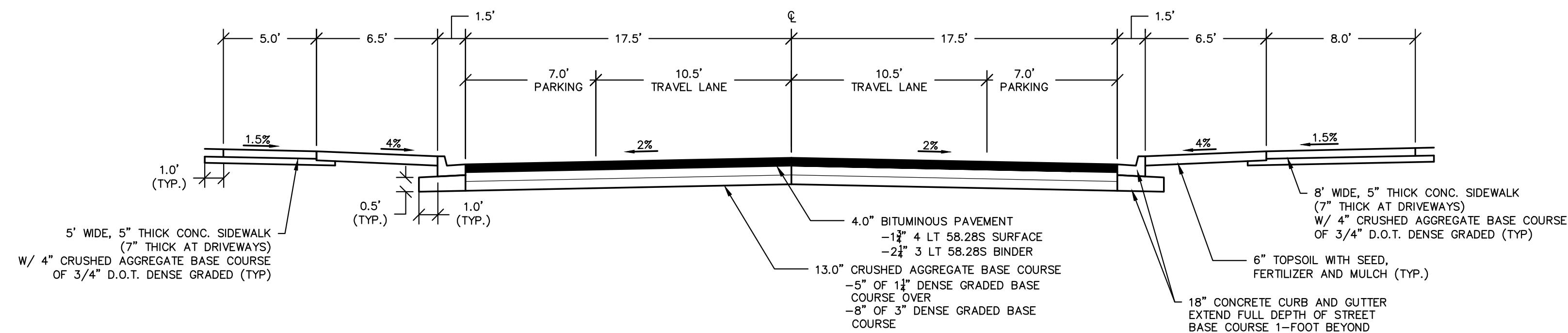
Designed By: MSS/CTD  
Reviewed By: ACG  
Approved By:

SHEET TITLE:  
**TYPICAL ROAD SECTIONS**

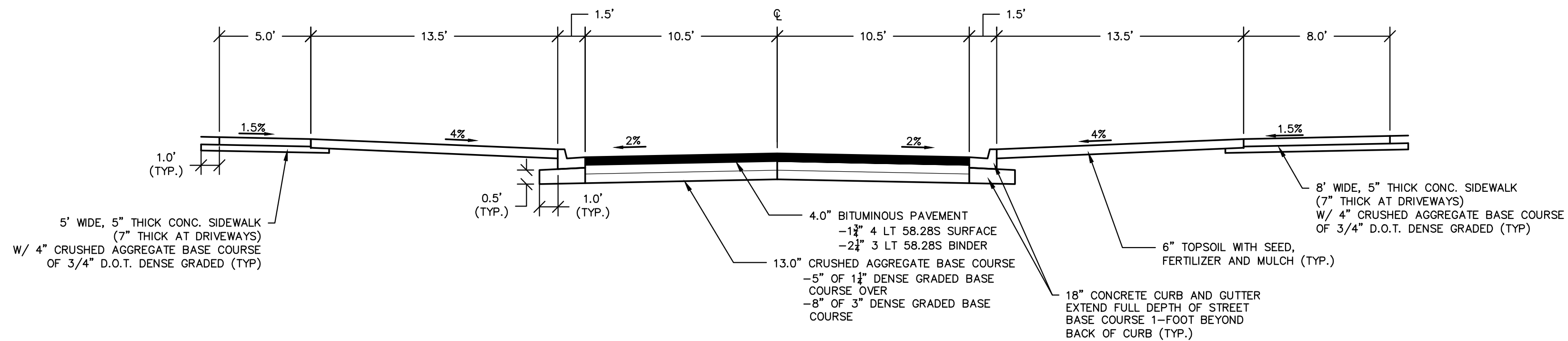
SHEET NUMBER:  
**C6.0**

JSD PROJECT NO: 21-10566

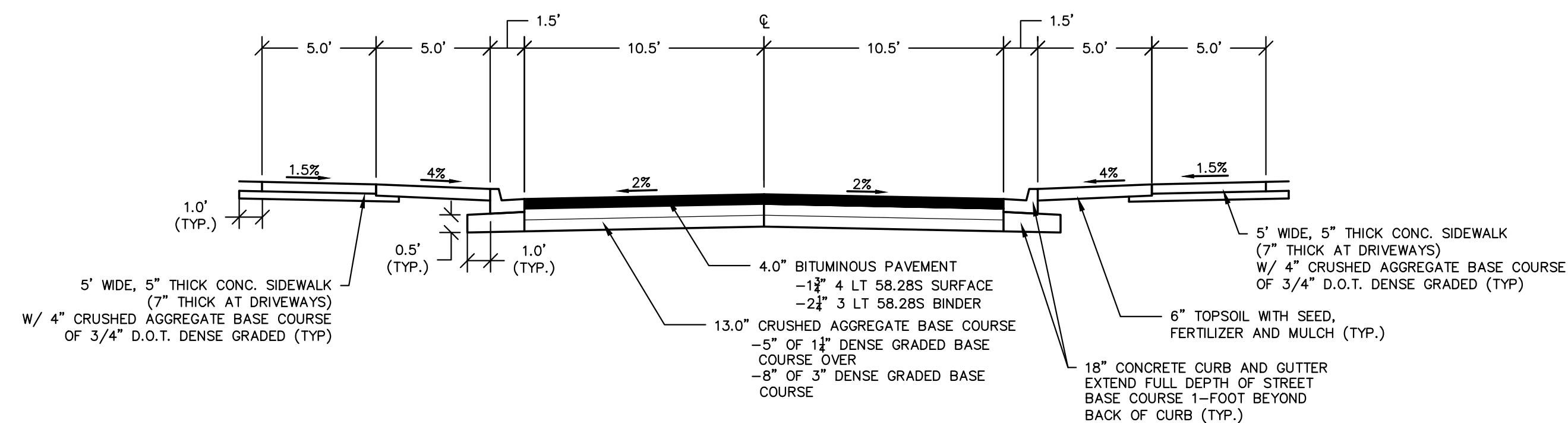
- NOTE:
- SEE TYPICAL FINISHED SECTION W/ UTILITY TRENCH SHEET C6.1 FOR GEOGRID PLACEMENT.
  - WHERE STORM SEWER IS THE ONLY UTILITY TO BE CONSTRUCTED OR NO UTILITIES ARE TO BE INSTALLED UNDER PAVEMENT, AREAS OUTSIDE OF UTILITY TRENCH GEOGRID SHALL BE PLACED A MINIMUM OF 4 FEET BELOW FINISHED GRADE AND BACKFILLED WITH SELECT IMPORTED FILL, GRANULAR MATERIAL.



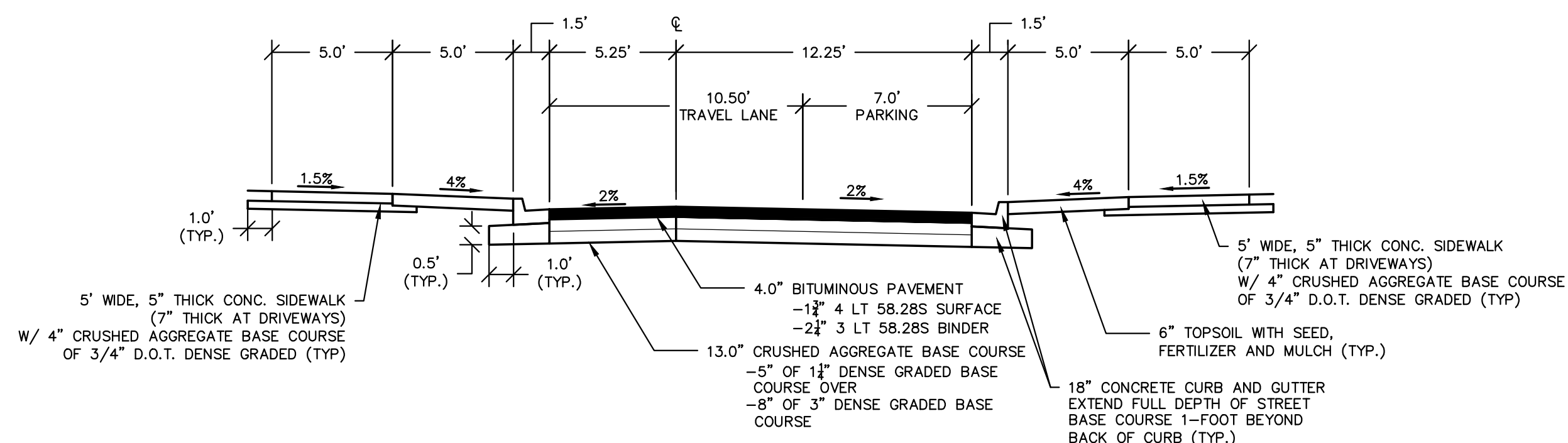
**TYPICAL FINISHED SECTION**  
STREET A STA: 105+76 – 107+87; 110+18 – 112+55; 113+65 – 116+74



**TYPICAL FINISHED SECTION**  
STREET A STA: 103+67.02 – 104+18; 109+22 – 109+56; 112+99 – 113+22



**TYPICAL FINISHED SECTION**  
STREET B (TWO WAY) STA: 25+47 – 27+23



**TYPICAL FINISHED SECTION**  
STREET B STA (ONE WAY): 27+42 – 30+30; 31+06 – 33+76



PLAN MODIFICATIONS:

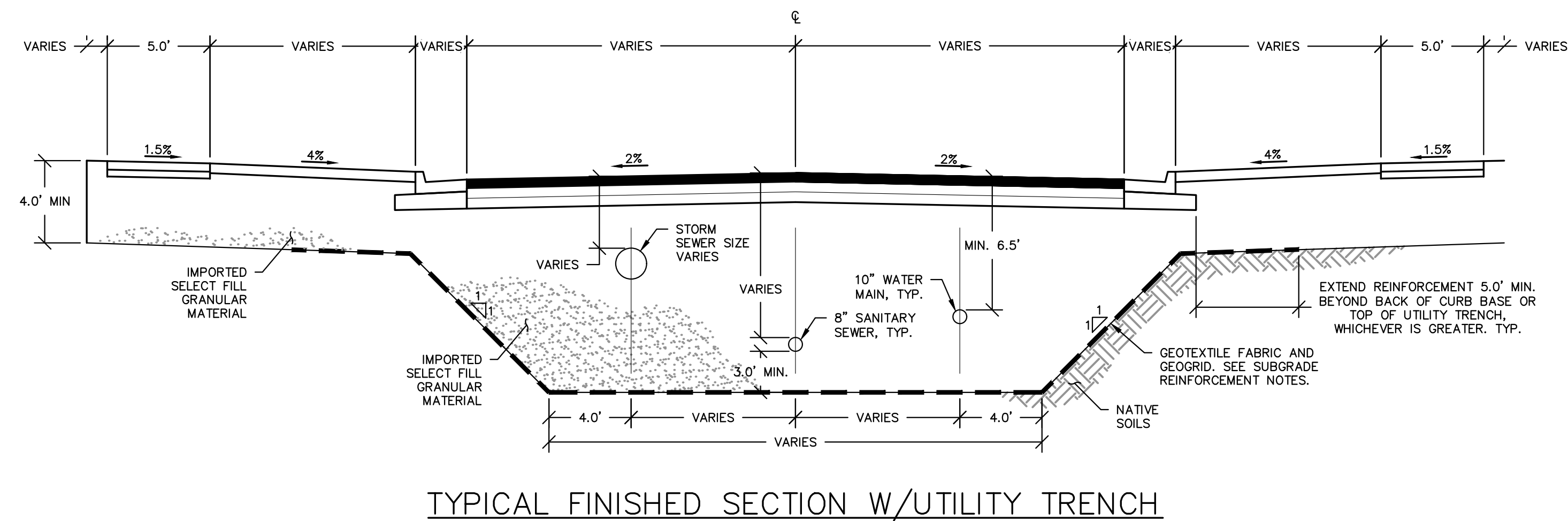
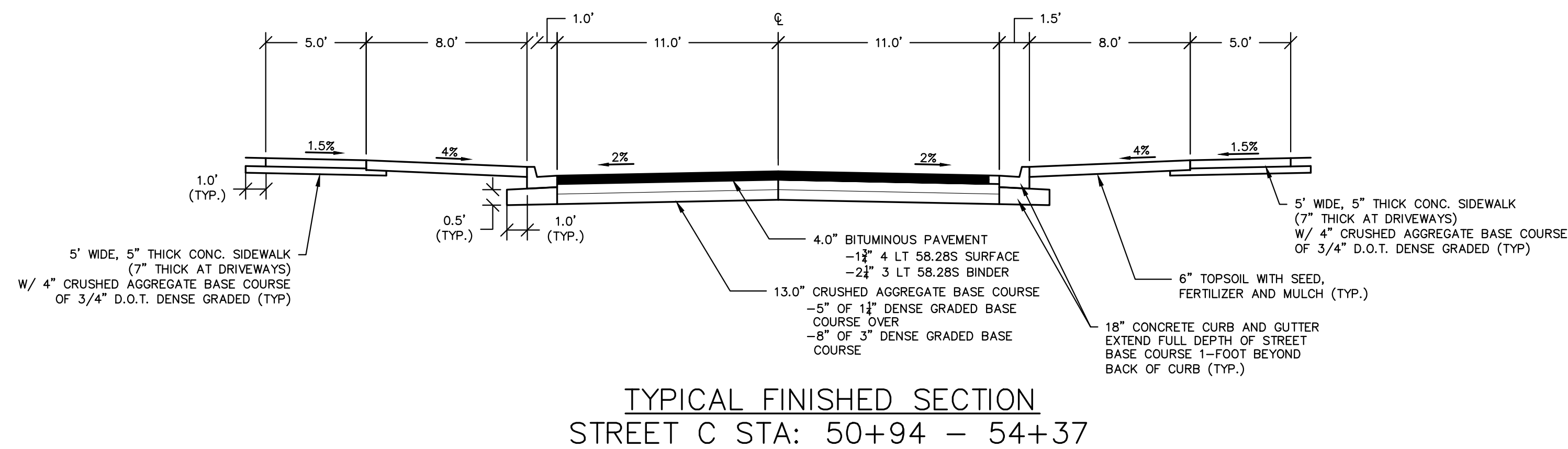
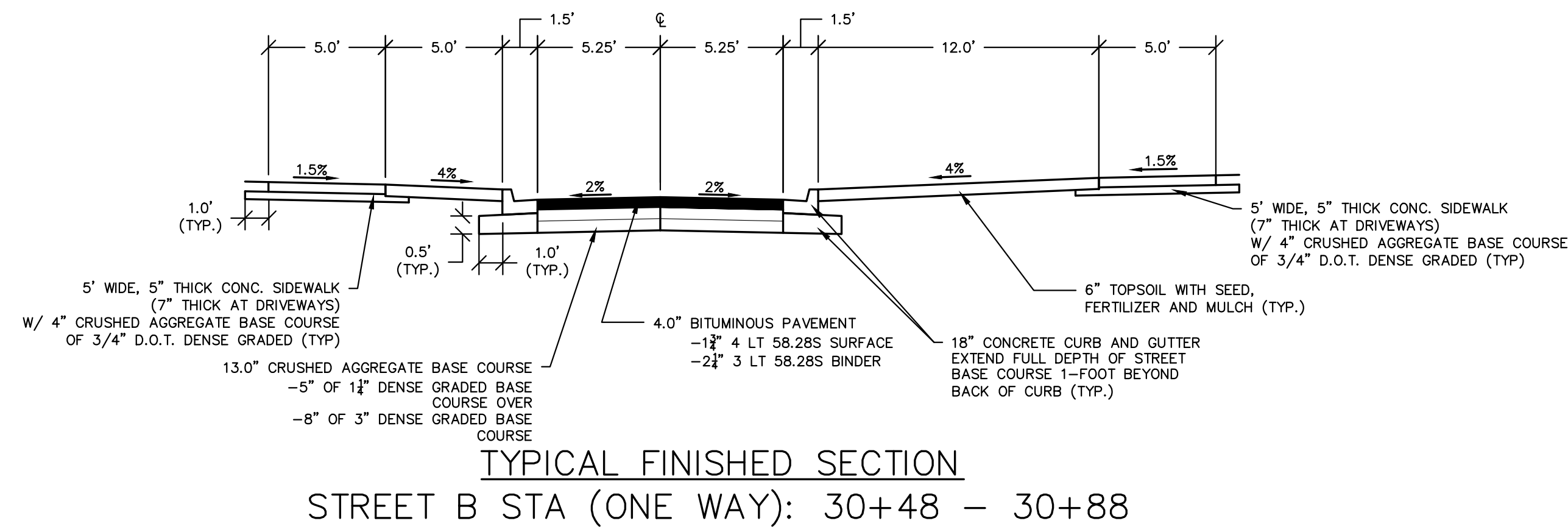
#	Date:	Description:
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Designed By: MSS/CTD  
Reviewed By: ACG  
Approved By:

SHEET TITLE:  
**TYPICAL ROAD SECTIONS**

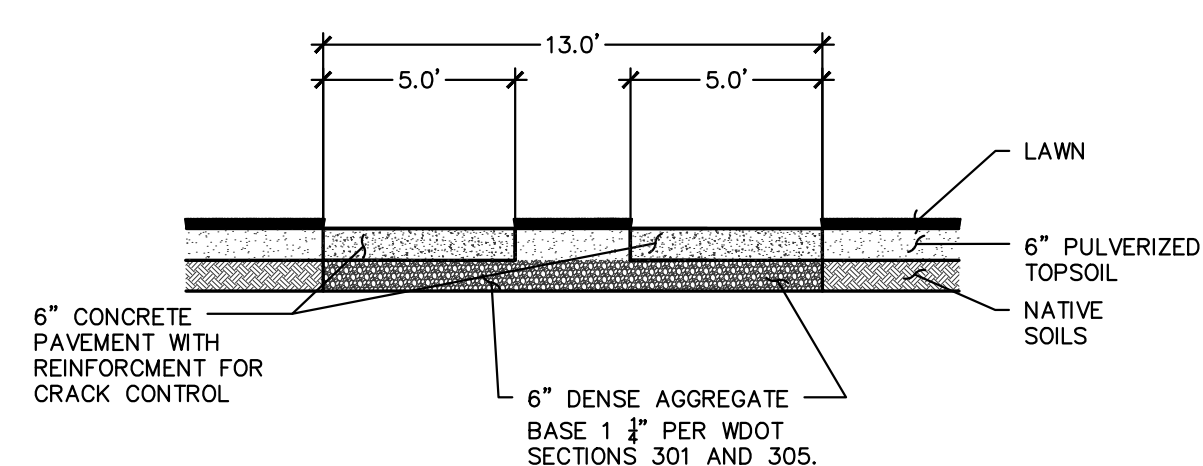
SHEET NUMBER:  
**C6.1**

NOTE:  
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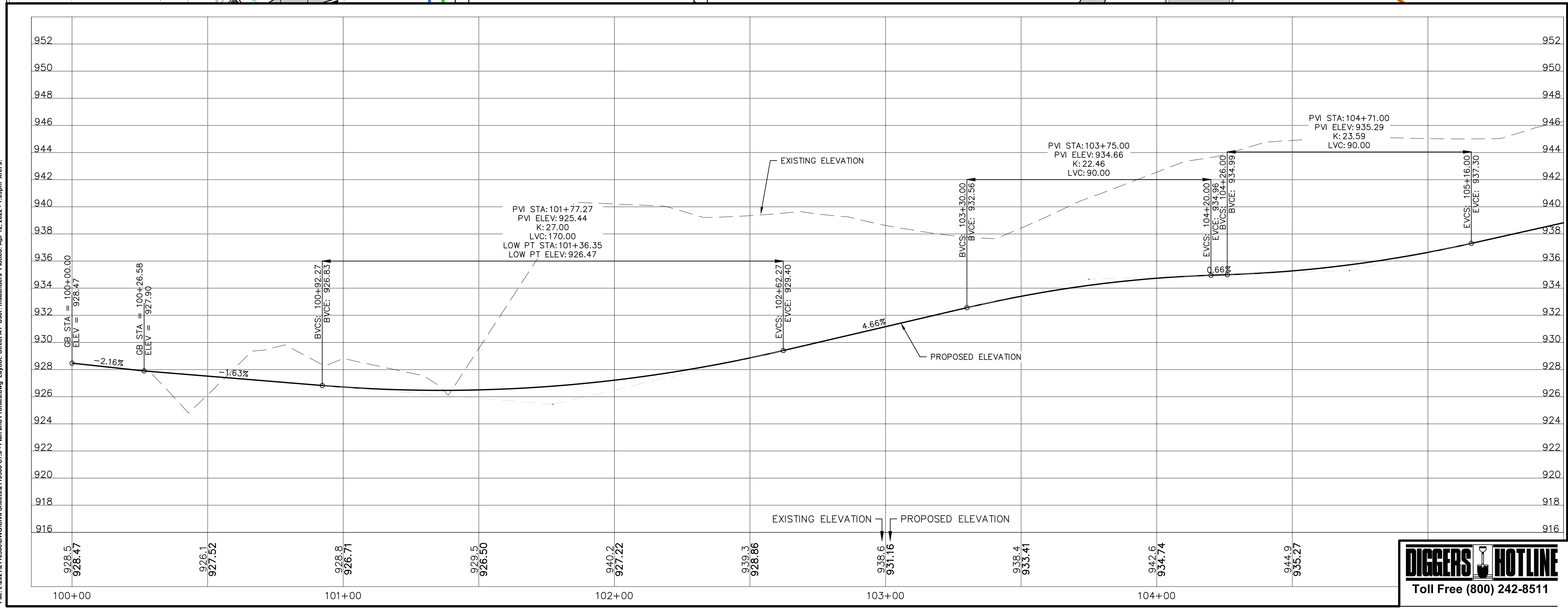
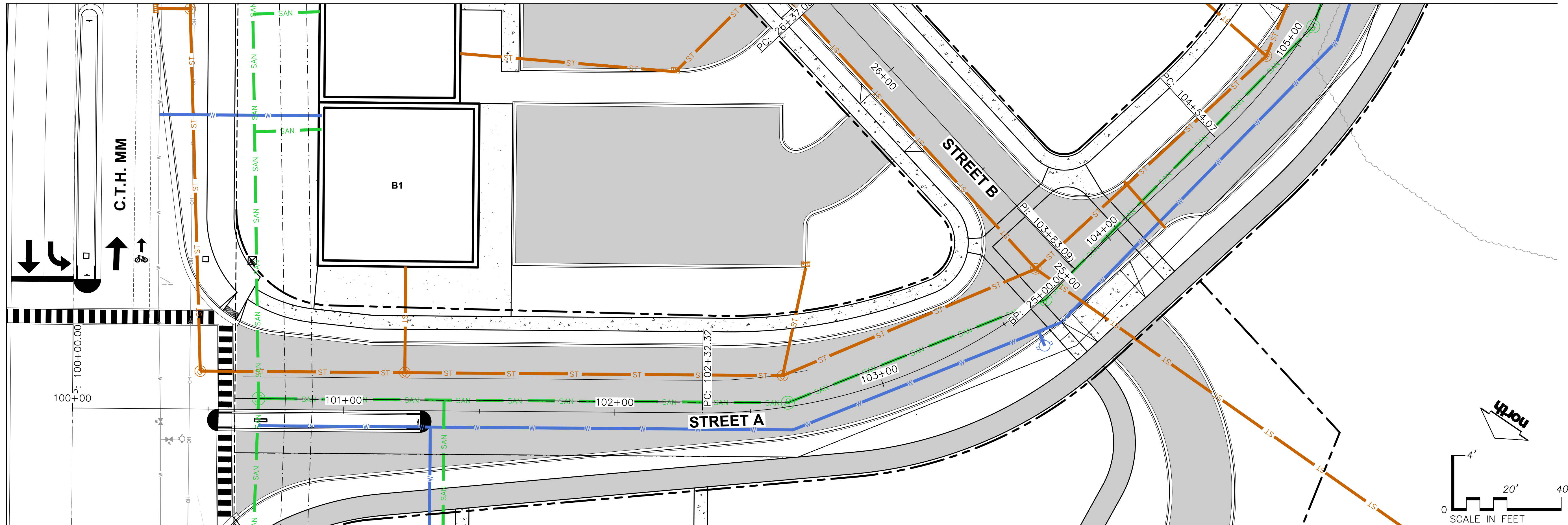



**SUBGRADE REINFORCEMENT NOTES**

1. PLACE GEOTEXTILE FABRIC AGAINST SUBGRADE.
2. PLACE GEOGRID OVER GEOTEXTILE FABRIC.
3. PLACE 4-IN THICK LAYER OF 1-1/4\"/>



TYPICAL EMERGENCY VEHICLE ACCESS (HEAVY DUTY CONCRETE) SECTION





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CLIENT:  
**ROYAL CAPITAL**

CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
MILWAUKEE, WI 53203**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

