



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Steve Shulfer

Address: 2501 Parmenter Street Ste. 100B

Phone Number of Contact Person: 608-836-7570

City, State, Zip Code: Middleton, WI 53562

Email of Contact Person: sshulfer@sketchworksarch.com

Project Address: 5955 McKee Road

Lot: _____

Subdivision: _____

Project Type: _____ **Multi-Family** **Commercial** _____ **Industrial** _____ **Other**
 New _____ **Addition**

Impervious Surface Ratio (ISR): 63.4% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Additional site and stormwater management information to be provided at a later date

Lighting plan to be provided at a later date

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- n/a 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

Landscape plans to be provided at a later date

1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____ Date: 9/8/22

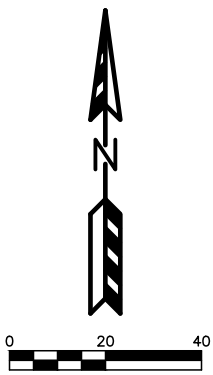
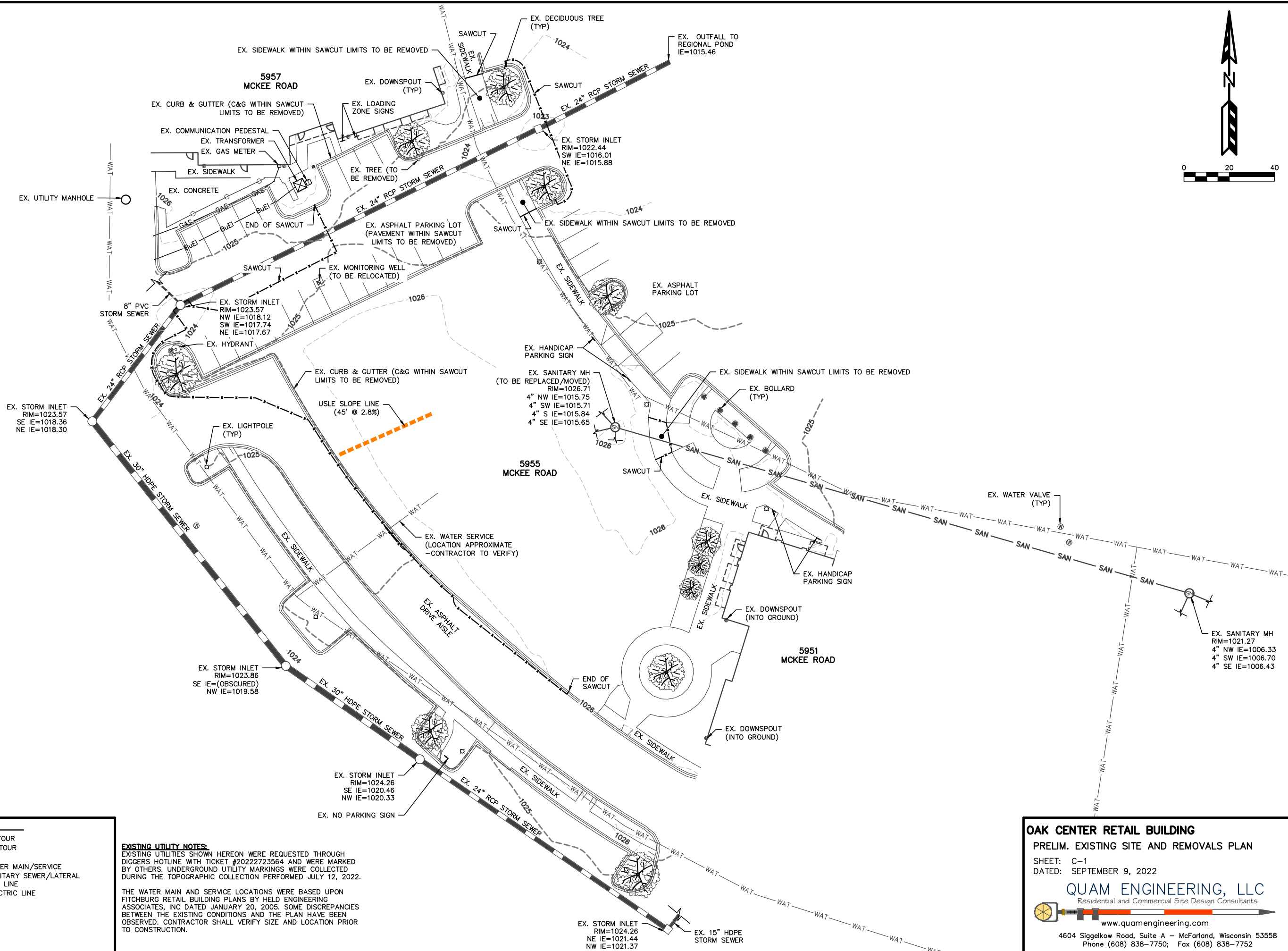
 Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:



LEGEND FOR COMMON LINES:

---1026---	- EXISTING MINOR CONTOUR
---1025---	- EXISTING MAJOR CONTOUR
—○—	- EXISTING FENCE
—WAT—	- EXISTING BURIED WATER MAIN/SERVICE
—SAN—	- EXISTING BURIED SANITARY SEWER/LATERAL
—GAS—	- EXISTING BURIED GAS LINE
—BuEI—	- EXISTING BURIED ELECTRIC LINE

EXISTING UTILITY NOTES:
 EXISTING UTILITIES SHOWN HEREON WERE REQUESTED THROUGH DIGGERS HOTLINE WITH TICKET #20222723564 AND WERE MARKED BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED JULY 12, 2022.

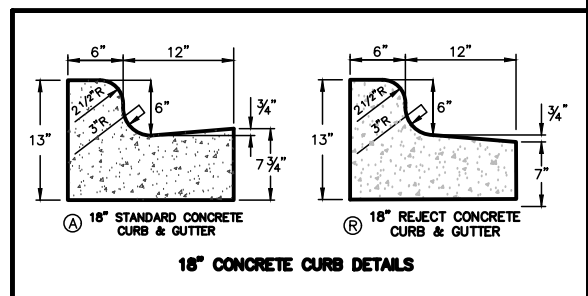
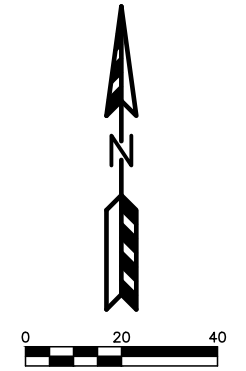
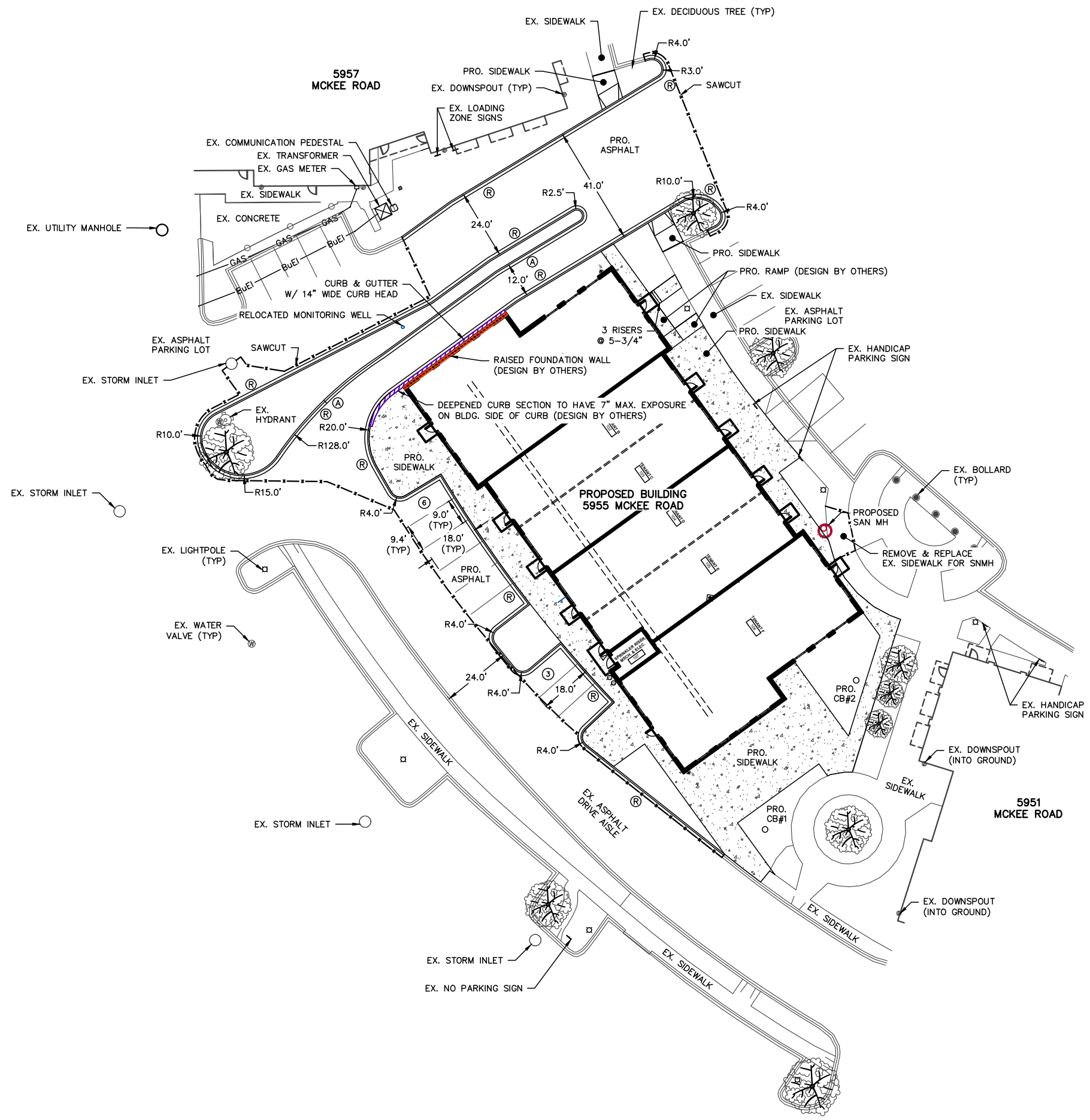
THE WATER MAIN AND SERVICE LOCATIONS WERE BASED UPON FITCHBURG RETAIL BUILDING PLANS BY HELD ENGINEERING ASSOCIATES, INC DATED JANUARY 20, 2005. SOME DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE PLAN HAVE BEEN OBSERVED. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

