



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: _____

Address: _____ **Phone Number of Contact Person:** _____

City, State, Zip Code: _____ **Email of Contact Person:** _____

Project Address: _____ **Lot:** _____ **Subdivision:** _____

Project Type: _____ **Multi-Family** _____ **Commercial** _____ **Industrial** _____ **Other**
 _____ **New** _____ **Addition**

Impervious Surface Ratio (ISR): _____ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).


Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____  _____ Date: _____
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:

14 December 2021

Lisa McNabola
Interim City Planner
City of Fitchburg
Planning and Zoning Departments

Ms. McNabola and Committee Members,

This letter is offered as an introduction for the upcoming St. Ambrose Academy planned at the intersection of Nobel Drive and Fahey Glen in the newly planned Highland Reserve development.

This letter is also a partial follow up to specific discussion items made during an introductory meeting held with yourself and City personnel on Tuesday, December 7.

St. Ambrose Academy

The school serves students from all areas of Dane county in an educational environment that supports the Catholic faith. As a private institution, students from grades 6 – 12 have been served by this institution since 2001. Formerly located within an existing parish facility the school is currently developing plans to establish phased development of facilities in Fitchburg. St. Ambrose Academy is not associated with a Catholic parish and the entire facility is planned to serve the needs of the enrolled students. Many of the functions associated with a traditional parish school are not associated with St. Ambrose with any sort of regularity. Functions such as a community Sunday church services and regular community dinners are not a part of the planning of this facility. The future warming kitchen area is not envisioned as a full-service facility. Other special events such as graduating approximately 30 seniors a year, or holding a grade level play event can be readily accommodated within the phased parking areas. Serving the needs of the student body is central to the educational processes and goals of St. Ambrose Academy. It is a goal to take occupancy in July 2023 and our team will work with City staff to secure an early start agreement.

Design

From initial planning discussions with City staff there was a request to establish a built form at the intersection of Nobel and Fahey. The classic building form addresses the street with true four-sided architecture. For student security all access is coordinated directly from the arrival and parking side of



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2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9900
1900 main street suite 309 sarasota, florida 34236 941 444 8845

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Partners: Kevin M. Broich, Michael P. Brush, Gregg R. Golden, John J. Holz, Nicholas D. Kent,
Steven A. Kieckhafer, Scott A. Kramer, Jason W. Puestow, Larry A. Schneider, Michael J. Sobczak

the facility. Major building materials are brick, cast stone and architectural shingles on the sloped roof areas. The sections of low slope roof will be structured to support solar panels. The Projects Impervious Surface Ratio information is detailed on Wyser Engineering sheet C-100 of the submittal package.

School Information

The student population is envisioned as reaching approximately 210 students with the first phase of construction. A future phase of construction will allow growth to a range of 240-280 students. Faculty and staff should reach a maximum of approximately 25.

An initial parking area in excess of regular needs is shown at approximately 85 cars. Future phases of development would increase parking to approximately 140 cars. The daily average for parking is currently about 35 cars. A drop-off lane is provided at the building entry. St. Ambrose school does not utilize a bus service, but there is room for bus/vehicle drop-off and pick-up. With the use of carpooling, and multiple families bringing multiple students to school the 'normal' image of a dense moment of student arrivals in private vehicles is not an occurrence with this school. Staggered arrivals from a wide geographic area occurs. The future parking stalls will be added as the future phases of construction are added to the school. The event gymnasium and additional specialty classrooms will serve as the two additions and are detailed below.

Access is planned from Nobel Drive. Ingress and egress will be accommodated from this location. An initial discussion with the Fitchburg Fire Department will continue to assure egress and ingress needs for emergency services are met. The design of this access point is in process and will be developed with City staff input. Fire hydrants will be located as a part of the planning. Full firefighting equipment access along Nobel and Fahey will also be incorporated into the planning efforts.

Gymnasium

The future, approximately 8,000 SF, gymnasium holds one high school competition court and about three rows of bleacher seating for a total of approximately 100 spectators. The gym is sized similar to a modest middle school facility. The facility is seen as being used for internal physical education needs. The facility is not sized for competition events. Locker rooms are sized for changing purposes only. The timeframe to build this portion of the project will be determined with fund-raising efforts, with no fixed timetable at this time.



School Addition

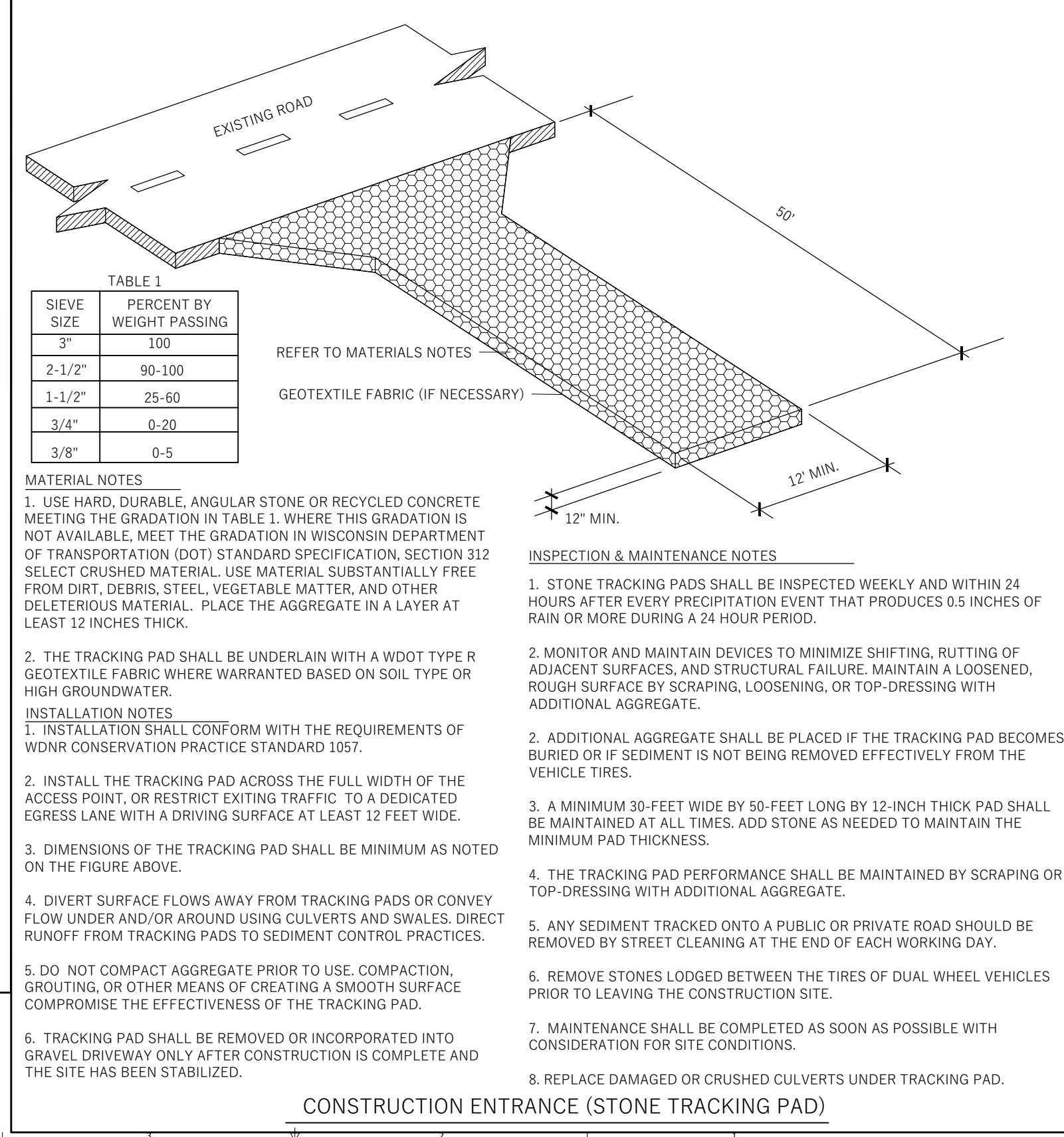
The approximately 8,000 two story future academic addition is geared to provide multiple specialty classrooms such as a Library and Science Rooms. For this reason, the student population is envisioned as reaching a maximum of the referenced 240-280 students. The timeframe for this portion of the project will be determined with fund-raising efforts, with no fixed timetable at this time but it is possible that it could be completed with Phase 1.

The overall square footage for each phase is summarized in the submittal drawings. If additional information is needed to assist City staff and committees in understanding the unique nature of St. Ambrose Academy, please let me know and I will work for an answer.



Kirk Keller AIA, NCARB



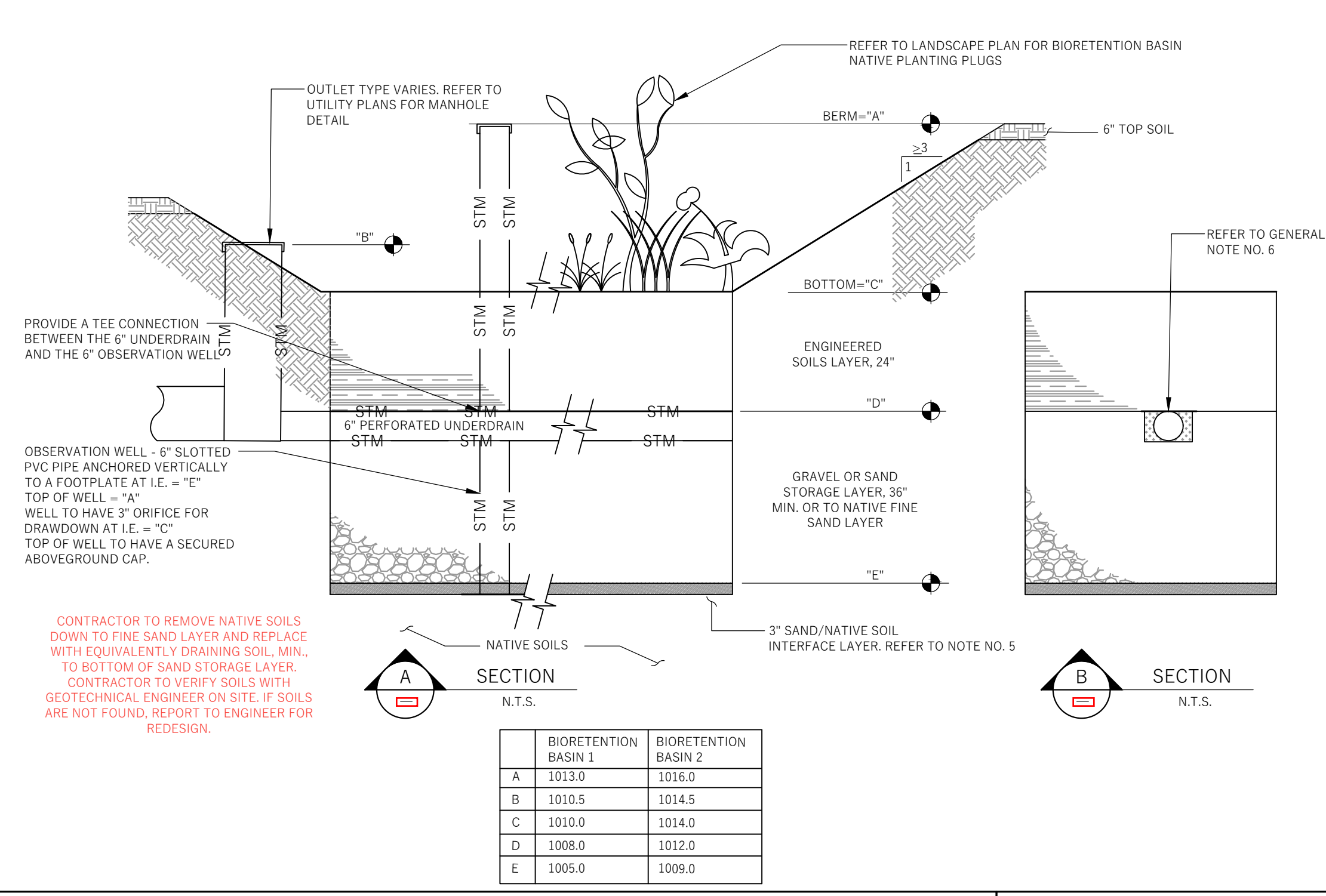


GENERAL NOTES:

- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
- CONTRACTOR SHALL INSTALL NATIVE PLANT PLUGS IN THE BASIN AND INSTALL A CLASS II EROSION CONTROL MAT (OVERLAPPED AND ANCHORED WITH MIN. 6" LONG HARDWOOD STAKES), CUT AN "X" IN THE MATTING AND AUGER DOWN TO PLACE APPROPRIATE PLANTING PLUGS EVERY 12 INCHES ON CENTER.
- CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 70% ASTM C33 SAND AND 30% CERTIFIED COMPOST (SEE GENERAL NOTE 4).
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- SAND/NATIVE SOIL INTERFACE LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES. A CONSTRUCTION REPRESENTATIVE MUST BE ON SITE DURING OVER EXCAVATION TO APPROVE OF THE DEPTH AND SOIL TYPES.
- FILTER FABRIC SHALL BE PLACED ABOVE THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
- ANNUAL RYE GRASS SHALL BE SEED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL. WHEN BASIN IS BROUGHT ON-LINE, ROOTSTOCK AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
- RUNOFF MUST INFILTRATE THROUGH THE ENTIRE BASIN WITHIN 48-HOURS AND ALL STANDING WATER DISSIPATED WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- REFER TO LANDSCAPE PLAN FOR PLANTING REQUIREMENTS.