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Designed By: MSS/CTD  
 Reviewed By: ACG  
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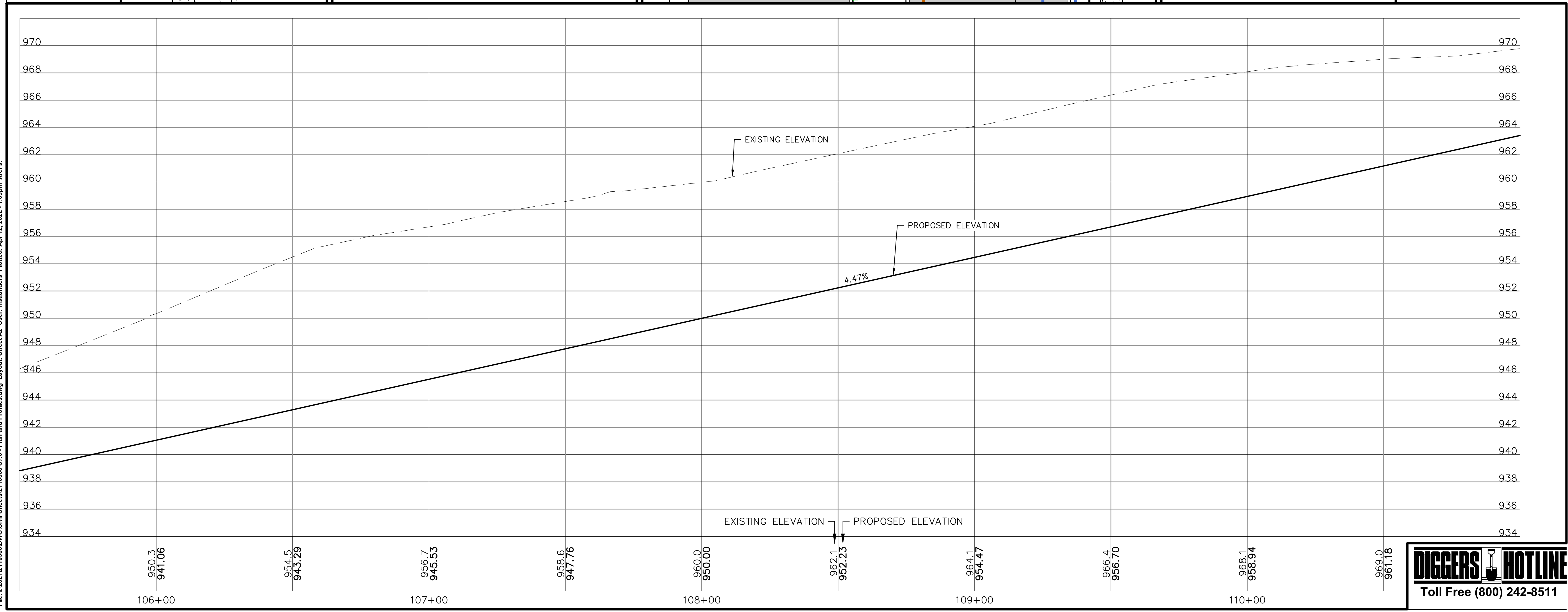
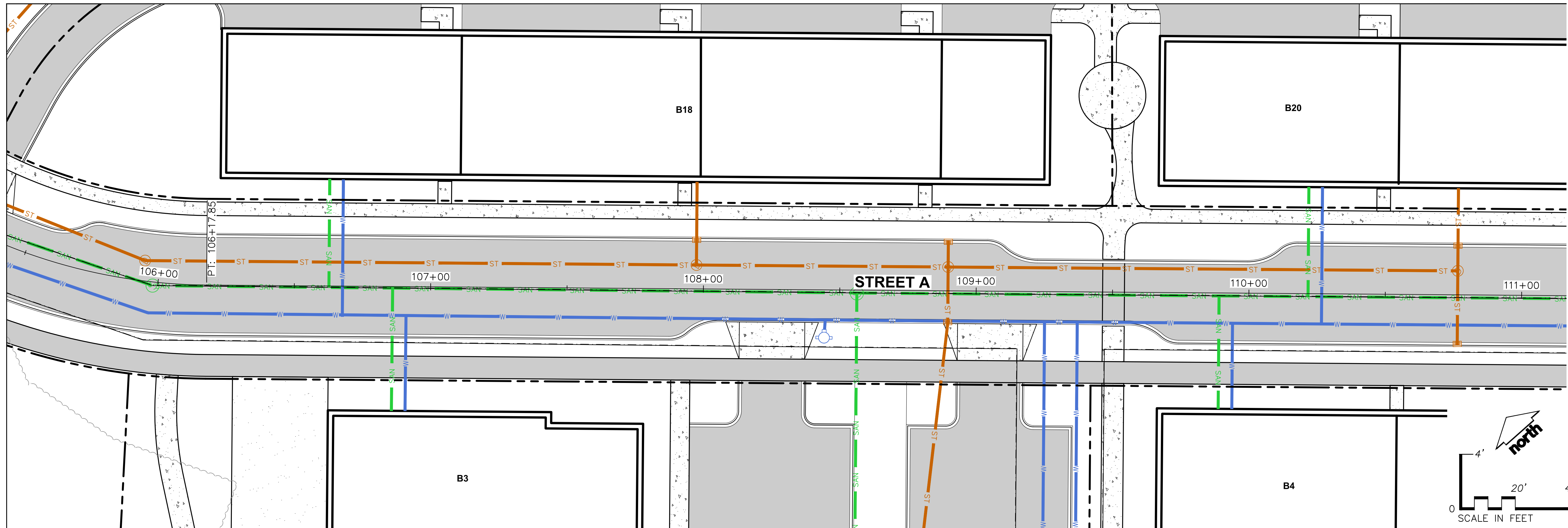
**PLAN & PROFILE -  
STREET A STA: 100+00 -  
105+50**

SHEET NUMBER:  
**C7.0**

JSD PROJECT NO: 21-10566

File: I:\2021\10566\DWG\Civil Sheets\110566 C7.0 - Plan and Profiles.dwg Layout: Street A1 User: msamuanders Plotted: Apr 12, 2022 - 1:09pm Xrefs:





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Designed By: MSS/CTD  
Reviewed By: ACG

Approved By:  
SHEET TITLE:  
**PLAN & PROFILE -  
STREET A STA: 105+50 -  
111+00**

SHEET NUMBER:  
**C7.1**

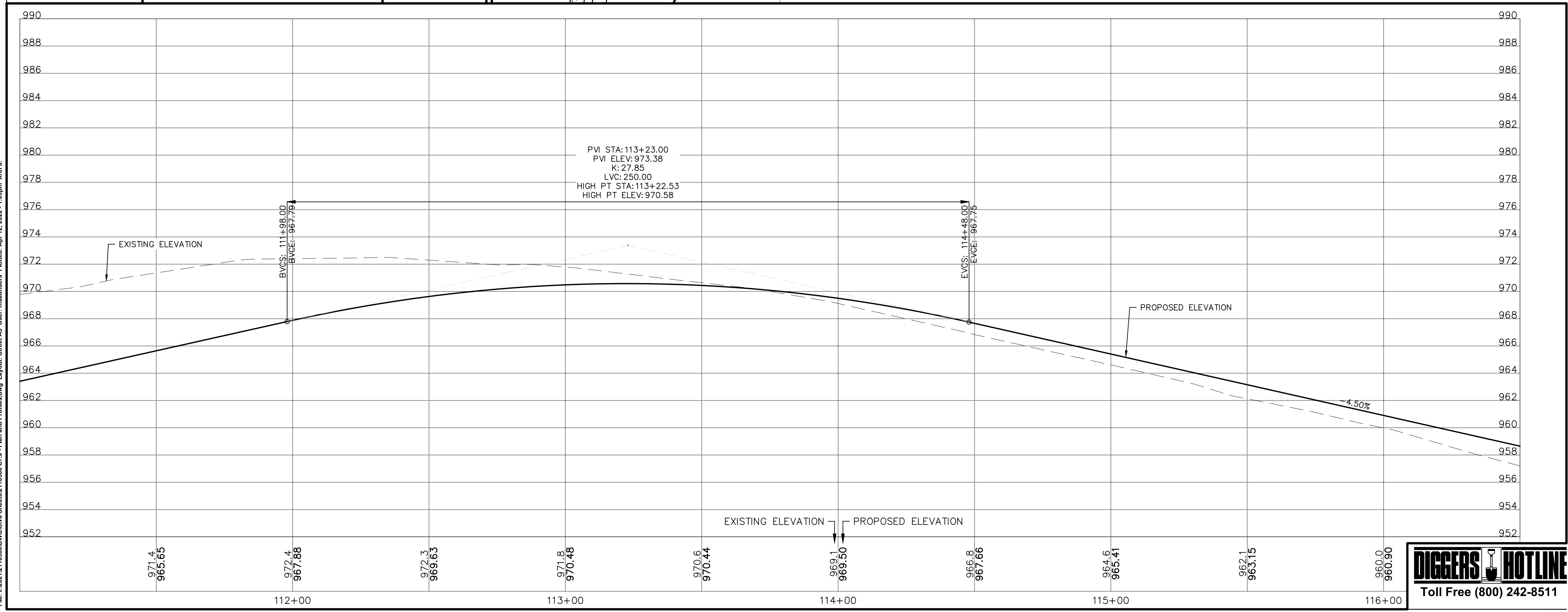
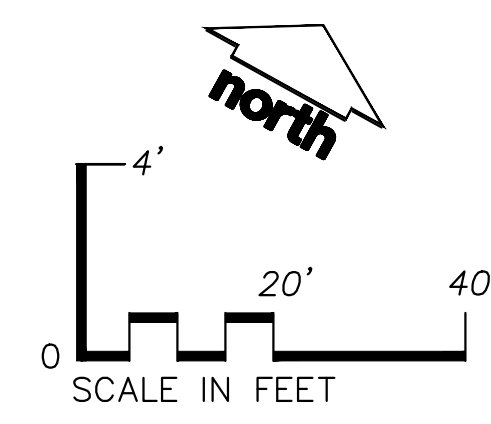
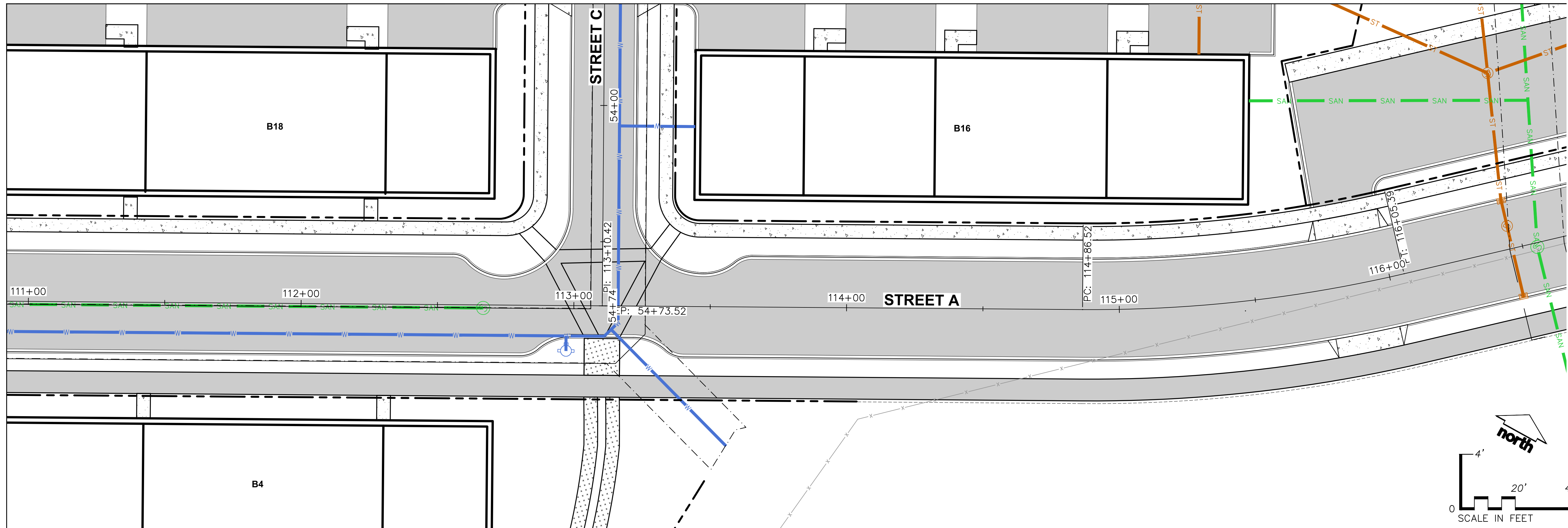
JSD PROJECT NO: 21-10566



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Designed By: MSS/CTD  
Reviewed By: ACG  
Approved By:

SHEET TITLE:  
**PLAN & PROFILE -  
STREET A STA: 111+00 -  
116+50**

SHEET NUMBER:  
**C7.2**

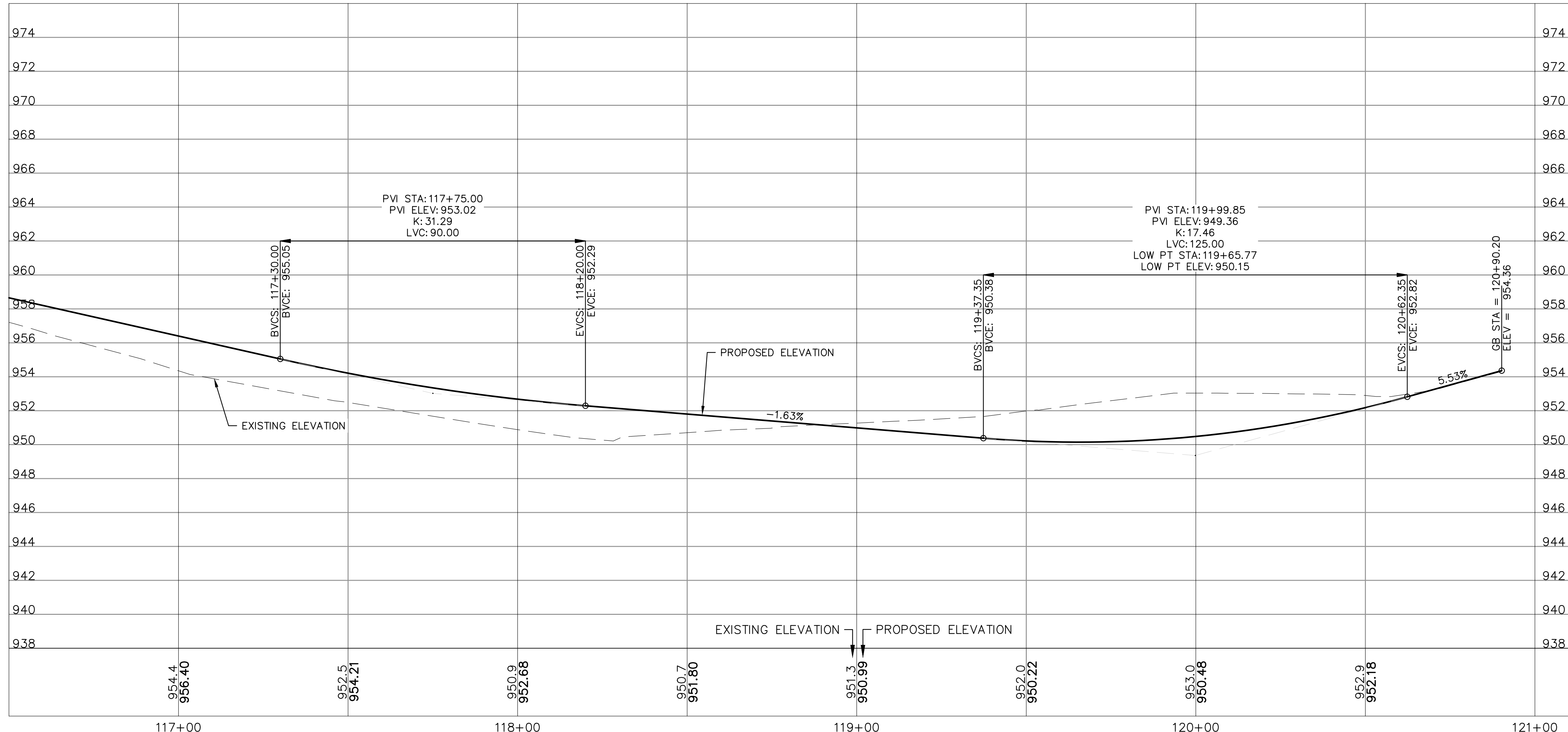
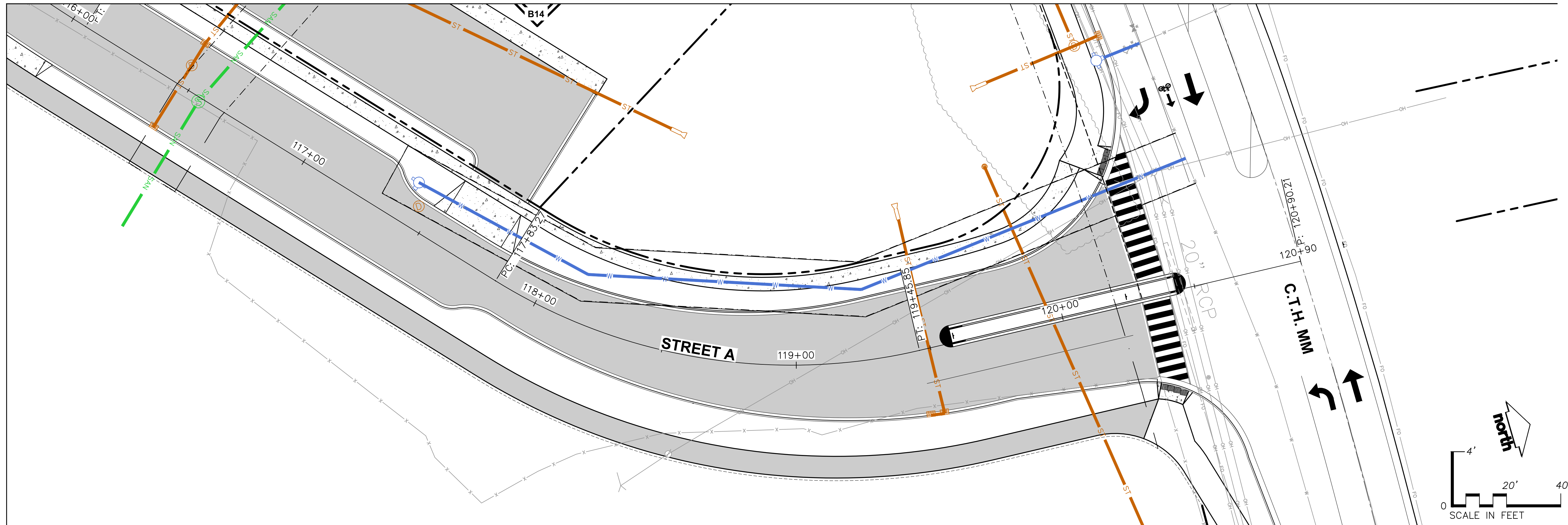


JSD PROJECT NO: 21-10566

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Designed By: MSS/CTD  
Reviewed By: ACG

Approved By:  
SHEET TITLE:  
**PLAN & PROFILE -  
STREET A STA: 116+50 -  
120+90**

SHEET NUMBER:  
**C7.3**

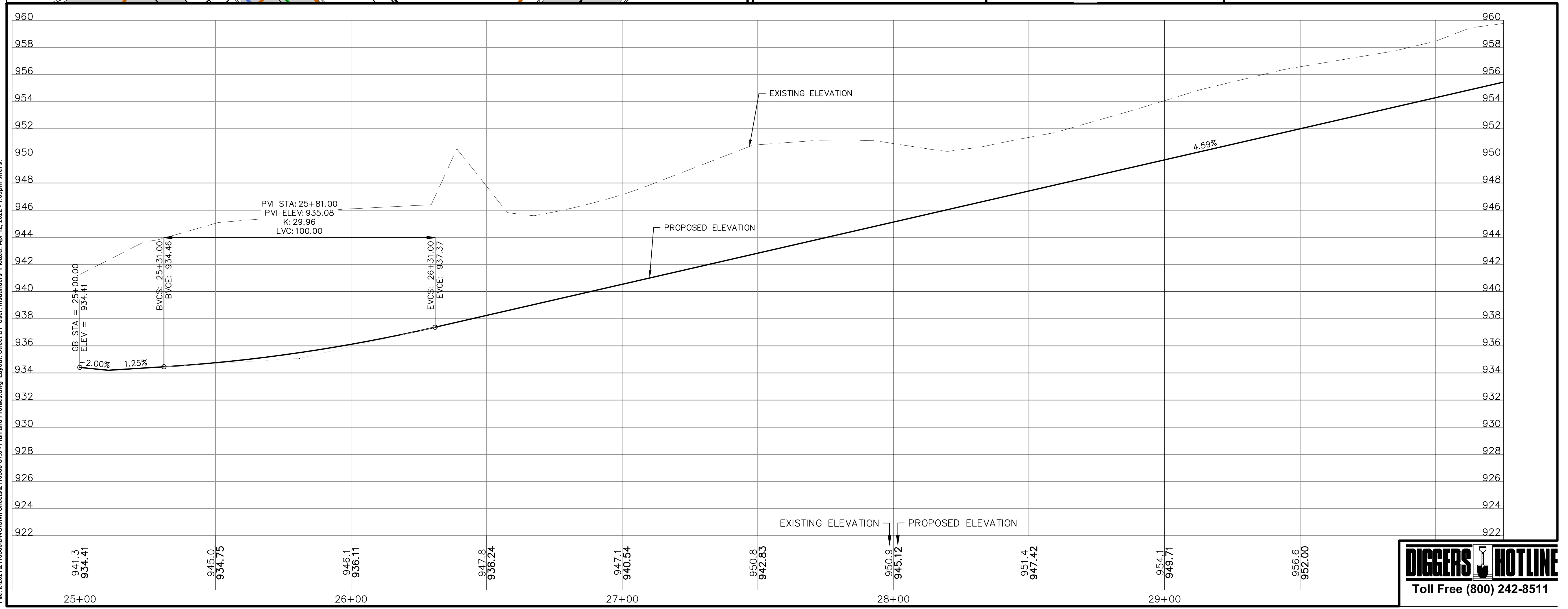
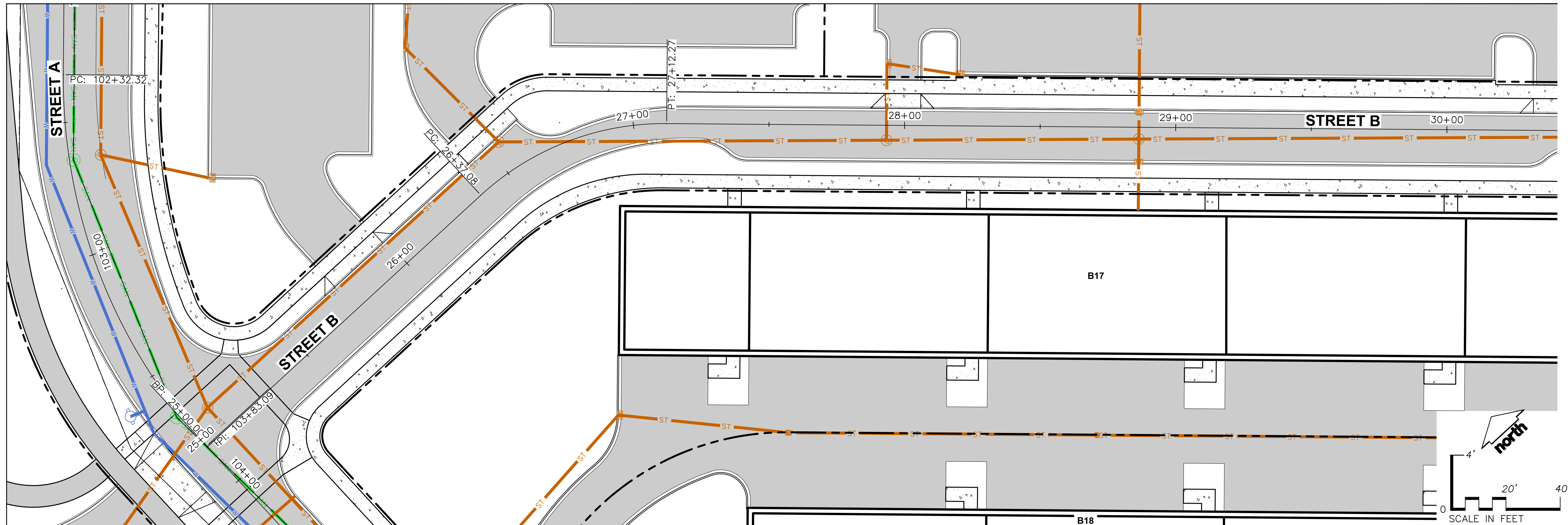
JSD PROJECT NO: 21-10566




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Designed By: MSS/CTD  
Reviewed By: ACG  
Approved By:

