

R 16.004839 8/25/21
\$875.00 RB



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the PDD-GIP district to the PDD-SIP district the following described property:

1. **Location of Property/Street Address:** East Cheryl and Big Blue Stem Parkways, Sassafras and Crinkle Root Drives

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Lot 1 of CSM 13827

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. **Proposed Use of Property - Explanation of Request:**

Planned Development District SIP with five (5) duplexes, six (6) five-unit town home and one (1) six-unit town home buildings and one (1) CBRF assisted living building having eight (8) units. The total unit count for the project is 54.

3. **Proposed Development Schedule:** Construction to commence Fall 2021 following governmental approvals.

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Owner occupied housing and assisted living.

Total Dwelling Units Proposed: 54 **No. Of Parking Stalls:** 122 surface, 112 garage

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: _____ **No. Of Employees:** _____

Floor Area: _____ **No. Of Parking Stalls:** _____

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: IP Holdings, LLC

Address: 5210 Siggelkow Road, Madison, WI 53718

Phone No: 608-220-6129

Contact Person: Fredric A. DeVillers

Email: fred@forward-development.com

Address: same

Phone No: same

Respectfully Submitted By: 
Owner's or Authorized Agent's Signature

Fredric A. DeVillers
Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 8/24/21 **Publish:** _____ and _____

Ordinance Section No. _____ **Fee Paid:** \$875

Permit Request No. R2-2399-21

Forward Community Partners

Committed to providing quality spaces and places for people to live, work and recreate in.

August 23, 2021

Ms. Sonja Kruesel AICP
City Planner & Zoning Administrator
City of Fitchburg
5520 Lacy Road
Fitchburg, WI 53711

Re: Inspiration at Swan Creek SIP / ADR

Dear Sonja:

Forward Community Partners, LLC on behalf of IP Holdings, LLC, the property owner, is pleased to transmit the following information for your staff's review and consideration by the City of Fitchburg. We are requesting that this project be placed on the September 21st Planning Commission Agenda for SIP / ADR review and approval.

Please accept the following documents:

Rezoning Application

SIP /ADR Narrative

Plan sets for the following:

- 1) CBRF Building, including:
 - a. Civil engineering plans for the entire project site.
 - b. Landscaping plans for the entire project site as well as detailed plans for the three (3) building types and the plant schedule.
 - c. Architectural plans.
- 2) Townhome architectural plans (5 and 6-unit buildings).
- 3) Condominium Plat.

The project design consultants and I look forward to working with the City's staff on this project. Please feel free to contact me with questions and we will work to get the answers and additional information necessary to facilitate the review and approval process.

Sincerely,

Forward Community Partners, LLC



Fredric A. DeVillers
Managing Member

Copy, w/enclosures: Debbie Hatfield

August 25, 2021
Specific Implementation Plan (SIP)
Lot 1 of CSM 13827

Introduction

Lot 1 of CSM 13827 was originally approved for Planned Development – General Implementation Plan (PDD-GIP) zoning in 2002. The Comprehensive Plan and PDD-GIP were amended in August 2013 amending this lot from (HDR) High Density Residential to the current (MDR) Medium Density Residential.

In 2015, an amendment to the GIP was approved as well as a Specific Implementation Plan (SIP). The proposed use of the site has changed since 2015. Instead of amending the nearly 20-year-old GIP, a new GIP was submitted in June and approved in July 2021.

The enclosed plans represent the SIP submittal for the entire project site, exhibiting all three (3) housing types that were approved in the PDD-GIP, namely the duplex and townhome buildings as well as the assisted living CBRF building.

The Planned Development District Granting General Implementation Plan Zoning for Lot 1 CSM 13827, Ordinance No. 2021-O-15, Zoning Ordinance Amendment was approved by the Fitchburg Common Council on Tuesday, July 27, 2021, and submitted to the Dane County Register of Deeds on Thursday, August 12, 2021. Upon recording, the Ordinance was to be returned to the City of Fitchburg Planning Department.