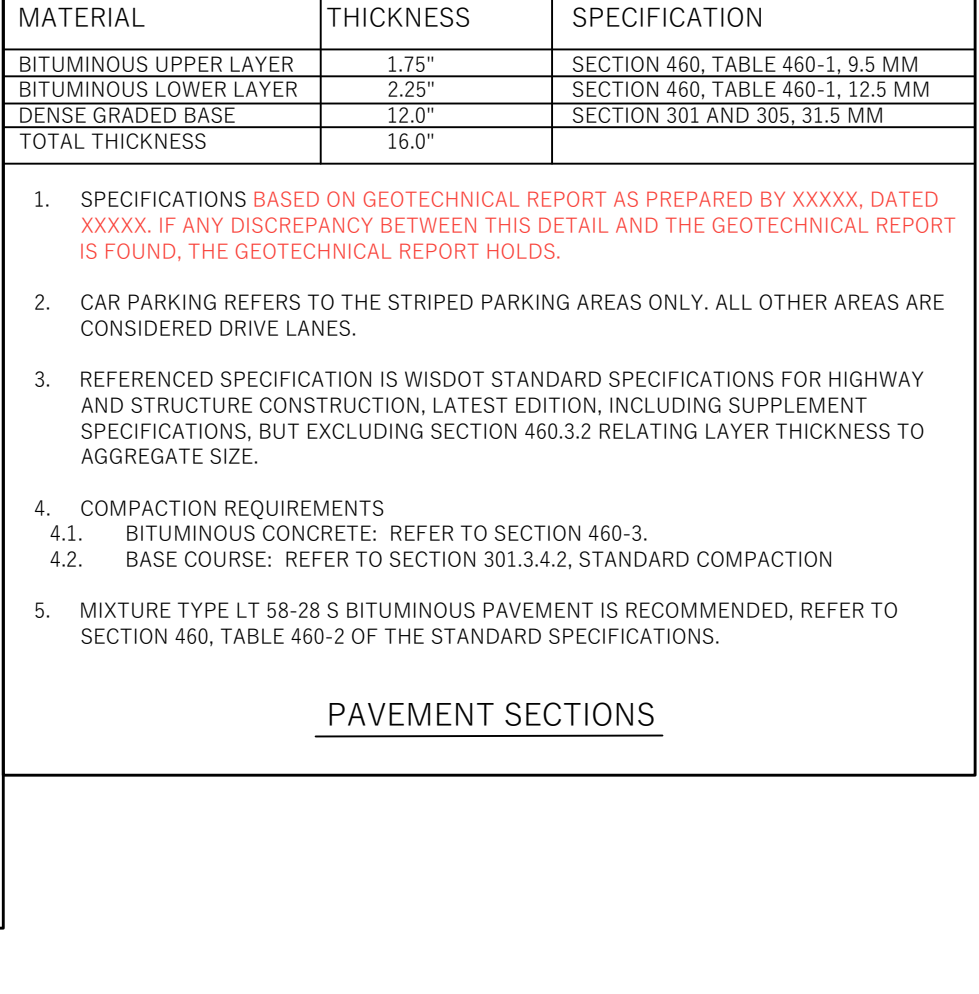
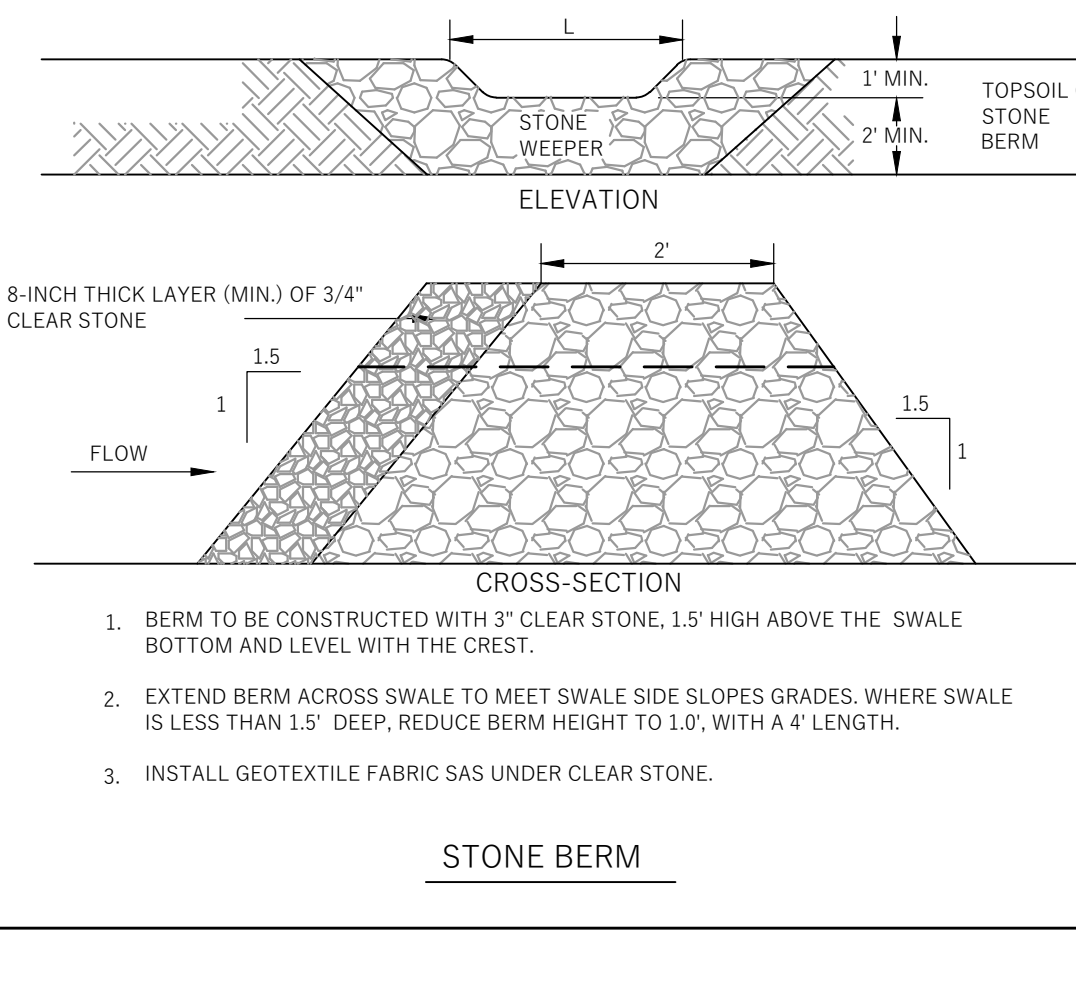
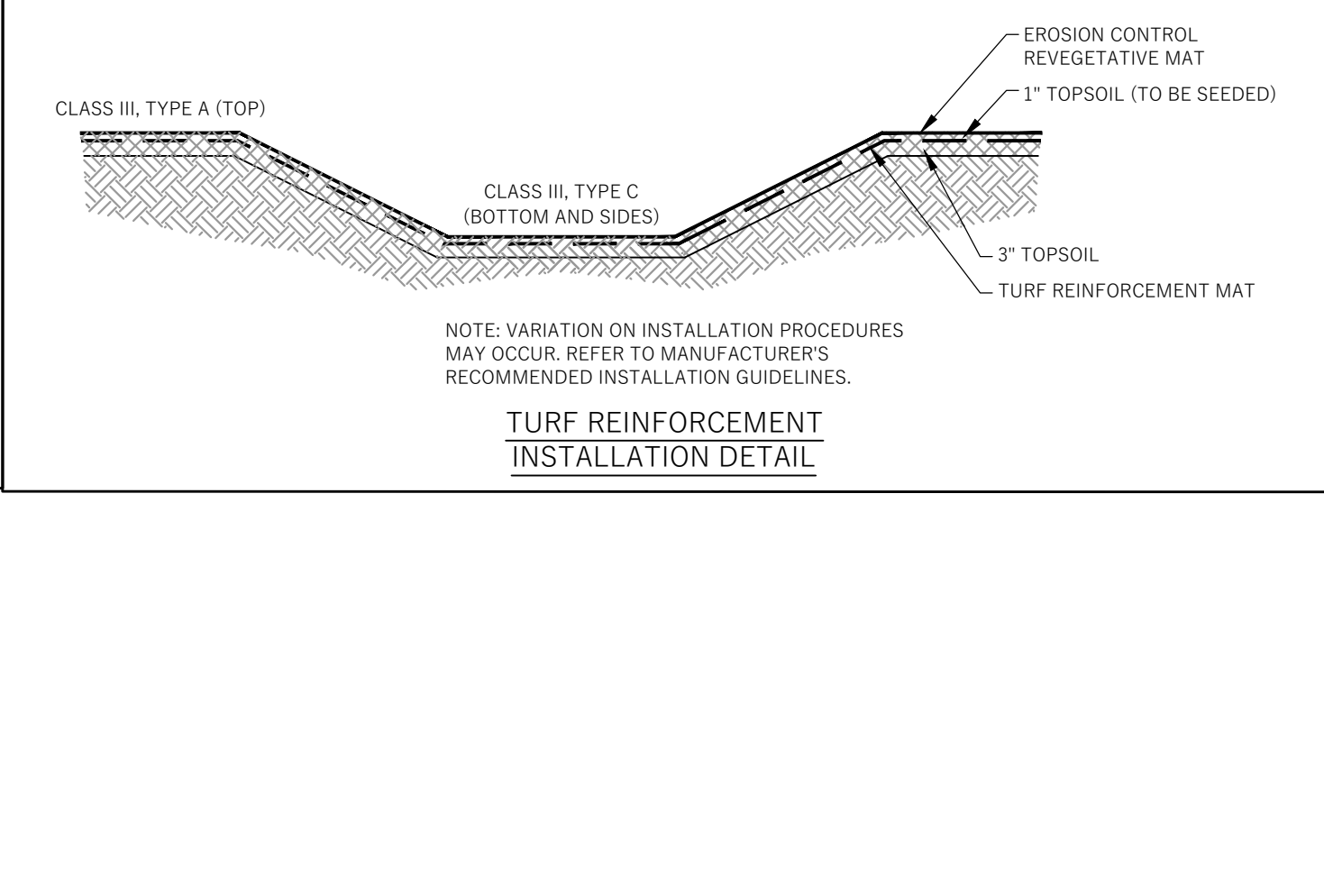
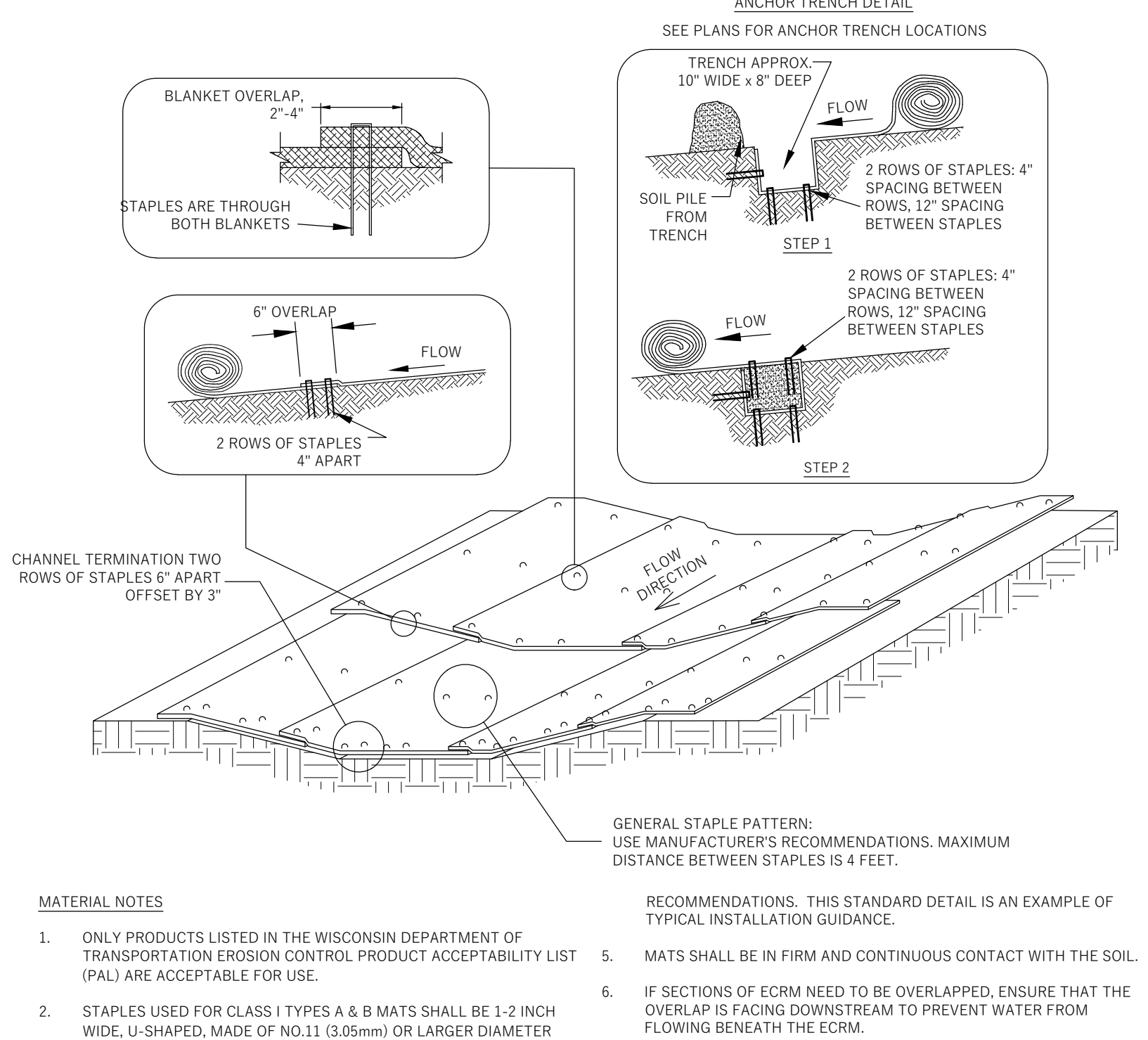
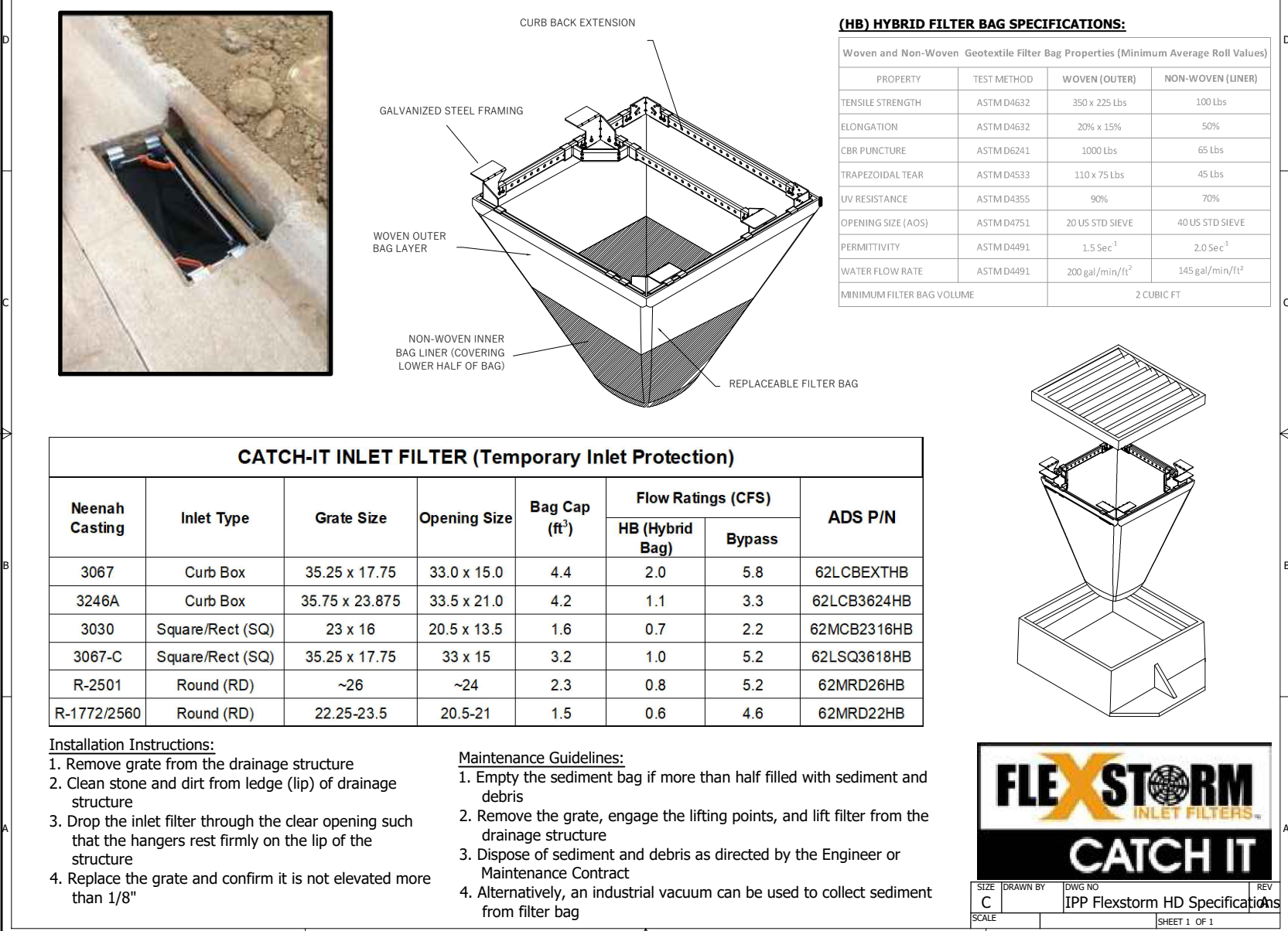
INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