SHEET TITLE:  
**PLAN & PROFILE -  
STREET B STA: 25+00 -  
30+00**

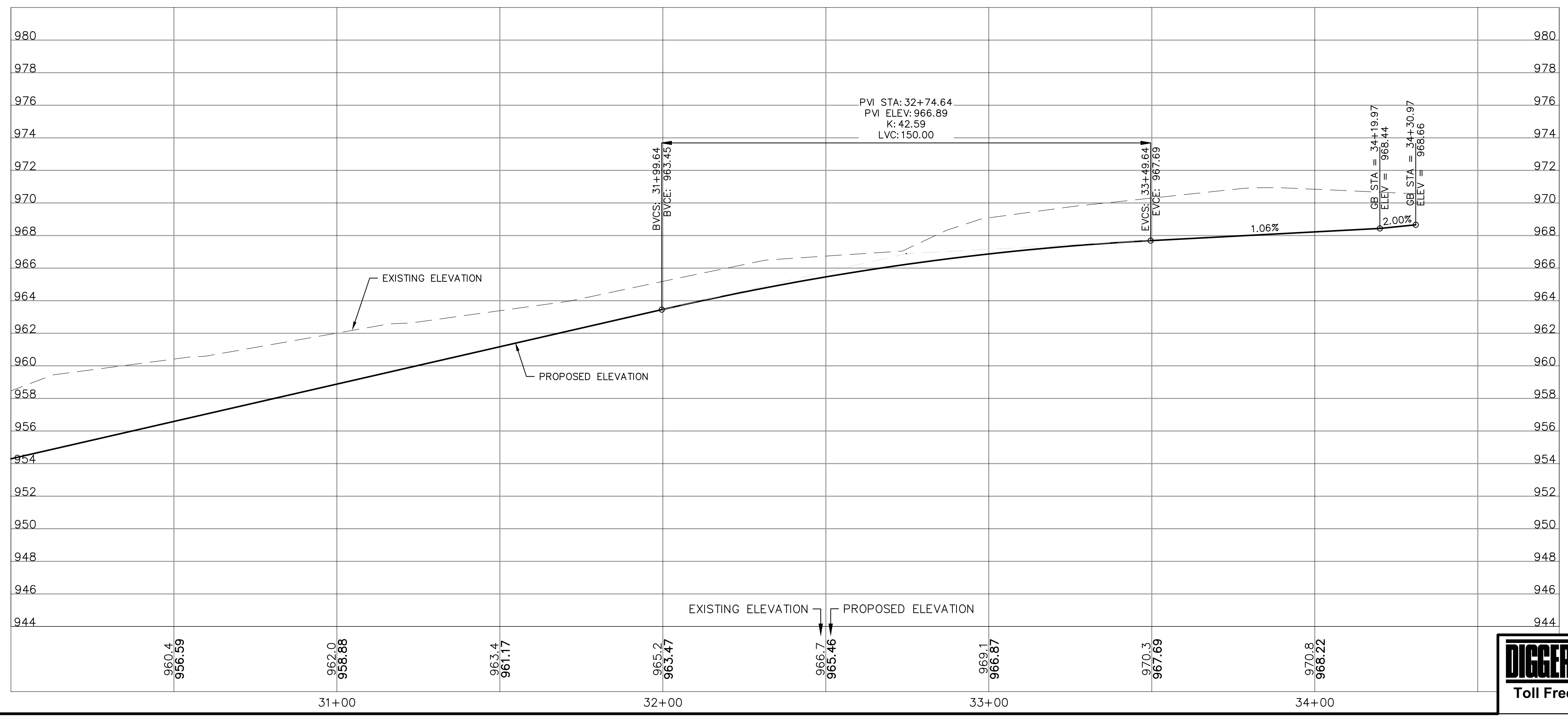
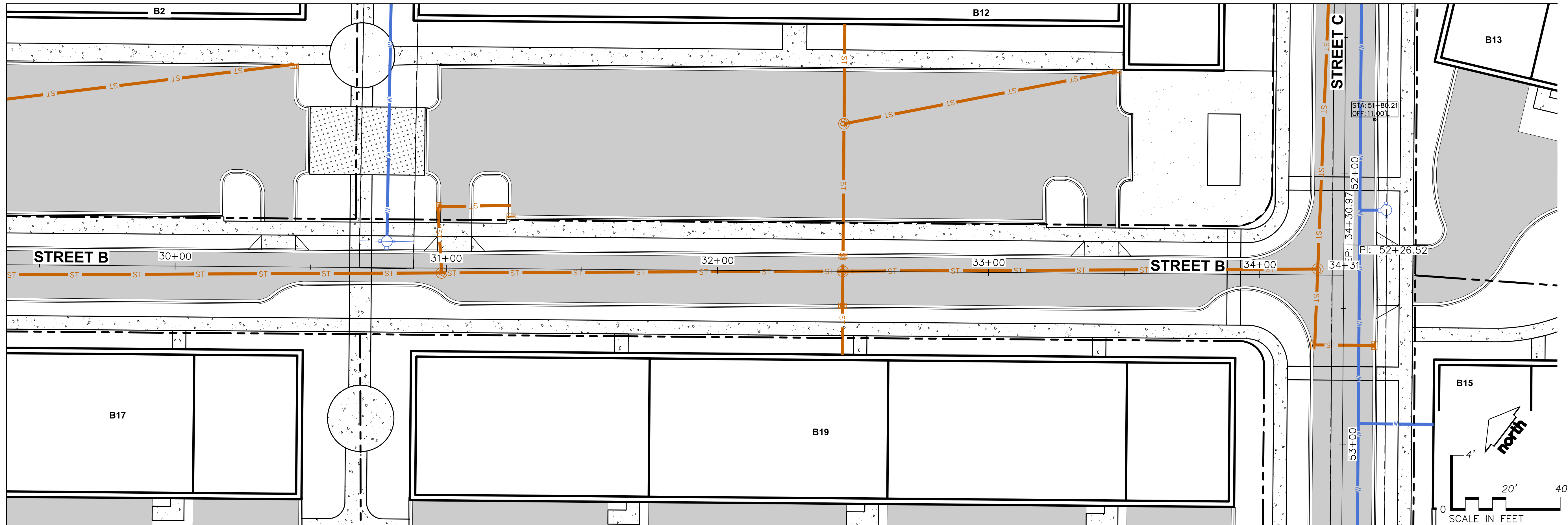
SHEET NUMBER:  
**C7.4**

JSD PROJECT NO: 21-10566

PRELIMINARY  
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Designed By: MSS/CTD  
Reviewed By: ACG  
Approved By:

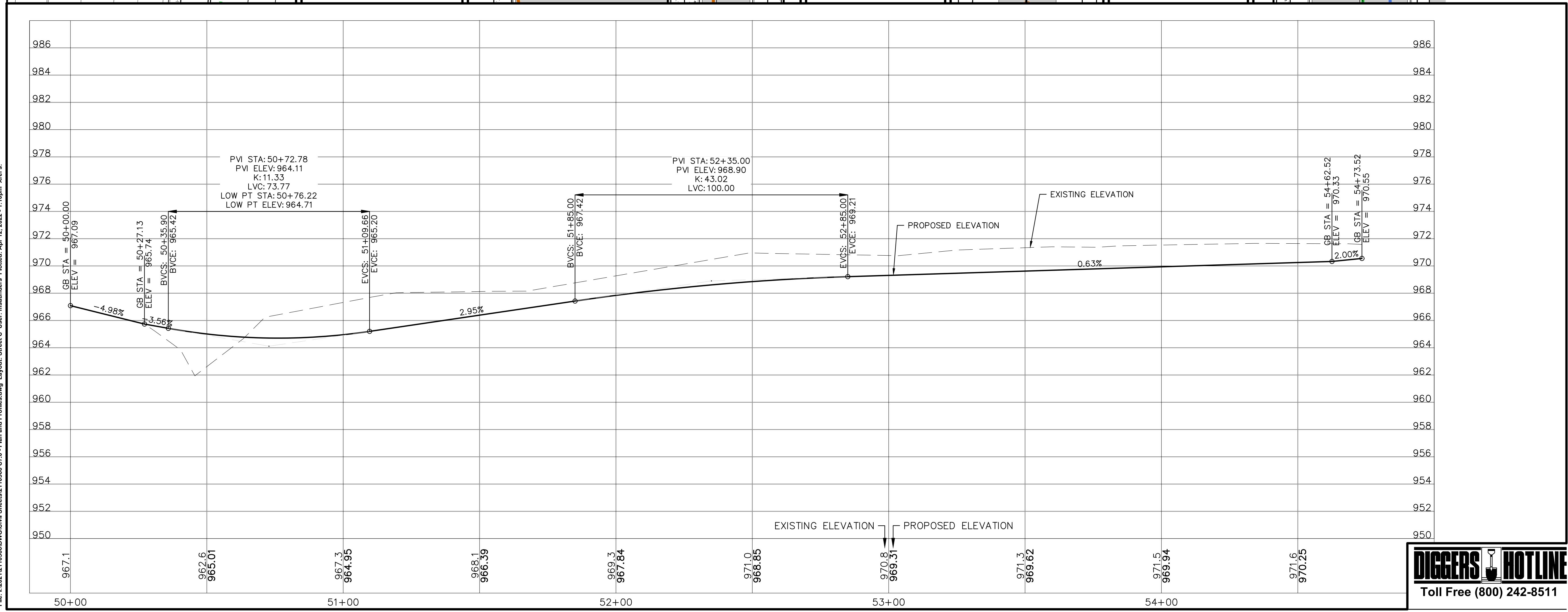
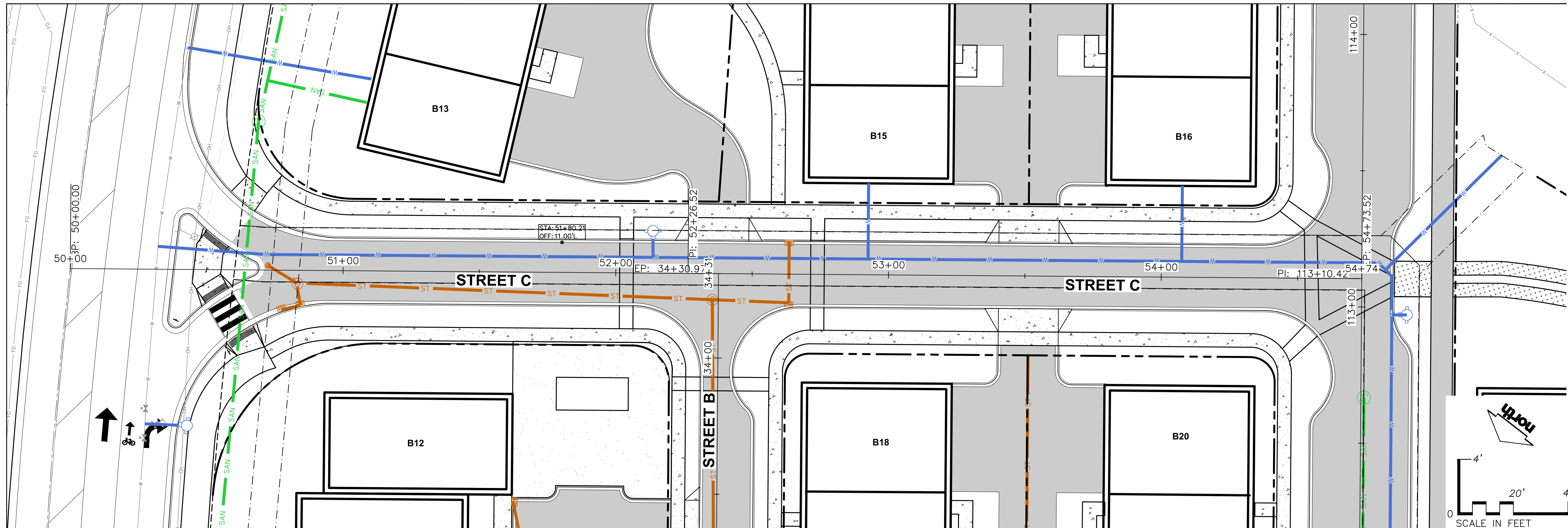
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STREET B STA: 30+00 -  
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SHEET NUMBER:  
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Designed By: MSS/CTD  
Reviewed By: ACG  
Approved By:

SHEET TITLE:  
**PLAN & PROFILE -  
STREET C STA: 50+00 -  
54+74**

SHEET NUMBER:  
**C7.6**

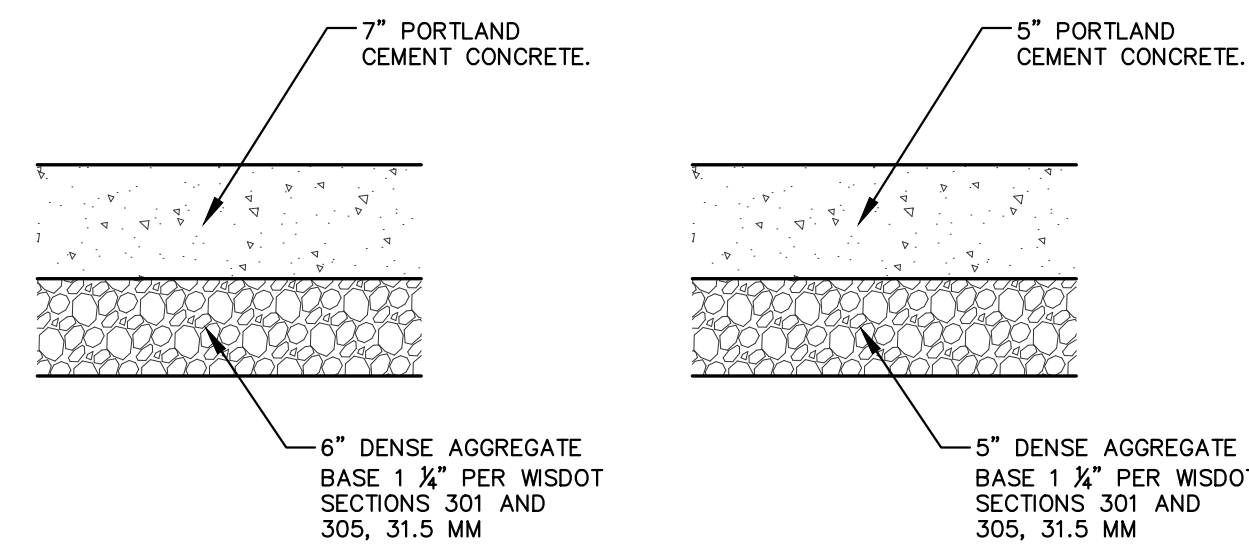


JSD PROJECT NO: 21-10566

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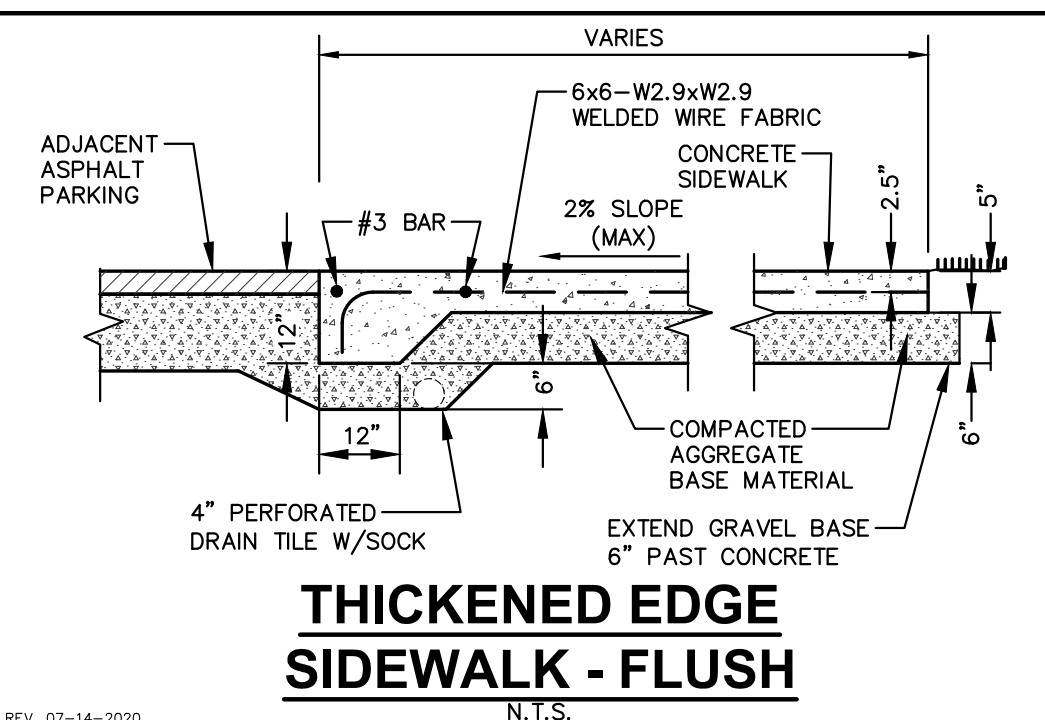
**HEAVY-DUTY CONCRETE SECTION**

**CONCRETE SIDEWALK SECTION**

**GENERAL NOTES:**

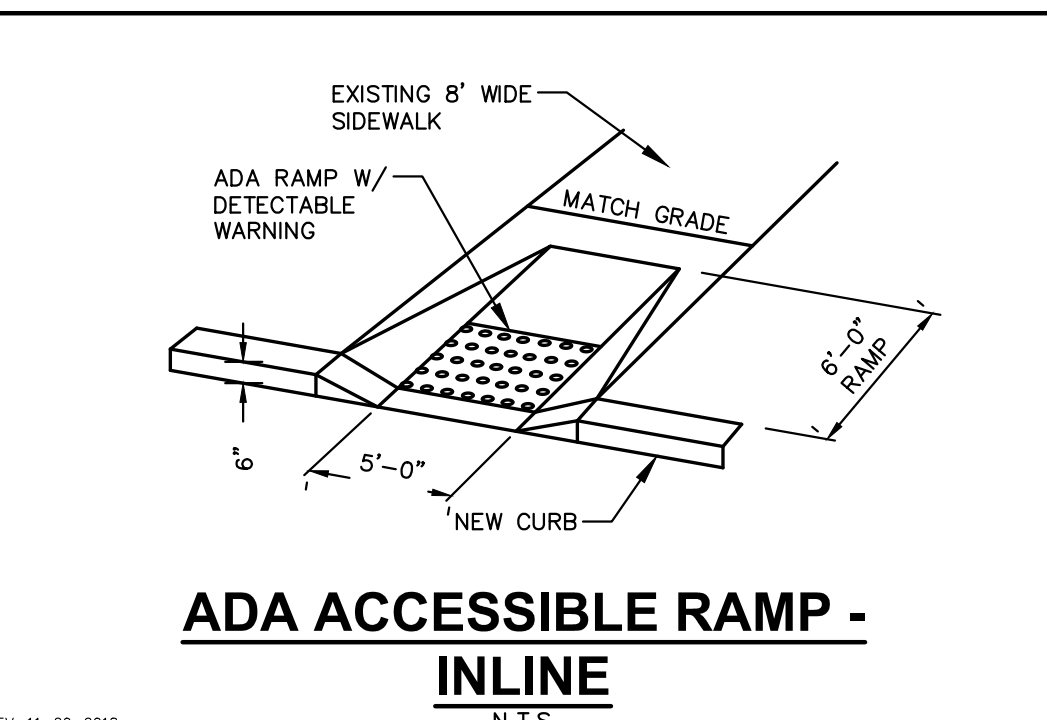
- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY CGC, INC., NUMMELIN, AND AECOME DATED JULY 2017, JULY 26 2017, AND APRIL 13 2013 RESPECTIVELY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
  - BITUMINOUS CONCRETE: REFER TO SECTION 460-3,
  - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.