OAK CENTER RETAIL BUILDING
 PRELIM. EXISTING SITE AND REMOVALS PLAN

SHEET: C-1
 DATED: SEPTEMBER 9, 2022

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

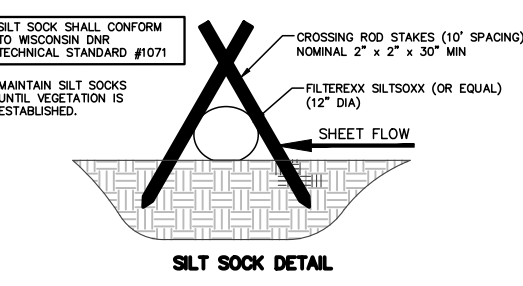
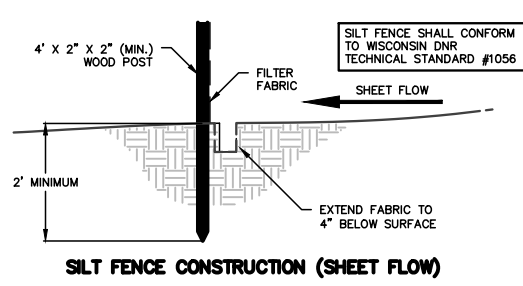
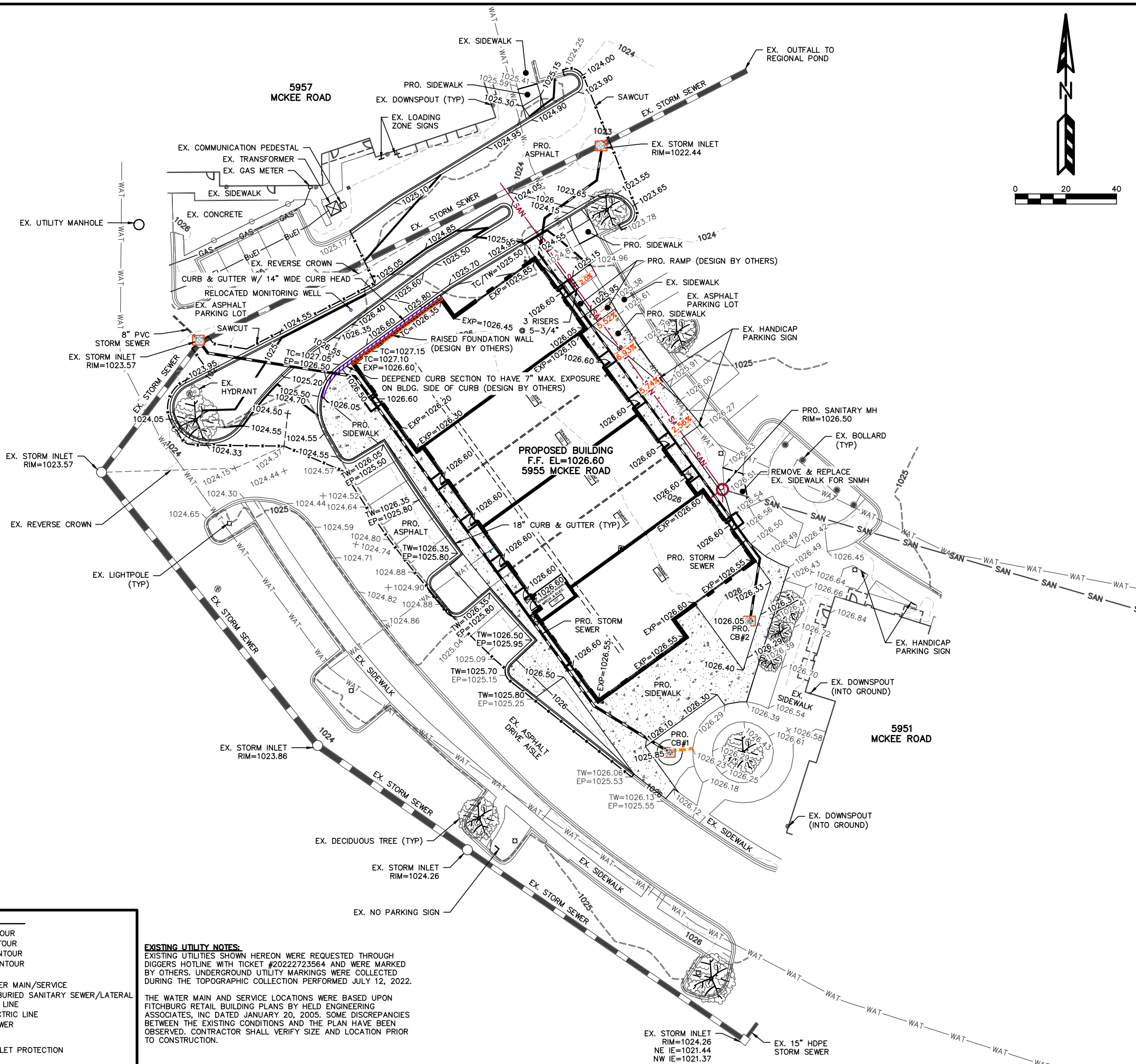


OAK CENTER RETAIL BUILDING
 PRELIMINARY PROPOSED SITE PLAN
 SHEET: C-3
 DATED: SEPTEMBER 9, 2022

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EROSION NOTES:
 THE EXISTING DRIVE AISLE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE PUBLIC STREET. SEDIMENT REACHING PUBLIC STREET SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
 x - y INSTALL INITIAL EROSION CONTROL DEVICES.
 y - z CONSTRUCT BUILDING AND PARKING SPACES.
 d APPLY MULCH, EROSION MAT, TARP, WOODCHIPS, OR OTHER COVER TO PERSISTENT, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED. (PER DNR TECH STANDARD 1058)
 z RESTORE ALL PERSISTENT DISTURBED AREAS.

RESTORATION NOTES:
 RESTORATION SHALL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL.

ALL PERSISTENT DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED, AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. ALL SEED MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

ALL PERSISTENT DISTURBED AREAS SHALL RECEIVE FERTILIZER. FERTILIZER SHALL BE THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8% POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.

SEEDING FROM SEPTEMBER 16 THROUGH NOVEMBER 1 SHOULD BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. DORMANT SEEDING SHOULD BE COMPLETED AFTER NOVEMBER 1. DISTURBED AREA SHALL HAVE EROSION MATTING APPLIED BEFORE DORMANT SEEDING. DORMANT SEEDING SHALL NOT BE APPLIED ON TOP OF SNOW. IF DORMANT SEEDING DOES NOT RESULT IN AT LEAST 70% COVER BY MAY 15, ADDITIONAL SEEDING SHALL BE REQUIRED.

OWNER: OAK BUILDING PARTNERS, LLC
 2960 TRIVERTON PIKE DRIVE
 FITCHBURG, WI 53711

ENGINEER: QUAM ENGINEERING, LLC
 ATTN: AARON FALKOSKI
 4604 SIGGEKOW ROAD, SUITE A
 MCFARLAND, WI 53558

OAK CENTER RETAIL BUILDING
PRELIMINARY GRADING & EROSION CONTROL PLAN

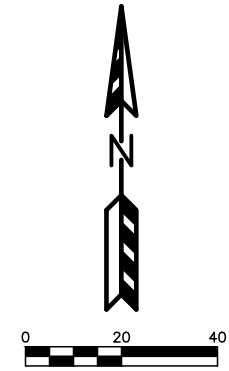
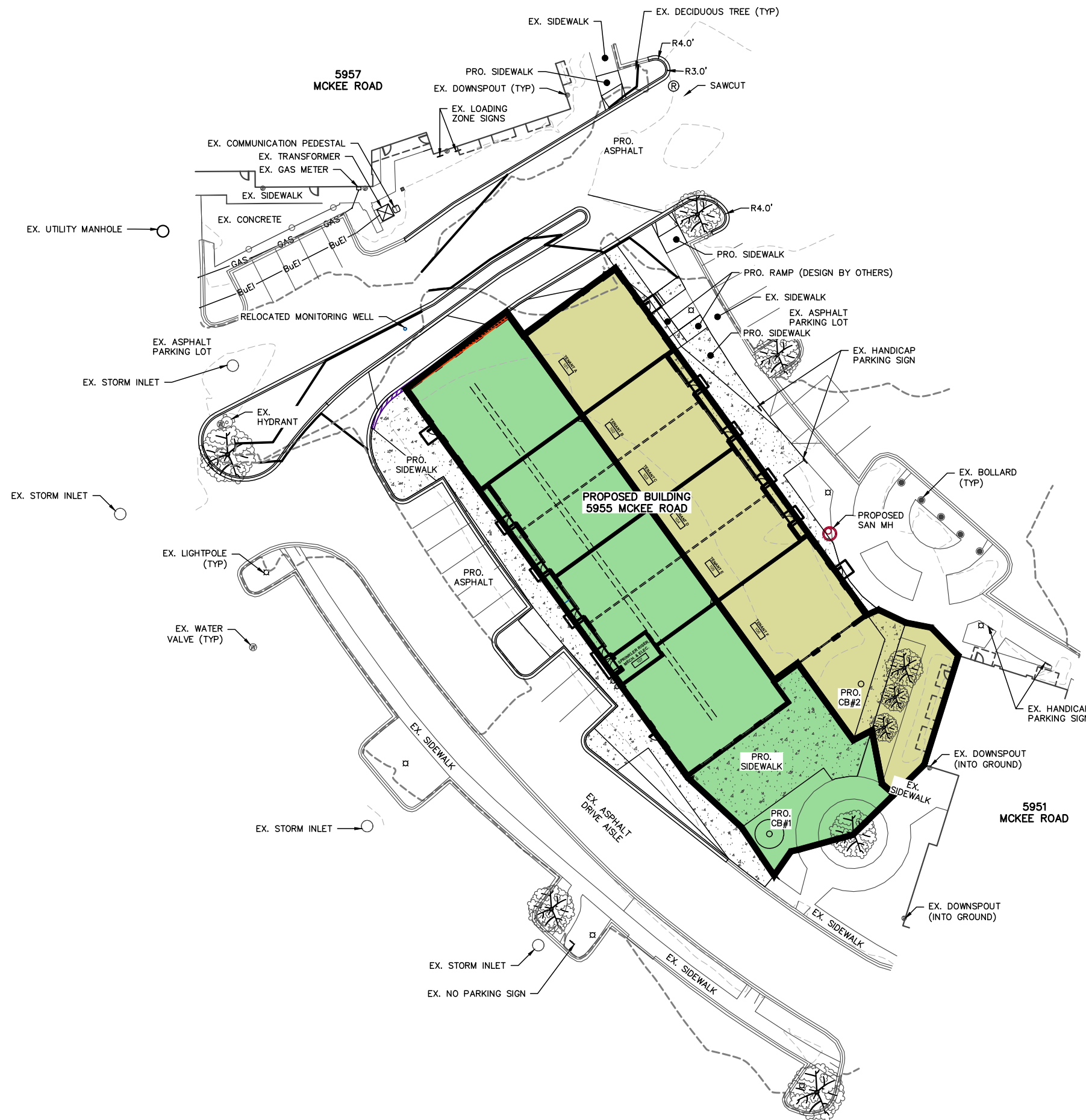
SHEET: C-3
 DATED: SEPTEMBER 9, 2022