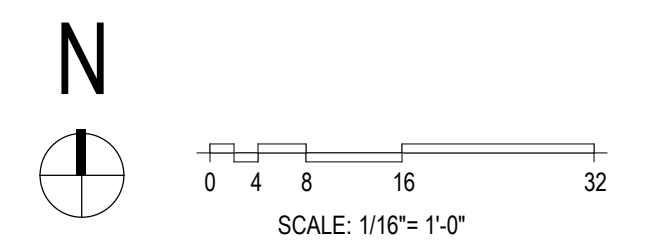
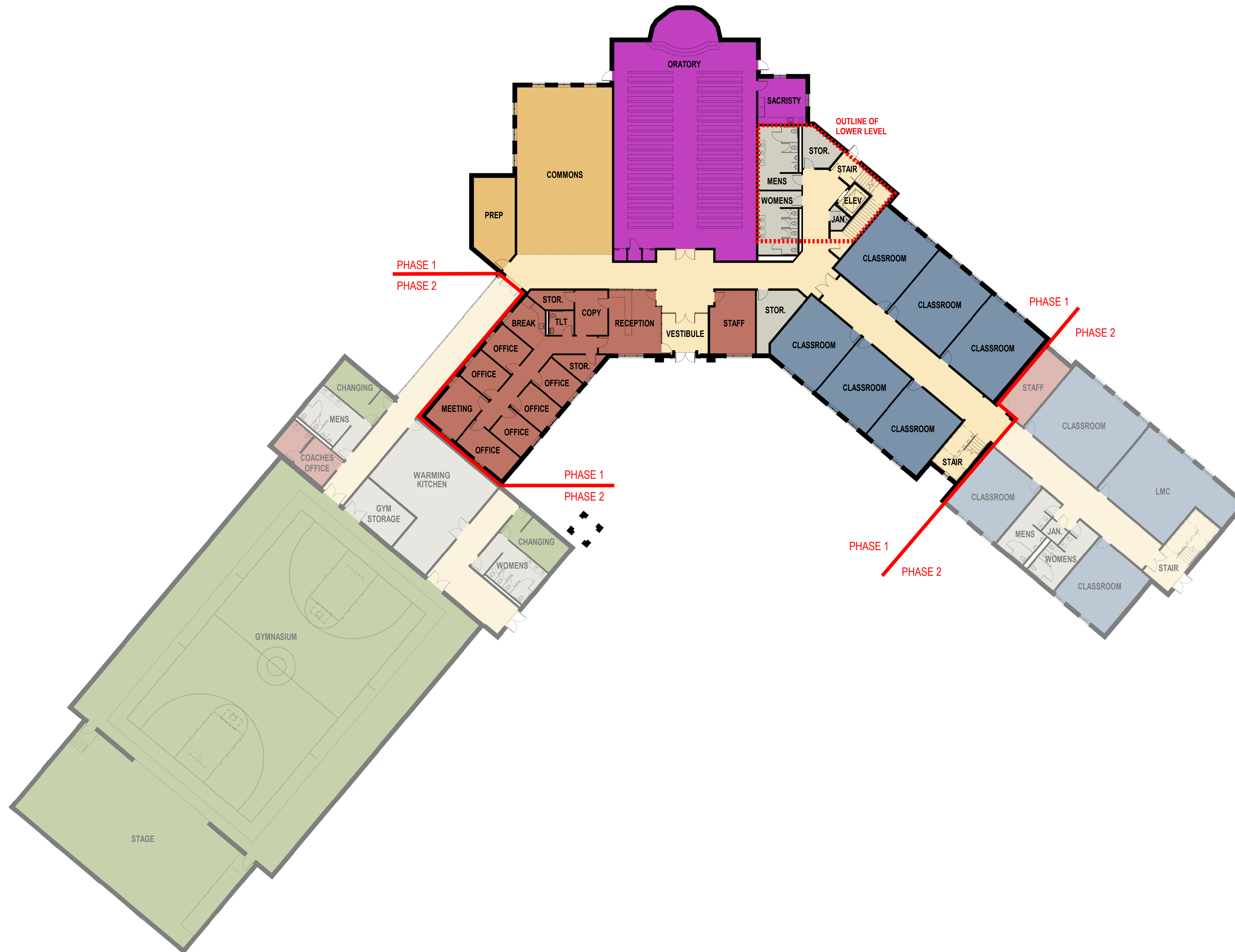
THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