**PAVEMENT SECTIONS**



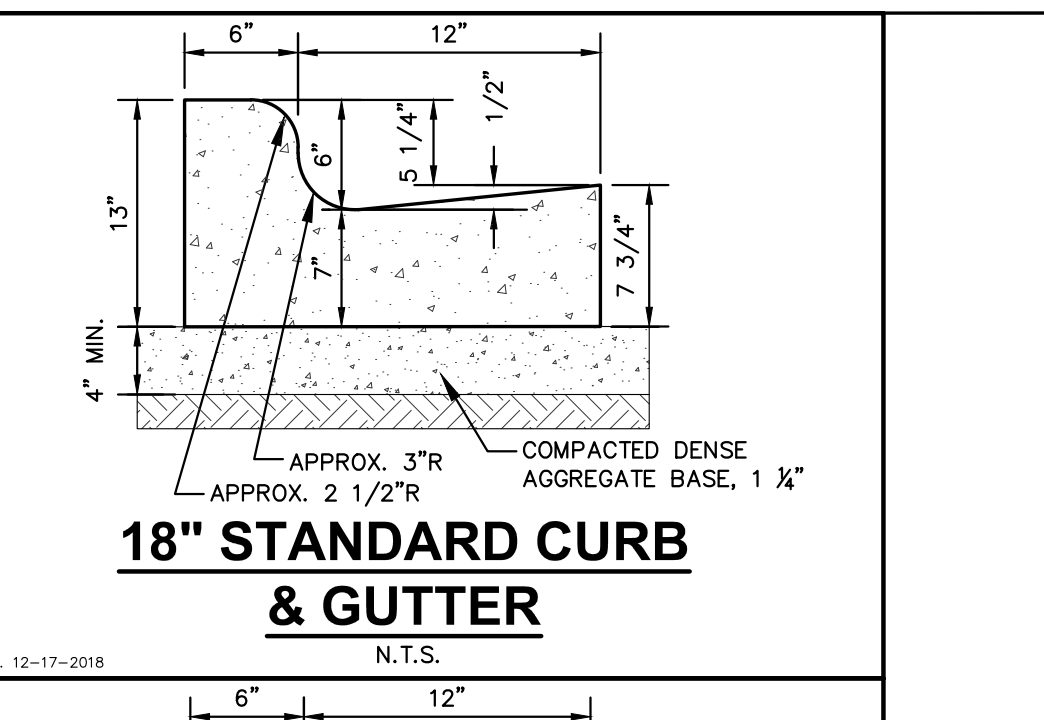
**THICKENED EDGE SIDEWALK - FLUSH**

REV. 07-14-2020



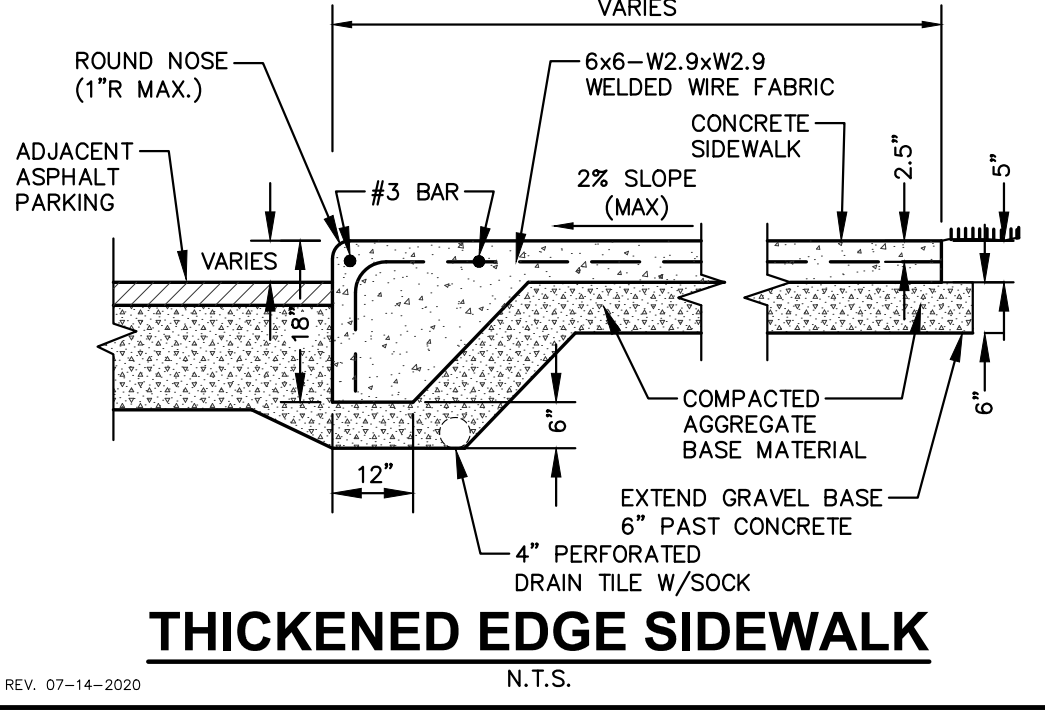
**ADA ACCESSIBLE RAMP - INLINE**

REV. 11-20-2016



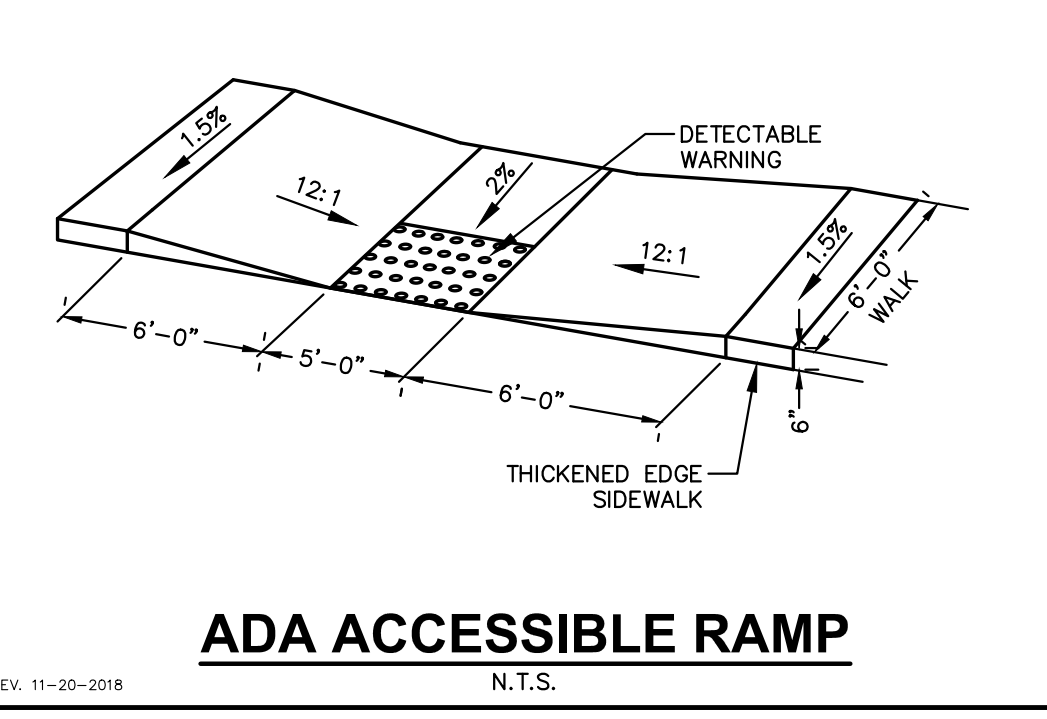
**18" STANDARD CURB & GUTTER**

REV. 12-17-2018



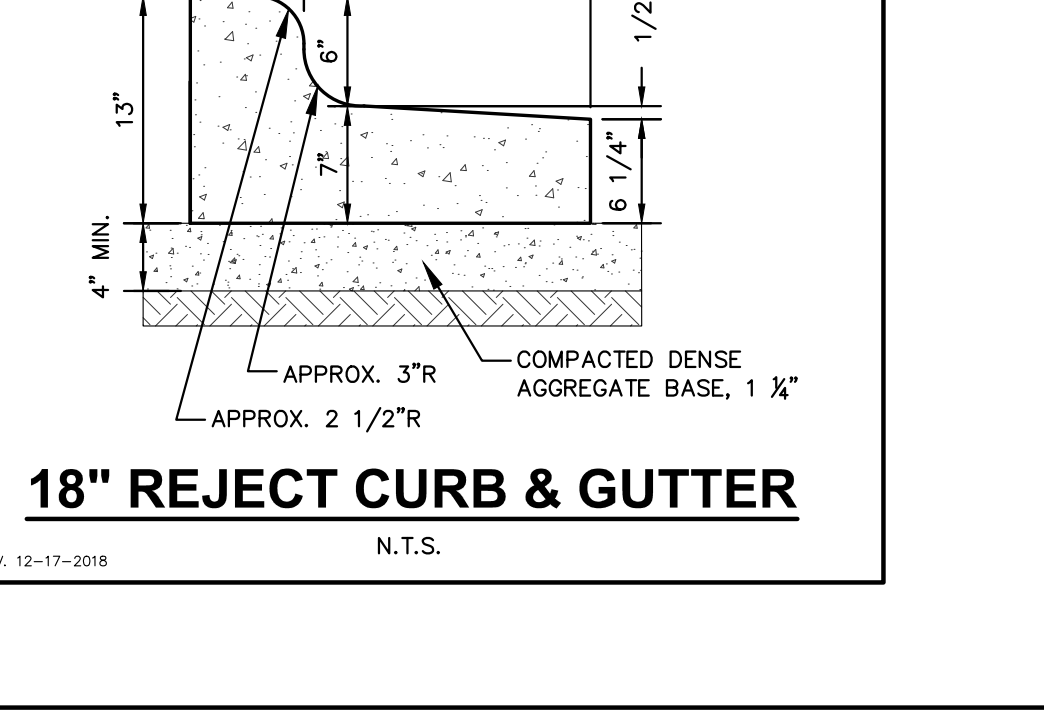
**THICKENED EDGE SIDEWALK**

REV. 07-14-2020



**ADA ACCESSIBLE RAMP**

REV. 11-20-2016



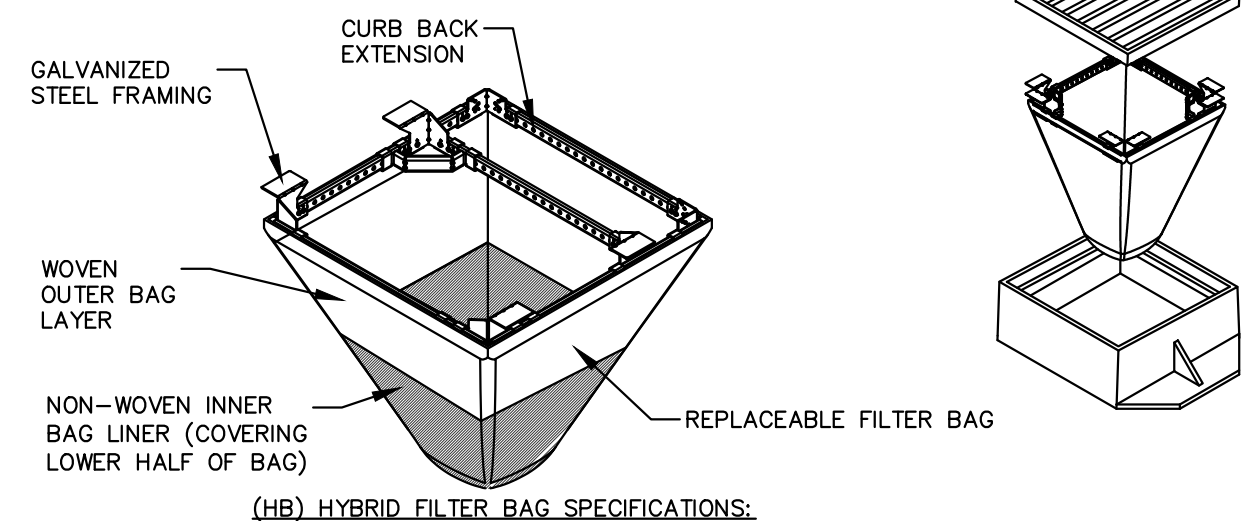
**18" REJECT CURB & GUTTER**

REV. 12-17-2018

REV. 7-01-2019

N.T.S.

**FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS**



- INSTALLATION INSTRUCTIONS:**
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE
  - CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
  - DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
  - REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"
- MAINTENANCE GUIDELINES:**
- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
  - REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE.
  - DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT 4. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

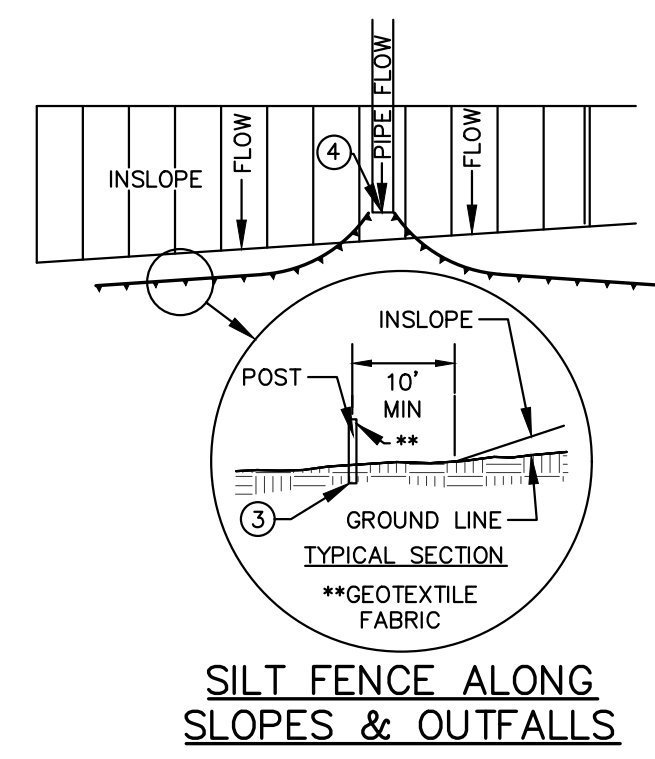
CATCH-IT Inlet Filter (Temporary Inlet Protection)							
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft <sup>3</sup> )	Flow Ratings (CFS)	ADS P/N	
					HB (Hybrid Bag) Bypass		
3067	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0	5.8	62LCBEXTHB
3248A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCB3624HB
3030	Square/Rect (SQ)	23 x 18	20.5 x 13.5	1.6	0.7	2.2	62MGB2316HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62LSQ3618HB
R-2501	Round (RD)	-26	-24	2.3	0.8	5.2	62MRD26HB
R-1772/2560	Round (RD)	22.25-23.5	20.5-21	1.5	0.6	4.6	62MRD22HB

Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Roll Values)			
PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (LINER)
TENSILE STRENGTH	ASTM D4632	350 x 225 lbs	100 lbs
ELONGATION	ASTM D4632	20% x 15%	50%
CBR PUNCTURE	ASTM D6241	1000 lbs	65 lbs
TRAPEZOIDAL TEAR	ASTM D4538	110 x 75 lbs	45 lbs
UV RESISTANCE	ASTM D4355	90%	70%
OPENING SIZE (ADS)	ASTM D4751	20 US STD SIEVE	40 US STD SIEVE
PERMEABILITY	ASTM D4491	1.5 sec <sup>-1</sup>	2.0 sec <sup>-1</sup>
WATER FLOW RATE	ASTM D4891	200 gal/(min)(ft <sup>2</sup> )	145 gal/(min)(ft <sup>2</sup> )
MINIMUM FILTER BAG VOLUME		2 CUBIC FT	

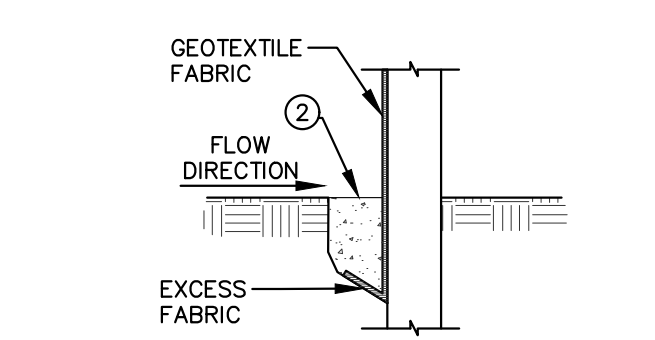
**FRAMED INLET PROTECTION**

N.T.S.

REV. 7-01-2019

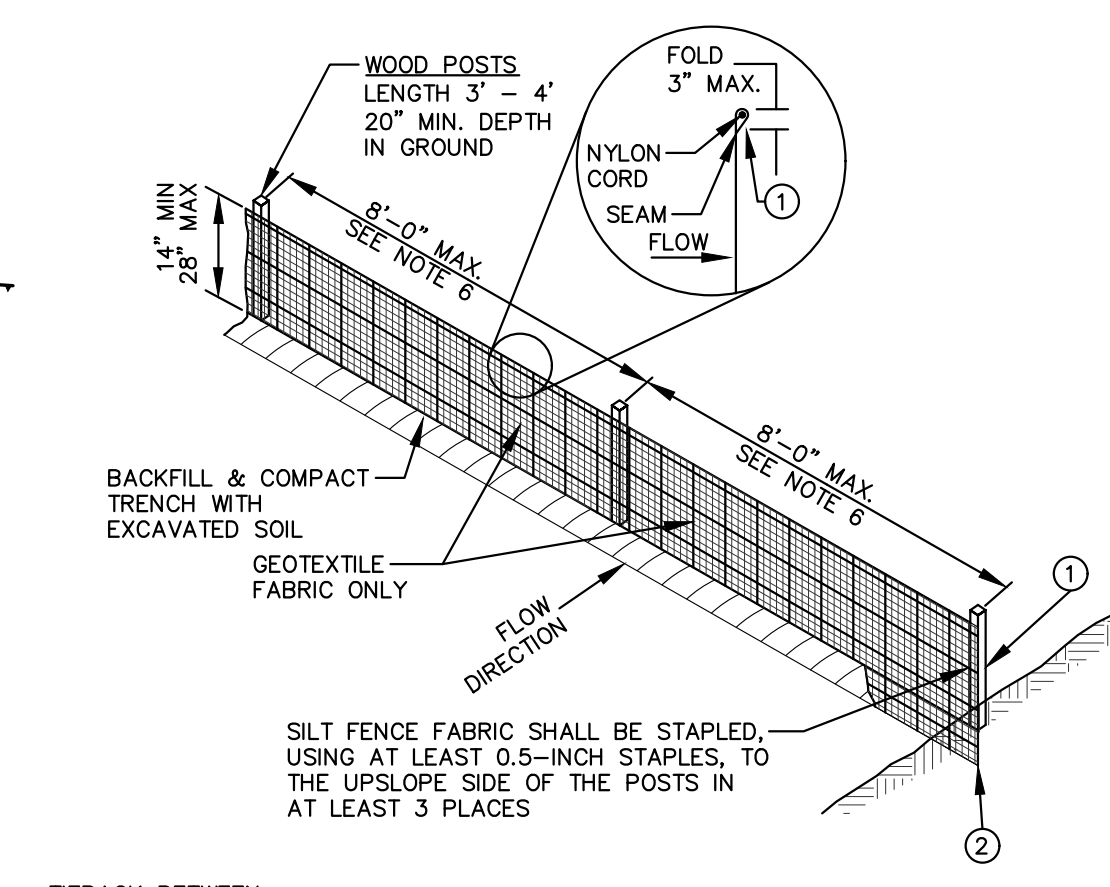


**SILT FENCE ALONG SLOPES & OUTFALLS**

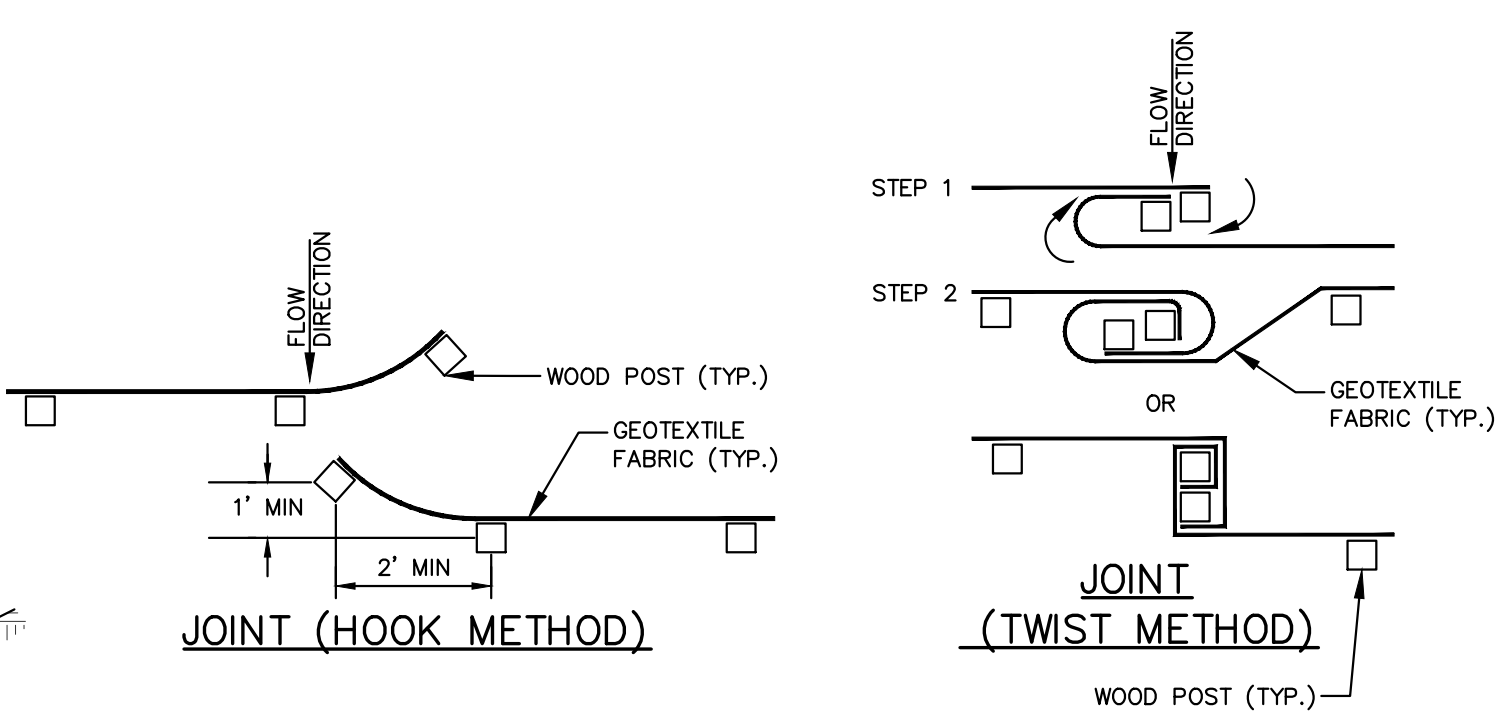


**TRENCH DETAIL**

**NOTE:**  
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.



**SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)**



**JOINT (HOOK METHOD)**

**JOINT (TWIST METHOD)**

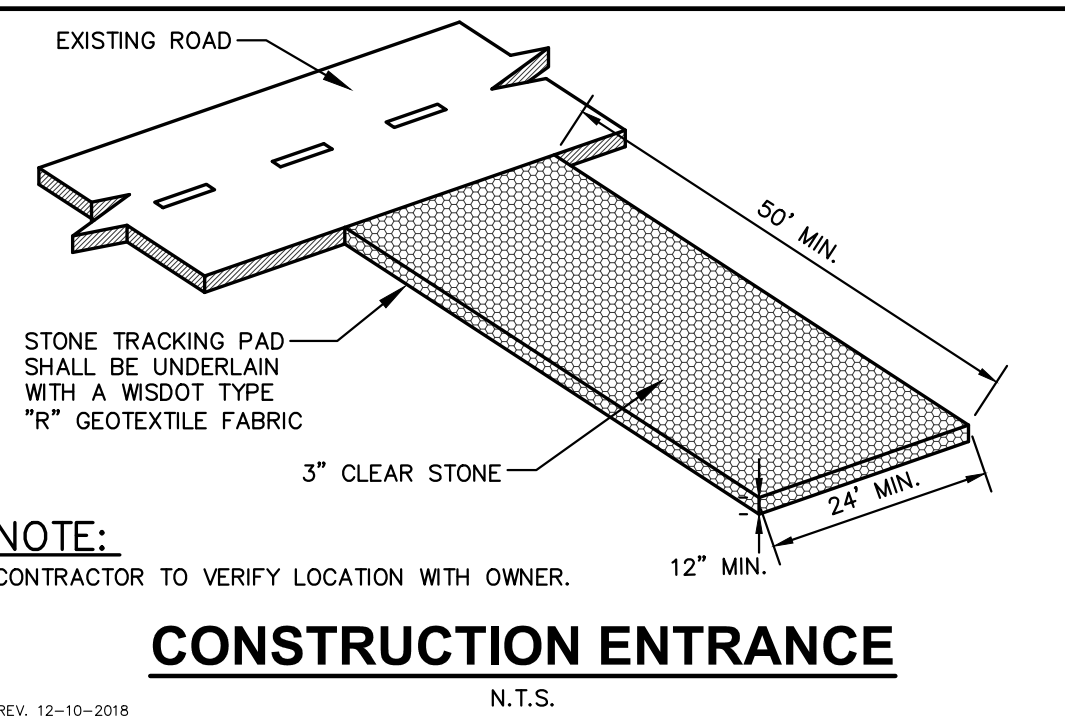
**GENERAL NOTES:**

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNr TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

**SILT FENCE**

N.T.S.

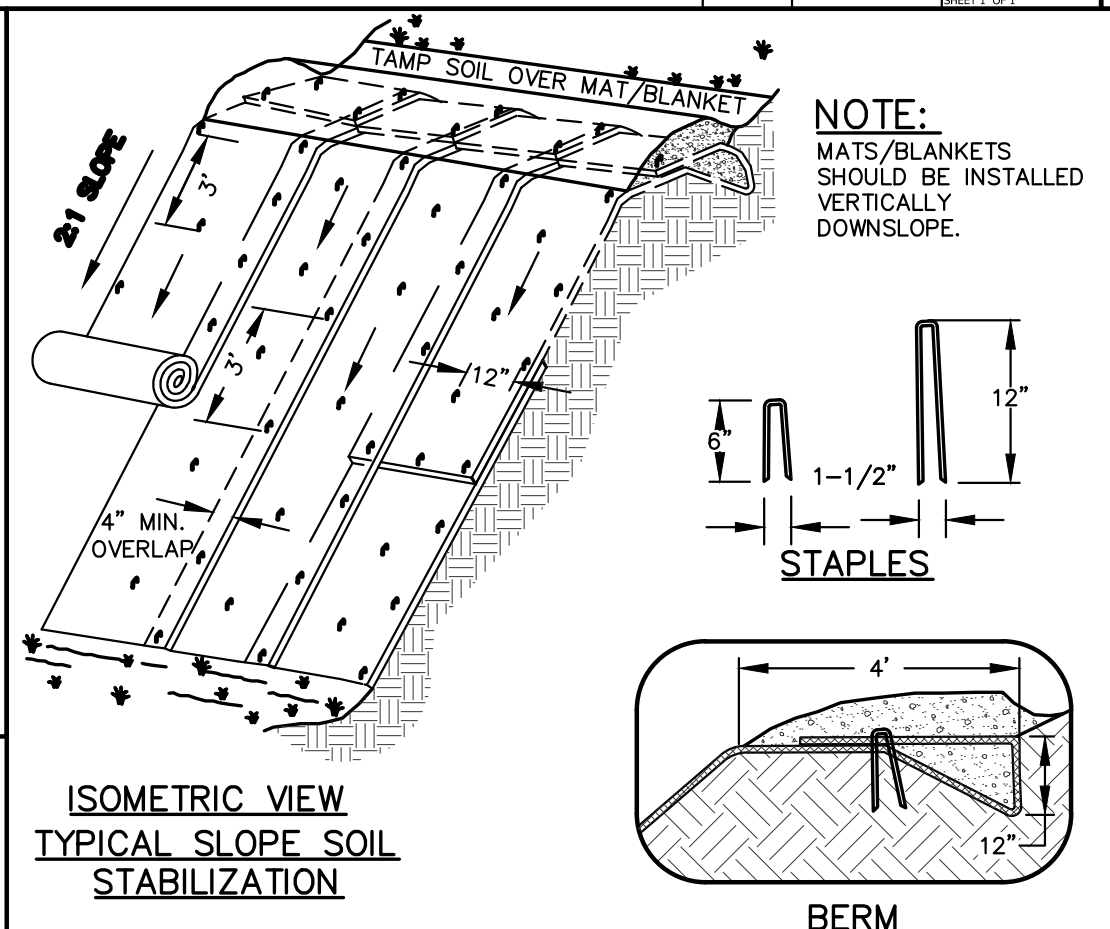
REV. 7-01-2019



**CONSTRUCTION ENTRANCE**

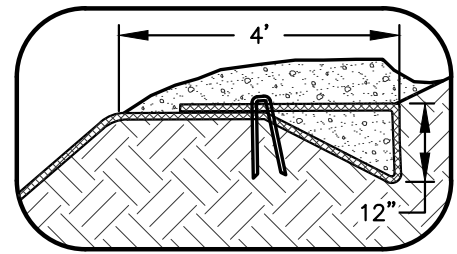
N.T.S.

REV. 12-10-2018



**ISOMETRIC VIEW TYPICAL SLOPE SOIL STABILIZATION**

**BERM**



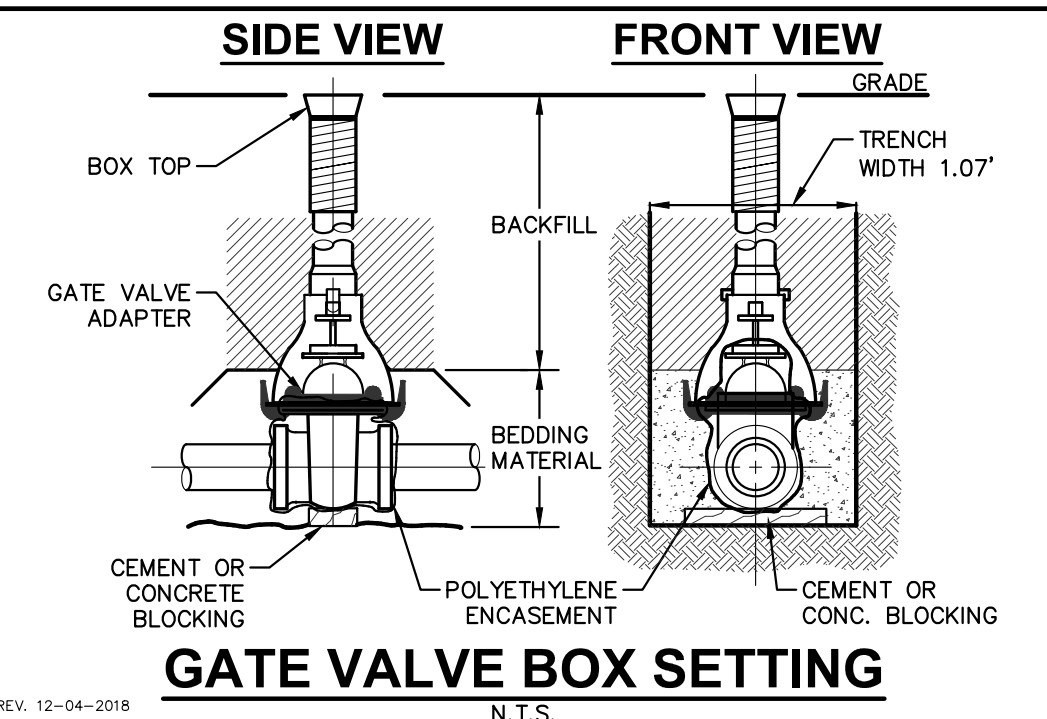
**EROSION MATTING**

N.T.S.

REV. 11-19-2018

**GENERAL NOTES:**

- EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
- ONLY WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
- ONLY WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.



**GATE VALVE BOX SETTING**

N.T.S.

