



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the PDD-SIP district to the B-X district the following described property: PDD-SIP Amendment

1. Location of Property/Street Address: 3052 Cahill Main, Fitchburg, Wisconsin

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Lot 3 of Certified Survey Map 9158 recorded in Dane County Register of Deeds in Volume 51 of Certified Survey Maps on page 248 as Document No. 3064965.

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

The current zoning designation use is limited to only financial institutions. To allow for a broader variety of commercial and office uses at the subject property, including retail, owner is requesting an amendment to the zoning designation to allow general retail and office uses. Existing Building is 4,536 sq. ft. and has 19 parking stalls as shown on site plan.

3. Proposed Development Schedule: N/A

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): N/A

Total Dwelling Units Proposed: N/A No. Of Parking Stalls: N/A

Type of Non-residential Development (If Applicable): N/A

Proposed Hours of Operation: N/A No. Of Employees: N/A

Floor Area: N/A No. Of Parking Stalls: N/A

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: Klinke Hatchery LLC

Address: 3052 Cahill Main, Fitchburg, WI Phone No: (608) 209-0880

Contact Person: Steve Klinke

Email: steve@klinkerealestate.com

Address: 4518 Monona Drive, Madison, WI 53719 Phone No: (608) 209-0880

Respectfully Submitted By: *Steve Klinke* Steve Klinke
 Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 12/14/21 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$ 875

Permit Request No. P2-2421-22

December 10, 2021

Joia Sanders Wodarczyk
Direct Dial: 608-229-2239
jwodarczyk@reinhartlaw.com

DELIVERED BY FEDEX

City of Fitchburg
Planning and Zoning Department
5520 Lacy Road
Fitchburg, Wisconsin 53711

Dear Sir or Madam:

Re: Re-Zoning Application by Klinke
Hatchery LLC

Enclosed please find the following in connection with a request to amend the PDD-SIP zoning designation of the property located at 3052 Cahill Main, Fitchburg, Wisconsin to allow for B-G uses, which will permit for marketing of a vacant building on such property and will allow a broader variety of retail or office use that is similar to the uses permissible under the zoning designations of the surrounding neighboring properties:

1. Re-Zoning Application
2. Check for \$875.00 payable to the City of Fitchburg (Application Fee)
3. Three (3) 11 x 17 copies of a site plan

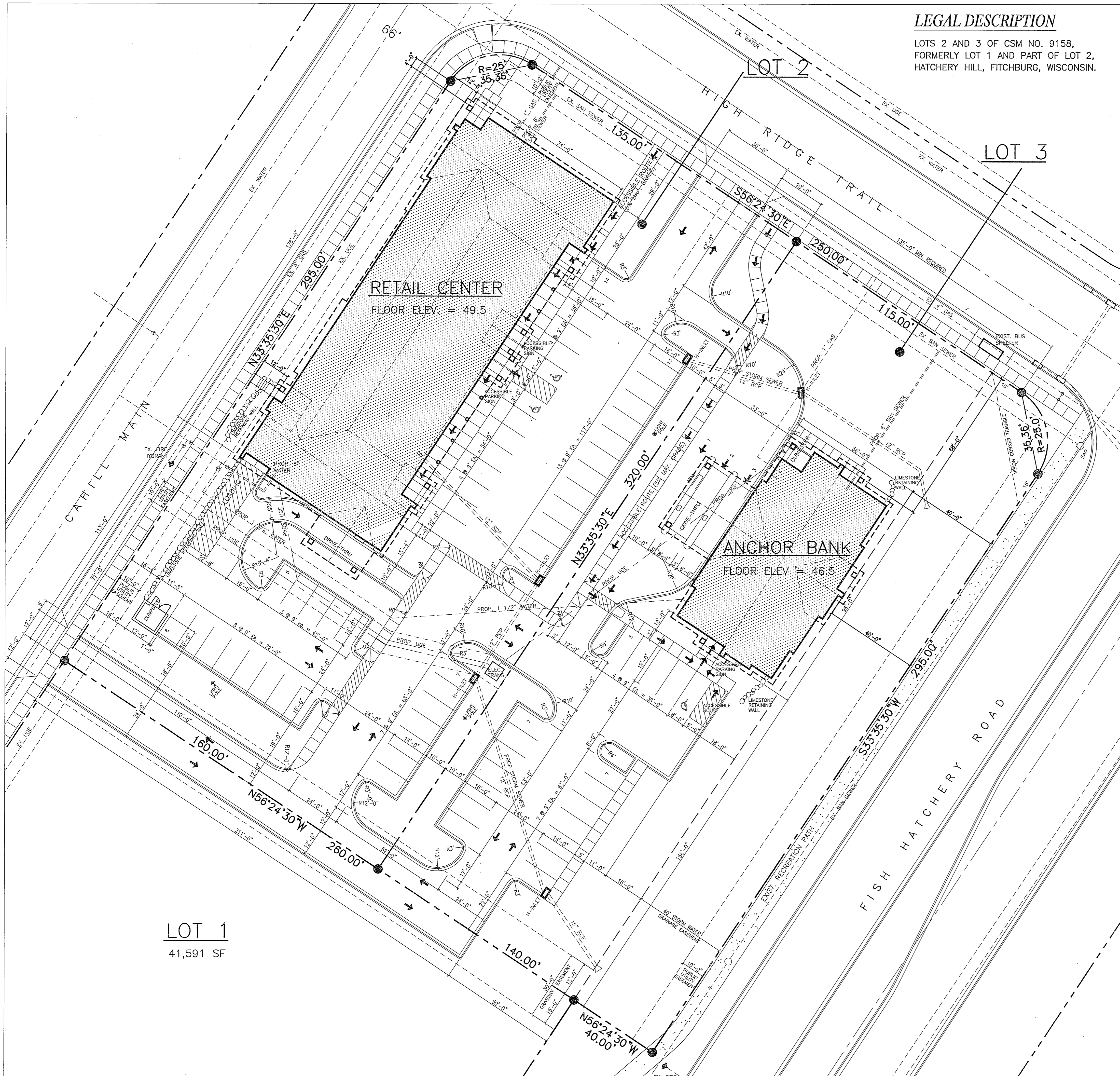
Copies of the above are also being submitted electronically to planning@fitchburgwi.gov. Should you have any questions or comments, please feel free to contact me at (608) 229-2239.

Yours very truly,



Joia Sanders Wodarczyk

46477719v2



LEGAL DESCRIPTION

LOTS 2 AND 3 OF CSM NO. 9158,
FORMERLY LOT 1 AND PART OF LOT 2,
HATCHERY HILL, FITCHBURG, WISCONSIN.