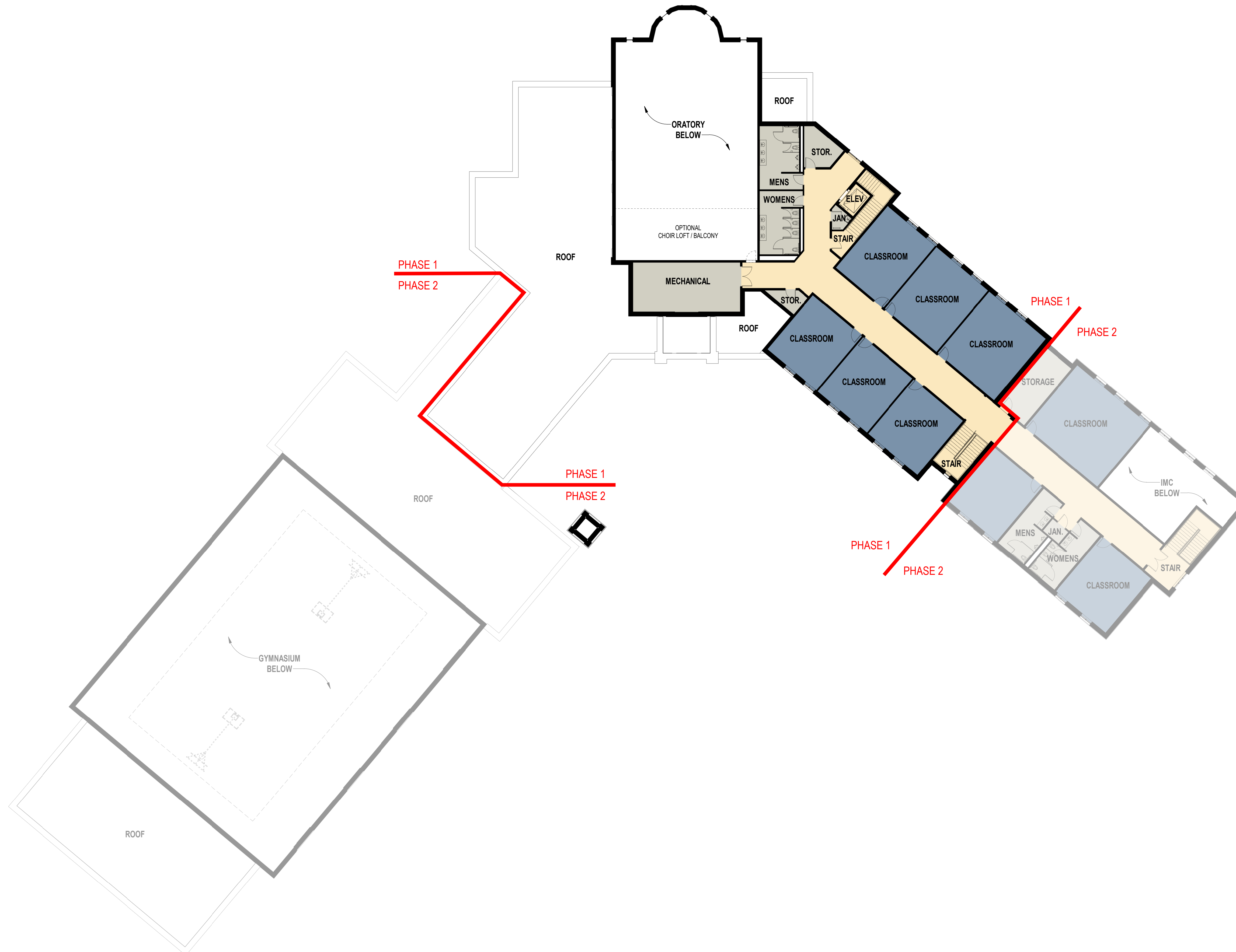


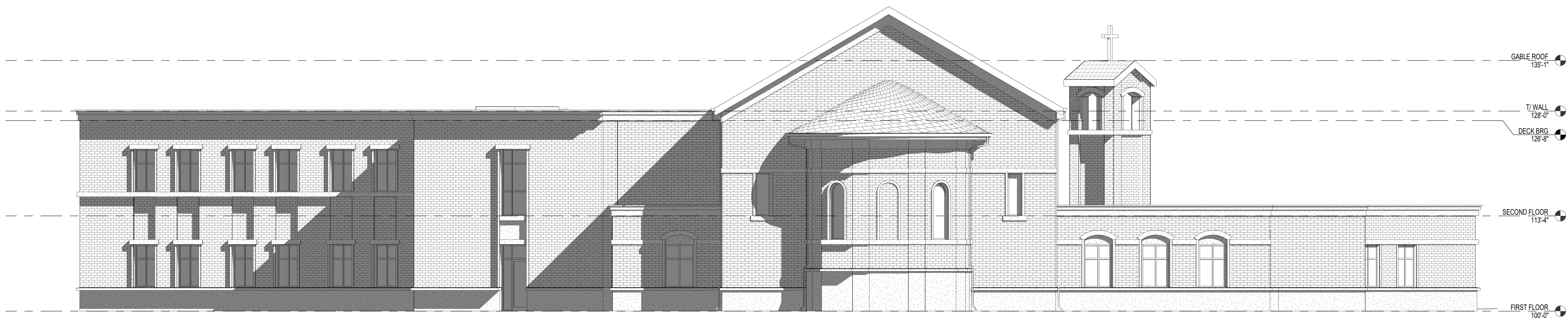
BIORETENTION DEVICE

FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS

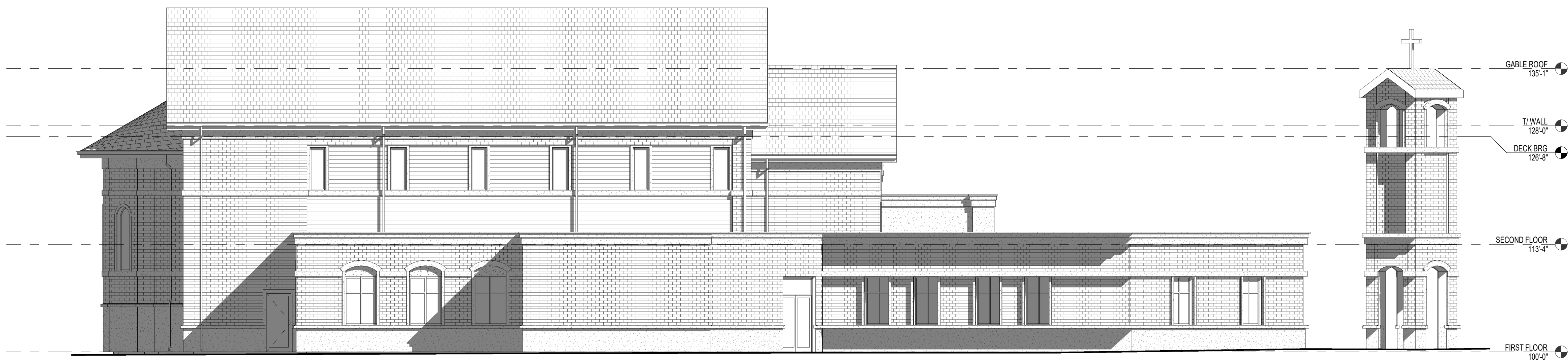








1 OVERALL - NORTH ELEVATION
1/8" = 1'-0"



2 OVERALL - WEST ELEVATION
1/8" = 1'-0"



3 OVERALL - SOUTH ELEVATION
1/8" = 1'-0"



4 OVERALL - EAST ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS SYMBOLS LEGEND

- SECTION REFERENCE
- ELEVATION NOTE
- DETAIL REFERENCE
- WINDOW TYPE
- CONSTRUCTION KEYNOTE

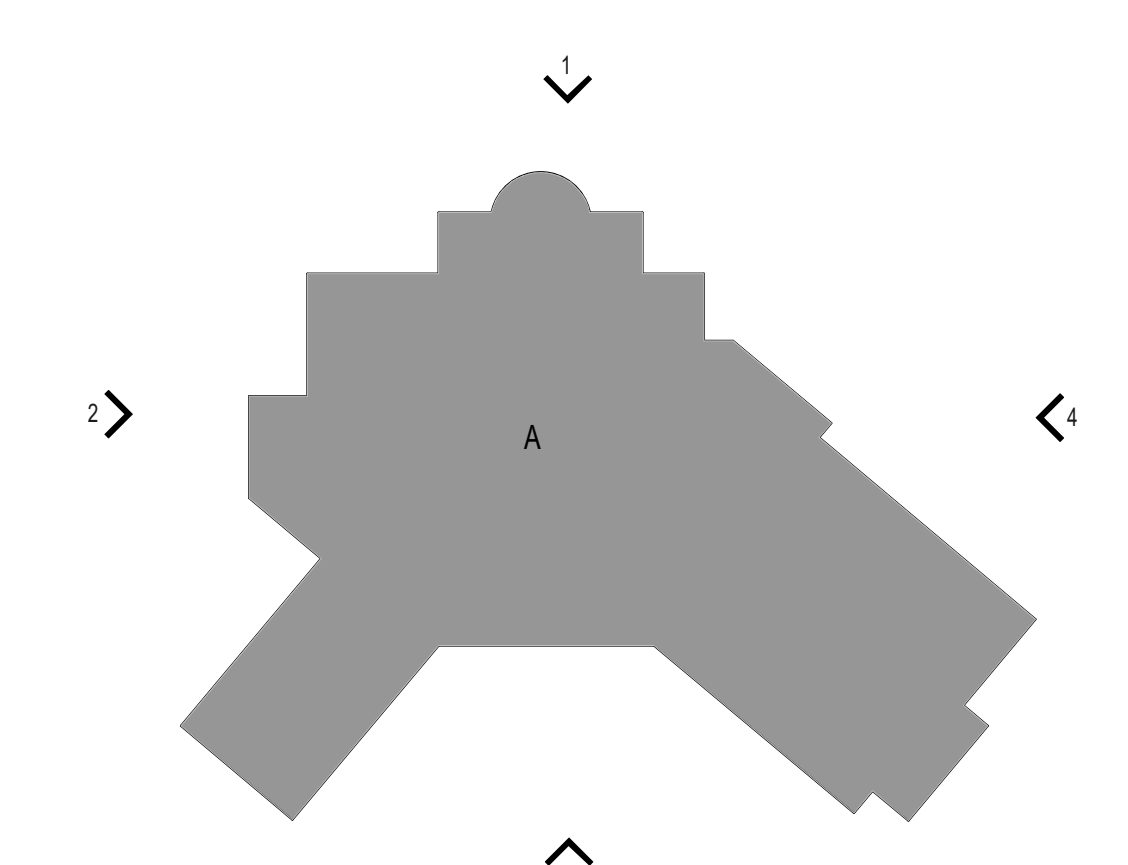
EXTERIOR FINISH PATTERNS

- SHINGLES
- BRICK
- FIBER CEMENT SIDING
- PRECAST CONCRETE
- CAST STONE

EXTERIOR ELEVATIONS GENERAL NOTES

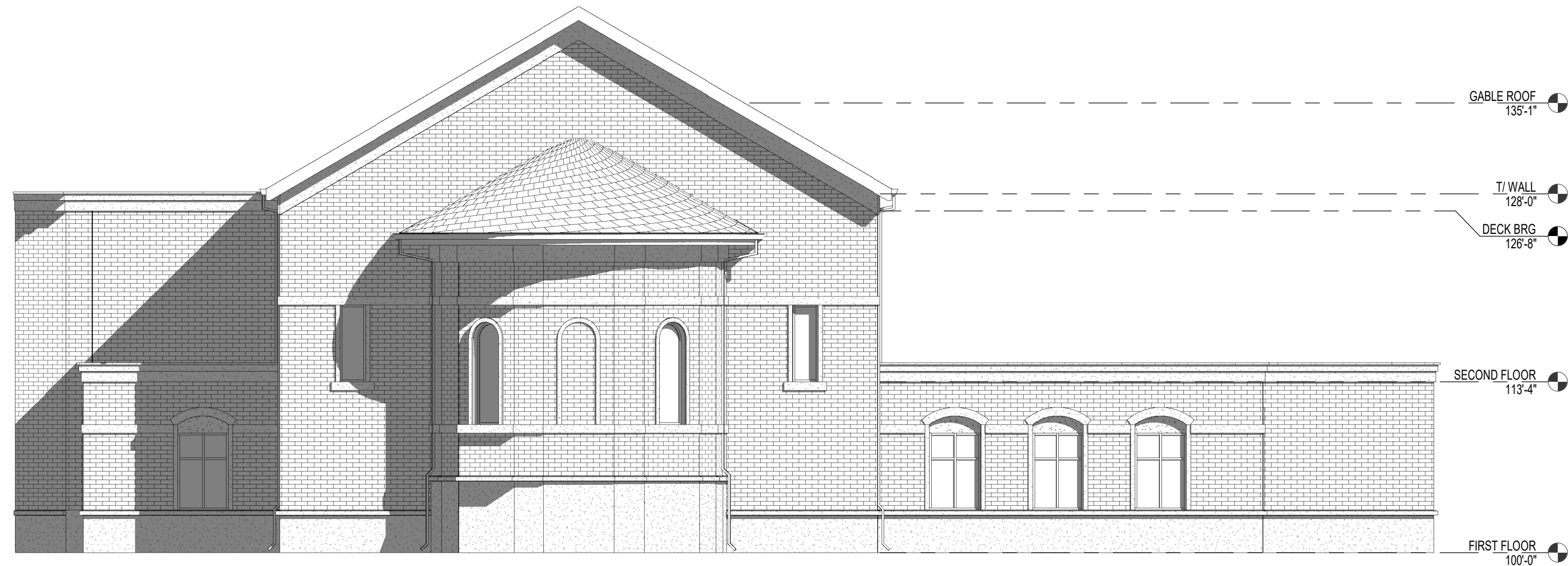
- A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR
- B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)
- C. REFER TO SHEET AB91 FOR WINDOW FRAME ELEVATIONS
- D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.
- E. FIBER CEMENT COLOR TBD.