REV. 12-04-2018



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CLIENT:  
**ROYAL CAPITAL**

CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
MILWAUKEE, WI 53203**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	03.25.22	P-PLAT SUBMITTAL
2	04.12.22	RESPONSE TO P-PLAT COMMENTS
3		
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Designed By: MSS/CTD  
Reviewed By: ACG

Approved By:

**DETAILS**

SHEET NUMBER:

**C8.0**

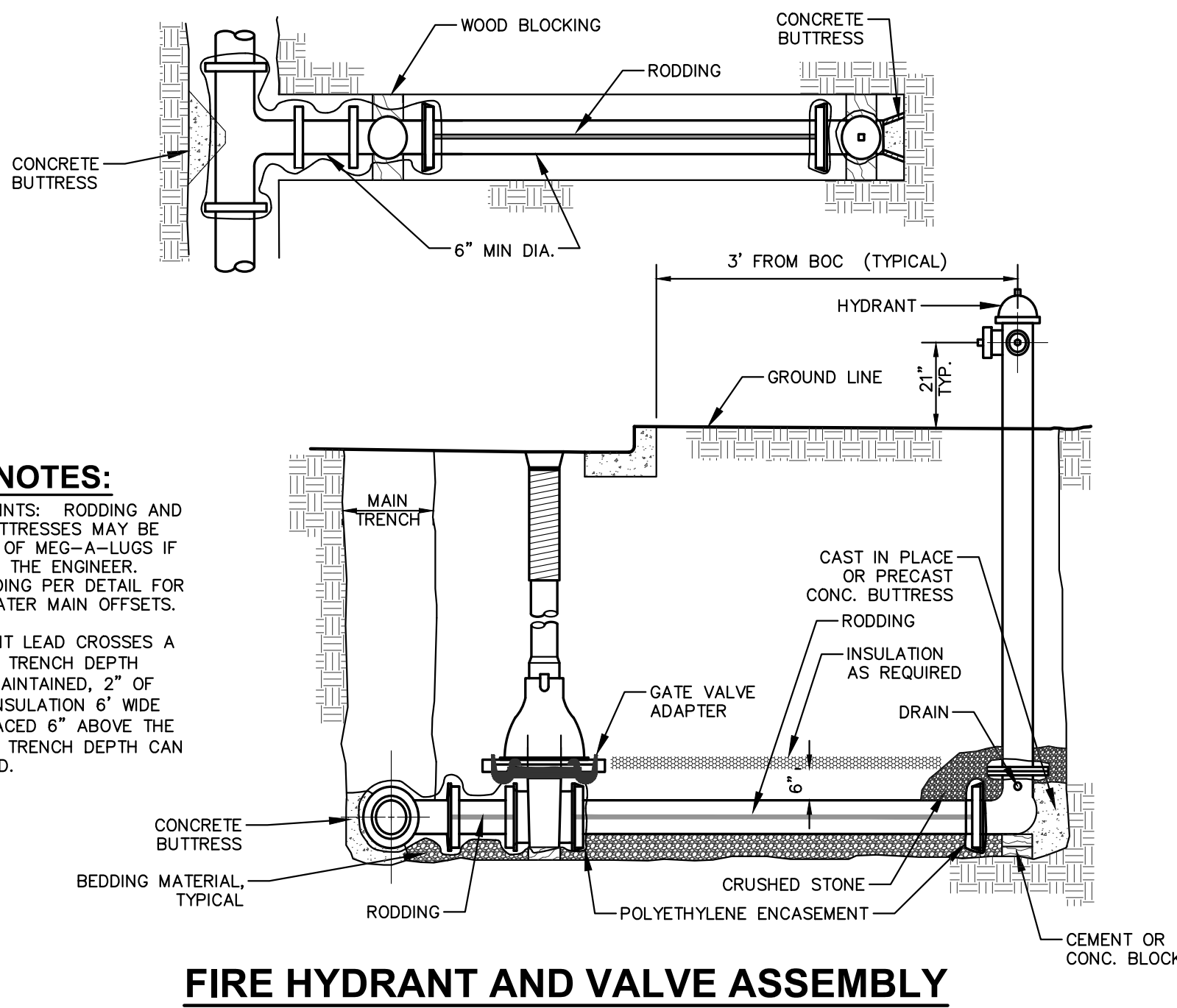
JSD PROJECT NO: 21-10566



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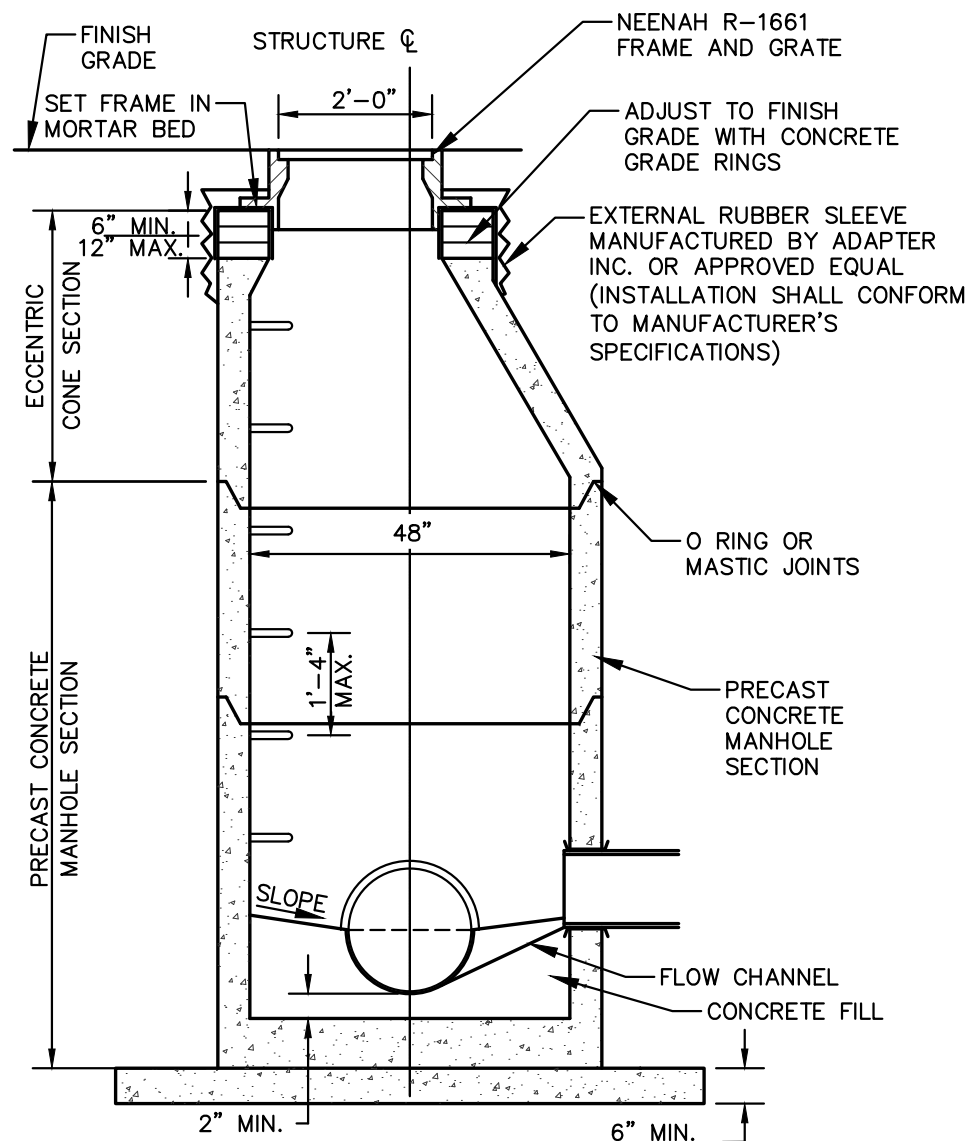
**FIRE HYDRANT AND VALVE ASSEMBLY**

N.T.S.

**GENERAL NOTES:**

1. JOINT RESTRAINTS: RODDING AND CONCRETE BUTTRESSES MAY BE USED IN LIEU OF MEG-A-LUGS IF APPROVED BY THE ENGINEER. PROVIDE RODDING PER DETAIL FOR STRAPPING WATER MAIN OFFSETS.
2. WHEN HYDRANT LEAD CROSSES A DITCH & A 7' TRENCH DEPTH CANNOT BE MAINTAINED, 2" OF STYROFOAM INSULATION 6" WIDE SHALL BE PLACED 6" ABOVE THE PIPE UNTIL 7' TRENCH DEPTH CAN BE MAINTAINED.

REV. 12-03-2018



**SANITARY SEWER MANHOLE**

N.T.S.

**GENERAL NOTES:**

1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
3. USE MORTAR FOR PIPE CONNECTIONS.
4. ALL MANHOLES SHALL HAVE RUBBER CHIMNEY BOOT SEALS.

**36" DIA. STORM INLET W/ SUMP**

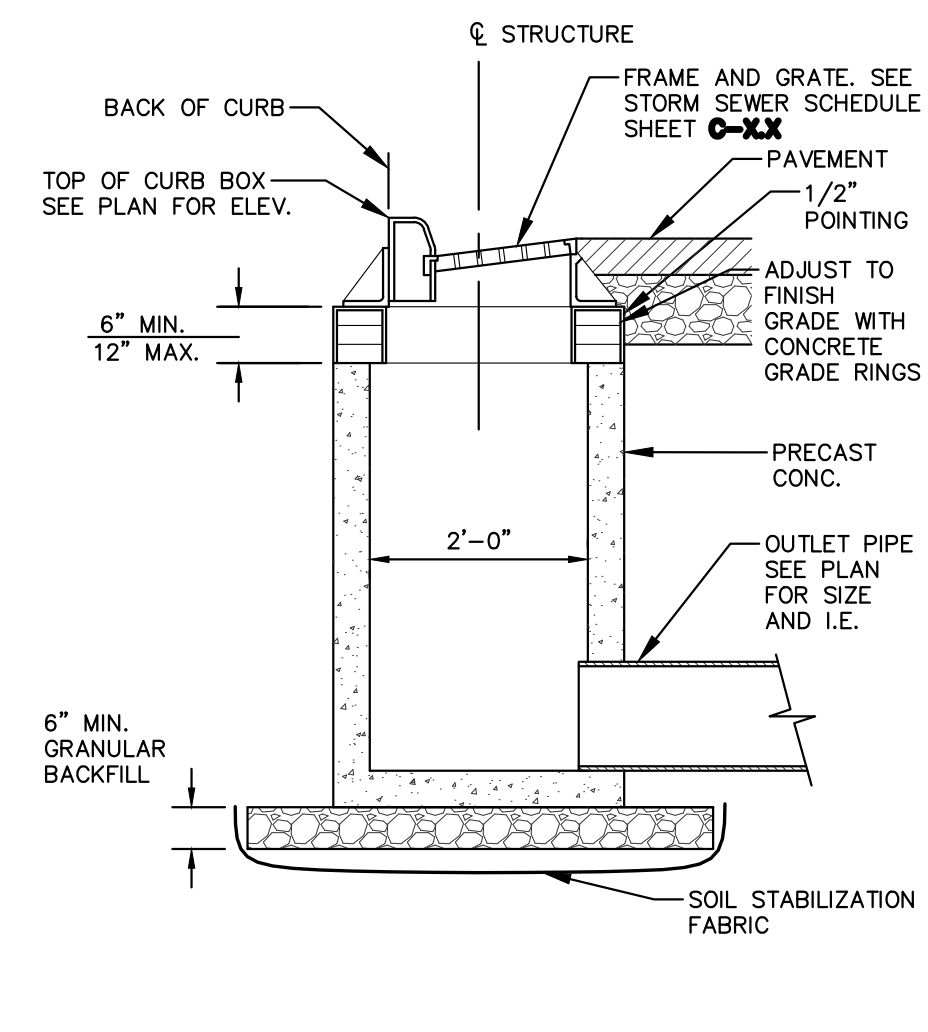
REV. 12-7-2018

**GENERAL NOTES:**

1. GRATE SHALL BE IN BELL FITTING TO THE PRECAST STRUCTURE SPECIFICATIONS
2. GRATES SHALL BE AASHTO H20 LOAD RATED
3. GRATE SHALL SET FLUSH WITH TOP OF CATCH BASIN BELL
4. PRECAST REINFORCED CONCRETE CATCH BASIN IS MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS
5. STANDARD CATCH BASIN BARREL HEIGHTS: 0'-0", 1'-0", 2'-0", 3'-0" AND 4'-0"
6. STOCK 36" DIA. CATCH BASINS AVAILABLE WITH OR WITHOUT A 6" THICK INTEGRAL BASE OR AS SPECIFIED
7. CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 AS MANUFACTURED BY CONCRETE SEALANTS INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF FEDERAL SPECIFICATION SS-S-210 (210A), AASHTO M-198B AND ASTM C-990
8. PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL AS MANUFACTURED BY NPC INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923

**36" DIA. STORM INLET W/ SUMP**

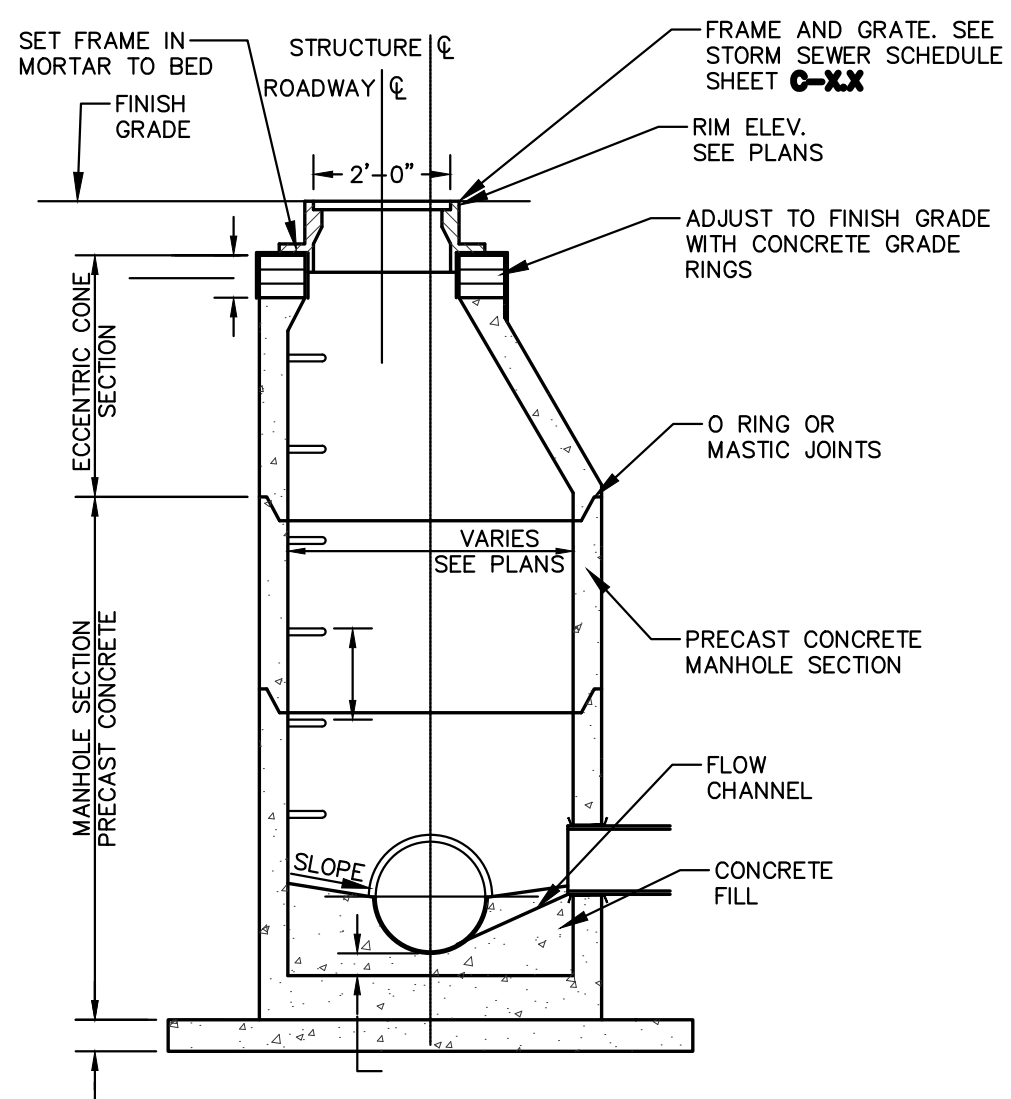
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**STORM INLET**

N.T.S.

REV. 11-28-2018



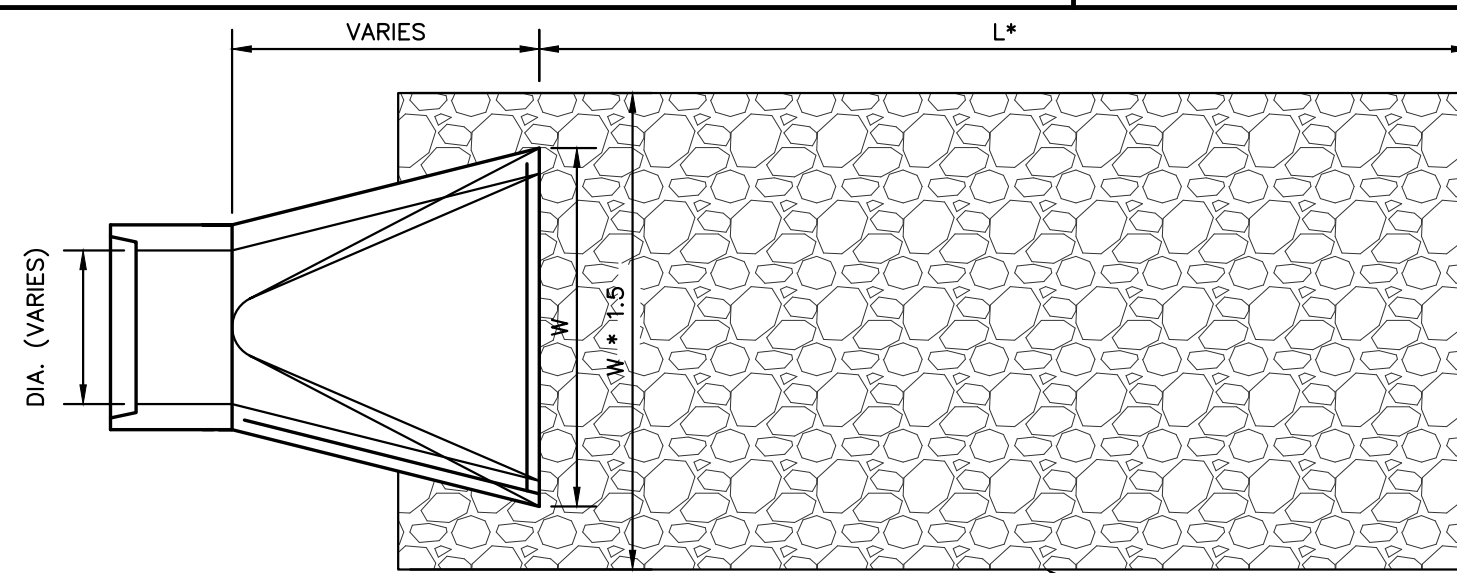
**STORM MANHOLE**

N.T.S.

**GENERAL NOTES:**

1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
4. USE MORTAR FOR PIPE CONNECTIONS.
5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR C ROADWAY.

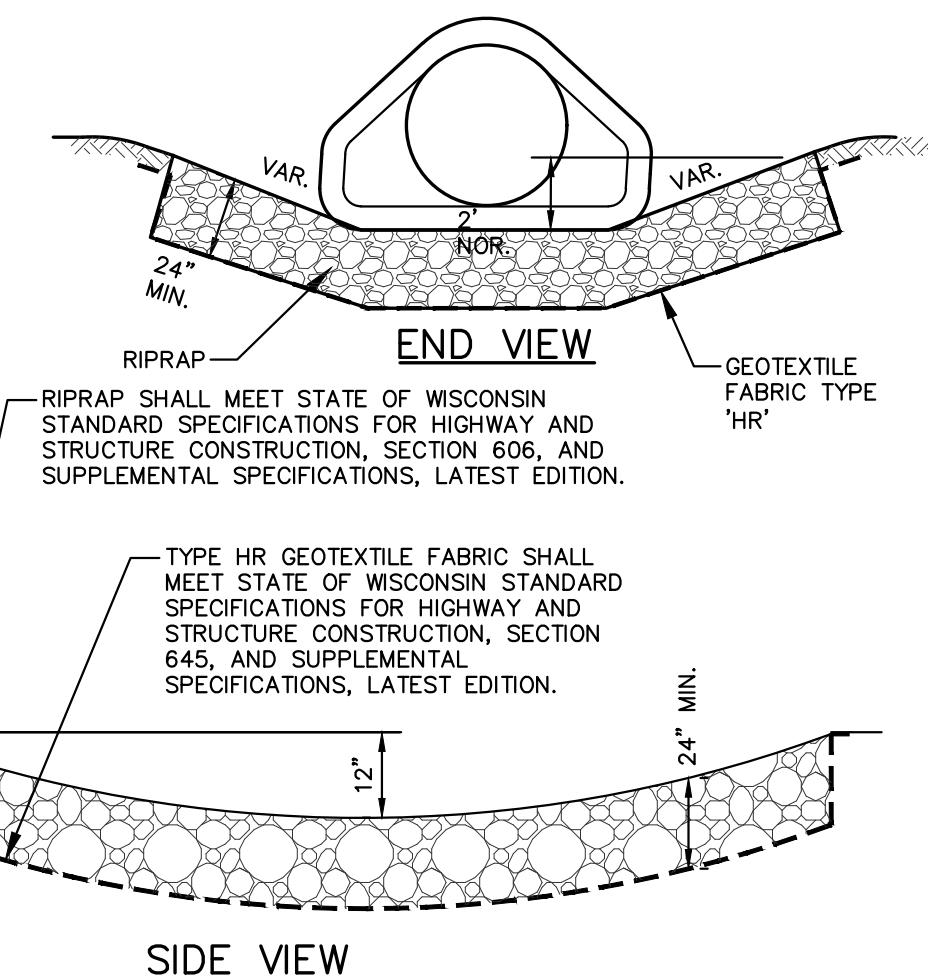
REV. 12-07-2018



**APRON ENDWALL - RIPRAP**

N.T.S.

\* L = 3 TIMES DIAMETER (NOR.) OR 10' MIN. OR AS DIRECTED BY THE ENGINEER



**APRON ENDWALL - RIPRAP**

N.T.S.



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**ROYAL CAPITAL**

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MILWAUKEE, WI 53203**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	03.25.22	P-PLAT SUBMITTAL
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Designed By: MSS/CTD  
Reviewed By: ACG

**DETAILS**

SHEET NUMBER:

**C8.1**

JSD PROJECT NO: 21-10566



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PRELIMINARY  
NOT FOR CONSTRUCTION

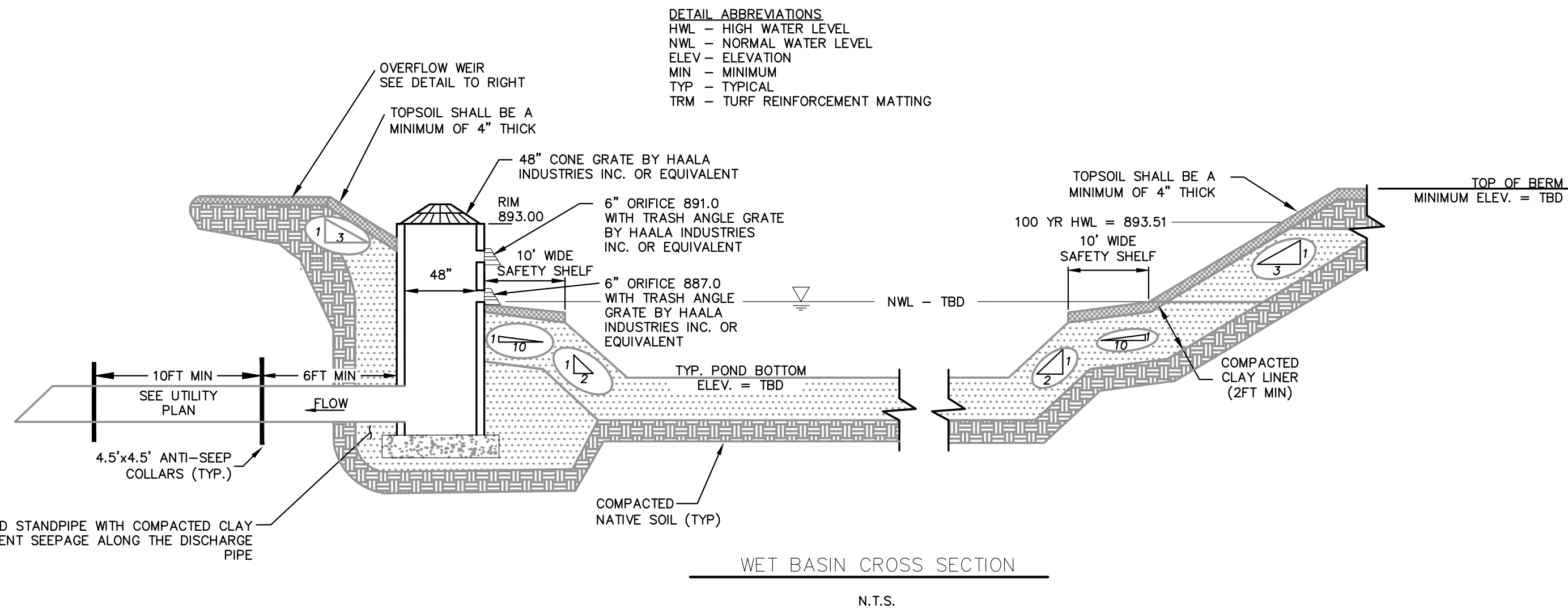
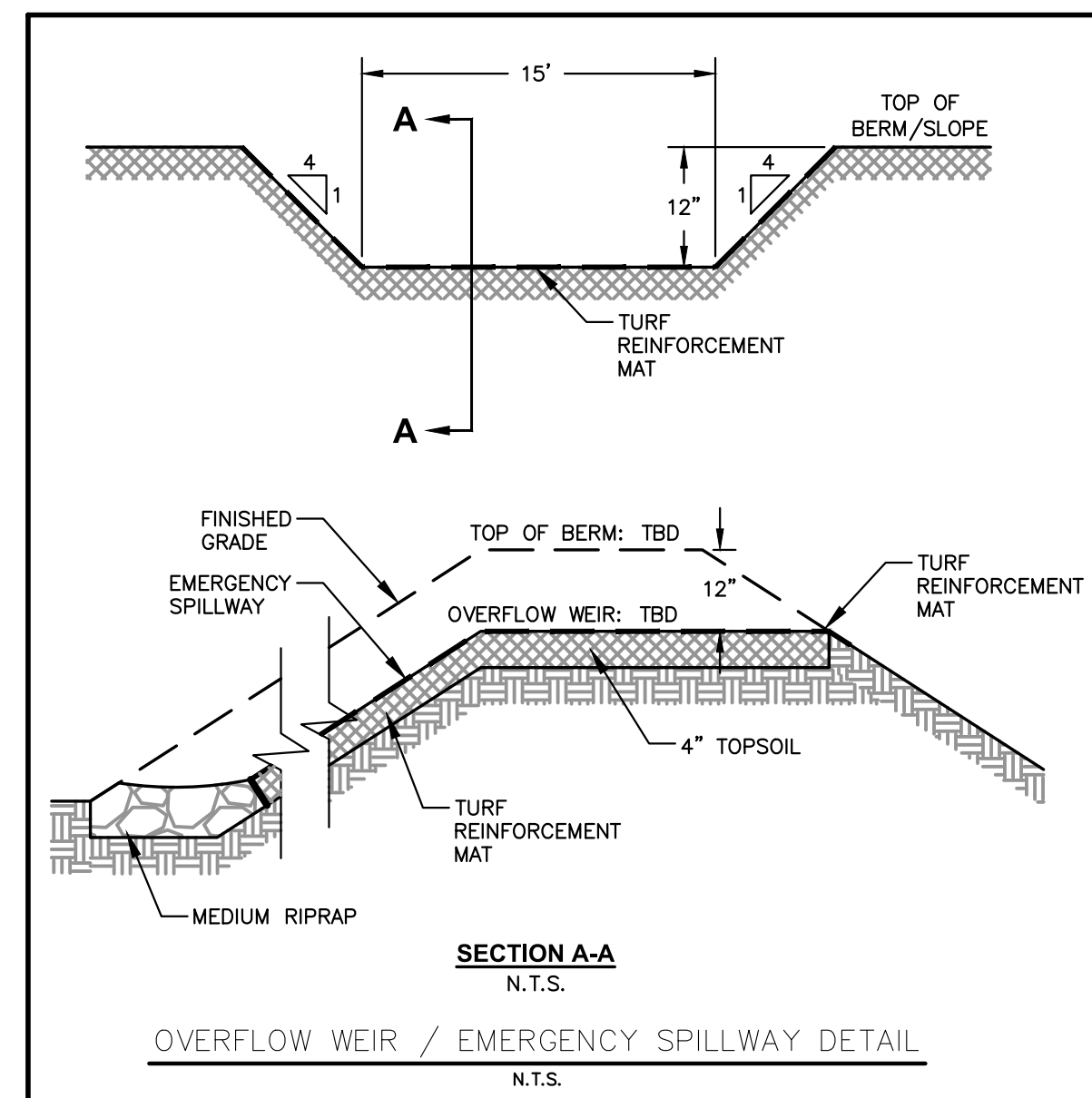
PLAN MODIFICATIONS:

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Designed By: MSS/CTD  
Reviewed By: ACG  
Approved By:

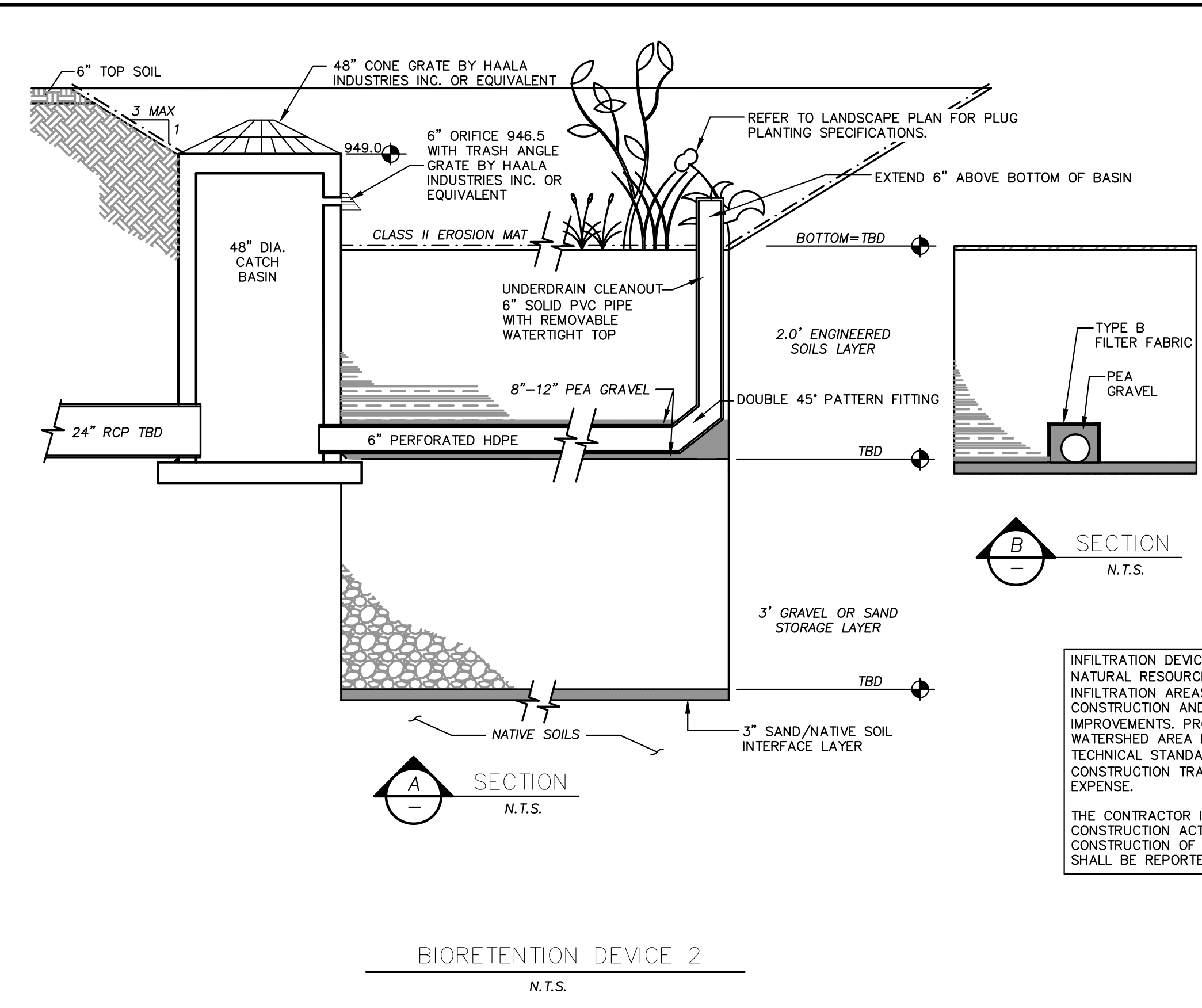
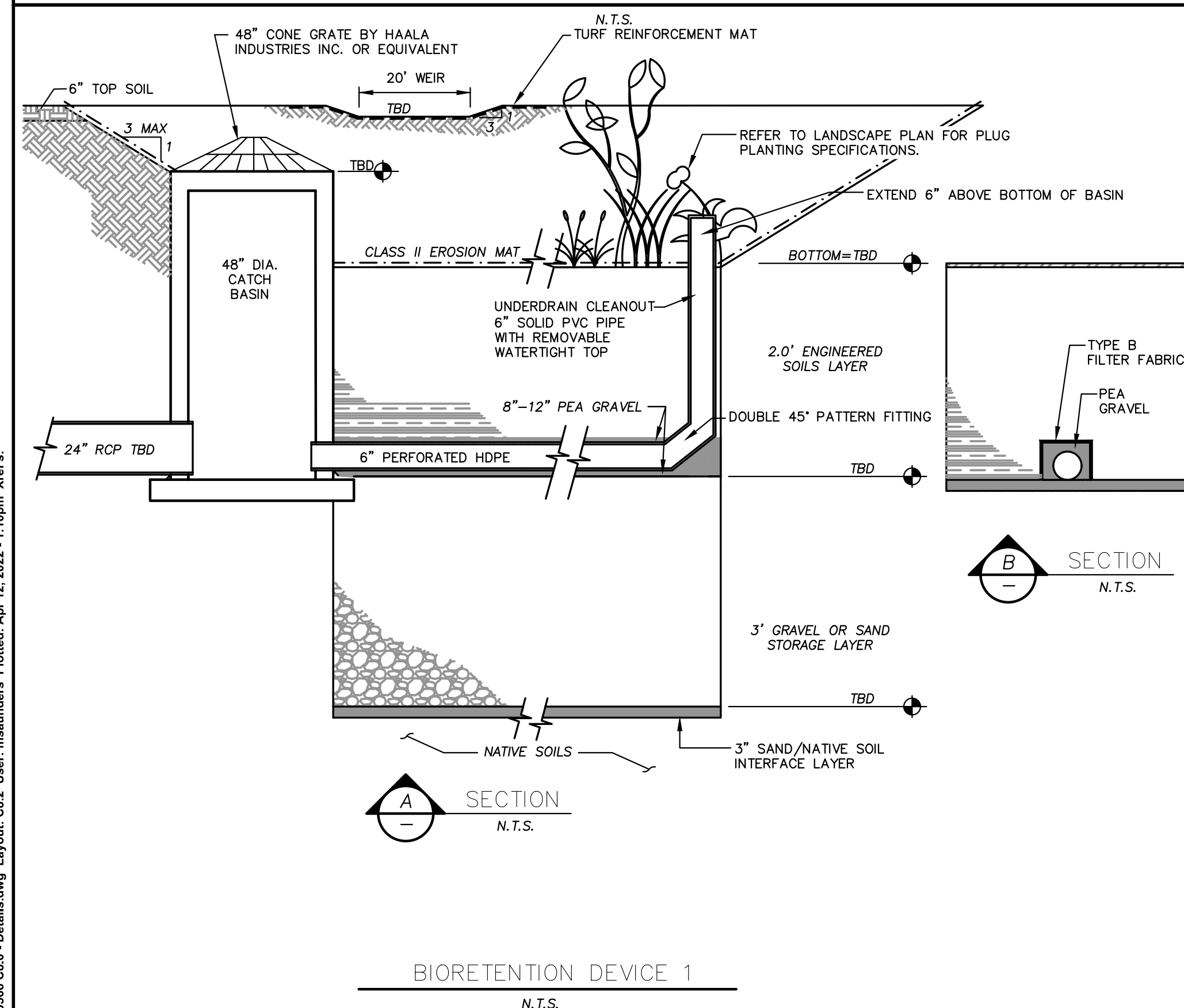
SHEET TITLE:  
**STORMWATER DETAILS**

SHEET NUMBER:  
**C8.2**



THE STORMWATER MANAGEMENT FEATURES CONTAINED WITHIN THIS PLAN SET HAVE BEEN DESIGNED IN ACCORDANCE WITH APPLICABLE STANDARDS SET FORTH IN WISCONSIN DNR NR151 AND LOCAL ORDINANCES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER CONSTRUCTION PRACTICES HAVE BEEN UTILIZED AND THAT STORMWATER MANAGEMENT FEATURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH APPROVED DESIGN PLANS. JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL NOT BE LIABLE FOR ANY CONSTRUCTION PRACTICES OR INSTALLATION WHICH DEVIATES FROM THE APPROVED PLAN SET. ONCE THE OWNER HAS PROVIDED FINAL APPROVAL TO THE WORK PERFORMED BY THE CONTRACTOR AND ENSURED COMPLIANCE WITH THE PLAN, IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN STORMWATER MANAGEMENT FEATURES IN ACCORDANCE WITH THE RECORDED MAINTENANCE AGREEMENT. PROPER OPERATION IS DEPENDENT ON A MULTITUDE OF VARIABLES INCLUDING WEATHER. THESE COMPONENTS REQUIRE ONGOING MAINTENANCE FOR WHICH THE OWNER IS RESPONSIBLE. JSD TAKES NO RESPONSIBILITY FOR PROPER OPERATION OF THE WATER QUALITY COMPONENTS.

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION BASIN TECHNICAL STANDARD 1001".
  - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
  - CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN-PLACE AT THE POND SIDE SLOPES OR BOTTOM OR OTHER ONSITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
  - FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.
  - IMMEDIATELY INSTALL FILTER FABRIC OVER ALL OUTLETS TO PREVENT SEDIMENT DEPOSITION IN THE PIPING. (REMOVE FOLLOWING CONTRIBUTING AREA STABILIZATION)



- GENERAL NOTES:**
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
  - CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL CONSISTING OF: 85% ASTM C33 SAND AND 15% CERTIFIED COMPOST.
  - CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
  - ASTM C33 SAND OR WASHED STONE SHALL BE PLACED IN THE FIRST 36" BELOW THE PERFORATED PIPE. SOILS SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO BACKFILLING.
  - ANNUAL RYE GRASS SHALL BE SEEDING AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN. REFER TO AREA DELINEATED ON SHEET L100 FOR PLANTING AREA. IT SHALL BE THE OWNERS/OWNERS CONTRACT REPRESENTATIVE'S RESPONSIBILITY TO DETERMINE TYPE OF VEGETATIVE COVER AT THE INVERT OF THE BIORETENTION BASIN. REFER TO DETAIL 1/401 AND 1(ALT)/401 FOR VEGETATION TYPE OPTIONS FOR BIORETENTION BASIN.
  - RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
  - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
  - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS - SEE SHEET L200.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (E.G. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



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CLIENT ADDRESS:  
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MILWAUKEE, WI 53203**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
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DANE COUNTY**

PLAN MODIFICATIONS:

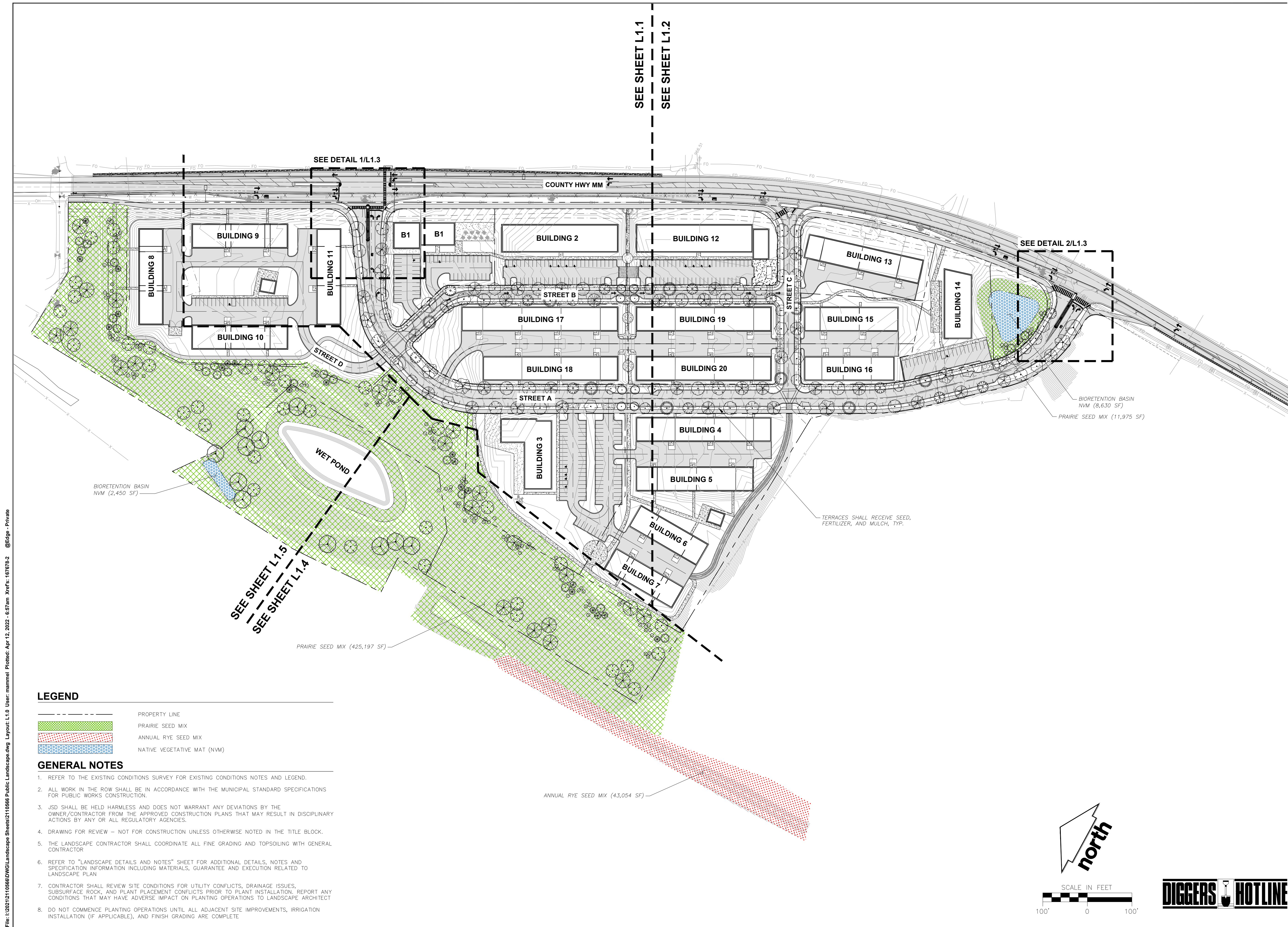
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Designed By: **MRA**  
Reviewed By: **MWS**  
Approved By:

SHEET TITLE:  
**OVERALL LANDSCAPE  
PLAN**

SHEET NUMBER:  
**L1.0**

JSD PROJECT NO: 21-10566



**PRELIMINARY  
NOT FOR CONSTRUCTION**

**LEGEND**

- PROPERTY LINE
- PRAIRIE SEED MIX
- ANNUAL RYE SEED MIX
- NATIVE VEGETATIVE MAT (NVM)

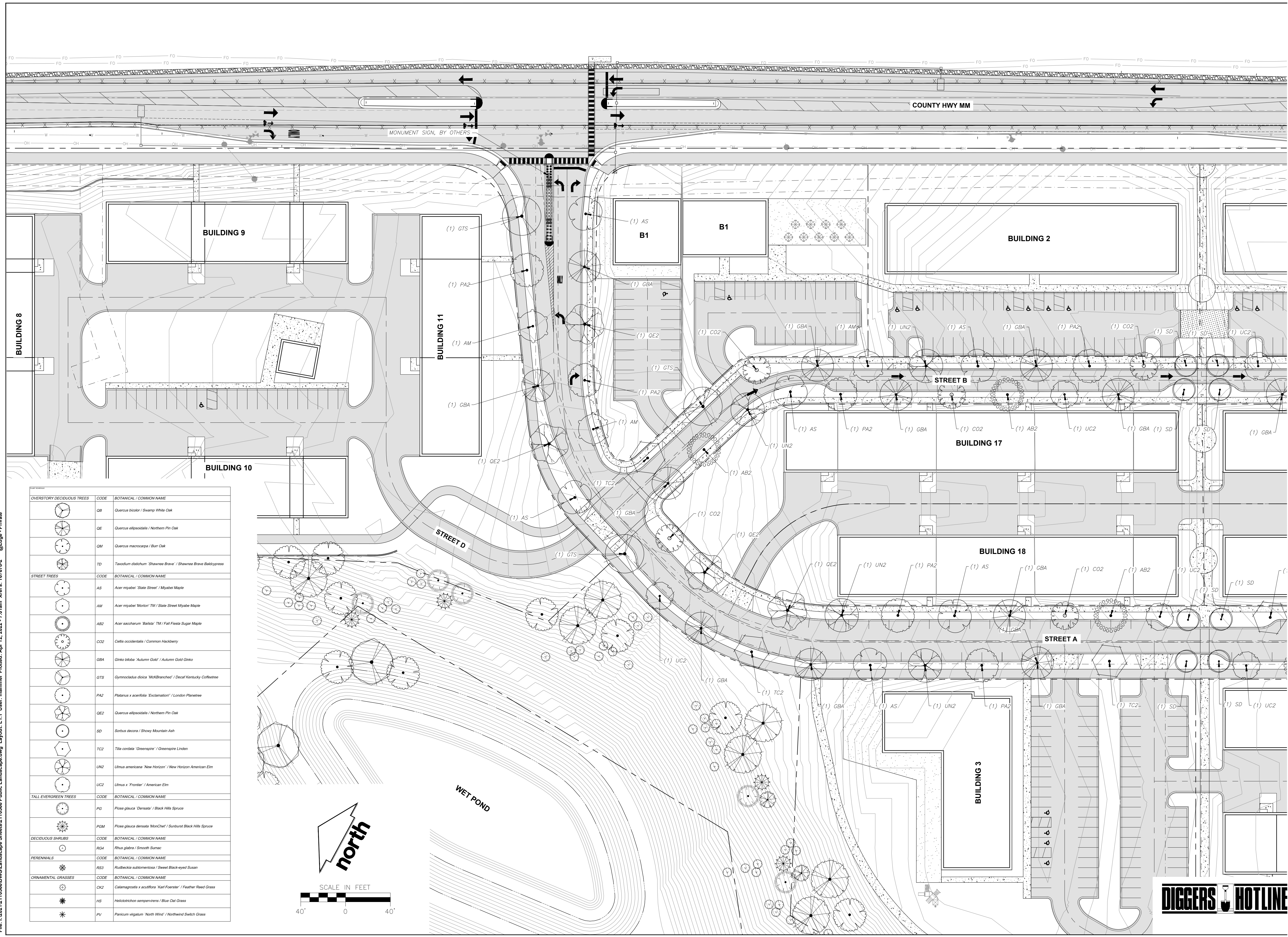
**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE

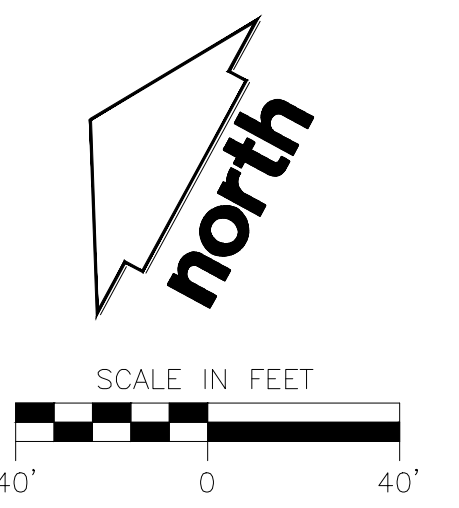
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OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	OB	Quercus bicolor / Swamp White Oak
	OE	Quercus ellipsoidalis / Northern Pin Oak
	OM	Quercus macrocarpa / Burr Oak
	TD	Taxodium distichum 'Shawnee Brave' / Shawnee Brave Baldcypress
STREET TREES	CODE	BOTANICAL / COMMON NAME
	AS	Acer myriabil 'State Street' / Myriabil Maple
	AM	Acer myriabil 'Morton' TM / State Street Myriabil Maple
	AB2	Acer saccharum 'Ballista' TM / Fall Fiesta Sugar Maple
	CO2	Celtis occidentalis / Common Hackberry
	GBA	Ginkgo biloba 'Autumn Gold' / Autumn Gold Ginkgo
	GTS	Gymnocladus dioica 'McKibben' / Decal Kentucky Coffeetree
	PA2	Platanus x acerifolia 'Exclamation' / London Planeleaf
	QE2	Quercus ellipsoidalis / Northern Pin Oak
	SD	Sorbus decora / Showy Mountain Ash
	TC2	Tilia cordata 'Greenspire' / Greenspire Linden
	UN2	Ulmus americana 'New Horizon' / New Horizon American Elm
	UC2	Ulmus x 'Frontier' / American Elm
TALL EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PG	Picea glauca 'Densaata' / Black Hills Spruce
	PGM	Picea glauca densata 'MonChief' / Sunburst Black Hills Spruce
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	RG4	Rhus glabra / Smooth Sumac
PERENNIALS	CODE	BOTANICAL / COMMON NAME
	RS3	Rudbeckia subtomentosa / Sweet Black-eyed Susan
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME
	OK2	Callamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
	HS	Helictotrichon sempervirens / Blue Oat Grass
	PV	Panicum virgatum 'North Wind' / Northwind Switch Grass



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 VERONA, WISCONSIN 53593  
 P. 608.848.5060

