



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: _____

Address: _____ **Phone Number of Contact Person:** _____

City, State, Zip Code: _____ **Email of Contact Person:** _____

Project Address: _____ **Lot:** _____ **Subdivision:** _____

Project Type: _____ **Multi-Family** _____ **Commercial** _____ **Industrial** _____ **Other**
 _____ **New** _____ **Addition**

Impervious Surface Ratio (ISR): _____ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

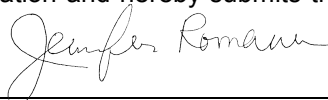
Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____  Date: _____
Applicant or Authorized Agent

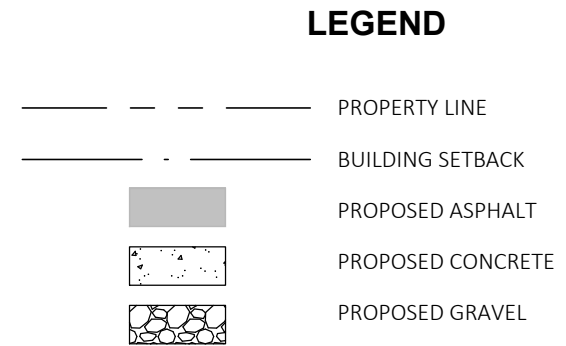
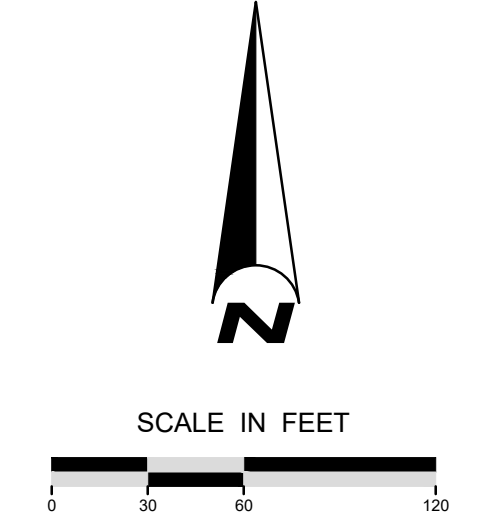
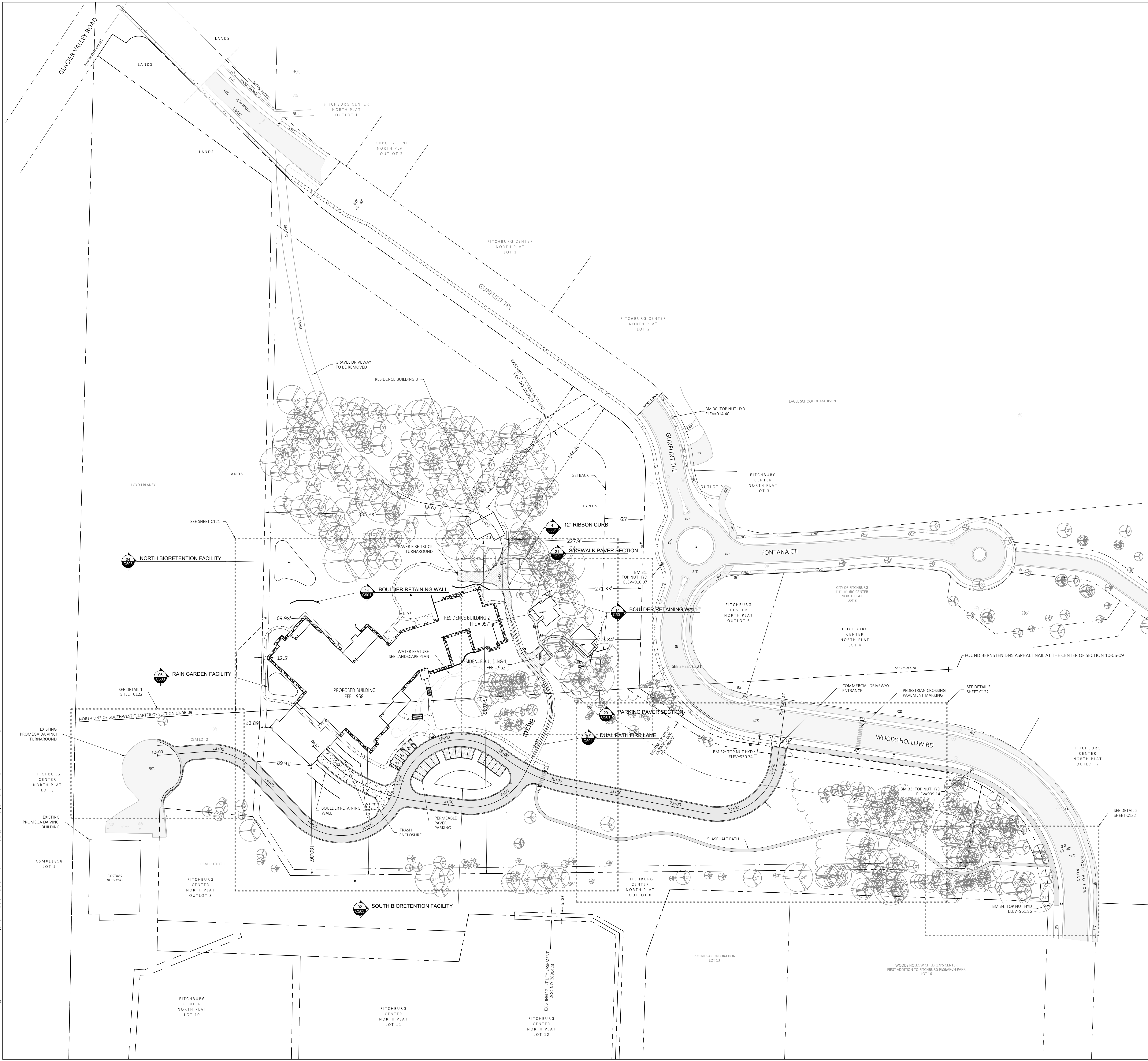
***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:

P:\01514-0001 USONA DRAWINGS\01514-0001 CIVIL SITE PLAN.DWG 22 AUGUST 2022



- NOTES**
- ALL RADII ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - USE 4" WIDE, LATEX-BASED, HIGH VISIBILITY PAINT FOR STALL LINES. COORDINATE COLOR WITH OWNER.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - SIGNS TO MEET MANUAL ON UNIFORM TRAFFIC CONTROL AS TO COLOR, LETTERING AND DIMENSIONS AND SHALL BE INSTALLED AT A HEIGHT OF SEVEN FEET.
 - PROVIDE SIDEWALK CONSTRUCTION JOINTS AT EVEN SPACING AT A DISTANCE APART EQUAL TO THE SIDEWALK WIDTH AND AS IS TYPICAL IN CONCRETE CONSTRUCTION.

SITE INFORMATION

SITE ADDRESS: SUB-ZERO PARKWAY
LOT ACREAGE: 17.8 AC
USE OF PROPERTY: COMMERCIAL/OFFICE
ZONING: PDD

SETBACKS:
STREET: 65 FT
SIDE: 30 FT
REAR: 10 FT

MINIMUM OPEN SPACE REQUIRED: 50%
EXISTING IMPERVIOUS SURFACE AREA: 37,103 SQ.FT.
NEW IMPERVIOUS SURFACE AREA: 111,195 SQ.FT.

PERCENT LOT IMPERVIOUS:
EXISTING: 8.9 %
PROPOSED: 18.7 %

OPEN SPACE
EXISTING: 91.1 %
PROPOSED: 81.3 %

TOTAL NUMBER OF SURFACE PARKING STALLS: 18
TOTAL NUMBER OF UNDERGROUND PARKING STALLS: 40
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 3

TOTAL NUMBER OF PARKING STALLS: 58
DISTURBANCE LIMITS: 330,000 SQ.FT.



322 East Michigan Street
Milwaukee, WI 53202

414.271.8899
office@ramlowstein.com
www.ramlowstein.com



© RAMLOW/STEIN, INC.
ALL RIGHTS RESERVED
OWNERSHIP OF DOCUMENTS

This document, and the ideas and designs incorporated herein, are an instrument of professional service, the sole property of Ramlow/Stein, Inc., and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of Ramlow/Stein, Inc.

REVISIONS

No.	Date:	Description:
-----	-------	--------------

PROJECT
USONA INSTITUTE
PROJECT LOCATION: USONA INSTITUTE C/O CINQUE TERRE, LLC

SHEET
CIVIL SITE PLAN - OVERALL

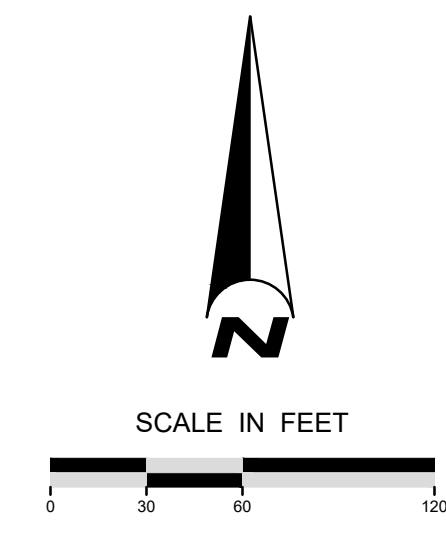
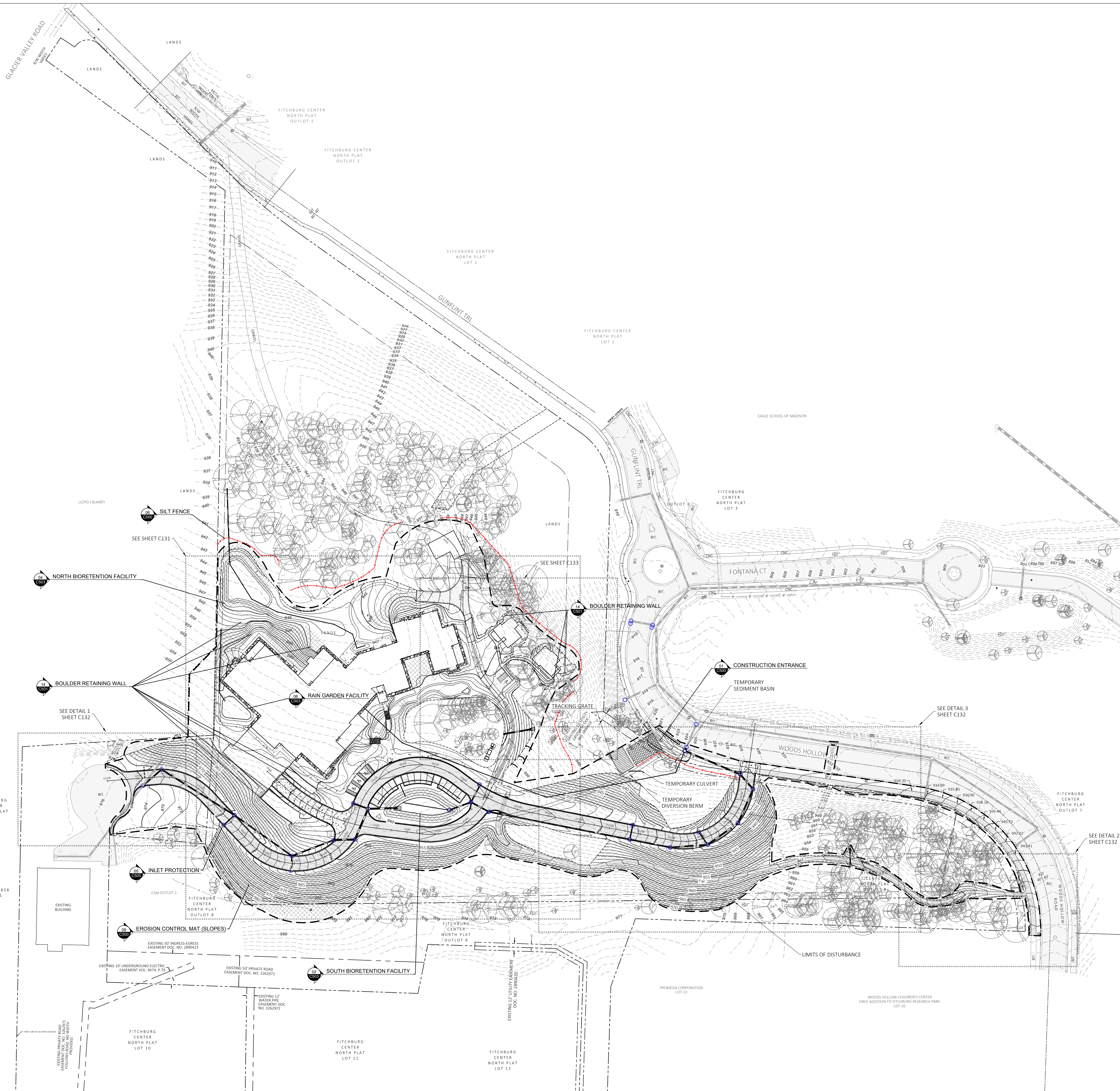
DATE
8/22/2022