EXTERIOR ELEVATION NOTES	
MARK	DESCRIPTION

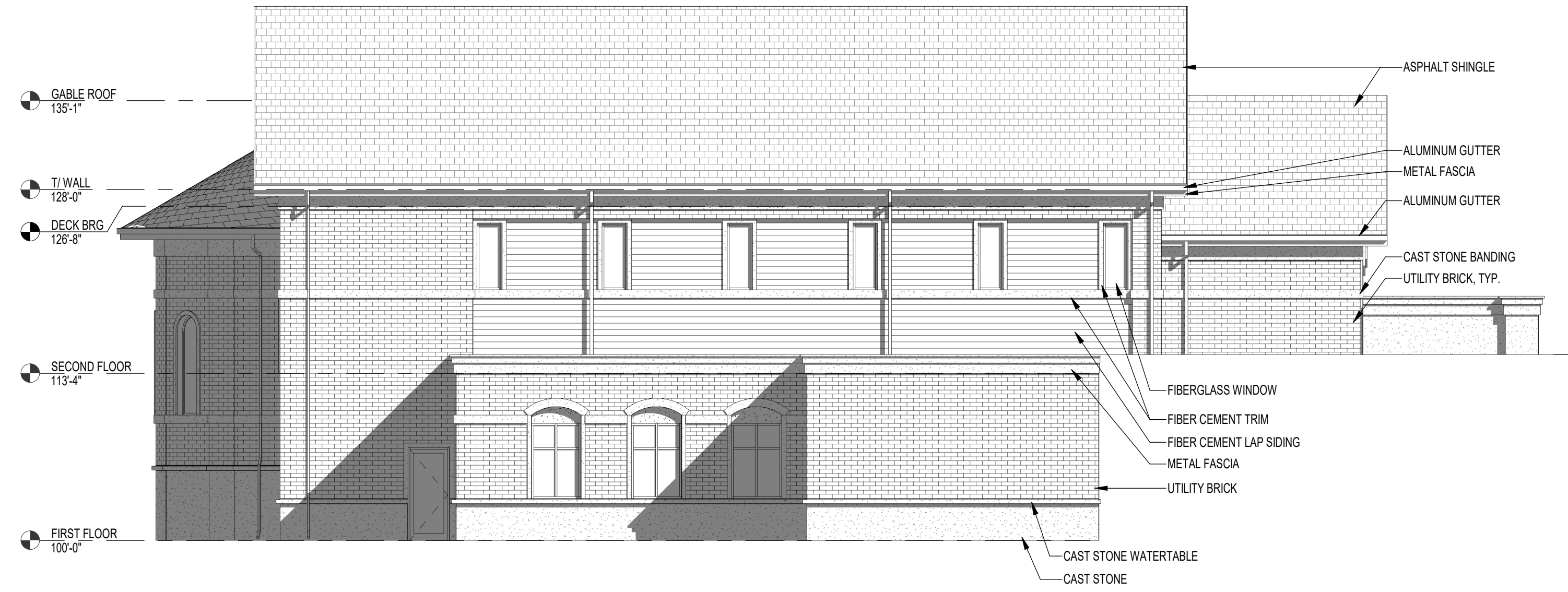


KEY PLAN

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INITIALS



1 ORATORY - NORTH ELEVATION
1/8" = 1'-0"



2 ORATORY - WEST ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS SYMBOLS LEGEND

- SECTION REFERENCE
- ELEVATION NOTE
- DETAIL REFERENCE
- WINDOW TYPE
- CONSTRUCTION KEYNOTE

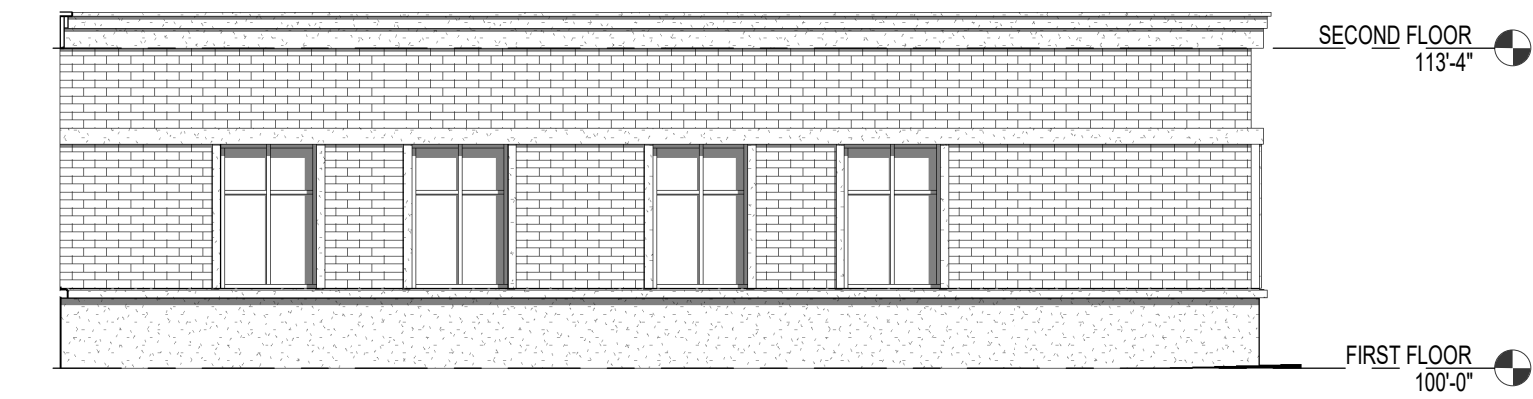
EXTERIOR FINISH PATTERNS

- SHINGLES
- BRICK
- FIBER CEMENT SIDING
- PRECAST CONCRETE
- CAST STONE

EXTERIOR ELEVATIONS GENERAL NOTES

- A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR
- B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)
- C. REFER TO SHEET AB91 FOR WINDOW FRAME ELEVATIONS
- D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.
- E. FIBER CEMENT COLOR TBD.

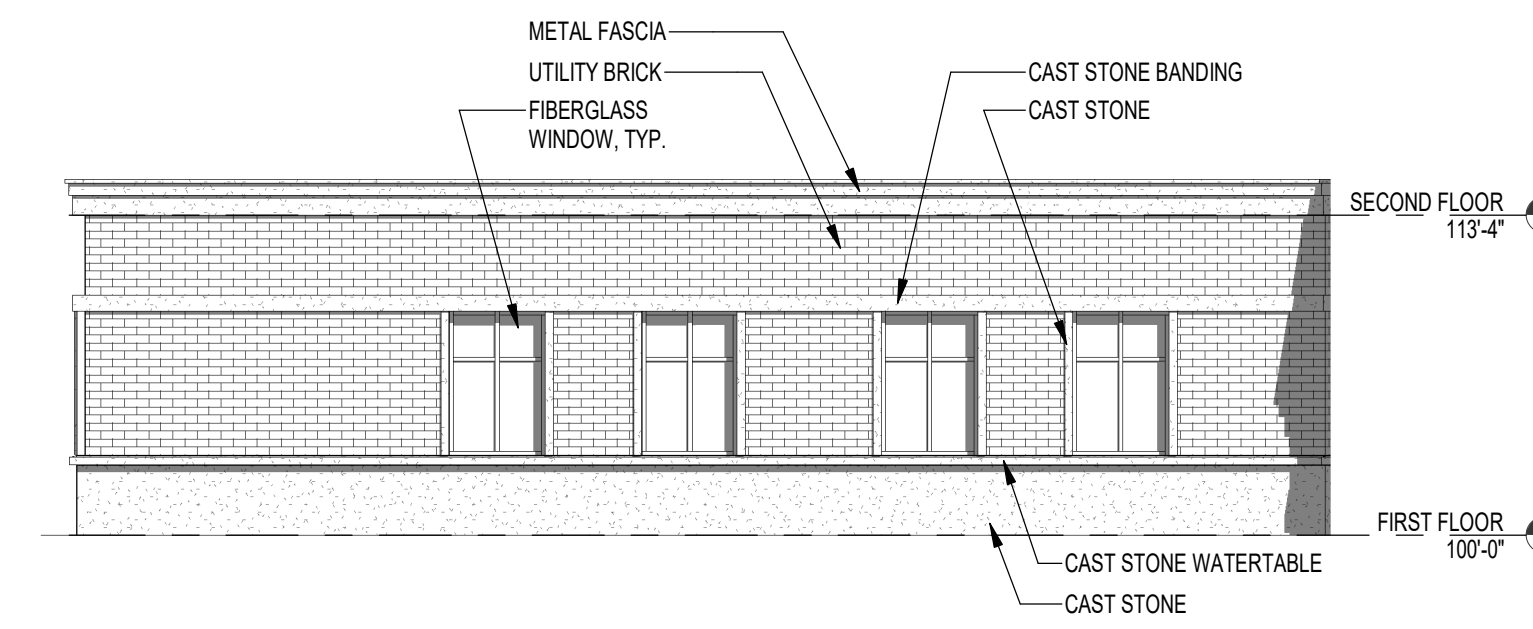
EXTERIOR ELEVATION NOTES	
MARK	DESCRIPTION



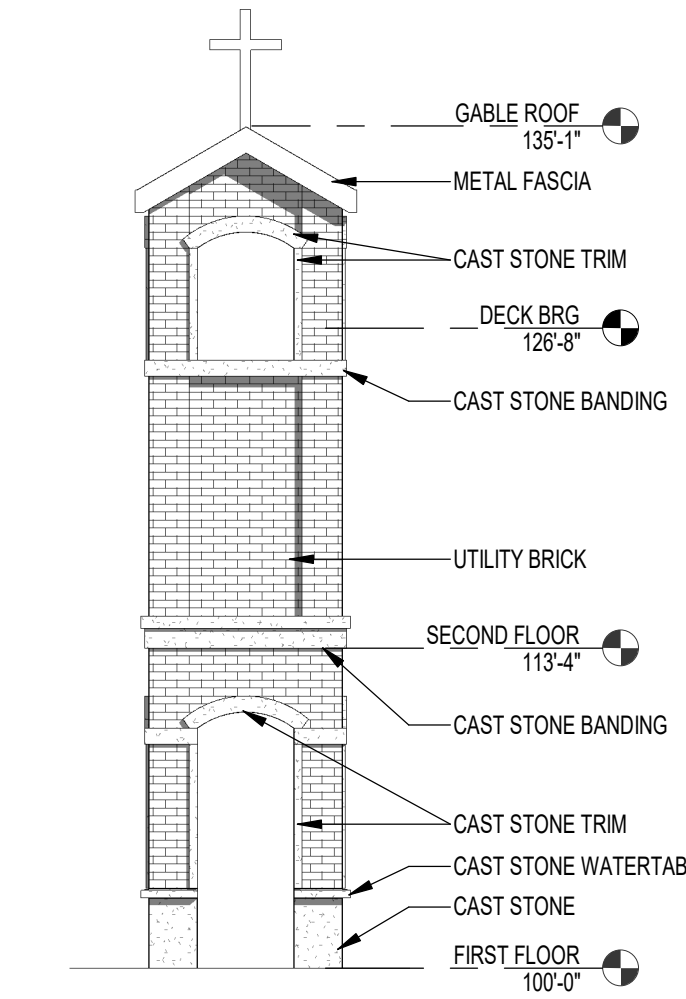
4 ADMINISTRATION WING - WEST ELEVATION
1/8" = 1'-0"



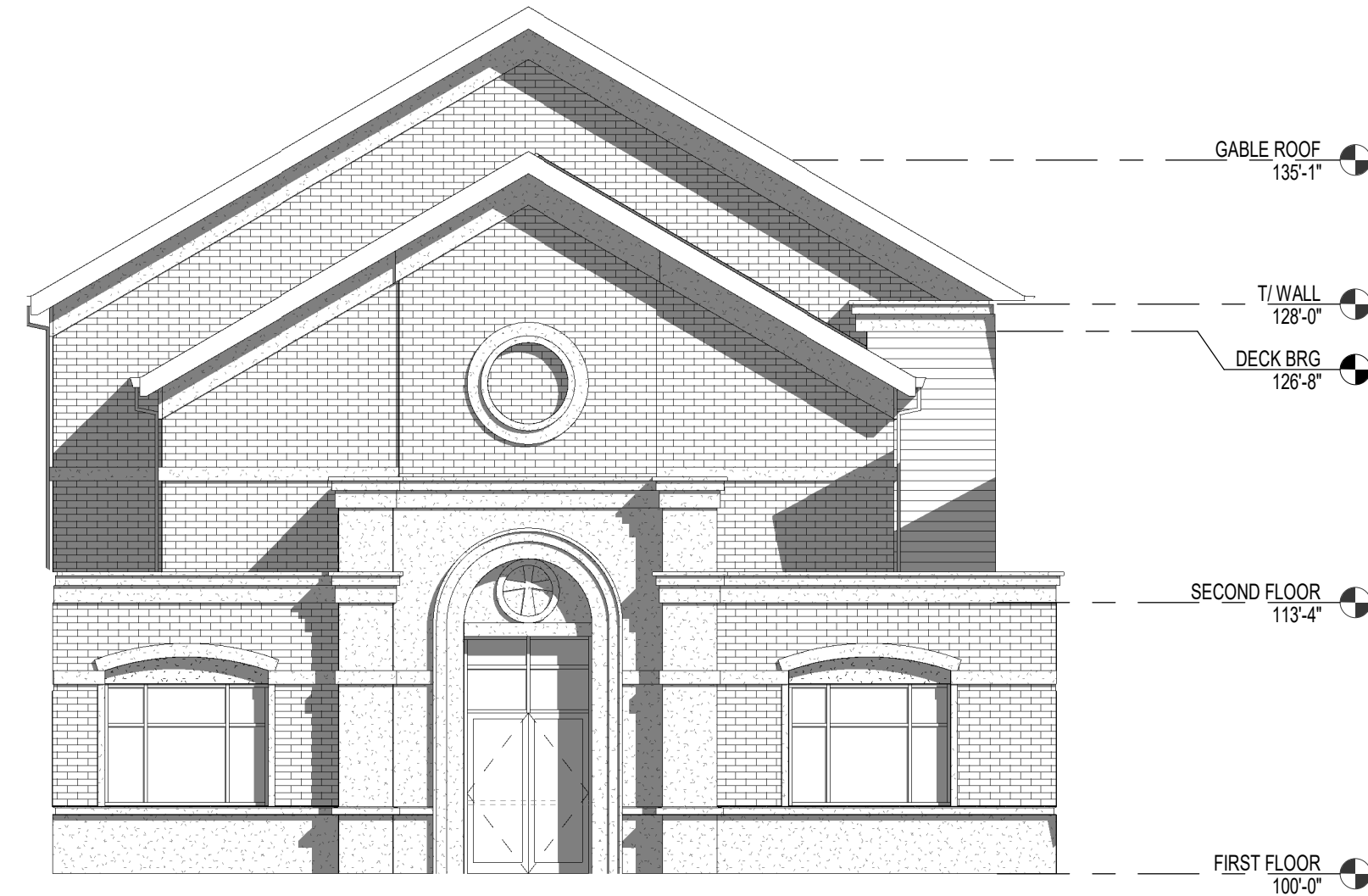
3 ADMINISTRATION WING - SOUTH ELEVATION
1/8" = 1'-0"



