



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Tami J McCullough, JLA Architects, on behalf of Jon de Fiebre, SJ Aquisitions, LLC

Address: 800 W. Broadway, Suite 200 **Phone Number of Contact Person:** 414.988.7520

City, State, Zip Code: Monona, WI 53713 **Email of Contact Person:** tmccullough@jla-ap.com

Project Address: Lacey Rd & Notre Dame Drive **Lot:** Outlot 1 **Subdivision:** CSM 14487

Project Type: **Multi-Family** **Commercial** **Industrial** **Other**
 New **Addition**

Impervious Surface Ratio (ISR): 61.6% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: (on behalf of Jon de Fiebre) Jani McCullough Date: 2.15.2022
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: February 15, 2022 Plan Commission Date: March 15, 2022

Comments:



JLA
ARCHITECTS

TRANSMITTAL

Date: February 15, 2022

To: City of Fitchburg
Planning/Zoning
5520 Lacy Road
Fitchburg, WI 53711
via e-mail only (planning@fitchburgwi.gov)

Project Name: Fitchburg Townhomes

JLA Project: 17-1006

Message:

We are re-submitting the Fitchburg Townhomes for Architectural & Design Review (ADR) on behalf of Jon de Fiebre with SJ Acquisitions, LLC for inclusion on the agenda for the March 15, 2022 Plan Commission meeting. The project has a current ADR approval (ADR 2021) that is set to expire on March 16, 2022.

Included in our submittal are the following documents:

- (1) Signed Application for Architectural & Design Review
- (1) 24x36 set of Plans
- (2) 11x17 Sets of Plans
- (2) Supplemental Project Information Packet

If there is anything additional needed to clarify our application and submittal, please do not hesitate to reach out.

Sincerely,

Tami J McCullough
Project Manager

Cc: Jon de Fiebre, SJ Acquisitions, LLC
Scott Anderson, Snyder & Associates, LLC

FITCHBURG TOWNHOMES

FITCHBURG, WISCONSIN

SJ Acquisitions, LLC

February 14, 2022

ZONING APPROVAL STATUS AND
SUPPLEMENTAL INFORMATION

Request Details

Print Date: Thu 03/18/2021

Category: ADR

Location: CSM 14487

Request ID: ADR 2021

Metes and Bounds:

Decision Date: 3/16/2021

Section:

House Number:

Project Name: De Fiebre Fitchburg Townhomes

Street:

Comments:

Lot: OL 1

Zoning Conditions

Status as of 2/14/2022

- 1 No other permit or approval is waived or deemed satisfied except for the approval provided herein.

- ✓ 2 Approval is conditioned on Council approval of the Certified Survey Map (CS-2378-21). *CSM is approved, recording is pending*

- ✓ 3 Park fees (fee in-lieu of parkland dedication and park improvement fee) shall be included in the Subdivision Improvement Agreement and shall be paid prior to issuance of permits. *Agreement is written but not signed*

- 4 Any outstanding assessments shall be paid prior to issuance of permits. *These will be paid just prior to issuance of permit*

- 5 Water impact fees shall be paid prior to issuance of permits. *These will be paid just prior to issuance of permit*

- ✓ 6 Provide a copy of the CARPC 208 letter prior to issuance of building permits. *Attached for reference*

- ✓ 7 Applicant shall obtain an Erosion Control & Stormwater Management (ECSWM) permit prior to the issuance of any permit.

- 8 A recorded Stormwater Maintenance Agreement for private stormwater facilities shall be provided. The agreement shall address the shared stormwater management facilities. *Is included as part of Subdivision Improvement Agreement*

- ✓ 9 Lighting shall be full cut off or dark sky compliant.

- ✓ 10 Signage shall follow the sign regulations for multi-family residential zoning districts as identified in Chapter 26 Sign Code. *via Signage Permit*

- ✓ 11 Developer shall work with the United States Post Office to provide a designated location for centralized mode of delivery.

- ✓ 12 Applicant's responsibility to comply with all Fire Department requirements.

- 13 Prior to any private improvements starting construction (building or zoning permits) all public improvements shall be in and accepted by the City, including Notre Dame Drive extension. *Awaiting final approvals from city engineering dept to proceed*

Attachments (for reference):

- A. Copy of CARPC 208 review letter dated April 28, 2021
- B. Copy email correspondence related to Dane County approval of SWMP dated November 18, 2021
- C. DSPS Conditional Approval Letter for architecture and structural plan review dated September 23, 2021

CAPITAL AREA RPC
100 State St Suite 400, Madison, WI 53703



ph: 608.474.6017
info@capitalarearpc.org

April 28, 2021

Mr. Scott Anderson, PE
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
Sent via email

RE: Sewer Extension Review #06-21-18

Dear Mr. Anderson:

This is to acknowledge receipt of your letter and supporting documents on March 18 and April 22, 2021, requesting the Capital Area Regional Planning Commission, in its capacity as an agent for the Wisconsin Department of Natural Resources, review and comment pursuant to Section NR 110.08(4) and Section SPS 382.20(4) of the Wisconsin Administrative Code on the following described sanitary sewer extension:

Fitchburg Townhomes
Lot 1 of (Unrecorded) CSM (Outlot 1 of CSM No. 14487)
Notre Dame Drive (457') and Public Sanitary Sewer Easements on Lot 1 (952')
City of Fitchburg

CARPC staff has reviewed the proposed extension and has determined that it is consistent with the urban service area provisions of the *Dane County Water Quality Plan* and the conditions of Resolution DCRPC No. 882 and the associated DNR approval letter, which added this area to the Central Urban Service Area in 1999. This sewer extension includes a minor change to the environmental corridor to adjust the buffer strip along Swan Creek, consistent with the policies and criteria for environmental corridors adopted in the *Dane County Water Quality Plan*.

You should include a copy of this letter in your submittals to the Wisconsin Department of Natural Resources and the Wisconsin Department of Safety and Professional Services. If you have any questions regarding this matter, please do not hesitate to contact us.

Sincerely,

A handwritten signature in black ink, appearing to read 'N. D. Bower'.

Nicholas Bower, PE
Environmental Engineer
Capital Area Regional Planning Commission

cc: Mr. Bill Balke, Director of Public Works, City of Fitchburg (via email)
Mr. Curt Sauser, MMSD (via email)

Tami McCullough

From: Scott Anderson <sanderson@snyder-associates.com>
Sent: Thursday, November 18, 2021 2:46 PM
To: Mergen, Elliott
Cc: Jon de Fiebre
Subject: RE: Fitchburg Townhomes

Thanks for the update.

Scott Anderson, P.E.
Civil Engineer
SNYDER & ASSOCIATES, INC.
P: 608.838.0444 x238 | C: 608.732.7105

From: Mergen, Elliott <Mergen.Elliott@countyofdane.com>
Sent: Thursday, November 18, 2021 2:45 PM
To: Scott Anderson <sanderson@snyder-associates.com>
Subject: RE: Fitchburg Townhomes

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender email address and know the content is safe.

Scott,

I just sent my approval to the City. They will typically issue the permit in a few days.

Thanks,
Elliott

From: Scott Anderson <sanderson@snyder-associates.com>
Sent: Thursday, November 18, 2021 11:47 AM
To: Mergen, Elliott <Mergen.Elliott@countyofdane.com>
Subject: RE: Fitchburg Townhomes

Elliot,

Circling back on this.

Thanks,

Scott Anderson, P.E.
Civil Engineer
SNYDER & ASSOCIATES, INC.
P: 608.838.0444 x238 | C: 608.732.7105

From: Scott Anderson
Sent: Monday, November 8, 2021 3:29 PM
To: Mergen, Elliott <Mergen.Elliott@countyofdane.com>
Cc: Claudia Guy <Claudia.Guy@fitchburgwi.gov>; Jon de Fiebre <jon@sjacquisitions.com>; Dakota Dorn

<Dakota.Dorn@fitchburgwi.gov>

Subject: RE: Fitchburg Townhomes

Elliot,

Requested updates for your files.

<https://snyder-associates.filegenius.com/downloadPublic/ls76pe5i4z72q66>

Thanks,

Scott Anderson, P.E.

Civil Engineer

SNYDER & ASSOCIATES, INC.

P: 608.838.0444 x238 | C: 608.732.7105

From: Mergen, Elliott <Mergen.Elliott@countyofdane.com>

Sent: Wednesday, November 3, 2021 2:07 PM

To: Scott Anderson <sanderson@snyder-associates.com>

Cc: Claudia Guy <Claudia.Guy@fitchburgwi.gov>; Jon de Fiebre <jon@sjacquisitions.com>; Dakota Dorn <Dakota.Dorn@fitchburgwi.gov>

Subject: RE: Fitchburg Townhomes

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Scott,

The plan is generally acceptable, but the report date needs to be updated, along with the construction schedule, for final approval.

Thanks,
Elliott

From: Scott Anderson <sanderson@snyder-associates.com>

Sent: Tuesday, November 2, 2021 1:46 PM

To: Mergen, Elliott <Mergen.Elliott@countyofdane.com>

Cc: Claudia Guy <Claudia.Guy@fitchburgwi.gov>; Jon de Fiebre <jon@sjacquisitions.com>; Dakota Dorn <Dakota.Dorn@fitchburgwi.gov>

Subject: RE: Fitchburg Townhomes

CAUTION: External Email - Beware of unknown links and attachments. Contact Helpdesk at 266-4440 if unsure

Elliot,

What is the status on this one? We are looking to get this closed out.

Thanks,

Scott Anderson, P.E.

Civil Engineer
SNYDER & ASSOCIATES, INC.
P: 608.838.0444 x238 | C: 608.732.7105

From: Scott Anderson
Sent: Tuesday, October 12, 2021 3:24 PM
To: Mergen, Elliott <Mergen.Elliott@countyofdane.com>
Cc: Claudia Guy <Claudia.Guy@fitchburgwi.gov>; Jon de Fiebre <jon@sjacquisitions.com>; Dakota Dorn <Dakota.Dorn@fitchburgwi.gov>
Subject: RE: Fitchburg Townhomes

Elliot,

Responses below in **GREEN**

You can download the revised SWMP here

<https://snyder-associates.filegenius.com/downloadPublic/rqtjsb5luf3o8zu>

Thanks,

Scott Anderson, P.E.
Civil Engineer
SNYDER & ASSOCIATES, INC.
P: 608.838.0444 x238 | C: 608.732.7105

From: Mergen, Elliott <Mergen.Elliott@countyofdane.com>
Sent: Thursday, September 9, 2021 10:14 AM
To: Scott Anderson <sanderson@snyder-associates.com>
Cc: Claudia Guy <Claudia.Guy@fitchburgwi.gov>; Jon de Fiebre <jon@sjacquisitions.com>; Dakota Dorn <Dakota.Dorn@fitchburgwi.gov>
Subject: Re: Fitchburg Townhomes

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender email address and know the content is safe.

Scott,

Sorry for the delay in getting this reviewed. I have a few repeat comments that were not adequately addressed in the revision.

1. I appreciate the regional modeling you've provided, but with the site being such a small portion of the regional watershed, I'm not sure if it's the best way to show the site is meeting peak rate requirement. I propose that you show the site's peak rates are less than those of an equivalent area with a curve number of 78, which is what's assumed in the regional report. This should be a relatively easy comparison to do, as you already have the site modeled.

1. It still isn't clear what the curve number of the site is. There are a lot (5?) of HydroCAD models, but they are hard to follow being thrown into one appendix. I'm assuming that the language in the narrative stating "the modeling for this site matches the flows from a pre-development model of a curve number 78" means that the CN for the site is above 78, but the proposed ponds will bring peak rates down to the that of a site with CN 78.

The hydrocad model "PreDec Site 5-18-21" has the project watershed modeled as a 78. The peak flows from this hydrocad model were then used in the predevelopment peak flow table under section 5.0 Peak Flow. The bioretention areas detain the difference from the regional pond (CN 78) and our site (CN 90) for the peak flow.

2. The USLE still does not reflect the worst case condition of the site. There must be an initial slope line for the condition immediately after topsoil stripping. The slope will then change as the site is being developed.
 1. There is still not an initial condition being modeled immediately after topsoil stripping. This condition may only last for a few days until the ponds are dug and initial shaping occurs, but it should still be modeled to show the worst-case soil condition. The schedule/USLE will also need to be updated for the current expected start date.

The USLE have been updated with current dates and added a section for topsoil scraping. Please see page 22 of the revised SWMP.

3. Maintenance agreement pages 1 and 2 are not complete. Exhibit A references infiltration trenches, which are not being proposed at this site. Appendix B drawing must clearly show the locations of all stormwater practices and their type, as related to Exhibit A.
 1. The maintenance agreement still has sections not completed. The specific maintenance measures will also need to include those in the Fitchburg template. The proposed rain gardens can use the infiltration basin measures in the template.

This has been updated, please see page 24 of the revised SWMP.

Please contact me with any questions.

Thank you,

Elliott Mergen, P.E.

Dane County Land & Water Resources Department
Water Resource Engineering Division
608-516-8038

From: Scott Anderson <sanderson@snyder-associates.com>
Sent: Tuesday, July 20, 2021 12:05 PM
To: Mergen, Elliott

Cc: Claudia Guy; Jon de Fiebre; Dakota Dorn

Subject: Fitchburg Townhomes

Elliot,

Please find the attached link to download the revised stormwater management and erosion control plan for the Fitchburg Townhomes project.

<https://snyder-associates.filegenius.com/downloadPublic/xwiubjztkkkmza>

Thanks,

Scott Anderson, P.E.

Civil Engineer

SNYDER & ASSOCIATES, INC.

P: 608.838.0444 x238 | C: 608.732.7105

5010 VOGES ROAD, MADISON, WI 53718



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DIVISION OF INDUSTRY SERVICES
4822 Madison Yards Way
P.O. Box 7302
Madison, Wisconsin 53707-7302
Contact Through Relay
<http://dsps.wi.gov/programs/Default.aspx>
www.wisconsin.gov

ATTACHMENT C



Tony Evers, Governor
Dawn Crim, Secretary

September 23, 2021

CUST ID No.: AFF- 3488675
Joseph Lee
800 W BROADWAY STE 200
MADISON, Wisconsin, 53713

ATTN: Buildings & Structures Building Inspector
MUNICIPAL CLERK
TRACY OLDENBURG
2373 S Fish Hatchery Rd
Fitchburg WI 53711

CONDITIONAL APPROVAL

(Please forward a copy of this letter to the fire department conducting inspections of this project.)

PLAN APPROVAL EXPIRES: 9/23/2023

SITE:

Fitchburg Townhome Condominiums
Notre Dame Drive & Lacy Road
FITCHBURG, WI 53711 Dane

FOR:

Facility Information: Notre Dame Drive & Lacy Road, Fitchburg
FITCHBURG, WI 53711 Dane
Code Applies Date: 07/16/2021

Object Type: Building
Building Name.: Building T2
Major Occupancy: R-2 - Apartments, Dormitories, Monasteries, etc.
Class of Construction: VB - Combustible Unprotected Construction
Building Review Type: New
Plan Type: Full/Complete Building
Total Floor Area in Sq Ft: 19,945
Sprinklered Type: NFPA 13R
Occupancy: None
Allowable Area Determined By: Unseparated Use
Structural Components Included in Review: None

Object Type: Building
Building Name.: Building T1
Major Occupancy: R-2 - Apartments, Dormitories, Monasteries, etc.
Class of Construction: VB - Combustible Unprotected Construction
Building Review Type: New
Plan Type: Full/Complete Building

Identification Numbers
Transaction ID No.: CB-092101060-PRB
Site ID No.: SIT-89165
Please refer to both identification numbers, above, in all correspondence with the agency.

Total Floor Area in Sq Ft: 12,576

Sprinklered Type: NFPA 13R

Occupancy: None

Allowable Area Determined By: Unseparated Use

Structural Components Included in Review: None

SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A department electronic stamp and signature shall be on the plans which are used at the job site for construction.

The following conditions shall be met during construction or installation and prior to occupancy or use:

SPS 361.31 - These plans were conditionally approved electronically. The designer is responsible to download the plans, print out complete sets and permanently bind each set of the conditionally approved electronic plans, along with a complete bound set of specifications, as submitted to the Dept., for reference in the field. Plans for field reference shall be the same size and scale as originally submitted to the Dept. per SPS 361.31(2)(a), and per SPS 361.31(2)(d) shall be clear and legible. A complete bound conditionally approved set of plans and set of specifications shall be made available to a Dept. representative on-site upon request. There shall be an electronic stamp and signature on the index page of the conditionally approved plans by the Dept. representative that conditionally approved the plans, as well as the professional of the project if the building is over 50,000 cubic ft. Additionally, a copy of the conditional approval letter issued by the Dept. shall be permanently attached to each of the conditionally approved plan sets.

Note to the Supervising Professional and Building Owner: It has been noted that there will be multiple residential buildings on this site. Per IBC 1107.6.2.2.1, Type A accessible units shall be addressed on future building plan submittals. Note that the number of required Type A accessible units shall be based on the number of Type B accessible units as well as those exempted units, such as depicted on these building plans as townhouses, as addressed for this SITE. Designer responsible to address prior to future building plan submittals for this site.

SUBMIT:

- **SPS 361.30(3)** - Submit, prior to installation, fire alarm plans, calculations substantiating the design, and associated pertinent information including this transaction number or CB number as a previous transaction. A fire alarm plan submittal may be made on the DSPS website. Note that per SPS 361.30(4), the submission and approval of fire alarm system plans is not required for a project involving 20 or fewer alarm devices located in an existing fire alarm system.
- **SPS 361.30(3)** - This approval does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation in the field. The HVAC plans shall be submitted on the DSPS website. Building Designer should coordinate with HVAC design to avoid problems with clearance to combustibles, dampers etc. The submitted HVAC plans and calculations shall match the approved building plans. Building Designer is requested to provide a complete set of plans, Energy Calculations and the Building plan review Transaction I.D.

number to the HVAC Designer to help coordinate review. Note as per SPS 302.10 installation of HVAC without approved plans could result in double plan review fees.

- **SPS 361.30(3)** - Submit, prior to installation, one set of properly signed and sealed truss plans, calculations substantiating the design, and associated pertinent information including this transaction number or CB number as a previous transaction. A truss plan submittal may be made on the DSPS website. Note as per SPS 302.31(1)(d)4. the fee for a structural component submitted after project completion shall be an additional \$250.
- **SPS 361.30(3)** - It has been determined that this building will include 16 or more plumbing fixtures, thus plumbing plans must be submitted and approved prior to installation. Review Tables SPS 382.20-1 & 2 for specifics on plumbing plan submittal. You may contact any general plumbing plan reviewer at: 608-266-9647.
- **SPS 361.30(3)** - Submit, prior to installation, fire sprinkler plans, calculations substantiating the design, and associated pertinent information including this transaction number or CB number as a previous transaction. A fire sprinkler plan submittal may be made on the DSPS website. Note that per SPS 361.30(4), the submission and approval of fire sprinkler system plans is not required for a project involving 20 or fewer sprinkler heads located within an existing fire sprinkler system.

REMINDERS:

- **SPS 361.31(2)** - Lighting plans, including both Emergency Egress (IBC) & Energy Conservation (IECC), are no longer required to be submitted to the department for review and approval. However, the requirements in both codes must still be met. One (1) set of plans, calculations and/or fixture cut-sheets with all items stamped and signed by a WI registered professional as required by SPS 361.20 & 361.31(1) shall be on-site and made available to inspection by the Department or its authorized representative.
- **SPS 361.36(1)(a) & (b)** - The building shell shall be closed within two years of the initial approval date of this project. Also, this approval will expire three years after the date of initial approval of this project if the work covered by this approval is not completed and the building ready for occupancy within those three years.

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under **REQUIRED SUBMITTAL(S)**, may also be required.

All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.

This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.

In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.

Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. Compliance statements shall be filed online at <https://esla.wi.gov/PortalCommunityLogin>.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,



Randall R. Dahmen, PE/MS
Commercial Building Code Consultant, Plan Reviewer & Inspector
Phone: (608) 266-3162
Email: randy.dahmen@wisconsin.gov

Fee Required: \$1500.00
Fee Received: \$1500.00
Balance Due: \$0.00
Refund Expected: \$

cc:

David Pedersen – DIS Commercial Bldg Inspector - (608) 669-0372

Jon De Fiebre

FITCHBURG TOWNHOMES
FITCHBURG, WISCONSIN

SJ Acquisitions, LLC



SPECIFIC IMPLEMENTATION PLAN

CONTENTS:

- PAGE 3 PROJECT LOCATION & GENERAL DESCRIPTION
- PAGE 4 LEGAL DESCRIPTION
- PAGE 5 RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT
- PAGE 6 ECONOMIC & SOCIAL IMPACTS
- PAGE 7 CONSISTENCY WITH COMPREHENSIVE PLAN
- PAGE 10 LAND USE
- PAGE 11 SITE DESIGN & ZONING STANDARDS
- PAGE 13 ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING
- PAGE 14 ORGANIZATIONAL STRUCTURE/ PROJECT IMPLEMENTATION/
NEIGHBORHOOD INPUT
- PAGE 15 NEIGHBORHOOD MEETING INVITE AND ATTENDANCE LIST
- PAGE 16 APPENDIX 'A' – SPECIFIC IMPLEMENTATION PLAN DOCUMENTS
 - Photometric Plan and Specifications
 - Civil Plans and Details
 - Landscape Plan and Details
 - Architectural Site Plan
 - Architectural Floor Plans & Elevations & Details

Version History
February 14, 2022

February 16, 2021 /revised March 8, 2021

PROJECT TEAM:

SJ Acquisitions, LLC SJ ACQUISITIONS, LLC
 P.O. Box 46073
 Madison, Wisconsin 53744
 Contact: Jon de Fiebre
 608.417.9962



JLA ARCHITECTS + PLANNERS
 800 W. Broadway, Suite 200
 Monona, Wisconsin 53713
 Contact: Tami McCullough
 414.988.7520



SNYDER
 & ASSOCIATES

SNYDER & ASSOCIATES, INC.
 5010 Voges Road
 Madison, Wisconsin 53718
 Contact: Scott Anderson
 608.838.0444

PROJECT LOCATION & GENERAL DESCRIPTION

The Fitchburg Townhomes Development will be a quality residential community serving the increased demand for housing in the Fitchburg area over the next five years and beyond. It will be located on a 3.24 acre site near the Southwest corner of the intersection of Lacy Road and Notre Dame Drive.

- Outlot 1 of CSM 14487 - The 3.24 acre lot for residential uses of this project.

Surrounding Context

The project site is surrounded by existing residential and agricultural uses with future mixed use and residential zoning planned to the North, South, East, and West.

Existing Topography & Wetlands

The project site has a moderate change in elevation of about 16 feet from Southwest to Northeast.

There are no wetlands within the boundary of the parcel.

Existing Vegetation

The project site is currently framed with tree lines along the North and Northwest corner of the boundary of the parcel, as well as a tree line running down the center.

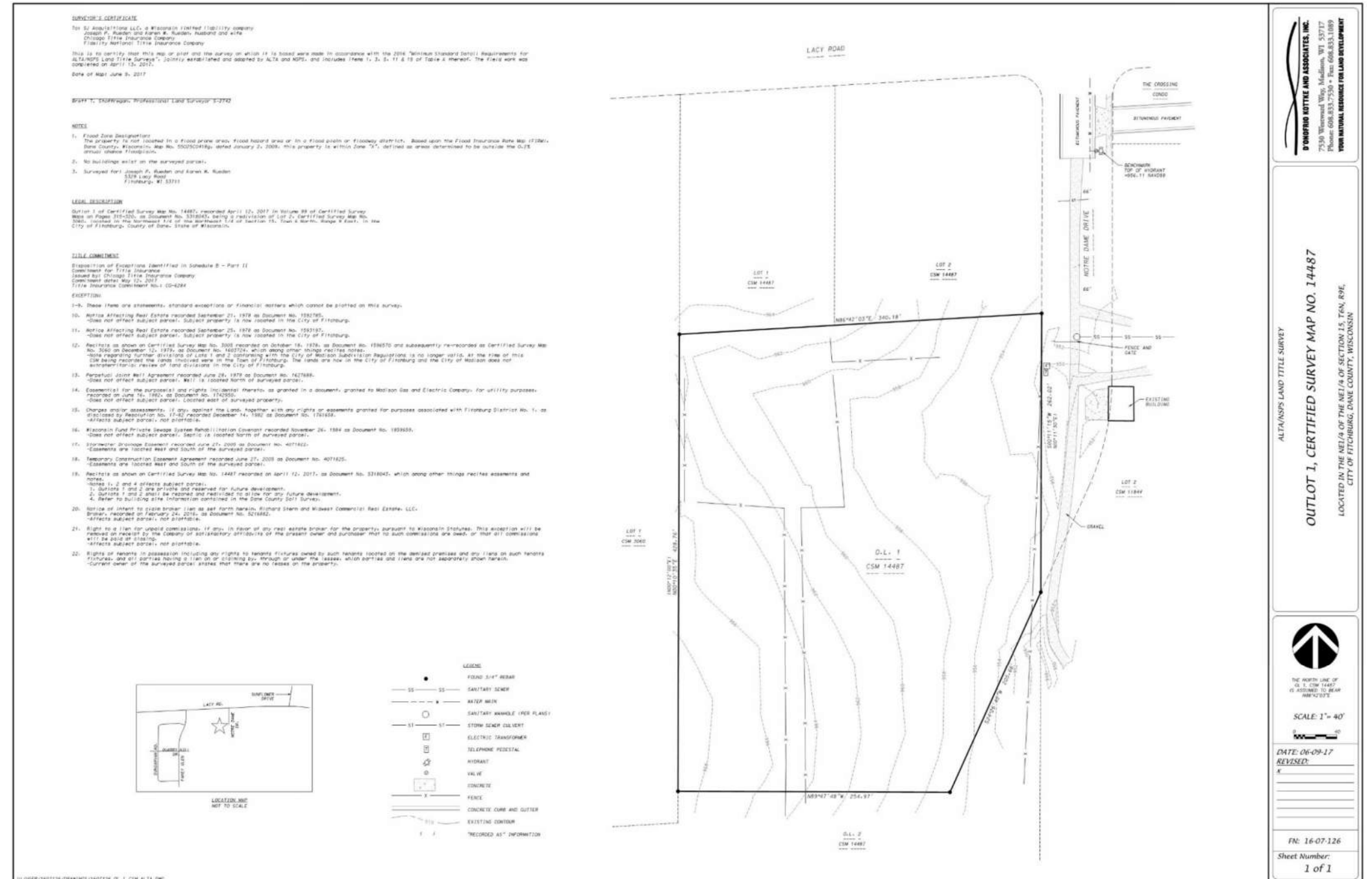


LEGAL DESCRIPTION

Outlot 1 of Certified Survey Map No. 14487 as recorded in the Office of the Register of Deeds for Dane County in Volume 99 of Certified Survey Maps, on Pages 315–320, as Document No. 5318043 and located in the Northeast 1/4 of the Northeast 1/4 of Section 15, Town 6 North, Range 9 East, City of Fitchburg, Dane County, Wisconsin, further described as follows:

Commencing at the Northeast corner of said Section 15 thence South 86°42'03" West, 664.60' along the north line of said Northeast 1/4; thence South 00°11'15" West, 40.07' to the northeast corner of said Certified Survey Map No. 14487; thence continue South 00°11'15" West, 225.00' along the east line of said Certified Survey Map No. 14487 to the northeast corner of said Outlot 1 and the point of beginning; thence continue South 00°11'15" West, 262.02' along the easterly line of said Outlot 1; thence South 24°26'45" West, 205.66' along said easterly line to the southeast corner of said Outlot 1; thence North 89°47'48" West, 254.97' along the south line of said Outlot 1 to the southwest corner of said Outlot 1; thence North 00°10'35" East, 428.76' along the west line of said Outlot 1 to the northwest corner of said Outlot 1; thence North 86°42'03" East, 340.18' along the north line of said Outlot 1 to the point of beginning.

The above-described parcel containing 141,173 square feet (3.241 acres) of land more or less.



RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

We believe there is a need to take advantage of the option for Planned Development District Zoning for the Fitchburg Townhomes project in order to accomplish the goals of providing a quality infill development and maintain the pedestrian friendly feel desired.

To accomplish these goals, we reference the City's Ordinance with the following reasons:

- Section 22-55 – Permitted Uses (1): Only permits the residential occupancy of a single family detached dwelling unit structure. We are proposing 7 residential townhome buildings with a total of 47 units to achieve the high density, owner occupied development that there is a great need for in Fitchburg.

Section 22-58 – Dimensional Standards (3): Sets the minimum front setback to 30 feet. In order to keep with our desire to provide a more pedestrian friendly multi-family residential development, we propose a minimum 10 foot setback allowing more open space and connections around the site internally.

- Section 22-58 – Dimensional Standards (5): Sets the minimum street side setback to 25 feet. In order to keep with our desire to provide a more pedestrian friendly multi-family residential development, we propose a minimum 10 foot setback allowing more open space and connections around the site internally.
- Section 22-58 – Dimensional Standards (6): Sets the minimum rear setback to 35 feet. In order to keep with our desire to provide a more pedestrian friendly multi-family residential development, we propose a minimum setback of 25 feet allowing more open space and connections around the site internally.
- Section 22-58 – Dimensional Standards (7): Restricts the maximum building height to 35 feet or three stories, whichever is less. We are

planning 3-stories of residential with connected parking for each unit. Currently, our architectural building elevations measure to a maximum height of 38'-1" due to site grading conditions however, our average building height from grade is only 34'-3". We propose a Maximum building height of 38'-6" to midpoint of roof.

- Section 22-146 – Dimensional Standards (1): Does not allow more than two multiple family dwelling unit structures per lot. We are proposing 7 residential townhome buildings on one lot. To make this an integrated, vibrant community, we must have the design flexibility afforded in the PDD zoning for the drives, parking lots, and walking connections between buildings. This also results in a more efficient use of space saving valuable agricultural and recreational land in the area.
- Section 22-146 – Dimensional Standards (2): Restricts lot size to a maximum of 90,000 square feet. We are purchasing one developable lot for this project with an area of 141,134 square feet, or 3.24 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback at 30 feet. In order to keep with our desire to provide a more pedestrian friendly multi-family residential development, we propose a minimum 10 foot setback allowing more open space and connections around the site internally.
- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback at 25 feet. In order to keep with our desire to provide a more pedestrian friendly multi-family residential development, we propose a minimum 10 foot setback allowing more open space and connections around the site internally.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area and provides a much needed owner occupied building type.

Property Values and Tax Revenue

At total completion, it is estimated that this project would have a total value of approximately \$12,925,000 (estimated with a \$275,000 value per unit). At this value, using the City’s 2016 property tax rate the following tax receipts to the community could be realized annually:

State of Wisconsin:	\$2,200
Dane County:	\$41,400
City of Fitchburg:	\$110,400
Oregon School District:	\$130,900
<u>Madison Area Tech. College:</u>	<u>\$12,800</u>
Total Projected Annual Property Tax:	\$297,700

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2017 fees listed):

Parkland Improvement Fee	47 units x \$155 =	\$7,285
Fire Protection Fee	(47) 2BR x \$466 =	\$21,902
<u>Water Impact Fee:</u>	<u>47 units x \$1166 =</u>	<u>\$54,802</u>
Total Projected Impact Fees:		\$83,989

Additionally, per Ordinances 24-2(d)(2)(a) and 24-2(d)(2)(e), there shall be a Parkland Dedication of 2,900 square feet per dwelling unit and a fee in-lieu of Parkland Dedication of \$4,330 per dwelling unit or approximately \$65,000 per acre of deficiency.

47 units x 2,900 sf = 136,300 sf (3.13 acres)

47 units x \$4,330 = \$203,510 fee in lieu of parkland dedication

The fee in lieu of Street Frontage for Parks per Ordinance 24-15(e), 22-647(3) shall be calculated at the time of Final Plat or 6' for single lot.

Per Ordinance 24-15(d)(5), 22-647(2), there shall be a Parkland Improvement fee of \$155 (2017 rate) per Multi-family dwelling unit.

47 units x \$155 = \$7,285

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality residential community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & quality.

CONSISTENCY WITH COMPREHENSIVE PLAN

This project complies with the City of Fitchburg's Comprehensive Plan as well as the McGaw Park Neighborhood Plan.

Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the plans listed above.

Comprehensive Plan Land Use Goal 1:

This project preserves and enhances the natural features of the City as follows:

Objective 1: This project is consistent with the long term urban growth map and related phasing plan.

Policies: (1) This project is being developed in close proximity to the Fitchburg-Oregon East rail corridor.
 (2) This project will be served by gravity flow sanitary sewer.
 (5) This project (growth) is consistent with the neighborhood plan.

Objective 2: This project is protecting environmental resources by using sustainable development and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands
 (7) This project is not within or near identified floodplains

Comprehensive Plan Land Use Goal 2:

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

Objective 1: This is a project that is a significant reinvestment in the community as a redevelopment of underutilized land.

Policies: (1) This is a redevelopment of an existing field.

Objective 3: This is a development that will have a logical and sustainable building type for the area.

Policies: (1) This project provides needed owner occupied units.
 (2) This project fits in well with the existing and planned infrastructure and land uses.

Objective 5: Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban area.
 (3) This project is located on a future minor collector street.

Objective 6: This project is in the vicinity of alternative transit modes.

Policies: (1) This project is within the vicinity of the eastern rail corridor.
 (3) This project provides adequate connectivity to multiple transit modes.

Objective 7: This project is within the urban service area.

Policies: (3) This project is within the urban service area.

Comprehensive Plan Natural Resources Goal 1:

This project will protect the natural environment.

Objective 3: This project will protect the natural resources in the area.

Policies: (1) This project will meet all current City storm water control requirements.
 (2) This project will meet all current City erosion control requirements.
 (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
 (5) This project is not developed on private septic.

Comprehensive Plan Housing Goal 1:

This project will provide an in-demand housing choice: reasonably priced owner occupied residential units.

Objective 1: According to the South-Central Wisconsin Multiple Listing Service (MLS), Dane County is currently experiencing a severe lack of single-family housing supply (inclusive of condominium units). As noted in their September 2017 Monthly Statistical Report, there are currently 2.17 months of inventory available for sale. This is significantly below what many consider to be a balanced housing market, typically 4 to 8 months of inventory. Also, according to MLS, as of October 16, 2017, the median single-family home list price in Fitchburg was \$372,00 and the median condominium list price was \$289,900. The median list price for new construction (built 2016 or later) single-family homes was \$379,350 and the median list price for new construction condominiums was \$369,900. Our anticipated sales price range of \$275,00-\$300,00 would offer an affordable option for younger professionals, families, and first-time homebuyers compared to other new construction options currently on the market.

Policies: (1) This project is an efficient use of land in the urban service area
 (2) This project adds variety to the existing and planned housing stock in the neighborhood.
 (3) This project provides affordable owner occupied units.
 (4) This project will meet the demands of new employees within the Fitchburg/ Verona/ Oregon area.

Comprehensive Plan Housing Goal 2:

This project makes efficient use of land for housing.

Objective 1: This project is a compact neighborhood.

Policies: (1) This project has an efficient layout and this preserves rural land resources.

(4) This infill project makes wise use of land in the current urban service area, where service provisions already occur.

(5) We are proposing higher but livable residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.

(6) By utilizing the PDD design review process, the City will be allowed to ensure sound sustainable housing design.

Objective 2: This residential development is occurring in an area with existing infrastructure and sewer.

Policies: (1) This residential housing project is located in an area served by full urban services, including sanitary sewers and public water within convenient access to community facilities, employment centers, and to arterial highways.
 (2) This project is not an un-sewered subdivision.

Comprehensive Plan Utilities Goal 2:

Existing urban services will be extended within the urban development boundary area as part of this project.

Objective 1: This project will improve the condition of the existing sanitary sewer and water infrastructure.

Policies: (2) As part of the Fitchburg Townhomes development, Notre Dame Drive will have segments improved and expanded
 (4) Our entire project will be served with gravity flow sanitary sewer.

Objective 2: This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

Policies: (1) Utilities will not be extended across substantial vacant land.
 (2) Water and sewer will be extended concurrently with new streets.

(3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

Comprehensive Plan Transportation Goal 1:

This project is part of a coordinated land use and transportation system.

Objective 1: This project is a compact, urban development.

Policies: (1) This project features buildings closer to the sidewalks, sidewalks throughout the property, street trees, lower parking ratios, and two stall attached garages to each unit.

Comprehensive Plan Transportation Goal 2:

In conjunction with this project, a safe and efficient transportation system will be provided for the Fitchburg Townhomes neighborhood.

Objective 2: In conjunction with this project, proper traffic management and travel time reliability will be improved in the Fitchburg Townhomes neighborhood.

Policies: (1) The existing roads will be improved to provide sufficient travel capacity.
 (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.
 (4) The streets in this project area are interconnected to preserve mobility and avoid travel delays.
 (6) This project is not located with direct access to major streets and roadways.

McGaw Park Neighborhood Plan Vision:

In conjunction with this project, an urban, sustainable, transit-oriented, and economically vibrant neighborhood that will provide housing to serve all ages and incomes will be provided in this development.

Environmental Goals: In conjunction with this project, public access to unique natural areas will be provided via pedestrian pathways on site and will connect to the surrounding areas. This development will not affect any

protected natural environments and will be designed to meet all environmental protection requirements.

Agricultural Resource Goals: In conjunction with this project, this development will protect and maintain agriculture as a significant resource by developing on a site that has a current future land use of residential zoning and falls within the Urban Development Boundary.

Economic Development Goals: This project will encourage economic development opportunities appropriate to the resources, character, and service levels in the City of Fitchburg as well as enhancing resources when developing economic opportunities by developing on a site that falls within the Urban Service Area and further extending Notre Dame Drive for future developments and public access to the area.

Community Character: In conjunction with this project, this development seeks to strengthen the strong cultural and social history of the area by providing an integrated, vibrant community that includes public gathering areas and pedestrian pathways throughout.

Land Use Goals: In conjunction with this project, this development will provide a compact urban community that is visually and functionally distinct from the rural and agricultural communities surrounding. By developing on a residential future land use site that doesn't obstruct any protected woodlands or wetlands, we are complying with the Future Land Use Plan thus preserving the natural and agricultural resources of the area for future development.

Housing Goals: This project complies with housing goals by developing a high quality, high density pedestrian friendly community that provides an in-demand housing type which will attract all ages and seeks to accommodate multiple family types/sizes and income ranges.

Transportation Goals: This project is being developed in an area with alternate transit modes and will promote transit friendly design through appropriate connections to the surrounding area via pedestrian pathways and roadways. Additional road capacity is being planned and impact to existing roadways will be minimal.

LAND USE

When complete, this project will contain multi-family residential uses.

Outlot 1 of CSM 14487 Land Use

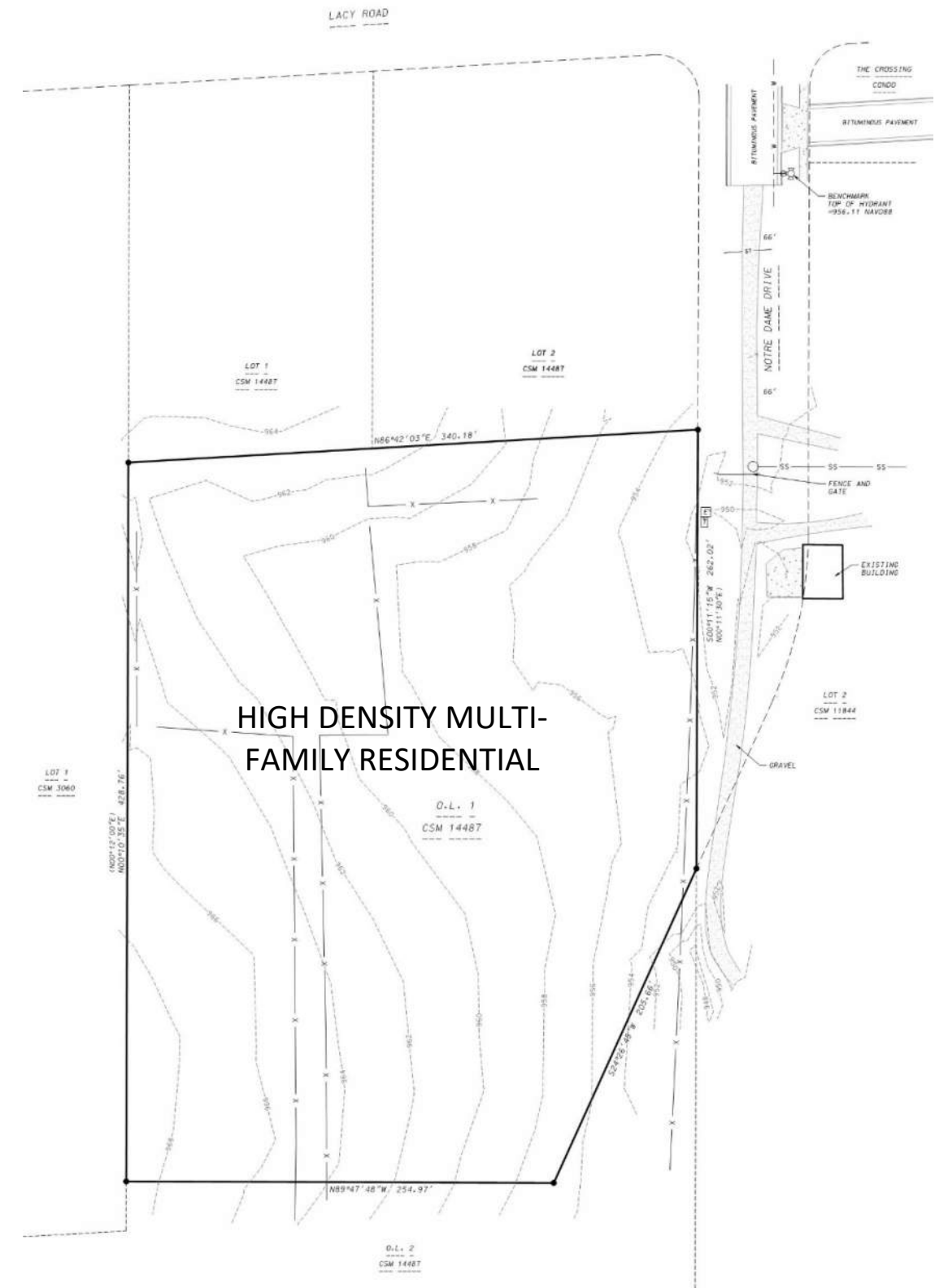
We propose this 3.24 acre parcel to be High Density Multi-Family Residential, which is inconsistent with the City's current Comprehensive Plan showing a future use of Low Density Residential. It will have 47 owner occupied townhome units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio Units: 0.0%
- 1 or 1 Bedroom+Den Units: 0.0%
- 2 or 2 Bedroom+Den Units: 100.0%
- 3 Bedroom Units: 0.0%

Each unit type will be the same unit size with an average unit size of approximately 2,138 square feet.

In addition to the residential units themselves, the Fitchburg Townhomes Development will contain various common space amenities integrated within the buildings or around the site. At the time of this General Implementation Plan, the anticipated common amenities are:

- Green Space for pets
- Walking Paths connecting site both externally and internally
- Other Green and/or Open Space for passive and active activities
- Landscaping and Rain Garden features



SITE DESIGN & ZONING STANDARDS

The Masterplan of the Fitchburg Townhomes Development has been thoughtfully designed to address numerous site challenges including the existing topography and project identity.

Masterplan Design Highlights:

- The buildings are located & orientated to address the street edge and help define the public realm at the interior of the site.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.

Off Street Parking:

The City's typical parking requirements require two parking stalls per residential dwelling unit. We see this as a luxury and modern amenity we'd like to offer our tenants, therefore our unit design incorporates a two-car attached garage for each unit. Additionally, we include 11 off-street parking stalls for guests as well.

Off-Street Bicycle Parking:

In addition to off-street vehicular parking, we are proposing tenants take advantage of their spacious attached garage for use as short and long-term bicycle storage. As these units are to be owner occupied, it is left to the decision of each tenant whether they'd like to install wall mount or ceiling mount bike hooks.

Storm Water Management Overview:

Storm water management for this site will be satisfied with a combination of a region detention facility and onsite infiltration. All City of Fitchburg storm water ordinances will be satisfied as part of this project. Maintenance of all storm water management facilities onsite will be the responsibility of the property owner.



Landscape Design:

The new landscape design for Fitchburg Townhomes Development meets all City of Fitchburg landscape design requirements. This plan is provided in APPENDIX 'A' section of this document.

Refuse & Recycling Storage & Removal:

A private waste management company will be contracted to provide recycling & refuse services as appropriate for the development.

Specific Implementation Plan Data

The Final Masterplan Data shown here meets the Planned Development Zoning Standards shown in the previous General Implementation Plan document.

Planned Development Zoning Standards

Under the proposed Planned Development Zoning, Outlot 1 of CSM 14487 shall meet the following Zoning Standards:

- Residential Density: 18 units per acre (maximum)
- Building Height: Maximum of 3 Stories and Maximum 38'-6" (to midpoint of roof)

CLARIFICATION TO GENERAL IMPLEMENTATION PLAN DOCUMENT

NOTE: Exterior Stairs, Entry Stoops, Planters, and Overhangs are permitted to encroach within these Setbacks.

- Front and Side Street Setback: 10' (minimum)
- Side Yard Setback: 10' (minimum)
- Rear Yard Setback: 25' (minimum)
- Building Coverage: 35% of Parcel Area (maximum)
- Floor Area Ratio: 1.00 (maximum)
- Impervious Surface Ratio: 65% of Parcel Area (maximum)
- Off-Street Parking: 2 Auto Spaces per Dwelling Unit (minimum)
- Off-Street Bicycle Parking: 1.0 Bike Spaces per Dwelling Unit (minimum)

FITCHBURG TOWNHOMES DEVELOPMENT – OUTLOT 1 OF CSM 14487 – SPECIFIC IMPLEMENTATION PLAN DATA									
02/20/2018									
BUILDING						PARKING			
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO	
(4) 8 UNIT	Multi-Family Residential	5,431 S.F.	17,065 S.F.	32	64	8	72	2.25	PER UNIT
(3) 5 UNIT	Multi-Family Residential	3,434 S.F.	10,743 S.F.	15	30	3	33	2.2	PER UNIT
TOTALS		32,026 S.F.	100,489 S.F.	47	94	11	105	2.23	PER UNIT

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	16.91 Units/Acre	47 Units / 2.78 AC. = 16.91
BUILDING COVERAGE	26.5% of Parcel	32,026 S.F. / 121,009 S.F. = 26.5%
LANDSCAPE AREA	35.0% of Parcel	42,384 S.F. / 121,009 S.F. = 35.0%
IMPERVIOUS SURFACE	61.6% of Parcel	74,584 S.F. / 121,009 S.F. = 61.6%
FLOOR AREA RATIO	83.0% of Parcel	100,489 S.F. / 121,009 S.F. = 83.0%

BUILDING		BICYCLE PARKING			
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO
(4) 8 UNIT	32	32	0	32	1 PER UNIT
(3) 5 UNIT	15	15	0	15	1 PER UNIT
TOTALS	47	47	0	47	1 PER UNIT

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would otherwise be required under the City's High Density Residential Zoning.

Less Impervious Surface Area

Because of PDD Zoning, there is greater flexibility in the amount setback from the property edge allowing the buildings to maintain the pedestrian friendly feel desired while providing additional space to the site's interior for water infiltration and retention, as well as public amenities and common space.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm. This also provides additional land area behind the buildings - so surface parking can be kept to the interior of the site and reduce its visual impact on the public streets.

ORGANIZATIONAL STRUCTURE

This project will be a typical condominium structure where units will be owner occupied and the common area amenities will be owned and managed by the condominium association.

PROJECT IMPLEMENTATION

The construction of the Fitchburg Townhomes Development is anticipated to occur in two phases:

<u>Phase</u>	<u>Buildings</u>	<u>Schedule</u>
Phase 1	T1 (5 unit) & T2 (8 unit)	(2022)
Phase 2	Remaining Units	(2023)

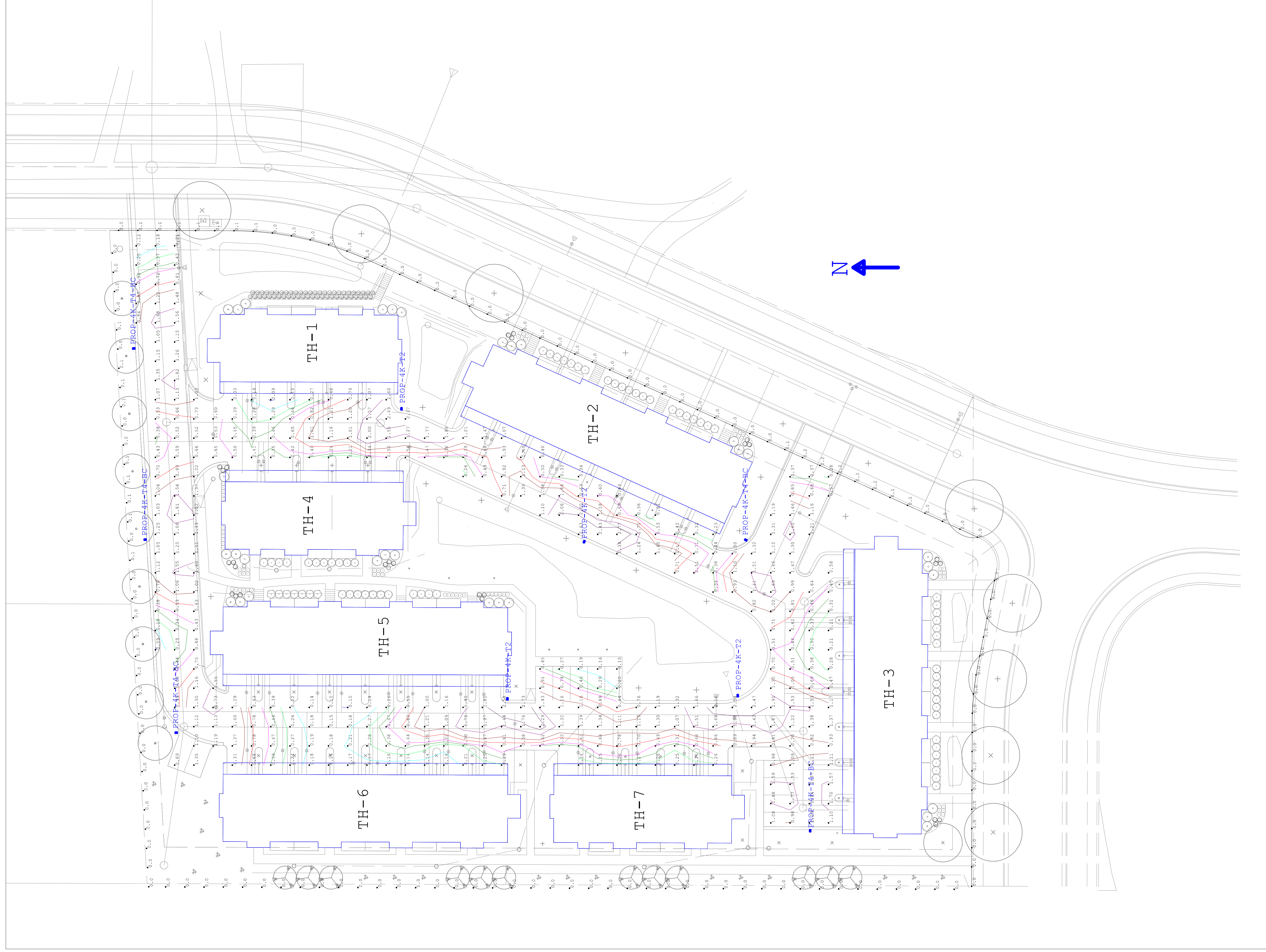
However, market demand will ultimately drive the overall schedule and could speed up or slow down the timeline for full build-out.

NEIGHBORHOOD INPUT

On (or around) August 23, 2017, we mailed out a letter regarding a meeting to all the residents within 300 feet, along with some major associations in the area recommended by staff. The meeting was held at the Fitchburg Library at 6 pm on August 31, 2017. A total of 14 people attended (13 on registration list and Alderman Richardson) and the project was reviewed. See next page for copy of the letter mailed and actual attendance list.

On February 8, 2018, we met with The Crossing Condominium Association to discuss and clarify any concerns and issues they had with our neighboring development per the recommendations of the Common Council and Plan Commission staff. The meeting was held at The Crossing Clubhouse at 6PM, many of the Condo Association members were present as well as Alderman Richardson and Alderman Bahr.

APPENDIX 'A'
SPECIFIC IMPLEMENTATION PLAN DOCUMENTS



Scale: 1 inch= 50 Ft.

FITCHBURG TOWNHOMES
FITCHBURG, WI
FEBRUARY 16, 2021

Project Number: 117.0990.30



- Assumptions:**
- 20 ft Mounting Height
 - Hubbell Outdoor Lighting, Cimarron Series LED
 - Type II Distribution, 4K Color Temperature
 - Type IV Distribution, 4K Color Temperature, With Back Light Control

Luminaire Schedule

Qty	Label	Product #	Equivalent
5	CL1-30L-4K-4-BC	CL1-30L-4K-4-BC	PROP-4K-T4-BC
4	CL1-30L-4K-2	CL1-30L-4K-2	PROP-4K-T2

Illumination Calculation Summary

Label	Units	Avg	Max	Min	Max/Min
Driveway-Parking Area	Fc	0.87	2.77	0.09	30.78
Property Line - North Side	Fc	0.03	0.1	0.0	N.A.
Property Line - West Side	Fc	0.00	0.0	0.0	N.A.
Right-of-Way - East Side	Fc	0.04	0.2	0.0	N.A.
Right-of-Way - South Side	Fc	0.00	0.0	0.0	N.A.

Isoline Legend

Value (Fc)	Color	Value (Fc)	Color
0.01	Black	0.4	Green
0.1	Blue	0.5	Magenta
0.2	Cyan	0.75	Red
0.3	Light Green	1	Dark Red
		1.5	Dark Purple
		2	Black

CIMARRON LED

Cat.#	
Job	Type



Approvals

SPECIFICATIONS

Construction:

- Stylish vertically finned die-cast solid top housing for maximum heat dissipation; Stops collection of unsightly debris from gathering on top of the housing

- Rugged lower die-cast aluminum heat sink accelerates thermal management and optimizes PCB and optical performance

- Separate optical and electrical compartment for optimum component operation

- One piece die cut silicone gasket ensures weather proof seal around each individual LED for IP65 rating

- Backlight Control (BC) option available for 85% spill light reduction, doesn't change fixture appearance or EPA, recommended for Type III and Type IV distributions

- Stamped bezel provides mechanical compression to seal the optical assembly

- Complements the Hubbell Southwest series of outdoor fixtures

- Weight - 45.0 pounds, EPA - 1.3 ft²

- Suitable for applications requiring 3G testing prescribed by ANSI C136.31

Optics:

- Choice of 72 high brightness LED configurations with individual acrylic lenses specially designed for IES Type II, III, IV and V distributions

- Auto optics designed for front row 1A and interior rows 2A (see distribution under ordering and page 2)

- CCT: 3000K (80 CRI), 4000K (70 CRI), 5000K (70 CRI), and turtle friendly Amber LED options

Electrical:

- Universal input voltage 120-277 VAC, 50/60 Hz

- Integral step-down transformer for 347V & 480V

- Ambient operating temperature -40° C to 40° C

- Automatic thermal self-protection

- Drivers have greater than 90% power factor and less than 10% THD

- Optional continuous dimming to 10% or dual circuitry available

- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery

- 1050 mA driver available with 90L configuration for increased lumen output

- LED electrical assembly, including PR devices, consumes no power in the 'off' state

- Surge protection - 20KA; Turns fixture off at end of life; Includes LED for end of life indication (see surge suppressor page 4)

Controls:

- Drivers are 0-10V dimming standard. Photocell, occupancy sensor and wireless controls available for complete on/off and dimming control

Lumen maintenance:

- L90 at 60,000 hours (Projected per IESNA TM-21-11)

Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upswept look while the straight arm follows the housing's contoured lines for continuity of style

- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern

- Wall bracket, mast arm fitter and pole accessories are also available allowing easy mounting for virtually any application

Finish:

- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

Warranty:

- Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

Listings:

- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations

- Models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/QPL>

- IDA approved • IP65

PRODUCT IMAGE(S)



90 LED 3/4 VIEW

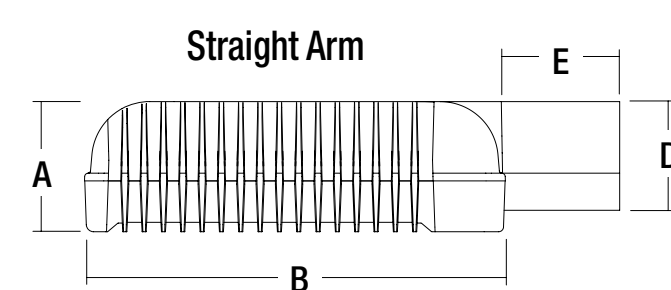
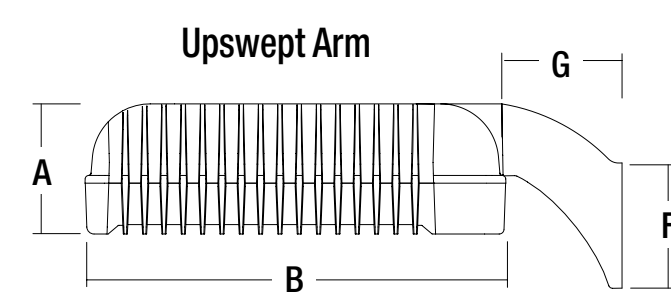
30 LED



60 LED

90 LED

DIMENSIONS



A	B	C	D	E	F	G
6 3/4"	21 3/4"	16"	6 5/8"	6 5/16"	5 5/8"	6 1/8"
171mm	552mm	406mm	168mm	160mm	143mm	155mm

CERTIFICATIONS/LISTINGS



*3000K and warmer CCTs only

ORDERING INFORMATION SEE NEXT PAGE



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

© 2017 SPAULDING LIGHTING, All Rights Reserved • For more information visit our website: www.spauldinglighting.com • Printed in USA CL1LED-SPEC December 19, 2017 9:57 AM



ORDERING INFORMATION ORDERING EXAMPLE: CL1-A-90LU-5K-3-DB-RPA3

SERIES	NO. OF LEDS	VOLTAGE	CCT	DRIVE CURRENT	OPTIONS
CL1 Cimarron LED	90L 90 High brightness LEDs 60L 60 High brightness LEDs 30L 30 High brightness LEDs	U ¹ Universal 120V-277V, 50/60 Hz 1 120V 2 208V 3 240V 4 277V 5 480V, 60 Hz F 347V, 60 Hz E ⁴ 220V, 50 Hz	3K 3000K 4K 4000K 5K 5000K AM ⁴ Amber (590 nm available for "Turtle Friendly" applications (consult factory))	Leave blank for 700mA (standard) 035 350mA Amber CCT only 105 1050 mA (Not for use with 30L)	BC ³ Backlight control CD Continuous dimming WB Wall bracket RPA3 3" Round pole adapter RPA4 4" Round pole adapter RPA5 5" Round pole adapter RPA6 6" Round pole adapter F(X) ² Fusing (replace X with voltage: 1-120V, 2-208V, 3-240V, 4-277V, 5-480V, F-347V) VG Vandal guard 7PR Photocell receptacle (7-pin ANSI C136.41—2013 receptacle for use with standard Twist-Lock® photo controls, shorting caps, and ANSI C136.41 external wireless control devices. Select SCL option to add occupancy sensing capability when using with compatible external wireless devices.)

MOUNTING
A Arm mount construction (6" straight rigid arm included & acceptable for 90° configurations)
AD Decorative arm mount const. (6" decorative upswept arm incl. & acceptable for 90° configurations)
MAF Mast arm fitter for mounting to standard 2 3/8" mast arm bracket, includes 6" straight rigid arm

DISTRIBUTION
2 Type II
3 Type III
4 Type IV
5M Type V Medium
5S Type V Short
5W Type V Wide
2L Type II Rotated 90° left
3L Type III Rotated 90° left
4L Type IV Rotated 90° left
2R Type II Rotated 90° right
3R Type III Rotated 90° right
4R Type IV Rotated 90° right
1A Auto Front Row Type I
1AR Auto Front Row Type I Rotated 90° right
1AL Auto Front Row Type I Rotated 90° left
2A Auto Front Row Type II
2AR Auto Front Row Type II Rotated 90° right
2AL Auto Front Row Type II Rotated 90° left

Notes: 1 - Fuse option not available with universal voltage
2 - Select F3 fusing option for 220V
3 - Recommended for Type III and IV distributions only
4 - Available in 350mA drive current only Type IV, 5M
5 - 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, must order minimum of one SCP-REMOTE control to program dimming settings (see accessories)
6 - Not available with AD arm
7 - Not available with WIR or WIRSC
8 - Not available with SCO, SCL, SCP or SCPW

CONTROLS GUIDE
As energy codes become more restrictive and we push for sustainable lighting designs, the integration of lighting controls and luminaires have become more and more important. Hubbell Lighting offers numerous outdoor lighting controls solutions for the most demanding applications. Visit the link below to learn more about energy-saving controls.

www.hubbellighting.com/solutions/controls/

Only for Type IV Distribution Fixtures

PIR MOTION/OCCUPANCY CONTROL OPTIONS

SCO^{6,7} On/Off control (line voltage device not for use with 7PR receptacle option and external wireless control devices)
SCL^{6,7} Add-on occupancy sensor for use with ext. wireless control device connected thru 7PR receptacle. Consult control manufacturer for compatibility.

SCP^{6,7} Programmable dimming control (line voltage device not for use with 7PR receptacle option and external wireless control devices). A minimum of one SCP-REMOTE accessory remote control required for configuration; (Standard lens with greater sensitivity; motion detection radius equal to .75 X luminaire mounting height (approx. distance))

SCPW^{6,7} Programmable dimming control (line voltage device not for use with 7PR receptacle option and external wireless control devices); A minimum of one SCP-REMOTE accessory remote control required for configuration. (Wide lens with motion detection radius equal to 1.3 X luminaire mounting height (approx. distance))

WIRELESS CONTROL OPTIONS

WIR⁸ wISCAPE Fixture Module, in-fixture relay for wireless lighting control
WIRSC⁸ wISCAPE Fixture Module, in-fixture relay for wireless lighting control and motion/occupancy control

AUTOMOTIVE DEALERSHIP OPTICS

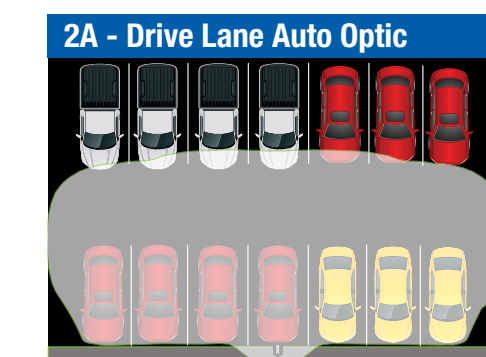
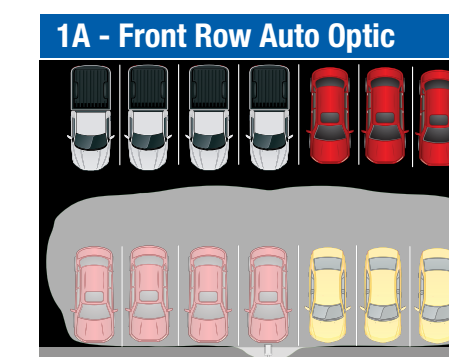
For Automotive Dealership applications Spaulding Lighting has developed two optics designed for enhanced and proper lighting of the auto dealership merchandise and the front row 1A and interior rows 2A (See CL1 distribution information for details)

Optic 1A

- Maximum illumination on front row display
- Maximum pole spacing

Optic 2A

- Excellent front row illumination and drive lane
- Optimal uniformity for drive lane and interior rows



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Due to our continued efforts to improve our products, product specifications are subject to change without notice.

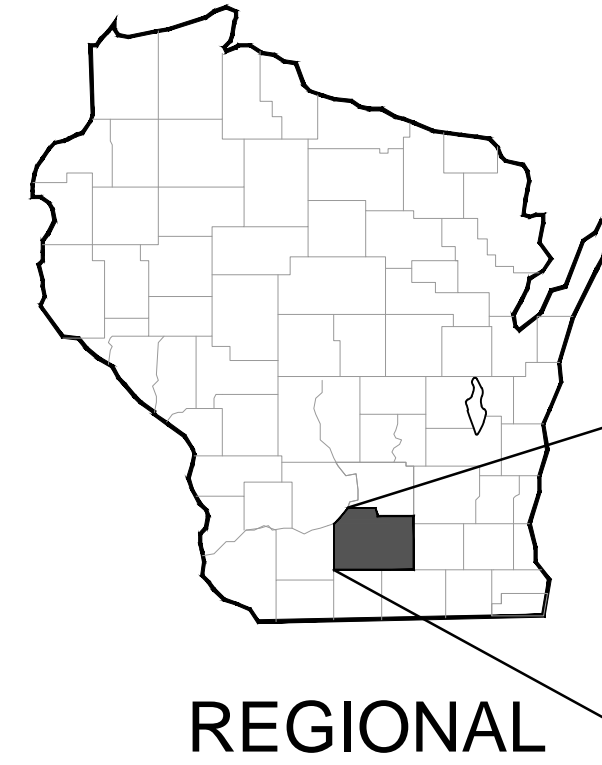
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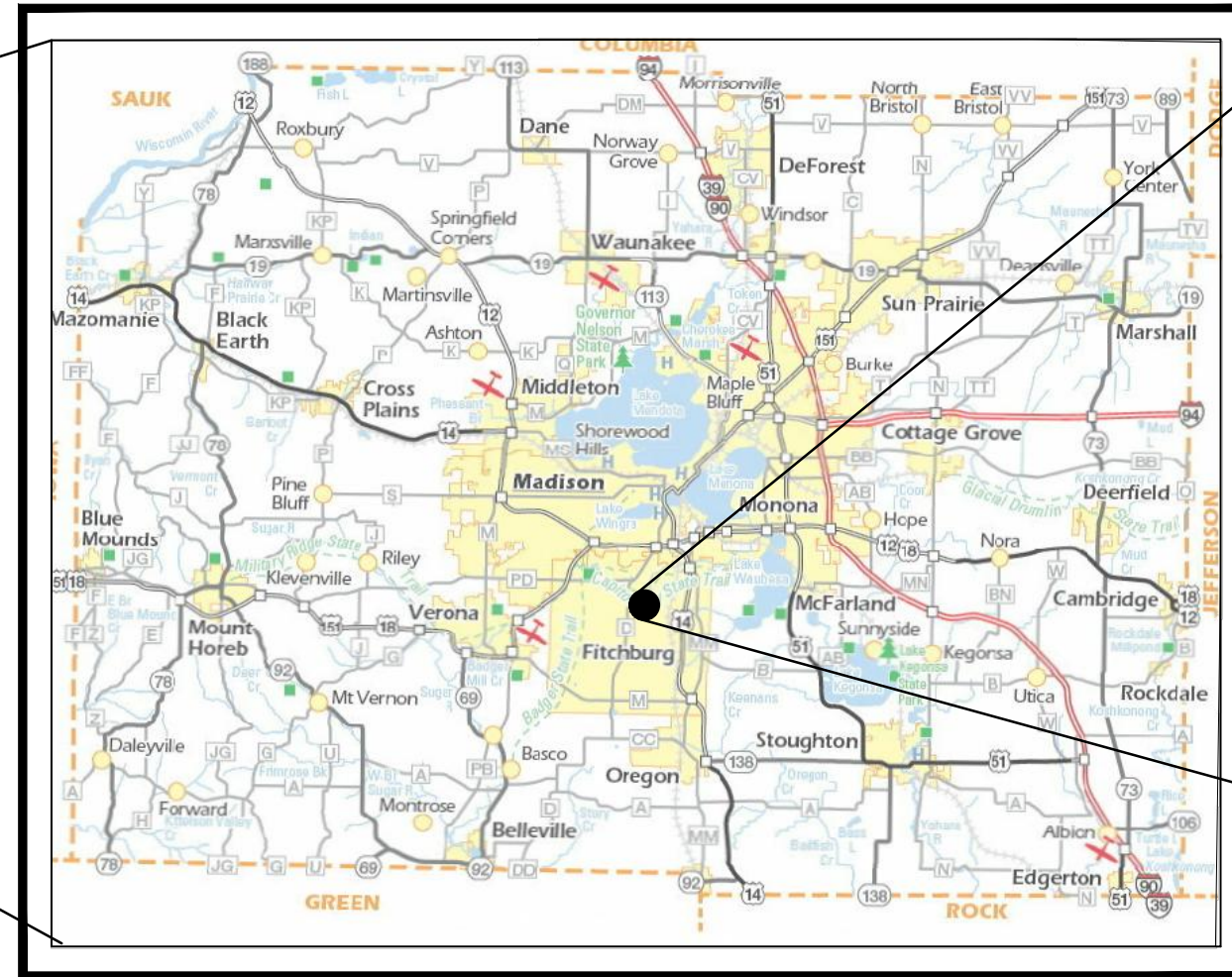
FITCHBURG TOWNHOMES

NOTRE DAME DRIVE

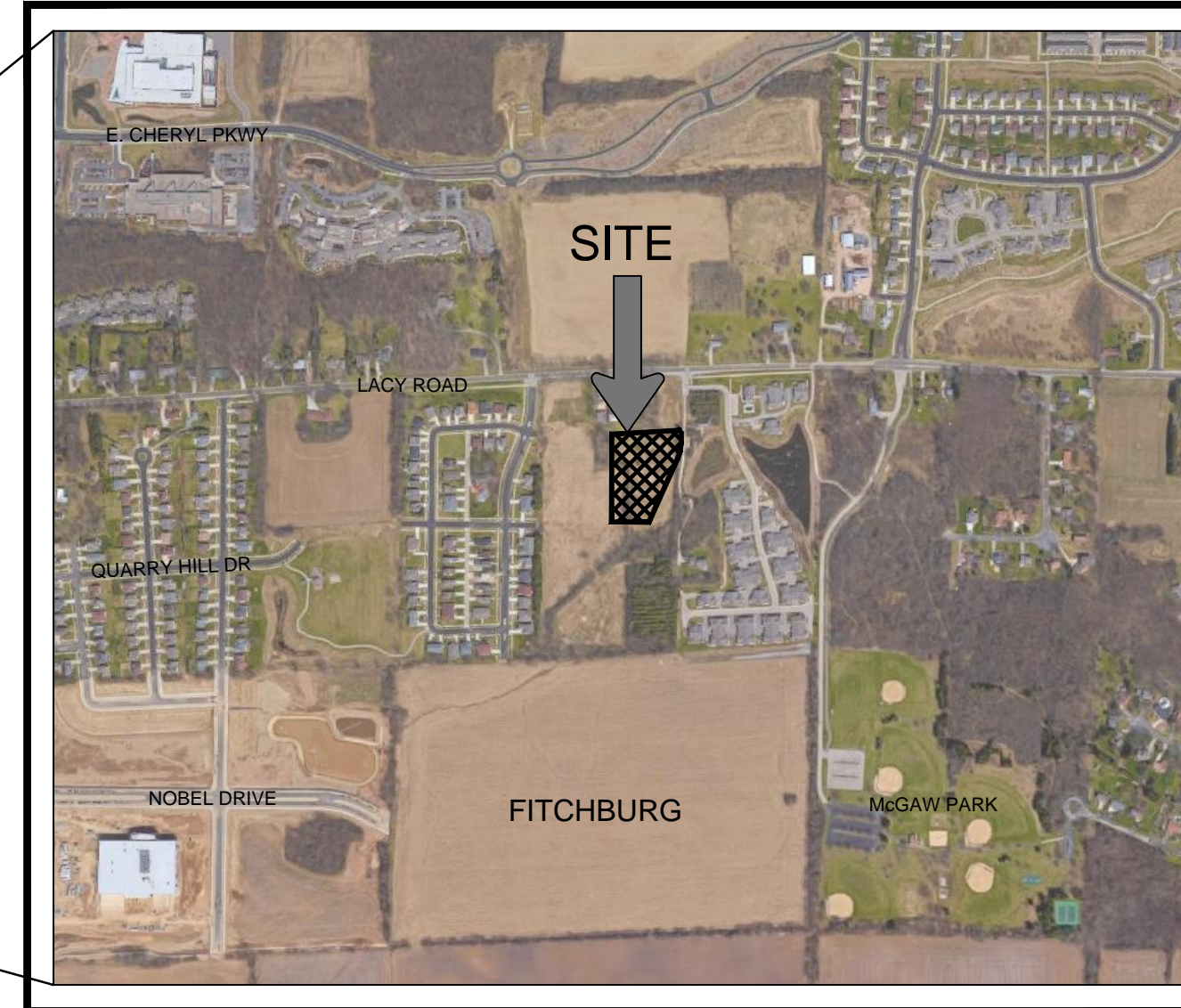
SECTION 15, TOWNSHIP 6N, RANGE 9E



REGIONAL



DANE COUNTY



SITE LOCATION MAP

CITY OF FITCHBURG,
DANE COUNTY, WISCONSIN

CONTACT INFORMATION

ENGINEER:
SNYDER & ASSOCIATES
(SCOTT ANDERSON)
5010 VOGES ROAD
MADISON, WI 53718
608-838-0444

LAND OWNER
LACY RIDGE TOWNHOMES, LLC.
JON DE FIEBRE
130 JILL COURT
OREGON, WI 53575

CITY OF FITCHBURG
BILL BALKE - DIRECTOR OF PUBLIC WORKS
TRACY FOSS - UTILITY PROJECT ENGINEER
5520 LACY RD
FITCHBURG, WI 53711
608-270-4260

BENCHMARKS

BENCHMARK #1
TOP NUT OF EXISTING HYDRANT LOCATED NEAR THE
INTERSECTION OF LACY ROAD AND NOTRE DAME DRIVE
ELEVATION = 956.11

BENCHMARK #2
CONTROL POINT MARKED BY A PK NAIL IN THE CURB
NEAR THE STORM INLET ACROSS LACY ROAD
ELEVATION=955.79

CAUTION:

CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON
THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS
CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE
CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER
SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A
CONDITION OF THE CONTRACT. FOR EXACT LOCATION
CONTACT DIGGERS HOTLINE 1-800-242-8511

UTILITY CONTACT INFORMATION

AT&T
CONTACT : LISA GUNDLACH
152 DIXON STREET
MADISON WI 53704
608-252-2006

SPECTRUM
CONTACT : BRANDON STORM
2701 DANIEL STREET
MADISON WI 53718
608-444-9493

MG&E - ELECTRIC
CONTACT : JIM HERFEL
133 BLAIR STREET
MADISON WI 53703
608-252-7224

MG&E - GAS
CONTACT : JANE ROSSING
133 BLAIR STREET
MADISON WI 53703
608-252-7233

SHEET #	SHEET TITLE
T 1.0	TITLE SHEET
C 1.0	EXISTING SITE & DEMOLITION PLAN
C 1.1	SITE PLAN
C 1.2	DIMENSION & KEYNOTE PLAN
C 1.3	GRADING & EROSION CONTROL PLAN
C 1.4	TEMPORARY GRADING QUARRY HILL DRIVE
C 2.0 - C 2.3	GRADING PLAN
C 3.0	WATER AND SANITARY LATERAL LAYOUT
C 3.1 - C 3.4	SANITARY & WATER PLAN / PROFILE
C 4.0	PRIVATE STORM SEWER PLAN
C 5.0	NOTRE DAME DRIVE GRADING PLAN
C 5.1 - C 5.2	NOTRE DAME DRIVE PLAN / PROFILE
C 5.3 - C 5.4	STORM SEWER PLAN / PROFILE
C 6.0	EROSION CONTROL DETAILS
C 6.1	SANITARY SEWER DETAILS
C 6.2	UTILITY DETAILS
C 6.3	BIO-RETENTION DETAILS
C 6.4 - C 6.5	SITE DETAILS
L 1.0	PRIVATE LANDSCAPE PLAN
L 1.1	PRIVATE LANDSCAPE DETAILS

LEGEND	PROPOSED	EXISTING
PROPERTY LINE	---	---
PHASING LIMIT LINE	---	---
INDEX CONTOUR	---	---
INTERMEDIATE CONTOUR	---	---
WATER MAIN	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
STORM INLET	⊙	⊙
FIRE HYDRANT	⊙	⊙



SHEETS T1.0 TO C6.5

FITCHBURG TOWNHOMES

TITLE SHEET



Project No: 117.0990.30

Sheet T 1.0

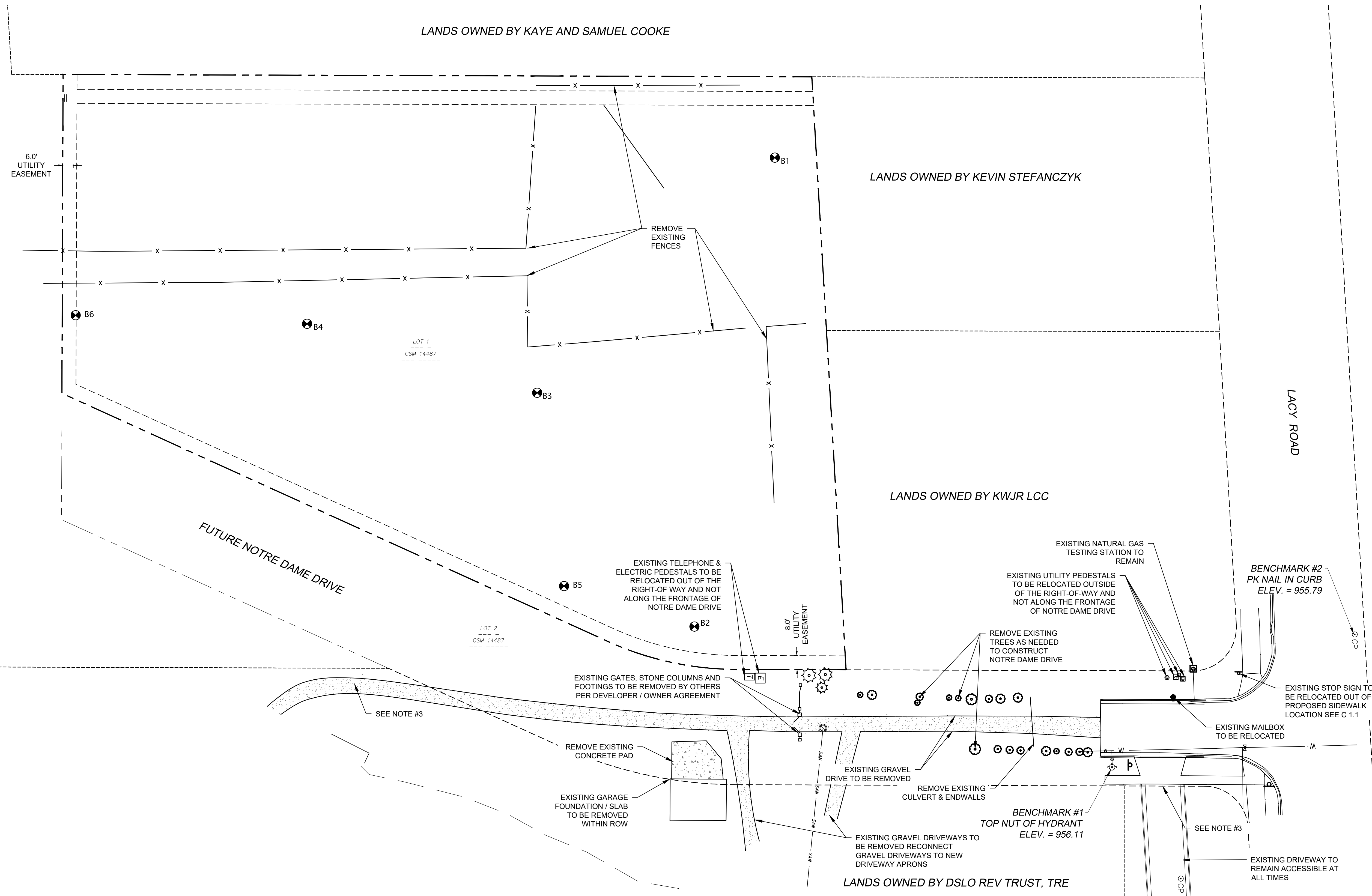
FITCHBURG, WISCONSIN

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5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = NTS	
Technician: MW	Date: 2/7/2022	T-R-S: T6N-R9E-S15	
Project No: 117.0990.30			Sheet T 1.0

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LEGEND

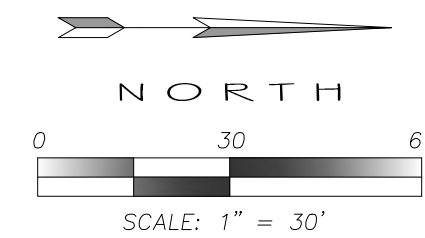
⊗ B5 SOIL BORING LOCATIONS

NOTES

1. TOPOGRAPHIC SURVEY PROVIDED BY OTHERS.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF WORK. ALL UTILITIES SHALL BE RELOCATED OUTSIDE OF RIGHT OF WAY AND INTO AN EASEMENT.
3. PRIVATE RESIDENCE DRIVEWAY SHALL BE OPEN ONTO NOTRE DAME DRIVE AT ALL TIMES. DRIVEWAY WILL BE RELOCATED, SEE C 5.2



**Know what's below.
Call before you dig.**
 WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



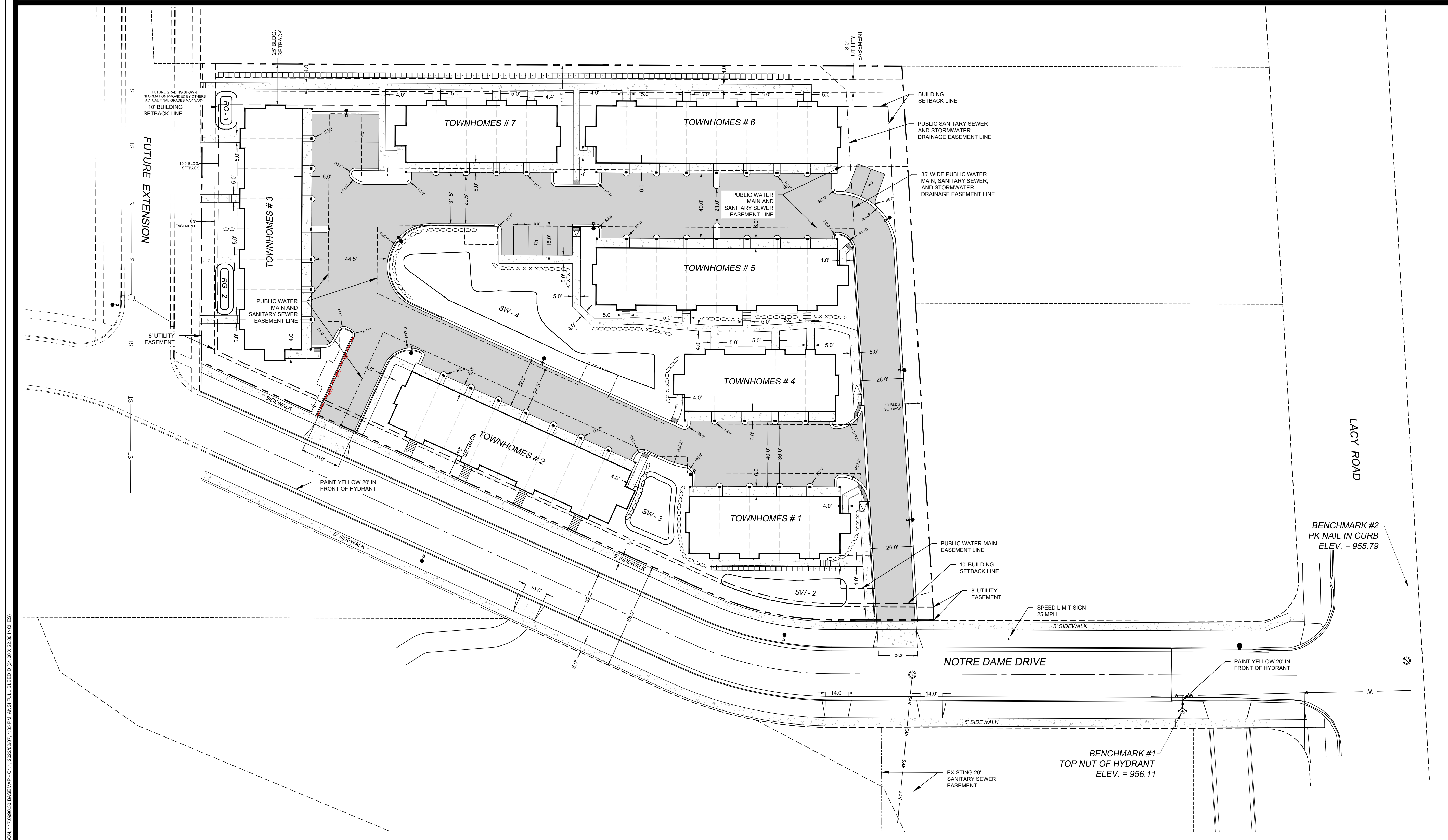
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Technician: MW	Date: 2/7/2022	T-R-S: T6N-R9E-S15	
Project No: 117.0990.30			Sheet C 1.0

FITCHBURG TOWNHOMES
EXISTING SITE & DEMOLITION PLAN
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SNYDER & ASSOCIATES

Project No: 117.0990.30

Sheet C 1.0



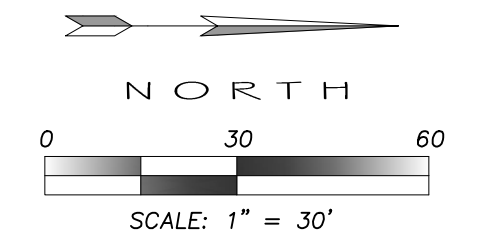
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NOTES

- EXISTING UTILITIES HAVE BEEN FIELD LOCATED VIA SURVEYING OF DIGGERS HOTLINE MARKINGS. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF WORK.
- RELOCATED EXISTING UTILITY INFRASTRUCTURES CAN NOT BE PLACED ALONG THE FRONTAGE OF NOTRE DAME DRIVE AND QUARRY HILL DRIVE. COORDINATE NEW LOCATIONS WITH UTILITY PROVIDERS.
- PRIVATE RESIDENCE DRIVEWAY SHALL BE OPEN ONTO NOTRE DAME DRIVE AT ALL TIMES.
- SEE SHEETS C 5.0 - C 5.2 FOR IMPROVEMENTS ON NOTRE DAME DRIVE.



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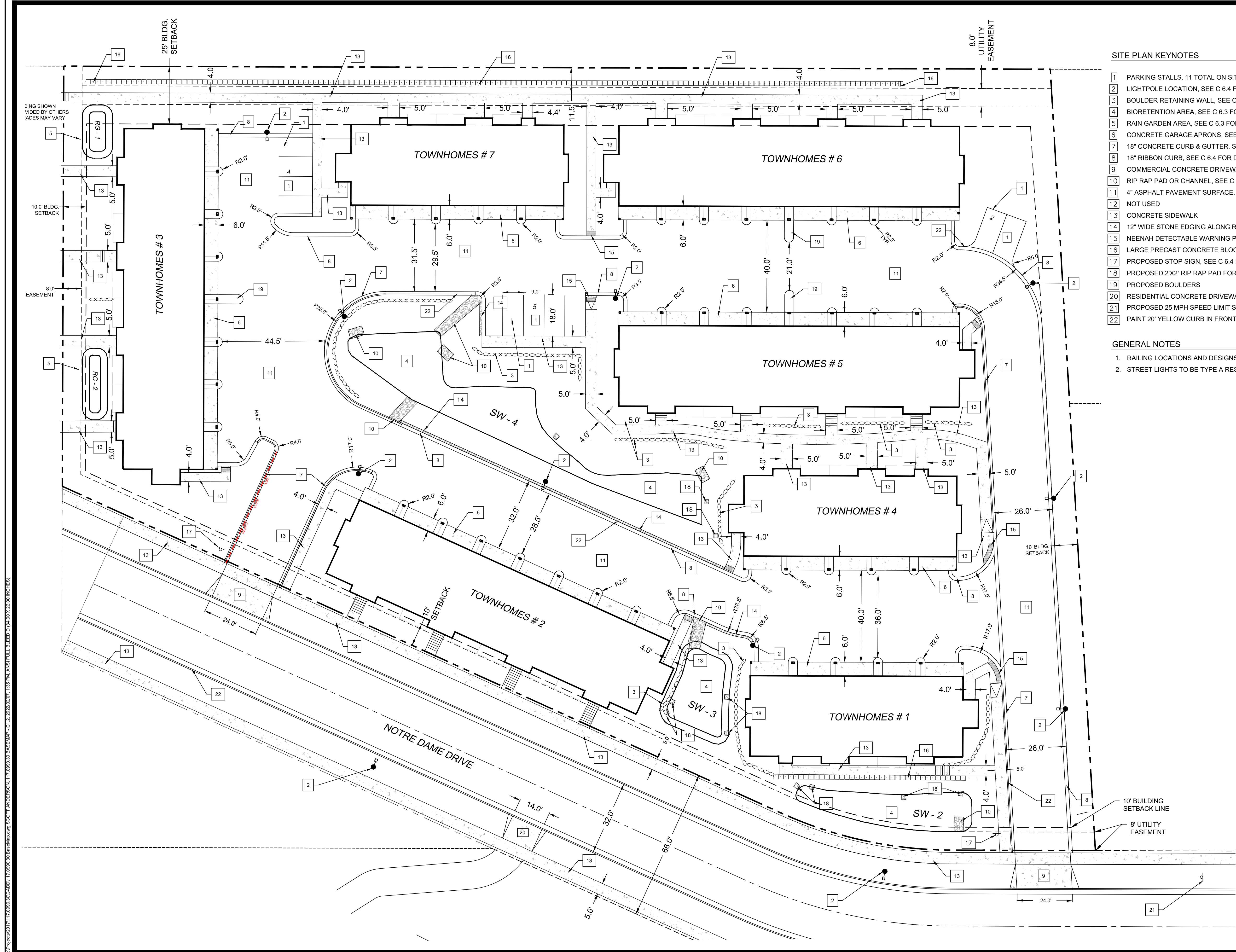
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	Engineer: SJA	Date: 2/7/2022	
	Technician: MW	T-R-S: T6N-R9E-S15	

FITCHBURG TOWNHOMES
SITE PLAN
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Project No: 117.0990.30
 Sheet C 1.1

Project No: 117.0990.30
 Sheet C 1.1

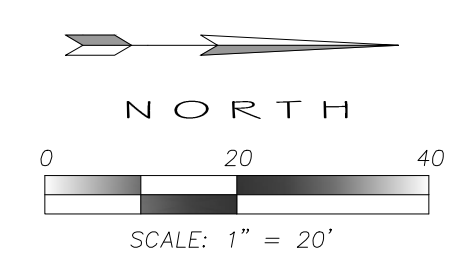


SITE PLAN KEYNOTES

- 1 PARKING STALLS, 11 TOTAL ON SITE
- 2 LIGHTPOLE LOCATION, SEE C 6.4 FOR POLE BASE DETAIL
- 3 BOULDER RETAINING WALL, SEE C 6.4 FOR DETAIL
- 4 BIORETENTION AREA, SEE C 6.3 FOR DETAIL
- 5 RAIN GARDEN AREA, SEE C 6.3 FOR DETAIL
- 6 CONCRETE GARAGE APRONS, SEE ARCHITECTURAL PLANS
- 7 18" CONCRETE CURB & GUTTER, SEE C 6.4 FOR DETAIL
- 8 18" RIBBON CURB, SEE C 6.4 FOR DETAIL
- 9 COMMERCIAL CONCRETE DRIVEWAY, SEE C 6.4 FOR DETAIL
- 10 RIP RAP PAD OR CHANNEL, SEE C 6.0 FOR DETAIL
- 11 4" ASPHALT PAVEMENT SURFACE, SEE C 6.4 FOR DETAIL
- 12 NOT USED
- 13 CONCRETE SIDEWALK
- 14 12" WIDE STONE EDGING ALONG RIBBON CURB, SEE C 6.4 FOR DETAIL
- 15 NEENAH DETECTABLE WARNING PLATES (RADIAL & 4' X 2')
- 16 LARGE PRECAST CONCRETE BLOCK RETAINING WALL SEE SHEET C 6.4
- 17 PROPOSED STOP SIGN, SEE C 6.4 FOR DETAIL
- 18 PROPOSED 2'X2' RIP RAP PAD FOR ROOFDRAIN OUTLET
- 19 PROPOSED BOULDERS
- 20 RESIDENTIAL CONCRETE DRIVEWAY
- 21 PROPOSED 25 MPH SPEED LIMIT SIGN
- 22 PAINT 20' YELLOW CURB IN FRONT OF HYDRANTS

GENERAL NOTES

- 1. RAILING LOCATIONS AND DESIGNS BY OTHERS
- 2. STREET LIGHTS TO BE TYPE A RESIDENTIAL



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	Technician: MW	T-R-S: T6N-R8E-S15	

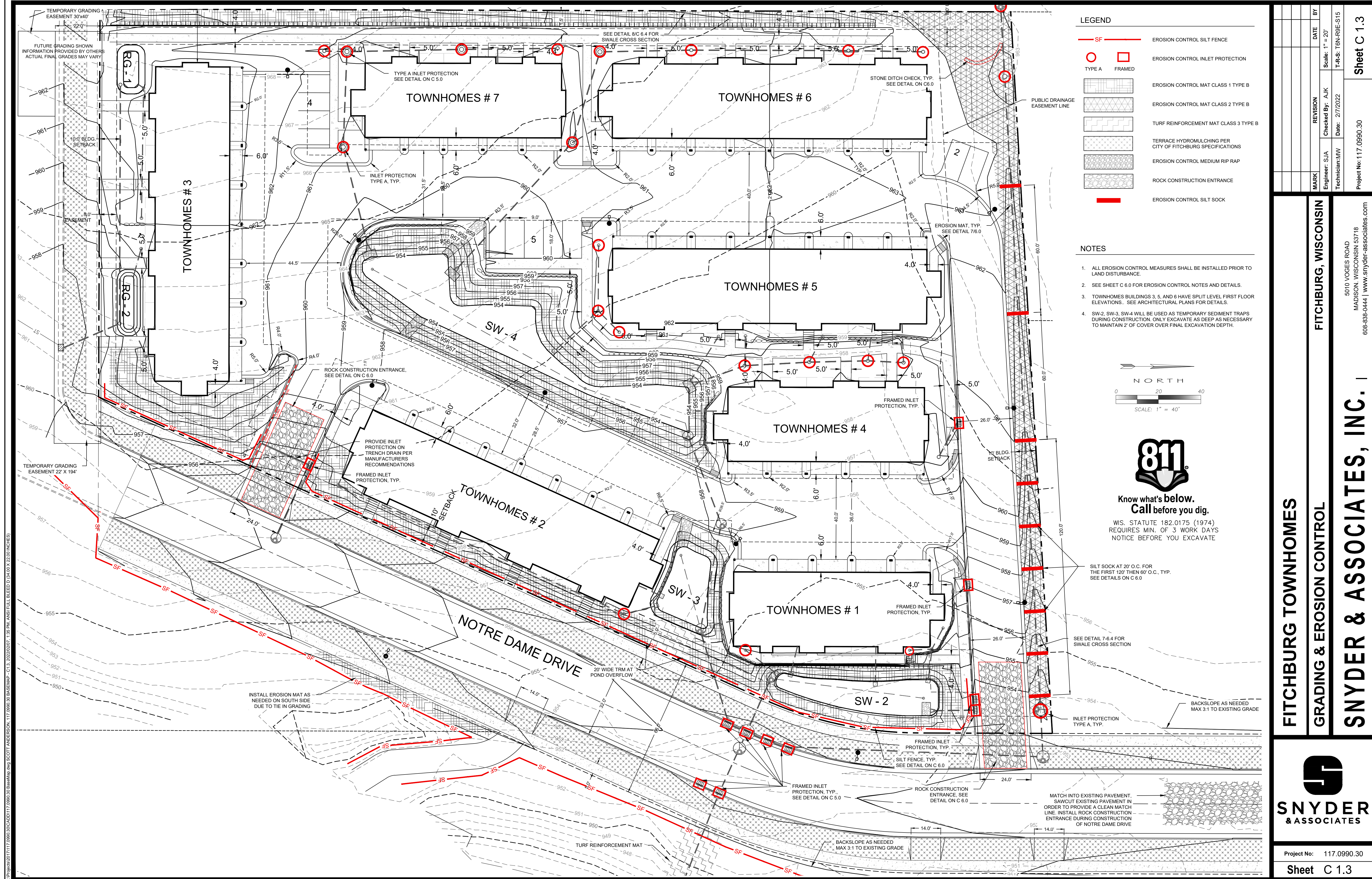
FITCHBURG, WISCONSIN

FITCHBURG TOWNHOMES
DIMENSION & KEYNOTE PLAN
SNYDER & ASSOCIATES, INC.



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Project No: 117.0990.30
Sheet C 1.2

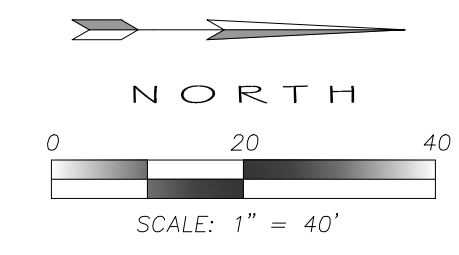
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LEGEND

	SF	EROSION CONTROL SILT FENCE
	TYPE A	EROSION CONTROL INLET PROTECTION
	FRAMED	EROSION CONTROL INLET PROTECTION
		EROSION CONTROL MAT CLASS 1 TYPE B
		EROSION CONTROL MAT CLASS 2 TYPE B
		TURF REINFORCEMENT MAT CLASS 3 TYPE B
		TERRACE HYDROMULCHING PER CITY OF FITCHBURG SPECIFICATIONS
		EROSION CONTROL MEDIUM RIP RAP
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL SILT SOCK

- NOTES**
1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 2. SEE SHEET C 6.0 FOR EROSION CONTROL NOTES AND DETAILS.
 3. TOWNHOMES BUILDINGS 3, 5, AND 6 HAVE SPLIT LEVEL FIRST FLOOR ELEVATIONS. SEE ARCHITECTURAL PLANS FOR DETAILS.
 4. SW-2, SW-3, SW-4 WILL BE USED AS TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION. ONLY EXCAVATE AS DEEP AS NECESSARY TO MAINTAIN 2' OF COVER OVER FINAL EXCAVATION DEPTH.



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SILT SOCK AT 20' O.C. FOR THE FIRST 120' THEN 60' O.C., TYP. SEE DETAILS ON C 6.0

SEE DETAIL 7-6.4 FOR SWALE CROSS SECTION

BACKSLOPE AS NEEDED MAX 3:1 TO EXISTING GRADE

MATCH INTO EXISTING PAVEMENT. SAWCUT EXISTING PAVEMENT IN ORDER TO PROVIDE A CLEAN MATCH LINE. INSTALL ROCK CONSTRUCTION ENTRANCE DURING CONSTRUCTION OF NOTRE DAME DRIVE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 20'	
Technician: MW	Date: 2/17/2022	T-R-S: T6N-R6E-S15	

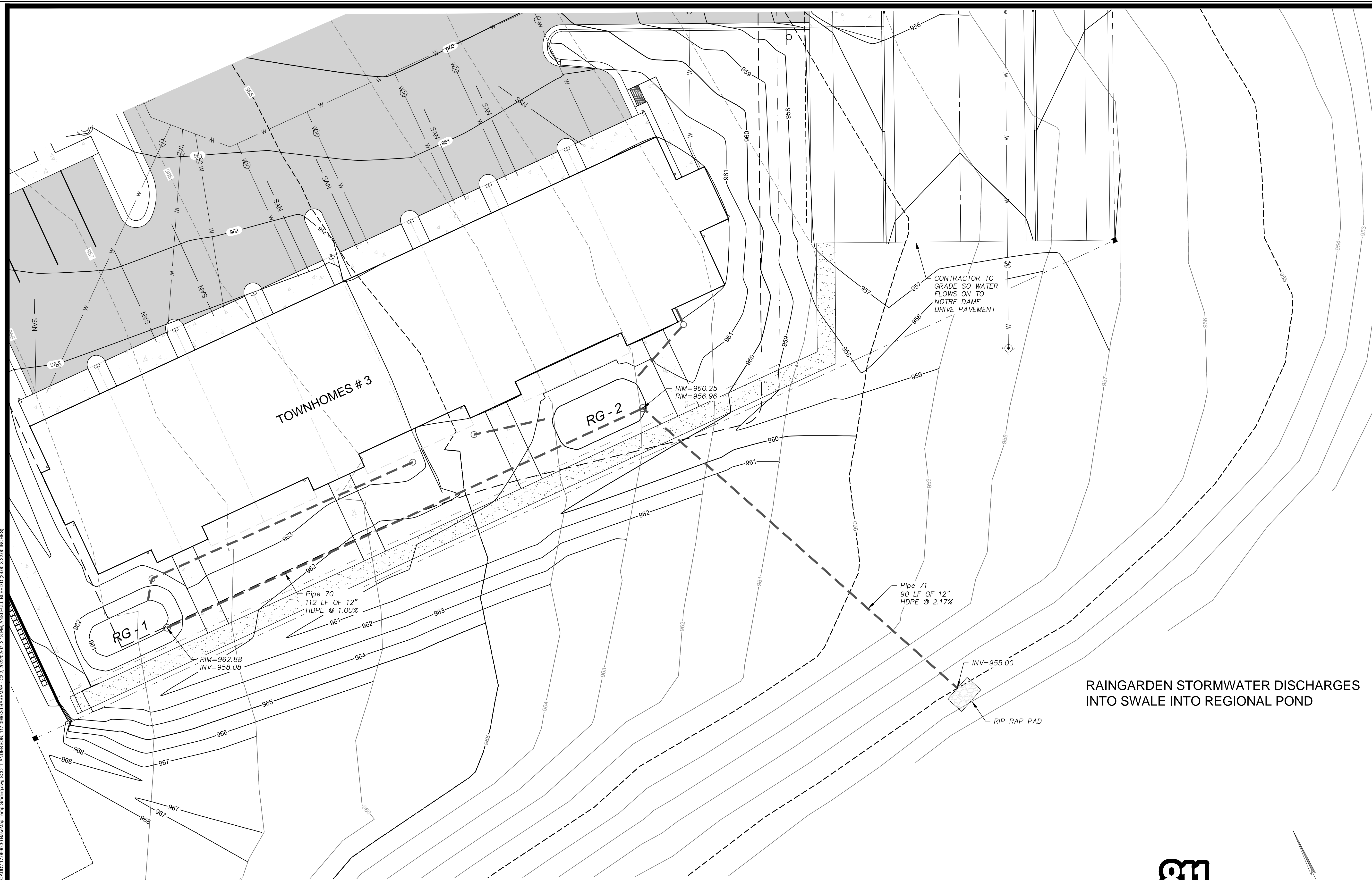
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Sheet C 1.3

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FITCHBURG TOWNHOMES
GRADING & EROSION CONTROL
SNYDER & ASSOCIATES, INC.



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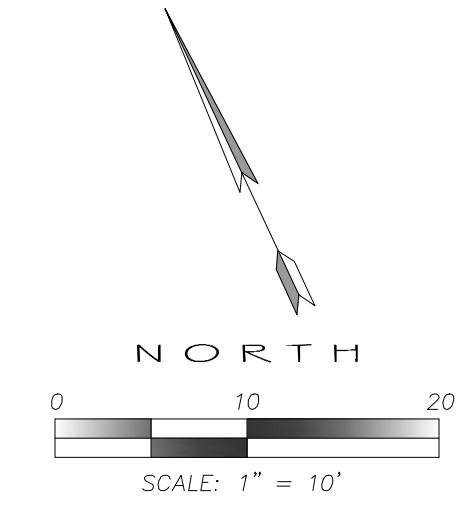


NOTE: THIS SHEET IS ONLY TO BE USED IF THE CONSTRUCTION OF QUARRY HILL DRIVE IS NOT COMPLETED

RAINGARDEN STORMWATER DISCHARGES INTO SWALE INTO REGIONAL POND



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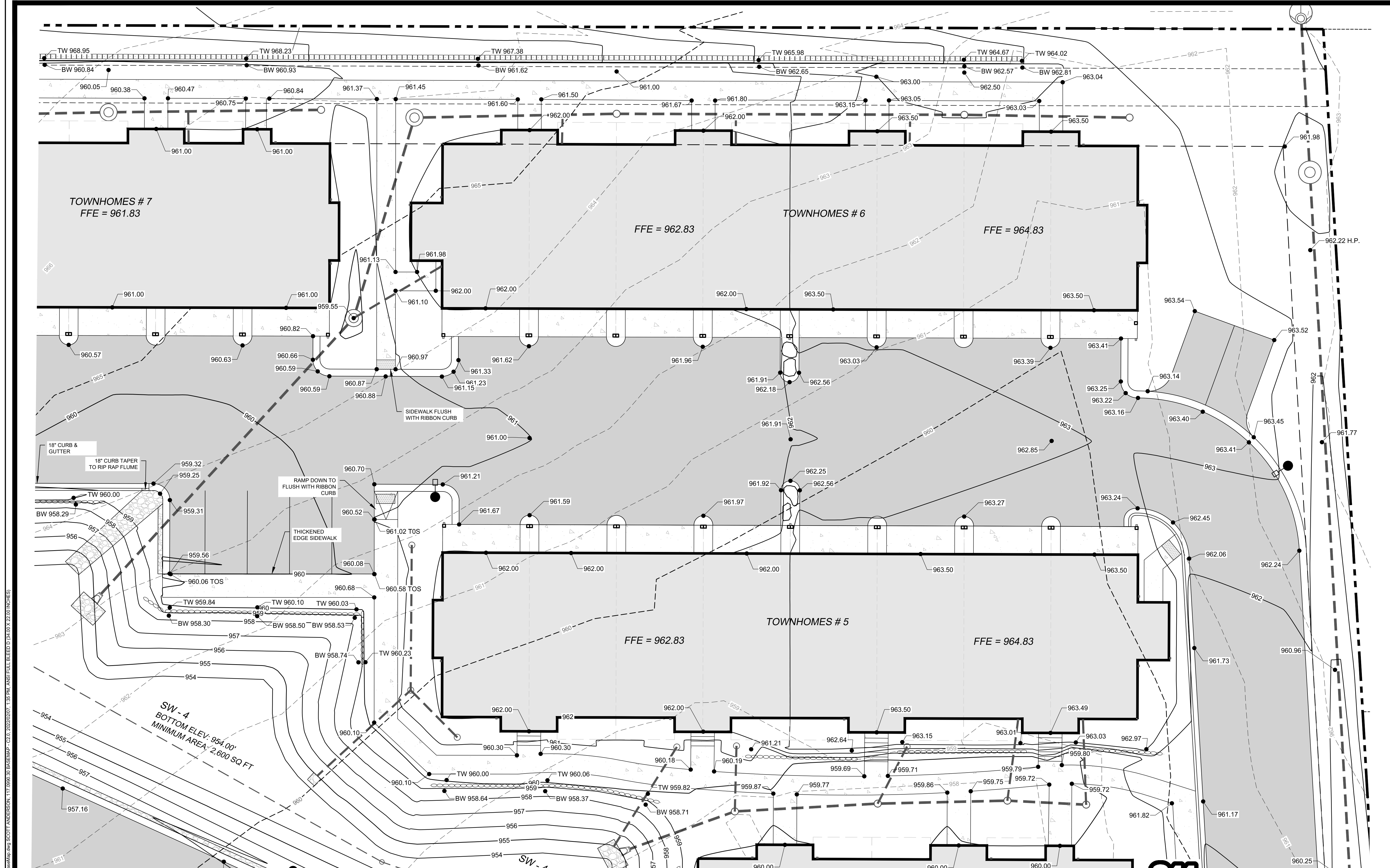
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	Technician: MW	T-R-S: T6N-R8E-S15	

FITCHBURG TOWNHOMES
TEMPORARY GRADING QUARRY HILL DRIVE
SNYDER & ASSOCIATES, INC.

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608-838-0444 | www.snyder-associates.com

Project No: 117.0990.30
Sheet C 1.4

Project No: 117.0990.30
Sheet C 1.4



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Technician: MW	Date: 2/7/2022	T-R-S: T6N-R9E-S15	


Project No: 117.0990.30

FITCHBURG TOWNHOMES

GRADING PLAN

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Project No: 117.0990.30

Sheet C 2.0


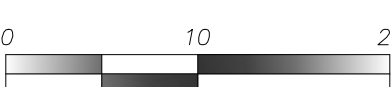
LEGEND

4" ASPHALT PAVEMENT
CONCRETE APRON & SIDEWALK
SPOT ELEVATION (TOS = TOP OF SIDEWALK)
TOP OF WALL / BOTTOM OF WALL

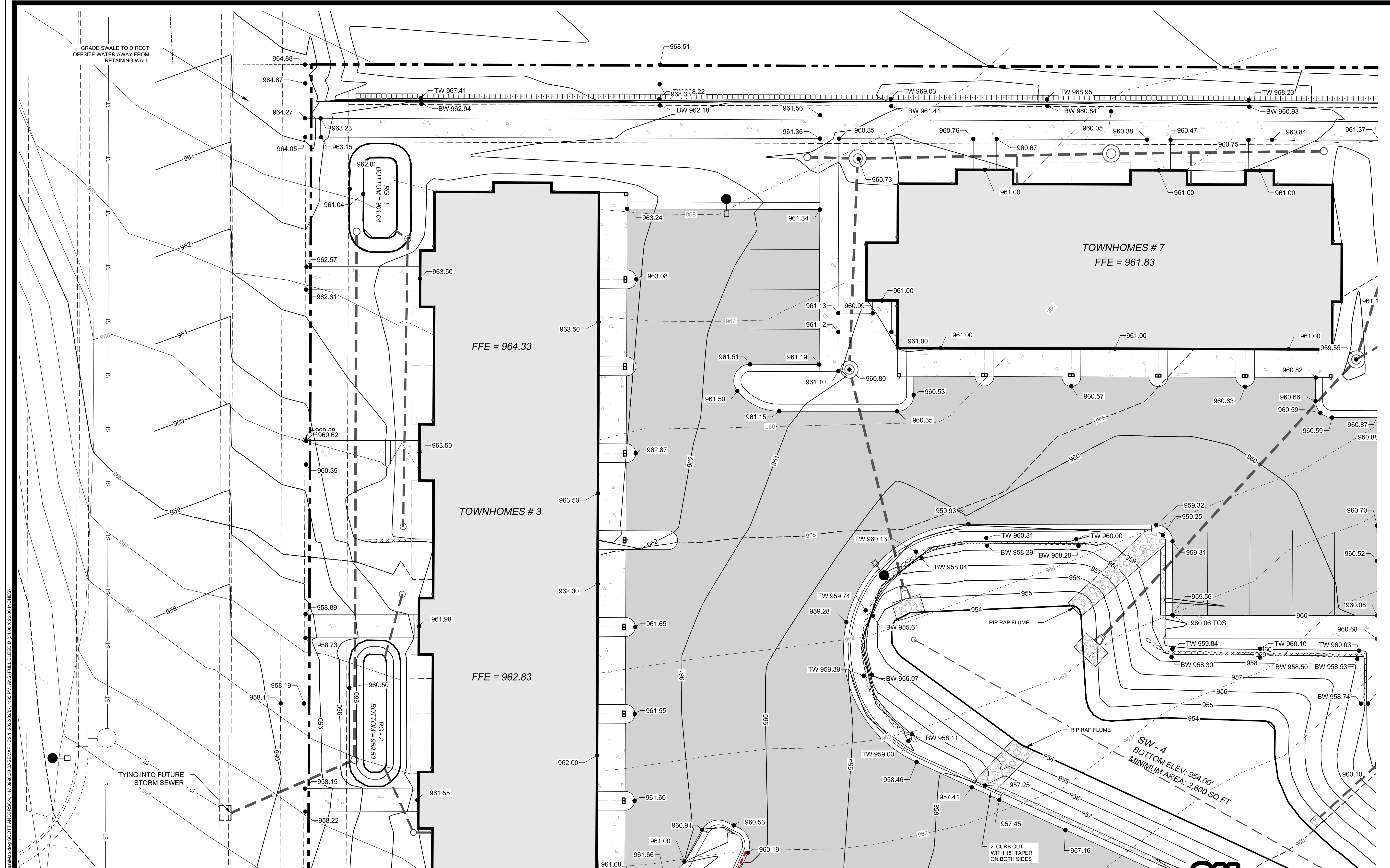


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 NOTICE BEFORE YOU EXCAVATE


 NORTH

 SCALE: 1" = 10'

Sheet C 2.0



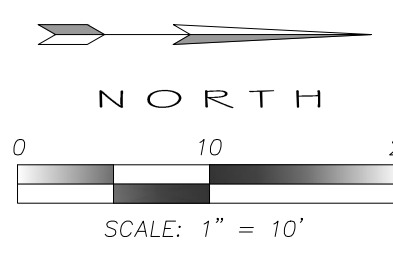
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LEGEND

4" ASPHALT PAVEMENT
CONCRETE APRON & SIDEWALK
SPOT ELEVATION (TOS = TOP OF SIDEWALK)
TOP OF WALL / BOTTOM OF WALL



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 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



MARK	REVISION	DATE	BY

Engineer: SJA Checked By: AJK Scale: 1" = 10'
 Technician: MW Date: 2/7/2022 T-R-S: T6N-R9E-S15

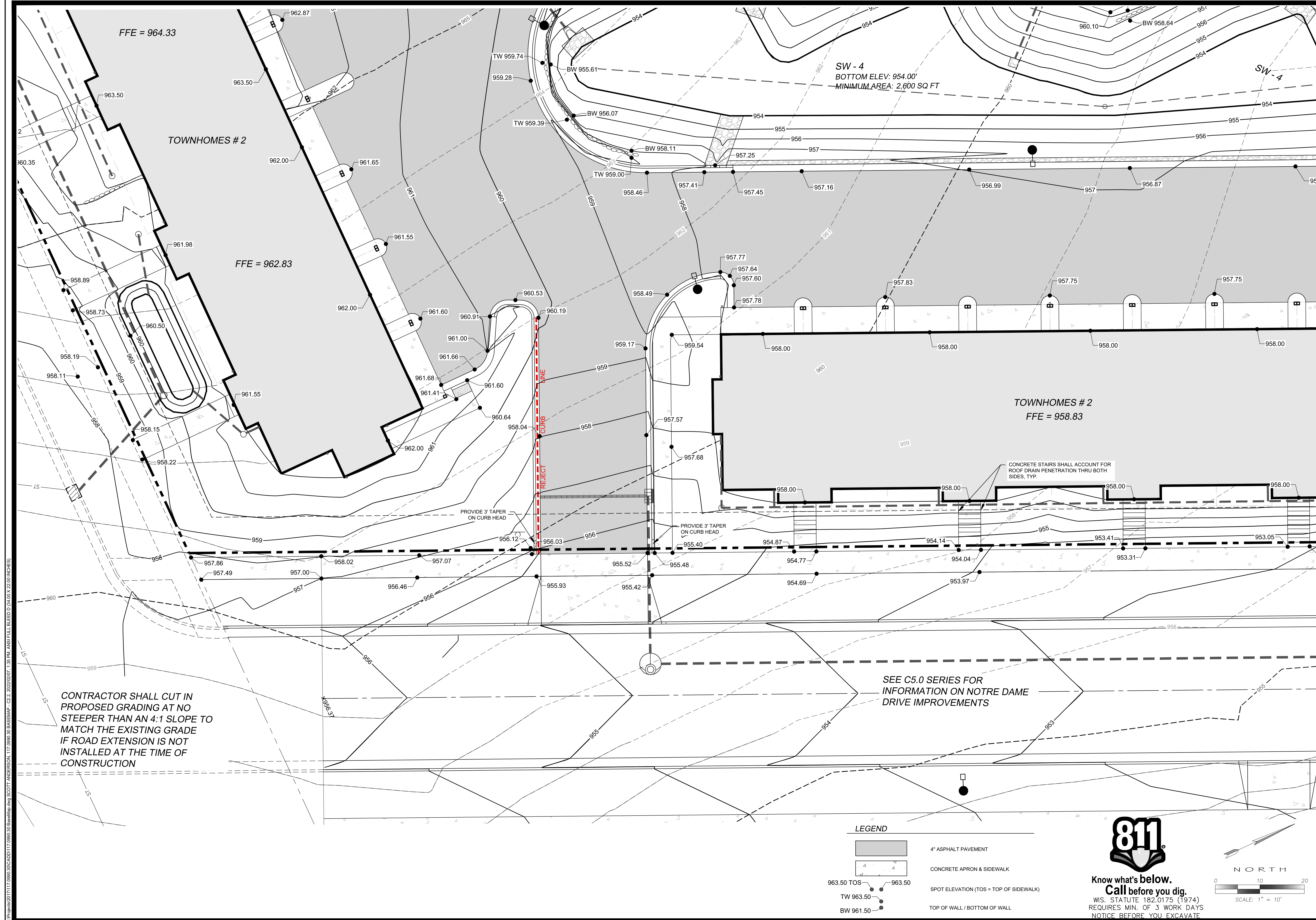
FITCHBURG TOWNHOMES
GRADING PLAN

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 Project No: 117.0990.30
 Sheet C 2.1

Project No: 117.0990.30 Sheet C 2.1



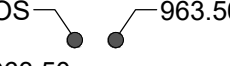



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CONTRACTOR SHALL CUT IN PROPOSED GRADING AT NO STEEPER THAN AN 4:1 SLOPE TO MATCH THE EXISTING GRADE IF ROAD EXTENSION IS NOT INSTALLED AT THE TIME OF CONSTRUCTION

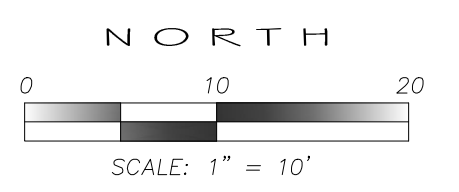
SEE C5.0 SERIES FOR INFORMATION ON NOTRE DAME DRIVE IMPROVEMENTS

LEGEND

	4" ASPHALT PAVEMENT
	CONCRETE APRON & SIDEWALK
	SPOT ELEVATION (TOS = TOP OF SIDEWALK)
	TOP OF WALL / BOTTOM OF WALL



Know what's below. Call before you dig.
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE




MARK	REVISION	DATE	BY

Engineer: SJA Checked By: AJK Scale: 1" = 10'
 Technician: MW Date: 2/7/2022 T-R-S: T6N-R6E-S15

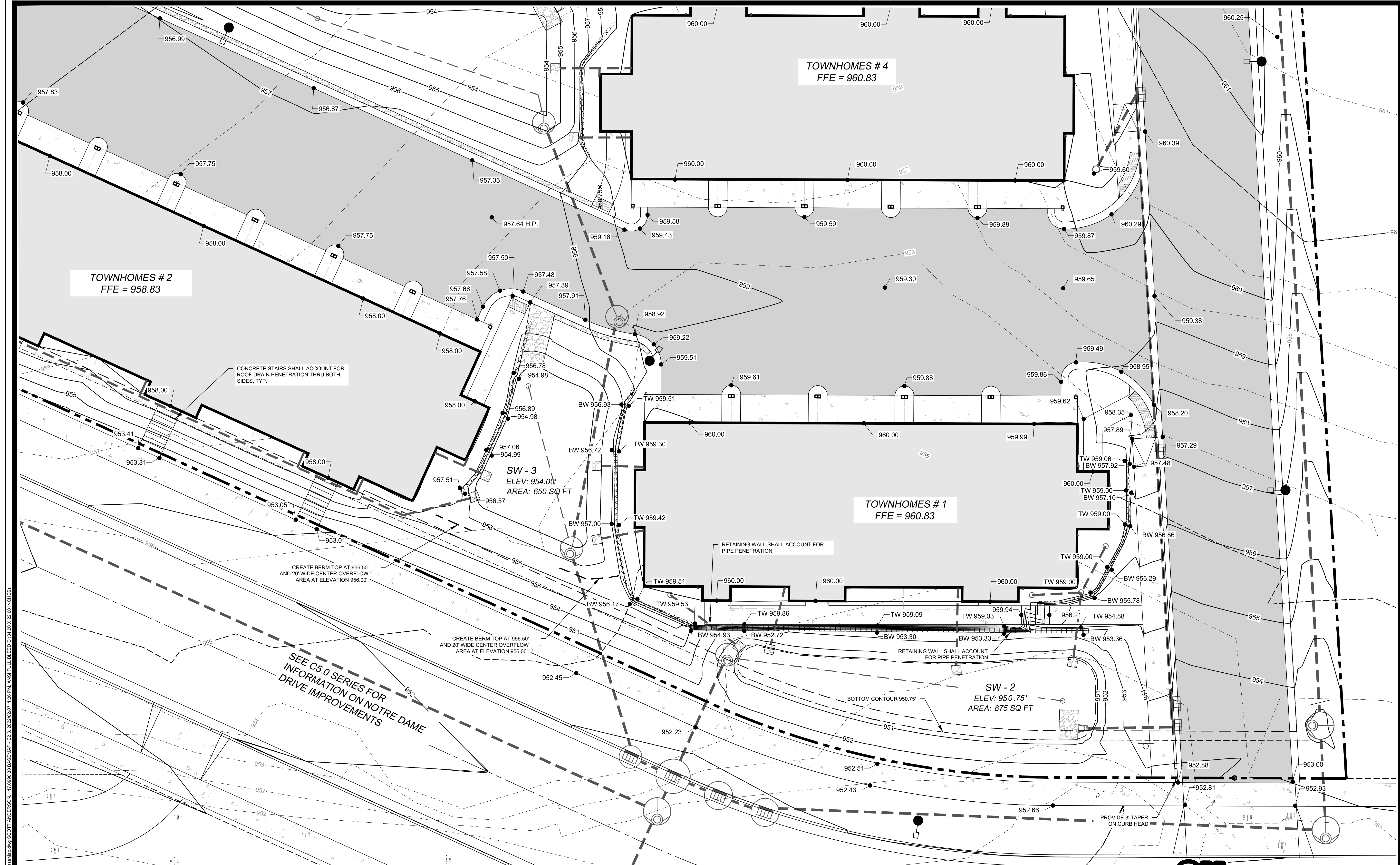
FITCHBURG TOWNHOMES
GRADING PLAN
SNYDER & ASSOCIATES, INC.

FITCHBURG, WISCONSIN
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
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Project No: 117.0990.30
Sheet C 2.2

Sheet C 2.2




V:\Projects\2017\17_0990_30\BASEMAP_C2.3_20220207_1.36 PLS ANS FULL BLEED D (34.00 X 20.00 INCHES)

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 10'	
Technician: MW	Date: 2/7/2022	T-R-S: T6N+R8E-S15	

Project No: 117_0990_30

FITCHBURG TOWNHOMES
GRADING PLAN
SNYDER & ASSOCIATES, INC.

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SNYDER & ASSOCIATES

Project No: 117.0990.30

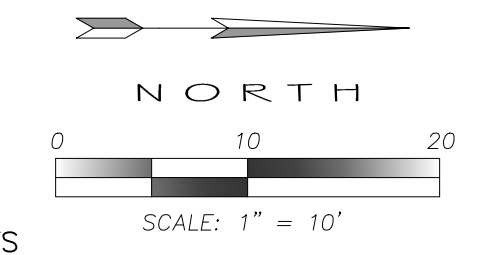
Sheet C 2.3

LEGEND

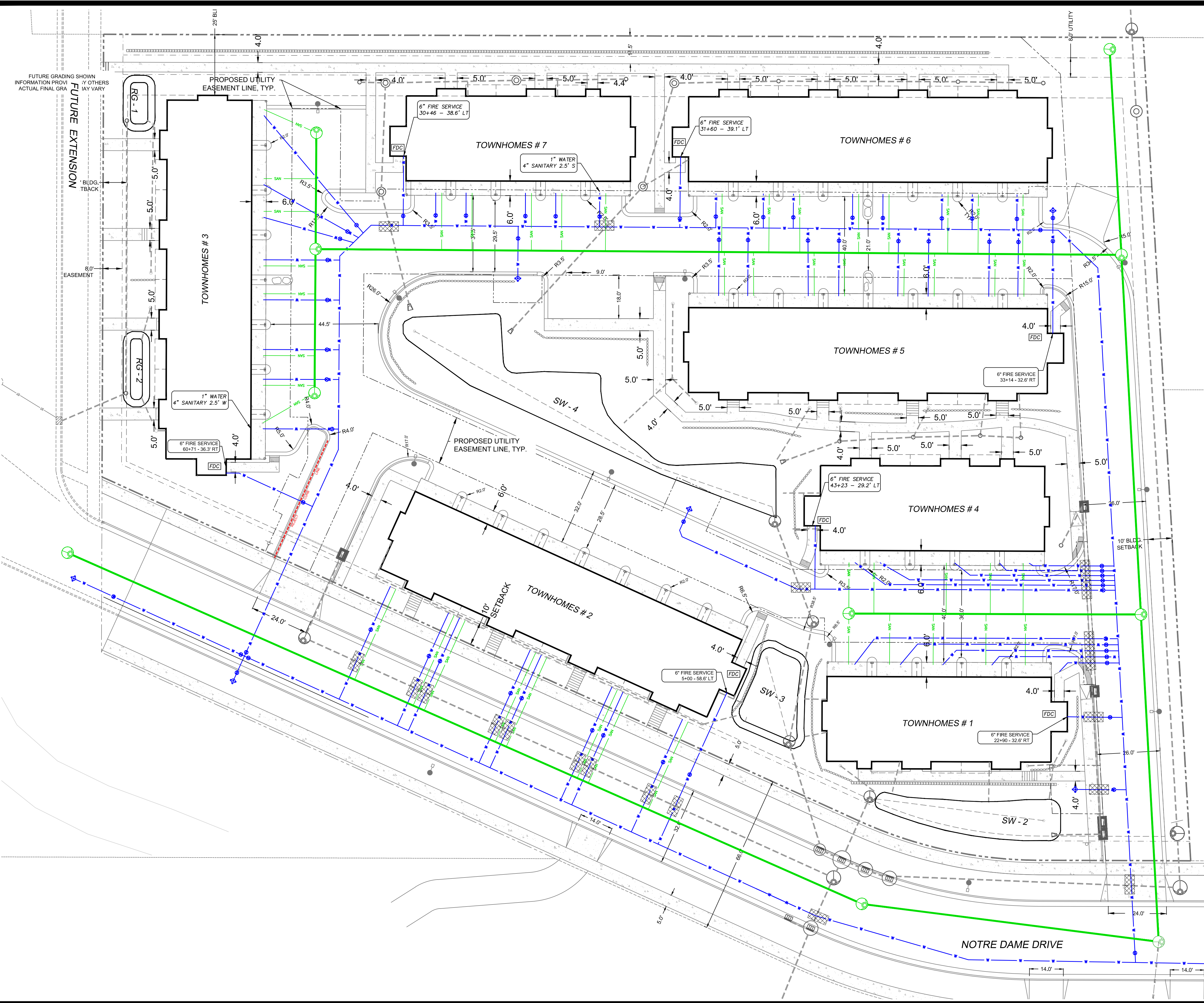
	4" ASPHALT PAVEMENT
	CONCRETE APRON & SIDEWALK
	SPOT ELEVATION (TOS = TOP OF SIDEWALK)
	663.50 TOS
	TW 963.50
	BW 961.50
	TOP OF WALL / BOTTOM OF WALL



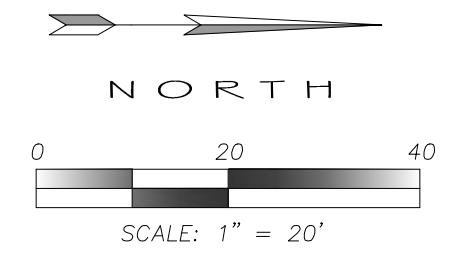
Know what's below.
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 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



P:\Projects\2017\17_090_30\CAD\DWG\17_090_30_LITL_PLAN.dwg SCOTT ANDERSON, WATER AND SANITARY LATERAL LAYOUT, 2022/02/07, 1:36 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



- NOTES**
- SEE SHEET C6.1 AND C6.2 FOR SANITARY AND WATER LATERAL NOTES & DETAILS
 - ALL SANITARY LATERALS ARE 4" SDR 26 AND SHALL BE INSTALLED AT 2% SLOPE, UNLESS OTHERWISE NOTED
 - ALL WATER LATERALS TO EACH UNIT ARE 1" COPPER. WATER LATERALS TO FIRE SERVICE CONNECTIONS ARE 6" DUCTILE IRON
 - ALL WATERMAIN, HYDRANTS, AND WATER LATERALS SHALL ABIDE BY SECTION 7 OF THE FITCHBURG STANDARD SPECIFICATIONS.
 - ALL SANITARY SEWER AND LATERALS SHALL ABIDE BY SECTION 8 OF THE FITCHBURG STANDARD SPECIFICATIONS.
 - ALL CURB STOPS FOR WATER SERVICE LATERALS SHALL BE INSTALLED INSIDE VALVE BOXES. SEE DETAIL 7/C6.2 FOR DETAILS.
 - FDC = FIRE DEPARTMENT CONNECTION
 - ALL LATERALS SHALL TERMINATE 5' AWAY FROM FACE OF FOUNDATION



**Know what's below.
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 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 40'	
Technician: MW	Date: 2/7/2022	T-R-S: T6N-R6E-S15	

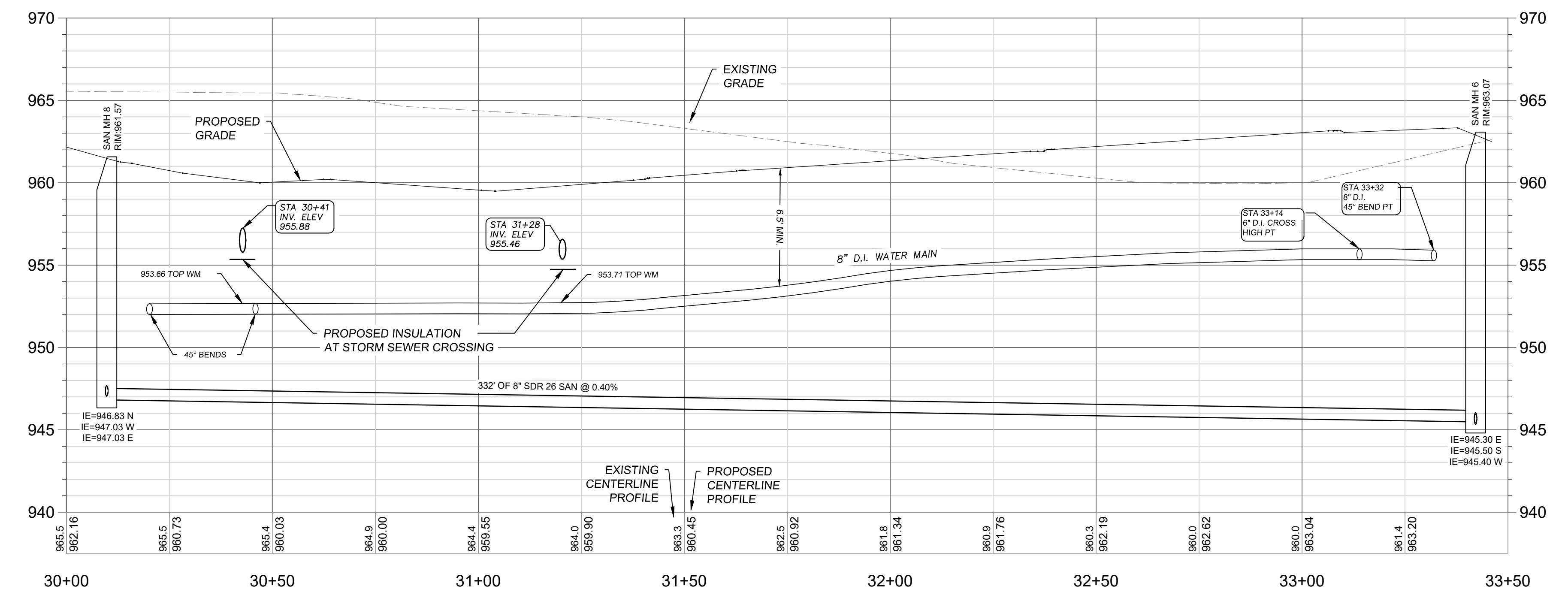
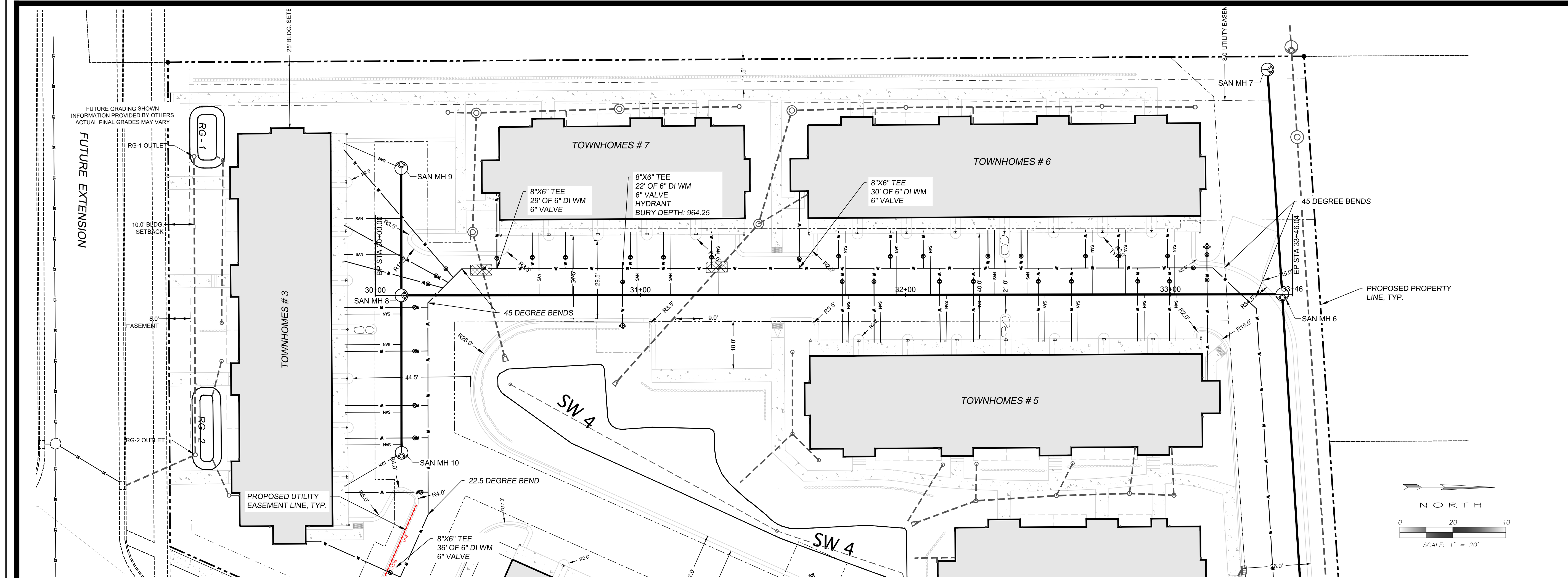
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FITCHBURG TOWNHOMES
WATER AND SANITARY LATERAL LAYOUT
SNYDER & ASSOCIATES, INC.



Project No: 117.0990.30
Sheet C 3.0

Sheet C 3.0



UTILITY NOTES
 ALL SANITARY MANHOLES SHOWN SHALL BE 48" DIAMETER PRECAST CONCRETE NEENAH R-1550 TYPE B NON-ROCKING CASTING.



Know what's below. Call before you dig.
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

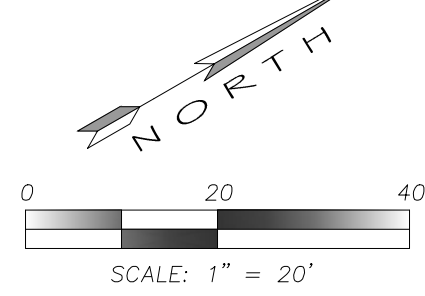
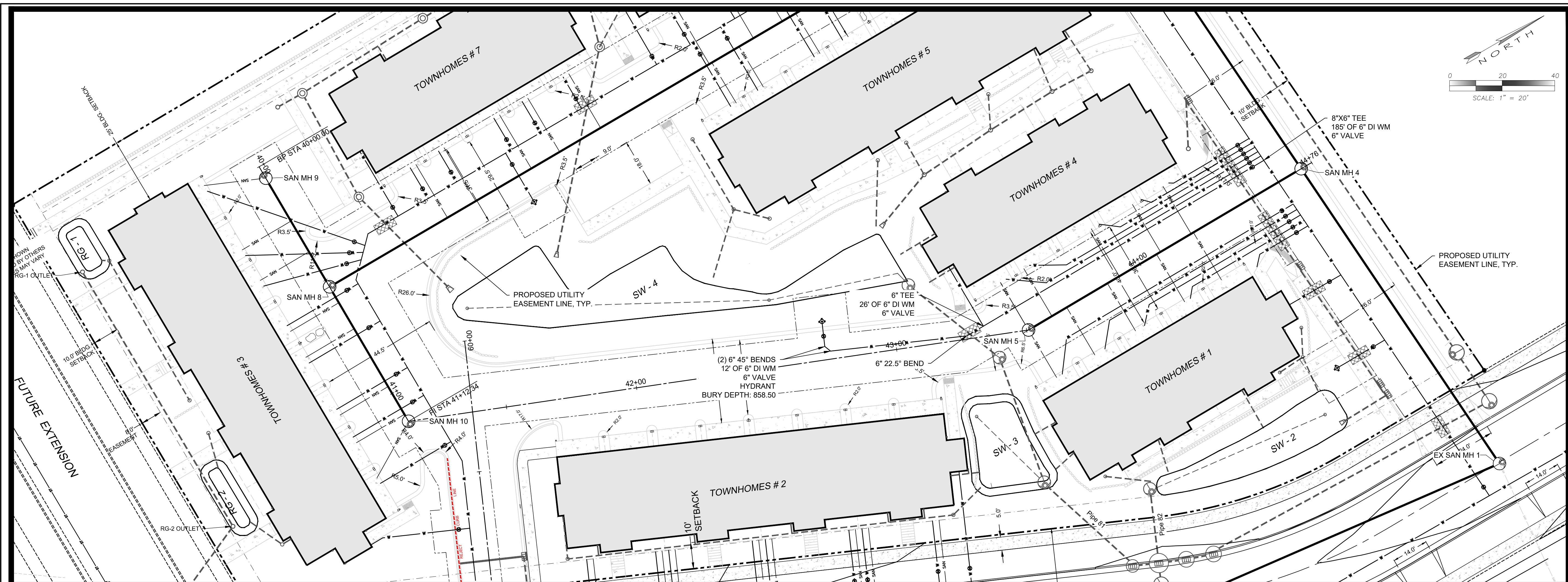
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 20'	
Technician: MW	Date: 2/7/2022	T-R-S: 16N-R9E-S15	

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SANITARY & WATER PLAN/PROFILE
SNYDER & ASSOCIATES, INC.



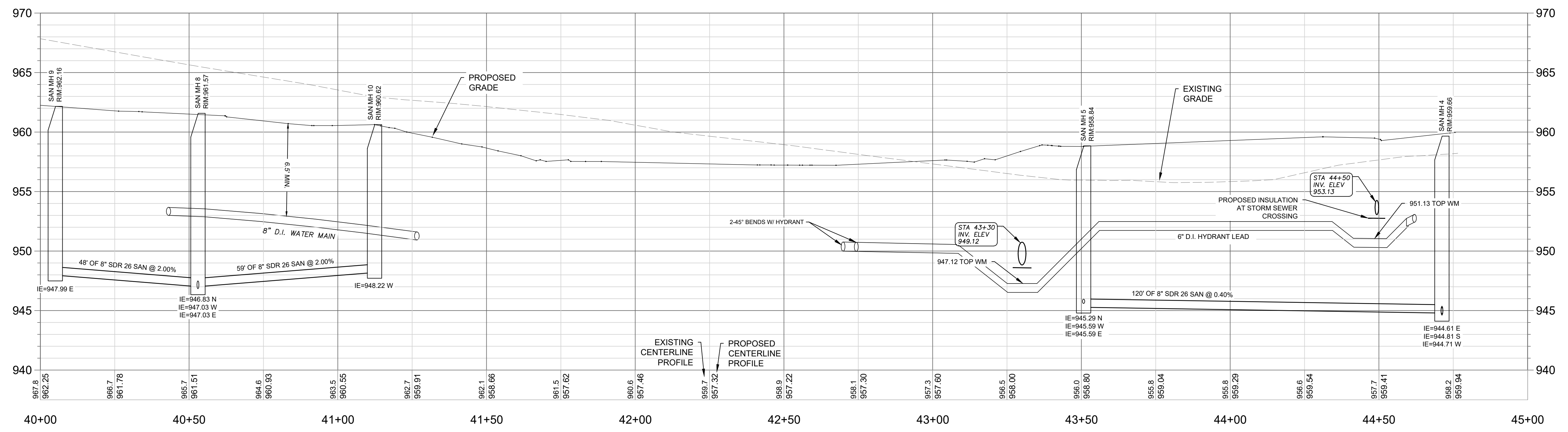
V:\Projects\2021\117.0990.30\CADD\117.0990.30_UTIL_PLAN.dwg SCOTT ANDERSON, SANITARY & WATER PLAN & PROFILE, 2022/02/07, 1:37 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 20'	
Technician: MW	Date: 2/7/2022	T-R-S: T6N-R8E-S15	

Project No: 117.0990.30
Sheet C 3.3

FITCHBURG TOWNHOMES
SANITARY & WATER PLAN/PROFILE
SNYDER & ASSOCIATES, INC.
 5010 VOEGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



UTILITY NOTES
 ALL SANITARY MANHOLES SHOWN SHALL BE 48" DIAMETER PRECAST CONCRETE WITH NEENAH R-1550 TYPE B NON-ROCKING CASTING.

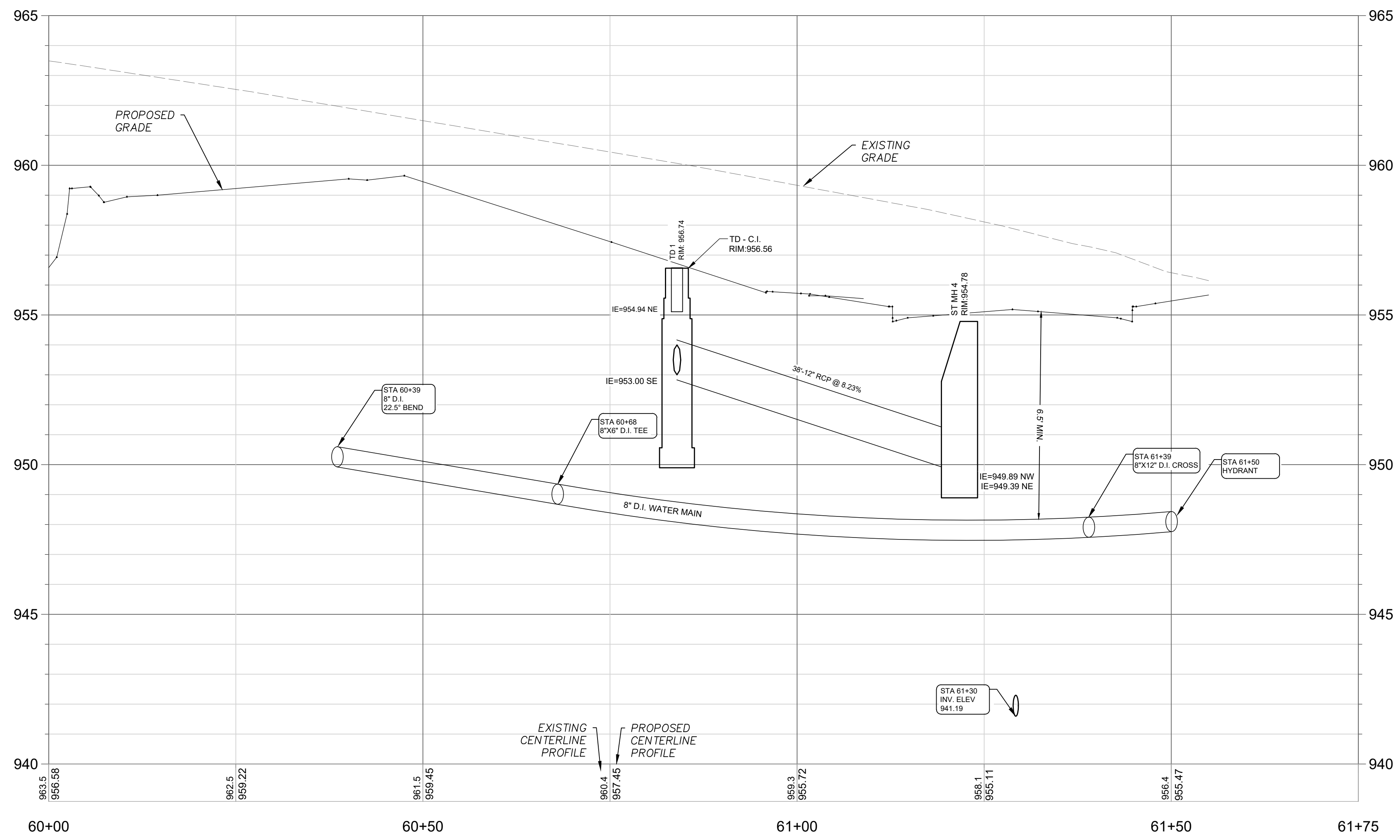
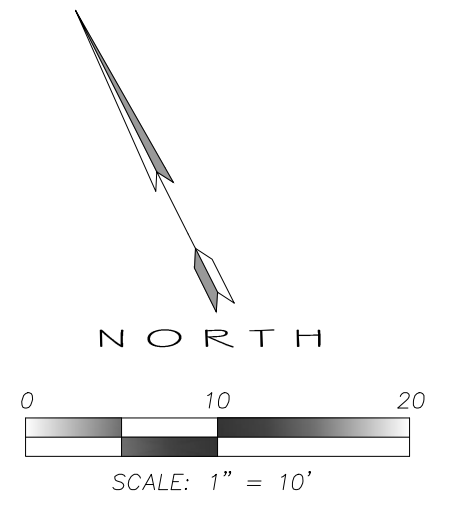
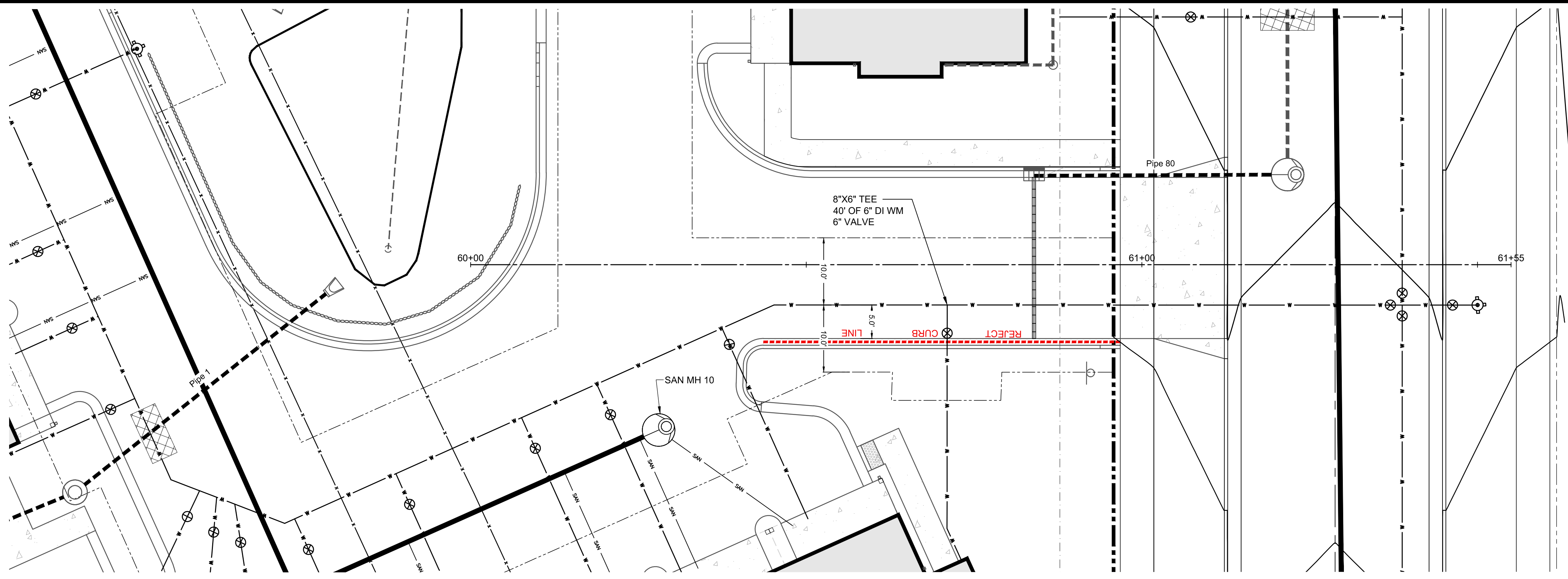


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V:\Projects\2017\117.0990.30\CAD\117.0990.30_SANITARY & WATER PLAN & PROFILE.dwg, 2/2/2022, 1:33 PM, ANS FULL BLEED (0.40 X 22.00 INCHES)

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UTILITY NOTES
 ALL SANITARY MANHOLES SHOWN SHALL BE 48" DIAMETER PRECAST CONCRETE WITH NEENAH R-1550 TYPE B NON-ROCKING CASTING.



Know what's below. Call before you dig.
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

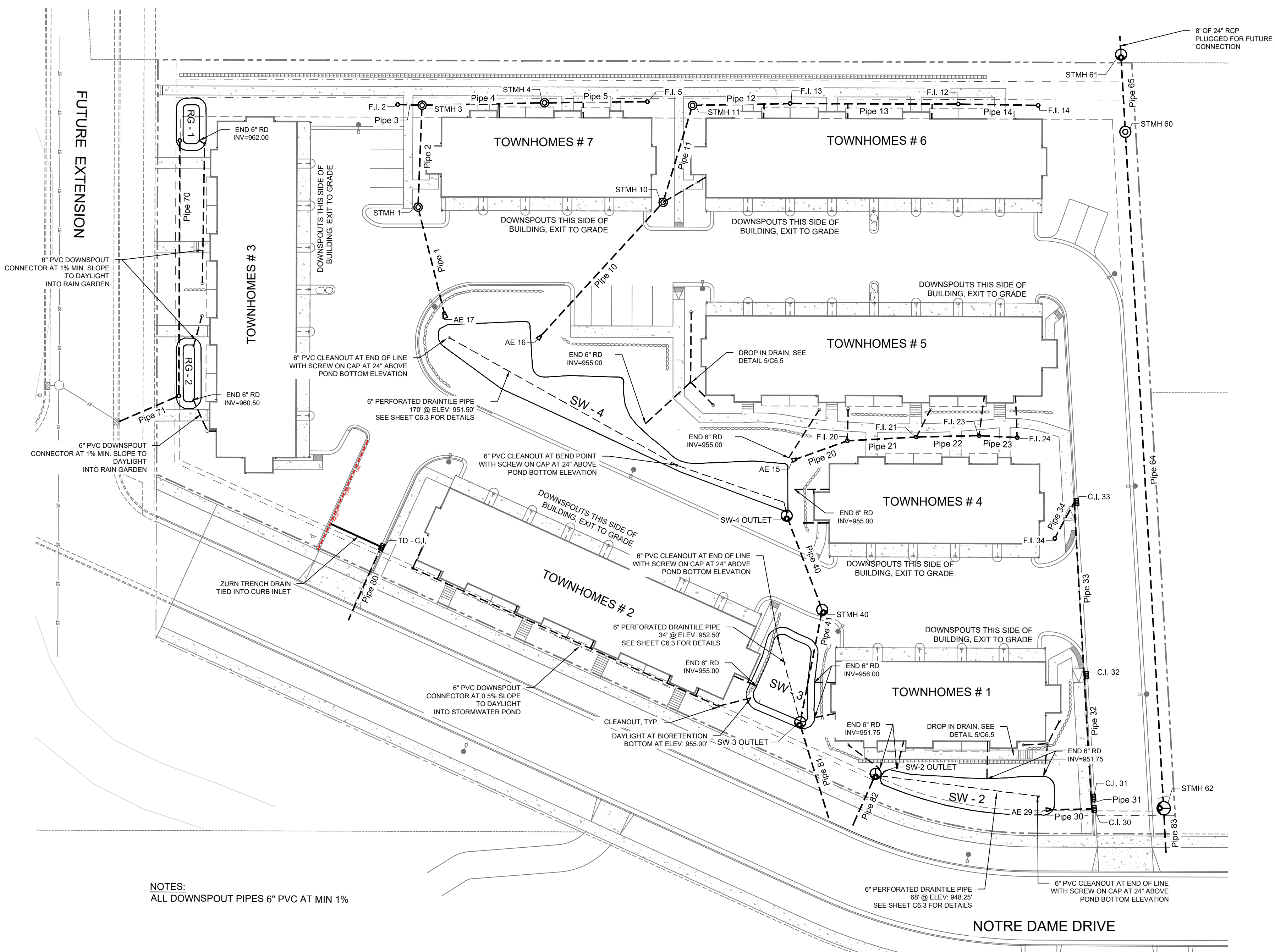
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Engineer: SJA	Checked By: AJK	Scale: 1" = 10'	
Technician: MW	Date: 2/7/2022	T-R-S: T6N-R9E-S15	

FITCHBURG, WISCONSIN
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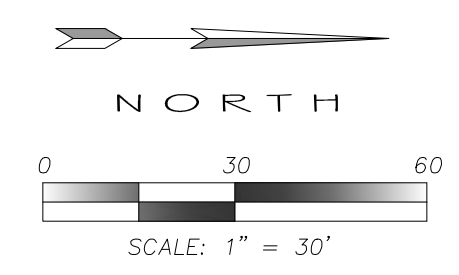
FITCHBURG TOWNHOMES
SANITARY & WATER PLAN/PROFILE
SNYDER & ASSOCIATES, INC.



V:\Projects\201717_0990_30\CADD\17_0990_30_LITTLE PLAN.dwg SCOTT ANDERSON, STORM SEWER PLAN, 20230307, 1:37 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



NOTES:
 ALL DOWNSPOUT PIPES 6" PVC AT MIN 1%



STORM STRUCTURE TABLE					
STRUCTURE NAME	RIM EL	STRUCTURE TYPE	INVERTS IN	INVERTS OUT	FRAME/GRATE
AE 15		12" APRON ENDWALL	12" N = 955.00		
AE 16		12" APRON ENDWALL	12" NW = 955.00		
AE 17		12" APRON ENDWALL	15" W = 955.50		
AE 29		12" APRON ENDWALL	12" N = 950.85		
C.I. 30	953.36	2' X 3' INLET	12" W = 950.96	12" S = 950.96	R-3067-7004-L
C.I. 31	953.62	2' X 3' INLET	12" W = 950.98	12" E = 950.98	R-3067-7004-L
C.I. 32	957.58	2' X 3' INLET	12" W = 952.20	12" E = 952.20	R-3067-7004-L
C.I. 33	961.06	2' X 3' INLET	12" SE = 954.49	12" E = 954.49	R-3067-7004-L
F.I. 2	960.86	12" ADS NYLOPLAST		12" N = 956.70	1201DI
F.I. 5	961.05	12" ADS NYLOPLAST		12" S = 957.23	1201DI
F.I. 12	962.50	12" ADS NYLOPLAST	12" N = 957.16	12" S = 949.13	1201DI
F.I. 13	961.00	12" ADS NYLOPLAST	12" N = 948.39	12" S = 957.16	1201DI
F.I. 14	963.12	12" ADS NYLOPLAST		12" S = 957.51	1201DI
F.I. 20	959.92	12" ADS NYLOPLAST	12" N = 955.80	12" S = 955.51	1201DI
F.I. 21	959.65	12" ADS NYLOPLAST	12" N = 955.00	12" S = 956.10	1201DI
F.I. 23	959.74	12" ADS NYLOPLAST	12" N = 956.10	12" S = 955.28	1201DI
F.I. 24	959.90	12" ADS NYLOPLAST		12" S = 956.27	1201DI
F.I. 34	959.60	12" ADS NYLOPLAST		12" NW = 954.67	1201DI
FUTURE INLET	950.76	2'X3' INLET			
RG-1 OUTLET	959.96	12" ADS NYLOPLAST		12" E = 958.08	1201DI
RG-2 OUTLET	960.33	12" ADS NYLOPLAST	12" W = 952.46	12" SE = 952.46	1201DI
STMH 1	960.80	36" IN-BELL INLET	12" W = 956.25	15" E = 956.25	R-1550 (SELF SEAL, NON-ROCK)
STMH 3	960.74	36" IN-BELL INLET	12" S = 956.59 12" N = 956.59	12" E = 956.59	R-1550 (SELF SEAL, NON-ROCK)
STMH 4	960.05	36" IN-BELL INLET	12" N = 957.00	12" S = 957.00	R-1550 (SELF SEAL, NON-ROCK)
STMH 10	959.55	36" IN-BELL INLET	12" W = 955.82	12" SE = 955.82	R-1550 (SELF SEAL, NON-ROCK)
STMH 11	961.66	36" IN-BELL INLET	12" N = 956.72	12" E = 956.28	R-1550 (SELF SEAL, NON-ROCK)
STMH 40	952.43	48" CONC MH	18" W = 948.92	18" E = 948.92	R-1550 (SELF SEAL, NON-ROCK)
STMH 60	961.00	SLABTOP 27" IN OPENING	24" W = 957.66	24" E = 957.66	HAALA 27" SEE DETAIL 1/6.2
STMH 61	962.93	48" CONC MH	24" W = 958.68	24" E = 958.68	R-2502 (SELF SEAL, NON-ROCK)
STMH 62	952.91	60" CONC MH WINLET	24" W = 948.66	30" E = 948.16	R-2502 (SELF SEAL, NON-ROCK)
SW-2 Outlet	951.00	36" CONC MH			SEE DETAIL
SW-3 Outlet	955.75	48" CONC MH	18" W = 948.42		SEE DETAIL
SW-4 Outlet	956.00	36" CONC MH		18" E = 949.36	SEE DETAIL
TD - C.I.	956.56	2' X 3' INLET		12" SE = 953.00	R-3067-7004-L

STORM PIPE TABLE						
PIPE NAME	SIZE (IN.)	LENGTH (FT)	START INV	END INV	SLOPE	PIPE MATERIAL
Pipe 1	15	50	956.25	955.50	1.50%	HDPE
Pipe 2	12	45	956.59	956.25	0.75%	HDPE
Pipe 3	12	11	956.70	956.59	1.00%	HDPE
Pipe 4	12	54	957.00	956.59	0.76%	HDPE
Pipe 5	12	45	957.23	957.00	0.51%	HDPE
Pipe 10	12	82	955.82	955.00	1.00%	HDPE
Pipe 11	12	45	956.28	955.82	1.02%	HDPE
Pipe 12	12	43	957.16	956.72	1.02%	HDPE
Pipe 13	12	74	949.13	948.39	1.00%	HDPE
Pipe 14	12	35	957.51	957.16	1.01%	HDPE
Pipe 20	12	26	955.51	955.00	2.00%	HDPE
Pipe 21	12	30	956.10	955.80	1.00%	HDPE
Pipe 22	12	28	955.28	955.00	1.00%	HDPE
Pipe 23	12	17	956.27	956.10	1.00%	HDPE
Pipe 30	12	20	950.96	950.85	0.54%	HDPE
Pipe 31	12	5	950.98	950.96	0.50%	HDPE
Pipe 32	12	54	952.20	950.98	2.28%	HDPE
Pipe 33	12	76	954.49	952.20	3.00%	HDPE
Pipe 34	12	18	954.67	954.49	1.00%	HDPE
Pipe 40	18	44	949.36	948.92	1.00%	RCP
Pipe 41	18	50	948.92	948.42	1.00%	RCP
Pipe 64	24	298	957.66	948.66	3.02%	RCP
Pipe 65	24	34	958.68	957.66	3.00%	RCP
Pipe 66	24	8	958.92	958.68	3.00%	RCP
Pipe 70	12	112	958.08	952.46	5.00%	HDPE
Pipe 71	12	29	952.46	949.59	10.00%	HDPE
Pipe 80	12	38	953.00	949.89	8.23%	RCP
Pipe 81	18	43	947.81	947.53	0.65%	RCP
Pipe 82	15	23	947.24	947.04	0.87%	RCP
Pipe 83	30	22	948.16	947.83	1.46%	RCP



**Know what's below.
 Call before you dig.**
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

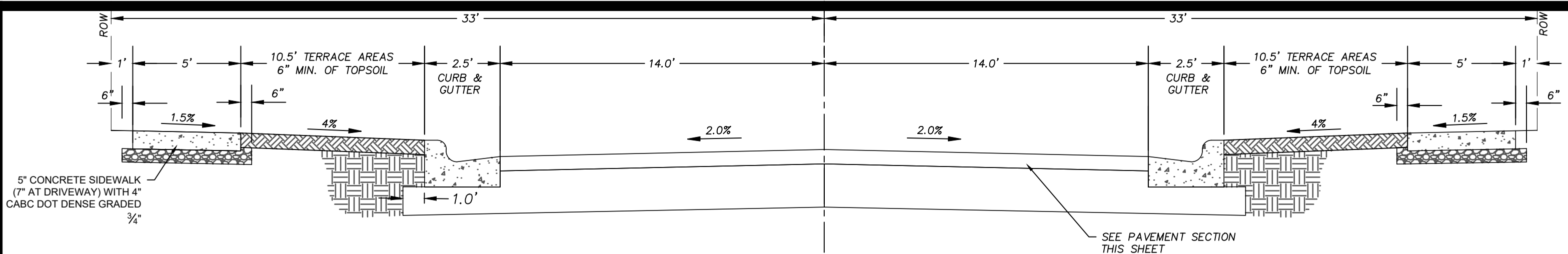
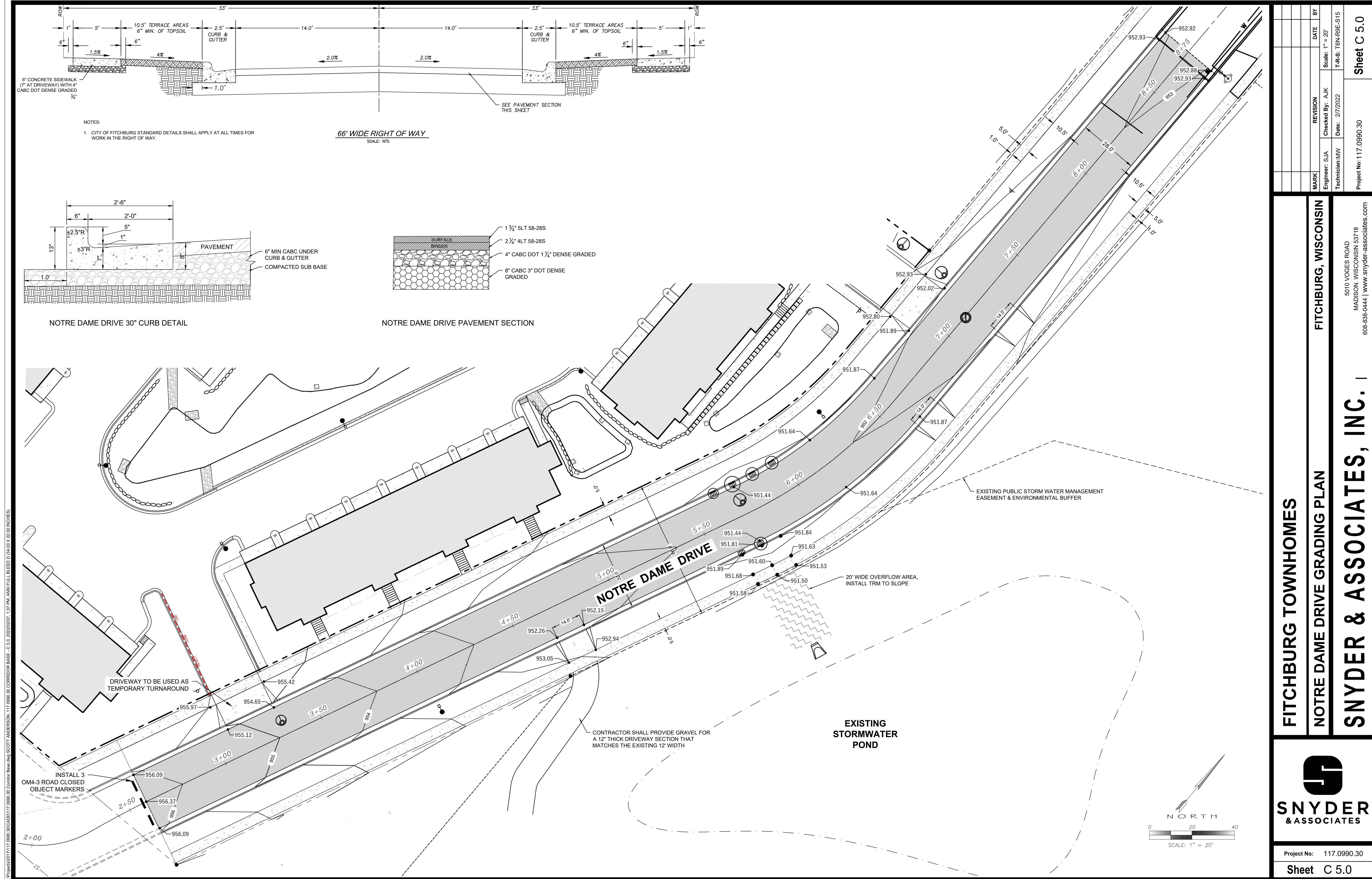
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	Checked By: AJK	Scale: 1" = 30'	
	Engineer: SJA	Date: 2/7/2022	
	Technician: MW	T-R-S: T6N-R8E-S15	

FITCHBURG, WISCONSIN
 PRIVATE STORM SEWER PLAN
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 MADISON, WISCONSIN 53718
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SNYDER & ASSOCIATES, INC.
 Sheet C 4.0

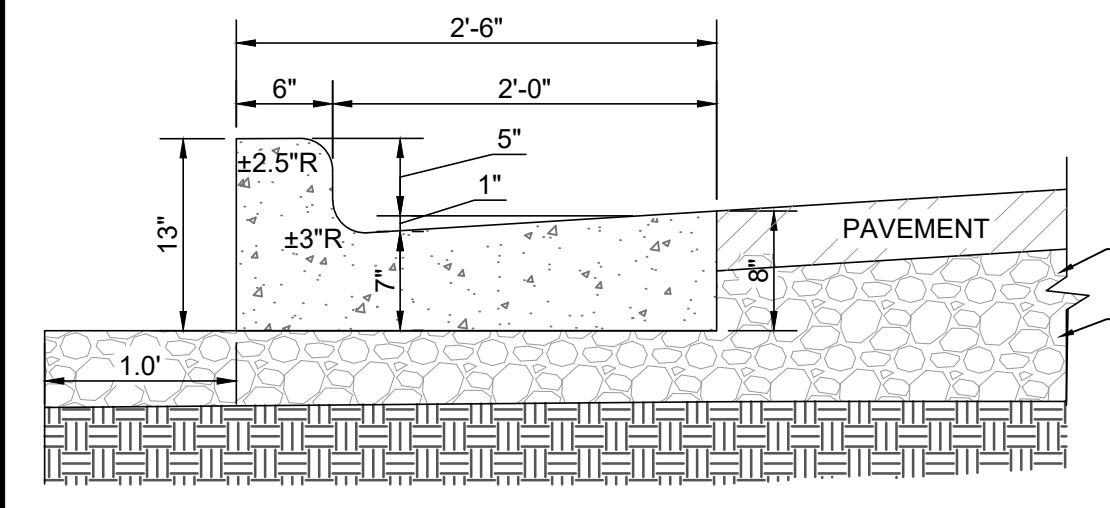


Project No: 117.0990.30
 Sheet C 4.0

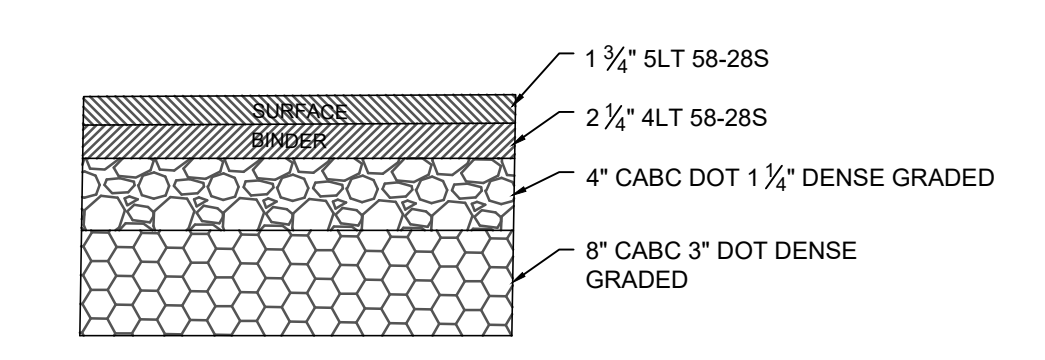


NOTES:
 1. CITY OF FITCHBURG STANDARD DETAILS SHALL APPLY AT ALL TIMES FOR WORK IN THE RIGHT OF WAY.

66' WIDE RIGHT OF WAY
 SCALE: NTS



NOTRE DAME DRIVE 30" CURB DETAIL



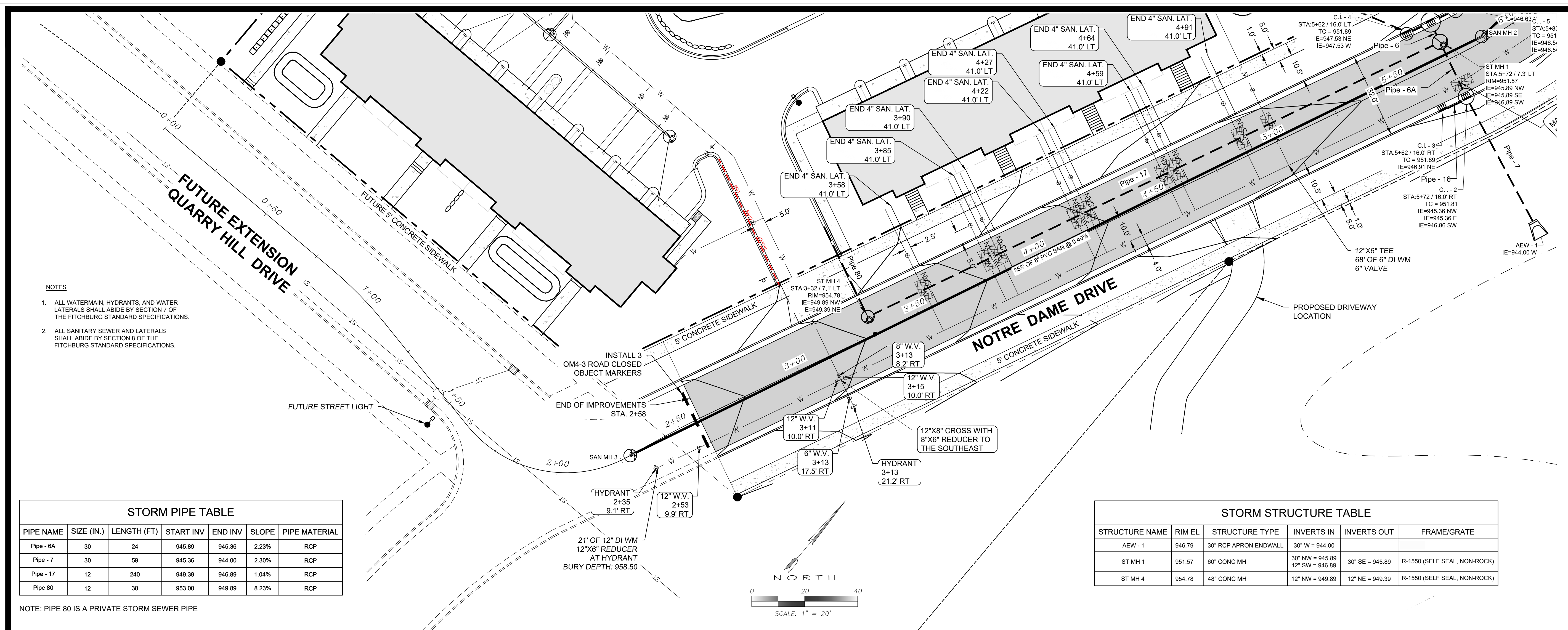
NOTRE DAME DRIVE PAVEMENT SECTION

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MARK	REVISION	DATE	BY
	Checked By: AJK	Scale: 1" = 20'	
	Engineer: SJA	Date: 2/7/2022	
	Technician: MW	T-R-S: 16N-R8E-S15	

FITCHBURG TOWNHOMES
NOTRE DAME DRIVE GRADING PLAN
SNYDER & ASSOCIATES, INC.
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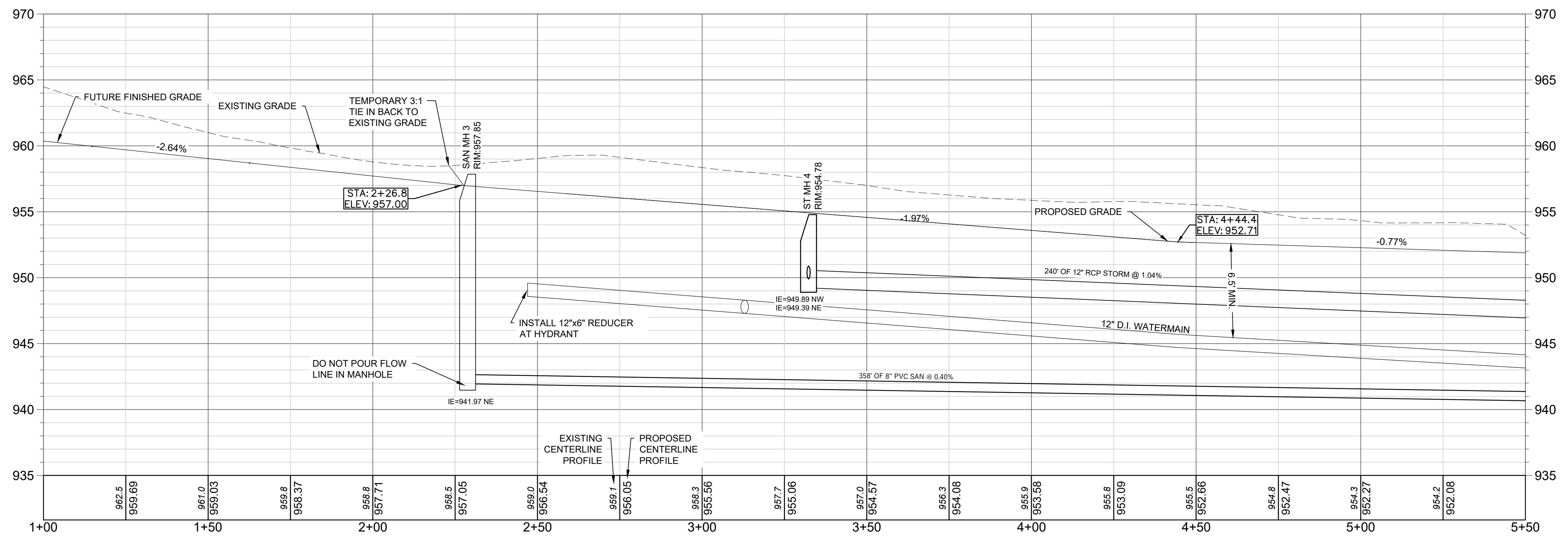
SNYDER & ASSOCIATES
 Project No: 117.0990.30
 Sheet C 5.0



PIPE NAME	SIZE (IN.)	LENGTH (FT)	START INV	END INV	SLOPE	PIPE MATERIAL
Pipe - 6A	30	24	945.89	945.36	2.23%	RCP
Pipe - 7	30	59	945.36	944.00	2.30%	RCP
Pipe - 17	12	240	949.39	946.89	1.04%	RCP
Pipe 80	12	38	953.00	949.89	8.23%	RCP

STRUCTURE NAME	RIM EL	STRUCTURE TYPE	INVERTS IN	INVERTS OUT	FRAME/GRATE
AEW - 1	946.79	30" RCP APRON ENDWALL	30" W = 944.00		
ST MH 1	951.57	60" CONC MH	30" NW = 945.89 12" SW = 946.89	30" SE = 945.89	R-1550 (SELF SEAL, NON-ROCK)
ST MH 4	954.78	48" CONC MH	12" NW = 949.89	12" NE = 949.39	R-1550 (SELF SEAL, NON-ROCK)

NOTE: PIPE 80 IS A PRIVATE STORM SEWER PIPE

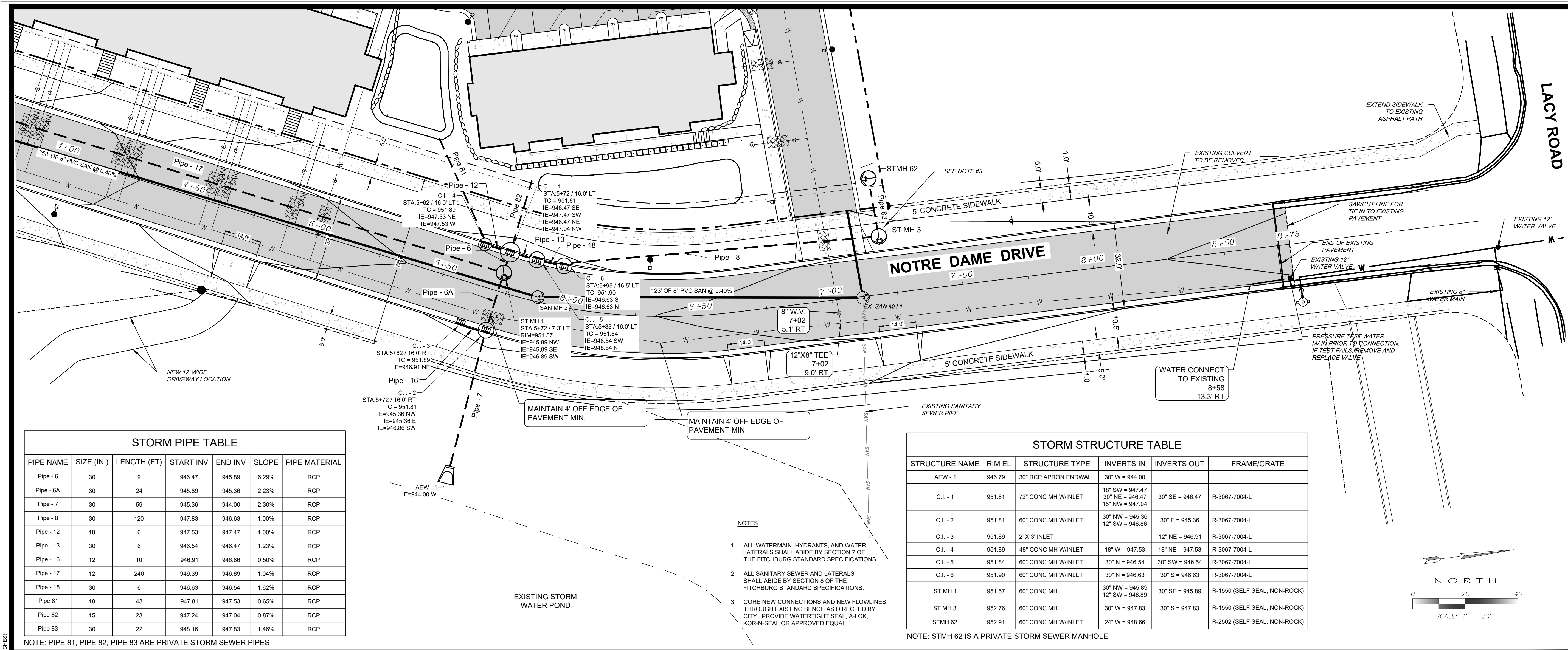


FITCHBURG TOWNHOMES
NOTRE DAME DRIVE PLAN / PROFILE
SNYDER & ASSOCIATES, INC.

Project No: 117.0990.30
 Sheet C 5.1

5010 VOGES ROAD
 MADISON, WISCONSIN 53718
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MARK: [] REVISION: [] BY: [] DATE: []
 Engineer: SJA Checked By: AJK Scale: 1" = 20'
 Technician: MW Date: 2/7/2022 T-R-S: T6N-R9E-S15



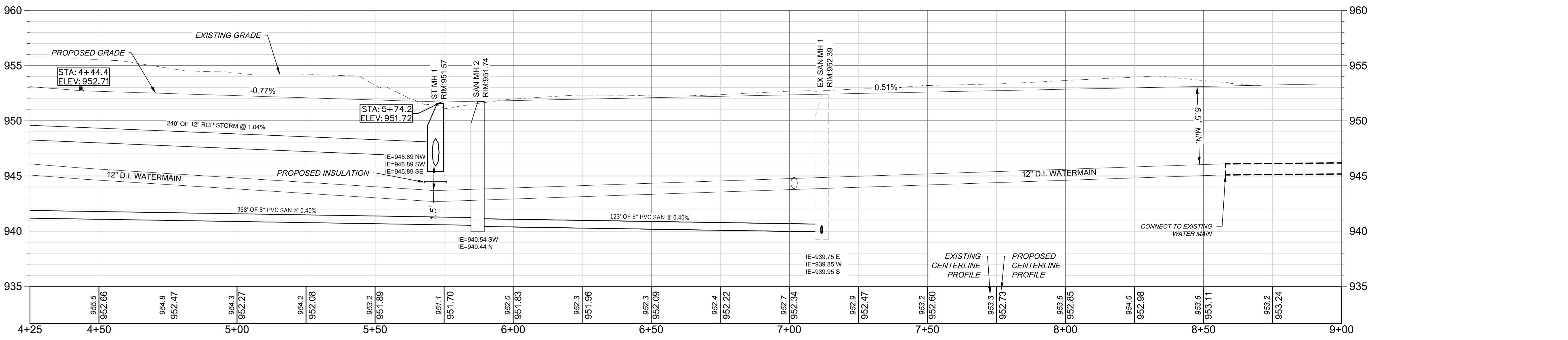
STORM PIPE TABLE						
PIPE NAME	SIZE (IN.)	LENGTH (FT)	START INV	END INV	SLOPE	PIPE MATERIAL
Pipe - 6	30	9	946.47	945.89	6.29%	RCP
Pipe - 6A	30	24	945.89	945.36	2.23%	RCP
Pipe - 7	30	59	945.36	944.00	2.30%	RCP
Pipe - 8	30	120	947.83	946.63	1.00%	RCP
Pipe - 12	18	6	947.53	947.47	1.00%	RCP
Pipe - 13	30	6	946.54	946.47	1.23%	RCP
Pipe - 16	12	10	946.91	946.86	0.50%	RCP
Pipe - 17	12	240	949.39	946.89	1.04%	RCP
Pipe - 18	30	6	946.63	946.54	1.62%	RCP
Pipe 81	18	43	947.81	947.53	0.65%	RCP
Pipe 82	15	23	947.24	947.04	0.87%	RCP
Pipe 83	30	22	948.16	947.83	1.46%	RCP

STORM STRUCTURE TABLE					
STRUCTURE NAME	RIM EL	STRUCTURE TYPE	INVERTS IN	INVERTS OUT	FRAME/GRATE
AEW - 1	946.79	30" RCP APRON ENDWALL	30" W = 944.00		
C.I. - 1	951.81	72" CONC MH WINLET	18" SW = 947.47 30" NE = 946.47 15" NW = 947.04	30" SE = 946.47	R-3067-7004-L
C.I. - 2	951.81	60" CONC MH WINLET	30" NW = 945.36 12" SW = 946.86	30" E = 945.36	R-3067-7004-L
C.I. - 3	951.89	2' X 3' INLET		12" NE = 946.91	R-3067-7004-L
C.I. - 4	951.89	48" CONC MH WINLET	18" W = 947.53	18" NE = 947.53	R-3067-7004-L
C.I. - 5	951.84	60" CONC MH WINLET	30" N = 946.54	30" SW = 946.54	R-3067-7004-L
C.I. - 6	951.90	60" CONC MH WINLET	30" N = 946.63	30" S = 946.63	R-3067-7004-L
ST MH 1	951.57	60" CONC MH	30" NW = 945.89 12" SW = 946.89	30" SE = 945.89	R-1550 (SELF SEAL, NON-ROCK)
ST MH 3	952.76	60" CONC MH	30" W = 947.83	30" S = 947.83	R-1550 (SELF SEAL, NON-ROCK)
STMH 62	952.91	60" CONC MH WINLET	24" W = 948.66		R-2502 (SELF SEAL, NON-ROCK)

- NOTES
- ALL WATERMAIN, HYDRANTS, AND WATER LATERALS SHALL ABIDE BY SECTION 7 OF THE FITCHBURG STANDARD SPECIFICATIONS.
 - ALL SANITARY SEWER AND LATERALS SHALL ABIDE BY SECTION 8 OF THE FITCHBURG STANDARD SPECIFICATIONS.
 - CORE NEW CONNECTIONS AND NEW FLOWLINES THROUGH EXISTING BENCH AS DIRECTED BY CITY. PROVIDE WATERTIGHT SEAL, A-LOK, KOR-N SEAL OR APPROVED EQUAL.

NOTE: PIPE 81, PIPE 82, PIPE 83 ARE PRIVATE STORM SEWER PIPES

NOTE: STMH 62 IS A PRIVATE STORM SEWER MANHOLE



MARK	REVISION	DATE	BY
	Checked By: AJK	Scale: 1" = 20'	
	Engineer: SJA	Date: 2/7/2022	
	Technician: MW	T-R-S: 16N-R8E-S15	

FITCHBURG, WISCONSIN

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MADISON, WISCONSIN 53718
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FITCHBURG TOWNHOMES

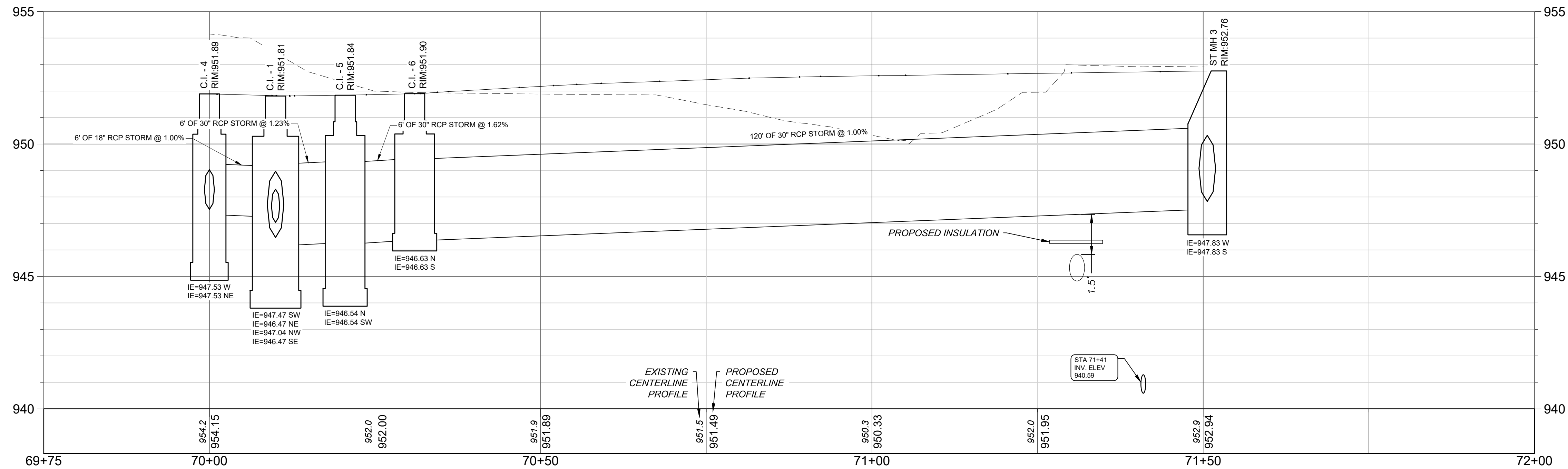
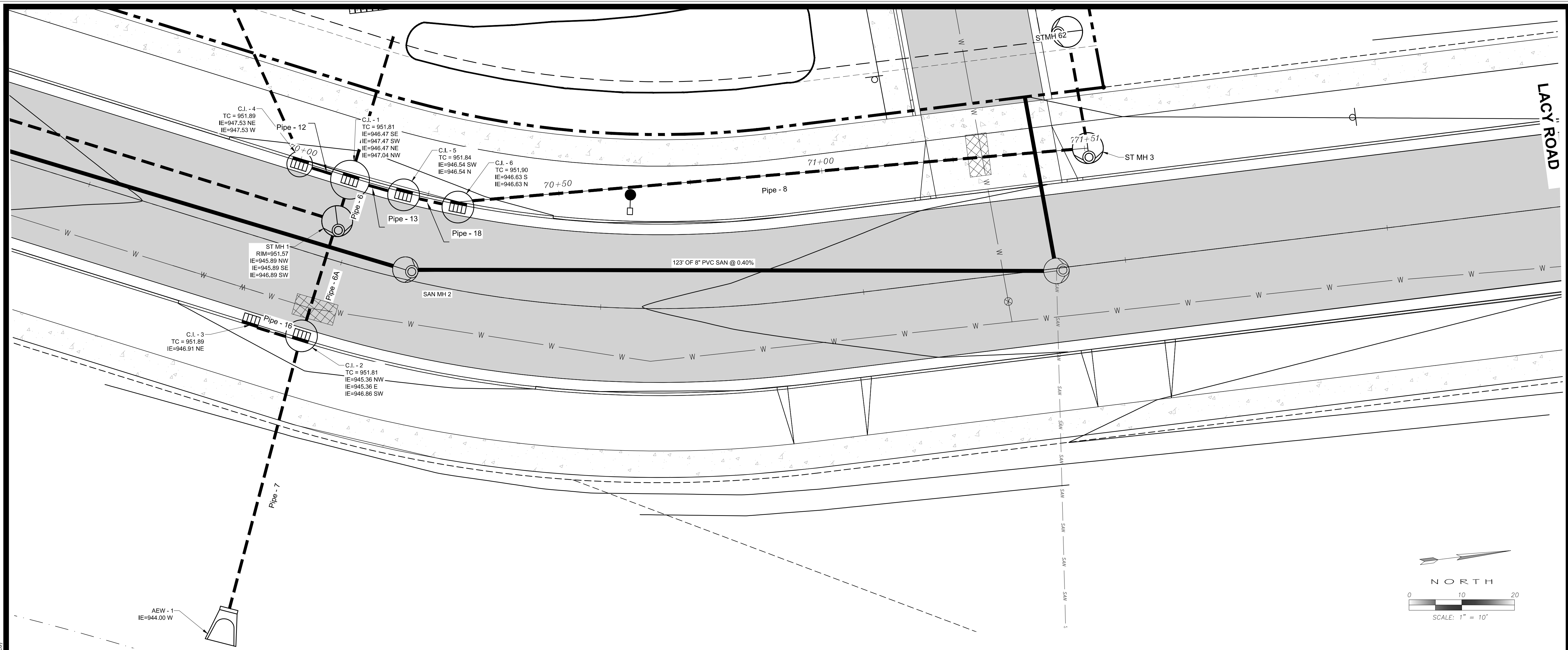
NOTRE DAME DRIVE PLAN / PROFILE

SNYDER & ASSOCIATES, INC.



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FITCHBURG TOWNHOMES

STORM SEWER PLAN / PROFILE

SNYDER & ASSOCIATES, INC.



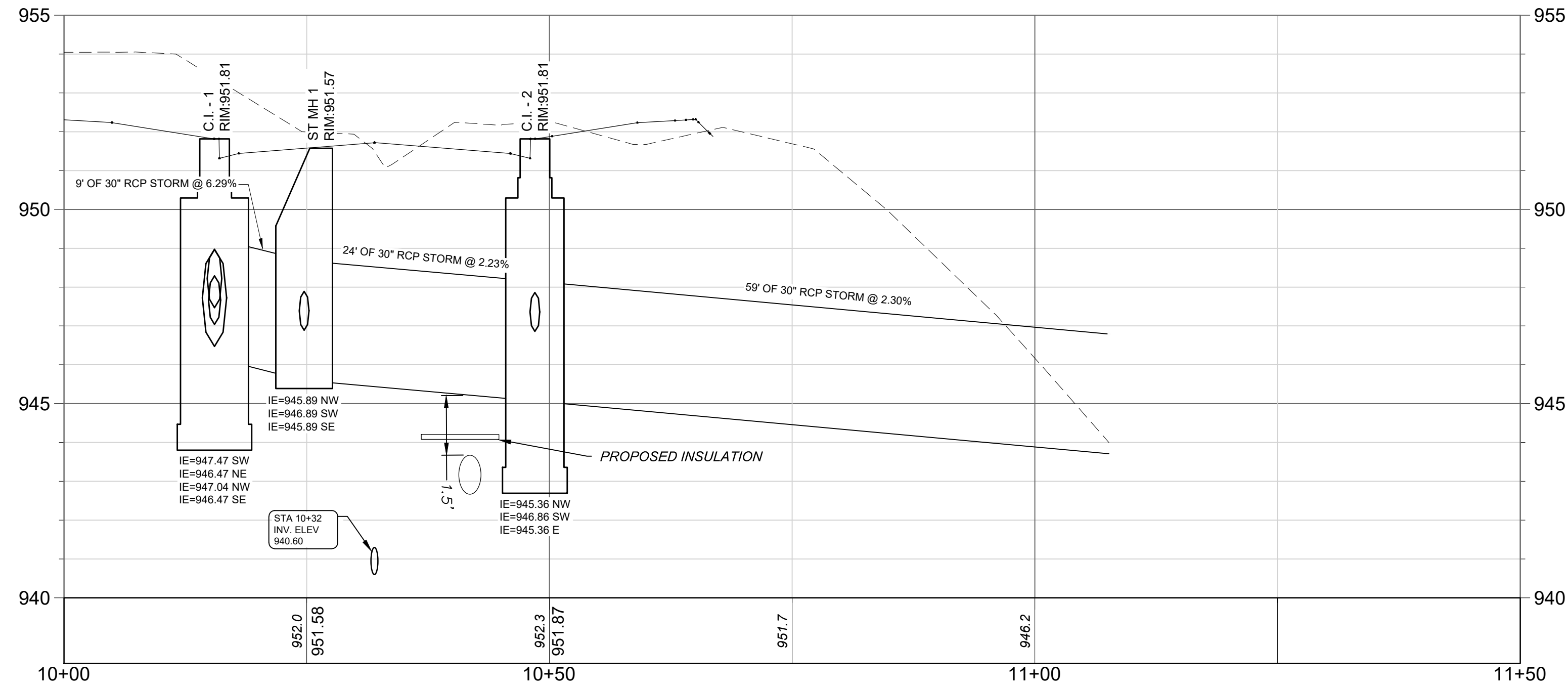
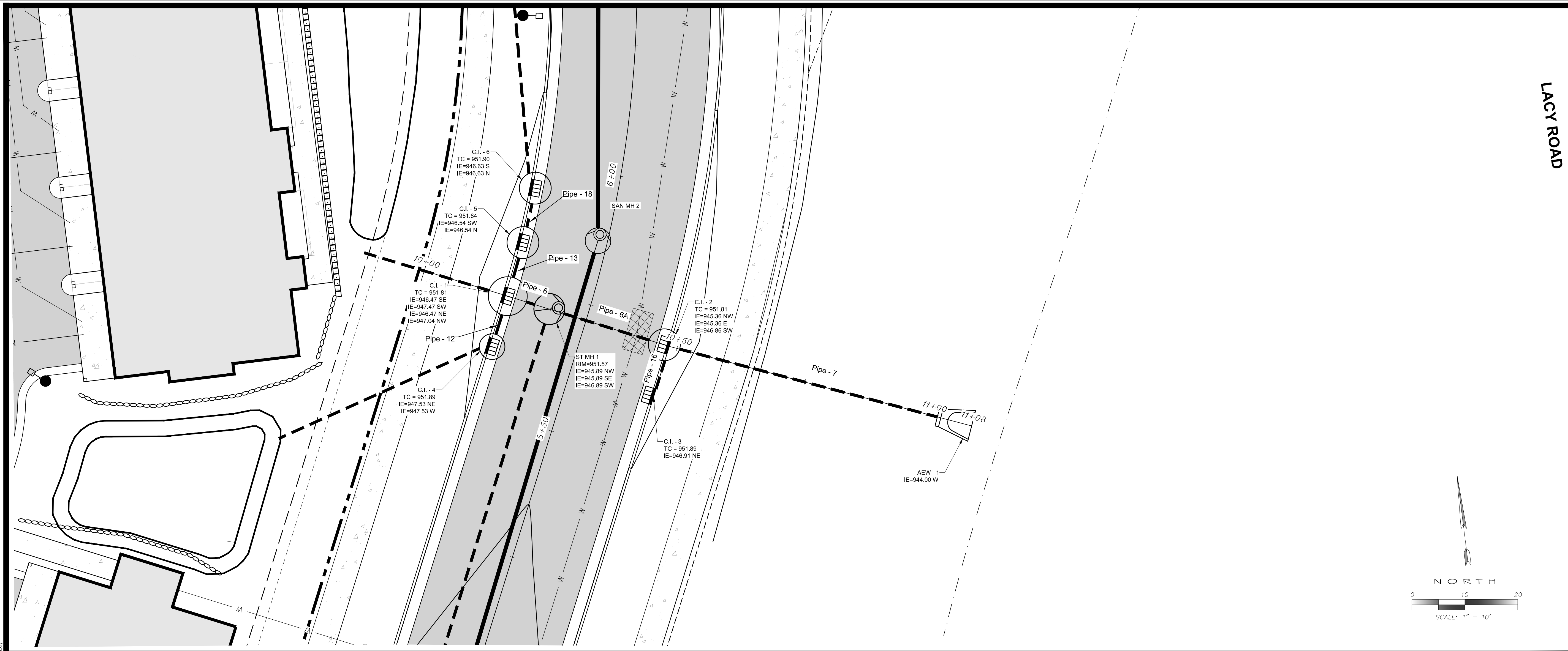
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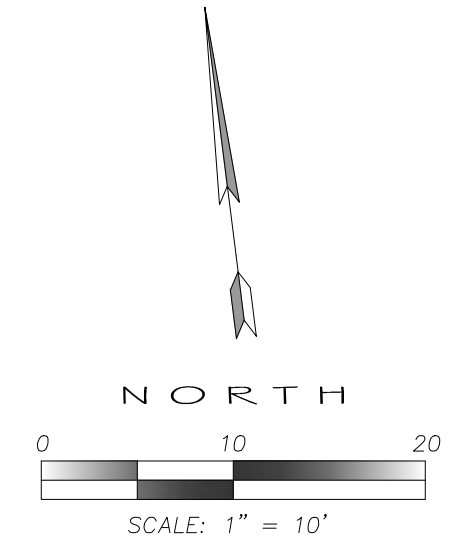
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Engineer: SJA	Checked By: AJK	Scale: 1" = 10'	
Technician: MW	Date: 2/7/2022	T-R-S: T6N-R8E-S15	

Project No: 117.0990.30
Sheet C 5.3

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LACY ROAD



MARK	REVISION	DATE	BY
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Technician: MW	Date: 2/7/2022	T-R-S: T6N-R8E-S15	