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 4604 Siggekow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

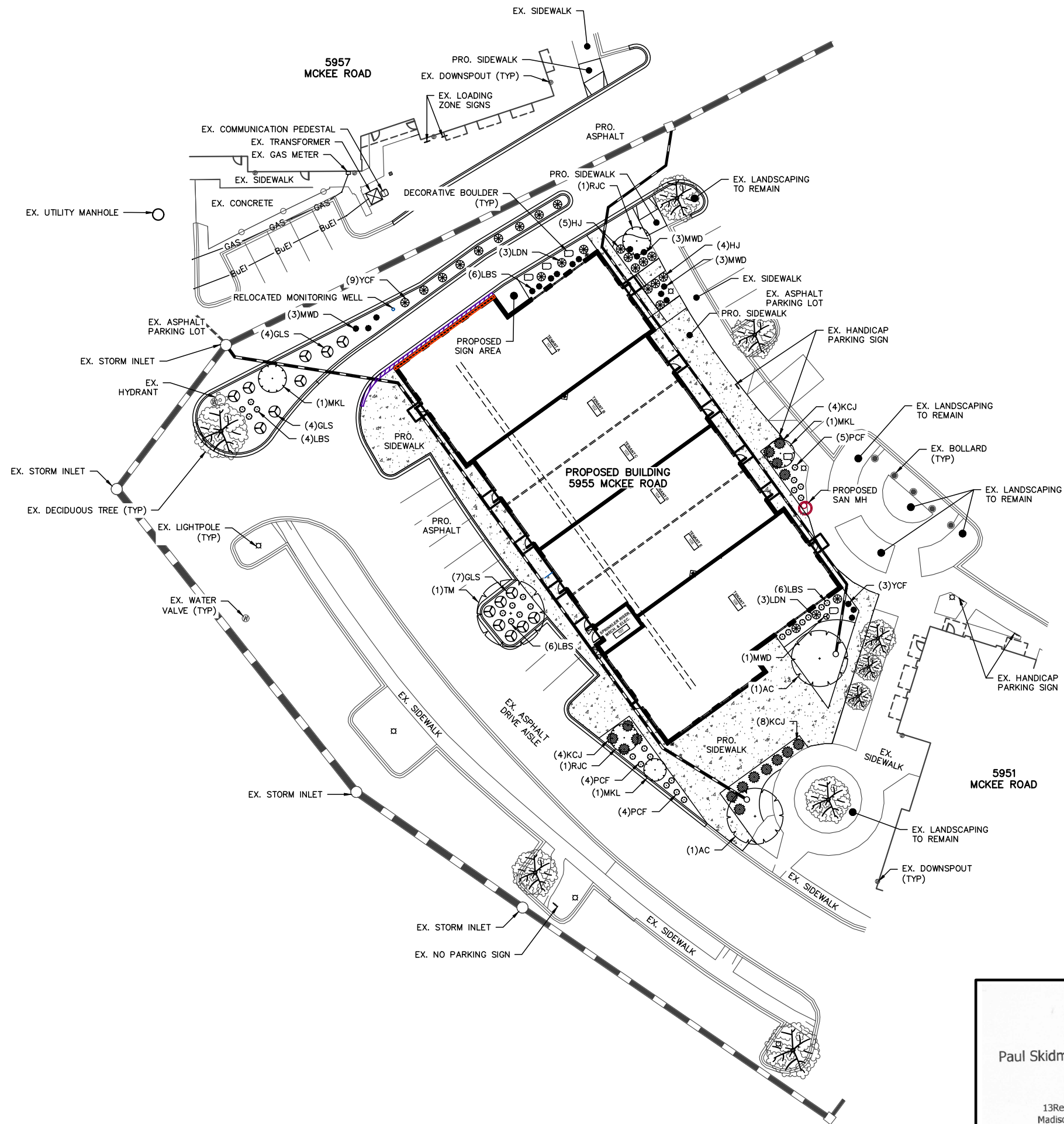
- LEGEND FOR COMMON LINES:**
- 1026--- EXISTING MINOR CONTOUR
 - 1025--- EXISTING MAJOR CONTOUR
 - 1026--- PROPOSED MINOR CONTOUR
 - 1025--- PROPOSED MAJOR CONTOUR
 - - - - - EXISTING FENCE
 - - - - - EXISTING BURIED WATER MAIN/SERVICE
 - - - - - EXISTING/PROPOSED BURIED SANITARY SEWER/LATERAL
 - - - - - EXISTING BURIED GAS LINE
 - - - - - EXISTING BURIED ELECTRIC LINE
 - - - - - PROPOSED STORM SEWER
- EROSION CONTROL LEGEND**
- INSTALL FLEXSTORM CATCH-IT INLET PROTECTION DURING CONSTRUCTION.
- EXISTING UTILITY NOTES:**
 EXISTING UTILITIES SHOWN HEREON WERE REQUESTED THROUGH DIGGERS HOTLINE WITH TICKET #20222723564 AND WERE MARKED BY OTHERS. UNDERGROUND UTILITY MARKINGS WERE COLLECTED DURING THE TOPOGRAPHIC COLLECTION PERFORMED JULY 12, 2022.
- THE WATER MAIN AND SERVICE LOCATIONS WERE BASED UPON FITCHBURG RETAIL BUILDING PLANS BY HELD ENGINEERING ASSOCIATES, INC DATED JANUARY 20, 2005. SOME DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE PLAN HAVE BEEN OBSERVED. CONTRACTOR SHALL VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.



- DRAINAGE AREA TO NORTHEAST
STORM SEWER (8" STORM SEWER)
AREA=0.17 ACRES
- DRAINAGE AREA TO SOUTHWEST
STORM SEWER (10" STORM SEWER)
AREA=0.24 ACRES

OAK CENTER RETAIL BUILDING
PRELIMINARY DRAINAGE PLAN
 SHEET: C-5
 DATED: SEPTEMBER 9, 2022

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PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	Root
TM	(1)	2"	<u>Canopy Trees</u>		
			Tatarian Maple	Acer Tataricum	BB
AC	(2)	2"	<u>Medium Deciduous Trees</u>		
			Amur Chokecherry	Prunus Maackii	BB
RJC	(2)	5'	<u>Small Deciduous Trees</u>		
			Red Jade Crab	Malus x 'Red Jade'	BB
MKL	(3)	24"	<u>Large Deciduous Shrubs</u>		
			Miss Kim Lilac	Syringa Patula 'Miss Kim'	Pot
LDN	(6)	24"	<u>Medium Deciduous Shrubs</u>		
			Little Devil Ninebark	Physocarpus O 'Donna May'	Pot
GLS	(15)	18"	<u>Low Deciduous Shrubs</u>		
			Gro Low Sumac	Rhus Aromatica	Pot
HJ	(9)	2 G	<u>Low evergreen Shrubs</u>		
			Hughes's Juniper	Juniperus Chinensis	Con
KCJ	16	24"			
			Kallay's Compact Juniper	Juniperus Plumosa	Con
LBS	(22)	1 G	<u>Perennials</u>		
			Little Bluestem Grass	Schizachyrium Scoparium	Con
MWD	(10)	1 G	Midnight Wine Day Lily	Hemerocallis 'Midnight Wine'	Con
PCF	(13)	1 G	Purple Cone Flower	Echinacea Purpurea	Con
YCF	(12)	1 G	Yellow Cone Flower	Echinacea	Con

NOTES:

- 1) Designated lawn areas to receive a minimum of 4" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw mulch.
- 2) Planting beds to be mulched with shredded hardwood bark mulch spread to a depth of 3".
- 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3"
- 4) Designated planting beds to be separated from lawn areas with 5" black vinyl edge.
- 5) Decorative Boulders to be native glacial stones or limestone shelf rock. Size varies: 2' - 4'

s.p.s
 Paul Skidmore, Landscape Architect LLC
 Paul Skidmore, ASLA
 Landscape Architect
 13Red Maple Trail (608) 826-0032
 Madison, WI 53717 (608) 335-1529 (c)
 paulskidmore@tds.net