CLIENT:  
**ROYAL CAPITAL**

CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
 MILWAUKEE, WI 53203**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
 DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	03.25.22	P-PLAT SUBMITTAL
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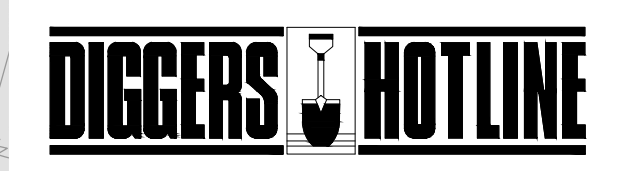
Designed By: **MRA**  
 Reviewed By: **MWS**  
 Approved By:

SHEET TITLE:  
**DETAILED LANDSCAPE  
 PLAN**

SHEET NUMBER:  
**L1.1**

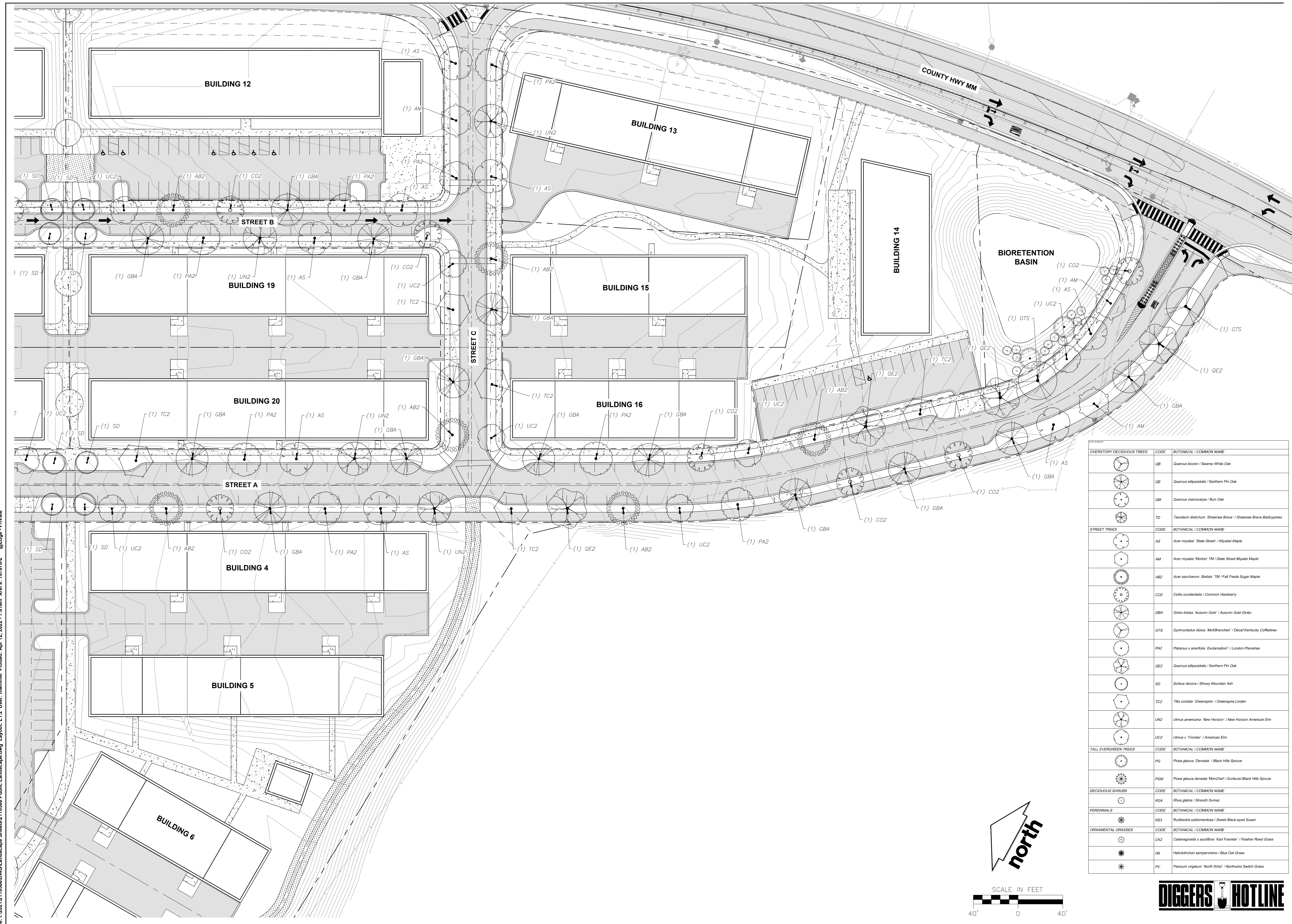
JSD PROJECT NO: 21-10566

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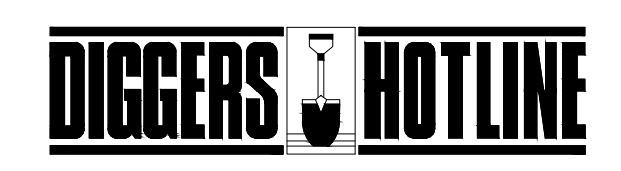
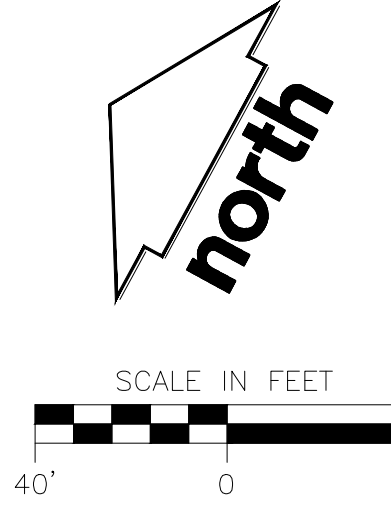


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OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	QB	Quercus bicolor / Swamp White Oak
	QE	Quercus ellipsoidalis / Northern Pin Oak
	QM	Quercus macrocarpa / Burr Oak
	TD	Taxodium distichum 'Shansee Brave' / Shansee Brave Baldcypress
STREET TREES	CODE	BOTANICAL / COMMON NAME
	AS	Acer nyctei 'State Street' / Miyabi Maple
	AM	Acer nyctei 'Morton' TM / State Street Miyabi Maple
	AB2	Acer saccharum 'Baltus' TM / Fall Fiesta Sugar Maple
	CO2	Celtis occidentalis / Common Hackberry
	GBA	Ginkgo biloba 'Autumn Gold' / Autumn Gold Ginkgo
	GTS	Gymnocladia dioica 'MokBranchee' / Dwarf Kentucky Coffeetree
	PA2	Platanus x acerifolia 'Exclamation' / London Planetree
	QE2	Quercus ellipsoidalis / Northern Pin Oak
	SD	Sorbus decora / Showy Mountain Ash
	TC2	Tilia cordata 'Greenspire' / Greenspire Linden
	UN2	Ulmus americana 'New Horizon' / New Horizon American Elm
	UC2	Ulmus x 'Frontier' / American Elm
TALL EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PG	Picea glauca 'Densata' / Black Hills Spruce
	PGM	Picea glauca densata 'MonCher' / Surland Black Hills Spruce
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	RG4	Rhus glabra / Smooth Sumac
PERENNIALS	CODE	BOTANICAL / COMMON NAME
	RS3	Rudbeckia subtomentosa / Sweet Black-eyed Susan
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME
	CK2	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
	HS	Helictotrichon sempervirens / Blue Oat Grass
	PV	Panicum virgatum 'North Wind' / Northwind Switch Grass



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P. 608.848.5060

CLIENT:  
**ROYAL CAPITAL**

CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
MILWAUKEE, WI 53203**

**PRELIMINARY  
NOT FOR CONSTRUCTION**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

PLAN MODIFICATIONS:		
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1	03.25.22	P-PLAT SUBMITTAL
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Designed By: **MRA**  
Reviewed By: **MWS**

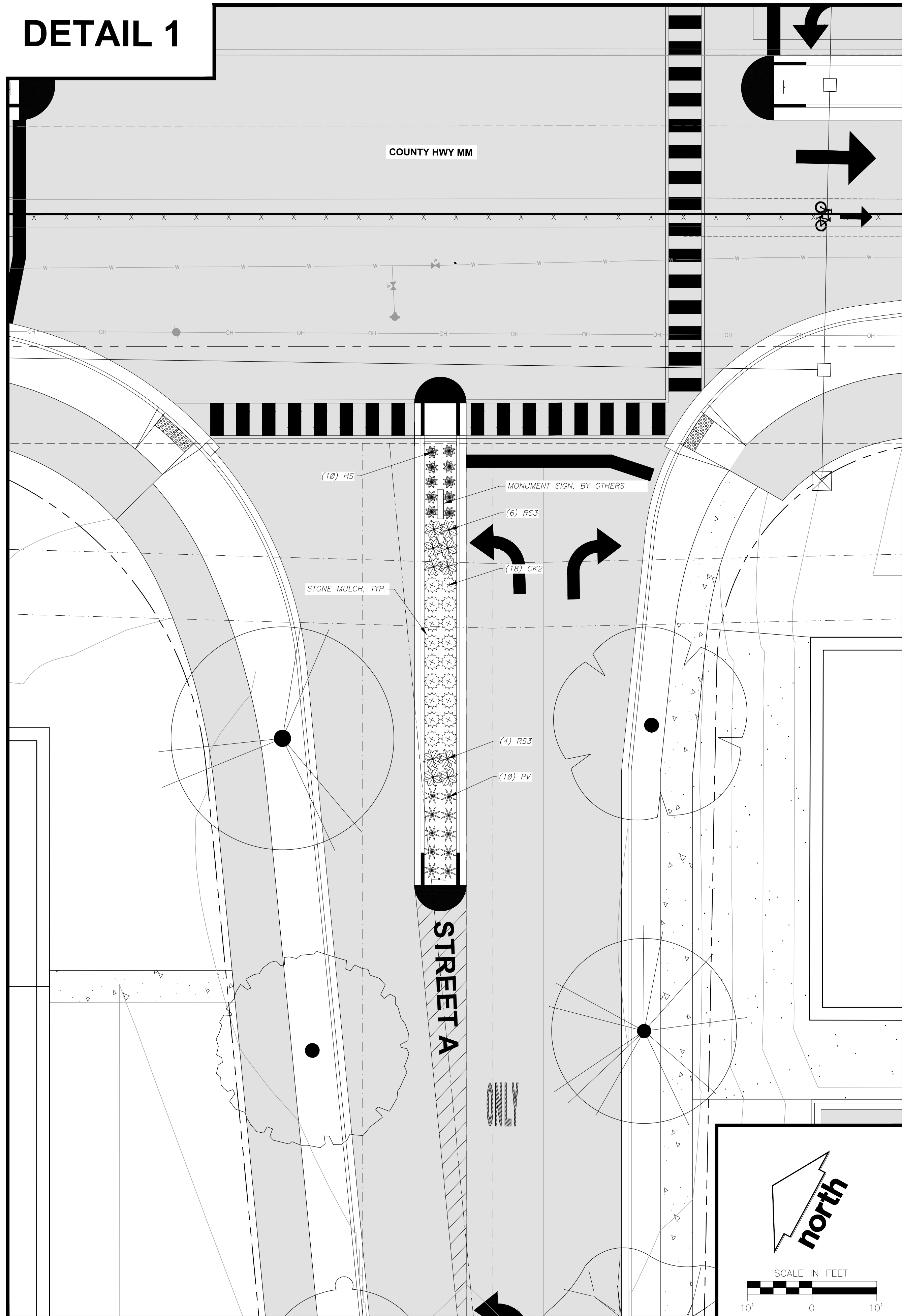
Approved By:  
**DETAILED LANDSCAPE  
PLAN**

SHEET NUMBER:  
**L1.2**

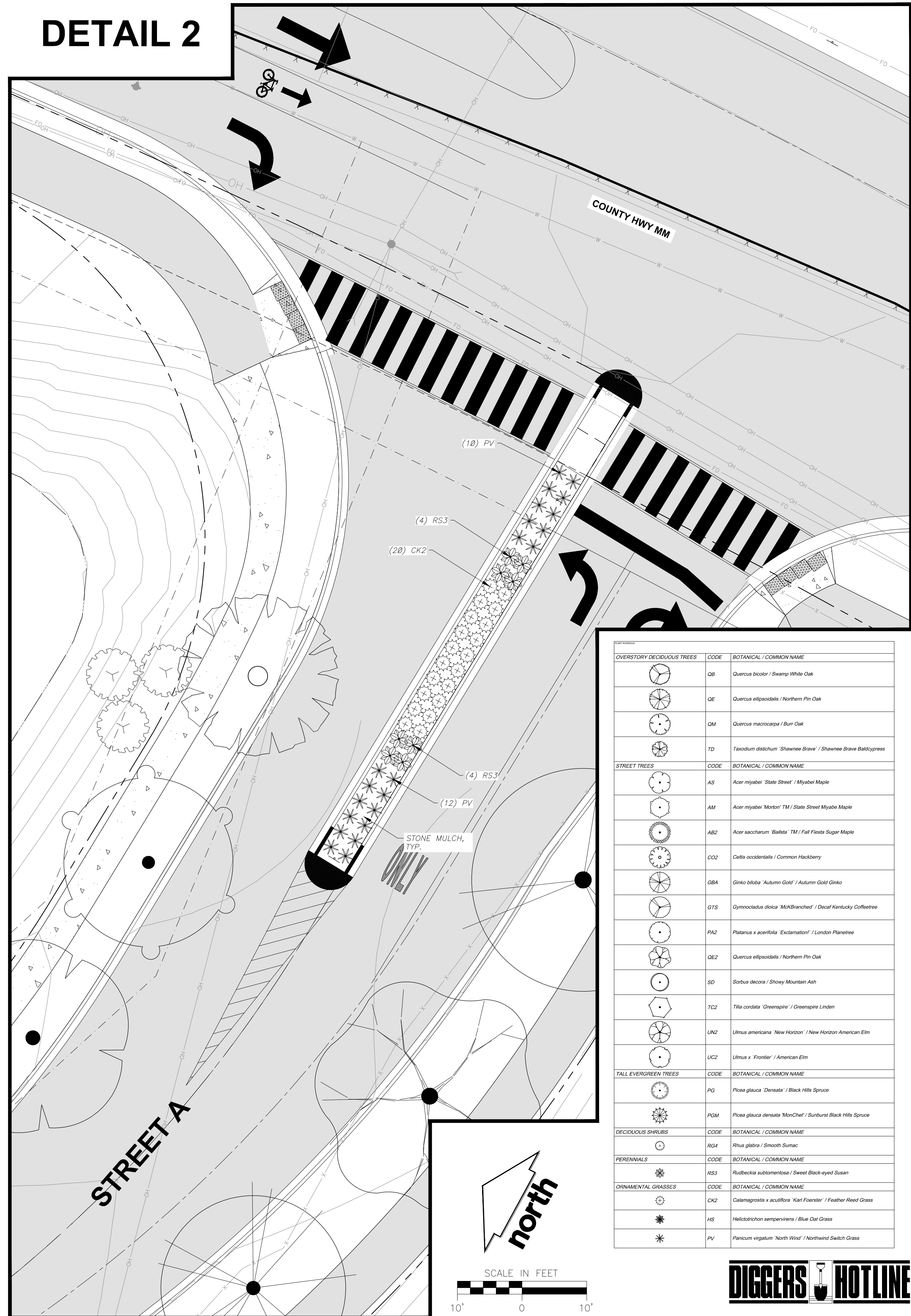
JSD PROJECT NO: 21-10566

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# DETAIL 1



# DETAIL 2



OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	QB	<i>Quercus bicolor</i> / Swamp White Oak
	QE	<i>Quercus ellipsoidata</i> / Northern Pin Oak
	QM	<i>Quercus macrocarpa</i> / Burr Oak
	TD	<i>Taxodium distichum</i> 'Shawnee Brave' / Shawnee Brave Baldcypress
STREET TREES	CODE	BOTANICAL / COMMON NAME
	AS	<i>Acer myriade</i> 'State Street' / Myriade Maple
	AM	<i>Acer myriade</i> 'Montreal' TM / State Street Myriade Maple
	AB2	<i>Acer saccharum</i> 'Balsam' TM / Fair Fiesta Sugar Maple
	CO2	<i>Celtis occidentalis</i> / Common Hackberry
	GB4	<i>Ginkgo biloba</i> 'Autumn Gold' / Autumn Gold Ginkgo
	GTS	<i>Gymnocladia dioica</i> 'McKBranded' / Decal Kentucky Coffeetree
	PA2	<i>Platanus x acerifolia</i> 'Exclamation' / London Plane tree
	QE2	<i>Quercus ellipsoidata</i> / Northern Pin Oak
	SD	<i>Sorbus decora</i> / Showy Mountain Ash
	TC2	<i>Tilia cordata</i> 'Greenspire' / Greenspire Linden
	LN2	<i>Ulmus americana</i> 'New Horizon' / New Horizon American Elm
	UC2	<i>Ulmus x 'Fraxinifolius'</i> / American Elm
TALL EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PG	<i>Picea glauca</i> 'Demata' / Black Hills Spruce
	PGM	<i>Picea glauca</i> 'MonDrel' / Sunburst Black Hills Spruce
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	RG4	<i>Rhus glabra</i> / Smooth Sumac
PERENNIALS	CODE	BOTANICAL / COMMON NAME
	RS3	<i>Rudbeckia subtomentosa</i> / Sweet Black-eyed Susan
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME
	CK2	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass
	HS	<i>Helictotrichon sempervirens</i> / Blue Oak Grass
	PV	<i>Panicum virgatum</i> 'North Wind' / Northwind Switch Grass



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CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
MILWAUKEE, WI 53203**

**PRELIMINARY  
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PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

PLAN MODIFICATIONS:

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Designed By: **MRA**  
Reviewed By: **MWS**

Approved By:  
**SHEET TITLE:  
DETAILED LANDSCAPE  
PLAN**

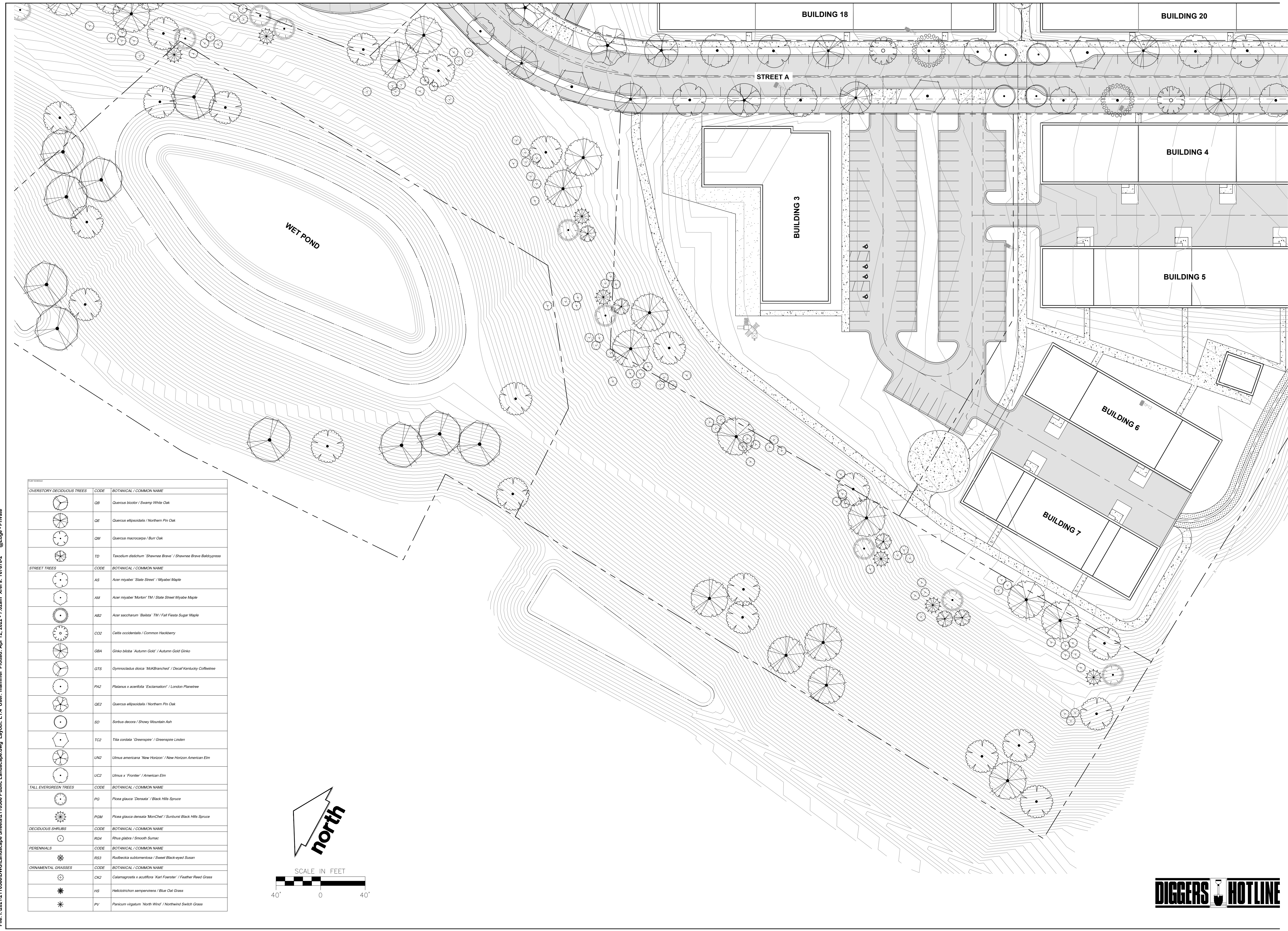
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JSD PROJECT NO: 21-10566

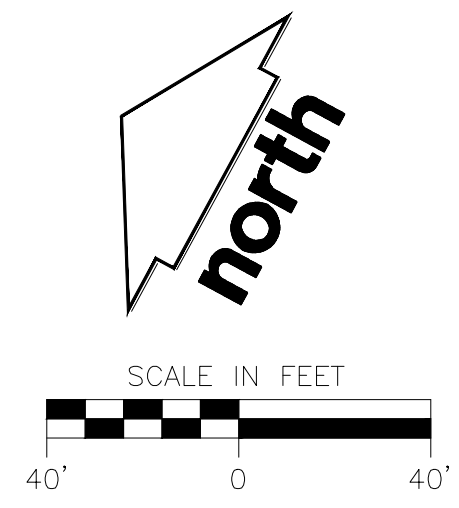
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OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	QB	Quercus bicolor / Swamp White Oak
	QE	Quercus ellipsoidalis / Northern Pin Oak
	QM	Quercus macrocarpa / Burr Oak
	TD	Taxodium distichum 'Shawnee Brave' / Shawnee Brave Baldcypress
STREET TREES	CODE	BOTANICAL / COMMON NAME
	AS	Acer myriabil 'State Street' / Myriabil Maple
	AM	Acer myriabil 'Morton' TM / State Street Myriabil Maple
	AB2	Acer saccharum 'Ballista' TM / Fall Fiesta Sugar Maple
	CO2	Celtis occidentalis / Common Hackberry
	GBA	Ginkgo biloba 'Autumn Gold' / Autumn Gold Ginkgo
	GTS	Gymnocladus dioica 'MKBranched' / Decal Kentucky Coffeetree
	PA2	Platanus x acerifolia 'Exclamation!' / London Planetree
	QE2	Quercus ellipsoidalis / Northern Pin Oak
	SD	Sorbus decora / Snowy Mountain Ash
	TC2	Tilia cordata 'Greenspire' / Greenspire Linden
	UN2	Ulmus americana 'New Horizon' / New Horizon American Elm
	UC2	Ulmus x 'Frontier' / American Elm
TALL EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PG	Picea glauca 'Denata' / Black Hills Spruce
	PGM	Picea glauca densata 'MoriChel' / Sunburst Black Hills Spruce
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	R04	Rhus glabra / Smooth Sumac
PERENNIALS	CODE	BOTANICAL / COMMON NAME
	RS3	Rudbeckia subulmentosa / Sweet Black-eyed Susan
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME
	CK2	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
	HS	Helictotrichon sempervirens / Blue Oat Grass
	PV	Panicum virgatum 'North Wind' / Northwind Switch Grass



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**ROYAL CAPITAL**

CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
MILWAUKEE, WI 53203**

**PRELIMINARY  
NOT FOR CONSTRUCTION**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

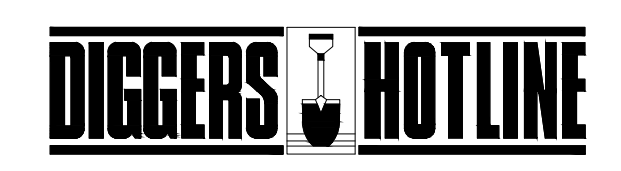
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Designed By: **MRA**  
Reviewed By: **MWS**  
Approved By:

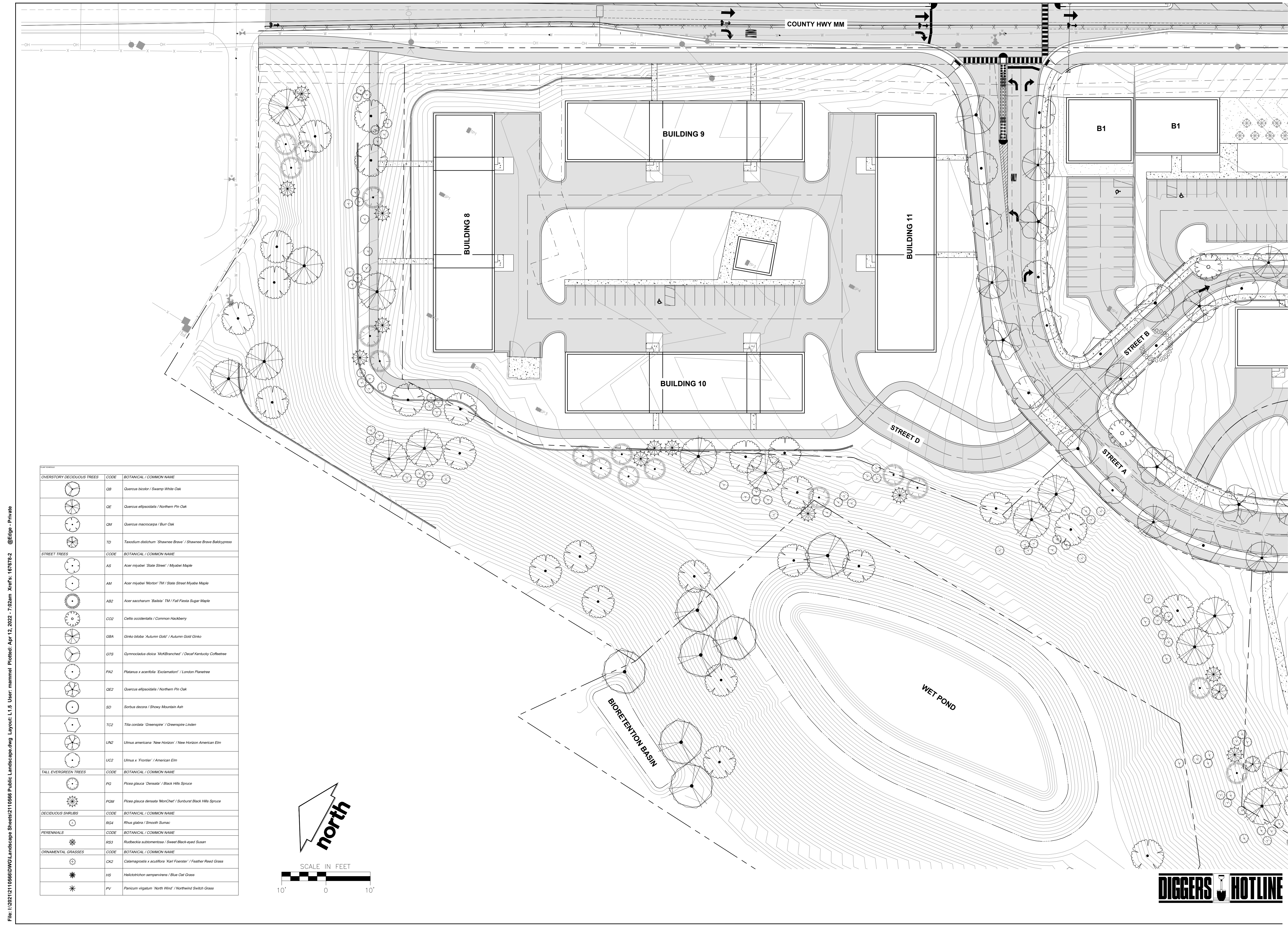
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**DETAILED LANDSCAPE  
PLAN**

SHEET NUMBER:  
**L1.4**

JSD PROJECT NO: 21-10566



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CLIENT:  
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CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
MILWAUKEE, WI 53203**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

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Designed By: **MRA**

Reviewed By: **MWS**

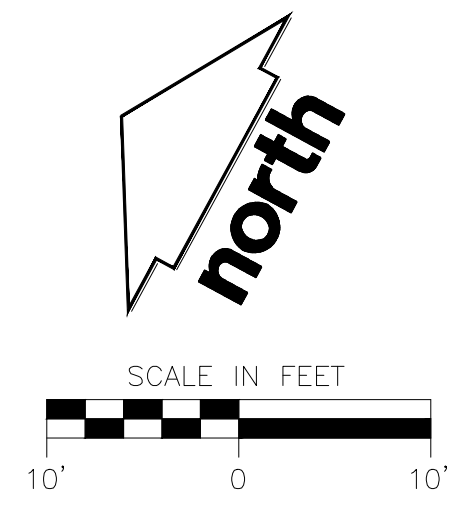
Approved By:

SHEET TITLE:  
**DETAILED LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.5**

JSD PROJECT NO: 21-10566

CODE	BOTANICAL / COMMON NAME
OB	<i>Quercus bicolor</i> / Swamp White Oak
OE	<i>Quercus ellipsoidalis</i> / Northern Pin Oak
OM	<i>Quercus macrocarpa</i> / Burr Oak
TD	<i>Taxodium distichum</i> 'Shawnee Brave' / Shawnee Brave Baldcypress
STREET TREES	
AS	<i>Acer myriadeum</i> 'State Street' / Myriadeum Maple
AM	<i>Acer myriadeum</i> 'Morton TM' / State Street Myriadeum Maple
AS2	<i>Acer saccharum</i> 'Balsita TM' / Fall Fiesta Sugar Maple
CO2	<i>Celtis occidentalis</i> / Common Hackberry
GBA	<i>Ginkgo biloba</i> 'Autumn Gold' / Autumn Gold Ginkgo
GTS	<i>Gymnocladus dioica</i> 'McKBranded' / Decaf Kentucky Coffeetree
PA2	<i>Platanus x acerifolia</i> 'Exclamation!' / London Planetree
QE2	<i>Quercus ellipsoidalis</i> / Northern Pin Oak
SD	<i>Sorbus decora</i> / Showy Mountain Ash
TC2	<i>Tilia cordata</i> 'Greenspire' / Greenspire Linden
UN2	<i>Ulmus americana</i> 'New Horizon' / New Horizon American Elm
UC2	<i>Ulmus x Frontier</i> / American Elm
TALL EVERGREEN TREES	
PG	<i>Picea glauca</i> 'Densata' / Black Hills Spruce
PGM	<i>Picea glauca densata</i> 'MonChef' / Sunburst Black Hills Spruce
DECIDUOUS SHRUBS	
RG4	<i>Rhus glabra</i> / Smooth Sumac
PERENNIALS	
RS3	<i>Rudbeckia subtomentosa</i> / Sweet Black-eyed Susan
ORNAMENTAL GRASSES	
CK2	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass
HS	<i>Helictotrichon sempervirens</i> / Blue Oat Grass
PV	<i>Panicum virgatum</i> 'North Wind' / Northwind Switch Grass

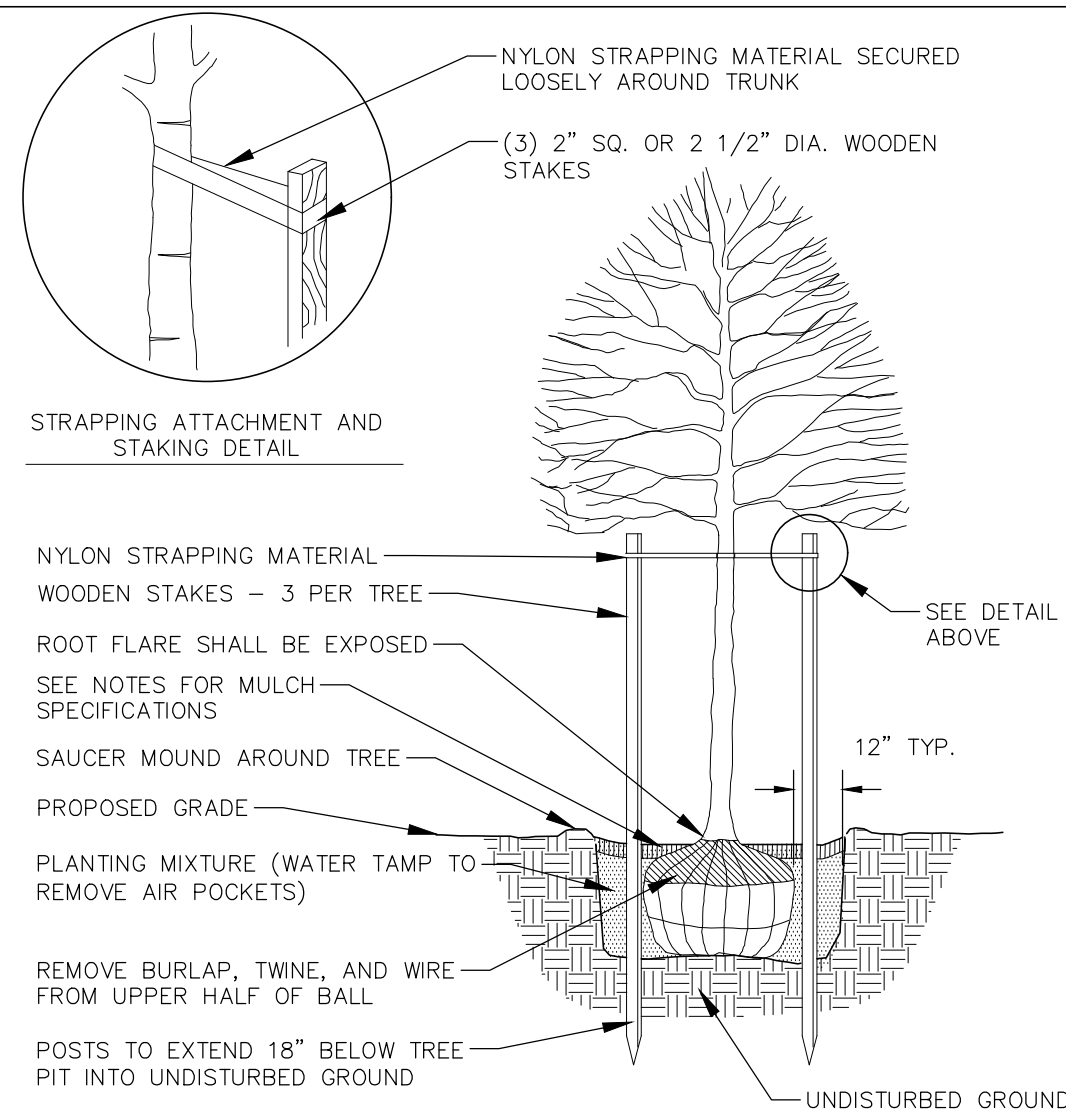


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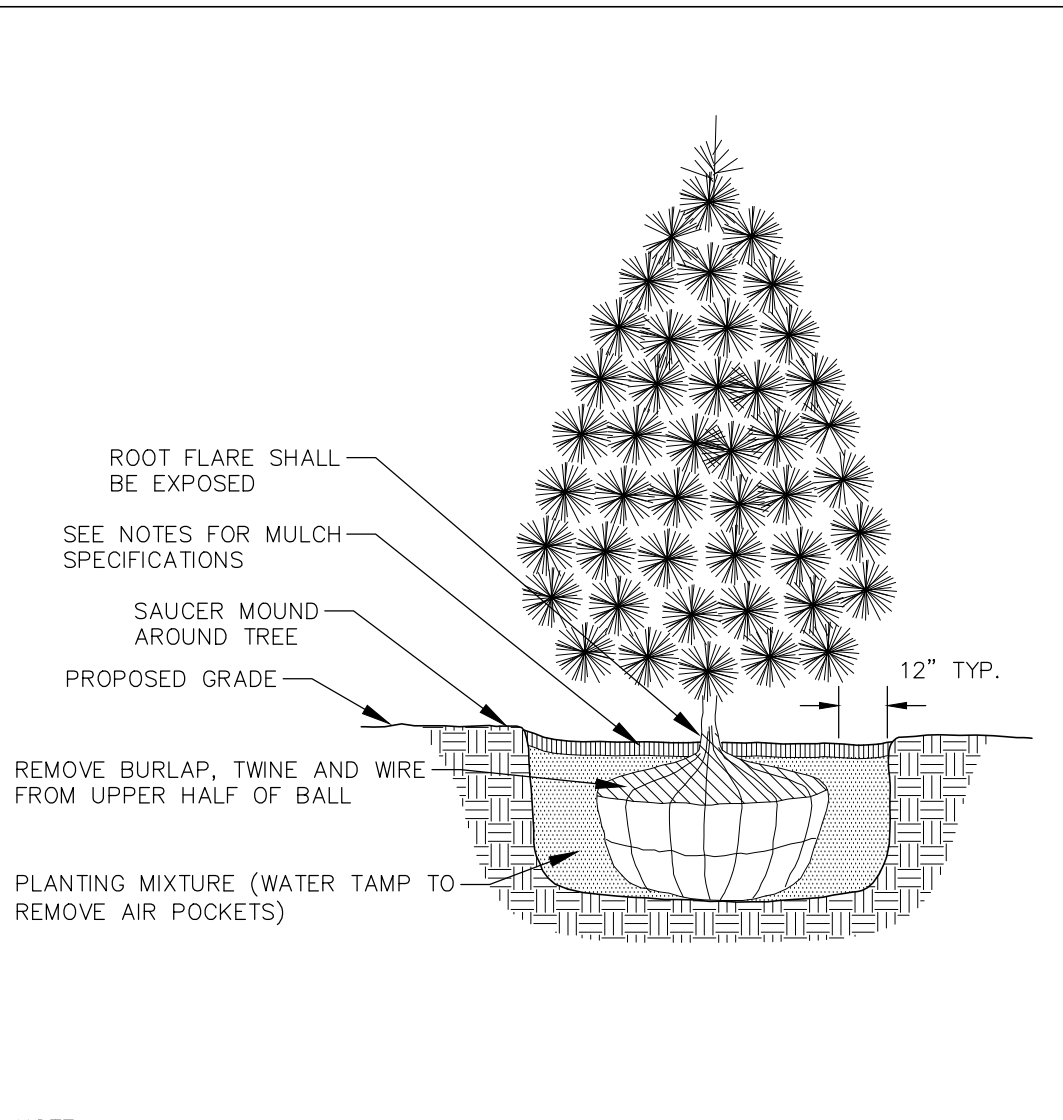
STRAPPING ATTACHMENT AND STAKING DETAIL

NYLON STRAPPING MATERIAL  
WOODEN STAKES - 3 PER TREE  
ROOT FLARE SHALL BE EXPOSED  
SEE NOTES FOR MULCH SPECIFICATIONS  
SAUCER MOUND AROUND TREE  
PROPOSED GRADE  
PLANTING MIXTURE (WATER TAMP TO REMOVE AIR POCKETS)  
REMOVE BURLAP, TWINE, AND WIRE FROM UPPER HALF OF BALL  
POSTS TO EXTEND 18" BELOW TREE PIT INTO UNDISTURBED GROUND

**DECIDUOUS TREE PLANTING DETAIL**

N.T.S.

REV. 01-04-2019

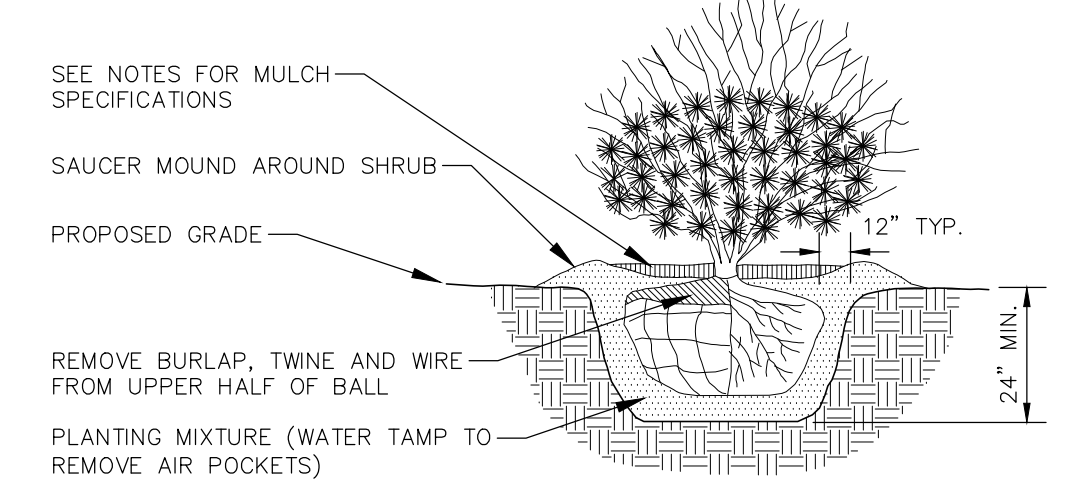


NOTE:  
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.  
2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

**EVERGREEN TREE PLANTING DETAIL**

N.T.S.

REV. 01-03-2019

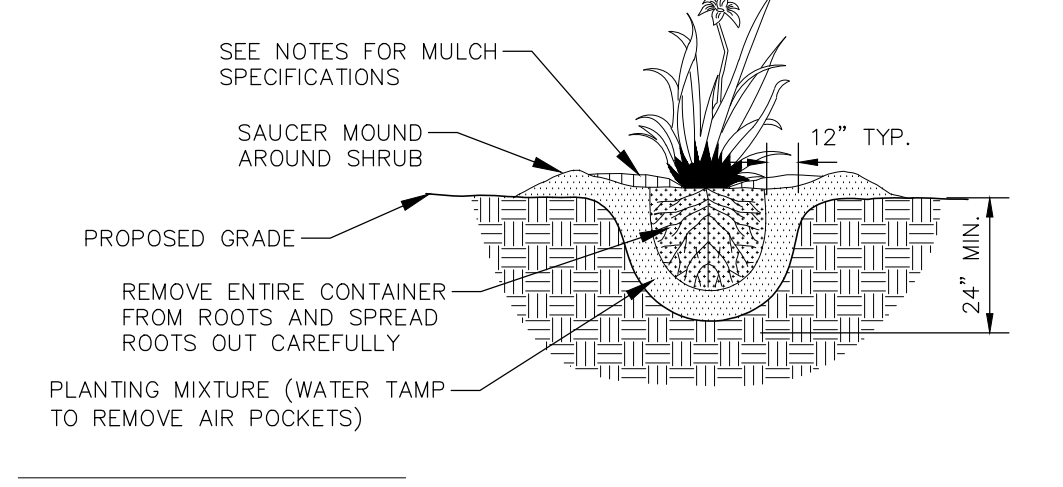


NOTE:  
1. ROOT FLARE TO BE EXPOSED.

**SHRUB PLANTING DETAIL**

N.T.S.

REV. 01-03-2019



**PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL**

N.T.S.

REV. 01-03-2019

**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY LOCAL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**PLANT SCHEDULE**

OVERSTORY DECIDUOUS TREES	COMMON NAME	CONT	SIZE	QTY
<i>Quercus bicolor</i>	Swamp White Oak	B & B	2"Cal	11
<i>Quercus ellipsoidalis</i>	Northern Pin Oak	B & B	2"Cal	24
<i>Quercus macrocarpa</i>	Burr Oak	B & B	2"Cal	36
<i>Taxodium distichum 'Shawnee Brave'</i>	Shawnee Brave Baldcypress	B & B	2"Cal	5

STREET TREES	COMMON NAME	CONT	SIZE	QTY
<i>Acer miyabei 'State Street'</i>	Miyabei Maple	B & B	2"Cal	14
<i>Acer miyabei 'Morton' TM</i>	State Street Miyabe Maple	B & B	2"Cal	6
<i>Acer saccharum 'Balista' TM</i>	Fall Fiesta Sugar Maple	B & B	2"Cal	9
<i>Celtis occidentalis</i>	Common Hackberry	B & B	2"Cal	12
<i>Ginkgo biloba 'Autumn Gold'</i>	Autumn Gold Ginko	B & B	2"Cal	25
<i>Gymnocladus dioica 'McKBranded'</i>	Decaf Kentucky Coffeetree	B & B	2"Cal	14
<i>Platanus x acerifolia 'Exclamation'</i>	London Planetree	B & B	1.5"Cal	5
<i>Quercus ellipsoidalis</i>	Northern Pin Oak	B & B	2"Cal	8
<i>Sorbus decora</i>	Showy Mountain Ash	B & B	2"Cal	8
<i>Tilia cordata 'Greenspire'</i>	Greenspire Linden	B & B	2"Cal	8
<i>Ulmus americana 'New Horizon'</i>	New Horizon American Elm	B & B	2"Cal	8
<i>Ulmus x 'Frontier'</i>	American Elm	B & B	2"Cal	10

TALL EVERGREEN TREES	COMMON NAME	CONT	SIZE	QTY
<i>Picea glauca 'Densata'</i>	Black Hills Spruce	B & B	Min. 4' Ht.	21
<i>Picea glauca densata 'MonChet'</i>	Sunburst Black Hills Spruce	B & B	Min. 4' Ht.	15

DECIDUOUS SHRUBS	COMMON NAME	CONT	SIZE	QTY
<i>Rhus glabra</i>	Smooth Sumac	3 gal	3-4' Ht.	133

PERENNIALS	COMMON NAME	CONT	SIZE	QTY
<i>Rudbeckia subtomentosa</i>	Sweet Black-eyed Susan	1 gal	Min. 18"-24"	18

ORNAMENTAL GRASSES	COMMON NAME	CONT	SIZE	QTY
<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Feather Reed Grass	1 gal	10-12" Ht.	38
<i>Helictotrichon sempervirens</i>	Blue Oat Grass	1 gal	10-12" Ht.	10
<i>Panicum virgatum 'North Wind'</i>	Northwind Switch Grass	1 gal	10-12" Ht.	32

**SEEDING, SODDING, & POND VEGETATION NOTES**

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZER AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
- MATERIALS - PRAIRIE SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDED WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53984, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
- MATERIALS - ANNUAL RYE SEED MIX: AREAS SPECIFIED ON PLAN TO BE BROADCAST SEEDED WITH AN ANNUAL RYE SEED MIX PROVIDED BY OWNER OR OWNER'S REPRESENTATIVE. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
- MULCHING/SLOPE STABILIZATION: PLACE MULCH OVER ALL PRAIRIE SEED MIX AREAS IN ACCORDANCE WITH WISCONSIN STATE STANDARD SPECIFICATIONS, SUBSECTION 627.3.2.3 (METHOD C), WITH THE FOLLOWING EXCEPTIONS:
  - HAY MAY NOT BE USED FOR MULCHING DUE TO THE PRESENCE OF WEED SEEDS AND OTHER UNDESIRABLE PLANT CONTAMINANTS. USE CERTIFIED WEED FREE STRAW ONLY.
  - WOOD CHIPS SHALL NOT BE USED FOR MULCHING NATIVE PRAIRIE SEEDINGS.
  - EROSION MATS SHALL CONSIST OF LIGHT DUTY STRAW OR EXCELSIOR MATERIAL, WITH AN UPPER PLASTIC NETTING WITH 3/4 INCH BY 3/4 INCH OPENINGS IN THE MESH.
- MATERIALS - BIORETENTION BASIN NATIVE VEGETATIVE MAT (NVM): AREAS SPECIFIED ON PLANS SHALL RECEIVE AGRECOL "RAINWATER RENEWAL" NATIVE VEGETATIVE MAT - DEGRADABLE CORE. CONTRACTOR SHALL CONTACT AGRECOL NATIVE NURSERY 16 WEEKS IN ADVANCE OF INSTALLATION FOR PROPER GROWING LEAD TIME. CONTRACTOR SHALL ASSUME AVAILABLE DELIVERY DATE TO BE BETWEEN MID-JUNE THROUGH THE END OF OCTOBER DUE TO THE NMV GROWING SEASON. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION PROCEDURES.



CREATE THE VISION TELL THE STORY

jsdinc.com

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CLIENT:  
**ROYAL CAPITAL**

CLIENT ADDRESS:  
**710 N PLANKINTON AVE. SUITE 300  
MILWAUKEE, WI 53203**

PROJECT:  
**NINE SPRINGS**

PROJECT LOCATION:  
**FITCHBURG, WI 53711  
DANE COUNTY**

PLAN MODIFICATIONS:

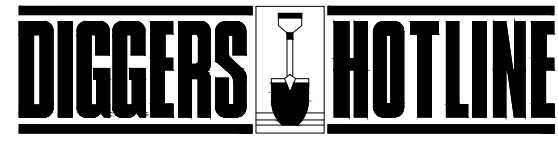
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Designed By: **MRA**  
Reviewed By: **MWS**  
Approved By:

SHEET TITLE:  
**LANDSCAPE DETAILS & NOTES**

SHEET NUMBER:  
**L2.0**

JSD PROJECT NO: **21-10566**



April 12, 2022

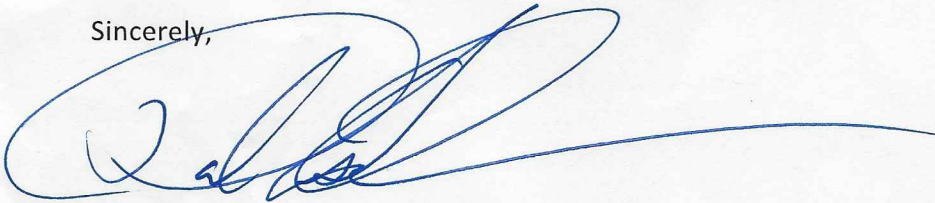
City of Fitchburg  
City Planning Commission  
5520 Lacy Road  
Fitchburg, WI 53711

To Whom It May Concern:

I, Dale Osborn have been informed and currently not in opposition of the current, proposed Nine Springs General Implementation Plan and Preliminary Plat as submitted by Royal Capital Group. As authorized representative and landowner I provide Royal Capital with permission to display the proposed discontinued right-of-way of Loniello Court and the additional Outlot for stormwater management on the current, proposed General Development Plan and Preliminary Plat.

Our entities will work in good faith towards a real estate transaction upon approval of the Architectural Design Review and Final Plat by the City of Fitchburg's Common Council.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Dale Osborn', with a long horizontal flourish extending to the right.

Dale Osborn  
Authorized Representative and Landowner