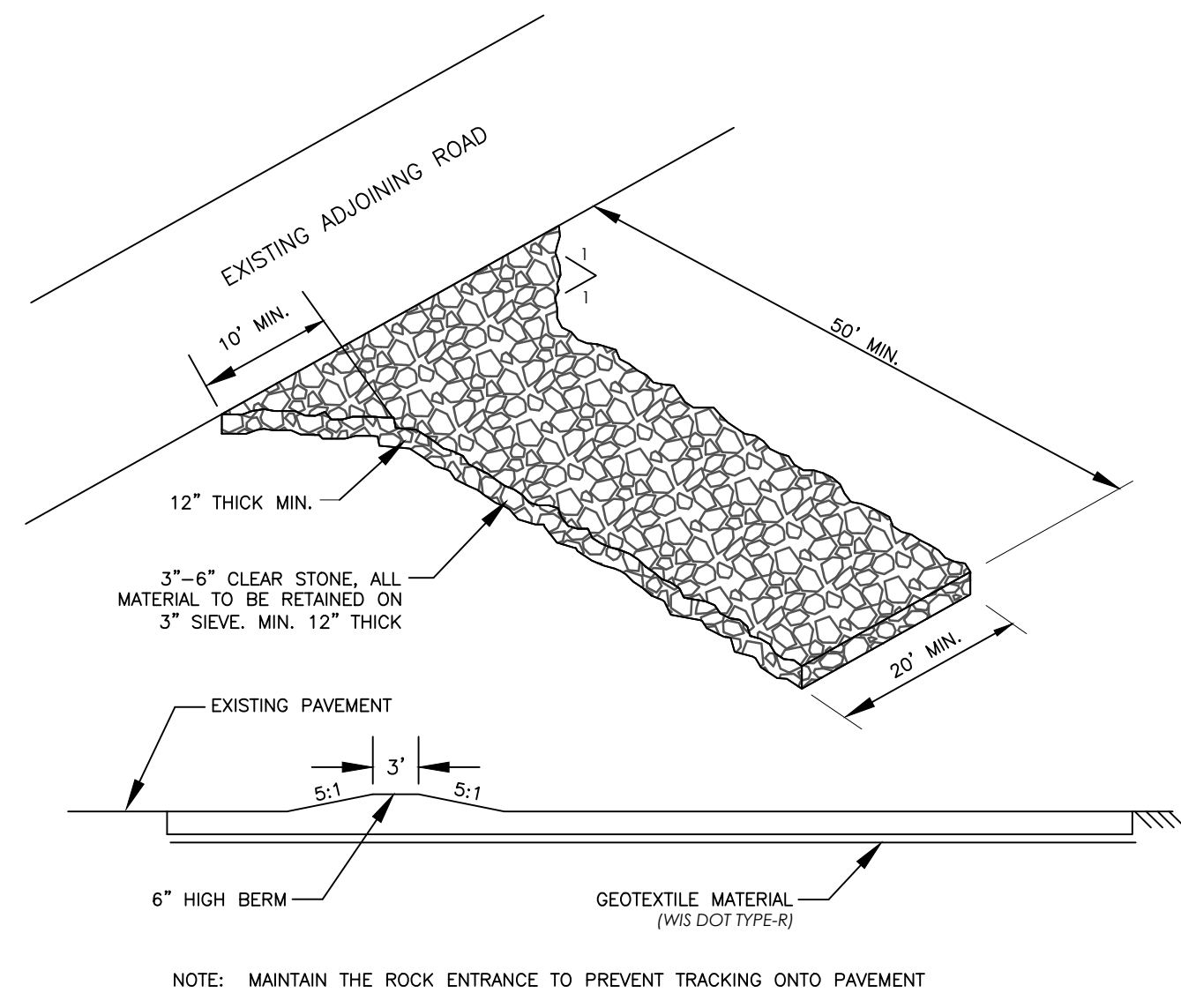
Project No: 117_0990.30

FITCHBURG TOWNHOMES
FITCHBURG, WISCONSIN
STORM SEWER PLAN / PROFILE
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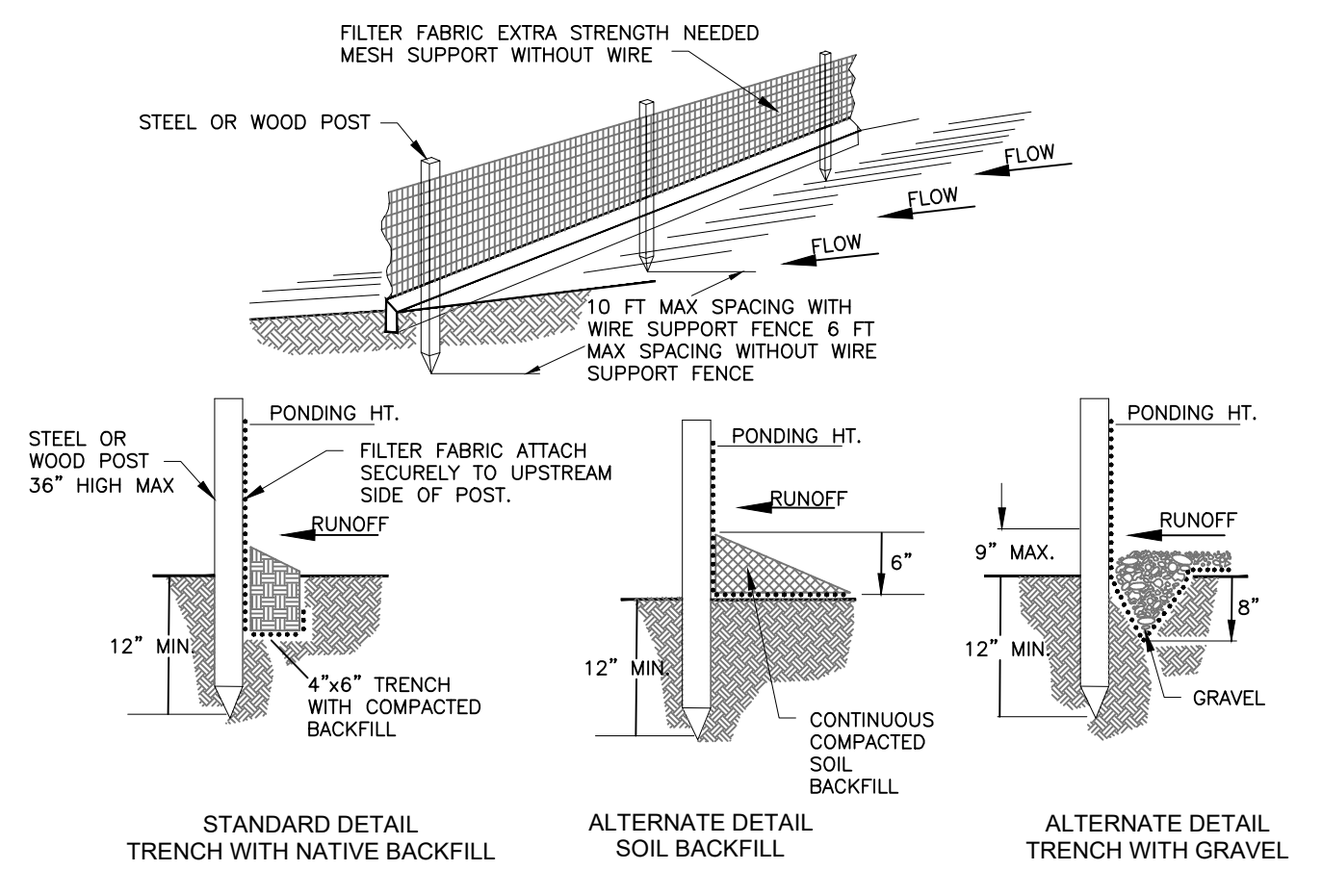
SNYDER & ASSOCIATES

Project No: 117_0990.30
 Sheet C 5.4

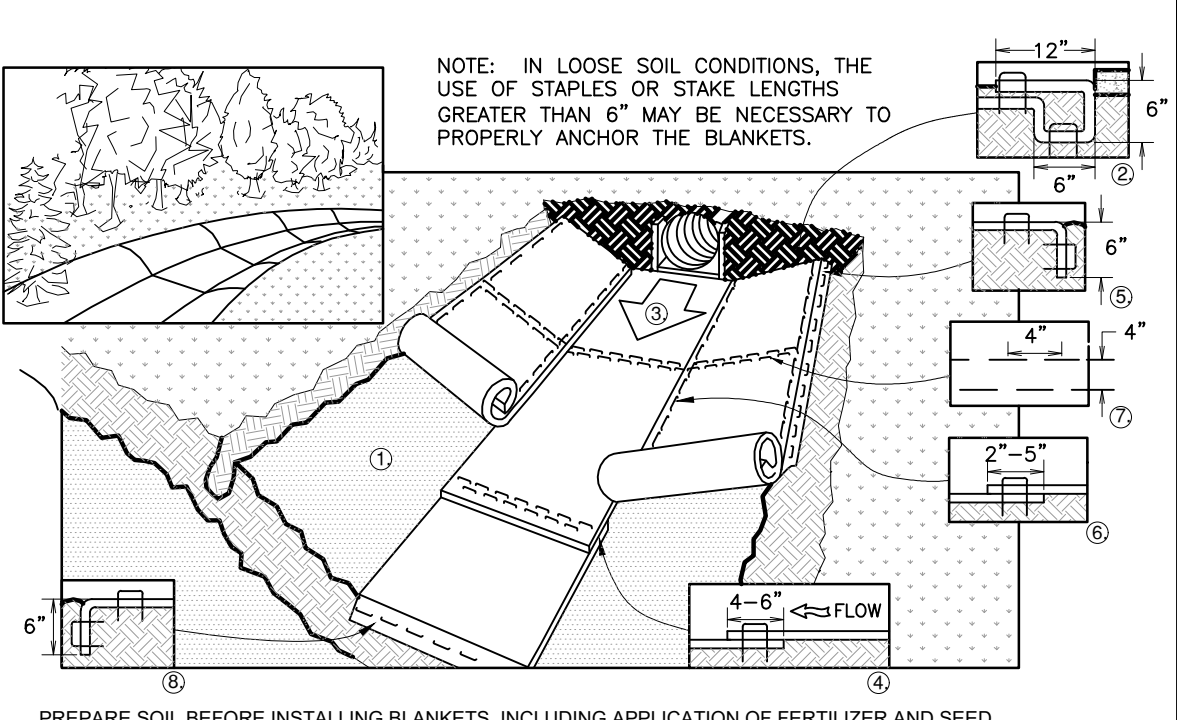
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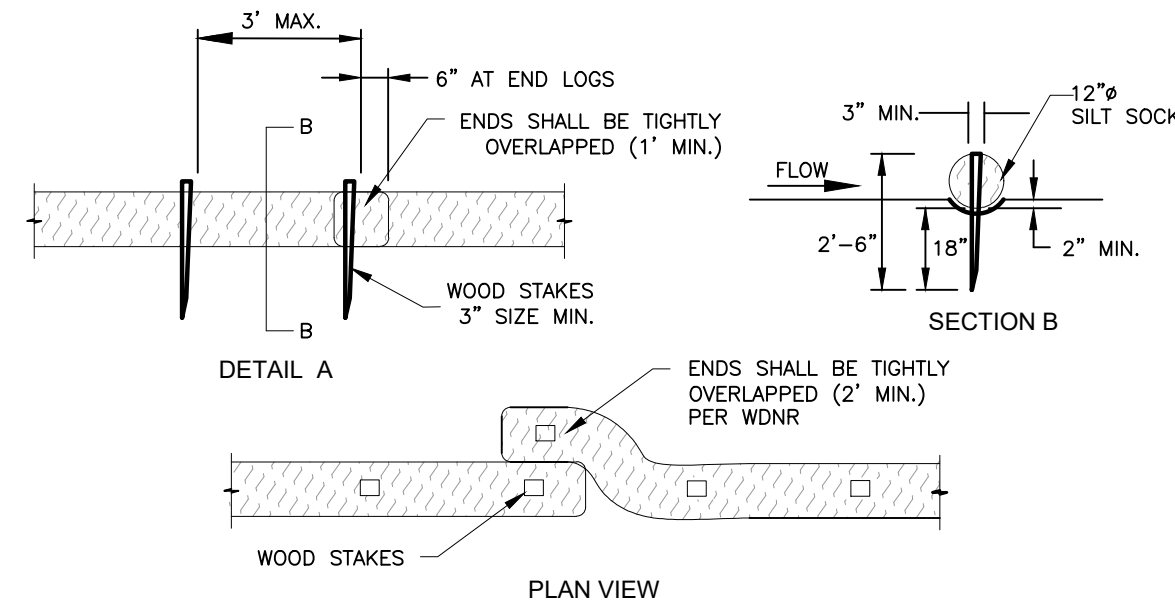
1 CONSTRUCTION ENTRANCE DETAIL
SCALE: NTS



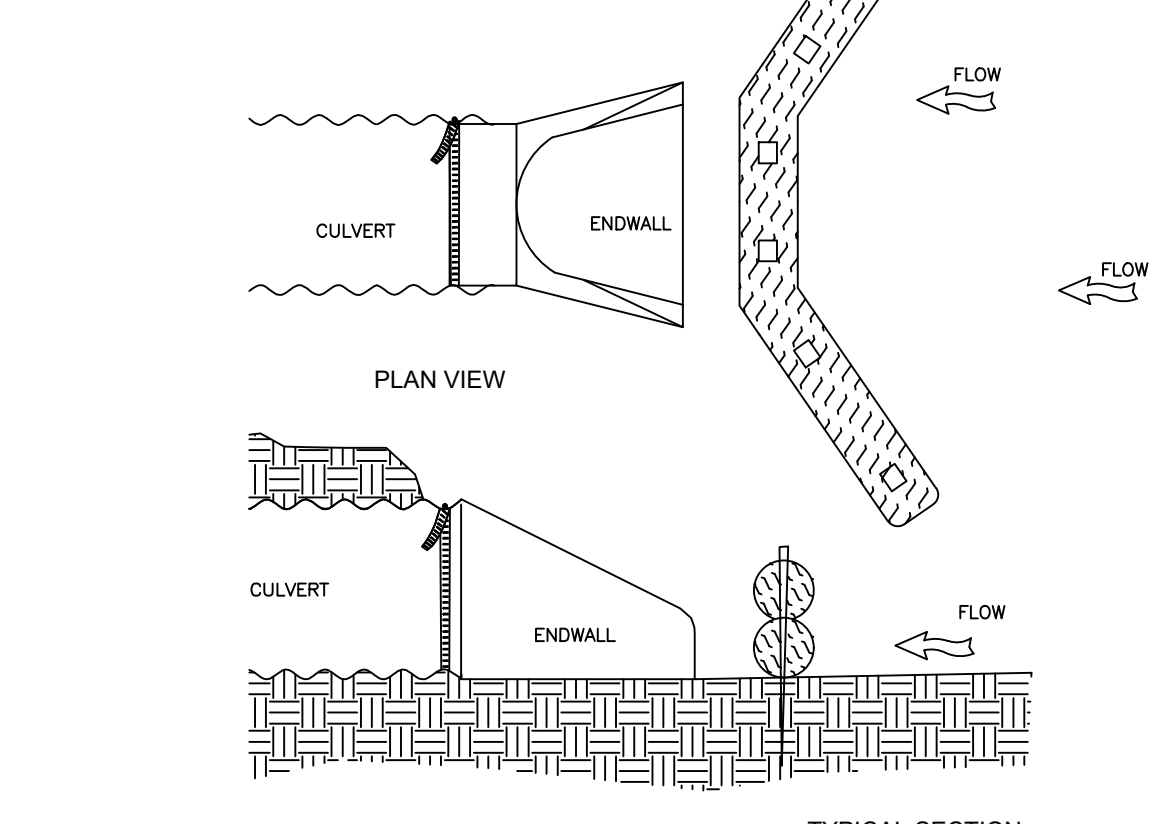
3 SILT FENCE DETAIL
SCALE: NTS



6 EROSION CONTROL MAT - CHANNEL INSTALLATION
SCALE: NTS

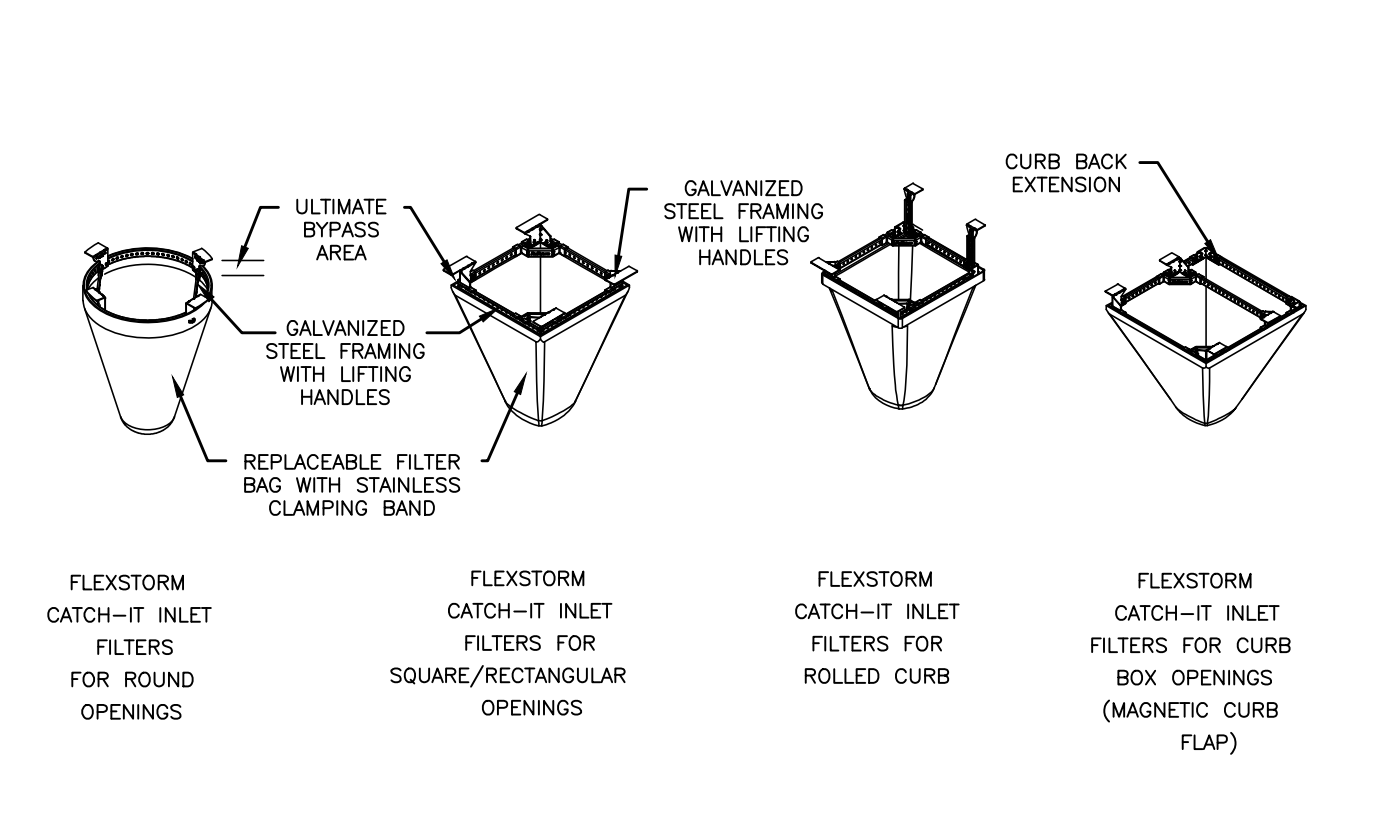


- SILT SOCK INSTALLATION NOTES**
- SEE PLAN VIEW FOR THE LOCATION AND LENGTH OF SILT SOCK.
 - SILT SOCK INDICATED ON INITIAL PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES.
 - SILT SOCK SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
 - NOT FOR USE IN CONCENTRATED FLOW AREAS.
 - THE SILT SOCK SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1/2 OF THE DIAMETER OF THE SILT SOCK.
 - SILT SOCK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS 1071
- SILT SOCK MAINTENANCE NOTES**
- THE CONTRACTOR SHALL INSPECT SILT SOCKS DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT SOCKS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF LOG.
 - SILT SOCKS SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE DRILL SEED AND CRIMP MULCHED OR OTHERWISE STABILIZED.

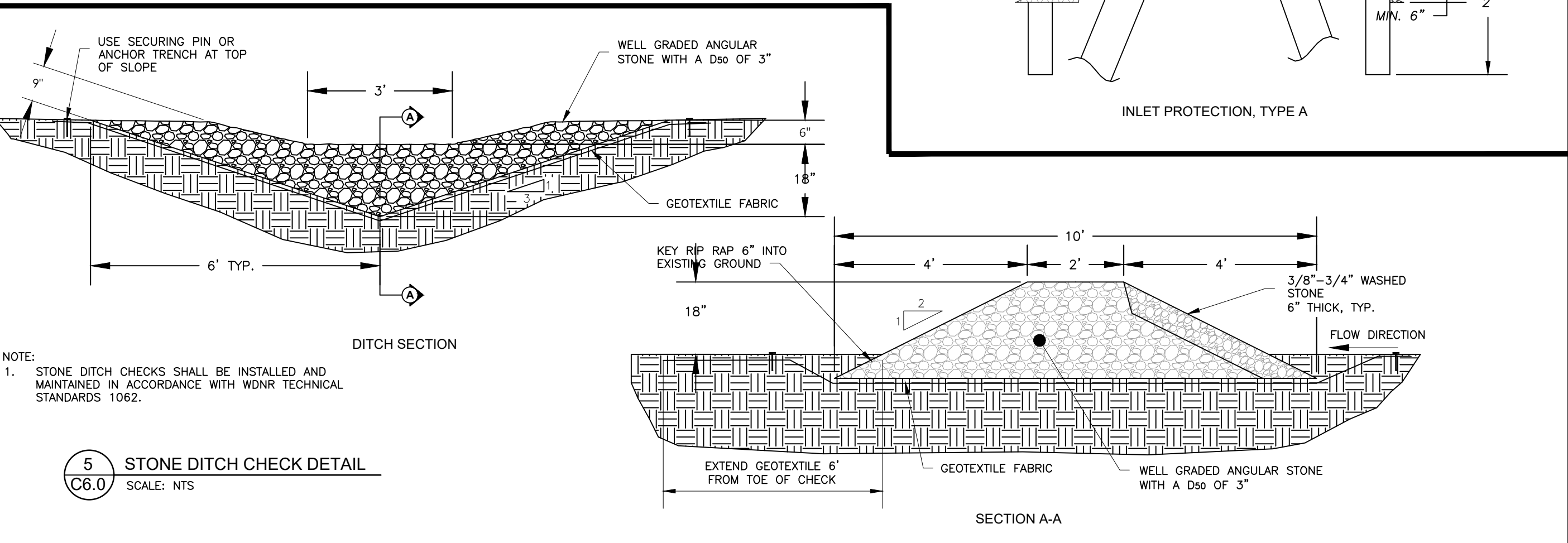


2 SILT SOCK DETAIL
SCALE: NTS

- NOTES:**
- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
 - TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
 - UPON ORDERING THE ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
 - FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM



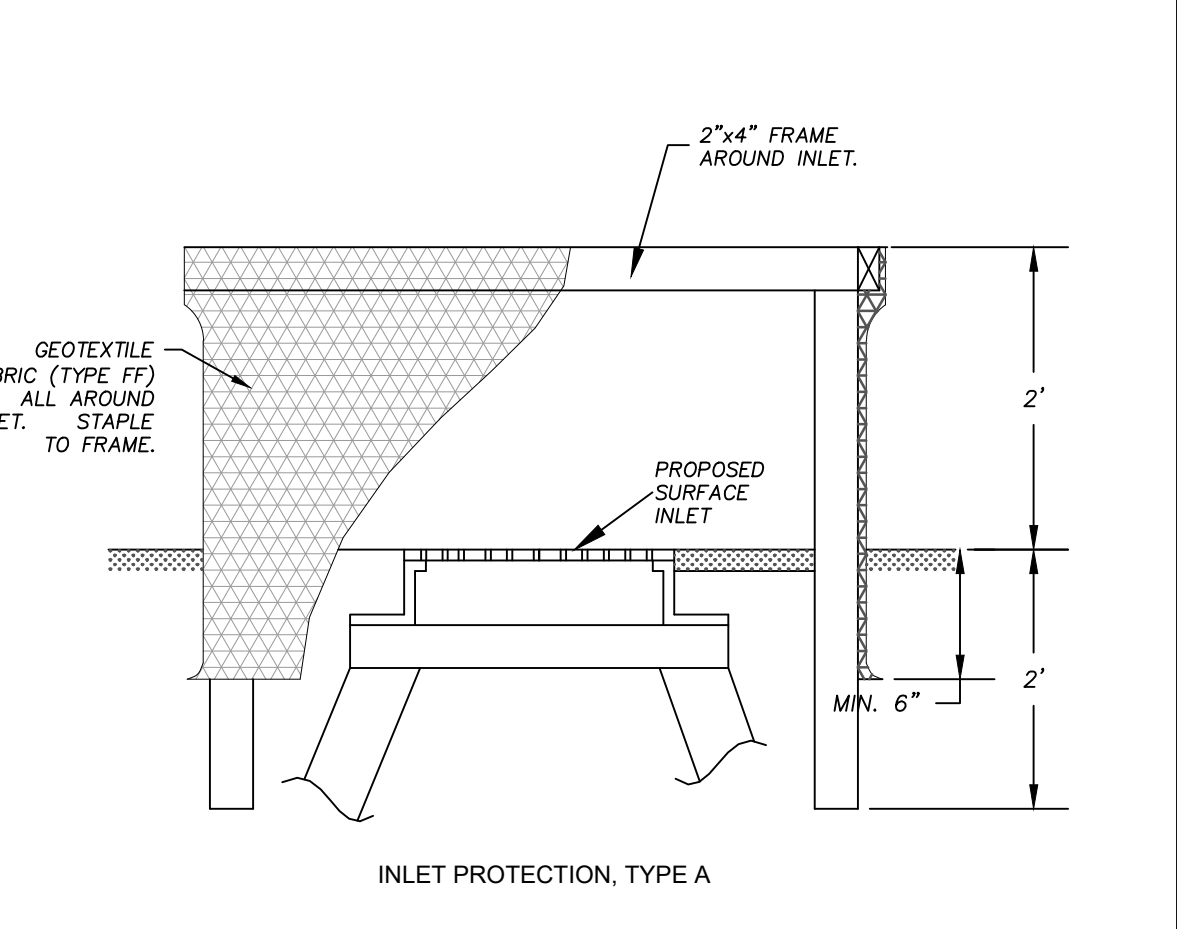
4 FRAMED AND TYPE A INLET PROTECTION DETAIL
SCALE: NTS



5 STONE DITCH CHECK DETAIL
SCALE: NTS

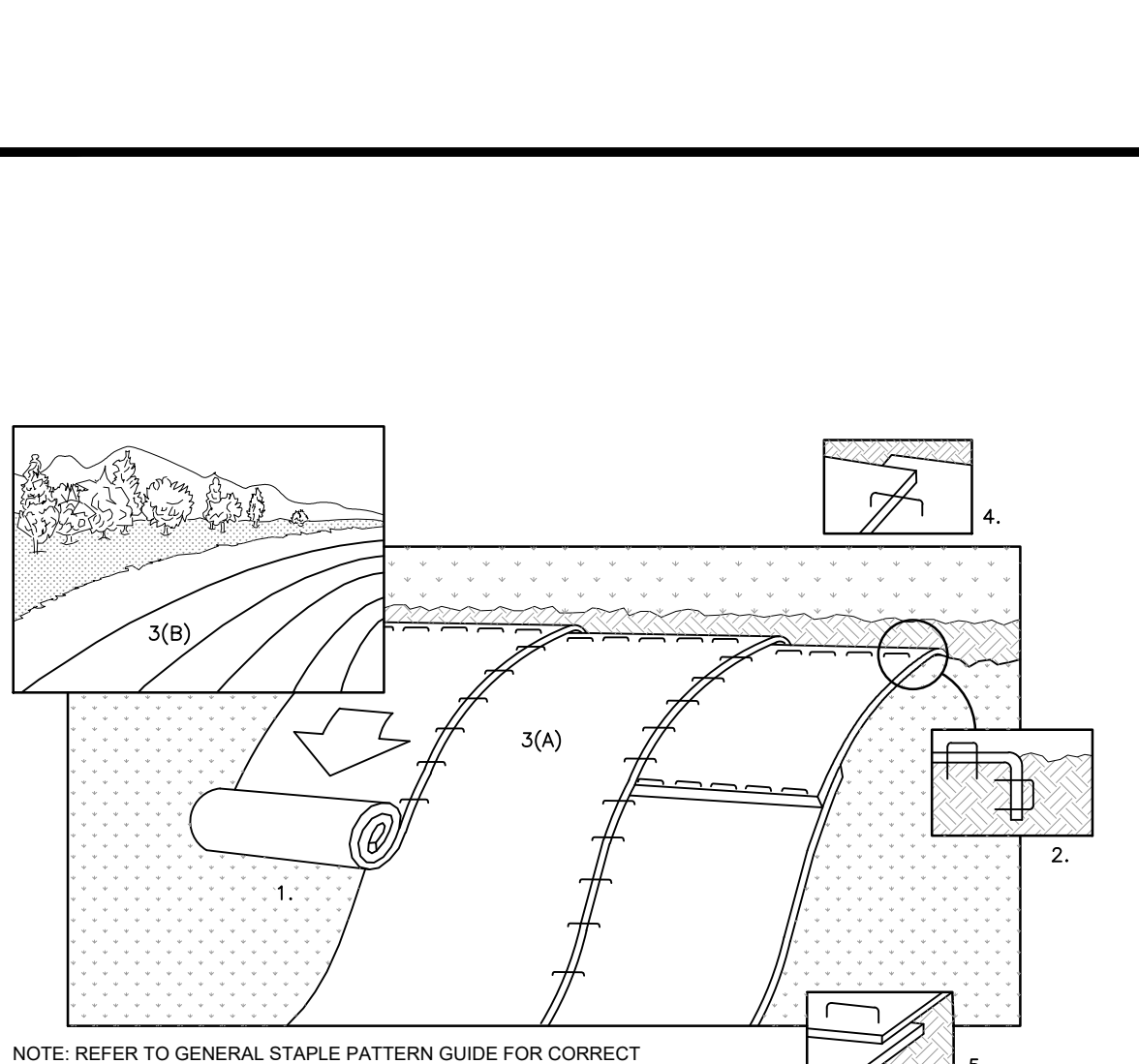
Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)

Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)		ADS P/N
					FX	Bypass	
1040/1642/1733	Round	26	24	1.9	1.5	5.4	62MRDFX
3067 w/FLAP	Curb Box	35.25 x 17.75	33.0 x 15.0	3.8	1.9	5.6	62LCBEXTFX
3067 EXTENDED BACK	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62LCBEXTFX
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	2.2	3.3	62LCBFX
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	1.4	2.2	62MCFX
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	2.0	5.2	62LSQFX



7 EROSION CONTROL MAT - SLOPE INSTALLATION
SCALE: NTS

- EROSION CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISDNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
 - ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD, FOUND AT: http://dnr.wis.gov/topic/soil/water/standards/conserv_standards.htm OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
 - ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
 - ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL PRACTICES AS NECESSARY.
 - TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
 - TEMPORARY SEED MIXTURE SHALL CONFORM TO ISO 22.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
 - DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
 - SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT SHALL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BASE. THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
 - ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1051 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADDES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL AND/OR SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
 - TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
 - DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
 - FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
 - ALL SEEDING AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER. ALL AREAS WITHIN THE RIGHT-OF-WAY SHALL MEET CITY OF FITCHBURG SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.
 - ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.
 - ONCE THE SITE REACHES 70% UNIFORM VEGETATION ESTABLISHMENT, REACH OUT TO THE CITY OF FITCHBURG PRIOR TO REMOVING EROSION CONTROL MEASURES.
 - KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
 - COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CLEAN AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARDS.
 - PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
 - FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES GREATER THAN 5:1, PROVIDE CLASS I, TYPE A URBAN CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.
 - FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II, TYPE C, ROLANKA OR APPROVED EQUAL EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S FACILITIES DEVELOPMENT MANUAL, INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.
 - MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

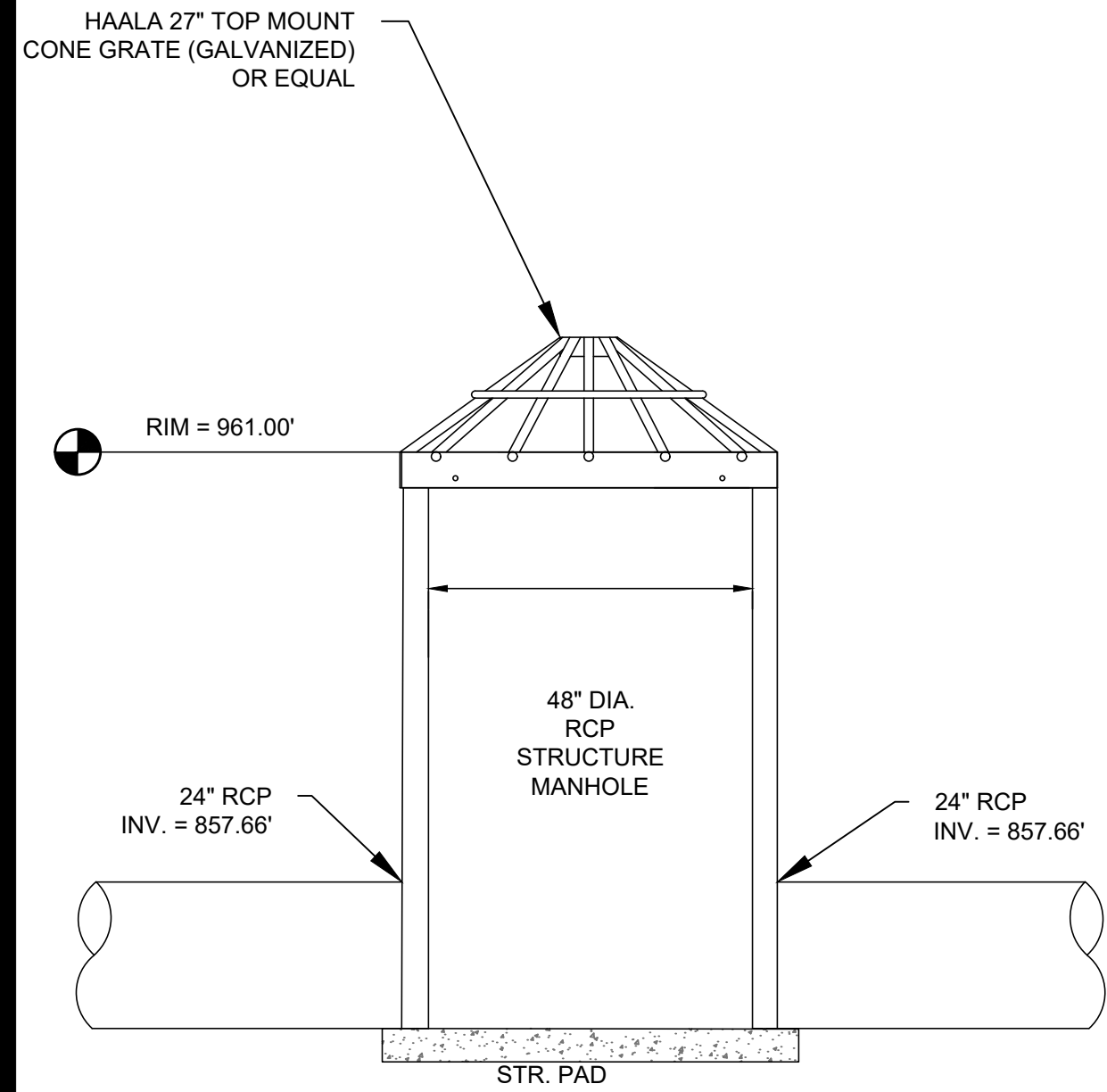


7 EROSION CONTROL MAT - SLOPE INSTALLATION
SCALE: NTS

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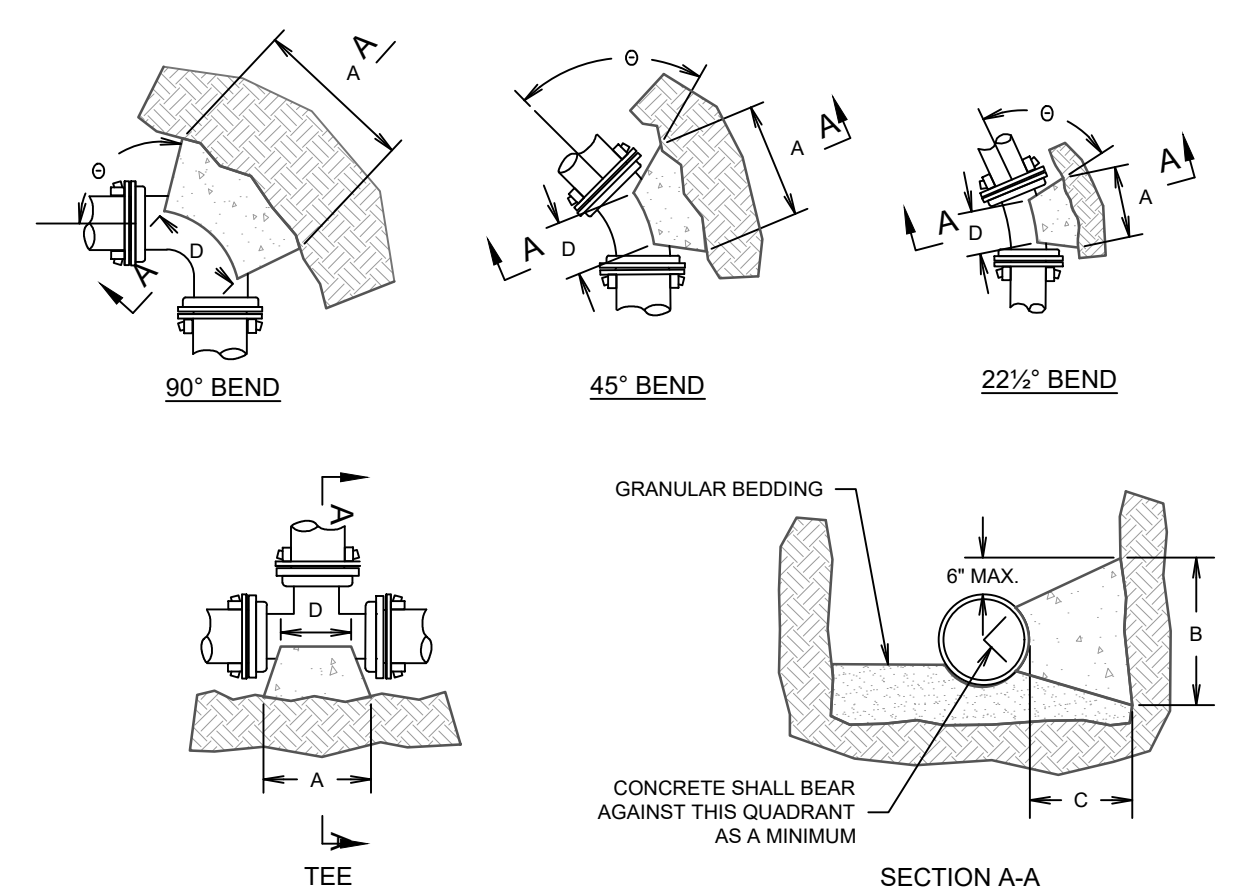
FITCHBURG TOWNHOMES
EROSION CONTROL DETAILS
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 5010 VOEGES ROAD
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Project No: 117.0990.30
 Sheet C 6.0



1 STMH 61
C6.2 SCALE: NTS

3 NOT USED
C6.2 SCALE: NTS



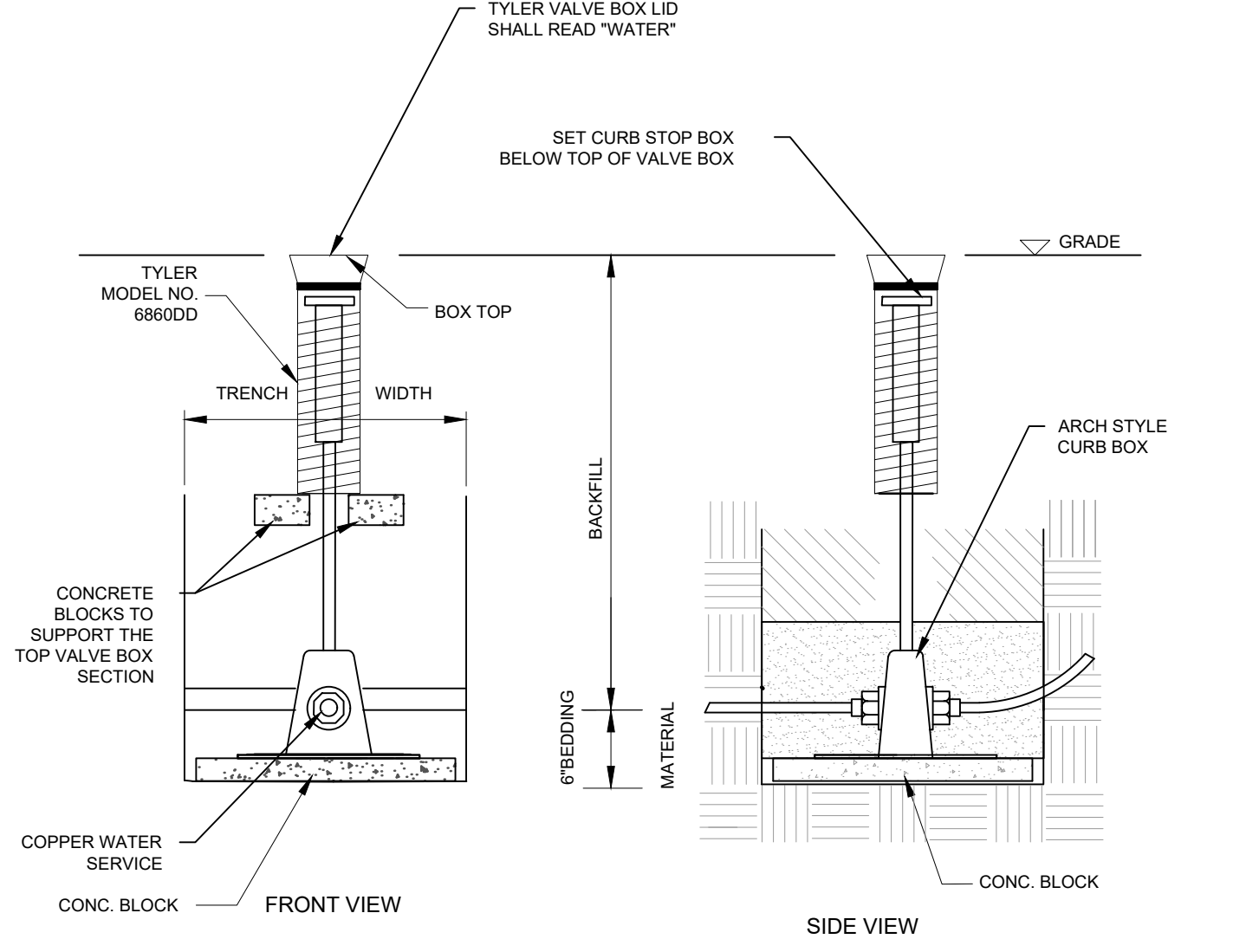
- NOTES:
- WOOD BLOCKING MAY NOT BE USED. ONLY SOLID CONCRETE BLOCKS ARE ALLOWED.
 - DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.
 - DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "D" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.
 - CONCRETE SHALL BE CLASS "CC".
 - ALL BUTTRESSED JOINTS SHALL INCLUDE MEGALUGS AND CONCRETE BUTTRESSING.

PIPE SIZE	BUTTRESS DIMENSIONS							
	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
6	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10/12	2'-3"	2'-0"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS./SQ.FT.

* - FOR TEE THIS WILL BE THE BRANCH PIPE

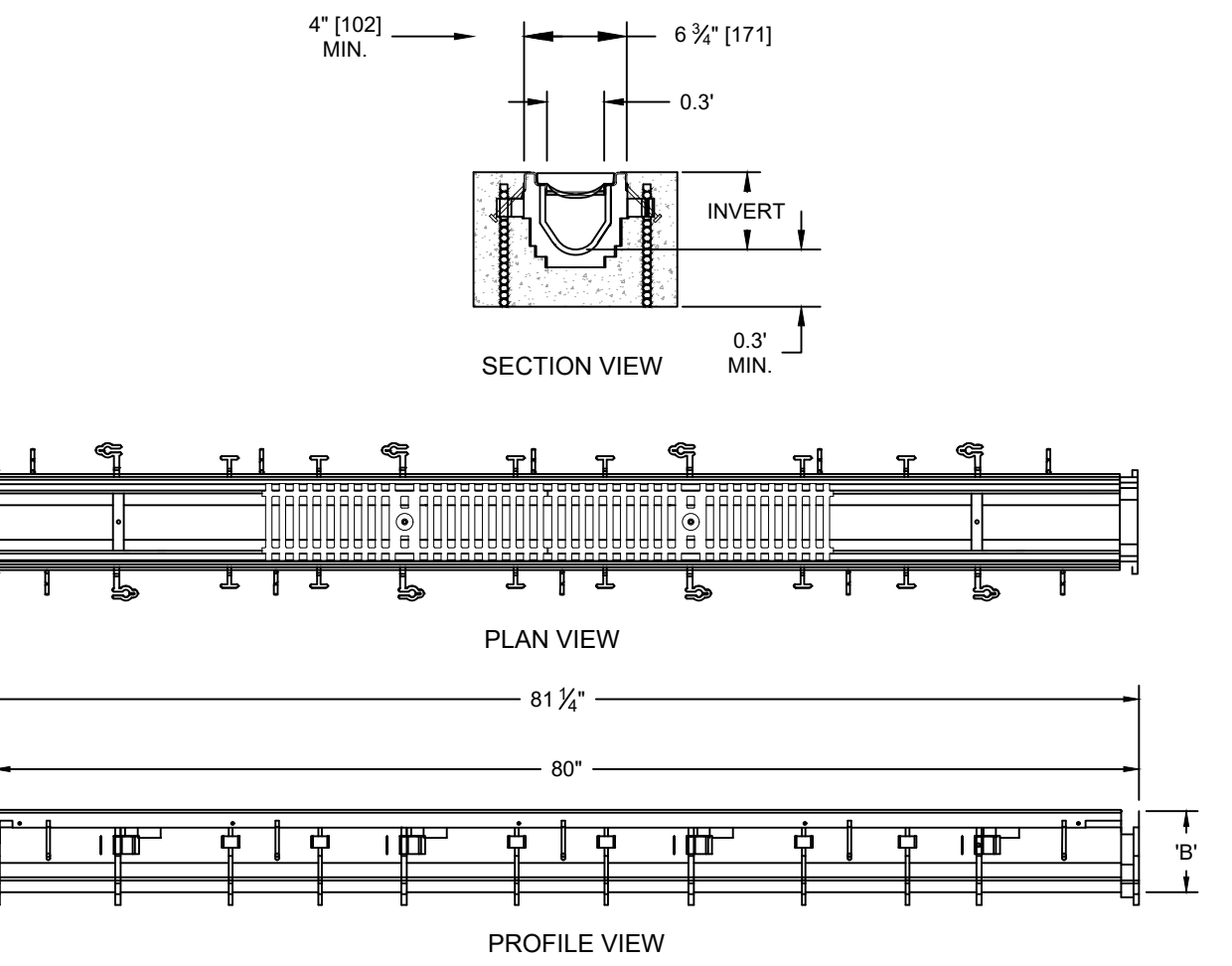
5 BUTTRESS DETAIL
C6.2 SCALE: NTS



- NOTES:
- CONTRACTOR SHALL CONFIRM THAT THE CALLED OUT VALVE BOX MODEL WORKS WITH THE PROPOSED CURB BOX STOP SCHEMATIC AS SHOWN ABOVE.
 - USE 6" OF SAND BEDDING PASSING A 3/8" SIEVE AND 1" OF SAND COVER.
 - CURB BOXES SHALL BE MUELLER H-10385 OR H-10386, AS APPLICABLE, ARCH STYLE, COMPLETE WITH LID AND 4-FOOT STATIONARY ROD, MUELLER 84154 OR 58055. LIDS SHALL BE MARKED "WATER" AND SET TO FINAL GRADE.
 -

7 WATER LATERAL CURB BOX
C6.2 SCALE: NTS

IMPROVED EXTENSION TYPE WITH ARCH PATTERN BASE (H10385)



NOTE:
+ ACTUAL CHANNEL LENGTH IS 81 1/2" TO ALLOW FOR OVERLAP.
TRENCH DRAIN SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS

Trench No.	'A' Shallow Inv.	'B' Deep Inv.	Flow (cfs)	Flow (gpm)	Flow (lps)
8601	3.50 [89]	4.10 [104]	0.21	93	6
8602	4.10 [104]	4.70 [119]	0.27	122	8
8603	4.70 [119]	5.30 [135]	0.34	152	10
8603N	5.30 [135]	5.30 [135]	-	-	-
8604	5.30 [135]	5.90 [150]	0.41	183	12
8605	5.90 [150]	6.50 [165]	0.48	214	13
8606	6.50 [165]	7.10 [180]	0.55	245	16
8606N	7.10 [180]	7.10 [180]	-	-	-
8607	7.10 [180]	7.70 [196]	0.62	276	17
8608	7.70 [196]	8.30 [211]	0.69	308	19
8609	8.30 [211]	8.90 [226]	0.76	339	21
8610	8.90 [226]	9.50 [241]	0.83	371	23
8611	9.50 [241]	10.10 [257]	0.90	403	25
8612	10.10 [257]	10.70 [272]	0.97	435	27
8612N	10.70 [272]	10.70 [272]	-	-	-
8613	10.70 [272]	11.30 [287]	1.04	467	29
8614	11.30 [287]	11.90 [302]	1.11	498	31
8615	11.90 [302]	12.50 [318]	1.18	530	33

6 ZURN TRENCH DRAIN DETAIL
C6.2 SCALE: NTS

- WATER / STORM SEWER NOTES
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND PER CITY OF FITCHBURG STANDARD SPECIFICATIONS, LATEST EDITION.
 - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE CORED CONNECTIONS.
 - ALL LATERAL/WATER SERVICE ENDS SHALL BE MARKED WITH A TREATED 4" X 4" POST EXTENDING FROM THE INVERT OF THE PIPE TO 2' ABOVE THE SURFACE AND THE TOP OF THE POST SHALL BE PAINTED BLUE. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE CITY ENGINEER SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.
 - EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED IN THE RIGHT-OF-WAY AND THE ZONE OF INFLUENCE OF THE RIGHT-OF-WAY AS WELL AS UNDER HARD SURFACES AND THE ZONE OF INFLUENCE OF HARD SURFACES.
 - PRIOR TO PAVING BINDER, THE CONTRACTOR SHALL ADJUST ALL MANHOLES AND VALVE BOXES TO BINDER GRADE.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS AND MEASUREMENTS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
 - A MAXIMUM OF 9" OF ADJUSTING RINGS IS ALLOWED AND A MINIMUM OF 3" IS REQUIRED. ADJUSTMENTS TO INLETS AND MANHOLES MAY REQUIRE ADDITIONAL WORK INCLUDING BUT NOT LIMITED TO, ADDING, REMOVING, AND/OR REPLACING MANHOLE/INLET BARREL SECTIONS TO MEET THE CITY STANDARDS FOR MINIMUM AND MAXIMUM ADJUSTMENTS.
 - IF PRIVATE STORM IS HDPE MATERIAL, A RUBBER BOOT SHALL BE REQUIRED WHERE PRIVATE STORM ENTERS PUBLIC STORM STRUCTURE.

2 NOT USED
C6.2 SCALE: NTS

4 NOT USED
C6.2 SCALE: NTS

MARK	REVISION	DATE	BY
	Checked By: AJK	Scale: 1" = NTS	
	Engineer: SJA	Date: 2/7/2022	
	Technician: MW	T-R-S: T6N-R8E-S15	

Project No: 117.0990.30

FITCHBURG, WISCONSIN

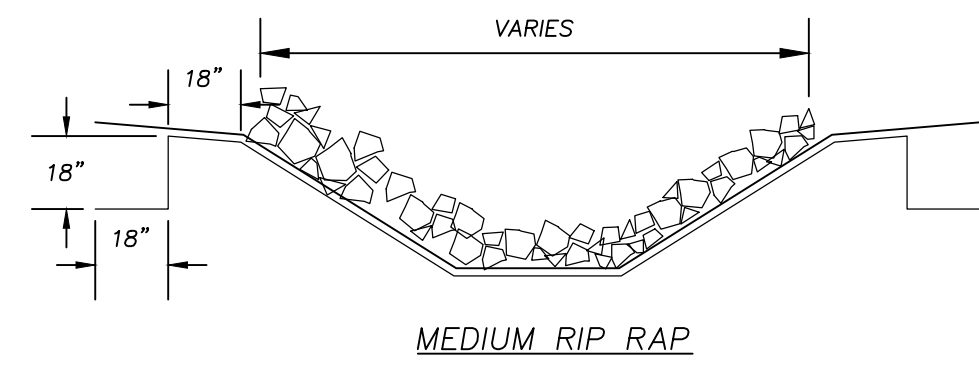
UTILITY DETAILS

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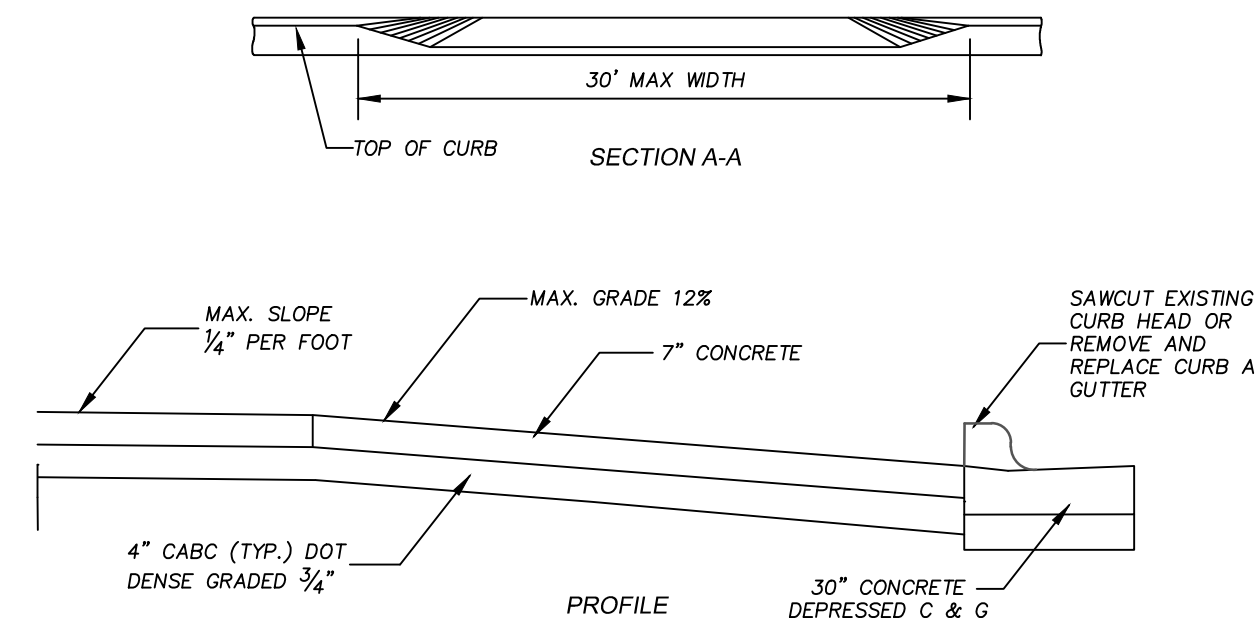


V:\Projects\2017\117.0990.30\CADD\117.0990.30\PLANDetails - C 6.2 UTILITIES 20220207.1.38 PM ANSI FULL BLEED D (34.00 X 22.00 INCHES)

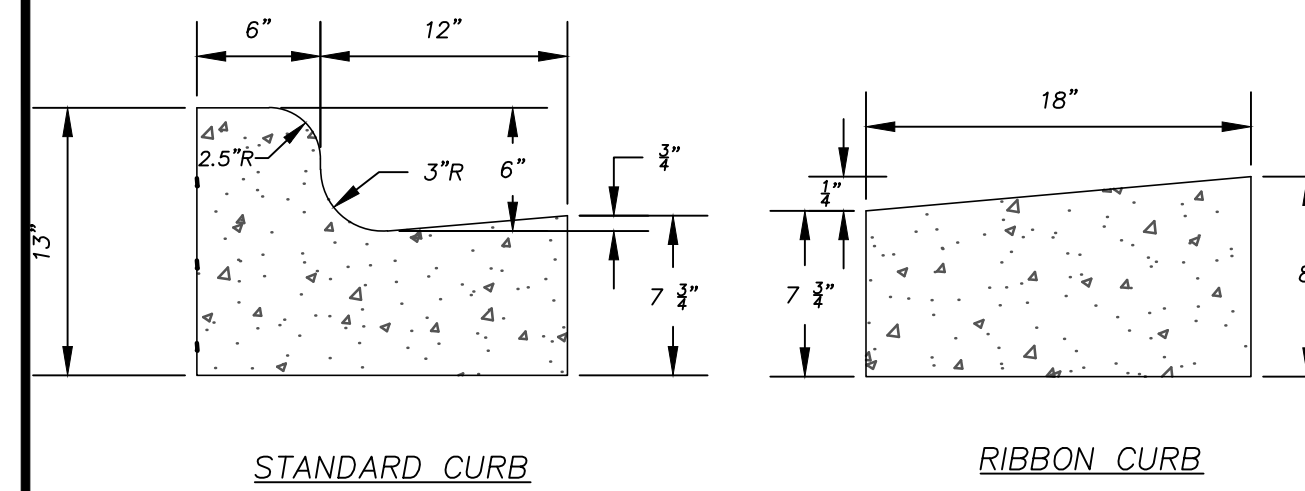


NOTES:
1. RIP RAP SHALL CONFORM TO WISDOT SECTION 606 RIP RAP SPECS. FOR SIZING AND INSTALLATION.

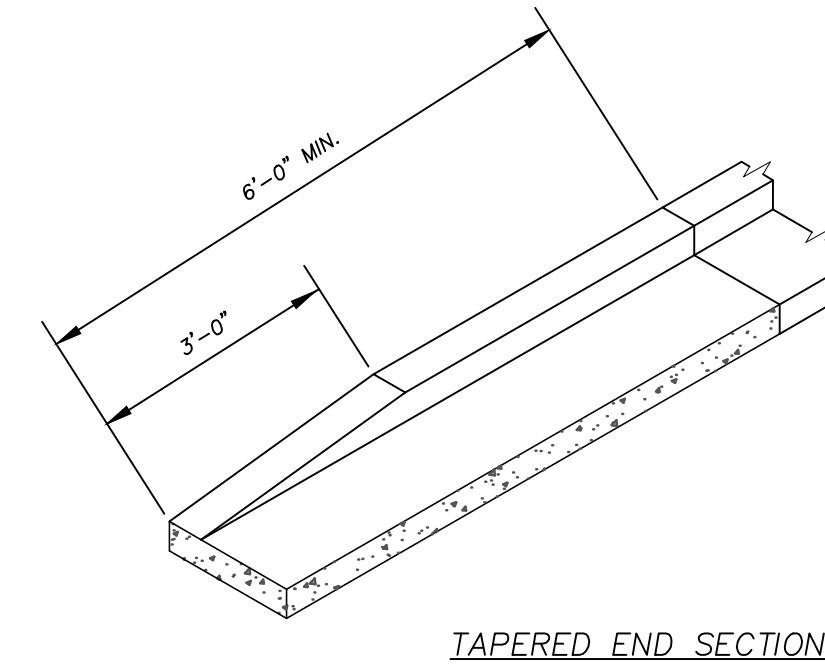
1 PRIVATE RIPRAP CHANNEL DETAIL
SCALE: NTS



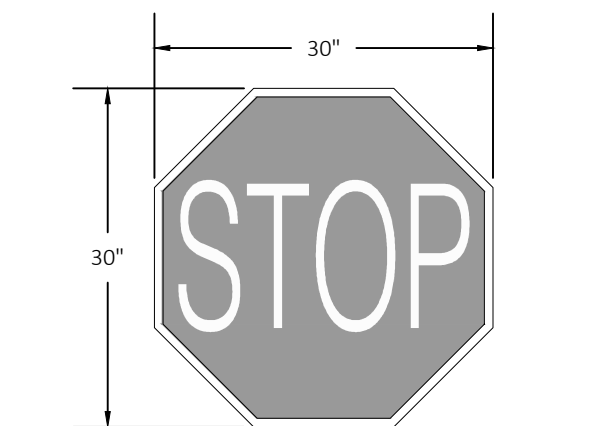
3 URBAN DRIVEWAY DETAIL
SCALE: NTS



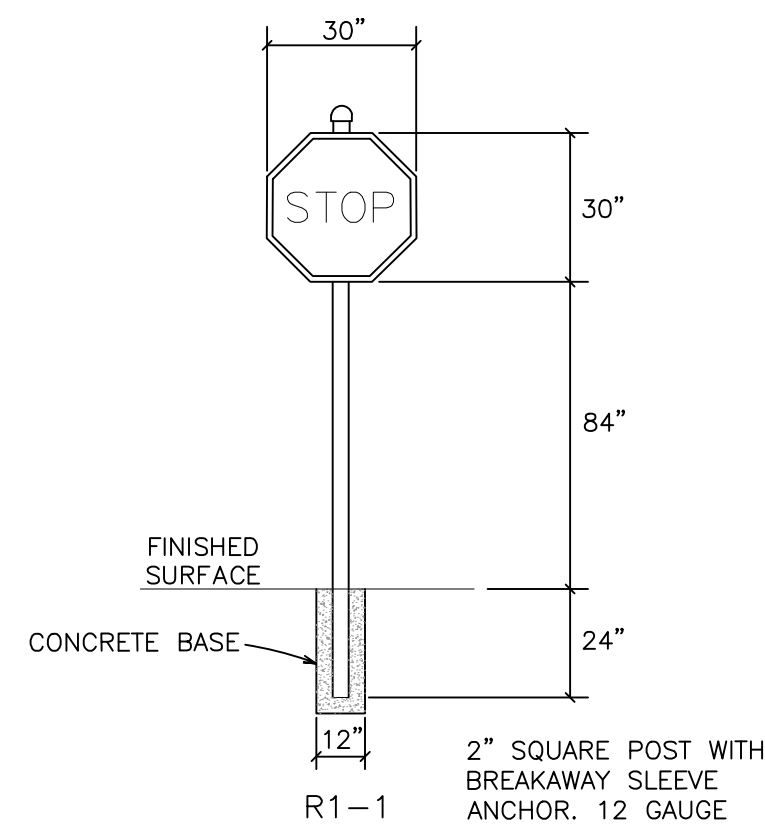
5 PRIVATE CONCRETE CURB & GUTTER
SCALE: NTS



NOTES:
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
2. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

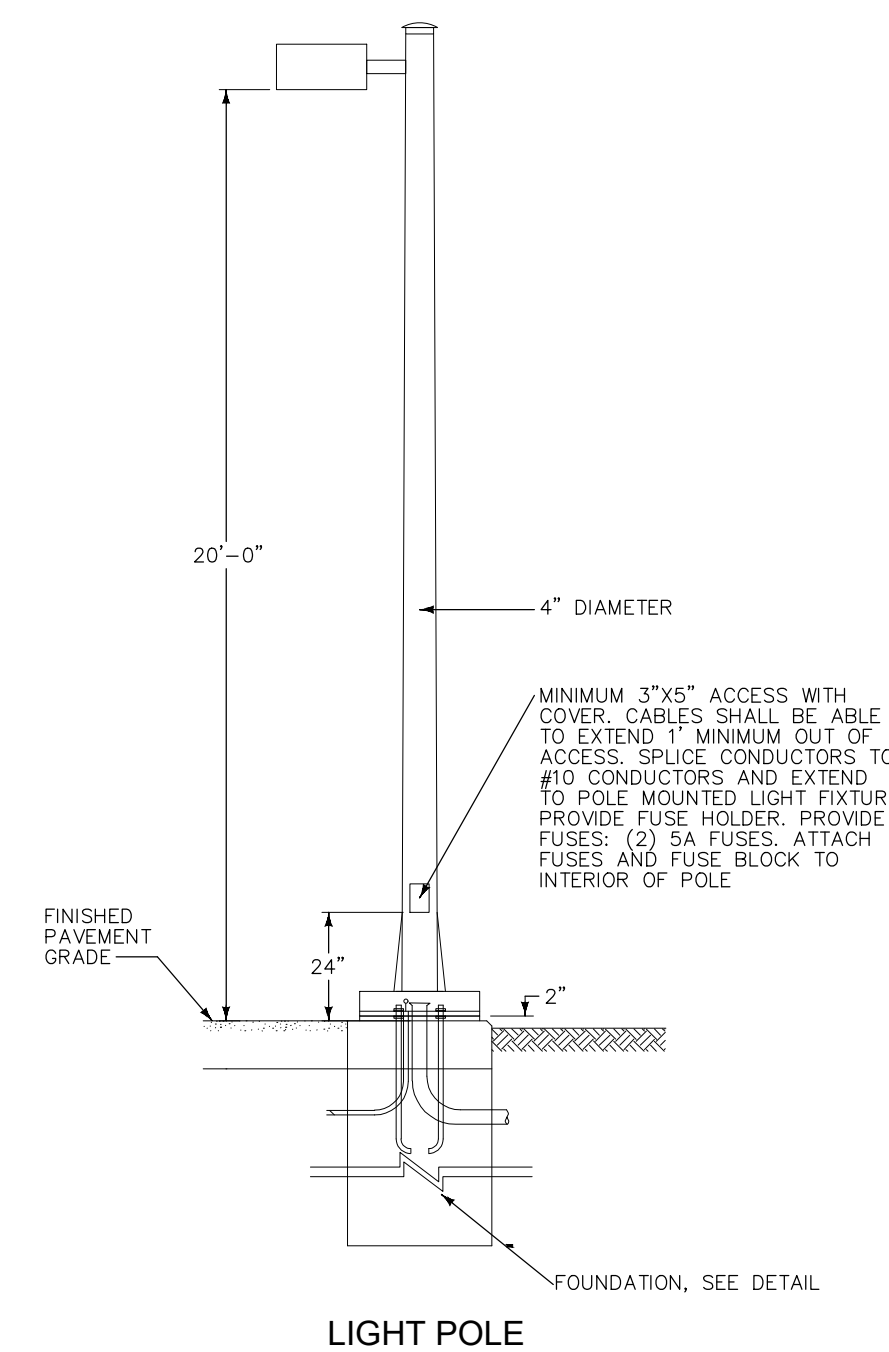


WHITE LEGEND RED BACKGROUND

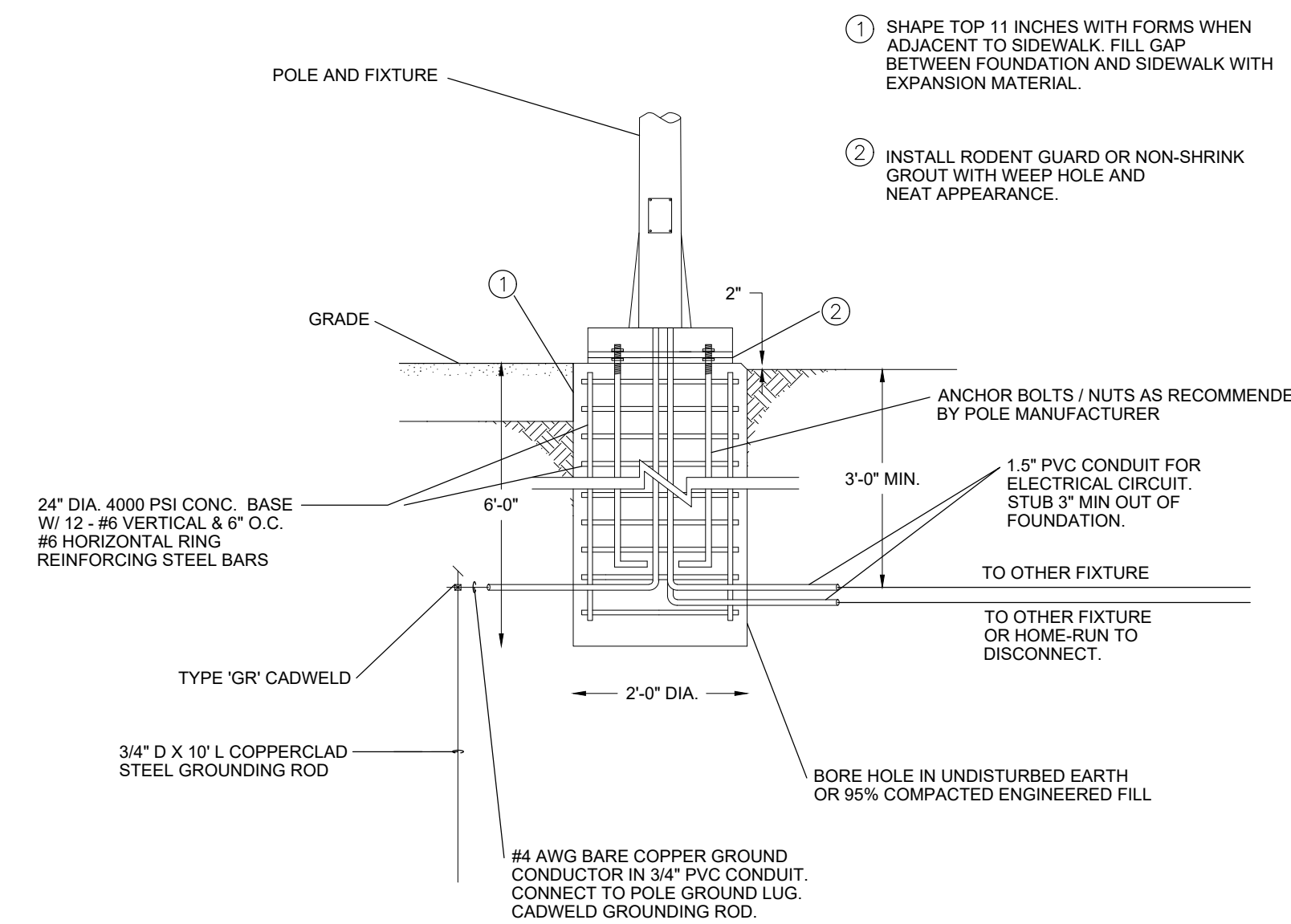


* SEE SHEET C1.2 FOR STOP SIGN LOCATIONS

2 PRIVATE STOP SIGN DETAIL
SCALE: NTS



4 PRIVATE LIGHT POLE & FOUNDATION DETAIL
SCALE: NTS



5 LIGHT POLE FOUNDATION

PAVEMENT AND CURB NOTES - PRIVATE PAVEMENT

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (4-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE SUPERPAVE (E-**) IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
- ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE PG(***), AND LOWER LAYERS SHALL BE PG(***).
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (****), AND THE LOWER LAYER PAVEMENT SHALL BE (****).
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:
SECTION 415 FOR CONCRETE PAVEMENT
SECTION 601 FOR CONCRETE CURB AND GUTTER
SECTION 602 FOR CONCRETE SIDEWALKS.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
PARKING STALLS: WHITE
PEDESTRIAN CROSSWALKS: WHITE
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
ADA SYMBOLS: BLUE OR PER LOCAL CODE
FIRE LANES: PER LOCAL CODE
EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW

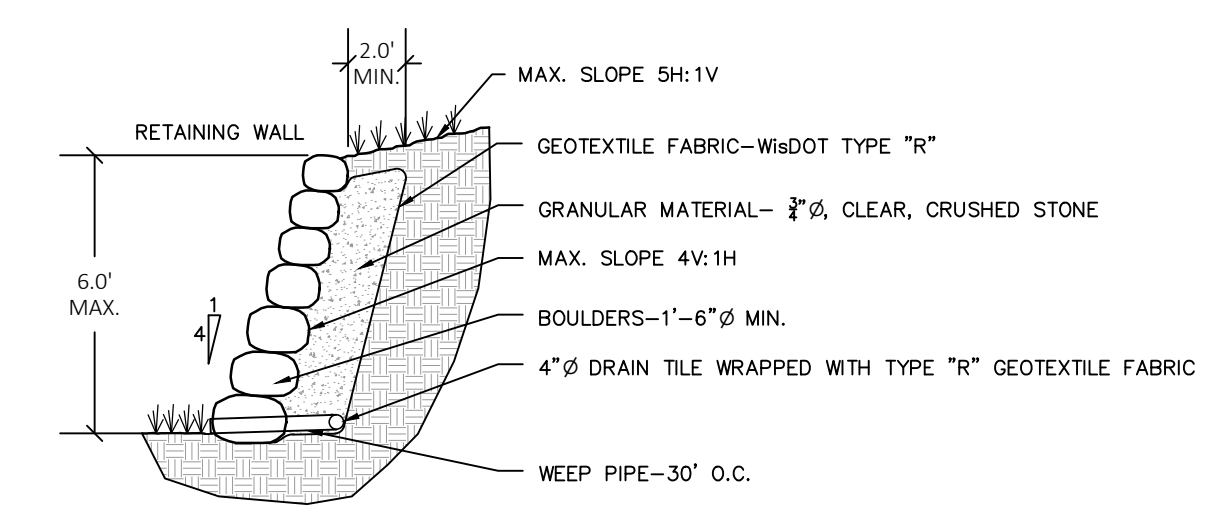
NOTE: PAVEMENT SHALL BE DESIGNED BY GEOTECHNICAL ENGINEER. MISSING INFORMATION ABOVE, DESIGNATED WITH (*), SHALL BE FILLED IN PER GEOTECHNICAL REPORT. CAUTION: INFORMATION BELOW SHALL BE USED ONLY AS A GUIDE.

* DENSE GRADED BASE GRADATIONS: 3-INCH, 1 1/4-INCH, OR 3/4-INCH (TYPICALLY 1 1/4-INCH)
** HMA SUPERPAVE TYPES: E-0.3, E-1, E-3, E-10, E-30 (TYPICALLY E-0.3 OR E-1 FOR MOST RESIDENTIAL AND COMMERCIAL PROJECTS)

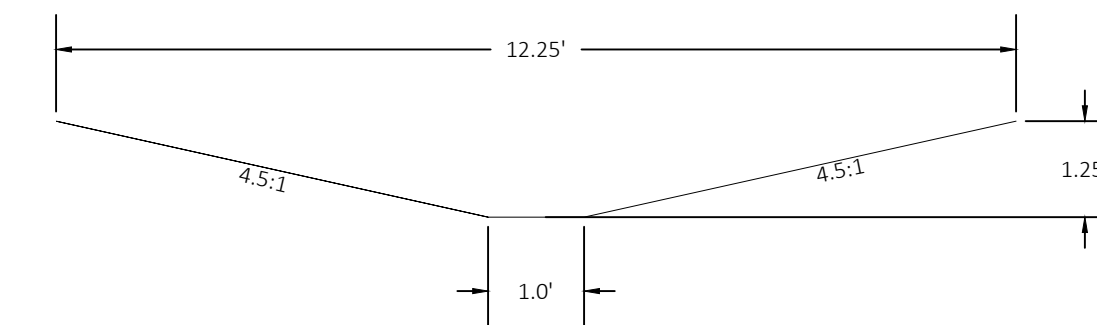
*** PG BINDERS:
64-22 BASIC ASPHALT, TYPICALLY USED FOR PARKING LOTS
58-28 RECOMMENDED FOR OVERLAY PROJECTS
64-28 POLYMER ADDED, HIGH COST ASPHALT, LARGEST RANGE OF TEMP.
UPPER LAYER PG64-28, PG64-22, OR PG58-28
LOWER LAYER PG64-22 (IF UPPER LAYER IS PG64-xx OR HIGHER), OR PG58-28

**** HMA AGGREGATE GRADATIONS: 37.5 MM, 25.0 MM, 19.0 MM, 12.5 MM, 9.5 MM (TYPICAL Y: 12.5 MM FOR UPPER LAYER, 19.0 MM FOR LOWER LAYER)

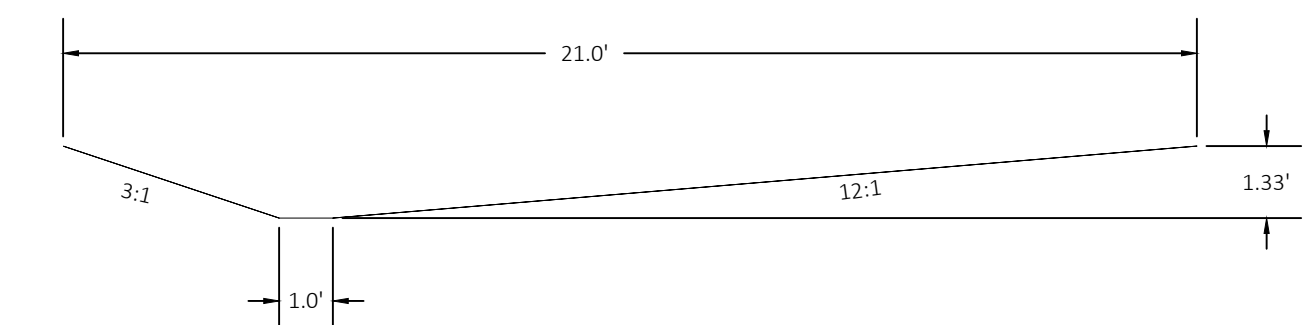
6 PRIVATE BOULDER RETAINING WALL DETAILS
SCALE: NTS



7 NORTH SWALE CROSS SECTION
SCALE: NTS



8 WEST SWALE CROSS SECTION
SCALE: NTS



MARK	REVISION	DATE	BY

Engineer: SJA
Checked By: AJK
Technician: MWV
Scale: 1" = NTS
T-R-S: T6N-R8E-S15
Date: 2/7/2022

FITCHBURG, WISCONSIN

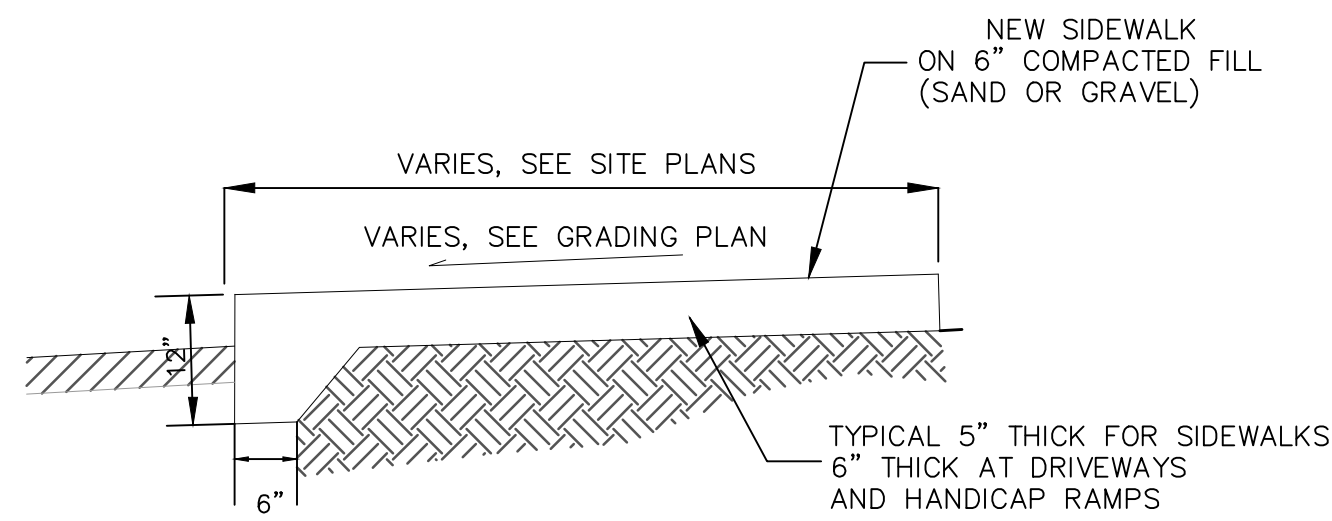
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FITCHBURG TOWNHOMES
SITE DETAILS
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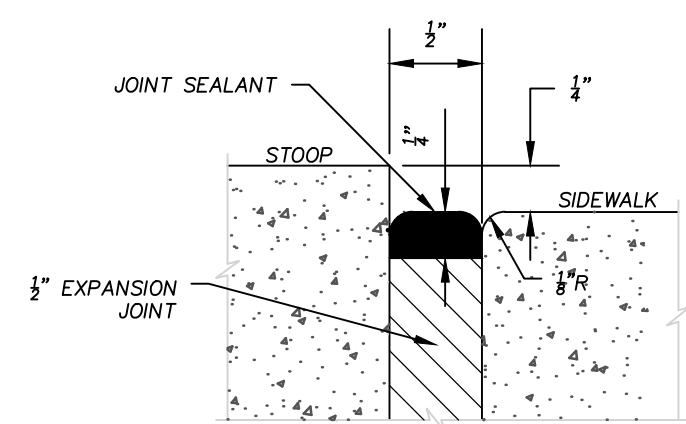


Project No: 117.0990.30
Sheet C 6.4

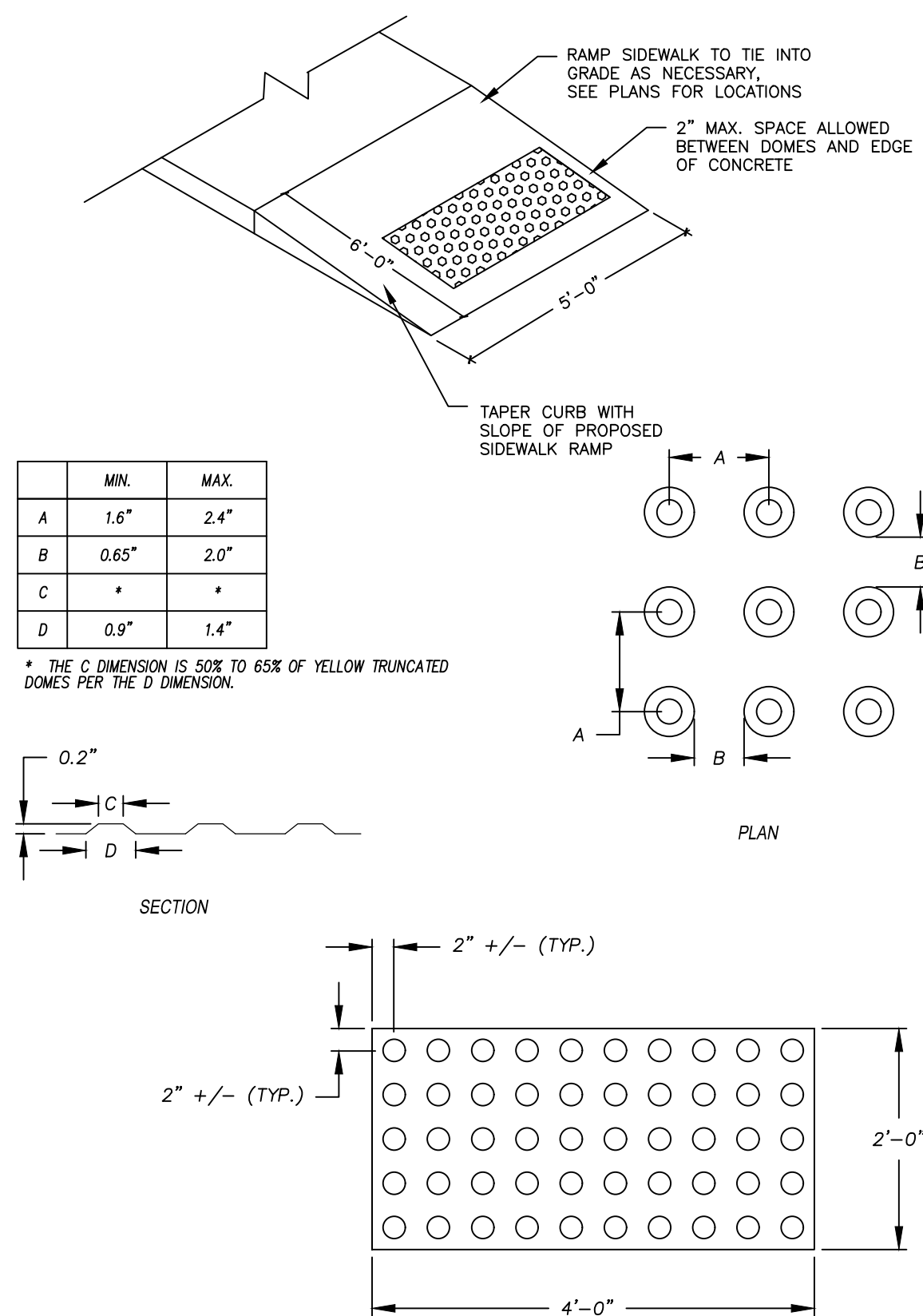
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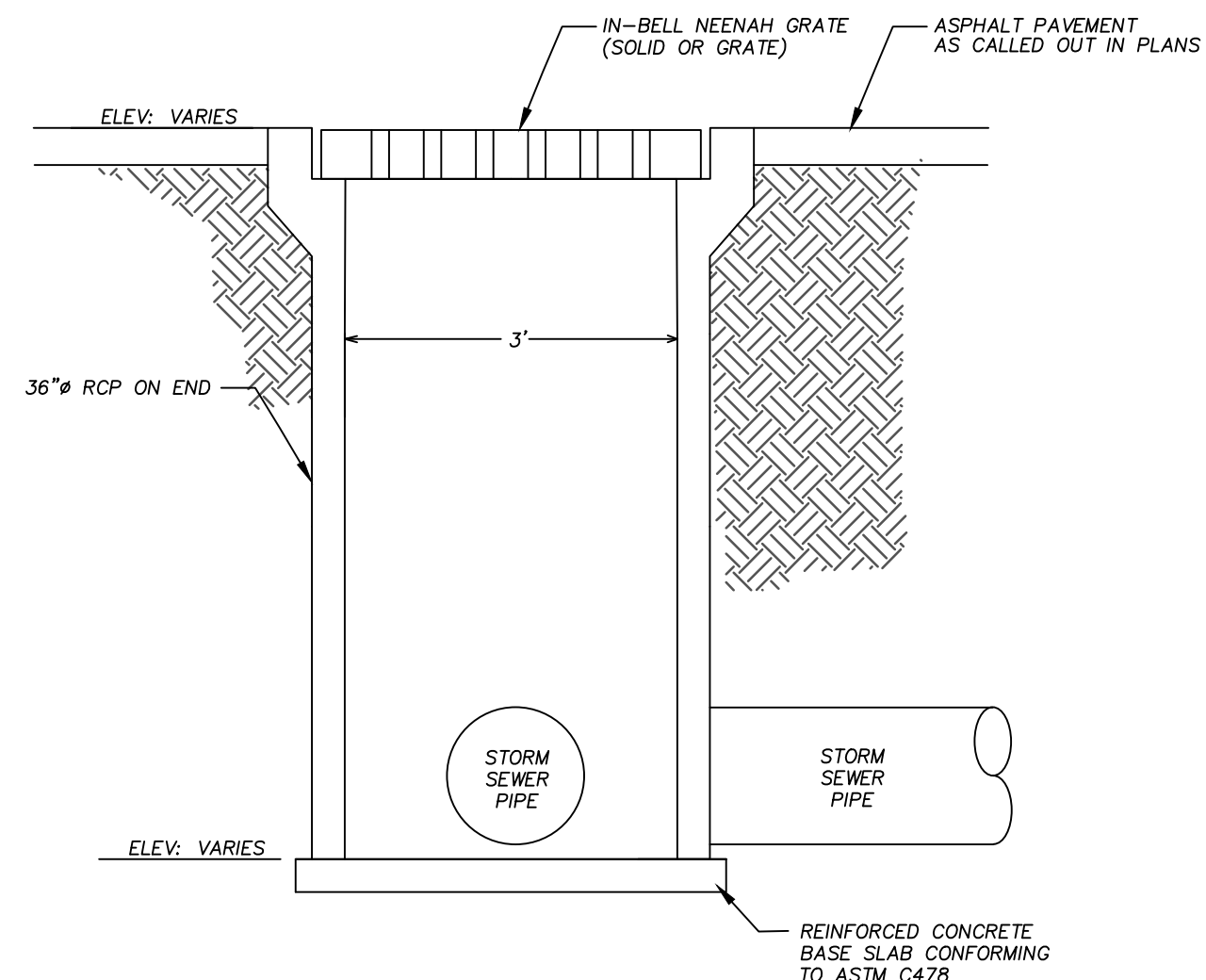
1 PRIVATE THICKENED EDGE SIDEWALK
SCALE: NTS



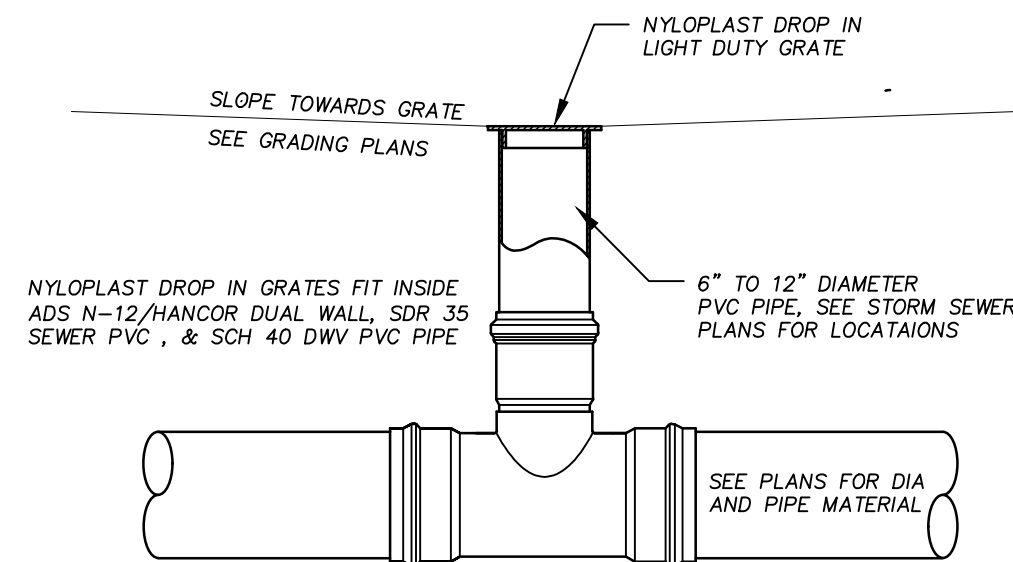
2 PRIVATE SIDEWALK / STOOP INTERFACE
SCALE: NTS



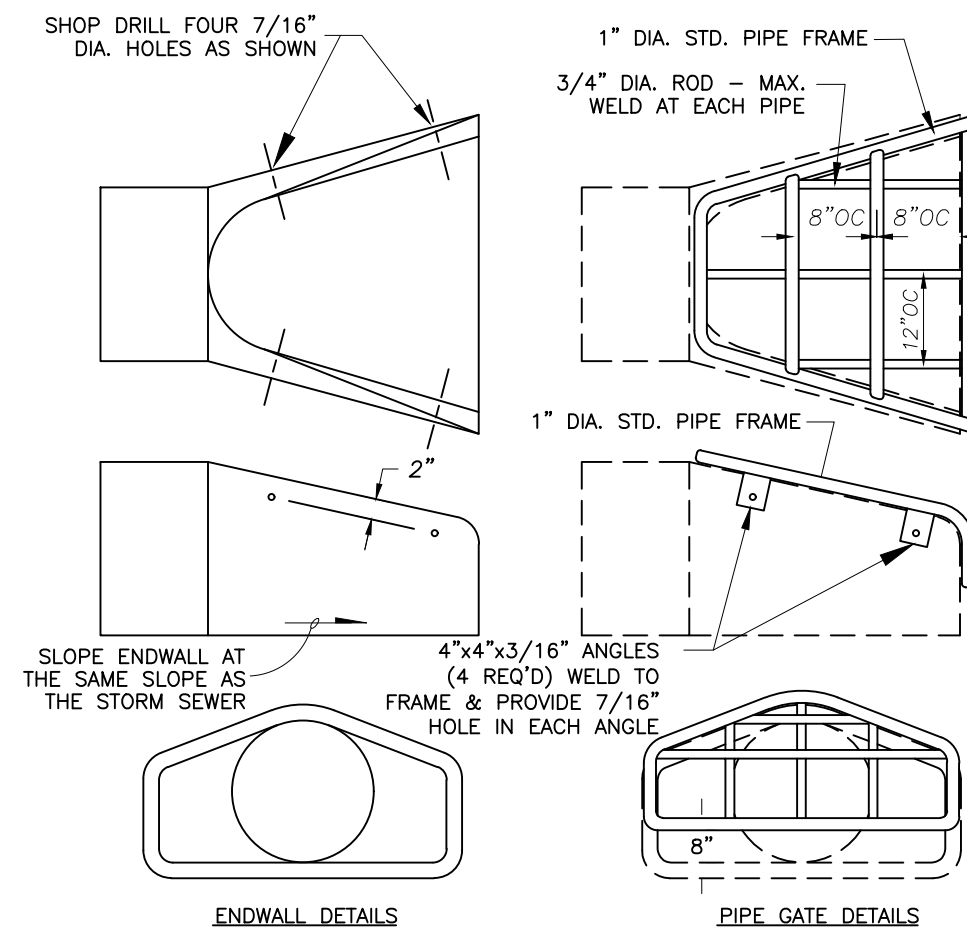
3 PRIVATE TRUNCATED DOME DETAIL
SCALE: NTS



4 PRIVATE IN-BELL STORM SEWER INLET
SCALE: NTS

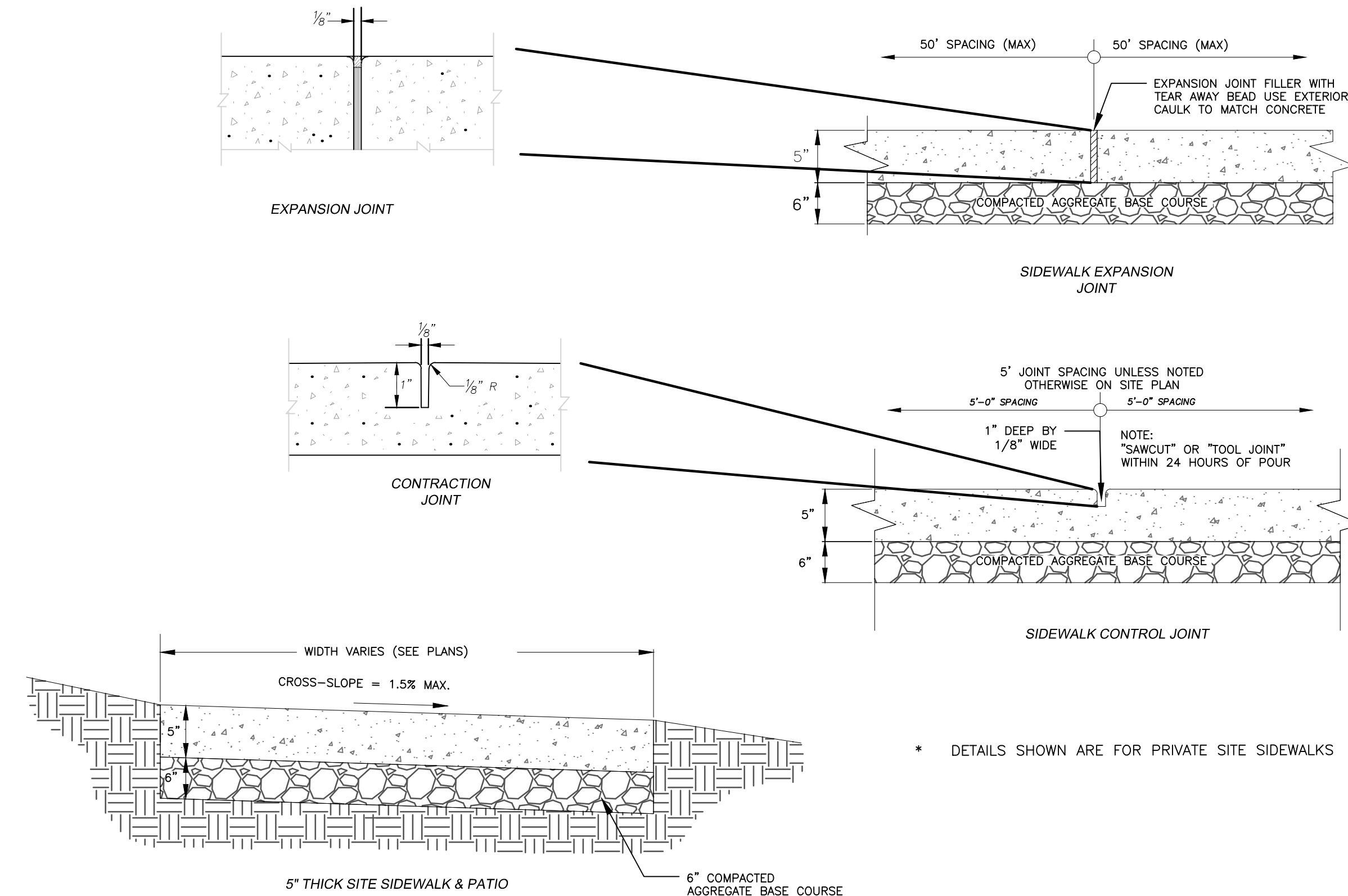


5 PRIVATE DROP IN DRAIN DETAIL
SCALE: NTS

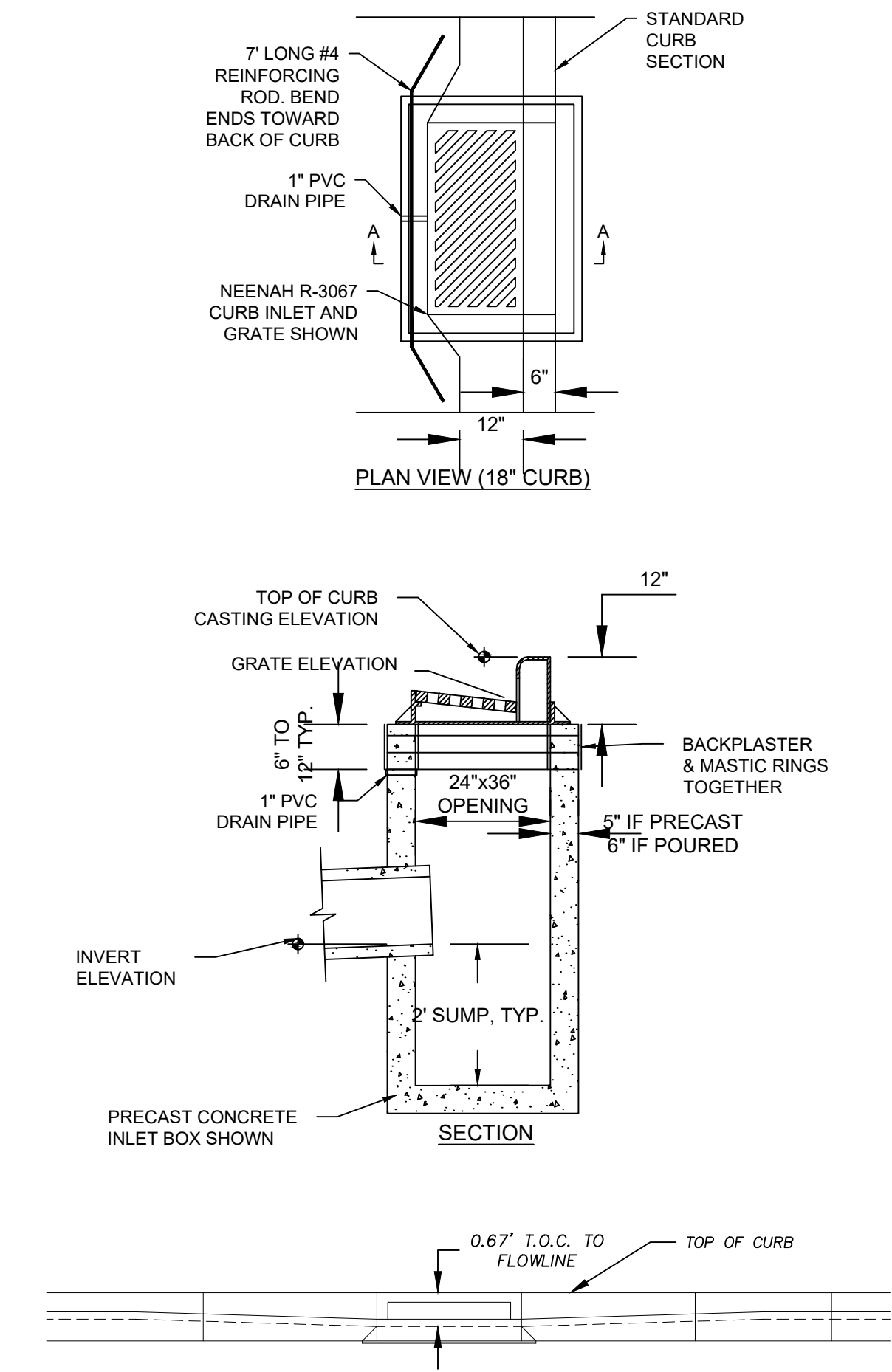


NOTES:
- THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.
- THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.
PREPARATION STEPS:
1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
3. ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

7 PRIVATE STANDARD ENDWALL DETAILS
SCALE: NTS



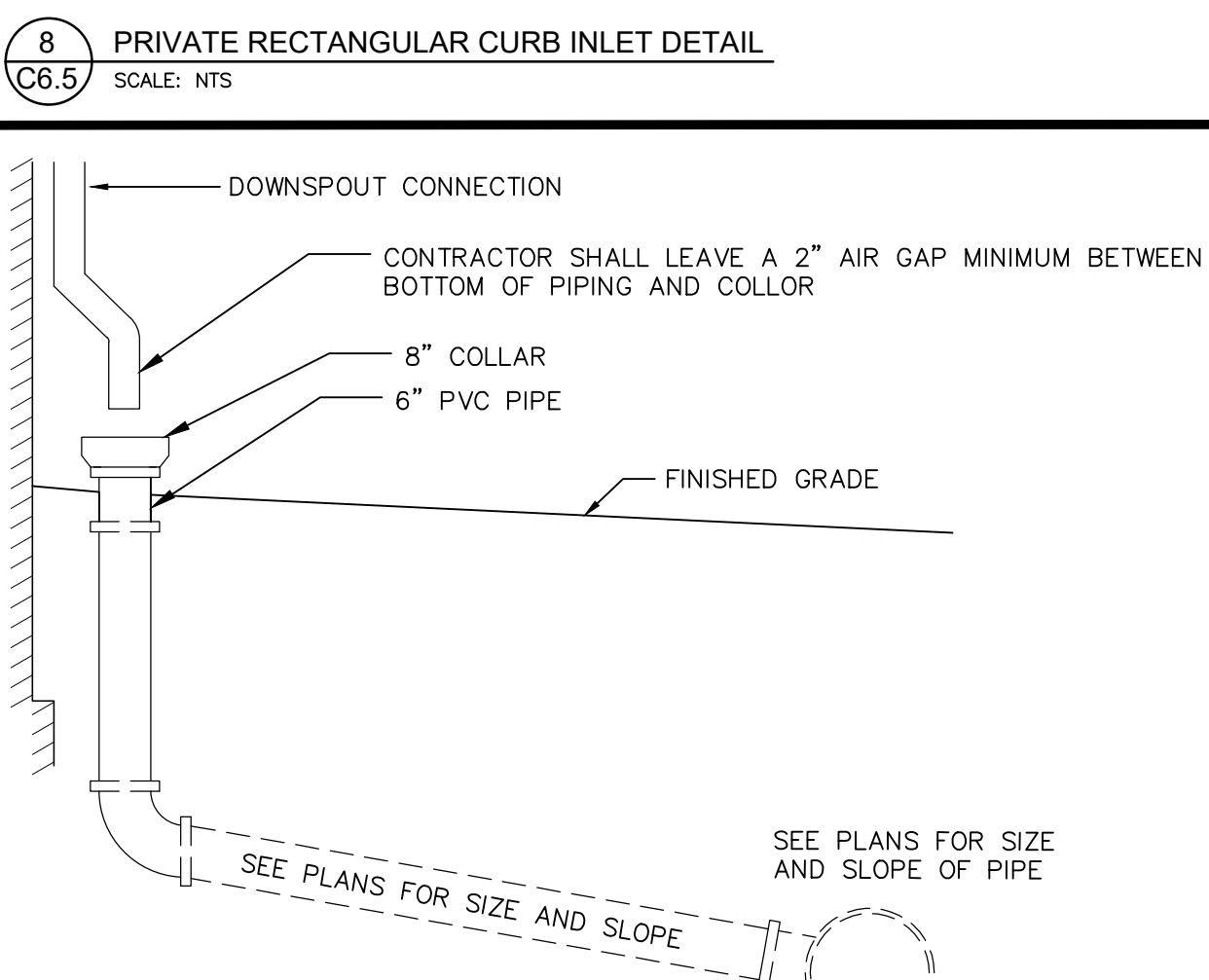
6 PRIVATE CONCRETE SIDEWALK DETAILS
SCALE: NTS



8 PRIVATE RECTANGULAR CURB INLET DETAIL
SCALE: NTS

NOTE:
EXPANSION JOINT MATERIAL SHALL BE PLACED 10" AWAY FROM BOTH SIDES OF ANY INLET.

NOTES:
- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.16" FROM STRAIGHT GUTTER GRADE STARTING 3' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.
- THE CASTING SHALL BE NEEHAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEEHAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.
- FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.



9 PRIVATE DRAIN CONNECTION DETAIL
SCALE: NTS

MARK	REVISION	BY	DATE

Engineer: SJA
Checked By: AJK
Technician: MWV
Scale: 1" = NTS
T-R-S: 16N-R8E-S15
Date: 2/7/2022

FITCHBURG, WISCONSIN

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FITCHBURG TOWNHOMES

MISC. DETAILS

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MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 30'	
Technician: MW	Date: 2/7/2022	T-R-S: 16N+R6-S15	
Project No: 117.0990.30			Sheet L 1.0

FITCHBURG TOWNHOMES

LANDSCAPE PLAN

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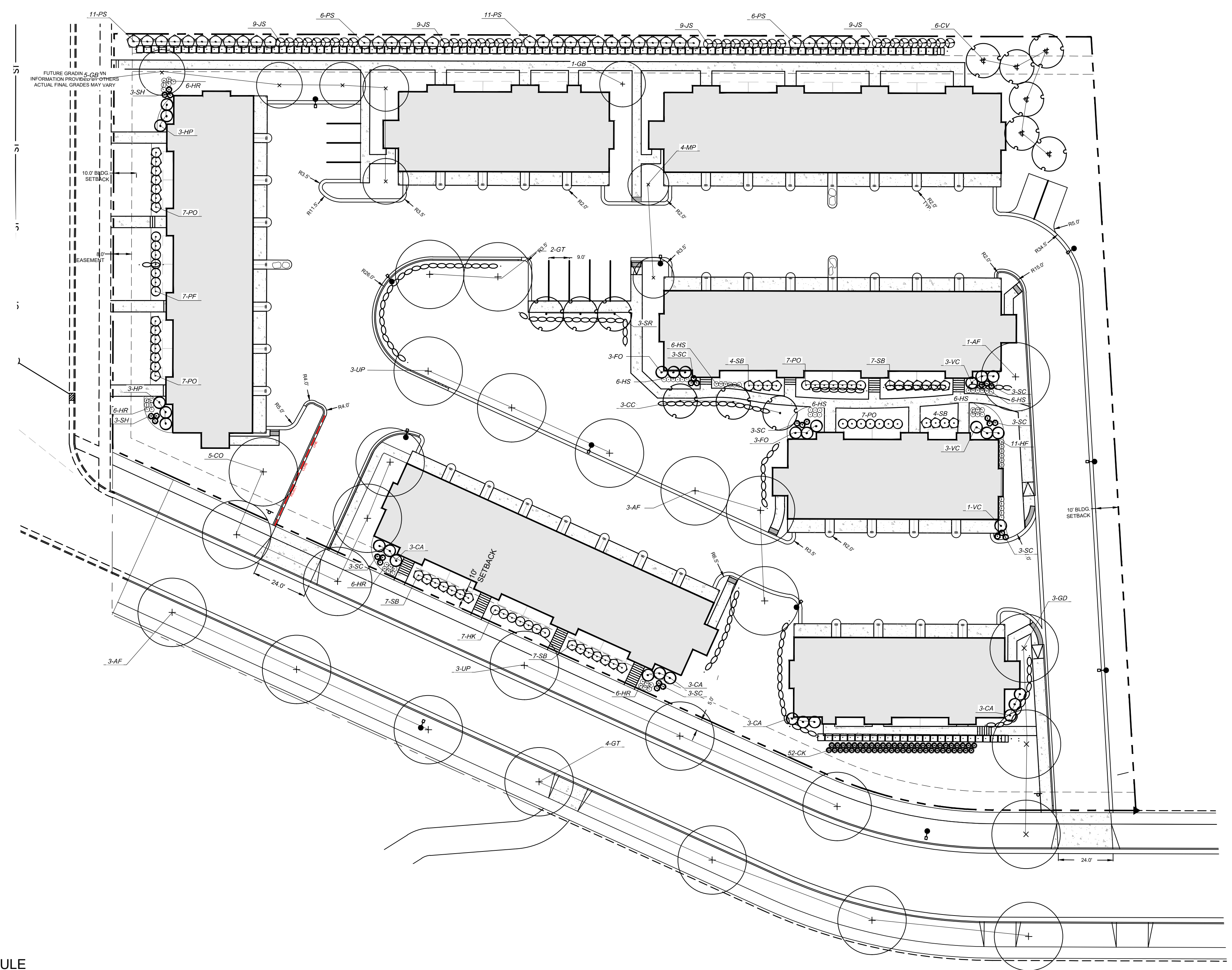
SNYDER & ASSOCIATES

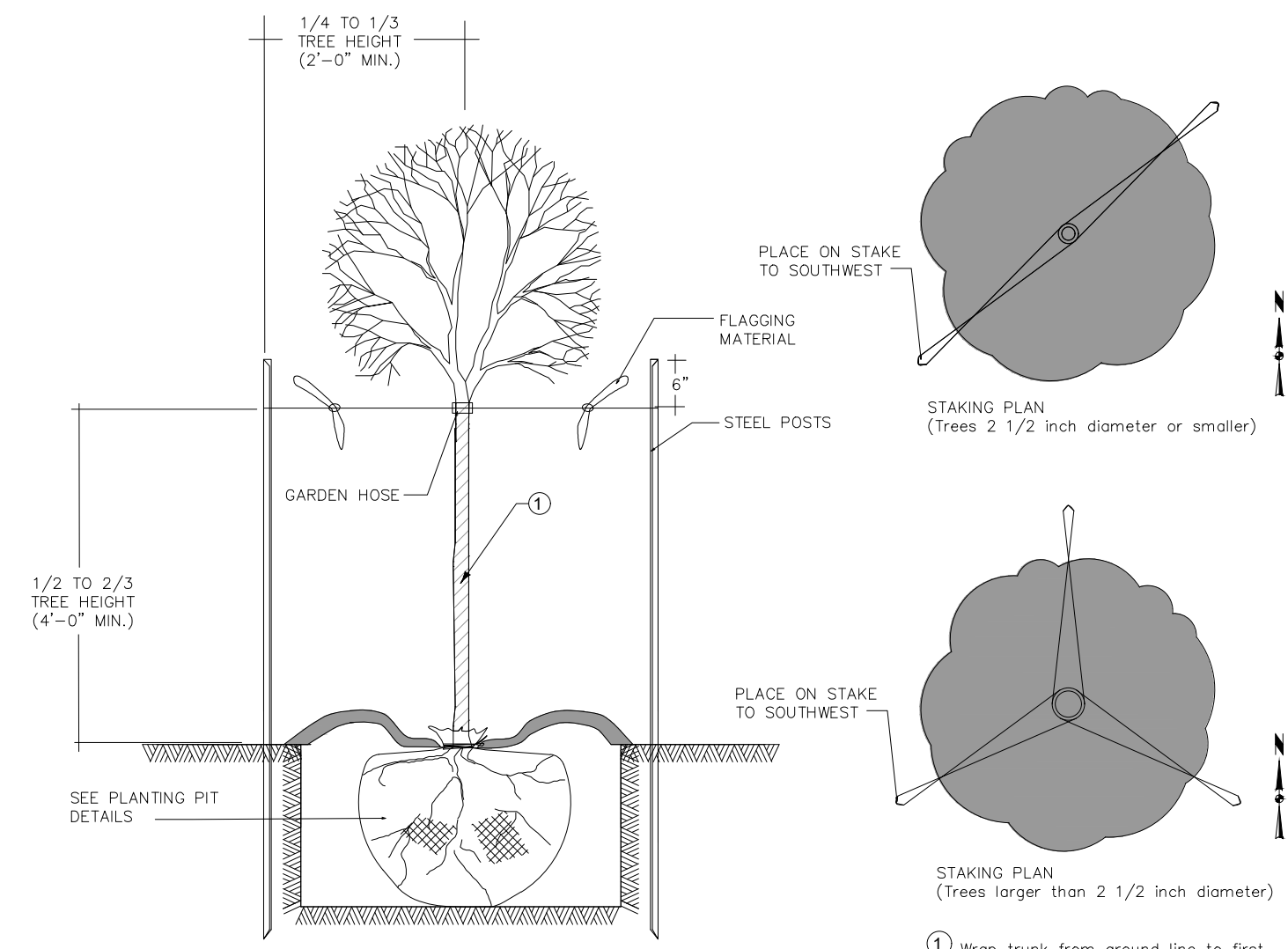
Know what's below.
Call before you dig.

Project No: 117.0990.30
Sheet L 1.0

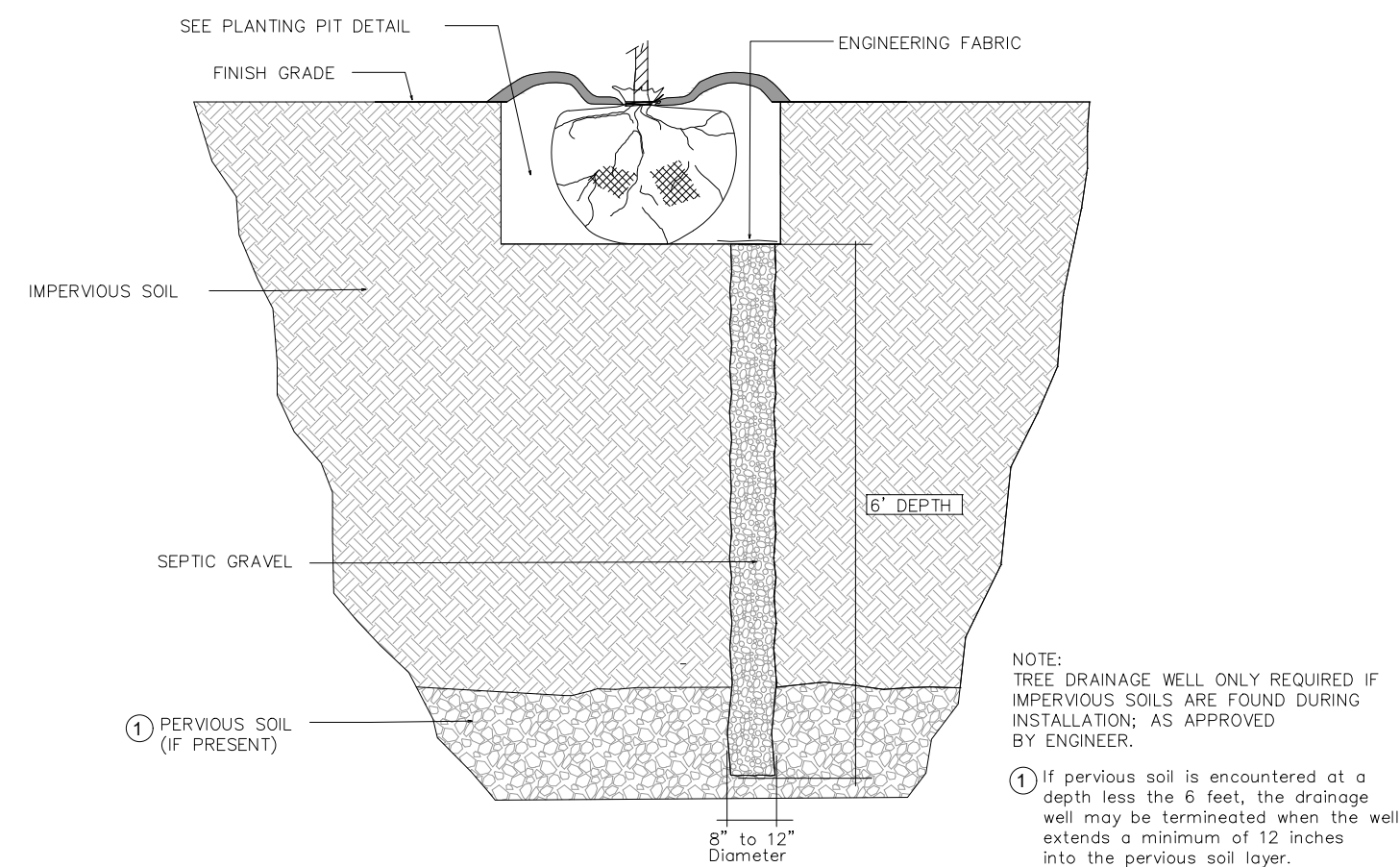
PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.
- E. CONTRACTOR SHALL PROPERLY CARE FOR ALL PLANT MATERIAL DURING CONSTRUCTION AND FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE.
- F. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANT MATERIAL TO A MINIMUM OF 3-FOOT PERIMETER. PROVIDE CONTINUOUS MULCH BEDS IN AREAS INDICATED ON PLAN AND AROUND ALL SHRUB BEDS. DO NOT PLACE MULCH WITHIN 2-INCHES OF ROOT COLLAR OR TRUNK. CONTRACTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4" DEPTH INTO EXISTING GRADE TO DEFINE THE MULCH BED LIMITS, UNLESS OTHERWISE DIRECTED BY OWNER.
- G. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- H. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.
- I. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- J. TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- K. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE PLANT MATERIAL PRIOR TO PLANTING AND SEEDBED PREPARATION PRIOR TO SEEDING.
- L. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 10 FEET FROM FIRE HYDRANTS AND UTILITY LINES, UNLESS OTHERWISE DIRECTED BY ENGINEER. ALL TREES SHALL BE PLANTED A MINIMUM DISTANCE OF 4 FEET FROM ALL PAVEMENTS.
- M. PLANT SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- N. GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND MULCH. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF DOT SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET ON THE NEXT PAGE. AN ITEMIZED LIST OF THE EROSION CONTROL ITEMS CAN BE FOUND BELOW WITH AN ESTIMATED COST FOR EACH.
- O. TREES PLANTED WITHIN THE RIGHT OF WAY WILL BE PLANTED BY THE CITY OF FITCHBURG.

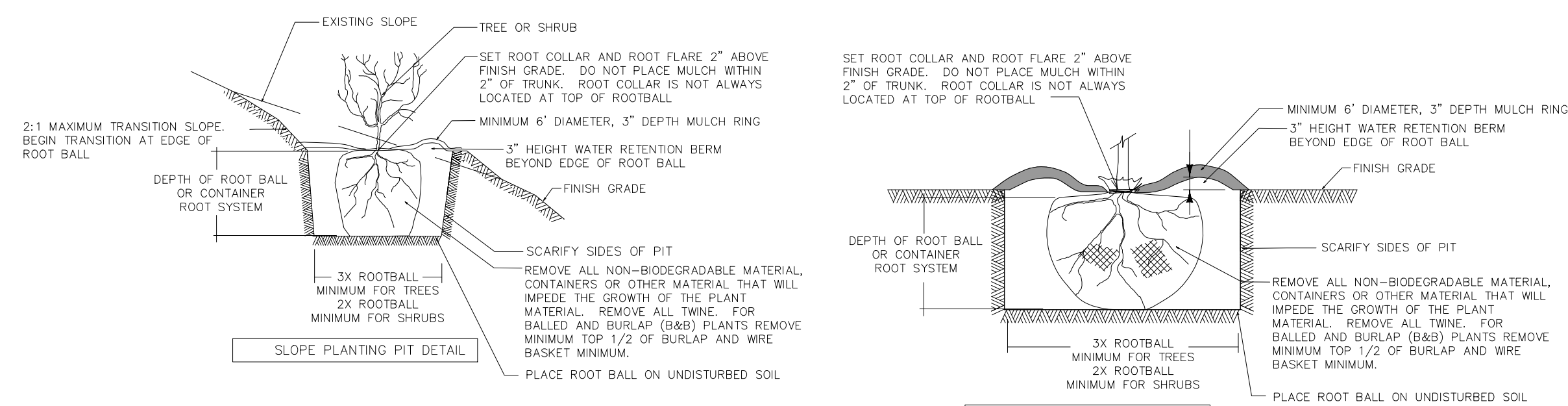




1 PRIVATE DECIDUOUS TREE STAKING DETAIL
L1.1 NO SCALE



2 PRIVATE TREE DRAINAGE WELL DETAIL
L1.1 NO SCALE



3 PRIVATE PLANTING PIT DETAILS
L1.1 NO SCALE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = NTS	
Technician: MW	Date: 2/7/2022	T-R-S: T6N-R8E-S15	

FITCHBURG TOWNHOMES
PRIVATE LANDSCAPE DETAILS

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