Project Development Plan

The site will be developed as a privately owned multi-generational land condominium project with three (3) housing types including owner-occupied duplexes and townhomes, as well as a 48-resident assisted living building. The owner-occupied duplex and townhome housing is being developed to encourage a live / work scenario to minimize traffic impacts. Since the owner-occupied housing product being developed is duplexes and townhomes, the sales prices will be lower than the typical single-family home. The project is designed to provide more affordable workforce housing, potentially for those employees working at the assisted living buildings. As such, market acceptance should be realized, positively influencing the absorption. The anticipated schedule for site infrastructure followed by building construction is to begin in fall 2021, with completion dependent on market absorption, but anticipated in 2023.

Enclosed is the civil engineering plan set including the following:

- 1) Existing Conditions Plan
- 2) Site Plan
- 3) Grading Plan
- 4) Utility Plan

Also enclosed is the Condominium Plat.

Submitted separately for Architectural Design Review (ADR) are architectural plans for the 5 and 6-unit townhome buildings, as well as the assisted living CBRF building. Those plans include the following:

- 1) Townhome architectural plans (5 and 6-unit buildings) that have exterior elevations, foundation, and floor plans.
- 2) CBRF Building:
 - a. Civil engineering plans for the entire project site.
 - b. Landscaping plans for the entire project site as well as detailed plans for the three (3) building types and the plant schedule.
 - c. Architectural plans that have exterior elevations and the CBRF floor plan.

The project sponsor is planning to sell the land condominium units associated with the duplexes to a select list of reputable home builders. Per Fitchburg's ordinances, the duplexes do not require ADR approval.

Upon receiving the SIP approval in September, the underground utilities, mass grading and the roadway will be constructed. Depending on the fall weather, asphaltic binder course will be paved with the finish course completed later following building construction. The site will be stabilized with seed and mulch and detailed landscape plantings will be installed with the construction of each building. Market research has indicated that there is significant demand for more affordable housing. As such, it is anticipated that the home builder(s) will begin construction of the duplexes concurrent or immediately following the installation of the site infrastructure. The project sponsor also intends on commencing the construction of the townhomes this fall, followed by the construction of the assisted living CBRF in 2022. Regarding the assisted living CBRF building, as the mechanical systems are designed, consideration will include the incorporation of solar generated power.

Consistency with the Comprehensive Development Plan

This proposed development remains consistent with the MDR usage per the amended Comprehensive Development Plan for this site. It should be noted that although the total unit count has remained the same (54) as the previously approved GIP in 2014 and 2015, the overall bedroom count between the prior project's site plan was 303 versus the current project's bedroom count of 202 for a reduction of 101 bedrooms overall, thus a significant reduction in the overall occupants residing within the development. Therefore, the intensity of the site regarding traffic patterns, waste production, etc. is notably reduced. The currently proposed project plan also includes more affordable owner-occupied housing types (i.e., duplexes and townhomes) versus more expensive single-family homes. The previous plan did not include any owner-occupied housing. The proposed buildings have an architectural mass that is less than the neighboring apartments to the east and larger row townhomes to the south.

Project Analysis

Site Planning Considerations

The building layout has been carefully considered to work with the site's existing topography instead of against the site's natural features. To that end, the CBRF building has been located in the northeast section of the parcel since the existing elevations work best with the needs of the CBRF buildings. The existing elevations provide the grade difference needed to have accessible pedestrian access to the first floor while providing car access to the underground parking below.

The duplexes and townhomes have been located around the south, northwest, and east sides of the property to mirror the existing buildings located across the adjacent streets.