PROJECT NO.
19-128

SHEET NO.
C120

P:\01514-0001 USONA DRAWINGS\ SHEETS\C130 GRADING PLAN.DWG

22 AUGUST 2022



LEGEND

---	PROPERTY LINE
---	BUILDING SETBACK
---	STORM SEWER
---	EXISTING MINOR CONTOURS
---	EXISTING MAJOR CONTOURS (5-FT)
---	PROPOSED MINOR CONTOURS
---	PROPOSED MAJOR CONTOURS (5-FT)
---	SILT FENCE
---	STONE CONSTRUCTION ENTRANCE
---	INLET PROTECTION
---	CLASS I, TYPE A URBAN
---	CLASS II, TYPE C

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE CURRENT WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS (dnr.wis.gov).
 2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE.
 3. ENGINEER / CITY OF FITCHBURG HAS THE RIGHT TO REQUIRE OWNER / CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY.
 4. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED ONCE PER WEEK AND FOLLOWING EACH RAINFALL EVENT. INSPECTION REPORTING SHALL BE IN ACCORDANCE WITH CITY OF FITCHBURG REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION AND SEDIMENT CONTROL PRACTICES IN WORKING ORDER.
 6. DEWATERING PRACTICES SHALL COMPLY WITH TECHNICAL STANDARD 1061.
 7. ALL SLOPES EXCEEDING 20% (5-1) SHALL BE STABILIZED WITH A CLASS I, TYPE A URBAN EROSION MAT.
 8. ALL SWALES SHALL BE STABILIZED WITH A CLASS II, TYPE C EROSION MAT.
 9. DUST CONTROL SHALL BE MITIGATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1008.
 10. TRACKED SOIL FROM THE SITE TO STREETS SHALL BE REMOVED AT THE END OF EACH WORKDAY OR AS DIRECTED BY THE CITY ENGINEER.
 11. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING FINAL GRADING ACTIVITIES, SEEDING WILL BE PER LANDSCAPE PLAN.
 12. SEED MIX AND RATE SHALL BE, AT A MINIMUM, IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059.



322 East Michigan Street
Milwaukee, WI 53202

414.271.8899
office@ramlowstein.com
www.ramlowstein.com



© RAMLOW/STEIN, INC.
ALL RIGHTS RESERVED
OWNERSHIP OF DOCUMENTS
This document, and the ideas and designs incorporated herein, are an instrument of professional service, the sole property of Ramlow/Stein, Inc., and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of Ramlow/Stein, Inc.

REVISIONS

No.	Date:	Description:



PROJECT
USONA INSTITUTE
USONA INSTITUTE C/O CINQUE TERRE, LLC

SHEET
GRADING PLAN - OVERALL

DATE
8/22/2022

PROJECT NO.
19-128

SHEET NO.
C130

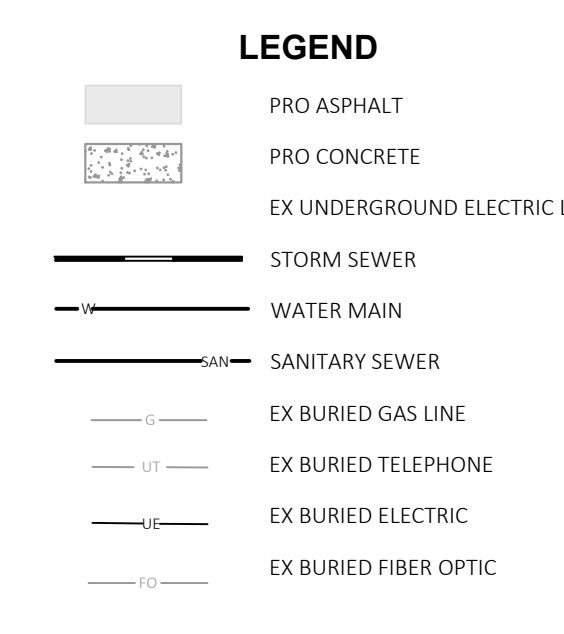
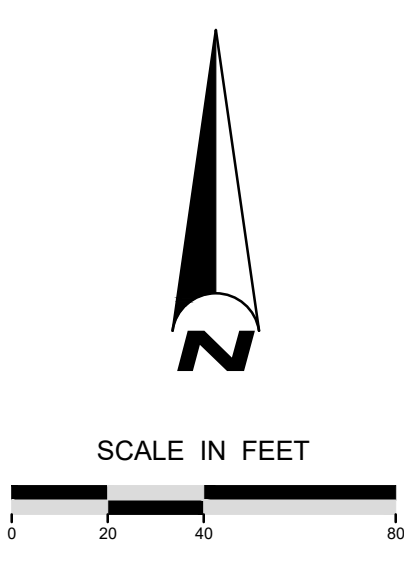
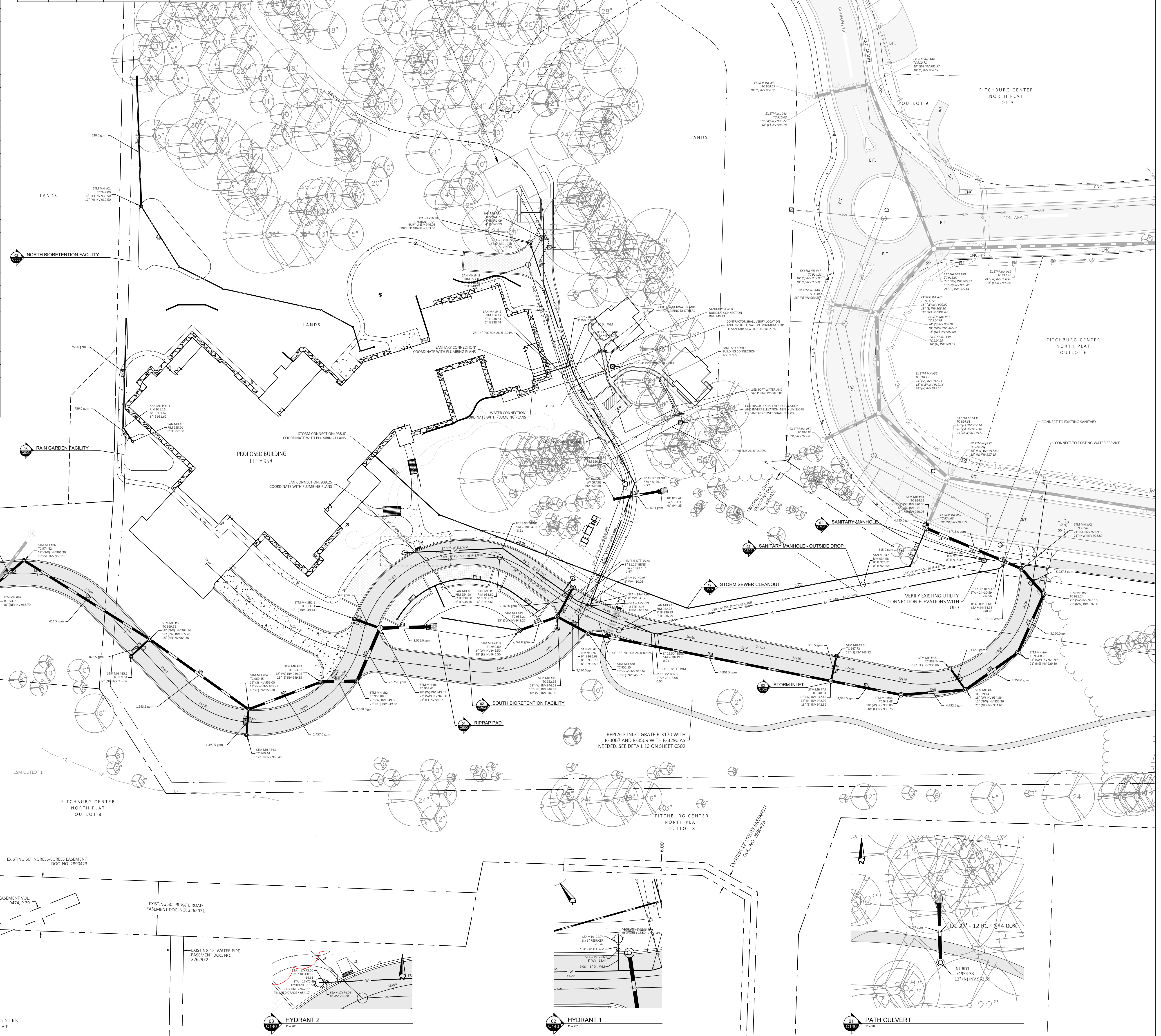
TO OBTAIN LOCATIONS OF HARBORANT UNDERGROUND FACILITIES BEFORE YOU DIG IN ANYWHERE
CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE
FOR MORE INFORMATION VISIT US ONLINE AT WWW.DIGGERSHOTLINE.COM
OR VISIT US AT 1000 W. WISCONSIN AVENUE, SUITE 100, MILWAUKEE, WI 53233

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE PUBLIC UTILITIES IS FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED UTILITIES.

Label	Length (FT)	Slope (%)	Size	Material
A1	5	4.82%	18"	18 IN RCP
A1.1	38	3.58%	6"	6 IN PVC SDR-26
A1.2	210	5.46%	6"	6 IN PVC SDR-26
A1.3	246	1.57%	6"	6 IN PVC SDR-26
A1.4	84	1.00%	6"	6 IN PVC SDR-26
A2	96	4.00%	21"	24 IN RCP
A3	31	6.45%	21"	21 IN RCP
A4	59	6.40%	21"	21 IN RCP
A5	60	7.74%	21"	21 IN RCP
A5.1	25	2.00%	12"	12 IN RCP
A6	60	6.50%	18"	18 IN RCP
A7	66	5.26%	18"	18 IN RCP
A7.1	24	3.80%	12"	12 IN RCP
A8	229	1.37%	18"	18 IN RCP
A9	32	1.10%	18"	18 IN RCP
A9.1	31	6.10%	15"	18 IN RCP
A10	37	1.00%	18"	18 IN RCP
A11	74	0.00%	6"	6 IN HDPE
B1	42	0.50%	23"	14 X 23 HCEP
B1.1	25	0.50%	18"	18 IN RCP
B2	53	0.50%	23"	14 X 23 HCEP
B3	34	0.50%	23"	14 X 23 HCEP
B4	72	7.57%	18"	18 IN RCP
B4.1	24	1.93%	12"	12 IN RCP
B5	113	7.00%	18"	18 IN RCP
B5.1	24	0.50%	12"	12 IN HDPE
B6	137	1.50%	18"	18 IN RCP
B7	40	1.00%	18"	18 IN RCP
C1	121	0.41%	12"	12 IN HDPE
C2	66	0.00%	6"	6 IN HDPE
C3	46	0.00%	6"	6 IN HDPE
C4	93	0.50%	6"	6 IN HDPE
C5	33	0.69%	6"	6 IN HDPE
C6	23	1.71%	6"	6 IN HDPE
C7	13	0.76%	6"	6 IN HDPE
D1	27	4.00%	12"	12 IN RCP
D1.1	101	1.99%	8"	8 IN PVC SDR-26
D1.2	15	2.48%	8"	8 IN PVC SDR-26
E1	45	7.90%	18"	18 IN RCP
F1	3	2.00%	18"	18 IN RCP
U1	22	1.00%	6"	6 IN HDPE
U1.1	47	0.00%	6"	6 IN HDPE
U2.1	25	1.00%	6"	6 IN HDPE
U2.2	79	0.00%	6"	6 IN HDPE

Label (#)	RIM/TC	Invert	Structure Description	Grate
A1	924.12	920.05	48" DIA MANHOLE	R-2561, BEEHIVE
A2	930.54	923.89	48" DIA MANHOLE	R-3170-B, OPEN CURB BOX
A3	931.24	926.00	48" DIA MANHOLE	R-3170-B, OPEN CURB BOX
A4	934.83	929.89	48" DIA MANHOLE	R-3170-B, OPEN CURB BOX
A5	939.14	934.61	48" DIA MANHOLE	R-3170-B, OPEN CURB BOX
A5.1	939.74	935.86	36" DIA MANHOLE	R-3170-B, OPEN CURB BOX
A6	943.48	938.75	48" DIA MANHOLE	R-3170-B, OPEN CURB BOX
A7	948.01	942.32	48" DIA MANHOLE	R-3170-B, OPEN CURB BOX
A7.1	947.73	943.82	36" DIA MANHOLE	R-3170-B, OPEN CURB BOX
A8	952.55	945.57	48" DIA MANHOLE	R-3509
A9	952.95	946.03	48" DIA MANHOLE	R-3509
A9.1	953.21	948.27	48" DIA MANHOLE	R-3509

Label (#)	RIM/TC	Invert	Structure Description	Grate
B1	953.42	949.21	60" DIA MANHOLE	R-3509
B1.1	953.51	949.44	36" DIA MANHOLE	R-3170-B, OPEN CURB BOX
B2	953.88	949.58	36" DIA MANHOLE	R-3170-B, OPEN CURB BOX
B3	953.82	949.85	36" DIA MANHOLE	R-3509
B4	960.45	955.38	36" DIA MANHOLE	R-3170-B, OPEN CURB BOX
B4.1	960.44	956.45	36" DIA MANHOLE	R-3170-B, OPEN CURB BOX
B5	969.55	963.36	48" DIA MANHOLE	R-3170-B, OPEN CURB BOX
B5.1	969.54	965.32	36" DIA MANHOLE	R-3170-B, OPEN CURB BOX
B6	974.42	966.20	36" DIA MANHOLE	R-3170-B, OPEN CURB BOX
B7	974.96	966.70	36" DIA MANHOLE	R-3509
C1	942.00	939.50	30 IN PLASTIC CATCHBASIN	R-4340 BEEHIVE



- GENERAL NOTES**
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
 - MINIMUM 8" SEPARATION IS REQUIRED BETWEEN ANY PRIVATE WATER MAIN LOCATED BETWEEN PUBLIC WATER MAIN, UP TO AND INCLUDING PRIVATE HYDRANTS, AND SANITARY OR STORM SEWER.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN, WISCONSIN, AND WISCONSIN.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
 - ALL WATER MAINS BETWEEN THE CITY'S WATER SYSTEM UP TO AND INCLUDING PRIVATE HYDRANTS AND LEADS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - ALL CONNECTIONS TO PUBLIC WATER MAIN AND SANITARY MANHOLES SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - CONTRACTOR SHALL NOTIFY THE CITY OF FITCHBURG PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
 - PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES 48 HOURS IN ADVANCE OF CONNECTION.
 - MINIMUM 6" COVER OVER PRIVATE WATER MAINS BETWEEN PUBLIC MAINS, UP TO AND INCLUDING PRIVATE HYDRANTS.
 - SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATERMANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COST INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
 - ALL PRIVATE AND TUBING FOR WATER MAINS NOT DEFINED IN NOTE 9 SHALL CONFORM TO SPS 384.30-7.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS AND ALL OTHER PATCHING REQUIREMENTS OF THE CITY. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
 - IN ACCORDANCE WITH ACT 425 OF THE WISCONSIN LEGISLATURE, LOCATED IN SECTION 182.07(2)(b) OF THE STATE STATUTES AND OTHER APPLICABLE REQUIREMENTS, ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
 - ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.35(5)(a) AND SPS 384.302(c).
 - ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
 - OPEN PICHHOLES ARE PROHIBITED IN SANITARY MANHOLES.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - REPLACE INLET GRATE R-3170 WITH R-3067 AND R-3509 WITH R-3290 AS NEEDED. SEE DETAIL 13 ON SHEET C502

P:\01514-0001 USONA DRAWINGS\ SHEETS\C140 UTILITY PLAN.DWG
22 AUGUST 2022



322 East Michigan Street
Milwaukee, WI 53202
414.271.8899
office@ramlowstein.com
www.ramlowstein.com



Emmons & Olivier Resources, Inc.
119 SOUTH MAIN ST
COTTAGE GROVE, WI 53022
ecology Tele: 608.839.4422
community www.eofinc.com

© RAMLOW/STEIN, INC.
ALL RIGHTS RESERVED
OWNERSHIP OF DOCUMENTS

REVISIONS
No. Date Description



PROJECT
USONA INSTITUTE
USONA INSTITUTE C/O CINQUE TERRE, LLC

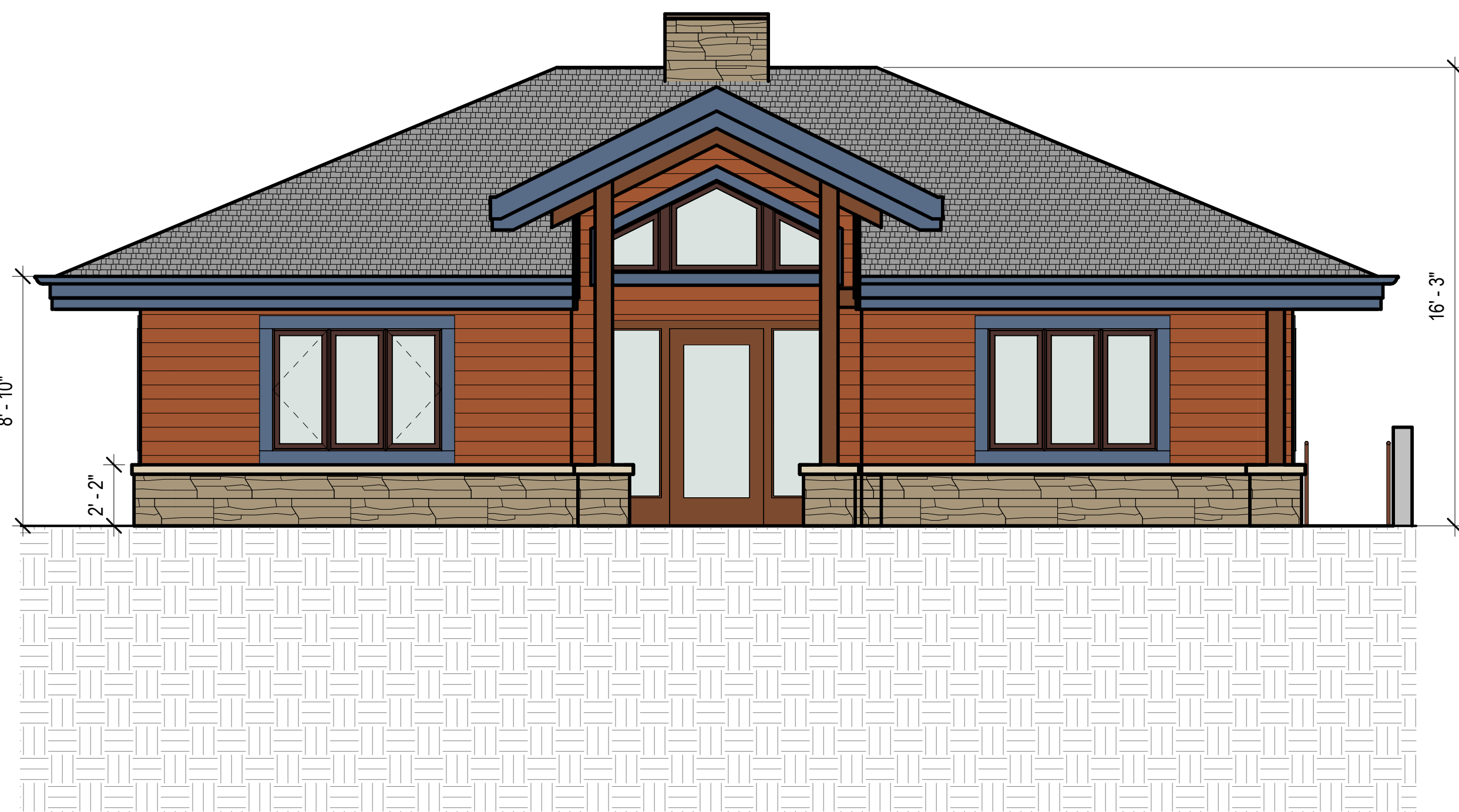
SHEET
UTILITY PLAN

DATE
8/22/2022

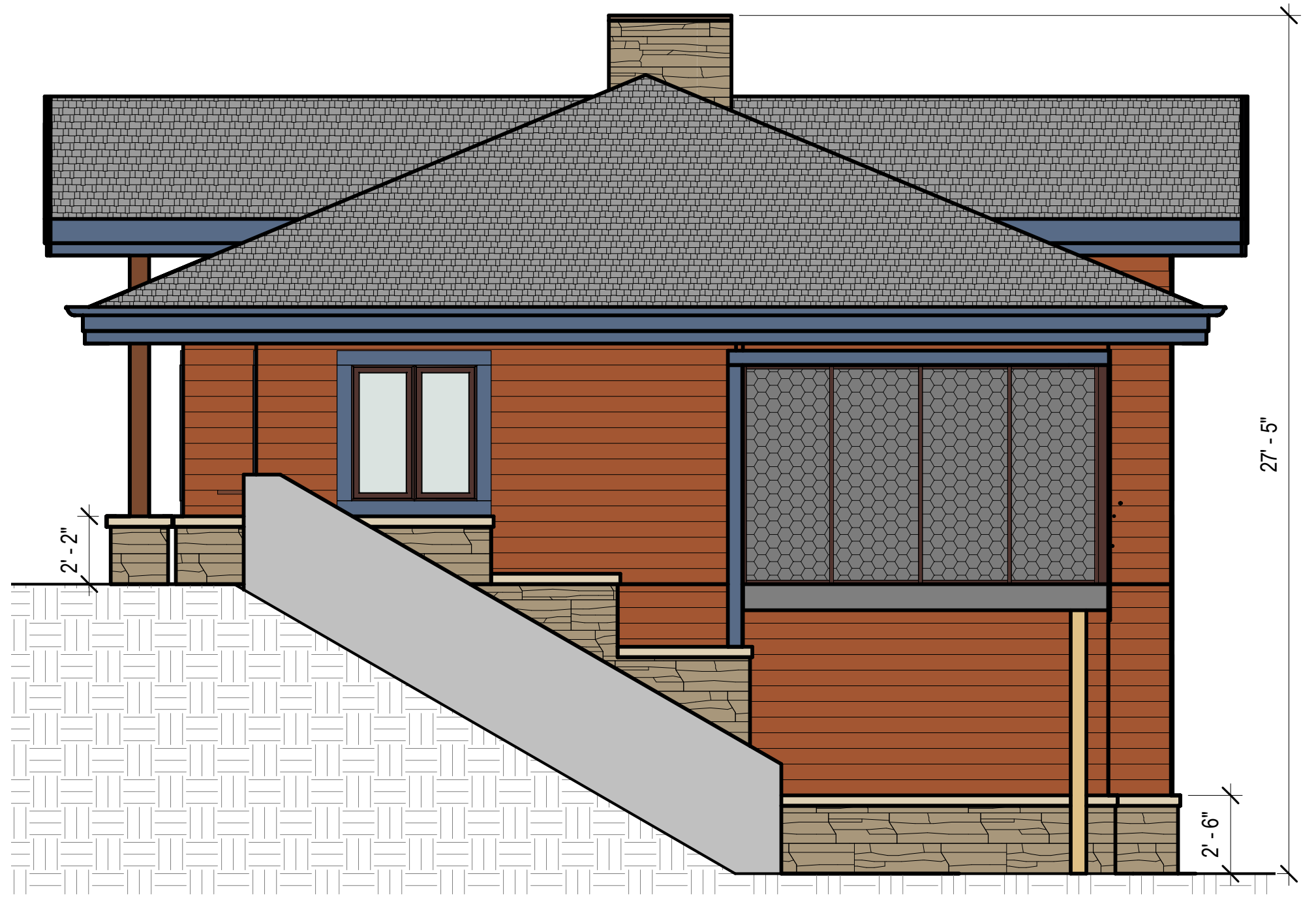
PROJECT NO.
19-128

SHEET NO.

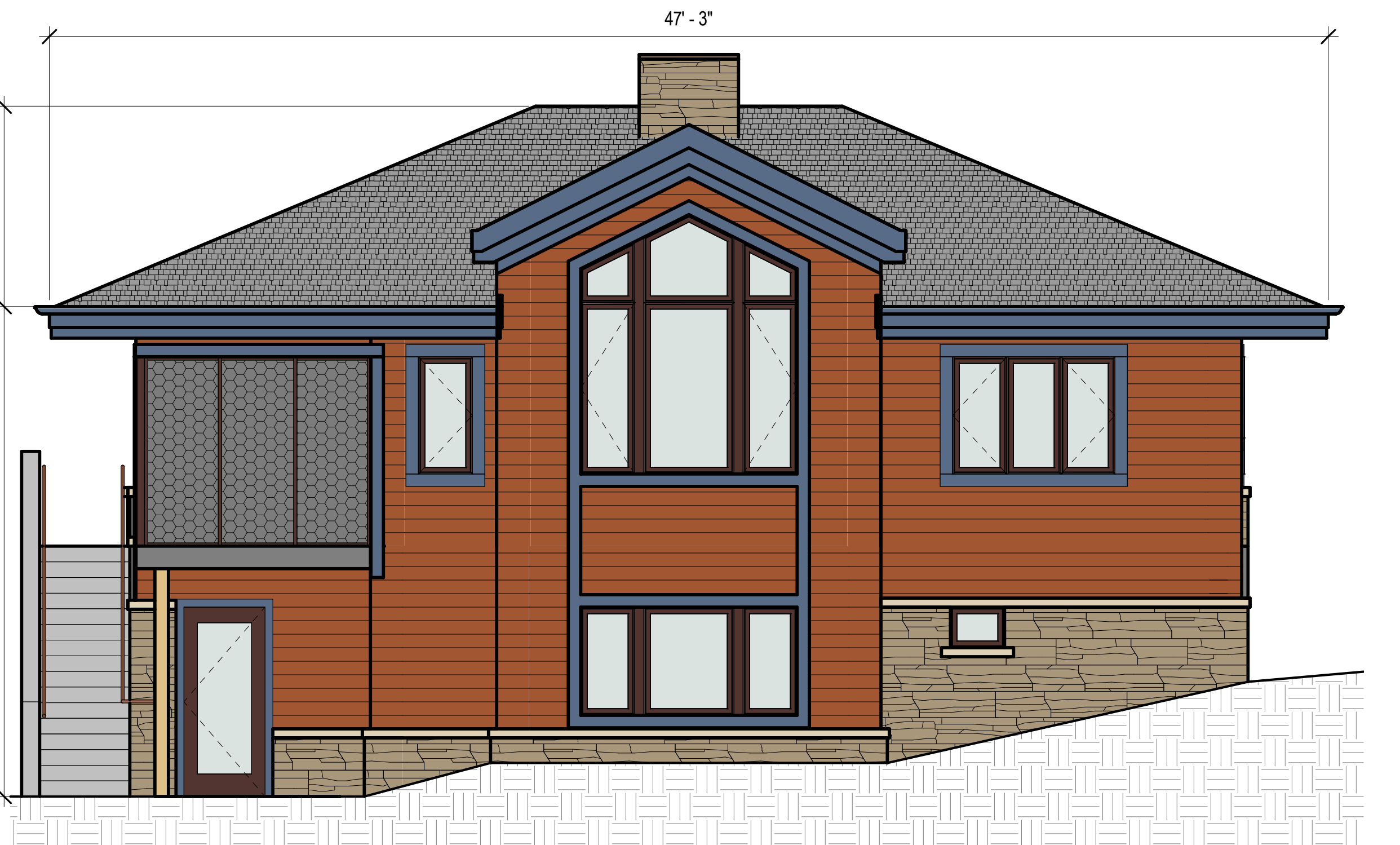
C140



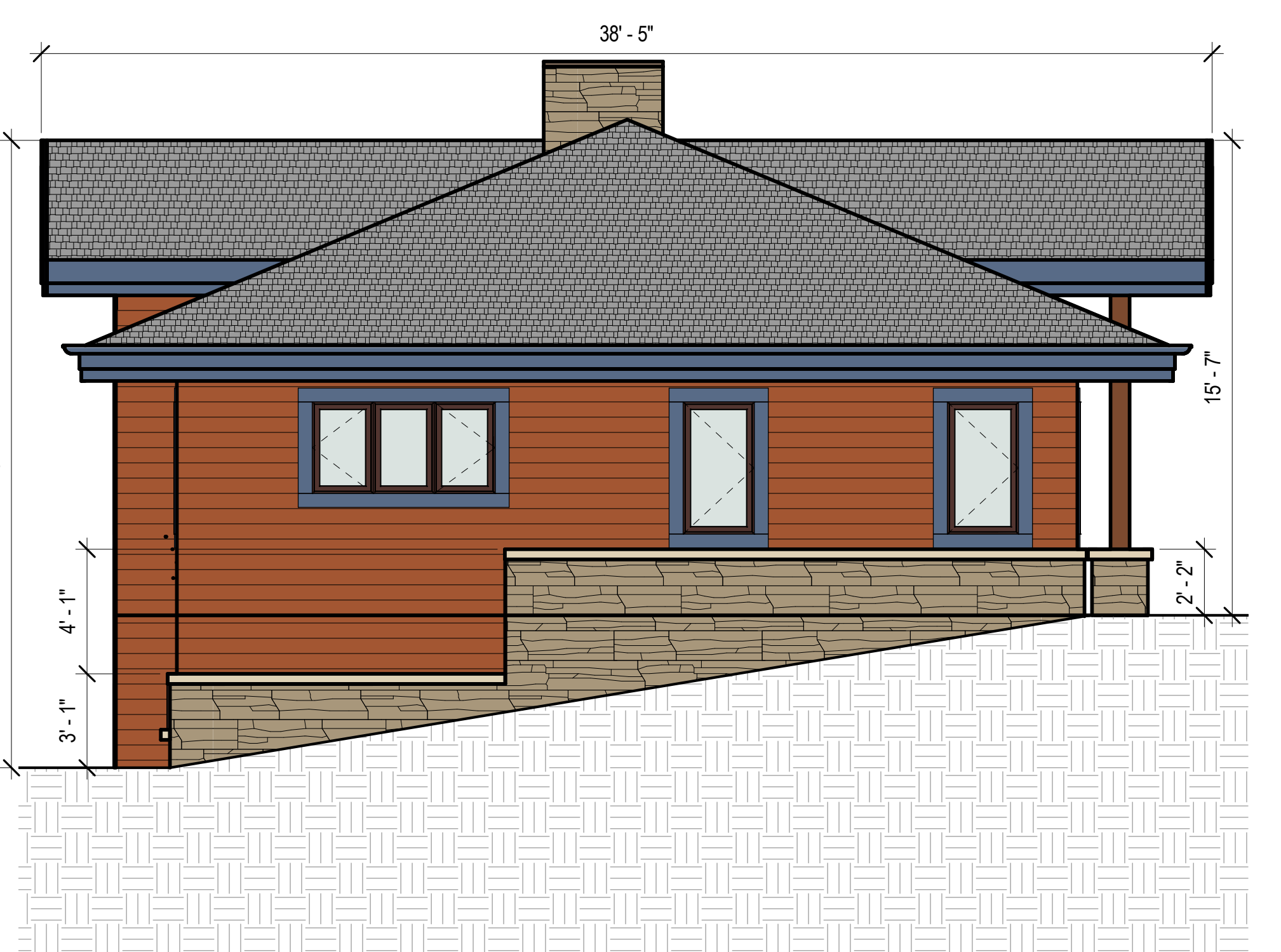
7 RESIDENCE 1 - ADR - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 RESIDENCE 1 - ADR - EAST ELEVATION
SCALE: 1/4" = 1'-0"



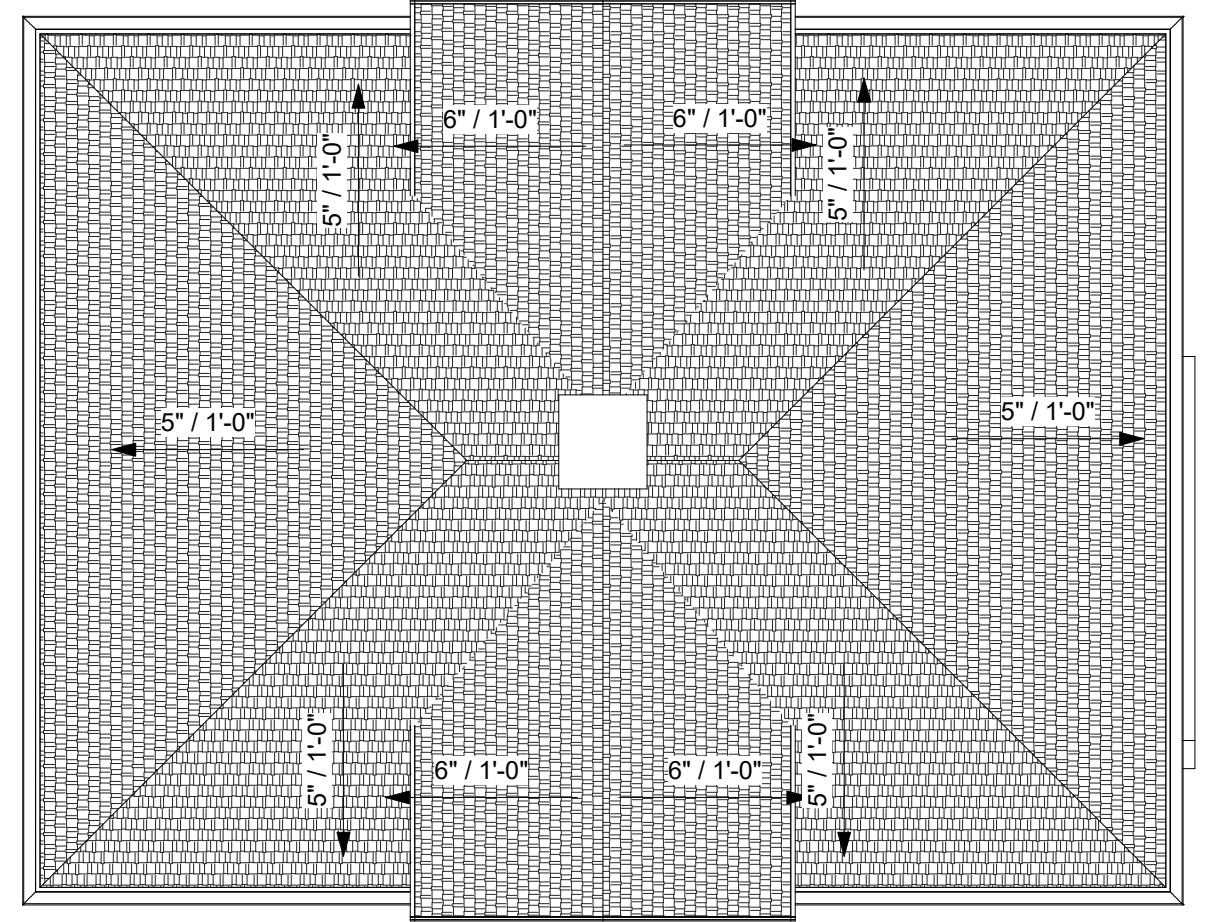
6 RESIDENCE 1 - ADR - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 RESIDENCE 1 - ADR - WEST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL SYMBOLS

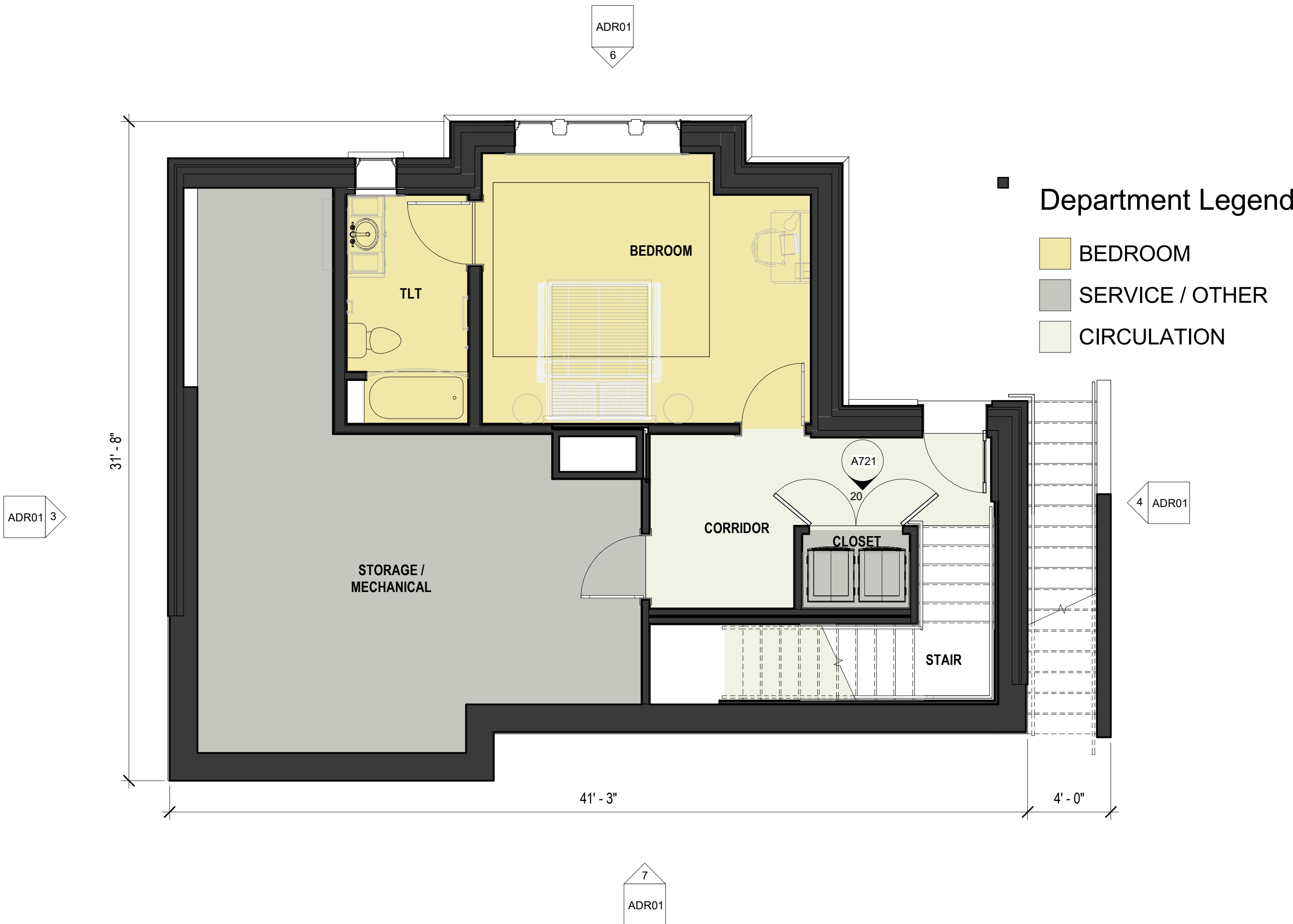
	1. WOOD SIDING, STAINED, S-1		8. GLASS
	4. CERAMIC ROOF SHINGLES		6. WOOD TRIM
	3. FIELD STONE VENEER		



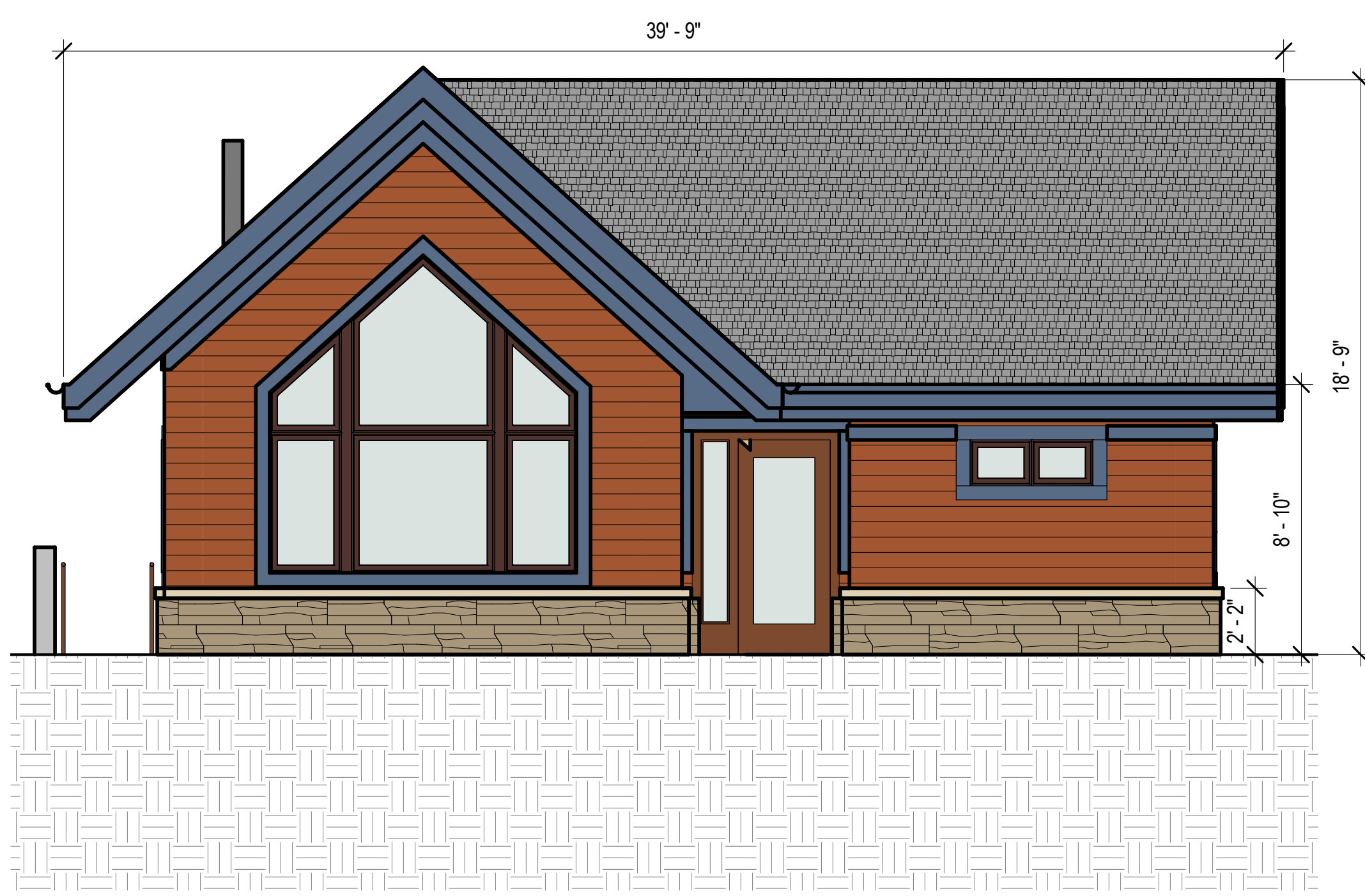
5 RESIDENCE 1 - ADR - ROOF PLAN
SCALE: 1/8" = 1'-0"



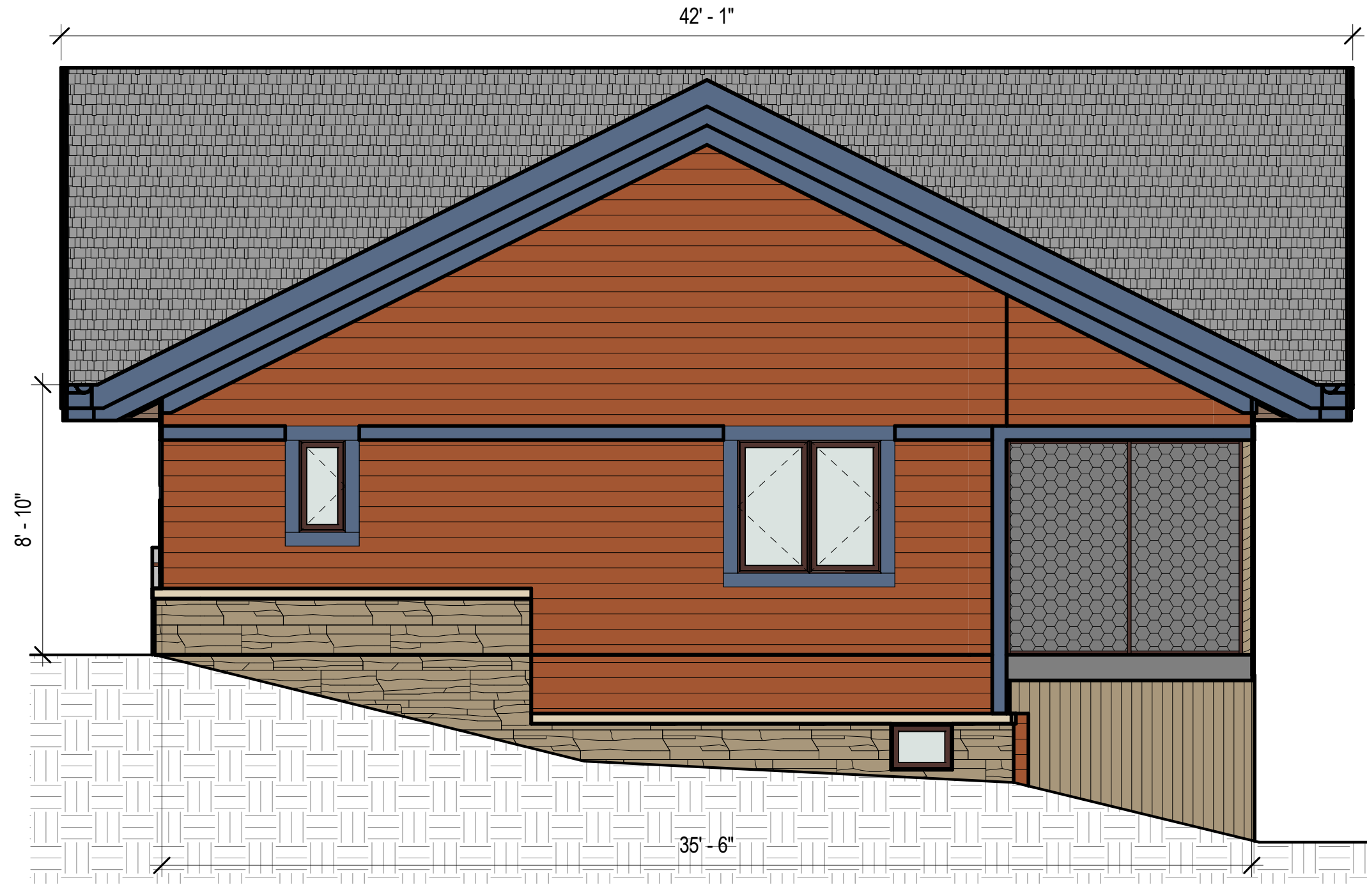
2 RESIDENCE 1 - ADR - FIRST FLOOR
SCALE: 1/4" = 1'-0"



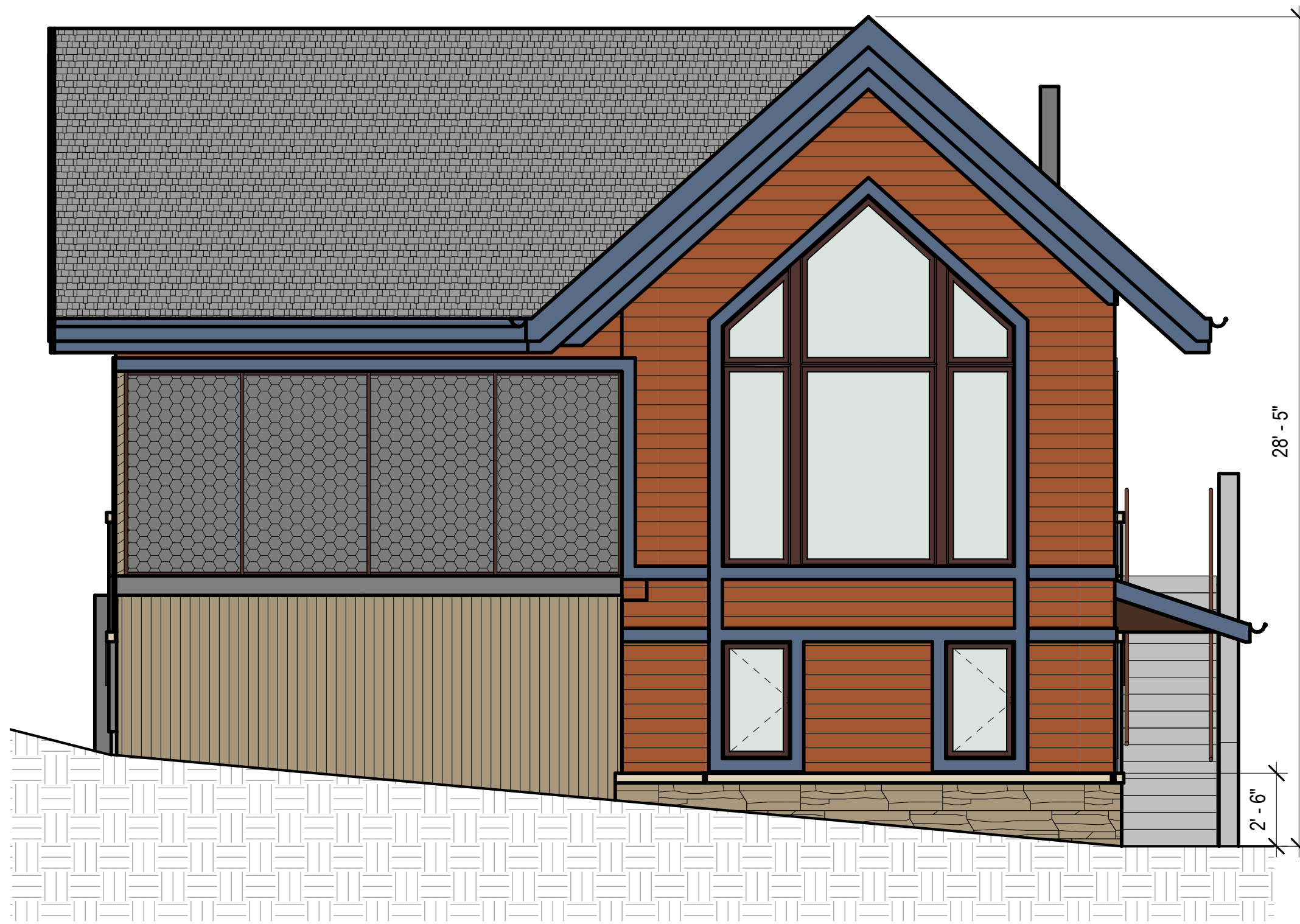
1 RESIDENCE 1 - ADR - LOWER LEVEL
SCALE: 1/4" = 1'-0"



7 RESIDENCE 2 - ADR - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



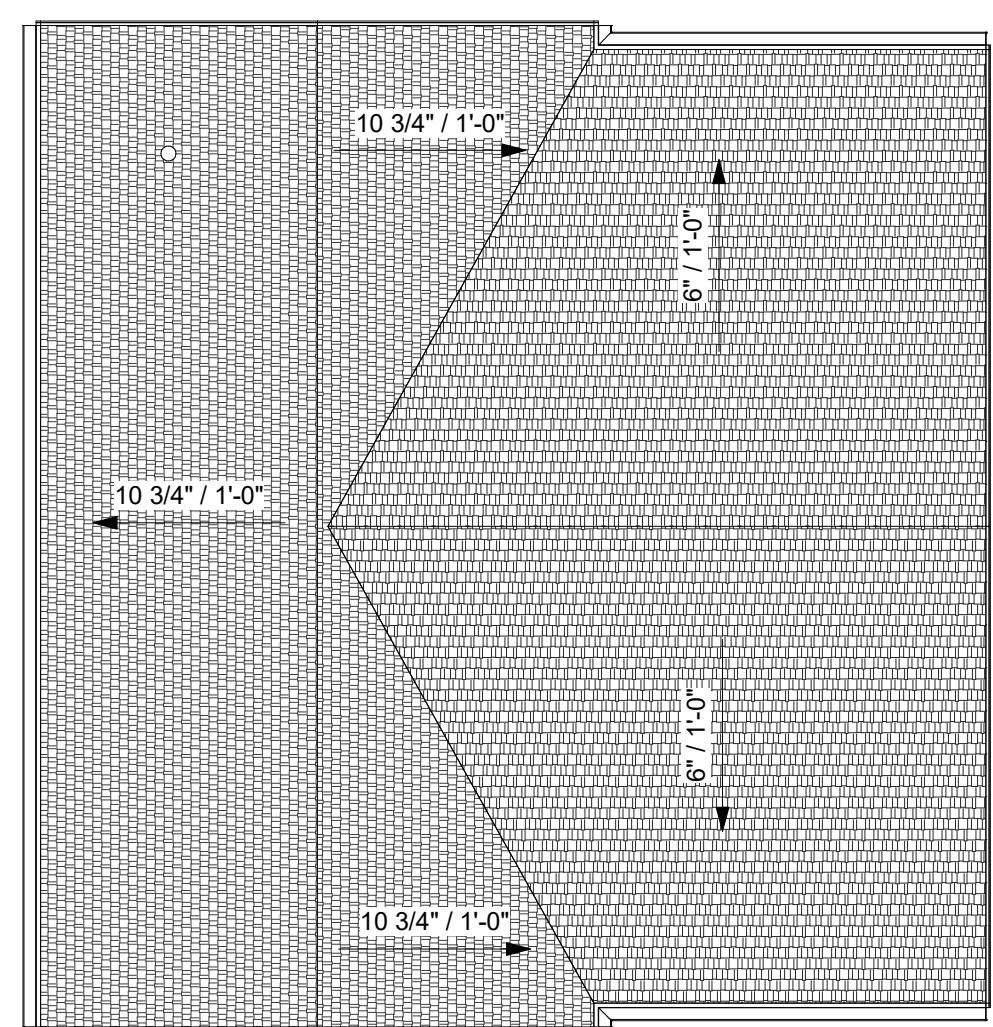
4 RESIDENCE 2 - ADR - EAST ELEVATION
SCALE: 1/4" = 1'-0"



6 RESIDENCE 2 - ADR - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 RESIDENCE 2 - ADR - WEST ELEVATION
SCALE: 1/4" = 1'-0"



5 RESIDENCE 2 - ADR - ROOF PLAN
SCALE: 1/8" = 1'-0"

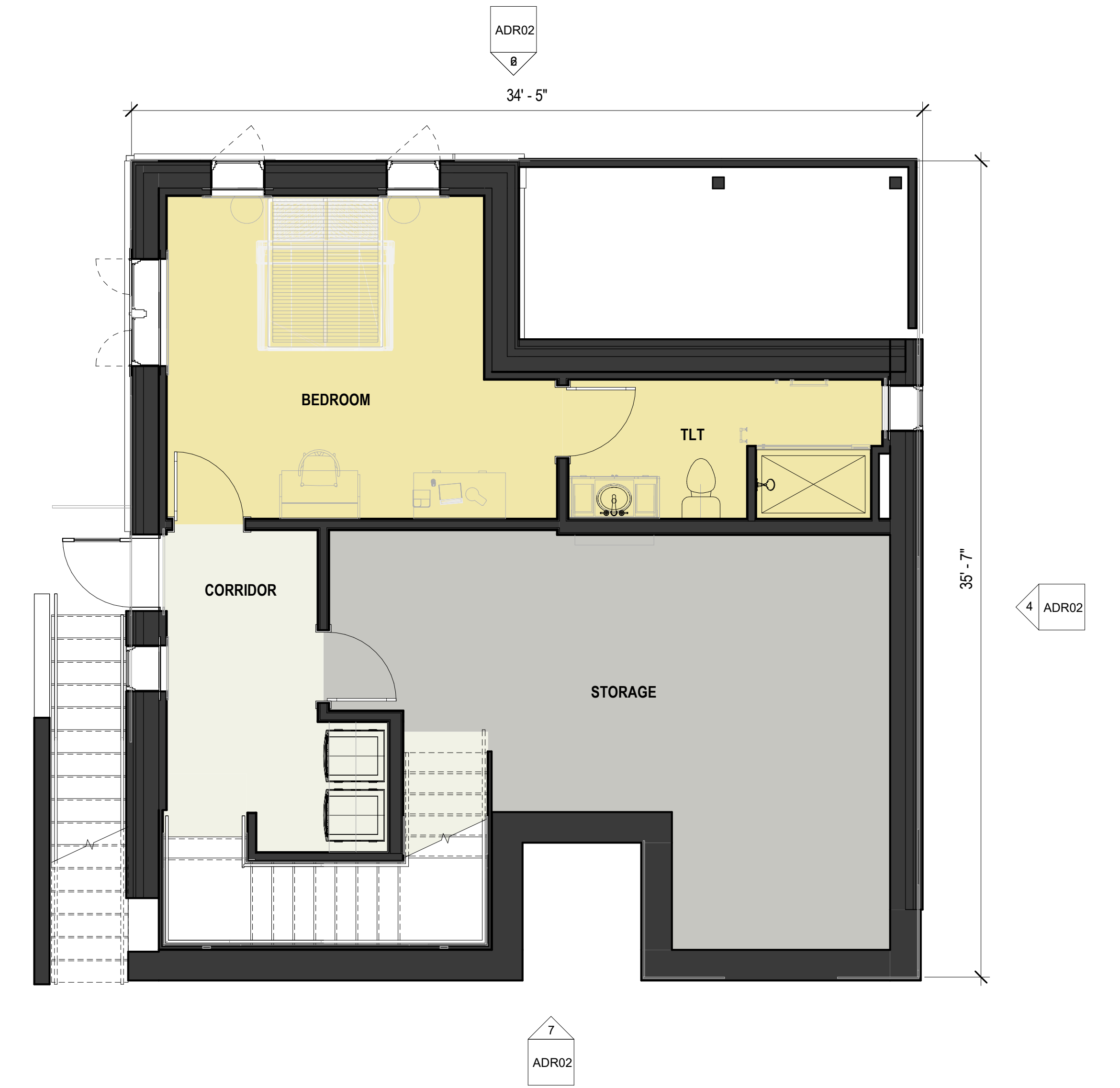
MATERIAL SYMBOLS

1. WOOD SIDING, STAINED, S-1	8. GLASS
4. CERAMIC ROOF SHINGLES	6. WOOD TRIM
3. FIELD STONE VENEER	

- Department Legend**
- BEDROOM
 - SHARED
 - SERVICE / OTHER
 - CIRCULATION

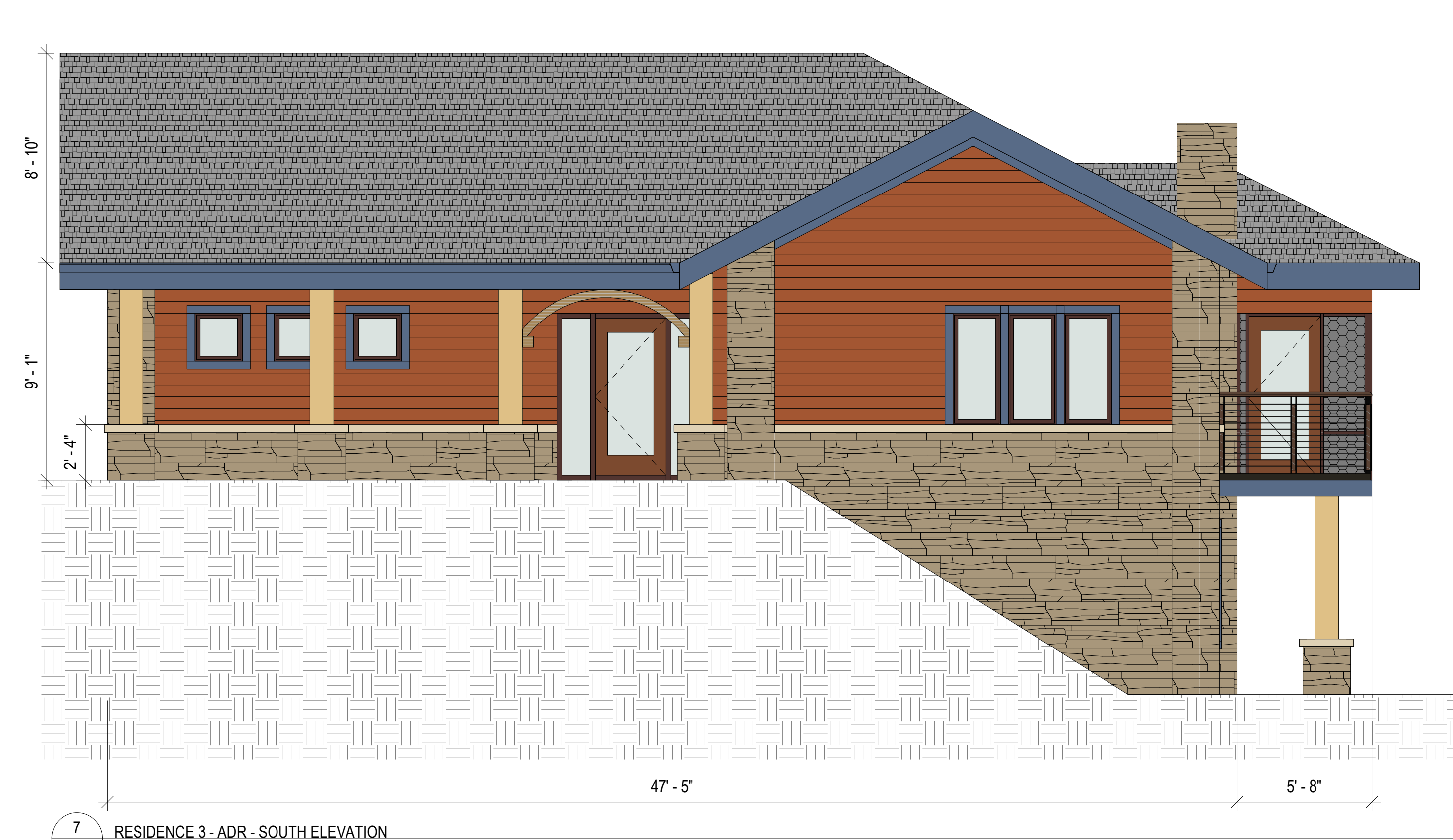


2 RESIDENCE 2 - ADR - FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 RESIDENCE 2 - ADR - LOWER LEVEL
SCALE: 1/4" = 1'-0"





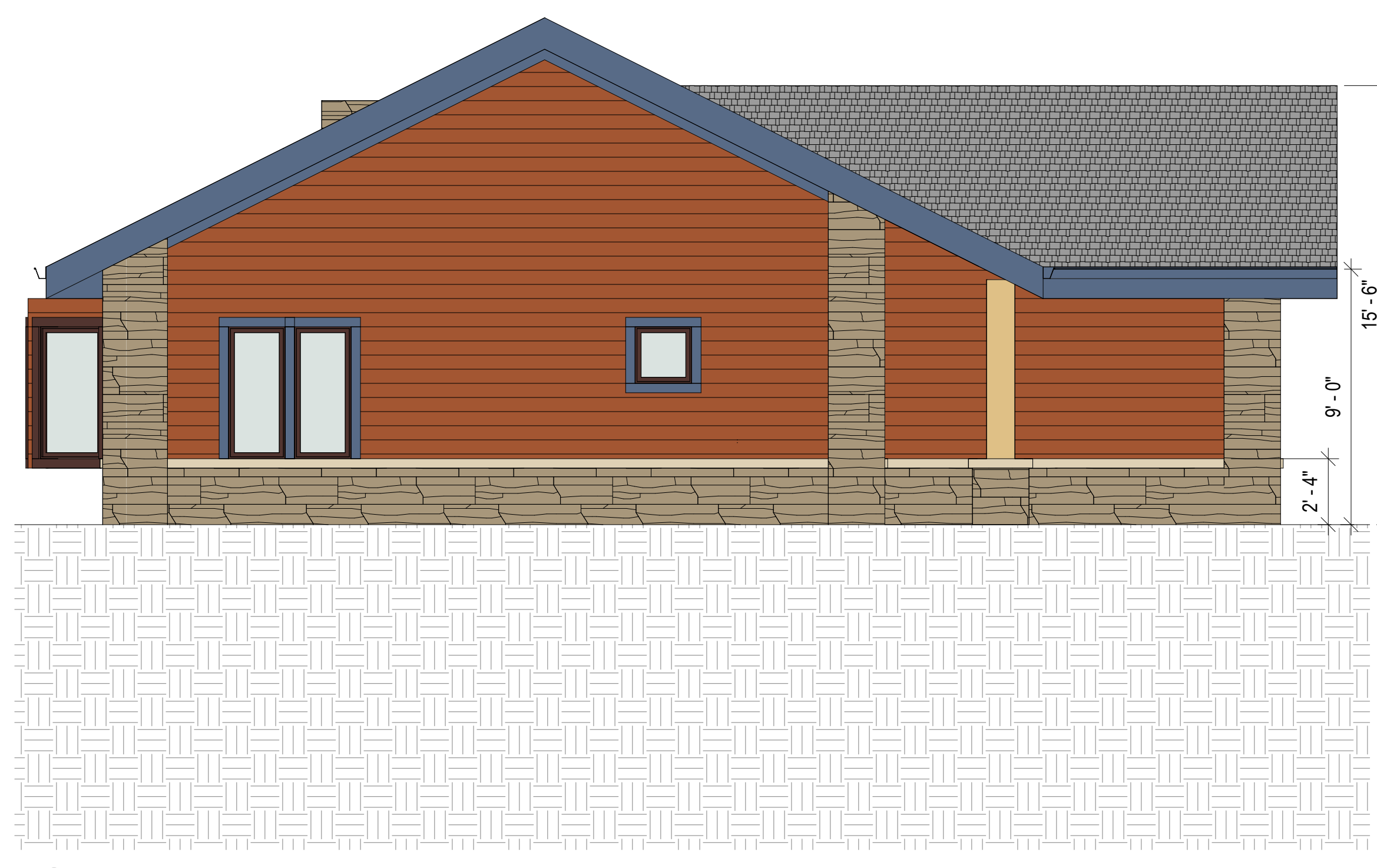
7 RESIDENCE 3 - ADR - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



6 RESIDENCE 3 - ADR - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



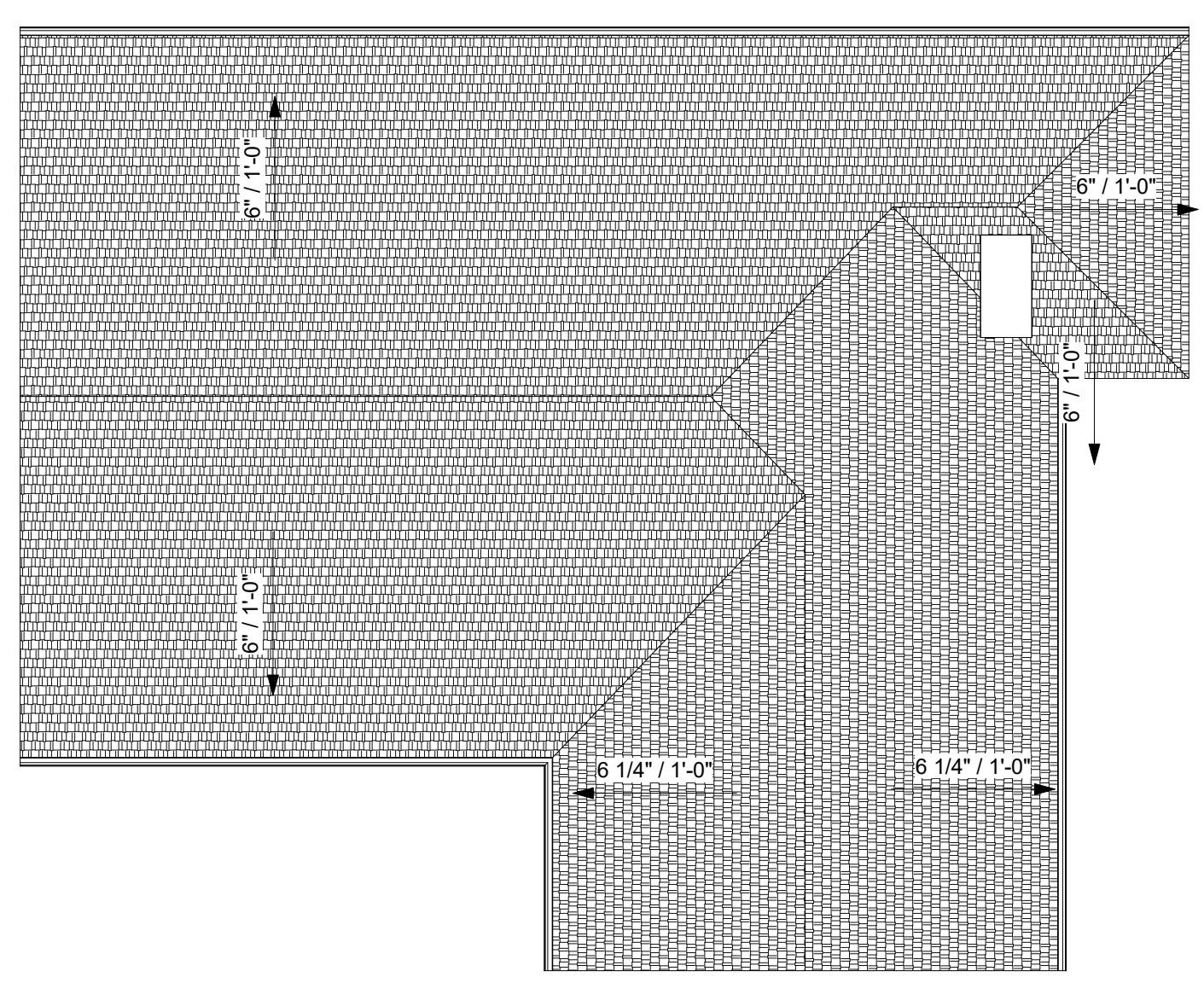
5 RESIDENCE 3 - ADR - EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 RESIDENCE 3 - ADR - WEST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL SYMBOLS

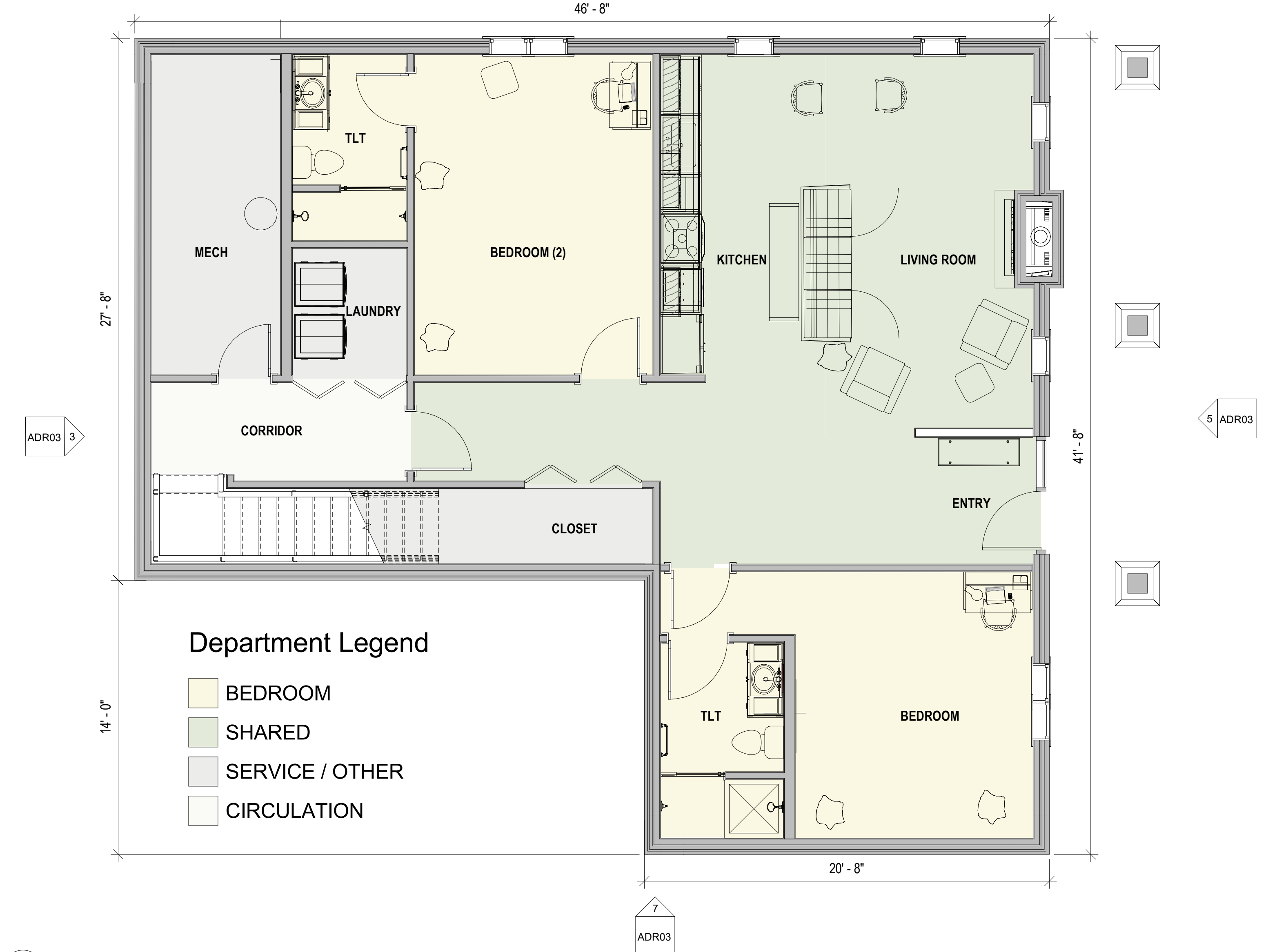
	1. WOOD SIDING, STAINED, S-1		8. GLASS
	4. CERAMIC ROOF SHINGLES		6. WOOD TRIM
	3. FIELD STONE VENEER		



4 RESIDENCE 3 - ADR - ROOF PLAN
SCALE: 1/8" = 1'-0"



2 RESIDENCE 3 - ADR - FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 RESIDENCE 3 - ADR - LOWER LEVEL
SCALE: 1/4" = 1'-0"

Department Legend

	BEDROOM
	SHARED
	SERVICE / OTHER
	CIRCULATION