OAK CENTER RETAIL BUILDING
 PRELIMINARY LANDSCAPE PLAN
 SHEET: L-1
 DATED: SEPTEMBER 9, 2022

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OAK CENTER RETAIL BUILDING

5955 MCKEE RD
FITCHBURG, WI

PROJECT DATA

LOCATION:
5955 MCKEE ROAD
FITCHBURG, WI 53719

REGULATING MUNICIPALITIES:
CITY OF FITCHBURG
DANE COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF FITCHBURG ZONING ORDINANCES
DANE COUNTY ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2015 INTERNATIONAL BUILDING CODE
ACCESSIBILITY ANSI A117.1 - 2009

PROJECT DESCRIPTION:
NEW ONE STORY, MULTI-TENANT COMMERCIAL BUILDING

OCCUPANCY TYPE:
BUSINESS "B"
MERCANTILE "M"
ASSEMBLY "A2"

CONSTRUCTION TYPE: TYPE VB

ALLOWABLE BUILDING AREA & HEIGHT:
MAXIMUM HEIGHT ABOVE GRADE PLANE = 60 FEET
(IBC TABLE 504.3)
MAXIMUM STORIES ALLOWED = 3 STORIES
(IBC TABLE 504.4)
MAXIMUM AREA ALLOWED PER FLOOR = 36,000 SF
(IBC TABLE 506.2)
AREA MODIFICATIONS (IBC SECTION 506) = 6,750 SF
TOTAL MAXIMUM ALLOWABLE AREA PER FLOOR = 42,750 SF

ACTUAL BUILDING AREA & HEIGHT:
HEIGHT ABOVE GRADE PLANE = 23' - 2"
STORIES = 1 STORY
[BUILDING / FIRST FLOOR] AREA = 12,684 SF

NUMBER OF OCCUPANTS (TABLE 1004.1.2):
B OCCUPANCY = 12,684 SF / 100 GROSS = 126 OCC

PLUMBING:
MULTIPLE ACCESS POINTS TO WATER AND SEWER ARE PROVIDED. WATER CLOSETS, LAVATORIES, SERVICE SINKS, AND DRINKING FOUNTAINS WILL BE INSTALLED ON A "PER TENANT" BASIS; THE TENANT WILL PROVIDE DRINKING WATER VIA WATER BOTTLES OR SIMILAR; ALL FIXTURES TO COMPLY WITH ICC A117.1.

FIRE CONTROL:
FULLY SPRINKLERED BUILDING; NFPA 13
PORTABLE FIRE EXTINGUISHERS WILL BE ADDRESSED ON A "PER TENANT" BASIS PER IBC SECTION 906.3.1.

EXITS:
EXIT REQUIREMENTS WILL BE ADDRESSED ON A "PER TENANT" BASIS. A MINIMUM 60% OF PUBLIC EXTERIOR DOORS TO BE ON ACCESSIBLE ROUTE.

ACCESSIBILITY:
FOLLOW IBC 2015 AND ANSI 117.1 (2009)

COMCHECK DESIGN:
CODE: [2015 IECC (2013 ASHREA 90.1)]
PERIMETER INSULATION: [R-10 RIGID]
FLOOR SLAB INSULATION: [R-10 RIGID]
WALLS:
[CAVITY]: [R-19 BATT]
[RIGID]: [R-10]
[LINER SYSTEM]: [R-21]
[COMPRESSED AT GIRTS, THERMAL TAPE, ETC.]
ROOF:
[CAVITY]: [R-39 BATT, XX" BLOWN]
[R-39]
[LINER SYSTEM]: [R-39]
[COMPRESSED AT GIRTS, GIRT CAVITY]

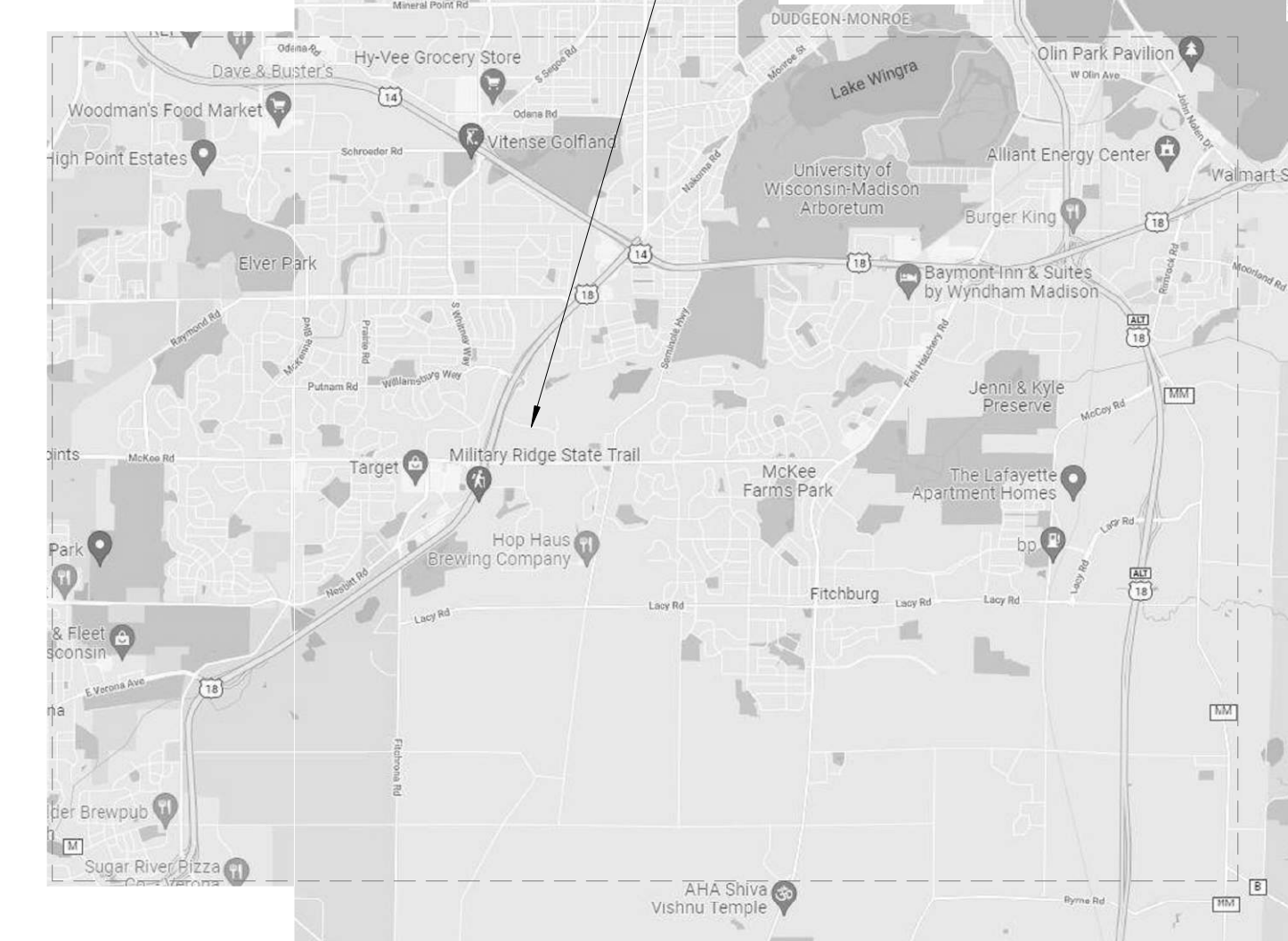
PROJECT GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEP AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION (MEP & FP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH.
- ALL EXPOSED WOOD AND/OR WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY INTERNATIONAL ELECTRICAL CODE (IEC).
- PROVIDE FIRE BLOCKING AND DRAFTSTOPPING THROUGHOUT BUILDING PER IBC CHAPTER 7.
- SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW/APPROVAL.
- IN SOME CASES THE SELECTION OF SPECIFIC ACCESSORIES, HARDWARE, MATERIALS OR FINISHES MAY NOT BE AVAILABLE AT ISSUANCE OF THESE DRAWINGS. THESE INSTANCES ARE INDICATED WITH "TBD", OR "TO BE DETERMINED". IN THESE SITUATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE ALLOWANCES TO COVER THE MATERIAL AND INSTALLATION FOR THAT ELEMENT, BASED ON THE BEST INFORMATION PROVIDED. IF NO INFORMATION IS PROVIDED, ASSUME A MID-RANGE PRODUCT COST TO SATISFY THE INTENT OF THE PROJECT. THE CONTRACTOR SHALL CLEARLY STATE IN THEIR BID PROPOSAL WHAT THE ALLOWANCE VALUE AND UNIT PRICE IS, LISTED SEPARATELY FOR EACH ITEM.
- IF THE CONTRACTOR ELECTS TO NOT PROVIDE A PRICE FOR ANY ELEMENT CONTAINED IN THESE DOCUMENTS, FOR WHATEVER REASON, THE CONTRACTOR SHALL CLEARLY INDICATE THIS EXCLUSION IN THEIR BID PROPOSAL. IF NO EXCLUSION IS MADE, IT IS THE CONTRACTUAL OBLIGATION OF THE CONTRACTOR TO PROVIDE THE ELEMENT IN ACCORDANCE WITH THE GENERAL INTENT OF THE DRAWINGS.