The duplex units are anticipated to be the typical 3-bedroom, 2 ½ bathroom, 2-car garage units with the requisite common areas (i.e., kitchen, storage, closets, living, laundry etc.). The townhome units are also anticipated to be 3-bedroom, 2 ½ bathroom, 2-car garage units with the typical common areas. The CBRF building is being designed with two major sections (i.e., east, and west), both each having four (4) separate wings that represent housing units, so there will be eight (8) total units. At the main assisted living floor, each unit will have its own living, dining, and entertainment (TV) rooms, along with five (5) bedrooms. Within each of the east and west sections of the building, there will be a main entrance, opening to a central common area with a manager’s office (east), conference room (west), kitchen, public bathroom, and requisite storage, etc. At the partially exposed lower basement level, care giving staff suites will be included below the assisted living units above. These units will be designed similarly to the assisted living duplex units previously approved in 2014 where care giving staff spaces were programmed on both the upper and the partially exposed basement levels. The design reflects the creation of an intergenerational household allowing for the care giving staff to establish residency in Fitchburg versus them traveling to and from their place of work, thus reducing the traffic in the neighborhood.

A summary of the building types are as follows:

Building Summary

Building Type	Count	Units / Bldg	Total Units	Building Height	
				Feet	Stories
Duplex	5	2	10	TBD	2
CBRF	1	8	8	18+/-	1 w/ exposed basement
5-Unit Townhome	6	5	30	35'-2"	3
6-Unit Townhome	1	6	6	35'-2"	3
Totals	13		54		

All the buildings will be designed to compliment the surrounding architecture and will include horizontal profile siding, masonry accents at the foundation on the public street elevations, architectural shingles, and various siding trim boards to separate dissimilar siding patterns. The architectural plans submitted separately include exterior façade details and product descriptions.

The internal private drive has been designed with an alignment that reflects the natural grades of the site, as well as geometrics allowing the safe travel of pedestrians and vehicles to access all the buildings, but especially both the ADA compliant resident floor of the CBRF buildings, as well as the lower basement level staff suite areas. The project site’s size at just under 6 acres allows for clustering of the duplex and assisted living building types along the northern area of the site, with the townhomes on the perimeter east and south sides of the site to balance with the existing adjacent multifamily buildings. With the meandering internal private drive, the interior of the site will result in a more favorable landscape design, creating a much more aesthetically appealing community as compared to the traditionally zoned housing blocks adjacent and to the north.

Neighborhood Context

Adjacent land uses include:

- Duplexes to the north
- Townhomes to the south
- Multi-family to the east

Natural and man-made features

The project area has no natural or man-made features. Prior to the Swan Creek development being constructed, the area was farm field. The block was seeded with lawn type vegetation with the original development. Since then, fast-growing low-quality trees and undergrowth have established on the site.

Vehicle, Pedestrian and Bike Circulation

The project site is surround by public streets, sidewalks and neighborhood pedestrian and bike trails. Within the site, each building will have private sidewalk connections to the public sidewalks.

Parking and Building Occupancies

On-site parking will consist of approximately 118 surface stalls and 112 covered garage stalls. Each of the duplex and townhome units will have a 2-car garage, as well as driveways to park an additional two (2) cars. The assisted living CBRF building will have multiple garages, both 1-car and 2-cars, incorporated into the basement floor design to allow for 20 cars to park inside. There are also 26 total surface parking stalls on the site in addition to driveway parking. On-site parking demand was evaluated based on the anticipated needs of anticipated visitors, employees of the assisted living and residents of the duplexes and townhomes and their guests.

Landscaping

Landscaping plans for the entire project site as well as detailed plans for the three (3) building types and the plant schedule are included in the ADR submittal for the assisted living CBRF building. The landscaping was designed to meet all City of Fitchburg requirements and includes various species of canopy shade, ornamental, and evergreen trees, as well as deciduous shrubs, all Wisconsin native species.

Site Lighting

All the buildings will be designed to include the typical coach light fixtures on either side of the overhead garage door, as well as the front entries. Site lighting will include traditional style streetlights spaced to reflect the proposed 20-foot pole height.

Specific Implementation Plan

We request the approval of this Planned Development District to reflect the unique site vehicular and pedestrian circulation, aesthetically designed landscaping, parking, types, size, uses, and location of the various housing structures, utility plan, grading plan, use of open spaces, and other land use features as

described in the attached supporting documents. The site plan represents a maximum dwelling unit count of 54 units, as previously approved.