SITE AND BUILDING STATISTICS

SITE AREA LOT 2 = 51,066 SF
LOT 3 = 44,666 SF
TOTAL = 95,732 SF (2.20 ACRES)

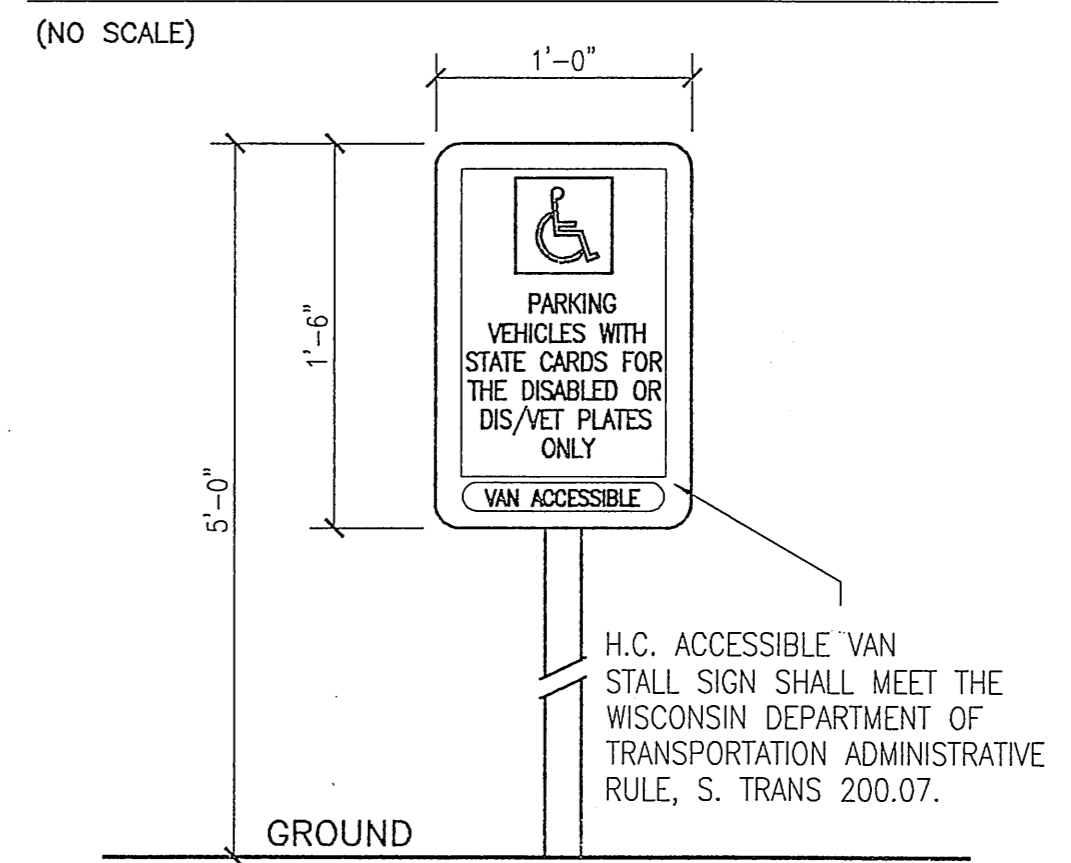
PARKING ANCHOR BANK = 19 CARS
RETAIL CENTER = 47 CARS

RETAIL CENTER FLOOR AREA = 11,760 SF
ONE STORY
TYPE 8 CONSTRUCTION (FULLY SPRINKLERED)
CHAPTER 54 OCCUPANCY TYPE
USE: RETAIL/MERCHANTILE

ANCHOR BANK FLOOR AREA = 4,536 SF
ONE STORY
TYPE 8 CONSTRUCTION (NOT SPRINKLERED)
CHAPTER 54 OCCUPANCY TYPE
USE: BANK/OFFICE

REQUIRED AREA RATIOS
(NOTE: F.A.R. AND I.S.A.R. ARE BASED ON AGGREGATE OF AREAS AND SITE IMPROVEMENTS FOR BOTH SITES)
PROPOSED F.A.R. = .17 (.18 MAX. ALLOWABLE)
PROPOSED I.S.A.R. = .58 (.60 MAX. ALLOWABLE)

ACCESSIBLE PARKING SIGN DETAIL



SHEET INDEX

- C1.1 SITE AND UTILITY PLAN
 - C2.1 GRADING AND EROSION CONTROL PLAN
 - C3.1 SITE LIGHTING PLAN
 - L1 LANDSCAPE PLAN
- ANCHOR BANK**
- A1.1 FLOOR PLAN
 - A1.2 ROOF PLAN
 - A1.3 RESTROOM PLANS, SCHEDULES
 - A2.1 ELEVATIONS
 - A3.1 BUILDING SECTIONS
 - A3.2 BUILDING SECTIONS
 - A4.1 DETAILS
 - A4.2 DETAILS
 - S1.1 FOOTING & FOUNDATION DETAILS
 - S1.2 ROOF FRAMING PLAN
 - S2.1 STRUCTURAL DETAILS
- RETAIL CENTER**
- AA1.1 FLOOR PLAN
 - AA1.2 ROOF PLAN
 - AA2.1 ELEVATIONS
 - AA3.1 BUILDING SECTIONS
 - AA3.2 BUILDING SECTIONS
 - AA4.1 DETAILS
 - AA4.2 DETAILS
 - AA4.3 DETAILS
 - SS1.1 FOOTING & FOUNDATION PLAN
 - SS1.2 ROOF FRAMING PLAN
 - SS2.1 STRUCTURAL DETAILS
 - SS2.2 STRUCTURAL DETAILS

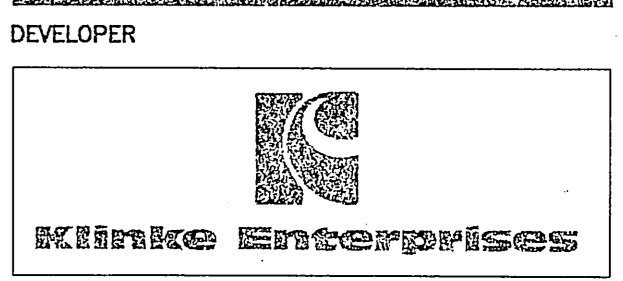
Design/Build Construction Services
Architecture
Engineering



CONTRACT DOCUMENT

Owner _____
Approval Date _____
Contractor _____
Approval Date _____

Three Point Place
Madison, WI 53719
608 833 2321
608 833 7964 FAX



4518 MONONA DRIVE
MADISON, WISCONSIN 53716

608-222-6060

PROJECT
KLINKE-
HATCHERY HILL

RETAIL CENTER AND
ANCHOR BANK

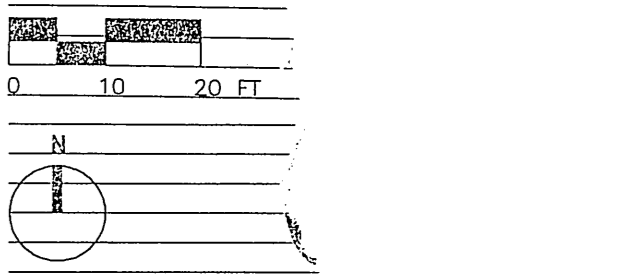
3052 CAHILL MAIN
FITCHBURG, WI

ISSUED
10-15-98 PRELIMINARY SITE PLAN
12-09-98 LAND DISTURBANCE PERMIT
02-01-99 PRICING SET
03-01-99 CSM SUBMITTAL

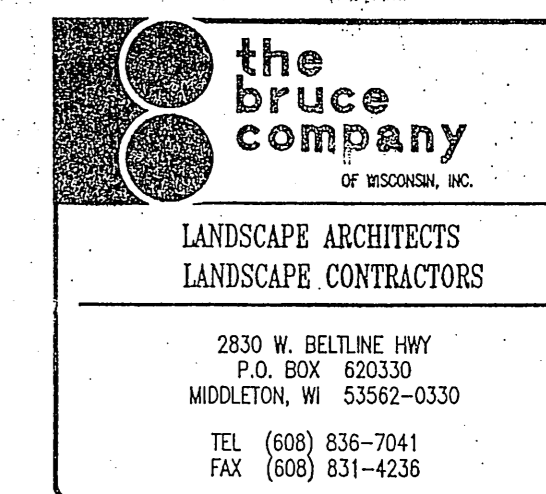
REVISED

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PROJECT NUMBER

**SITE AND
UTILITY PLAN**



Three Point Place
Madison, WI 53719
608 833 2321
608 833 7964 FAX



DEVELOPER

KLINKE ENTERPRISES

4518 Monona Drive
Madison, Wisconsin

608-222-6060

PROJECT

**HATCHERY HILL
RETAIL CENTER**

Lot One, Hatchery Hill
Fitchburg, Wisconsin

ISSUED

11-10-98 PLAN COMM. SUBMITTAL

REVISED

11-16-98 LANDSCAPE PLAN

12-1-98 LANDSCAPE PLAN

2-4-99 LANDSCAPE PLAN

3-1-99 LANDSCAPE PLAN

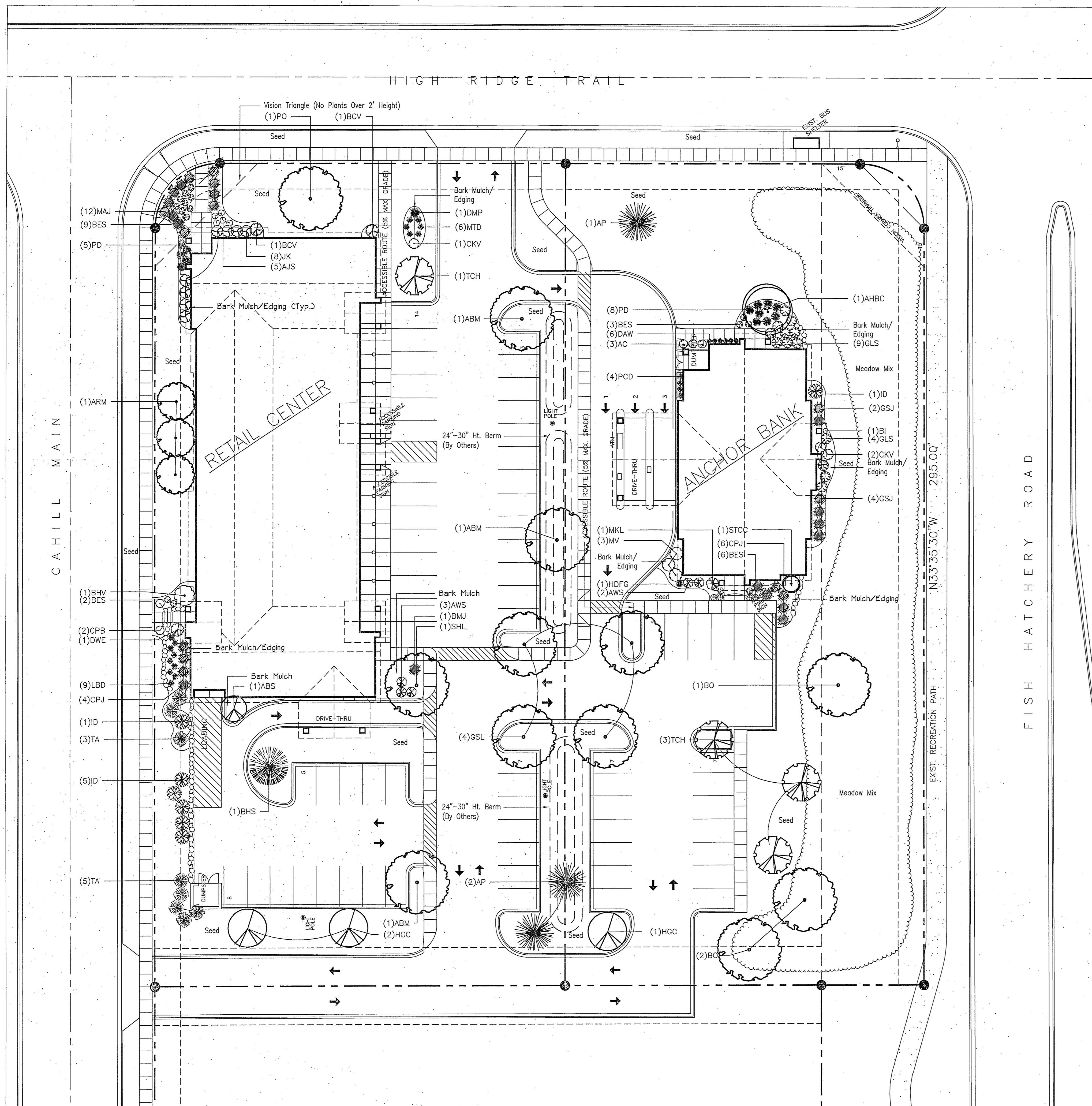
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PROJECT NO. 397

0 10 20 40 FT



SHEET



PLANT MATERIAL LIST

CODE	QTY	COMMON NAME	SIZE	ROOT
SHADE TREES				
AHB	1	American Hornbeam (Clump)	6"	B&B
ARM	3	Armstrong Red Maple	2"	B&B
ABM	3	Autumn Blaze Red Maple	2"	B&B
BO	3	Bur Oak	2"	B&B
GSL	4	Greenspire Littleleaf Linden	2"	B&B
PO	1	Pin Oak	2"	B&B
SHL	1	Skyline Thornless Honeylocust	2"	B&B

CODE	QTY	COMMON NAME	SIZE	ROOT
ORNAMENTAL TREES				
ABS	1	Autumn Brilliance Serviceberry	6"	B&B
HGC	3	Harvest Gold Crabapple	1 3/4"	B&B
STCC	1	Sargent Crabapple (Clump)	6"	B&B
TCH	4	Thornless Cocksbur Hawthorn	6"	B&B

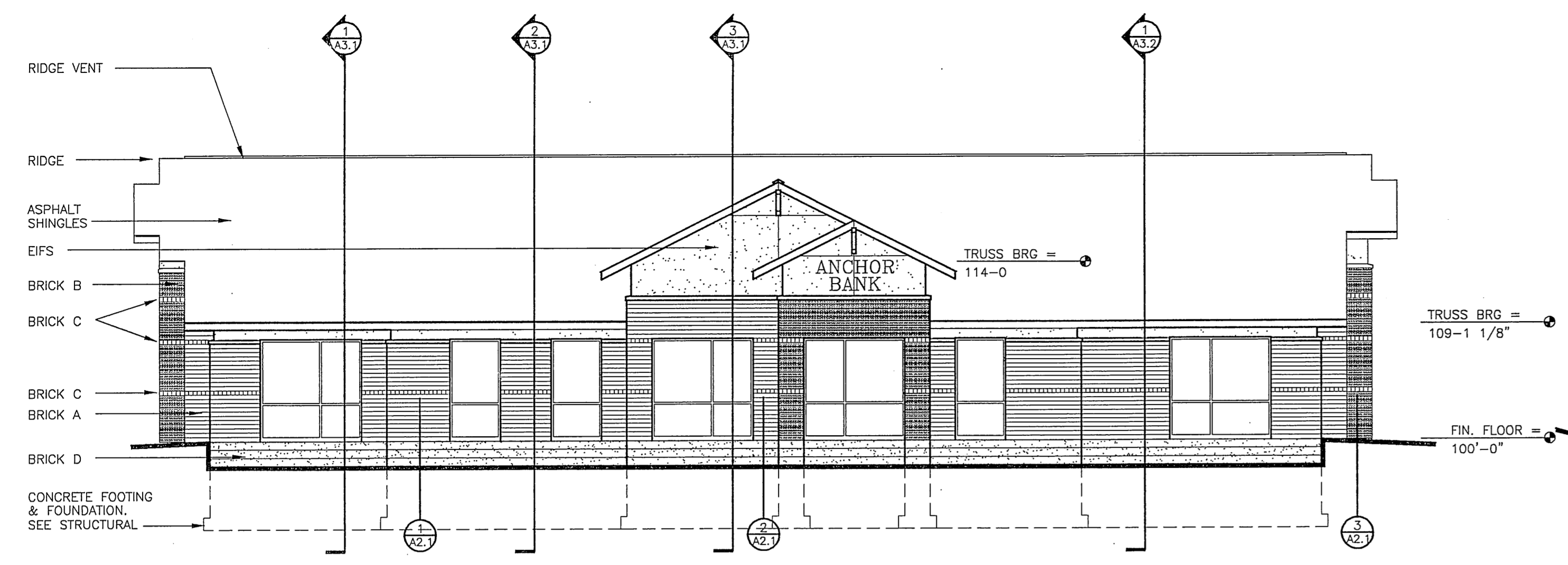
CODE	QTY	COMMON NAME	SIZE	ROOT
DECIDUOUS SHRUBS				
AC	3	Alpine Currant	18"	Pot
AWS	5	Anthony Waterer Spirea	15"	Pot
BCV	2	Bailey Compact American Cranberrybush	30"	B&B
BHV	1	Blackhaw Viburnum	4"	B&B
CKV	3	Compact Koreanspice Viburnum	18"	B&B
CPB	2	Crimson Pymy Barberry	2 GAL	CONT.
DWE	1	Dwarf Winged Euonymus	30"	B&B
GLS	13	Gre-low Fragrant Sumac	2 GAL	CONT.
ID	7	Isanil Dogwood	3"	Pot
JK	8	Japanese Kenia	18"	Pot
MKL	1	Miss Kim Lilac	24"	B&B
MV	3	Morican Viburnum	3"	Pot

CODE	QTY	COMMON NAME	SIZE	ROOT
EVERGREENS				
AP	3	Austrian Pine	4"	B&B
BHS	1	Black Hills Spruce	4"	B&B
BMJ	1	Broadmoor Juniper	2 GAL	CONT.
CPJ	10	Compact Pfitzer Juniper	2 GAL	CONT.
DMP	1	Dwarf Mugo Pine	18"	Pot
GSJ	6	Green Sargent Juniper	2 GAL	CONT.
MAJ	12	Mini Arcadia Juniper	2 GAL	CONT.
TA	8	Techy Or Mission Arborvitae	4"	B&B

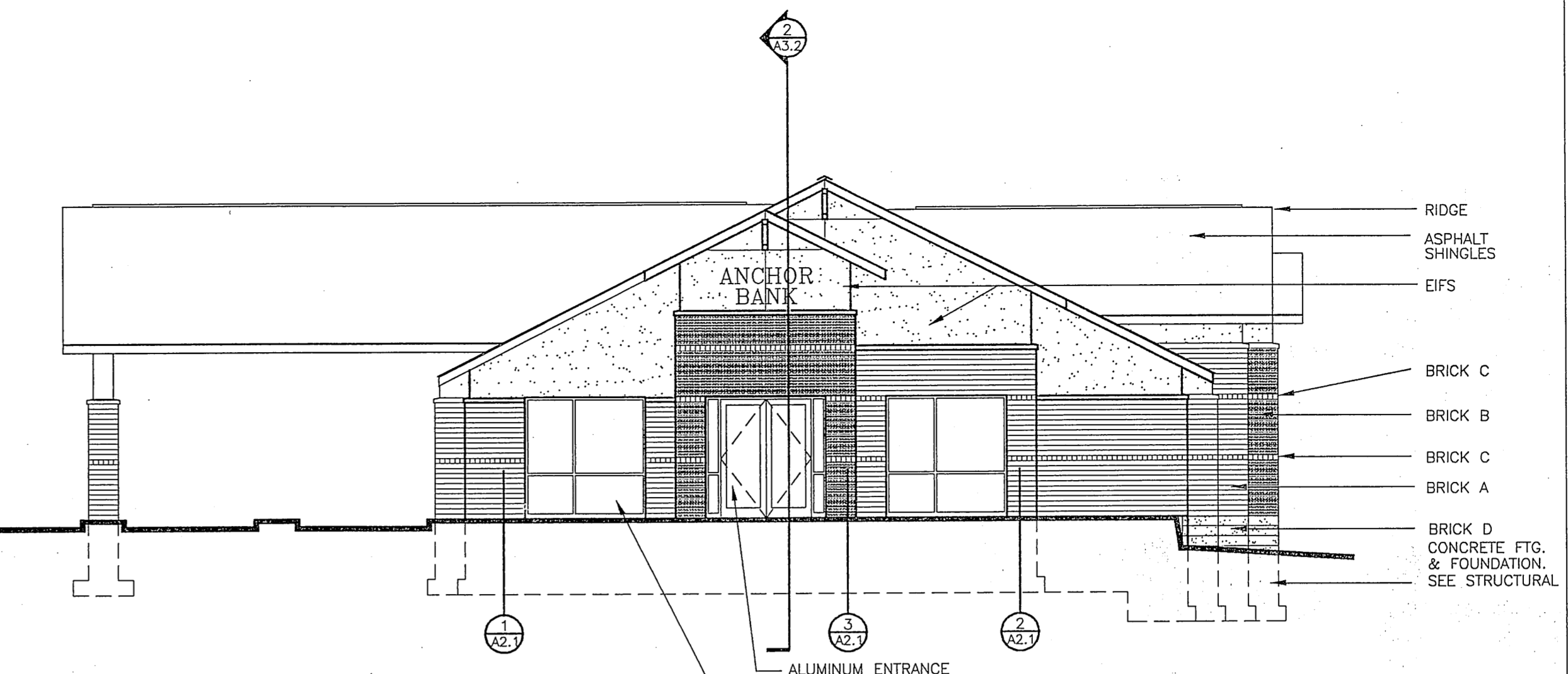
CODE	QTY	COMMON NAME	SIZE	ROOT
GROUNDCOVERS/PERENNIALS				
AJS	5	Autumn Joy Sedum (Red 24")	1 GAL	CONT.
BES	20	Black-eyed Susan	1 GAL	CONT.
BI	1	Boston Ivy	1 GAL	CONT.
DAW	6	Deutschland Astilbe (White)	1 GAL	CONT.
HDFG	1	Hamel Dwarf Fountain Grass	1 GAL	CONT.
LBD	9	Little Business Daylily (Red 15" Em Re)	1 GAL	CONT.
MTD	6	Mary Todd Daylily	1 GAL	CONT.
PCD	4	Parian China Daylily (Peach 30" M Re)	2 GAL	CONT.
PD	13	Prairie Droseed	1 GAL	CONT.

GENERAL NOTES

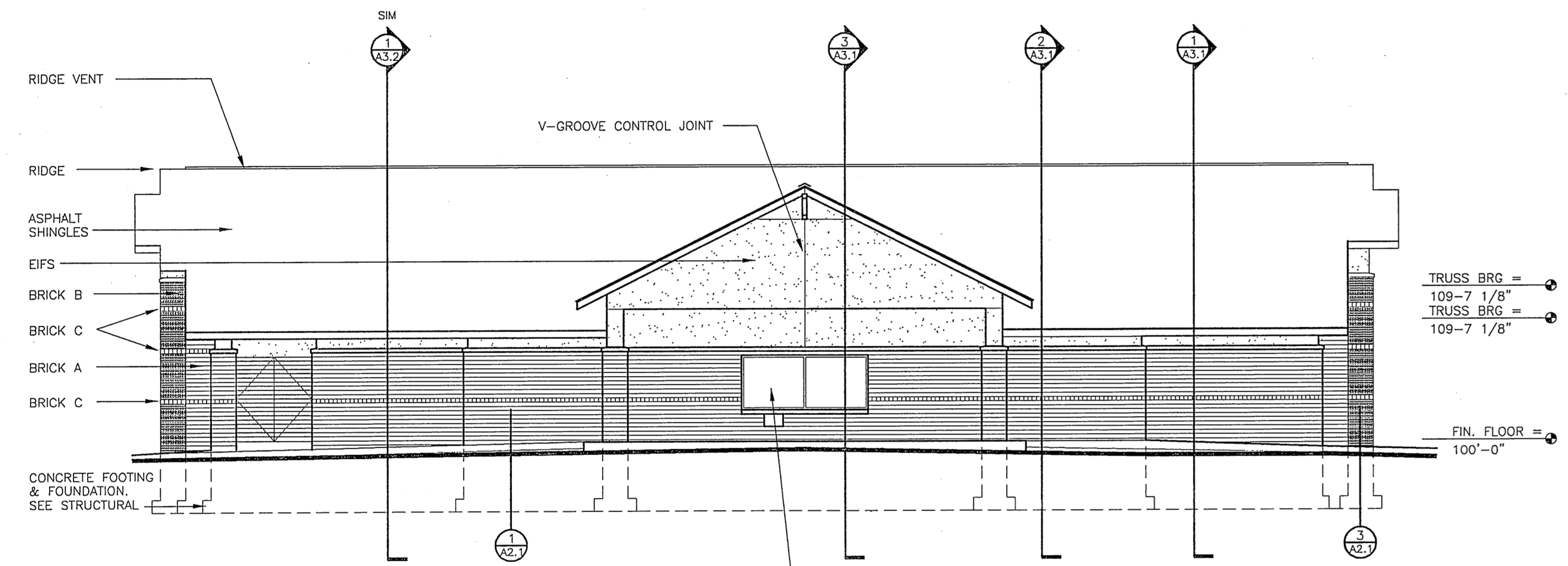
- A) Areas Labeled 'Bark Mulch' to receive a mixture of hardwood shredded shredded bark mulch spread to a 3" depth over pre-emergent.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive bark rings (and bark beds) consisting of a mixture of hardwood shredded bark mulch spread to a minimum 3" depth (3" wide beds for shrub groupings).
- C) 'Plastic Edging' to be Valley View Black Diamond Edging or equivalent.
- D) 'Seed' areas shall be finished graded and seeded at a rate of 4 lbs per 1,000 ft.
- E) Areas labeled 'Seed' shall receive a mixture of the following types:
40% Palmer Ryegrass
20% Baron Bluegrass
20% Nassau Bluegrass
20% Pennlawn Creeping Red Fescue
- F) Meadow Mix to be Medium Soil Seed Mix #50004 from:
Prairie Nursery
PO Box 306
Westfield, WI 53964
608-296-3679
seeded and mulched per Prairie Nursery instructions.



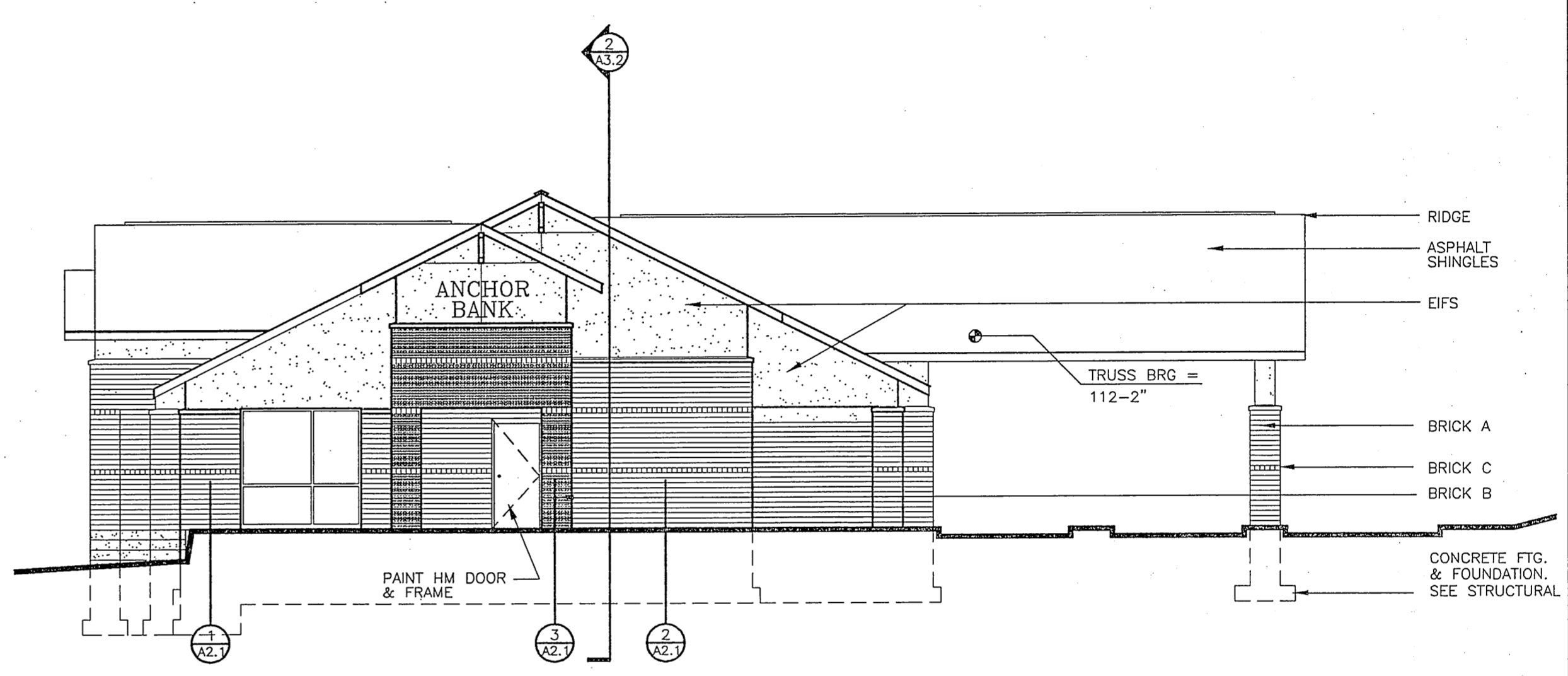
EAST ELEVATION



SOUTH ELEVATION



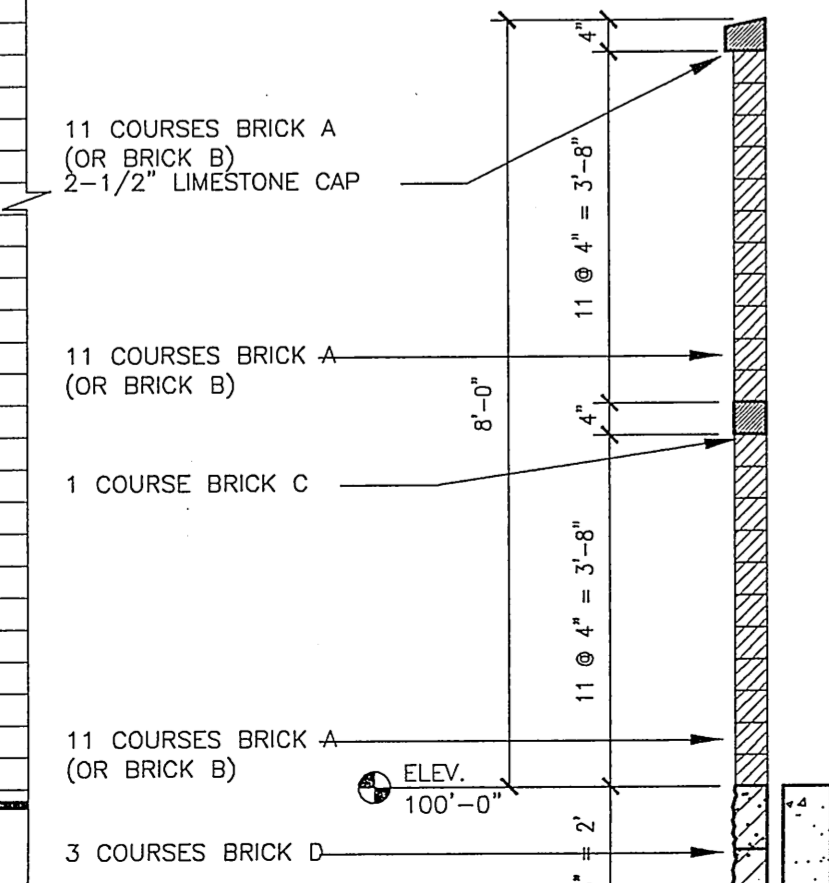
WEST ELEVATION



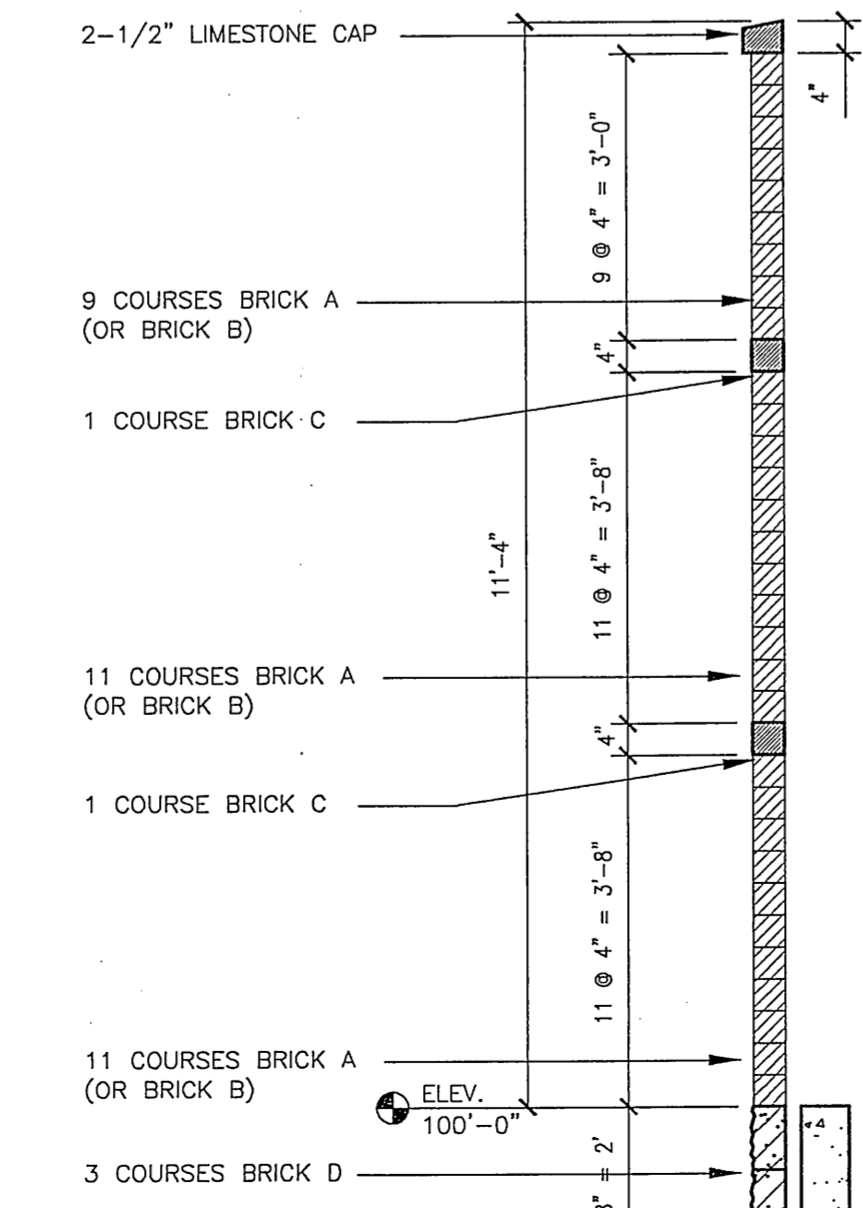
NORTH ELEVATION

- BRICK A**
• KANSAS CITY BRICK & TILE CO. 510 MINGLE, UTILITY
• 4x4x12 NOM. FACE BRICK VENEER IN 1/3 RUNNING BOND PATTERN
- BRICK B**
• KANSAS CITY BRICK & TILE CO. 520 DARK, UTILITY
• 4x4x12 NOM. FACE BRICK VENEER IN 1/3 RUNNING BOND PATTERN
- BRICK C**
• BRICK A & B
• 4x4x4 NOM. FACE BRICK VENEER IN ALTERNATING BRICK/A BRICK B PATTERN

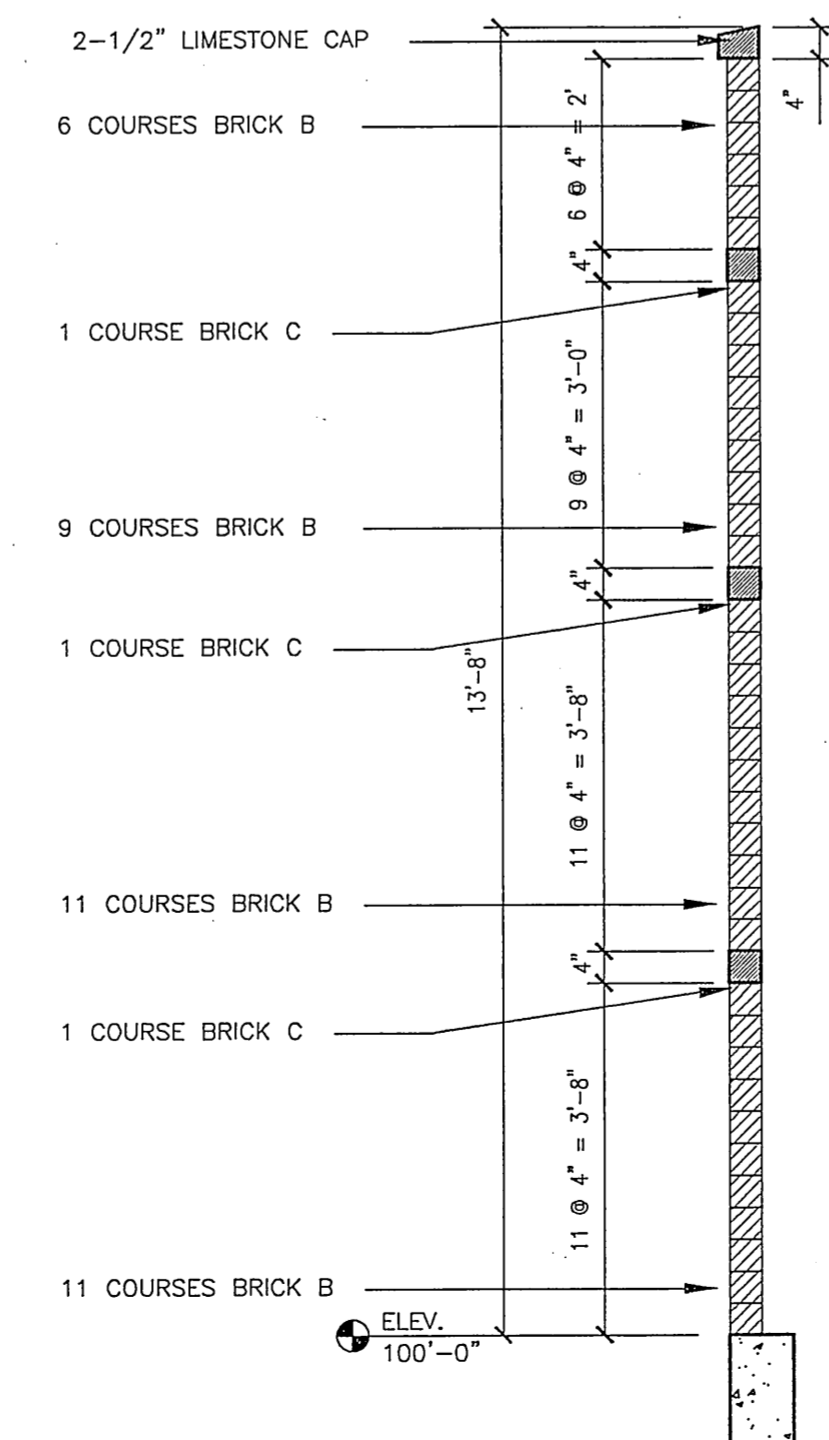
- BRICK D**
• COLORED SPLIT-FACED CMU
• 4x8x16 NOM. VENEER IN RUNNING BOND PATTERN
• PROVIDE SPLIT-FACED FINISHED CORNERS AS REQ'D.



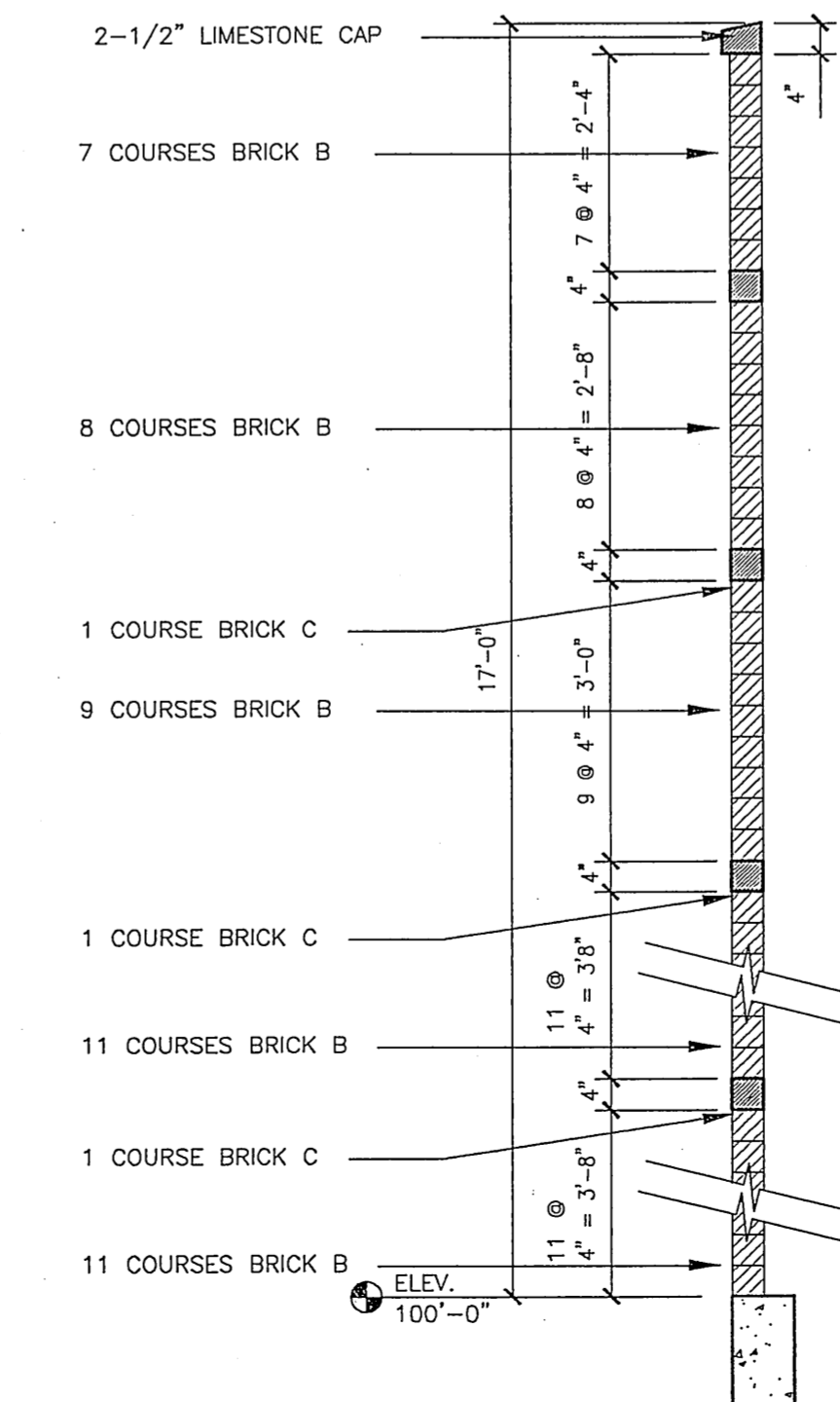
1 MASONRY WALL DETAIL
A2.1 SCALE: 1/2" = 1'-0"



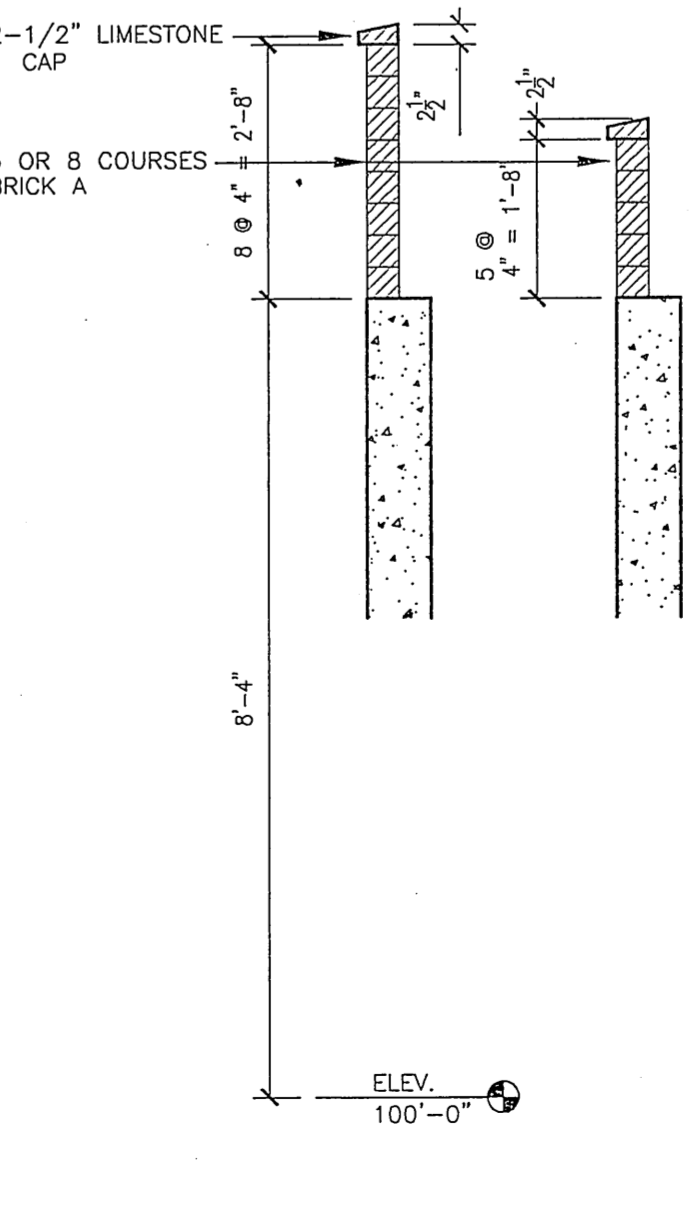
2 MASONRY WALL DETAIL
A2.1 SCALE: 1/2" = 1'-0"



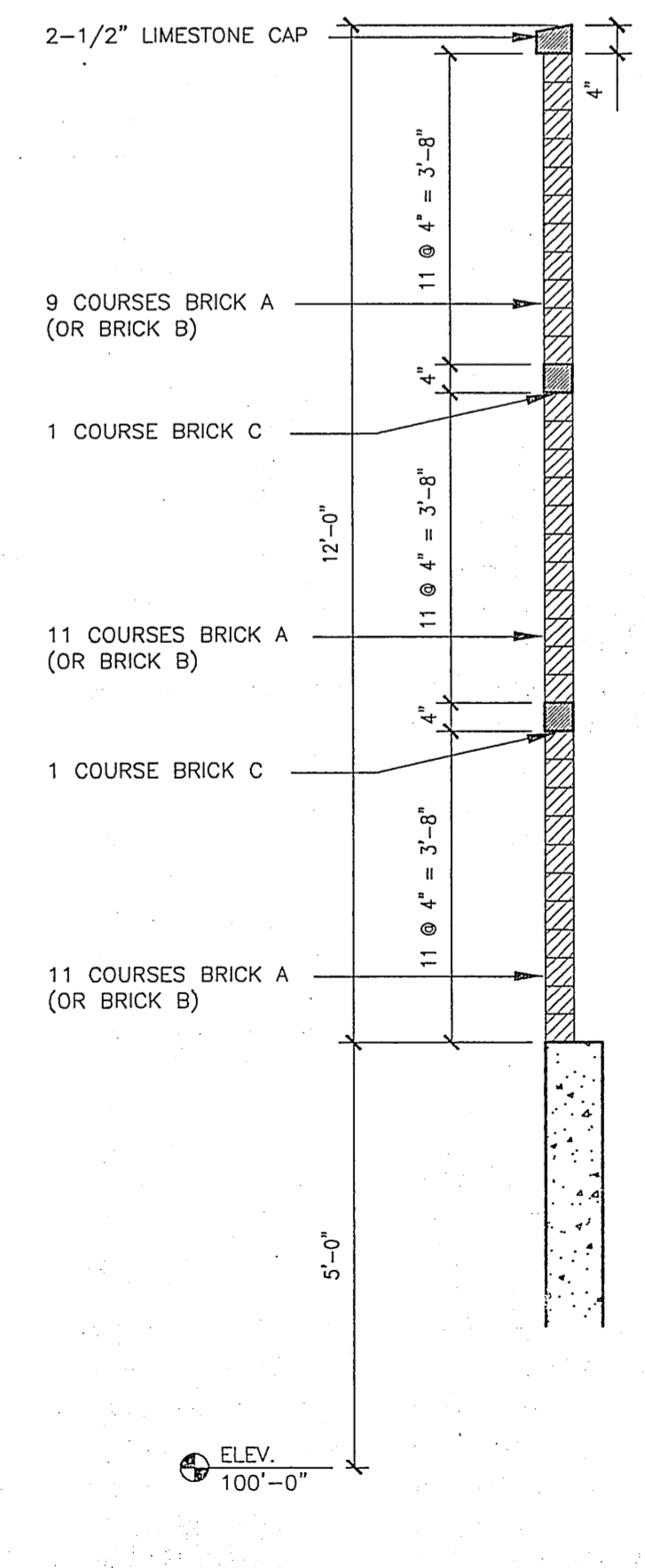
3 MASONRY WALL DETAIL
A2.1 SCALE: 1/2" = 1'-0"



4 MASONRY WALL DETAIL
A2.1 SCALE: 1/2" = 1'-0"



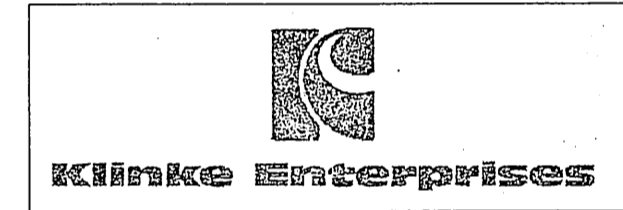
5 MASONRY WALL DETAIL
A2.1 SCALE: 1/2" = 1'-0"



6 MASONRY WALL DETAIL
A2.1 SCALE: 1/2" = 1'-0"

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CONSULTANTS



4518 MONONA DRIVE
MADISON, WISCONSIN 53716

608-222-6060

PROJECT
**KLINKE-
HATCHERY HILL**
RETAIL CENTER and
ANCHOR BANK
FITZBURG, WI

ISSUED
02-01-99 PRICING SET
02-15-99 CONSTRUCTION SET
03-01-99 COMM SUBMITTAL

REVISED

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**ANCHOR BANK
ELEVATIONS**

0 4 8 FT

A2.1