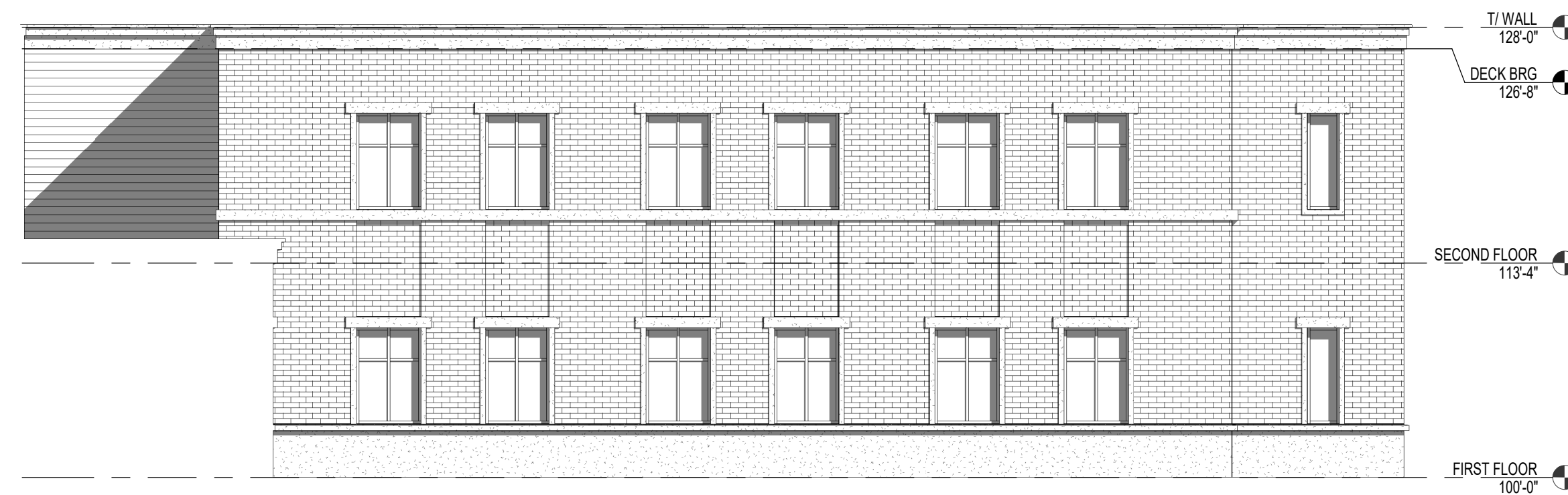
5 ADMINISTRATION WING - EAST ELEVATION
1/8" = 1'-0"



11 BELL TOWER - ELEVATION
1/8" = 1'-0"



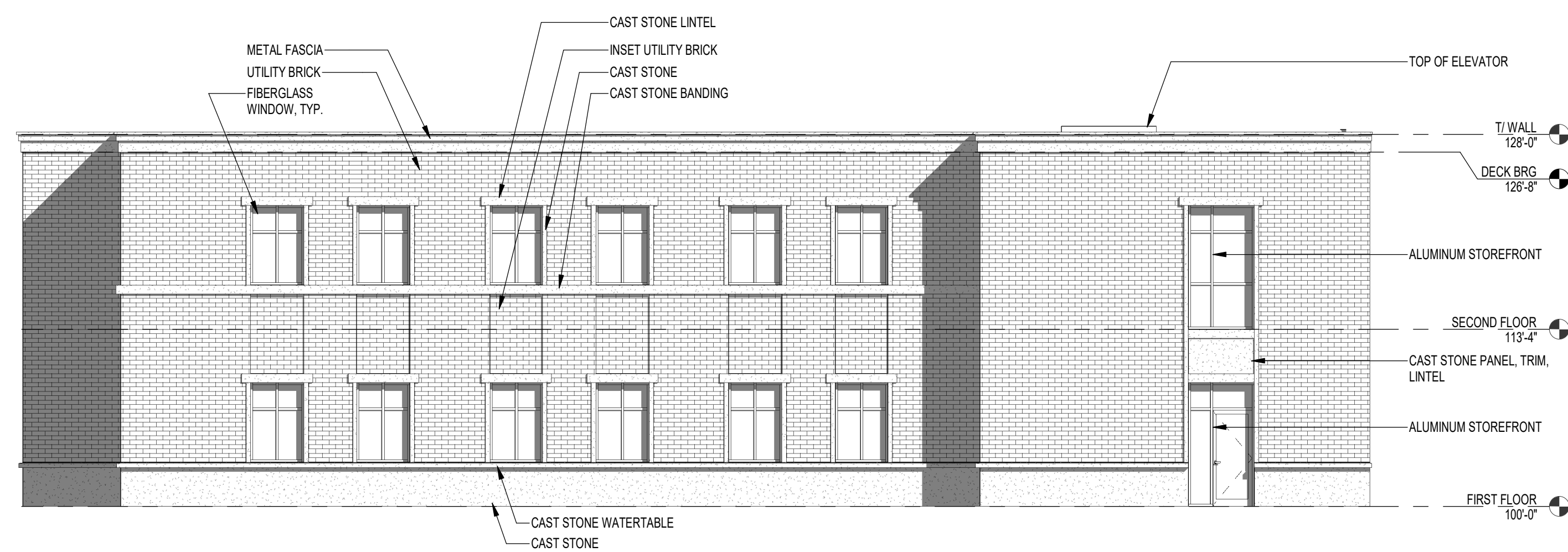
6 ORATORY / MAIN ENTRY - SOUTH ELEVATION
1/8" = 1'-0"



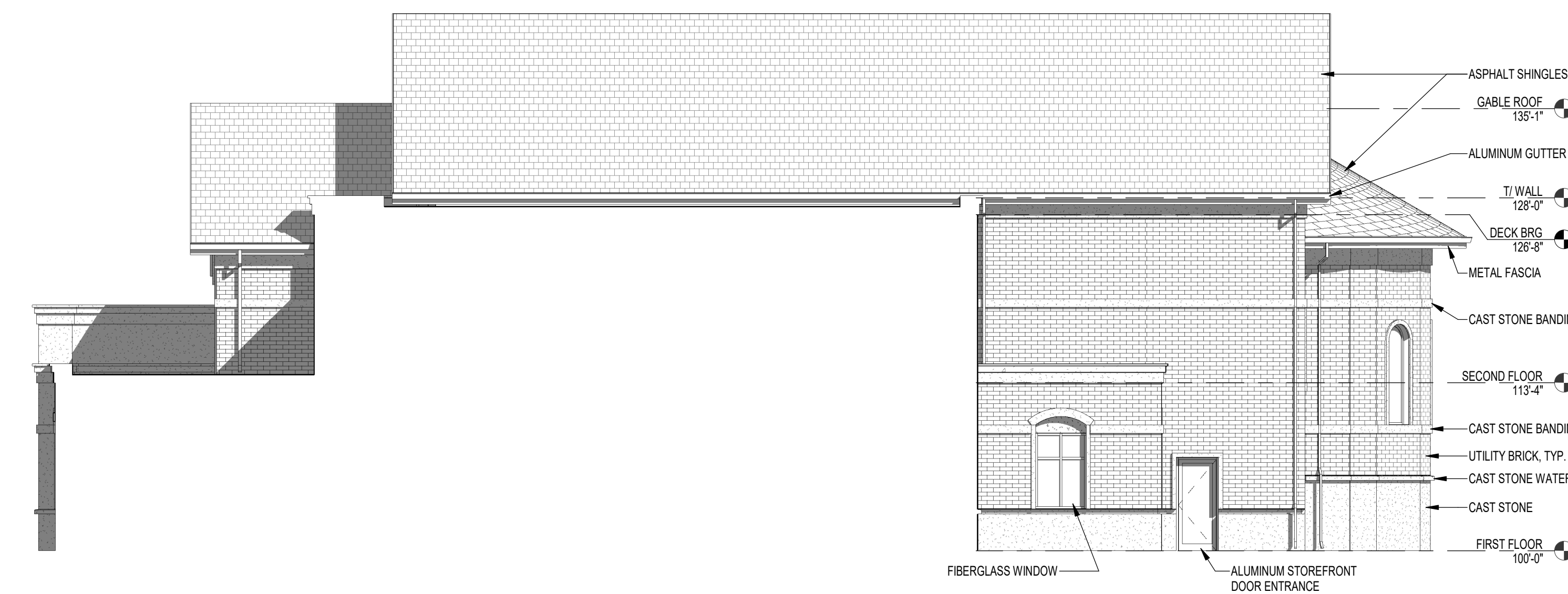
7 CLASSROOM WING - SOUTH ELEVATION
1/8" = 1'-0"



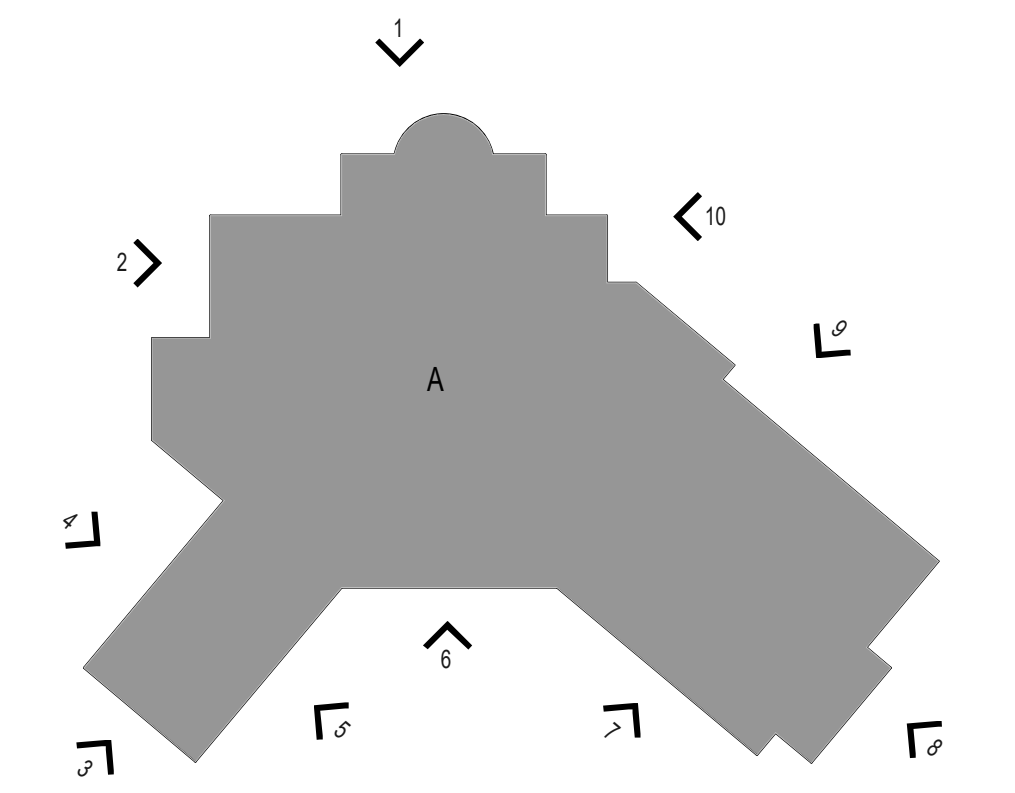
8 CLASSROOM WING - EAST ELEVATION
1/8" = 1'-0"



9 CLASSROOM WING - NORTH ELEVATION
1/8" = 1'-0"



10 ORATORY - EAST ELEVATION
1/8" = 1'-0"



KEY PLAN

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CITY SUBMITTAL
BID PACKAGE
DATE: 12-14-21
JOB NO: 180114-03
SHEET NO:

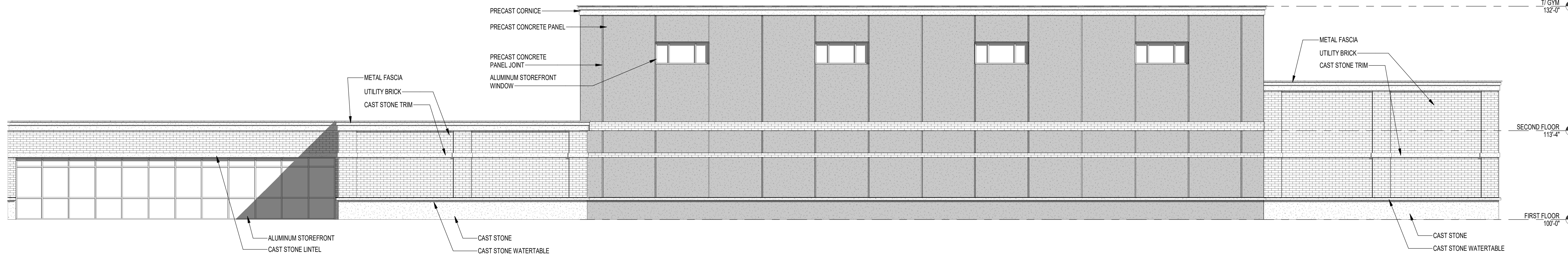
A401

New School for St. Ambrose Academy
St. Ambrose Academy
NOBEL DRIVE, FITCHBURG, WI 53711