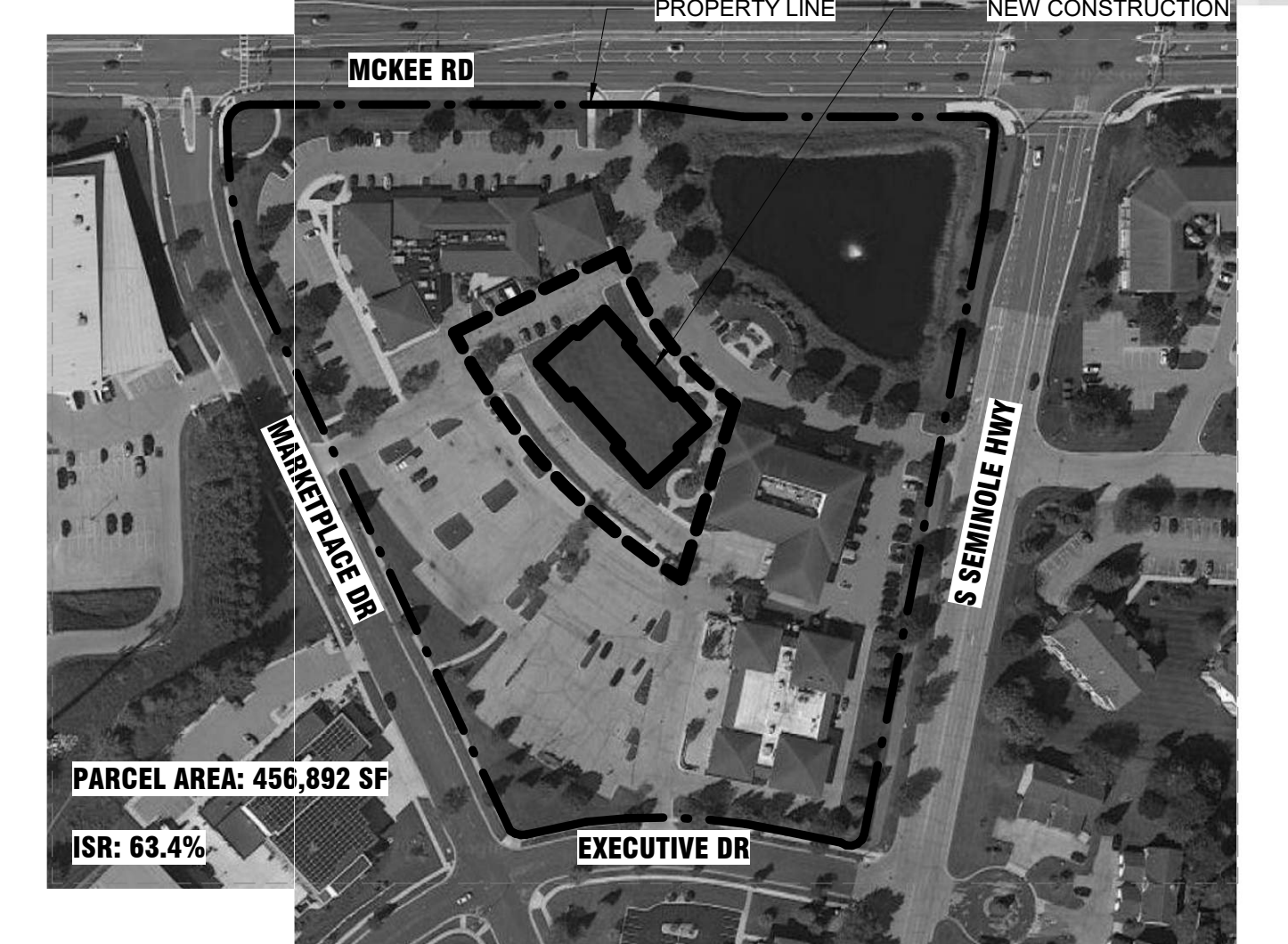
SHEET INDEX

SHEET NUMBER	SHEET NAME	REVISIONS	
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S301	ROOF FRAMING PLAN		
S601	CONCRETE DETAILS		
S602	CONCRETE DETAILS		
S901	STEEL DETAILS		
S911	WOOD DETAILS		
S912	WOOD DETAILS		
ARCHITECTURAL GENERAL			
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ARCHITECTURAL SITE			
AS101	PREVIOUSLY APPROVED SITE PLAN & EXISTING CONDITIONS		
AS102	ARCHITECTURAL SITE PLAN ENLARGED		
ARCHITECTURAL			
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A202	EXTERIOR ELEVATIONS		
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A302	WALL SECTIONS		
A303	WALL SECTIONS		
A601	DOOR AND WINDOW SCHEDULES		
PRESENTATION			
SK-02	ENTRY RAMP		
SK-03	DRIVE-THRU FOUNDATION AND CURB		

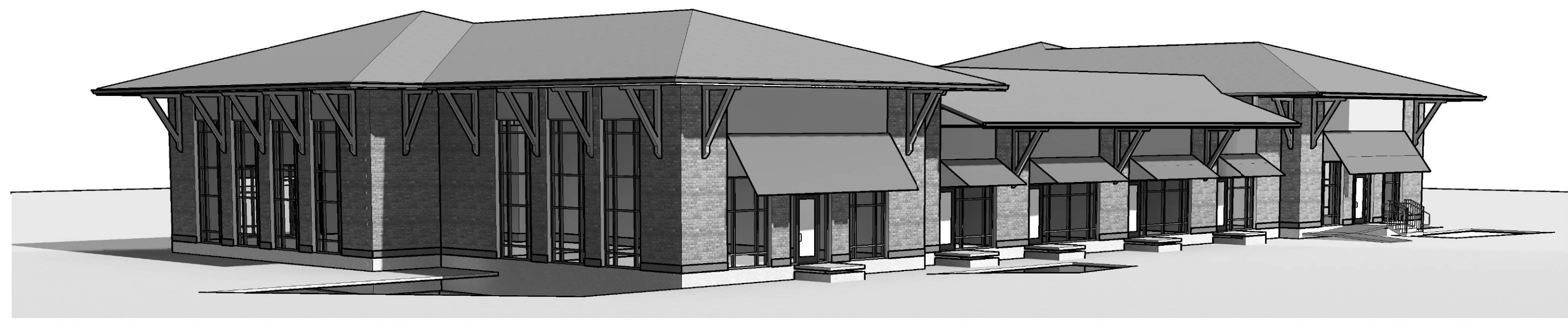
PROJECT LOCATION



BUILDING LOCATION



OAK CENTER RETAIL BUILDING
 NEW CONSTRUCTION
 5955 MCKEE RD
 FITCHBURG, WI



PROJECT CONTACTS:

OWNER:
OAK BUILDING PARTNERS, LLC
2960 TRIVERTON PIKE
FITCHBURG, WI 53711

ARCHITECT:
SKETCHWORKS ARCHITECTURE, LLC
2501 PARMENTER ST, SUITE #100B
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CONTACT:
MARK PUCCHIO (ENGINEER)
xxx xxx (CONTACT)
608-000-0000

Project Status

2022.08.22 ADR Application

PROJ. #: 22020-01

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COVER SHEET & SITE INFORMATION

G001

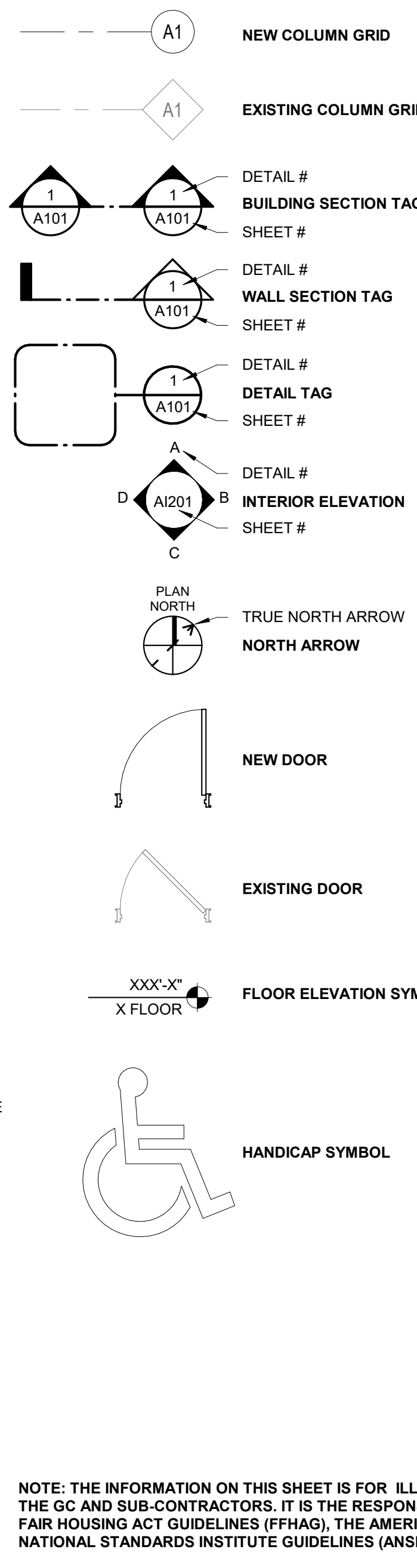
BID SET

COMMON ABBREVIATIONS:

NOTE: ANY ABBREVIATIONS APPEARING IN THESE DOCUMENTS WHICH ARE NOT LISTED BELOW SHALL BE VERIFIED AND CONFIRMED WITH THE ARCHITECT PRIOR TO CONSTRUCTION