PDD-SIP Development Parameters

Street Setback: 18 feet (Minimum)
 Maximum ISR: 65%
 Minimum Open Space: 30%

Infrastructure

Site Plan

The attached site plan exhibits the alignment of Inspiration Way, the private drive that serves all the driveways for each of the three building types. The building footprints for the townhomes and the assisted living CBRF building are included, as well as the land condominium units for the duplexes. All building setbacks are indicated on the site plan as well as included in the table below.

Building Setbacks

Unit #	Front		Rear	Side	Side Street		Building Type
	Dist.	Public Street	Private Drive		Dist.	Side Street	
1	18'	Sassafras Dr.	15'	5'	15'	Private Drive	CBRF
2	18'	Crinkle Root Dr.	22'	7'	18'	Sassafras Dr.	5 Unit Townhome
3	18'	Crinkle Root Dr.	20'	7'	18'	East Cheryl	5 Unit Townhome
4	18'	East Cheryl Pkwy	20'	7'	N/A		5 Unit Townhome
5	18'	East Cheryl Pkwy	20'	7'	N/A		5 Unit Townhome
6	18'	East Cheryl Pkwy	20'	7'	N/A		6 Unit Townhome
7	18'	East Cheryl Pkwy	20'	7'	N/A		5 Unit Townhome
8	18'	East Cheryl Pkwy	20'	7'	N/A		5 Unit Townhome
9	18'	Sassafras Dr.	22'	6'	N/A		Duplex
10	18'	Sassafras Dr.	22'	6'	N/A		Duplex
11	18'	Sassafras Dr.	22'	6'	N/A		Duplex
12	18'	Sassafras Dr.	22'	6'	N/A		Duplex
13	18'	Sassafras Dr.	22'	6'	N/A		Duplex

Grading Plan

Generally, the existing western 2/3 of the site slopes to the southwest while the eastern 1/3 of the site slopes to the southeast. The proposed grading generally follows the existing slope direction. The grading plan is attached.

Utility Plan

Water main for the site is proposed to be public. The water main will be extended from the existing water main within Sassafras Drive, connecting to the water main in Big Blue Stem. Sanitary sewer is also proposed to be public and will utilize existing sanitary sewer stubs off East Cheryl Parkway and Sassafras Drive. The utility plan is attached.

Stormwater Management

Most of the required peak rate control and sediment control are provided by the Swan Creek regional stormwater management facilities. Infiltration will be provided on site as well peak rate .

Property Owners Association Structure

The site will be organized as a horizontal land condominium structure with thirteen (13) units and a common element representing the surrounding landscaping treatments. The duplex units' owners, townhome units' owners and the entity that will own the assisted living building will be members of the Homeowners Association organized to manage the ongoing maintenance of the site.

Neighborhood Input

A neighborhood meeting, coordinated virtually to respect the ongoing COVID-19 pandemic's social distancing was scheduled on Friday, June 18, 2021, in advance of the PDD-GIP submittal. The meeting had approximately one dozen participants with only three participants asking questions regarding project timing, building height, landscaping, and traffic. All questions were answered and discussed without any concerns noted. Prior to the neighborhood meeting, a virtual meeting was also coordinated with the Swan Creek HOA. Similar questions were asked with no concerns noted.

Thank you for your time in reviewing this application.

Sincerely,



Fredric A. DeVillers
IP Holdings, LLC

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

WISCONSIN STATE STATUTE 90.01(2)(b) REQUIRES MINIMUM THREE (3) WORK DAYS NOTICE BEFORE YOU DIG

EXISTING CONDITIONS

ALL UTILITIES SHOWN ARE FROM A SURVEY CONDUCTED BY BURSE ENGINEERING, INC. DATED 12/01/14. EMMONS & OLIVIER RESOURCES (EOR) TAKES NO RESPONSIBILITY FOR ACCURACY OF ANY EXISTING CONDITIONS ELEVATIONS OR BENCHMARKS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.