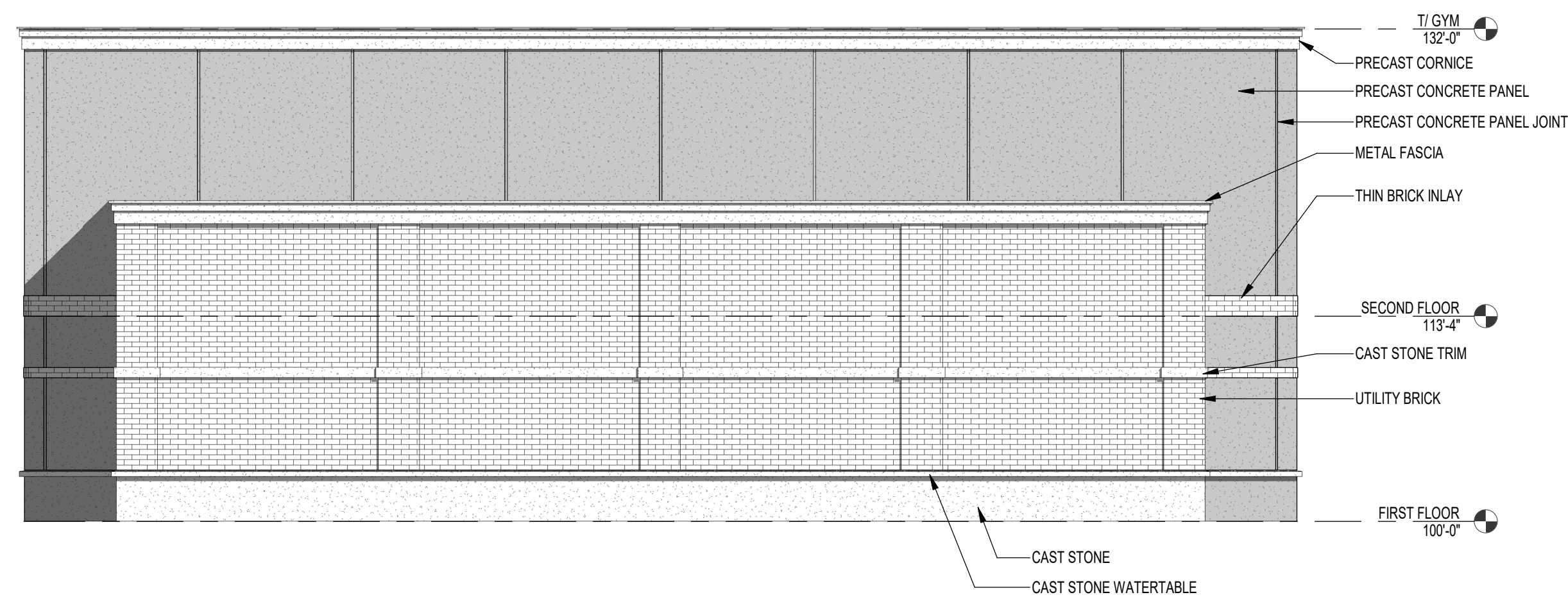
EXTERIOR ELEVATIONS

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1415 350 3000
53706
1469 240 9800
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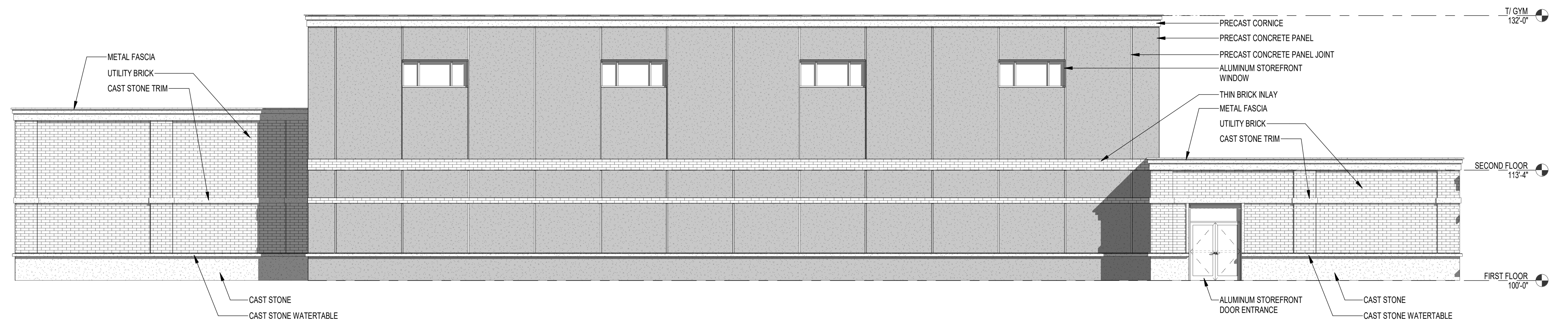
** PHASE 2 ADDITIONS **



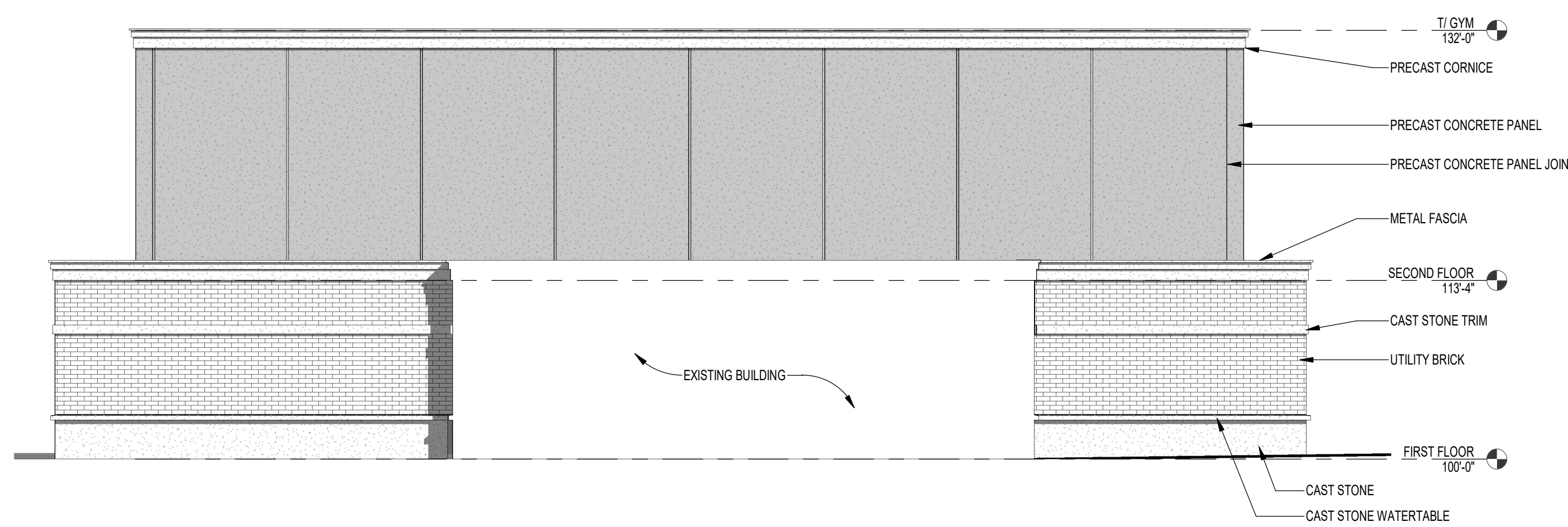
1 GYMNASIUM - WEST ELEVATION
1/8" = 1'-0"



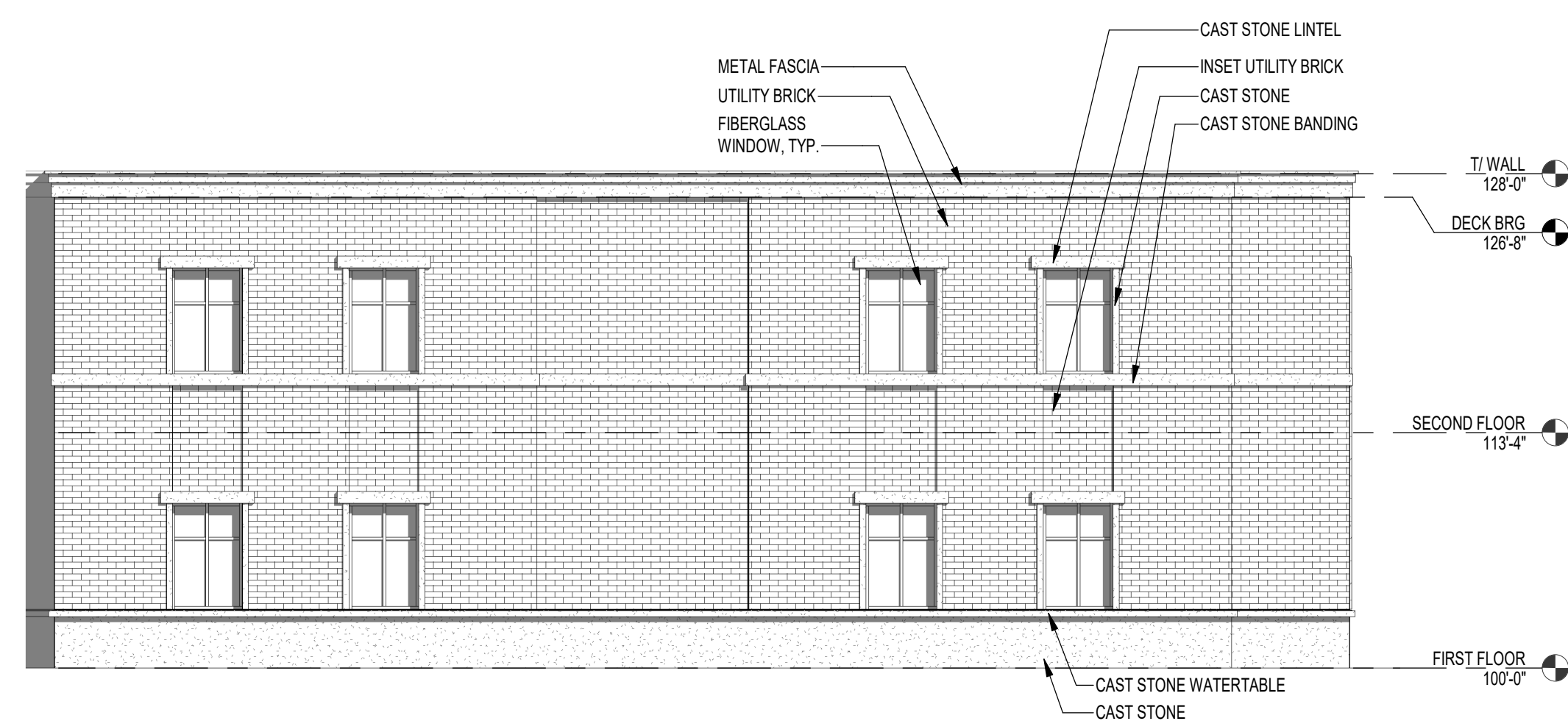
2 GYMNASIUM - SOUTH ELEVATION
1/8" = 1'-0"