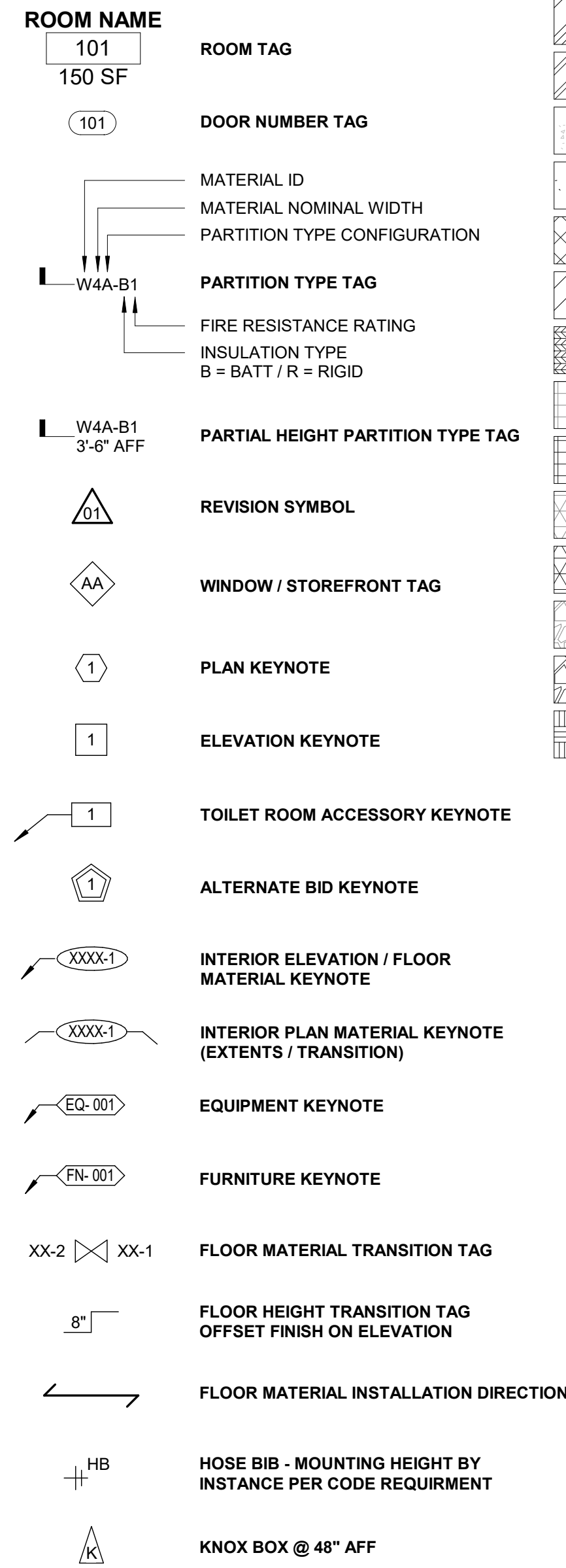
Table of common abbreviations including ANCHOR BOLT, ACUSTICAL CEILING TILE, AMERICANS WITH DISABILITIES ACT, etc.

ARCHITECTURAL SYMBOLS:

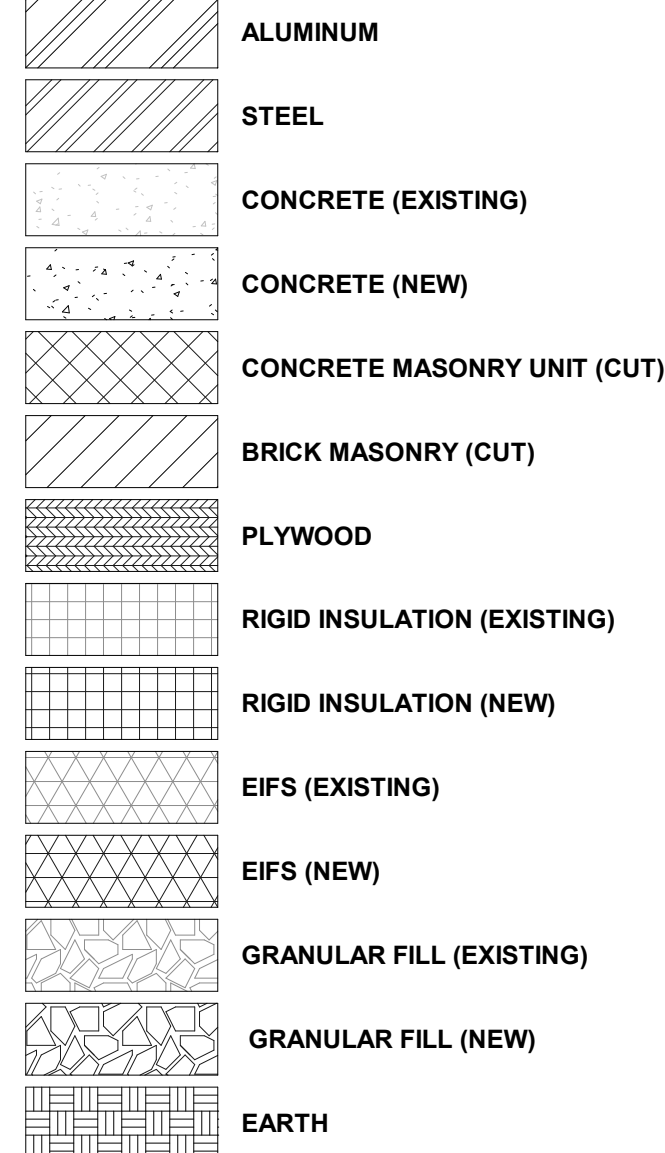


NOTE: THE INFORMATION ON THIS SHEET IS FOR ILLUSTRATIVE PURPOSES AND TO PROVIDE EASE OF ACCESS TO INFORMATION FOR THE GC AND SUB-CONTRACTORS...

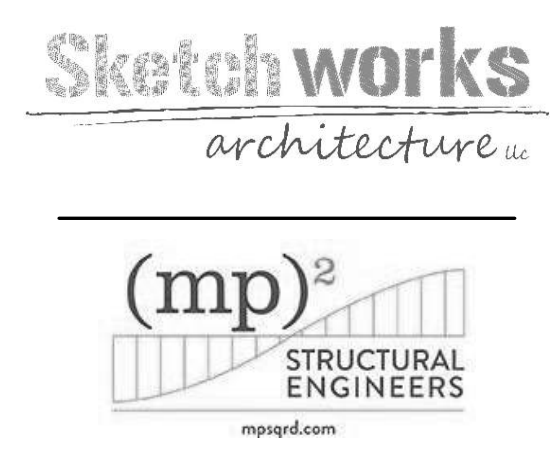
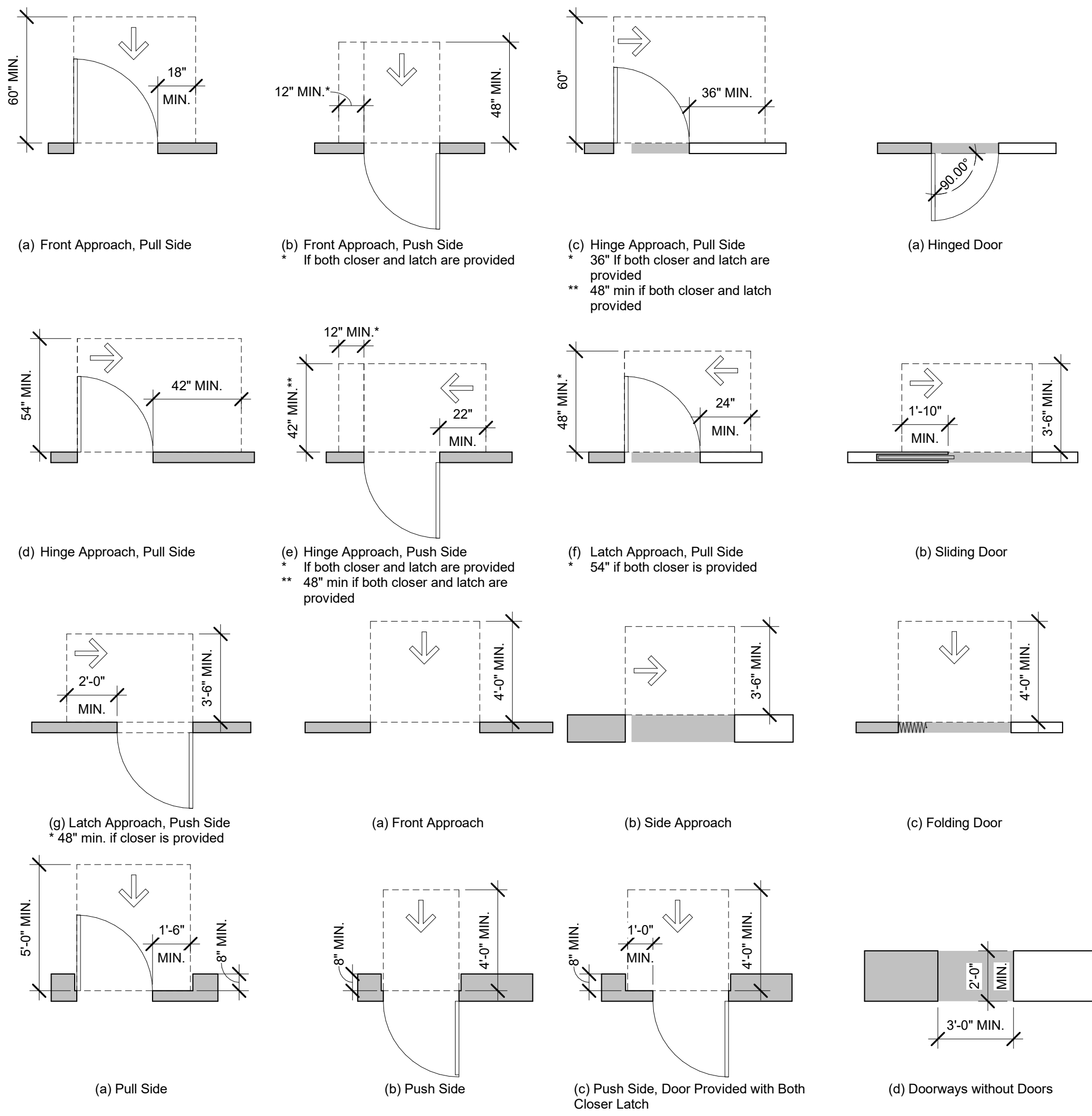
ARCHITECTURAL TAGS & KEYNOTES:



ARCHITECTURAL HATCH PATTERNS:



CLEARANCES AT MANUAL DOOR SWINGS:



OAK CENTER RETAIL BUILDING
NEW CONSTRUCTION
5955 MCKEE RD
FITZCHBURG, WI

Project Status

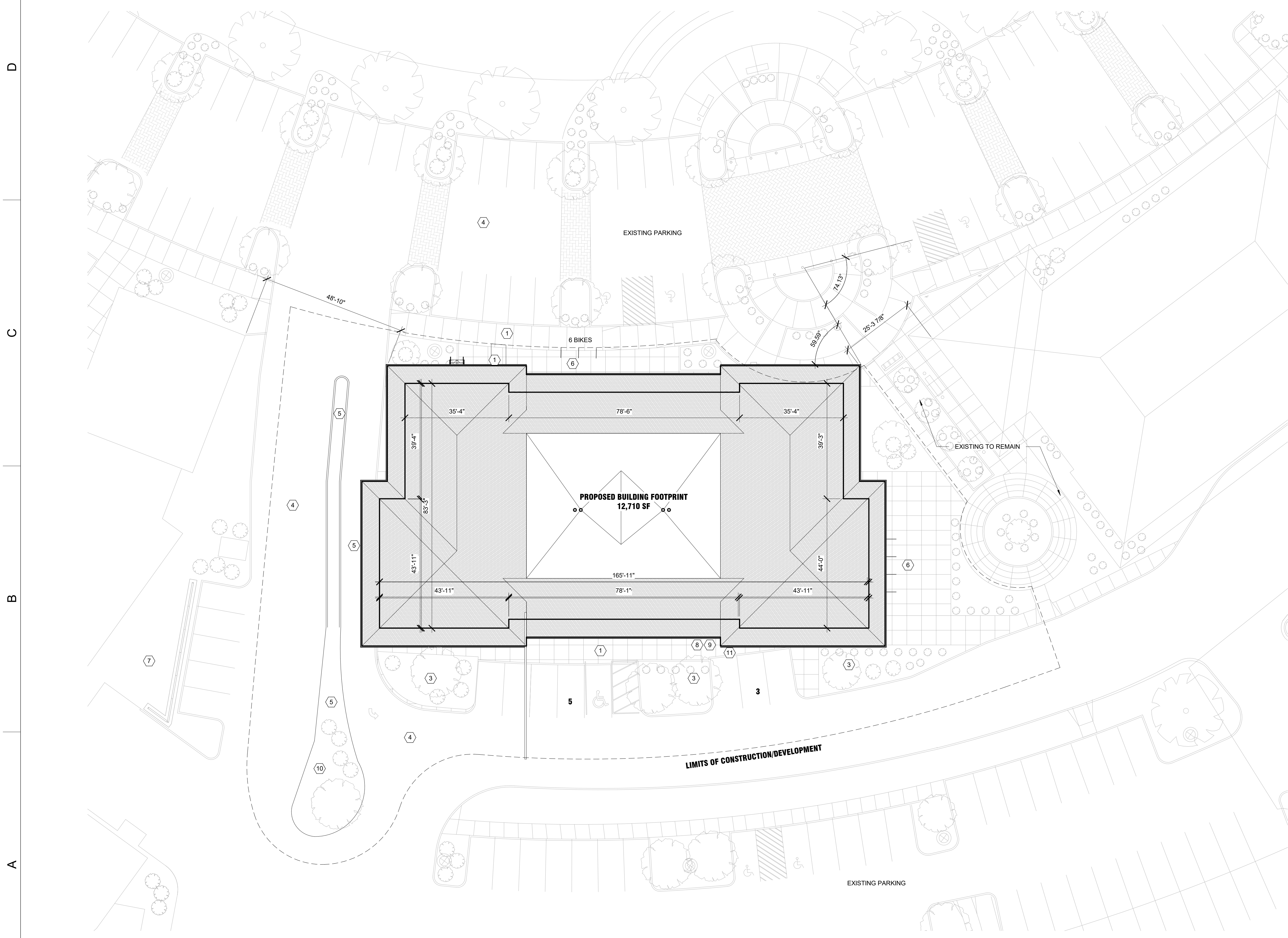
Table with columns for date and application type (e.g., 2022.06.22, ADR Application)

PROJ. #: 22020-01

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SYMBOLS & ABBREVIATIONS

A001



KEYNOTES:

- 1 4" THICK CONCRETE SIDEWALK
- 2 BRICK PAVERS
- 3 LANDSCAPE ISLAND
- 4 EXISTING ASPHALT DRIVE TO REMAIN. PATCH AS REQUIRED TO REPAIR DAMAGE FROM CONSTRUCTION
- 5 DRIVE LANE & LANDSCAPE ISLAND IN PLACE OF EXISTING DRIVE & 14 PARKING STALLS
- 6 8 BICYCLE PARKING LOOPS
- 7 EXISTING TRASH ENCLOSURE
- 8 US POSTAL SERVICE CENTRALIZED MODE OF DELIVERY
- 9 KNOX BOX. WALL MOUNTED @ 54" AFF
- 10 EXISTING FIRE HYDRANT
- 11 LOCATION FOR GAS AND ELECTRICAL METERS

OAK CENTER RETAIL BUILDING

NEW CONSTRUCTION
5955 MCKEE RD
FITZBURGH, WI

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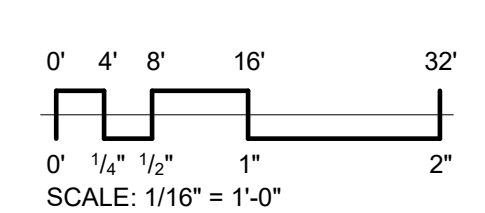
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ARCHITECTURE 2022

**ARCHITECTURAL
SITE PLAN
ENLARGED**

AS102

A1 PROPOSED ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

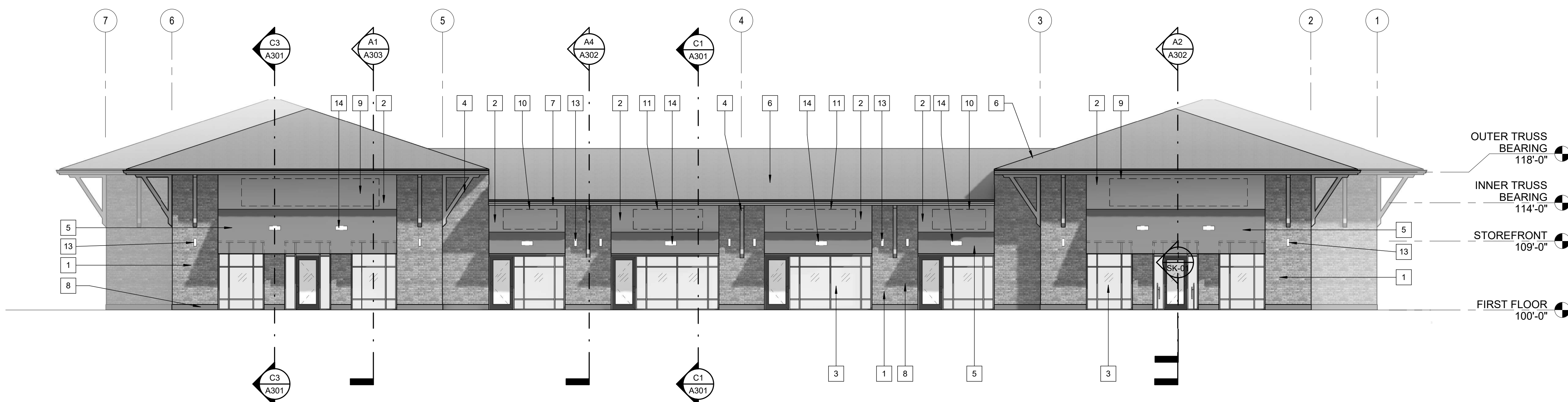
PARCEL AREA: 456,892 SF
ISR: 63.4%



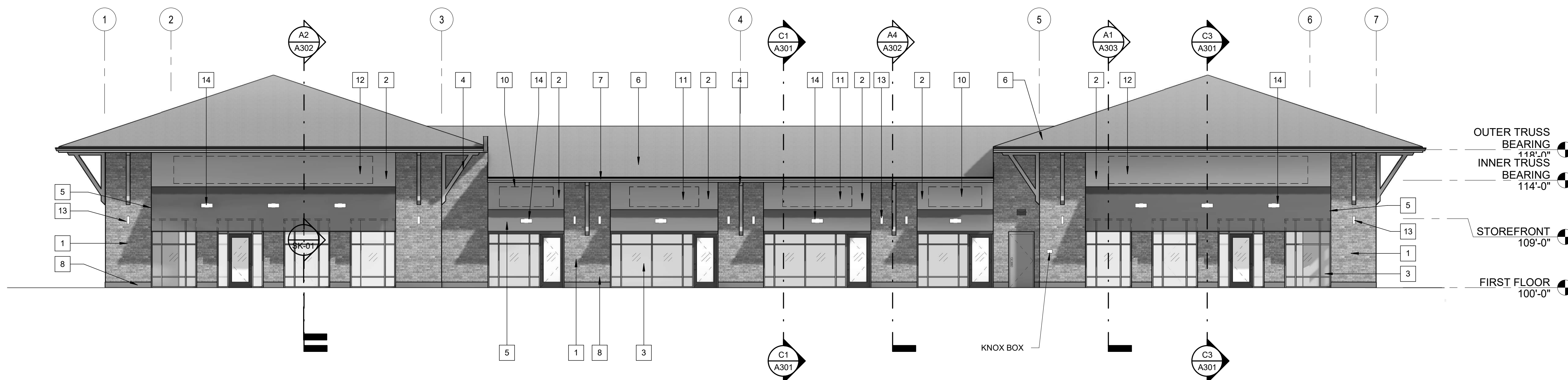
BID SET

EXTERIOR MATERIAL SCHEDULE									
#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	JUMBO SIZE	COMMENTS	
1	BRICK MASONRY	BELDEN BRICK	BEECHWOOD (FBA)		3 5/8"	8"			
2	EIFS	DRYVIT OR SIM.		[PAINTED]					
3	ALUMINUM STOREFRONT GLAZING SYSTEM	EFCO CORPORATION	ANODIZED ALUM	LIGHT BRONZE					OR SIMILAR
4	DECORATIVE BRACKETS	FYPON		MATCH EXISTING	7'-0"	5'-0"			ALUMINUM WRAPPED OR SIMILAR
5	FABRIC CANOPY								
6	ASPHALT SHINGLED ROOF								
7	ALUMINUM FASCIA & SOFFIT								
8	PRECAST BAND				0'-9"				
9	SIGNAGE AREA				5'-0"	18'-0"			NOT TO EXCEED 150 SF AND CUMULATIVE 10% OF THE WHOLE FACADE FOR ALL SIGNAGE
10	SIGNAGE AREA				4'-0"	7'-0"			NOT TO EXCEED 150 SF AND CUMULATIVE 10% OF THE WHOLE FACADE FOR ALL SIGNAGE
11	SIGNAGE AREA				4'-0"	9'-0"			NOT TO EXCEED 150 SF AND CUMULATIVE 10% OF THE WHOLE FACADE FOR ALL SIGNAGE
12	SIGNAGE AREA				5'-0"	26'-8"			NOT TO EXCEED 150 SF AND CUMULATIVE 10% OF THE WHOLE FACADE FOR ALL SIGNAGE
13	WALL MOUNTED SCONCE LIGHT FIXTURE			BLACK					ON PILASTERS; CYLINDER STYLE; 50% UP/DOWN
14	WALL MOUNTED WALL PACK LIGHT FIXTURE			BLACK					UNDER CANOPY; STANDARD LED

ALL TO MATCH EXISTING BUILDINGS OR SIMILAR BASED ON AVAILABILITY



B1 NORTH ELEVATION
1/8" = 1'-0"



A1 SOUTH ELEVATION
1/8" = 1'-0"

OAK CENTER RETAIL BUILDING

NEW CONSTRUCTION
5955 MCKEE RD
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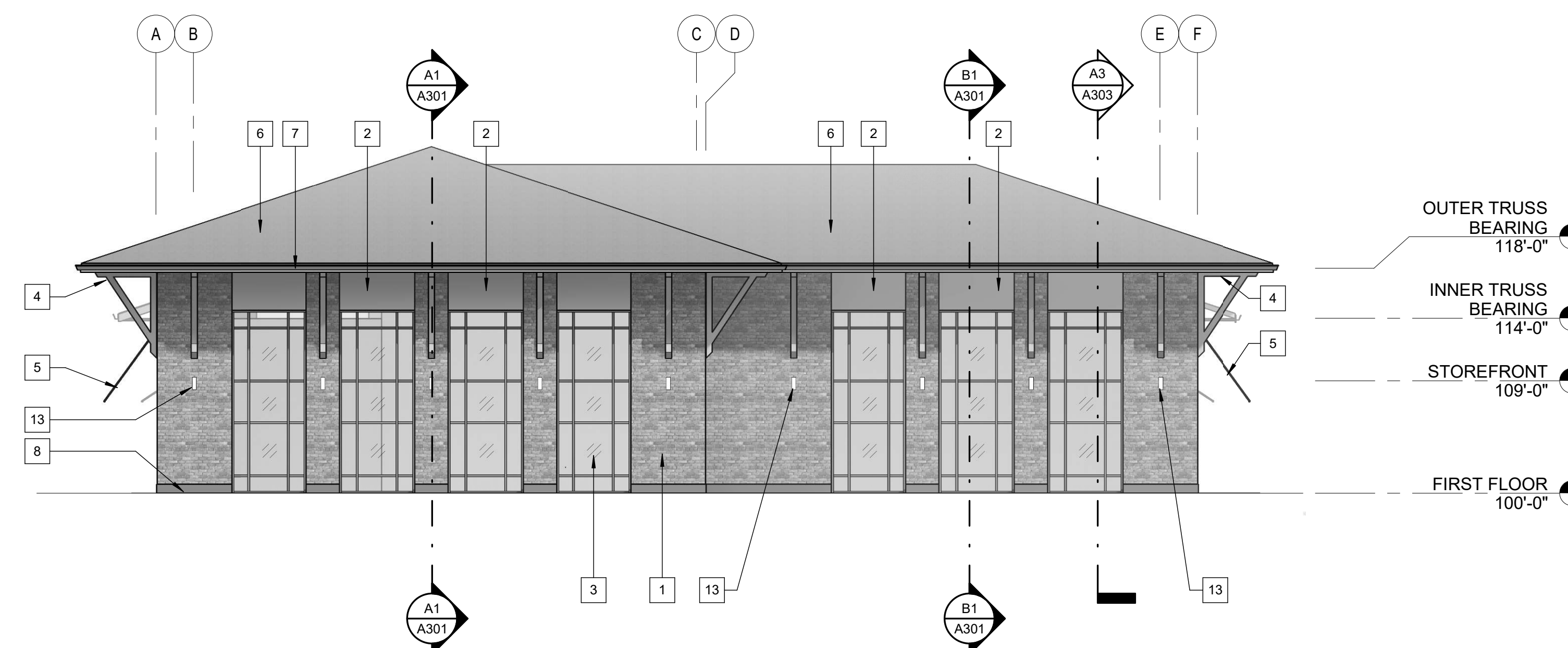
EXTERIOR ELEVATIONS

A201

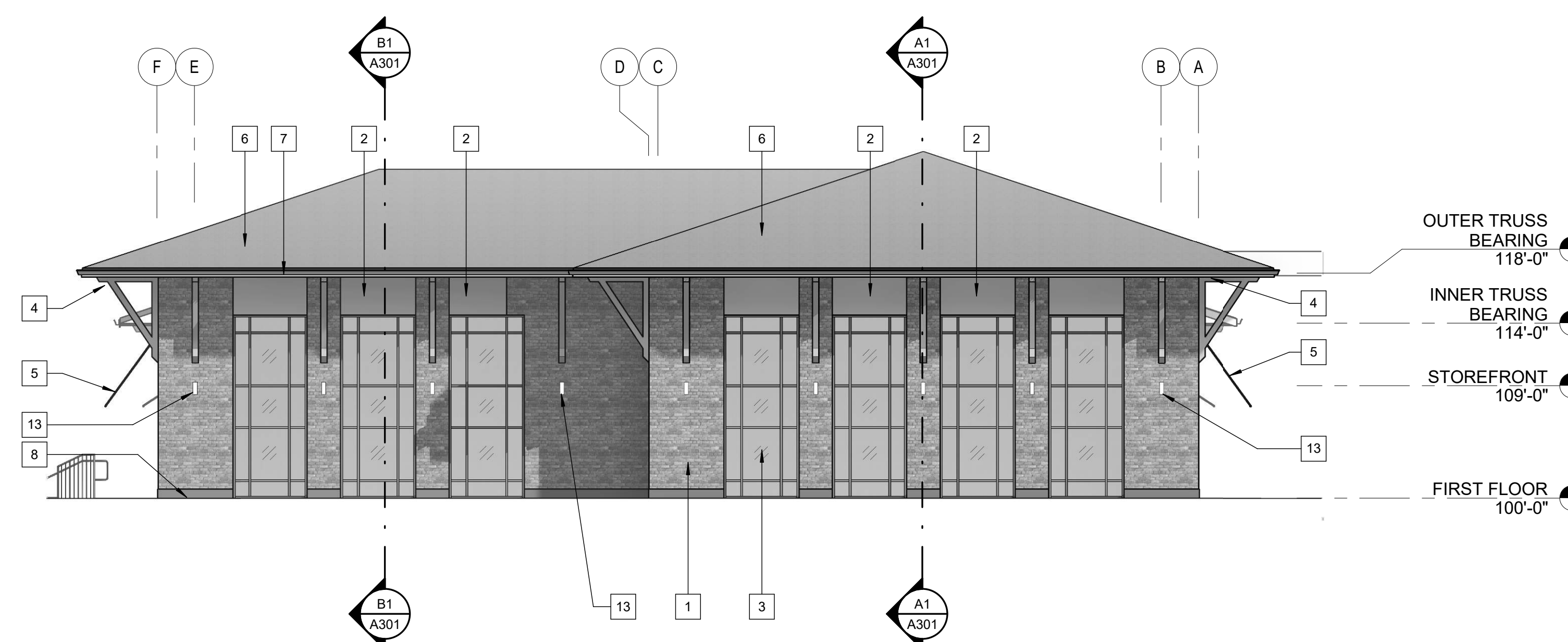
BID SET

EXTERIOR MATERIAL SCHEDULE									
#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH		COMMENTS	
1	BRICK MASONRY	BELDEN BRICK	BEECHWOOD (FBA)		3 5/8"	8"		JUMBO SIZE	
2	EIFS	DRYVIT OR SIM.		[PAINTED]					
3	ALUMINUM STOREFRONT GLAZING SYSTEM	EFCO CORPORATION	ANODIZED ALUM	LIGHT BRONZE				OR SIMILAR	
4	DECORATIVE BRACKETS	FYPON		MATCH EXISTING	7'-0"	5'-0"		ALUMINUM WRAPPED OR SIMILAR	
5	FABRIC CANOPY								
6	ASPHALT SHINGLED ROOF								
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8	PRECAST BAND				0'-9"				
9	SIGNAGE AREA				5'-0"	18'-0"		NOT TO EXCEED 150 SF AND CUMULATIVE 10% OF THE WHOLE FACADE FOR ALL SIGNAGE	
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13	WALL MOUNTED SCONCE LIGHT FIXTURE			BLACK				ON PILASTERS; CYLINDER STYLE; 50% UP/DOWN	
14	WALL MOUNTED WALL PACK LIGHT FIXTURE			BLACK				UNDER CANOPY; STANDARD LED	

ALL TO MATCH EXISTING BUILDINGS OR SIMILAR BASED ON AVAILABILITY



B3 EAST ELEVATION
1/8" = 1'-0"



A3 WEST ELEVATION
1/8" = 1'-0"

OAK CENTER RETAIL BUILDING

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EXTERIOR ELEVATIONS

A202

BID SET