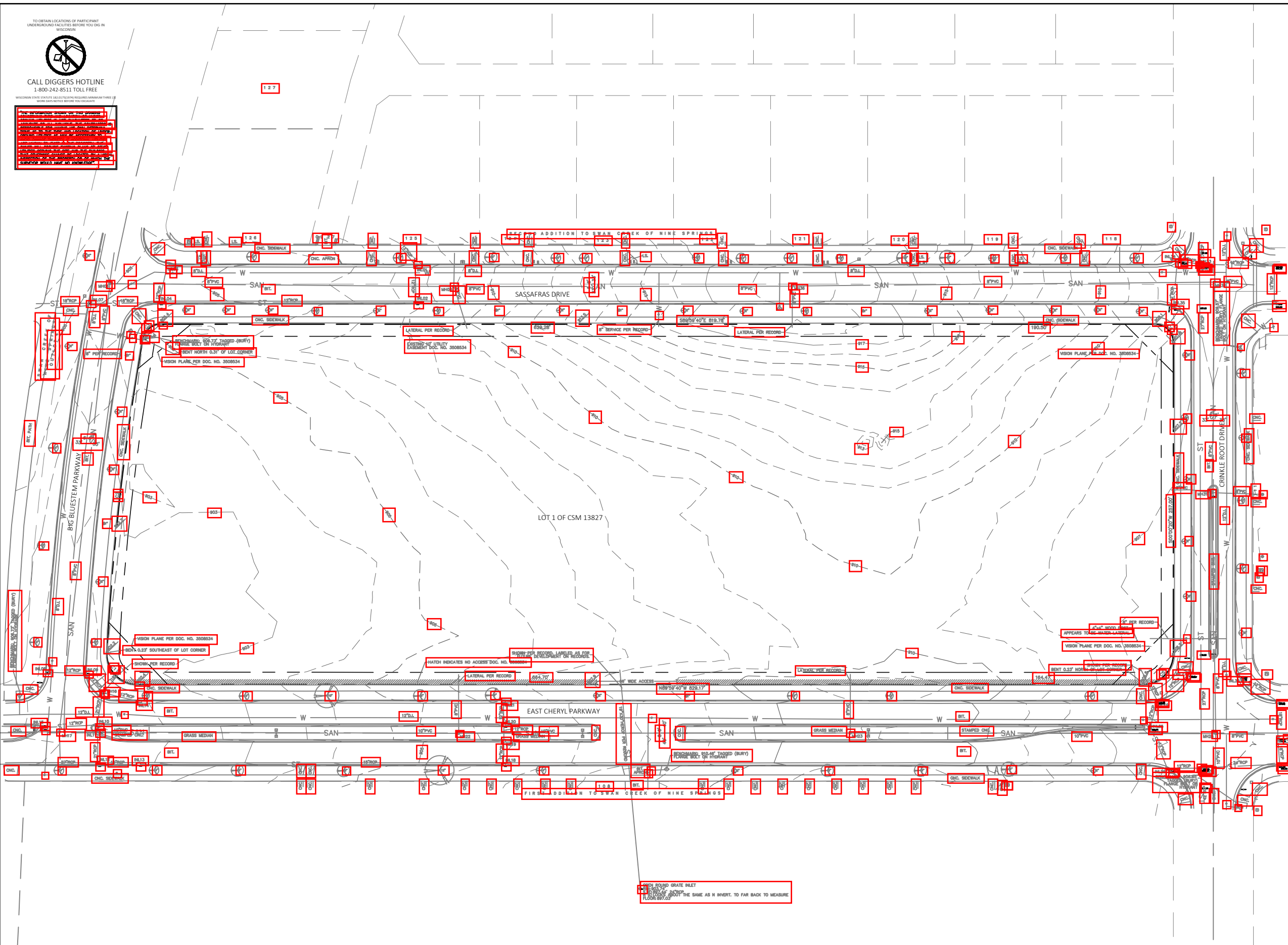


GENERAL NOTES

- EXISTING CONDITIONS SHOWN ARE FROM A SURVEY CONDUCTED BY BURSE ENGINEERING, INC. DATED 12/01/14. EMMONS & OLIVIER RESOURCES (EOR) TAKES NO RESPONSIBILITY FOR ACCURACY OF ANY EXISTING CONDITIONS ELEVATIONS OR BENCHMARKS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL INSPECTION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.
- ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG REQUIREMENTS.

LEGEND

- MAG NAIL SET
 - 3/4" SOLID IRON ROD FOUND UNLESS NOTED
 - 1" IRON PIPE FOUND UNLESS NOTED
 - FOUND NAIL
 - 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
 - × 851.3 SPOT ELEVATION
 - 1000 — EXISTING MINOR CONTOUR
 - 1020 — EXISTING MAJOR CONTOUR
 - — OVERHEAD UTILITY WIRE
 - — BURIED GAS LINE
 - — WATER MAIN
 - — SANITARY SEWER
 - — STORM SEWER
 - — BURIED TELEPHONE
 - — BURIED ELECTRIC
 - — BURIED CABLE ACCESS TELEVISION LINE
 - — BURIED FIBER OPTIC
 - WATER VALVE
 - GAS VALVE
 - GAS METER
 - AIR CONDITIONER
 - TV PEDESTAL
 - ELECTRIC PEDESTAL
 - UTILITY POLE
 - LIGHT POLE
 - GROUND LIGHT
 - TELEPHONE PEDESTAL
 - FIRE HYDRANT
 - SIGN
 - GUY WIRE
 - MAILBOX
 - BOLLARD
 - STORM SEWER INLET
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - STORM SEWER MANHOLE
 - UTILITY HANDHOLE
 - STORM SEWER STRUCTURE
 - SANITARY SEWER MANHOLE
 - LS LANDSCAPED
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.



Plot Date: 08/24/2021
 Drawing Name: P101482 - Dwg/Files/01482-002 Dwg/Files - Inspiration/Drawings/Sheets/Plan/C110 Existing Conditions.dwg
 User: CKP

NO	DATE	BY	REVISION
5			
4			
3			
2	08/24/2021	CKP	SIP SUBMITTAL & BID SET
1	07/12/2021	CKP	GIP REVISIONS
0	06/22/2021	CKP	GIP SUBMITTAL

ISSUE DATE:
06/22/2021

DESIGN BY: CKP DRAWN BY: CKP

EOR PROJECT NO.
01482-0002

EOR Emmons & Olivier Resources, Inc.
 119 SOUTH MAIN ST
 COTTAGE GROVE, WI 53527
 Tele: 608.839.4422
 www.eorinc.com

IP HOLDINGS, LLC
 5210 SIGGELKOW ROAD

INSPIRATION AT SWAN CREEK
 CITY OF FITCHBURG
 DANE CO, WISCONSIN

EXISTING CONDITIONS

C110

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

WISCONSIN STATE STATUTE (S.C. 10.01) REQUIRES MINIMUM THREE (3) FEET OF COVER OVER ALL SANITARY AND WATER MAINS.

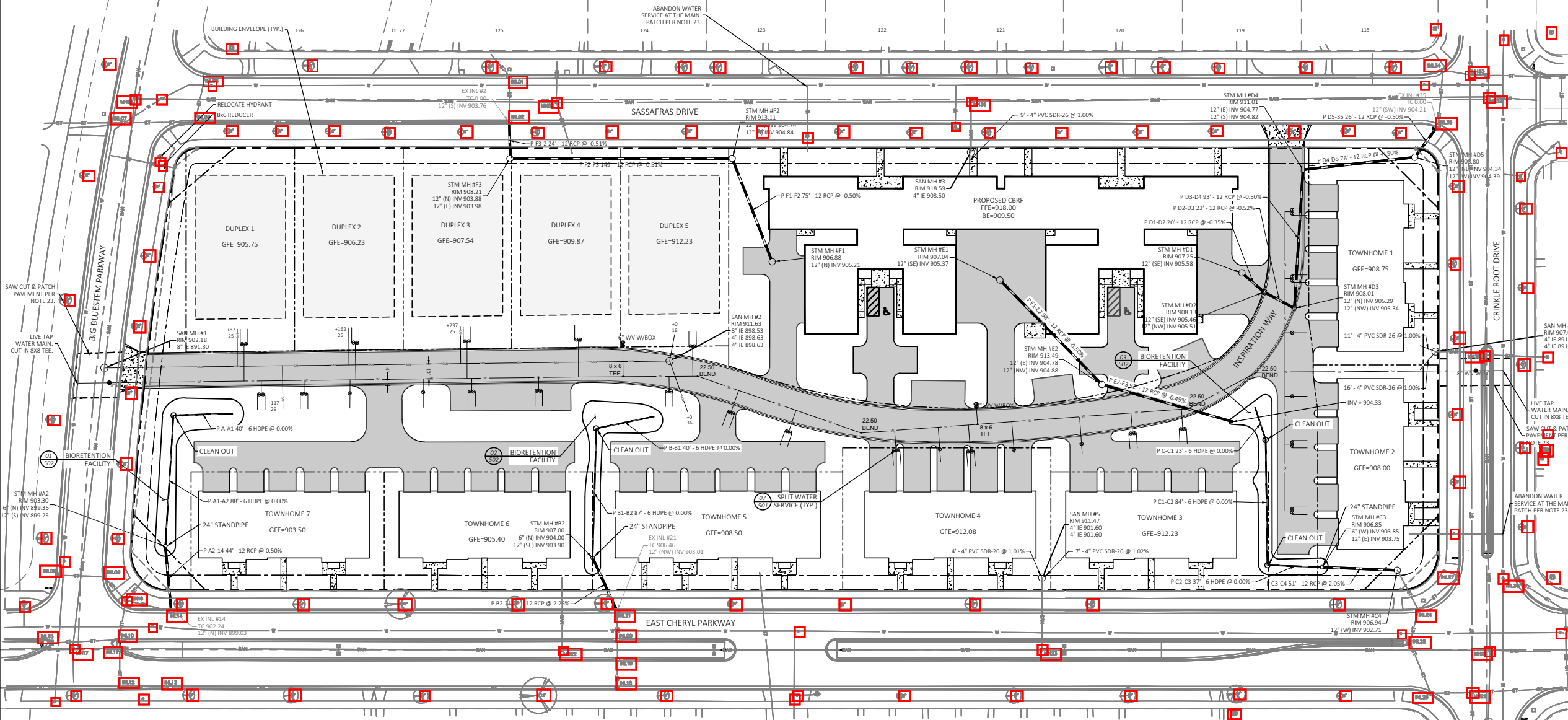


LEGEND

- PROPERTY LINE
- - - UTILITY EASEMENT
- - - CONDO UNIT LINES
- - - PROPOSED WATER
- - - PROPOSED SANITARY
- PRO ASPHALT
- PRO CONCRETE

UTILITY PLAN NOTES

1. ALL WATERMAINS BETWEEN THE CITY'S WATER SYSTEM UP TO AND INCLUDING PRIVATE HYDRANTS AND LEADS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VEHICLES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VEHICLES 48 HOURS IN ADVANCE OF CONNECTION.
3. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATERMAINS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COST INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
4. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
7. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDR.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
12. MINIMUM 6.5' COVER OVER WATER MAINS, UP TO AND INCLUDING HYDRANTS.
13. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS AND ALL OTHER PATCHING REQUIREMENTS OF THE CITY. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
14. CONTRACTOR SHALL NOTIFY THE CITY OF FITCHBURG PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
15. IN ACCORDANCE WITH ACT 425 OF THE WISCONSIN LEGISLATURE, LOCATED IN SECTION 182.07(15)(2)(b) OF THE STATE STATUTES AND OTHER APPLICABLE REQUIREMENTS, ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
16. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.35(5)(a) AND SPS 384.20(2)(c).
17. ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
18. SANITARY SEWER BETWEEN MH#1 AND MH#2 IS REQUIRED TO BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. SANITARY IS PUBLIC.
19. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-7.
20. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
21. ALL CONNECTIONS TO PUBLIC WATER MAIN AND SANITARY MANHOLES SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
22. OPEN PICKHOLES ARE PROHIBITED IN SANITARY MANHOLES.
23. PAVEMENT PATCH SHALL CONSIST OF:
 - 12" OF CRUSHED AGGREGATE BASE COURSE
 - 3" OF ASPHALTIC CONCRETE PAVEMENT, LOWER LEVEL
 - 2" OF ASPHALTIC CONCRETE PAVEMENT, UPPER LEVEL



DO NOT REMOVE THIS SIGN OR ANY SIGN. TO PAR BACK TO MEASUREMENT.

PROPOSED STORM SEWER STRUCTURE SCHEDULE

Label (ft)	RIM/TC	Invert	Structure Description	Grate
A2	903.30	899.25	24 IN PLASTIC CATCHBASIN	24" HALALA TRASH CONE
B2	907.00	903.50	24 IN PLASTIC CATCHBASIN	24" HALALA TRASH CONE
C3	906.85	903.85	24 IN PLASTIC CATCHBASIN	24" HALALA TRASH CONE
D1	907.25	905.51	48" DIA MANHOLE	R-2501-G
D2	908.13	905.51	2' X 3' BOX	R-3067-7004-L
D3	908.01	905.34	2' X 3' BOX	R-3067-7004-L
D4	911.01	904.82	2' X 3' BOX	R-3067-7004-L
D5	908.80	904.39	48" DIA MANHOLE	R-2501-G
E1	907.04	904.58	48" DIA MANHOLE	R-2501-G
E2	913.49	904.58	48" DIA MANHOLE	R-2501-G
F1	906.88	904.84	48" DIA MANHOLE	R-2501-G
F2	913.11	904.84	48" DIA MANHOLE	R-2501-G
F3	908.21	903.98	48" DIA MANHOLE	R-2501-G

PROPOSED STORM SEWER PIPE SCHEDULE

Pipe Label	Length (ft)	Slope (ft)	Size
P-A1-A2	40	0.00%	48"
P-A1-A2	88	0.00%	48"
P-A2-A4	44	0.50%	12"
P-B1	40	0.00%	48"
P-B1-B2	87	0.00%	48"
P-B2-B3	99	0.26%	12"
P-C1	31	0.00%	48"
P-C1-C2	84	0.00%	48"
P-C2-C3	37	0.00%	48"
P-C3-C4	51	0.00%	12"
P-D1-D2	30	0.35%	12"
P-D2-D3	23	0.52%	12"
P-D3-D4	89	0.00%	12"
P-D4-D5	76	0.00%	12"
P-E1-E2	26	0.50%	12"
P-E1-E2	98	0.50%	12"
P-E2-E3	92	0.49%	12"
P-F1-F2	75	0.00%	12"

NO	DATE	BY	REVISION
#			
#			
#	08/24/2021	CKP	SIP SUBMITTAL & BID SET
#	07/12/2021	CKP	GIP REVISIONS
0	06/22/2021	CKP	GIP SUBMITTAL

ISSUE DATE:
06/22/2021

DESIGN BY: CKP
DRAWN BY: CKP

FOR PROJECT NO.
01482-0002

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INSPIRATION AT SWAN CREEK
CITY OF FITCHBURG
DANE CO, WISCONSIN

UTILITY PLAN C140

Plot Date: 08/26/2021
Drawing Name: P:\Projects\1482-0002\Drawings\1482-0002-C140-Utility Planning.dwg
User: jason.sullivan
Engineer: jason.sullivan