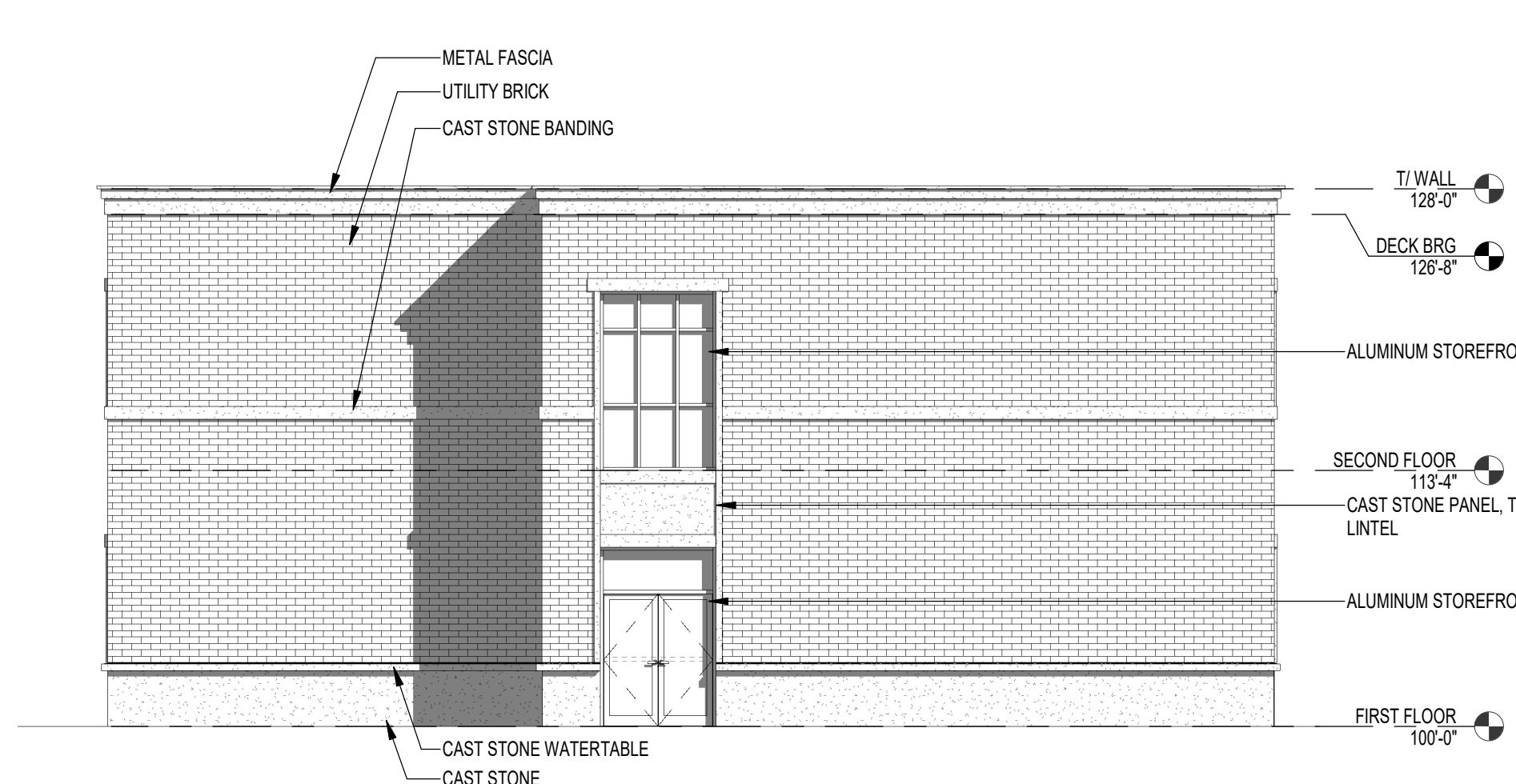
3 GYMNASIUM - EAST ELEVATION
1/8" = 1'-0"



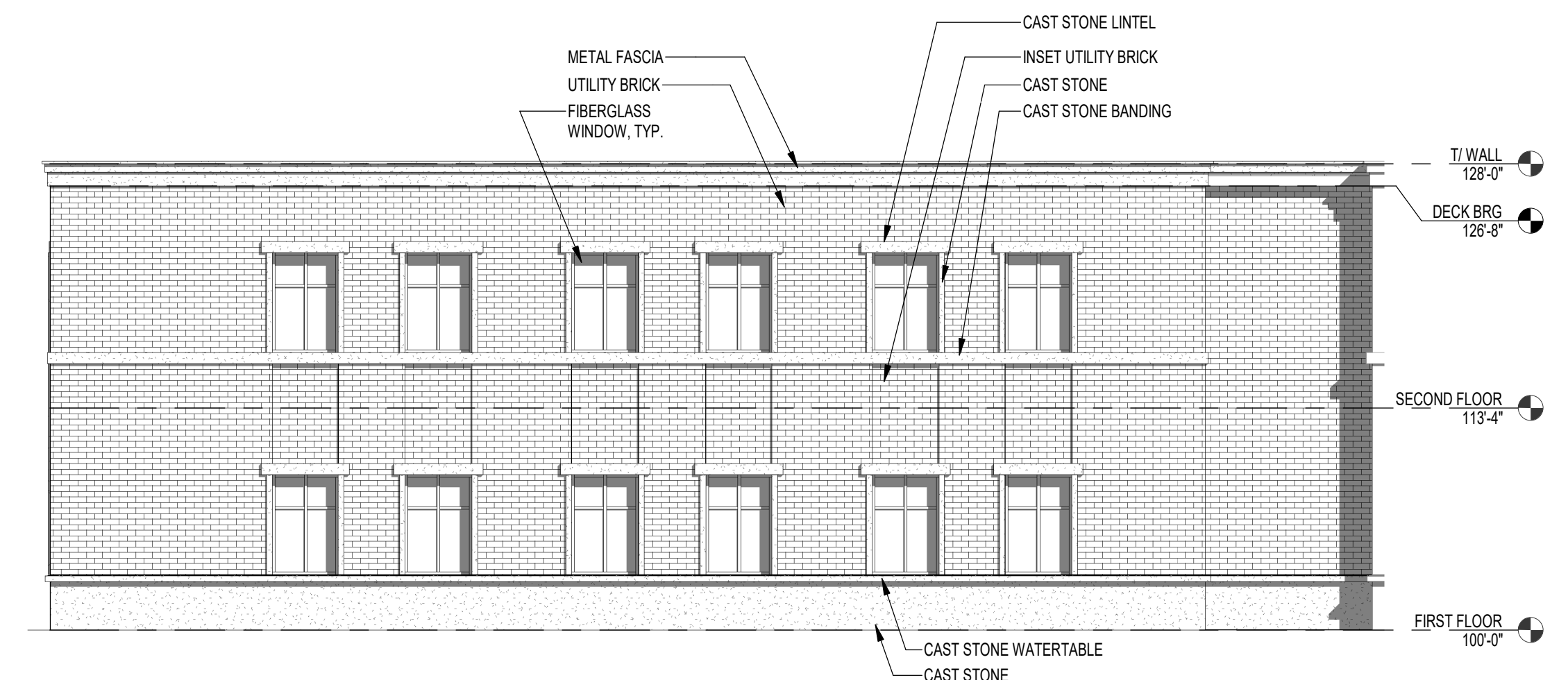
4 GYMNASIUM - NORTH ELEVATION
1/8" = 1'-0"



5 CLASSROOM ADDITION - SOUTH ELEVATION
1/8" = 1'-0"

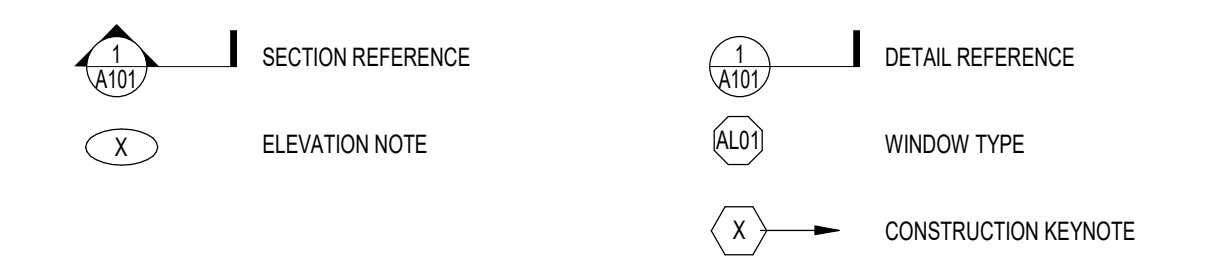


6 CLASSROOM ADDITION - EAST ELEVATION
1/8" = 1'-0"

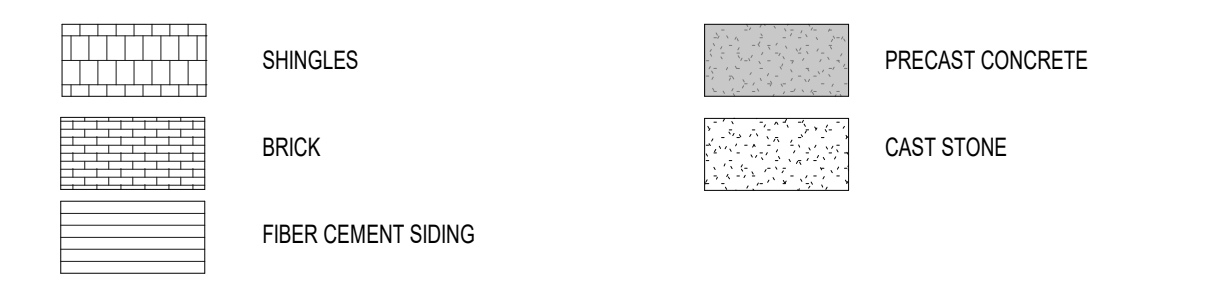


7 CLASSROOM ADDITION - NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS SYMBOLS LEGEND



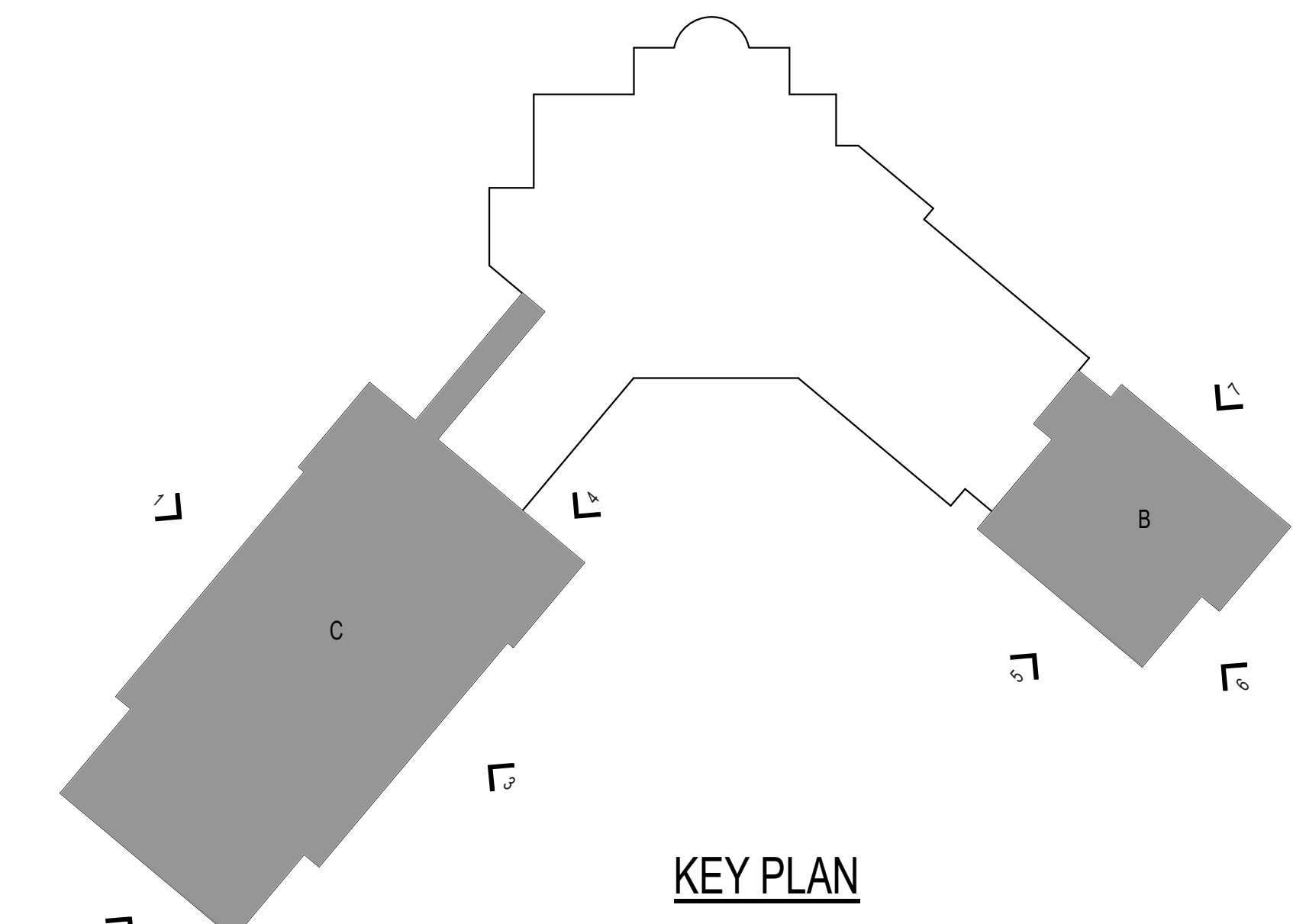
EXTERIOR FINISH PATTERNS



EXTERIOR ELEVATIONS GENERAL NOTES

- A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR
- B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)
- C. REFER TO SHEET A891 FOR WINDOW FRAME ELEVATIONS
- D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.
- E. FIBER CEMENT COLOR TBD.

EXTERIOR ELEVATION NOTES	
MARK	DESCRIPTION



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MAIN ENTRY PERSPECTIVE



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE