



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: IP Holdings, LLC / Fredric DeVillers

Address: 5210 Siggelkow Road **Phone Number of Contact Person:** (608) 220-6129

City, State, Zip Code: Madison, WI 53718 **Email of Contact Person:** Fred@Forward-Development.co

Project Address: East Cheryl and Big Blue Stem Parkways, **Lot:** 1 of CSM 1382 **Subdivision:** Swan Creek

Project Type: **Multi-Family** **Commercial** **Industrial** **Other**
 New **Addition**

Impervious Surface Ratio (ISR): 59% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures.
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

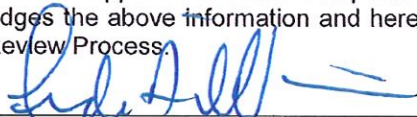
Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

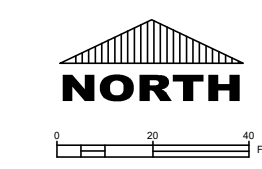
Signed:  Date: M, 8/23/2021
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 8/24/21 Plan Commission Date: 9/21/21

Comments:



LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- PRO ASPHALT
- PRO CONCRETE

NOTES

1. ALL WORK IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
2. ALL DIMENSIONS ARE TO THE FACE OF CURB EXCEPT AS NOTED.
3. ALL RADII ARE TO THE FACE OF CURB.
4. ALL CURB AND GUTTER AND SIDEWALK REPLACEMENT AS REQUIRED BY THE CITY OF FITCHBURG INSPECTOR WITHIN THE ROW SHALL BE INSTALLED PER THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
5. USE 4" WIDE, LATEX BASED, HIGH VISIBILITY PAINT FOR STALL LINES. COORDINATE COLOR WITH OWNER. (BY OTHERS)
6. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY. (BY OTHERS)
7. SIGNS TO MEET MANUAL ON UNIFORM TRAFFIC CONTROL AS TO COLOR, LETTERING AND DIMENSIONS AND SHALL BE INSTALLED AT A HEIGHT OF SEVEN FEET.
8. PROVIDE SIDEWALK CONSTRUCTION JOINTS AT EVEN SPACING AT A DISTANCE APART EQUAL TO THE SIDEWALK WIDTH AND AS IS TYPICAL IN CONCRETE CONSTRUCTION.
9. A CITY OF FITCHBURG STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE RIGHT OF WAY.

SITE INFORMATION

SITE ADDRESS: EAST CHERYL PARKWAY
 LOT ACREAGE: 5.905 AC
 USE OF PROPERTY: RESIDENTIAL
 ZONING: PLANNED DEVELOPMENT DISTRICTS - GENERAL IMPLEMENTATION PLAN
 CURRENT PROPOSED ZONING: PLANNED DEVELOPMENT DISTRICTS - SPECIFIC IMPLEMENTATION PLAN

SETBACKS:
 FRONT YARD: 18 FT

MAXIMUM LOT AREA COVERAGE: 65%
 MINIMUM OPEN SPACE REQUIRED: 35%

EXISTING IMPERVIOUS SURFACE AREA: 0 SQ. FT.
 PROPOSED IMPERVIOUS SURFACE AREA: 150,990 SQ. FT.

PERCENT LOT IMPERVIOUS:
 EXISTING: 0%
 PROPOSED: 58.70%

OPEN SPACE
 EXISTING: 100%
 PROPOSED: 41.30%

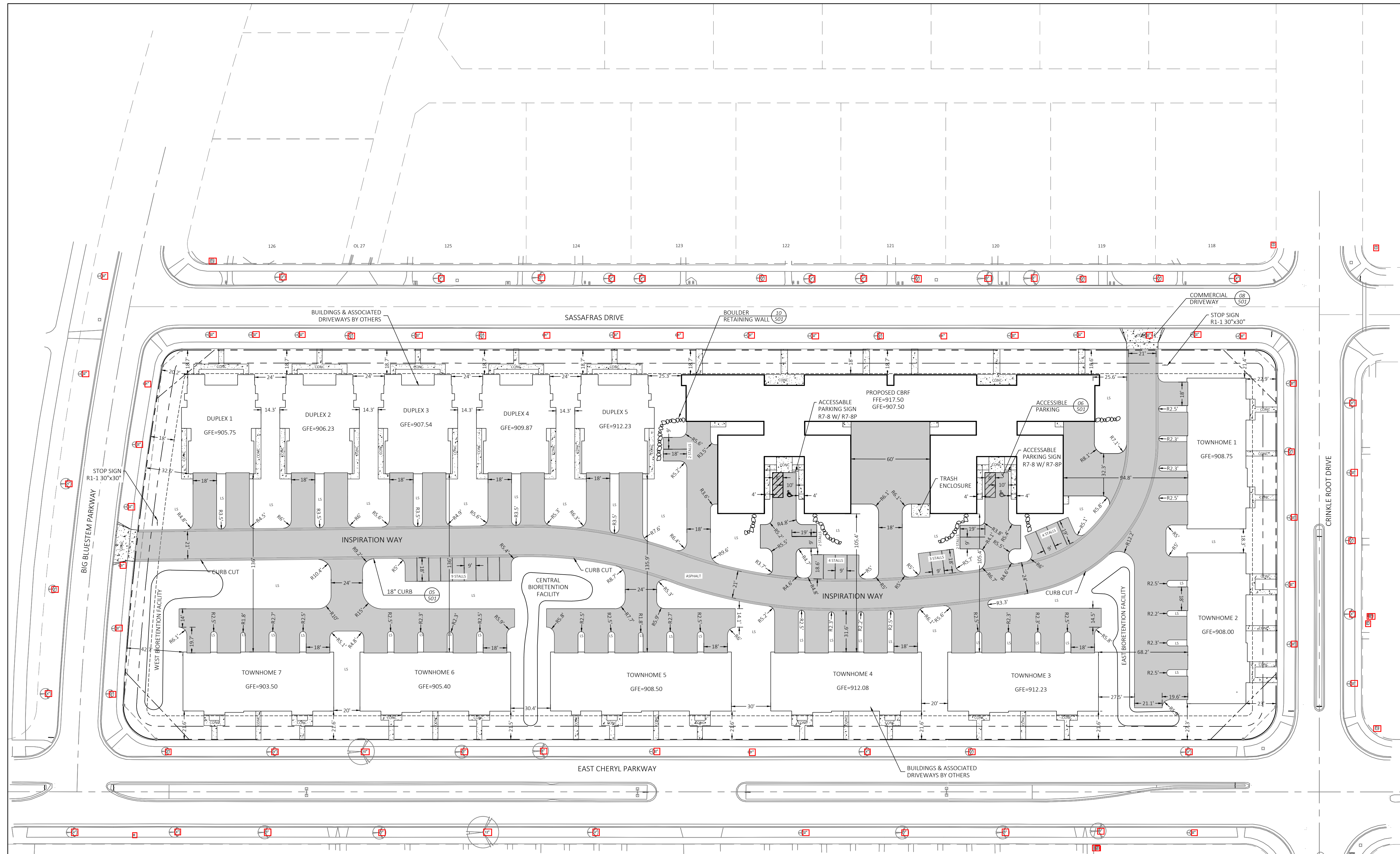
BUILDING AREA: 75,125 SF
 PAVEMENT AREA: 68,675 SF

TOTAL NUMBER OF PARKING STALLS:
 SURFACE: 120
 DRIVEWAY: 92
 VISITOR: 28
 GARAGE: 112
 NUMBER OF STALLS DESIGNATED ACCESSIBLE: 2

DISTURBANCE LIMITS: 262,615 SQ. FT.

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE
 WISCONSIN STATE SERVICE CENTER (202) 276-0000 (MADISON, WISCONSIN)
 MORE DATA NOTICES BEFORE YOU DIG.ASAP

THE INFORMATION SHOWN ON THIS DRAWING IS THE PROPERTY OF EOR INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EOR INC. ANY REPRODUCTION OR TRANSMISSION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF EOR INC. IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO EOR INC. AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES.



Plot Date: 08/24/2021
 Drawing Name: P:\Projects\108_0182\108_0182_SIP.dwg
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 Title: 108_0182_SIP.dwg
 Scale: 1/8"=1'-0"
 Date: 08/24/2021
 Time: 10:00:00 AM
 Project: 108_0182
 Sheet: 108_0182_SIP.dwg

NO	DATE	BY	REVISION
2	08/24/2021	CKP	SIP SUBMITTAL & BID SET
1	07/12/2021	CKP	GIP REVISIONS
0	06/22/2021	CKP	GIP SUBMITTAL

ISSUE DATE:
06/22/2021

DESIGN BY: CKP DRAWN BY: CKP

FOR PROJECT NO.
01482-0002

EO Emmons & Olivier Resources, Inc.
 119 SOUTH MAIN ST
 COTTAGE GROVE, WI 53527
 Tele: 608.839.4422
 www.eorinc.com

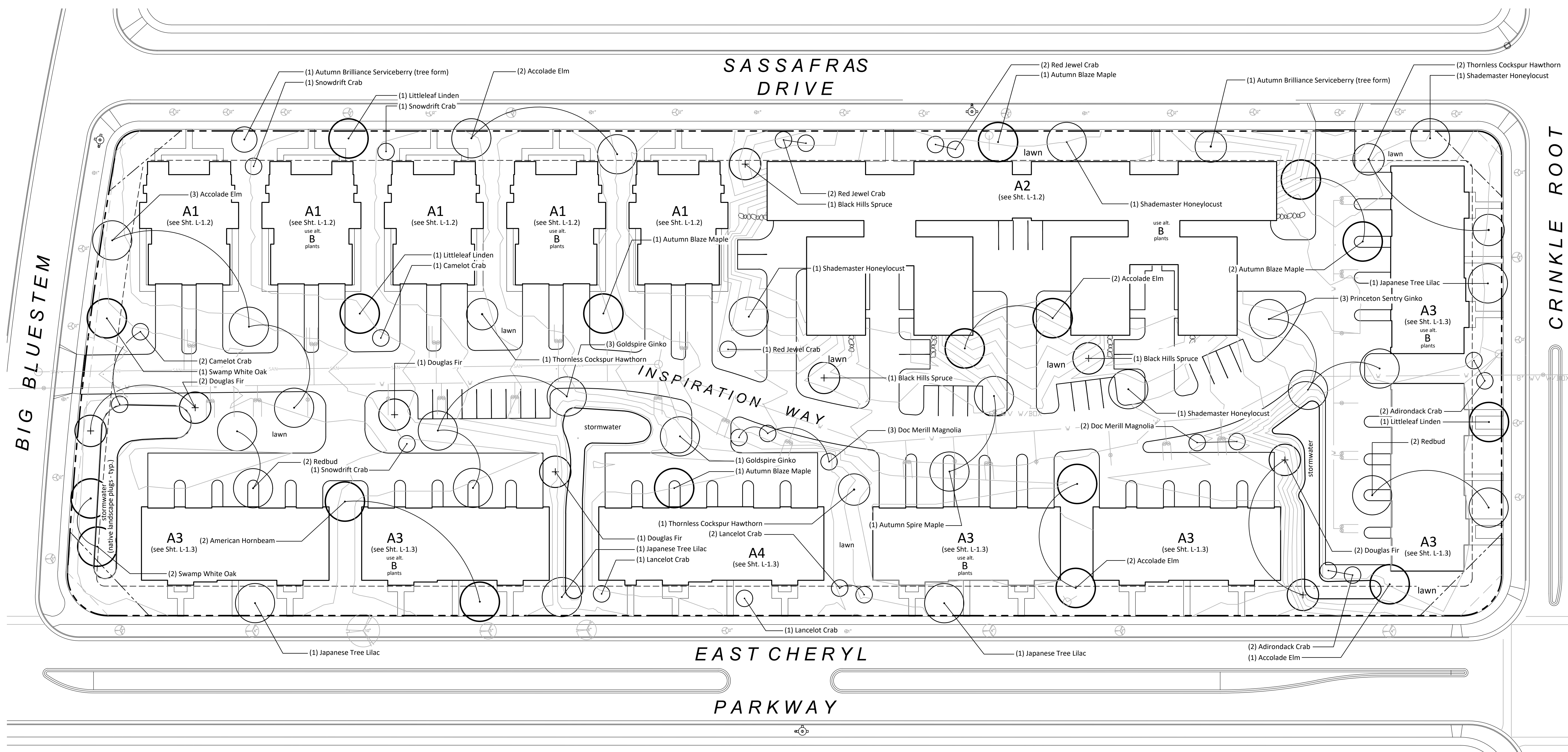
IP HOLDINGS, LLC
 5210 SIGGELKOW ROAD

INSPIRATION AT SWAN CREEK
 CITY OF FITCHBURG
 DANE CO, WISCONSIN

SITE PLAN

C120

ISSUANCE/REVISION	DATE
GIP PLAN SUBMITTAL	06-22-21
PLAN UPDATE	07-08-21
SIP PLAN SUBMITTAL	08-24-21



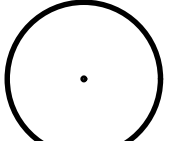
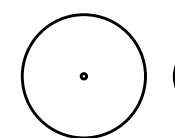
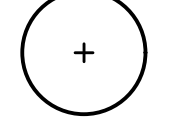

1 SPECIFIC LANDSCAPE TREATMENT PLAN

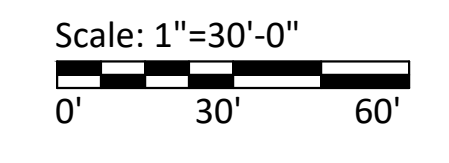
Scale: 1"=30'-0"

GENERAL LANDSCAPE NOTES:

- Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
- "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries. (www.valleyviewind.com/professional/)
- All lawn areas shall be fine graded and installed with seed at a rate of 200lbs. per acre. Basis of Design: Supreme Lawn Seed Mix, Reinders Company (www.reinders.com/golfssoftgoods/reinmixtures.asp).
- Slope areas of 3:1 or greater and concentrated overland drainage channels shall be seeded with lawn seed mixture and overlaid with a single net, photo biodegradable straw blanket that is pegged with metal staples or biodegradable stakes.
- Unless otherwise indicated, plant beds to receive locally available, clean washed 1 1/2" - 2 1/2" durable landscape stone spread to a 3" min. depth over a commercial grade weed barrier fabric.
- Perennials in mass bed plantings to be planted in staggered rows.
- Contractor is responsible for repairing any and all damage to the adj. properties. Planted areas shall be replanted, damaged lawn areas shall be repaired with sod and adjacent curbs and pavement shall be re-paved.
- Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.
- Contractor to install a stone maintenance edge around the building perimeter of all buildings. Maintenance edge to be locally available landscape stone installed to a depth of 4". Stone shall be contained by steel edging, typ. and stone shall be spread over a commercial grade weed barrier fabric, typ.
- Topo lines this plan shown for general reference only. See site grading and architectural for final.

Legend:

- Typical Canopy Shade Tree (WI native preferred) 
- Typical Ornamental Tree (WI native preferred) 
- Typical Evergreen Tree (WI Native preferred) 
- Typical Deciduous shrub (WI Native preferred) 



SHEET NAME
OVERALL LANDSCAPE PLAN

PROJECT
INSPIRATION AT SWAN CREEK
FITZBURG, WISCONSIN

L-1.1

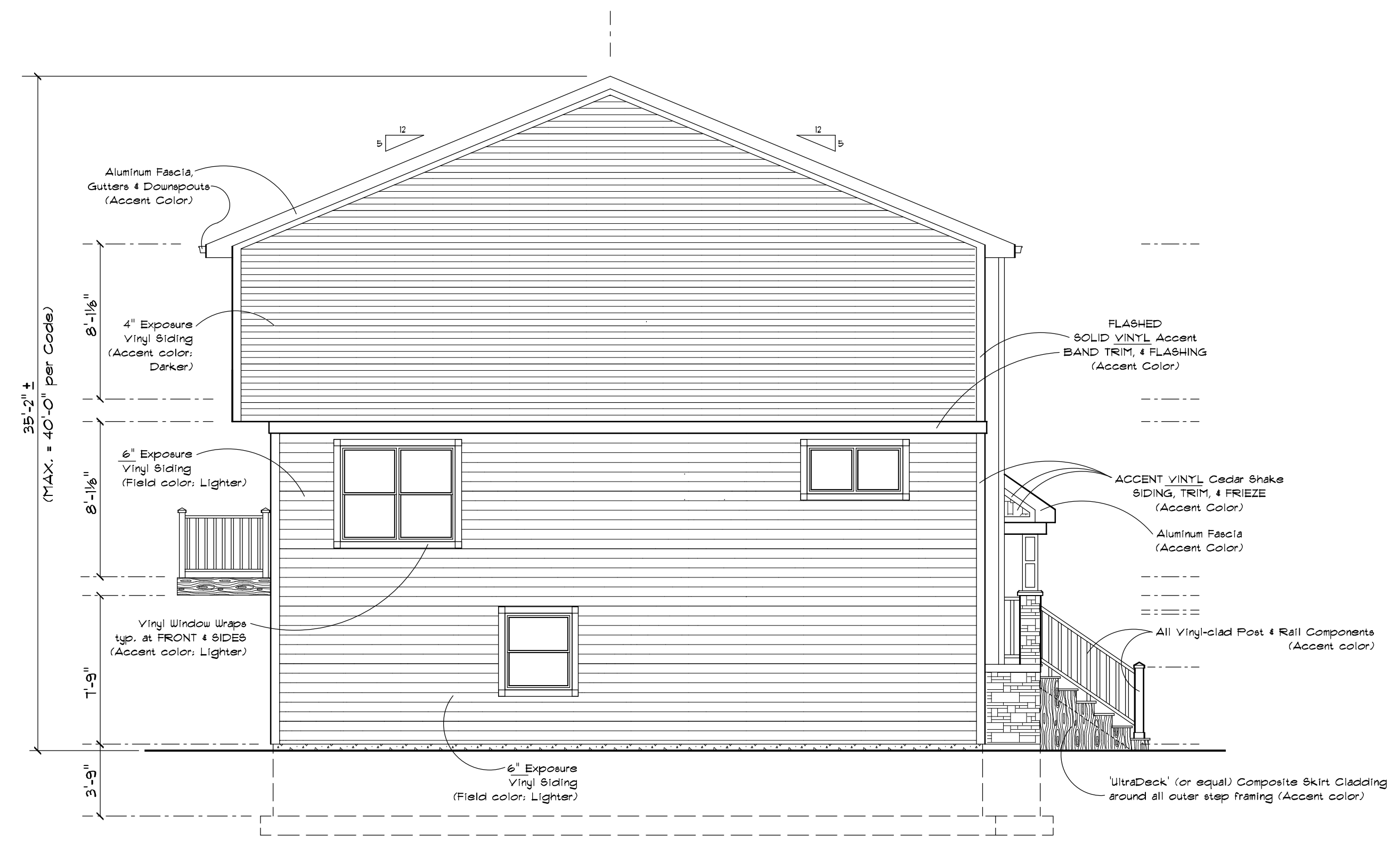


General 'ELEVATION' Notes:

- All NEW construction shall comply with the ADA and all governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.
- Adherence to Code Requirements of the New construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act).
- All NEW windows shall be 'Andersen' or approved equal. Window units shall be clad exterior, double pane, low E of the style and size as indicated on the FLOOR PLANS and EXTERIOR ELEVATIONS. Provide code compliant egress windows where required. All operable window units shall have insect screens and be lockable.
- All NEW doors shall have Lever Handles.
- Provide proper roof (attic space) ventilation by installing vented soffits/lowers and continuous ridge vents, etc. as required per code.
- The builder shall be responsible for determining all structural conditions. Any alteration of the prescribed structural components as a result of NEW construction shall be the responsibility of the Builder.
- Any conflicts encountered with the NEW construction shall be brought to the attention of the Architect for possible resolve.
- All Mechanical Sub-Contractors shall be responsible for Designing their own systems and acquiring their own respective permits as necessary.

NOTE:
GRILLES BETWEEN THE GLASS PANES
OF WINDOWS & DOORS AS SHOWN.

'FRONT' ELEVATION
SCALE: 3/16" = 1'-0"



'LEFT' ELEVATION
SCALE: 3/16" = 1'-0"

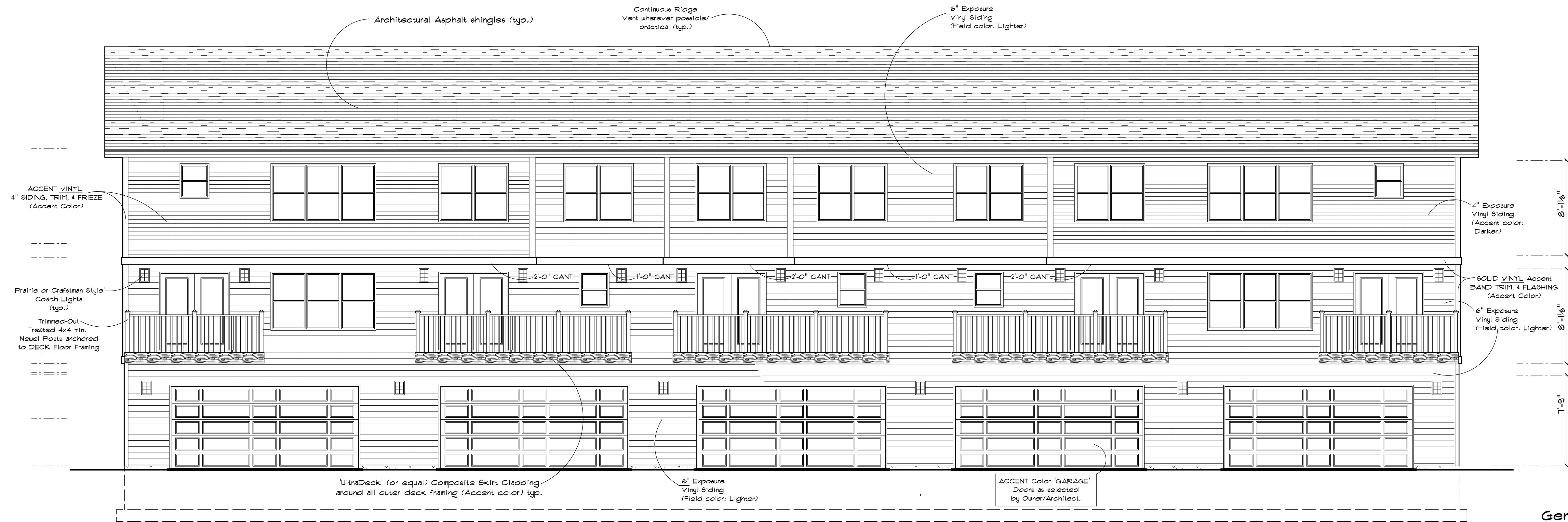
BUILDING INFORMATION:

CONSTRUCTION TYPE: VB Wood-Framed
 OCCUPANCY: R-2 RESIDENTIAL
 HEIGHT: TWO STORIES w/ BASEMENT
 FIRE PROTECTION:
 SMOKE Alarms per IBC 907.2.11.2
 Fire Extinguishers per IBC 906.1
 FIRE SEPARATION:
 UNIT TO UNIT: 1-Hour Min. Rated Separation.
 PARTYWALLS: Extend from Top of Foundation Wall between Units to Underside of Roof Deck.
 GARAGES: 1-Hour between GARAGES and 1-Hour between UNIT & GARAGE.
 WOOD FRAME PROTECTION:
 5/8" Type 'X' Fire Rated Gypsum Board per Details.

PRELIMINARY ONLY -
NOT FOR CONSTRUCTION

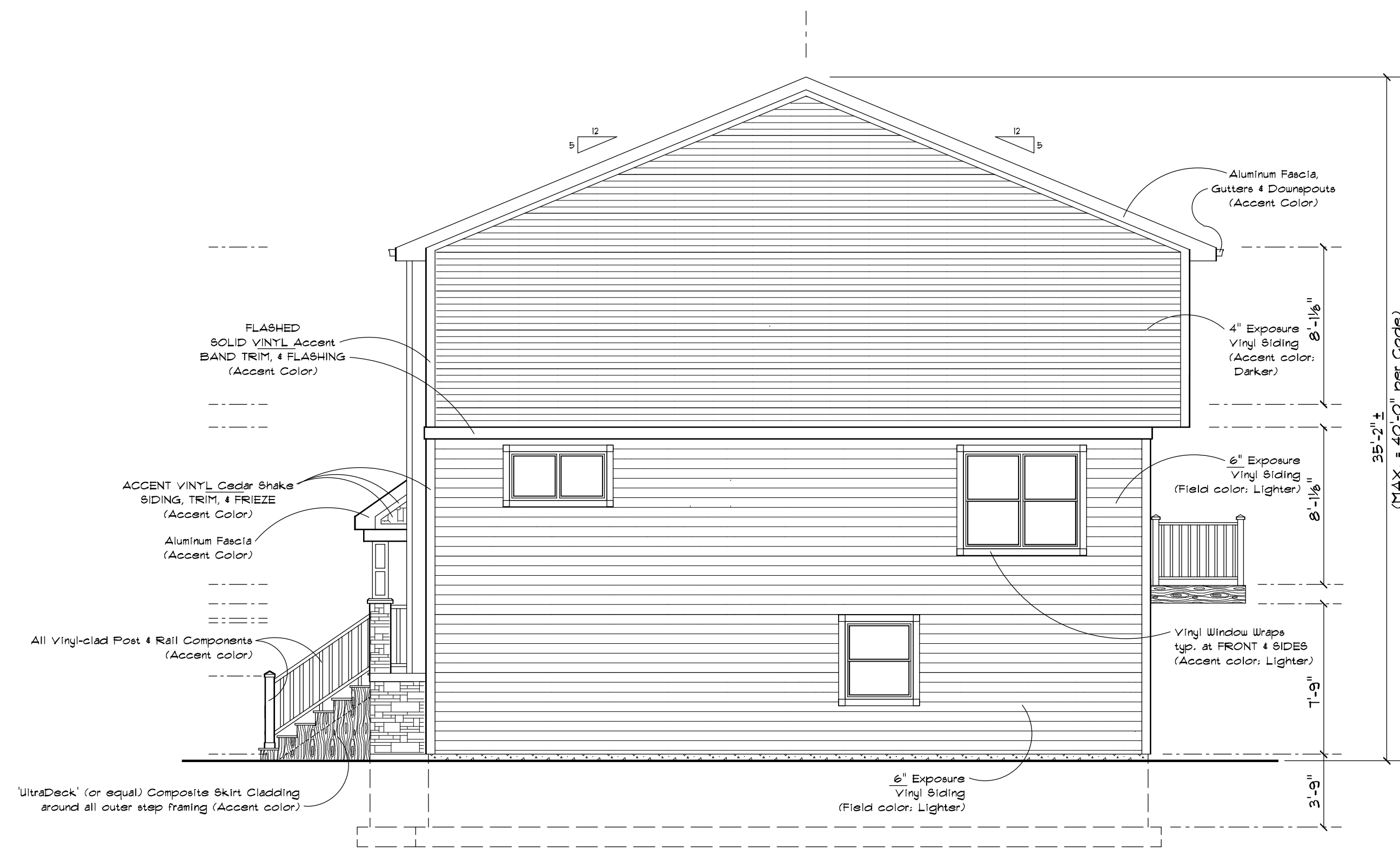
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ARCHAIDE ARCHITECTS 8194 N. Riley Rd. Verona, WI 53593 E-MAIL: gkamaia@tds.net FAX: (608) 845-8159		INSPIRATION AT SWAN CREEK TOWNHOMES SWAN CREEK, WISCONSIN	
		IP Holdings, LLC 5210 Siggeikow Road Madison, WI 53718	
BUILDING ELEVATIONS 5-UNIT		Project Number 21-01	
Scale: 3/16" = 1'-0"		Document Release 8-18-21 Design Review	
Drawn: Greg Kern		Checked: Greg Kern	
Sheet Number A1		PLOT DATE: August 23, 2021	



'REAR' ELEVATION

SCALE: 3/16" = 1'-0"



'RIGHT' ELEVATION

SCALE: 3/16" = 1'-0"

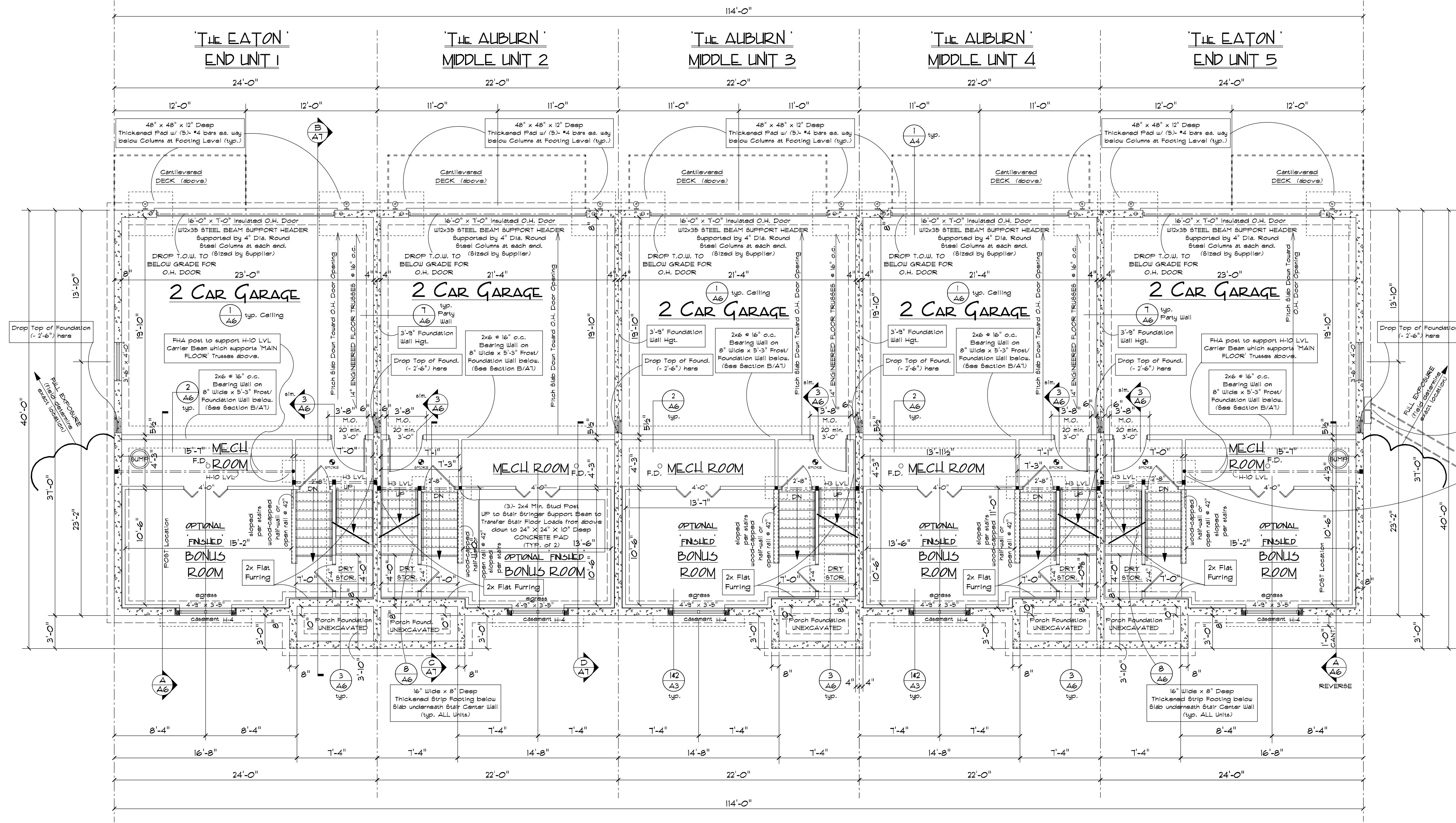
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- 3) All NEW windows shall be 'Andersen' or approved equal. Window units shall be clad exterior, double pane, low E of the style and sizes as indicated on the FLOOR PLANS and EXTERIOR ELEVATIONS. Provide code compliant egress windows where required. All operable window units shall have insect screens and be lockable.
- 4) All NEW doors shall have Lever Handles.
- 5) Provide proper roof (attic space) ventilation by installing vented soffits/lowers and continuous ridge vents, etc. as required per code.
- 6) The builder shall be responsible for determining all structural conditions. Any alteration of the prescribed structural components as a result of NEW construction shall be the responsibility of the Builder.
- 7) Any conflicts encountered with the NEW construction shall be brought to the attention of the Architect for possible resolve.
- 8) All Mechanical Sub-Contractors shall be responsible for Designing their own systems and acquiring their own respective permits as necessary.

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INSPIRATION AT SWAN CREEK TOWNHOMES		ARCHAIDE ARCHITECTS	8194 N. Riley Rd. Verona, WI 53593
SWAN CREEK		(608) 335-8159	E-MAIL: ghamala@tots.net
FITCHBURG, WISCONSIN			
IP Holdings, LLC		5210 Siggekkow Road	
SWAN CREEK		Madison, WI 53718	
BUILDING ELEVATIONS 5-UNIT			
Project Number	21-01	Document Release	8-15-21 For Design Review
Scale:	3/16" = 1'-0"	Drawn:	greg kam
Sheet Number	A2		



FOUNDATION NOTES:

Concrete Foundations:

- All Structural Concrete shall be 3000 PSI (28-day compressive strength) concrete per IBC Table 1904.2.2(2). All Structural Concrete shall comply with ACI 308.
- All NEW slabs on grade shall be 3000 PSI (28-day compressive strength) concrete.
- All NEW concrete slabs on grade shall bear on 4" compacted granular fill with 6x6 - 10/10 welded wire mesh (W.W.M.).
- All NEW interior concrete slabs on grade shall be placed over 6 mil. polyethylene vapor barrier.
- All NEW footings shall be placed below frost line.
- All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.

Design Loads:

Soil Bearing Capacity:
The Builder/Contractor shall verify a minimum Soil Bearing Capacity of 2800 PSF.

DIMENSIONS ARE FACE TO FACE OF WALLS UNLESS OTHERWISE INDICATED

NOTE:
8" WIDE x 1'-9" TALL FOUNDATION WALLS TYPICAL UNLESS NOTED OTHERWISE OR AS DETERMINED BY 'FINISH GRADES' - FIELD DETERMINE FOOTING / FOUNDATION STEPS.

(B) Stacked Gas Meters & (B) Stacked Elect. Meters (1 per each unit) FIELD DETERMINE EXACT LOCATION

3 1/2" Dia. FHA Posts to Transfer Floor Loads & Dead Loads from above ON 24" x 24" x 12" Deep CONCRETE PAD Min. w/ 3 - #4 bars @ 6" o.c. EA. WAY AS SHOWN (TYP. OF 2 at OUTSIDE Units)

BASEMENT / FOUNDATION PLAN 5-UNIT

SCALE: 3/16" = 1'-0"

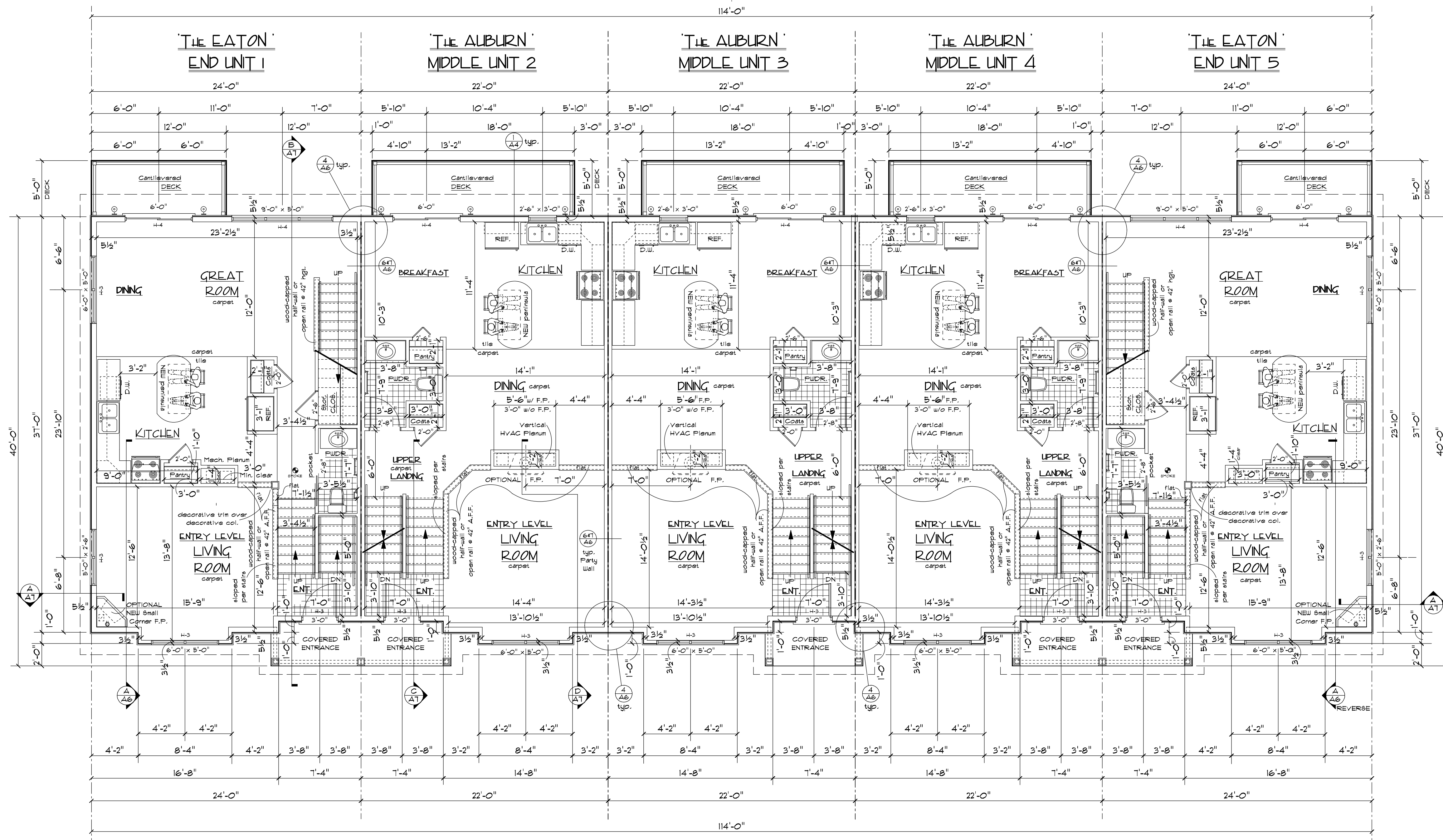
BASEMENT FLOOR:
 'The EATON' UNIT 1: 269 SQ. FT.
 'The AUBURN' UNIT 2: 249 SQ. FT.
 'The AUBURN' UNIT 3: 249 SQ. FT.
 'The AUBURN' UNIT 4: 249 SQ. FT.
 'The EATON' UNIT 5: 269 SQ. FT.

BASEMENT FLOOR TOTALS:
 1285 SQ. FT. (FINISHED/LIVING)
 2678 SQ. FT. (TOTAL GARAGES & MECHS)
 4399 SQ. FT. (TOTAL FOOTPRINT)

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ARCHAIDE ARCHITECTS 8194 N. Riley Rd. Verona, WI 53593 (608) 335-3159 E-MAIL: gkarnata@ids.net FAX: (608) 845-8159		INSPIRATION AT SWAN CREEK TOWNHOMES FITCHBURG, WISCONSIN SWAN CREEK	
		IP Holdings, LLC 5210 Siggekow Road Madison, WI 53718	
Project Number	21-01	Document Release	0-15-21 Design Review
Scale	3/16" = 1'-0"	Drawn	greg kern
Sheet Number	A3		



MAIN FLOOR PLAN - 5 UNIT

SCALE: 3/16" = 1'-0"

MAIN FLOOR:
 'The EATON' UNIT 1: 892 SQ. FT.
 'The AUBURN' UNIT 2: 813 SQ. FT.
 'The AUBURN' UNIT 3: 813 SQ. FT.
 'The AUBURN' UNIT 4: 813 SQ. FT.
 'The EATON' UNIT 5: 892 SQ. FT.

MAIN FLOOR TOTALS:
 4223 SQ. FT. (FINISHED/LIVING)
 390 SQ. FT. (TOTAL DECKS)

General Notes:

- All NEW construction shall comply with the ADA and all Governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.
- Adherence to Code Requirements of the New and Renodeled construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act).
- All NEW windows shall be 'Andersen' or approved equal. Window units shall be clad exterior double pane, low E of the style and sizes as indicated on the FLOOR PLANS and EXTERIOR ELEVATIONS. Provide code compliant egress windows where required. All operable window units shall have insect screens and be lockable.
- Provide proper roof (attic space) ventilation by installing vented soffits/buffers and continuous ridge vents, etc. as required per code.
- Provide wood blocking in walls as required for cabinetry, accessories, etc.
- All NEW doors shall have Lever Handles.
- The Builder shall be responsible for determining all structural conditions. Any alteration of the prescribed structural components as a result of NEW construction shall be the responsibility of the Builder.
- Any conflicts encountered with the NEW construction shall be brought to the attention of the Architect for possible resolve.
- NEW Smoke/Carbon Monoxide Detectors shall be installed per Plans as necessary.
- The Builder shall verify the existence and adequacy of all components required by Code including but not limited to:
 Compliant Exit Lights \otimes exit
 Compliant Fire Extinguishers \square
- All dimensions shown are existing unless noted otherwise.
- All Mechanical Sub-Contractors shall be responsible for Designing their own systems and acquiring their own respective permits as necessary.

NOTE:
Detail 'KITCHEN 4' BATH' Designs by Others.

NOTE:
6' Ceilings typ. thru-out except at High Ceiling in LIVING ROOM area - See Sections.

HEADER	SIZE / TYPE	BEARING STUDS
H-1	(2) 2 x 10's	(2) 2 x 4 OR 2 x 6
H-2	(3) 2 x 10's	(2) 2 x 4 OR 2 x 6
H-3	(2) 9 1/2" x 1 3/4" LVL (1.8E)	(2) 2 x 4 OR 2 x 6
H-4	(3) 9 1/2" x 1 3/4" LVL (2.0E)	(3) 2 x 4 OR 2 x 6
H-5	(4) 9 1/2" x 1 3/4" LVL (1.8)	(3) 2 x 4 OR 2 x 6
H-6	(4) 11 7/8" x 1 3/4" LVL (1.8)	(3) 2 x 4 OR 2 x 6
H-7	(3) Pressure Treated 2 x 10's	(3) 2 x 4 OR 2 x 6
H-8	(2) 11 7/8" x 1 3/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6
H-9	(3) 11 7/8" x 1 3/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6
H-10	(3) 14" x 1 3/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6

NOTES: - ALL HEADERS H-1 UNLESS NOTED ON PLAN.
 - THE 'KING STUD' QUANTITY SHALL BE EQUAL TO THE BEARING (TRIM) STUD QUANTITY.

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INSPIRATION AT SWAN CREEK TOWNHOMES
 SWAN CREEK
 FITCHBURG, WISCONSIN

ARCHAIDE
 ARCHITECTS
 (608) 335-8159
 E-MAIL: gkarnaia@tds.net
 FAX: (608) 845-8159

IP Holdings, LLC
 5210 Siggekow Road
 Madison, WI 53718

MAIN FLOOR PLAN 5-UNIT

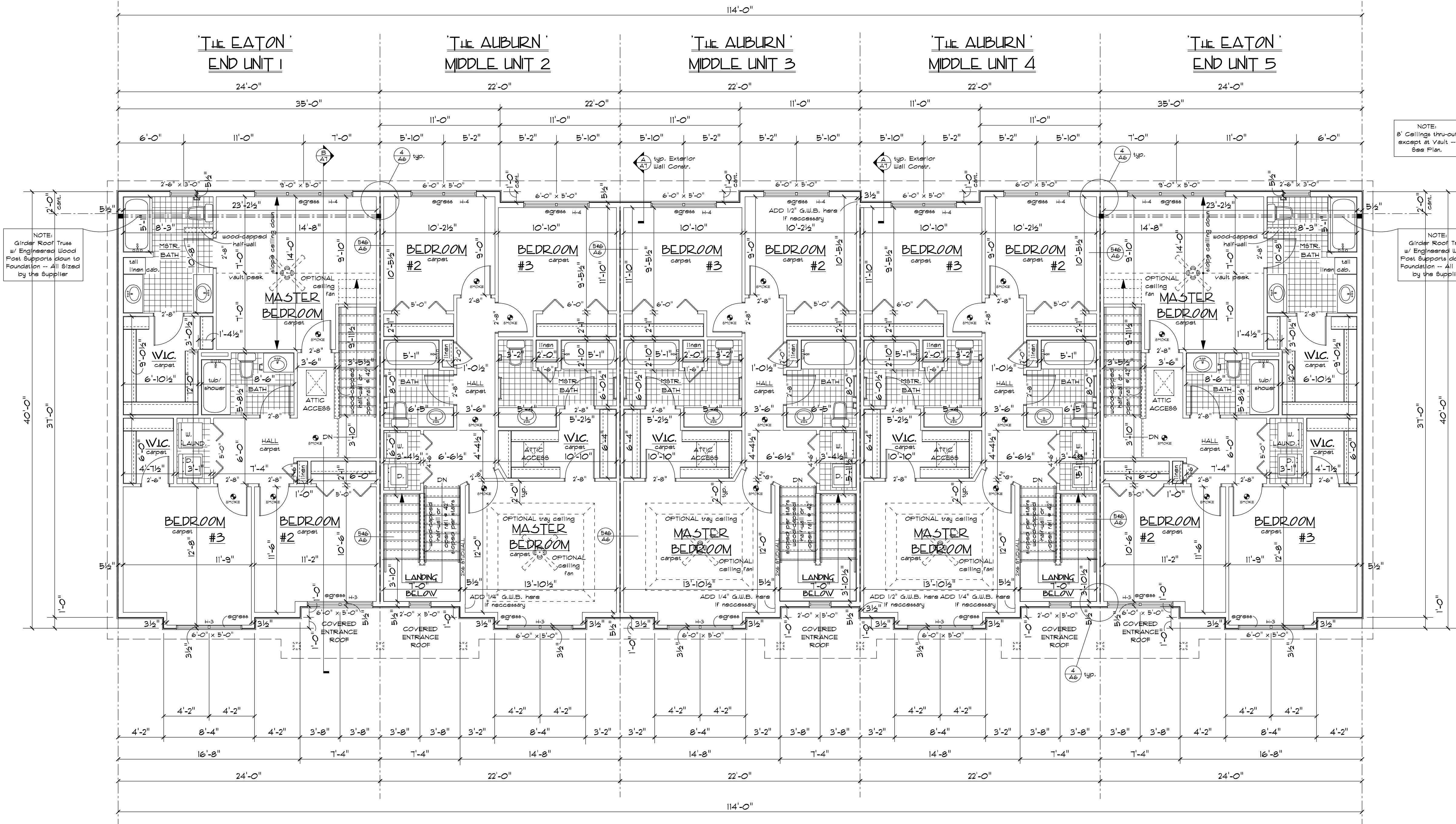
Project Number 21-01	Document Release 8-15-21 Design Review
Scale: 3/16" = 1'-0"	Drawn: greg kam
Sheet Number A4	Checked:

UNIT/ROOM	ROOM AREA	*VENTING REQ./PROVIDED	**LIGHTING REQ./PROVIDED
UNITS 14 / MSTR. BEDROOM	181.2 SQ. FT.	7.48 sq. ft. / 18.12 sq. ft.	14.38 sq. ft. / 31.35 sq. ft.
UNITS 14 / BEDROOM #2	151.6 SQ. FT.	5.50 sq. ft. / 11.66 sq. ft.	11.00 sq. ft. / 20.9 sq. ft.
UNITS 14 / BEDROOM #3	144.2 SQ. FT.	5.76 sq. ft. / 11.66 sq. ft.	11.54 sq. ft. / 20.9 sq. ft.
UNIT 2 / MSTR. BEDROOM	189.1 SQ. FT.	7.56 sq. ft. / 11.66 sq. ft.	15.13 sq. ft. / 20.9 sq. ft.
UNIT 3 / MSTR. BEDROOM	175.3 SQ. FT.	7.01 sq. ft. / 11.66 sq. ft.	14.02 sq. ft. / 20.9 sq. ft.
UNITS 243 / BEDROOM #2	146.5 SQ. FT.	4.66 sq. ft. / 11.66 sq. ft.	9.32 sq. ft. / 20.9 sq. ft.
UNITS 243 / BEDROOM #3	128.2 SQ. FT.	5.13 sq. ft. / 11.66 sq. ft.	10.26 sq. ft. / 20.9 sq. ft.

- * The Minimum Operable Area to the Outdoors shall be 4% of the Floor Area.
- ** The Minimum NET Glazing Area shall NOT be less than 8% of the Floor Area.
- *** Per the Manufacturer's Product Catalog, these Window Units meet or exceed the following:
 - Clear Operable Area of 5.7 Sq. Ft.
 - Clear Operable Width of 20" and Clear Operable Height of 24"
 - 44" MAX. Sill Heights based on a Structural Header Opening Height of 6'-10 1/2" Above Sub-Floor.

General Notes:

- All NEW construction shall comply with the ADA and all Governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.
- Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act).
- All NEW windows shall be Andersen or approved equal. Window units shall be clad exterior, double pane low E of the style and sizes as indicated on the FLOOR PLANS and EXTERIOR ELEVATIONS. Provide code compliant egress windows where required. All operable window units shall have insect screens and be lockable.
- Provide proper roof (attic space) ventilation by installing vented soffits/lowers and continuous ridge vents, etc. as required per code.
- Provide wood blocking in walls as required for cabinetry, accessories, etc.
- All NEW doors shall have Lever Handles.
- The builder shall be responsible for determining all structural conditions. Any alteration of the prescribed structural components as a result of NEW construction shall be the responsibility of the Builder.
- Any conflicts encountered with the NEW construction shall be brought to the attention of the Architect for possible resolve.
- NEW Smoke/Carbon Monoxide Detectors shall be installed per Plans as necessary.
- The Builder shall verify the existence and adequacy of all components required by Code including but not limited to:
 - Compliant Exit Lights
 - Compliant Fire Extinguishers
- All dimensions shown are existing unless noted otherwise.
- All Mechanical Sub-Contractors shall be responsible for Designing their own systems and acquiring their own respective permits as necessary.



HEADER	SIZE / TYPE	BEARING STUDS
H-1	(2) 2 x 10'S	(2) 2 x 4 OR 2 x 6
H-2	(3) 2 x 10'S	(2) 2 x 4 OR 2 x 6
H-3	(2) 8 1/2" x 13/4" LVL (1.8E)	(2) 2 x 4 OR 2 x 6
H-4	(3) 8 1/2" x 13/4" LVL (1.8E)	(3) 2 x 4 OR 2 x 6
H-5	(4) 8 1/2" x 13/4" LVL (1.8)	(5) 2 x 4 OR 2 x 6
H-6	(4) 11 7/8" x 13/4" LVL (1.8)	(5) 2 x 4 OR 2 x 6
H-7	(3) Pressure Treated 2 x 10'S	(4) 2 x 4 OR 2 x 6
H-8	(2) 11 7/8" x 13/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6
H-9	(3) 11 7/8" x 13/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6
H-10	(3) 14" x 13/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6

NOTES: - ALL HEADERS H-1 UNLESS NOTED ON PLAN
- THE "KING STUD" QUANTITY SHALL BE EQUAL TO THE "BEARING (TRIM) STUD" QUANTITY.

SECOND FLOOR PLAN 5-UNIT

SCALE: 3/16" = 1'-0"

SECOND FLOOR:
 The EATON UNIT 1: 935 SQ. FT.
 The AUBURN UNIT 2: 846 SQ. FT.
 The AUBURN UNIT 3: 846 SQ. FT.
 The AUBURN UNIT 4: 846 SQ. FT.
 The EATON UNIT 5: 935 SQ. FT.

SECOND FLOOR TOTALS:
 4408 SQ. FT. (FINISHED/LIVING)

PRELIMINARY ONLY - NOT FOR CONSTRUCTION

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INSPIRATION AT SWAN CREEK TOWNHOMES
FITCHBURG, WISCONSIN

ARCHAIDE
ARCHITECTS
(608) 335-3159
E-MAIL: gkarnata@atds.net

8194 N. Riley Rd.
Verona, WI 53593

Project Number
21-01

Scale: 3/16" = 1'-0"

Document Released
6-15-21 Design Review

Drawn: greg kern
Checked:

IP Holdings, LLC
5210 Sigelkow Road
Madison, WI 53718

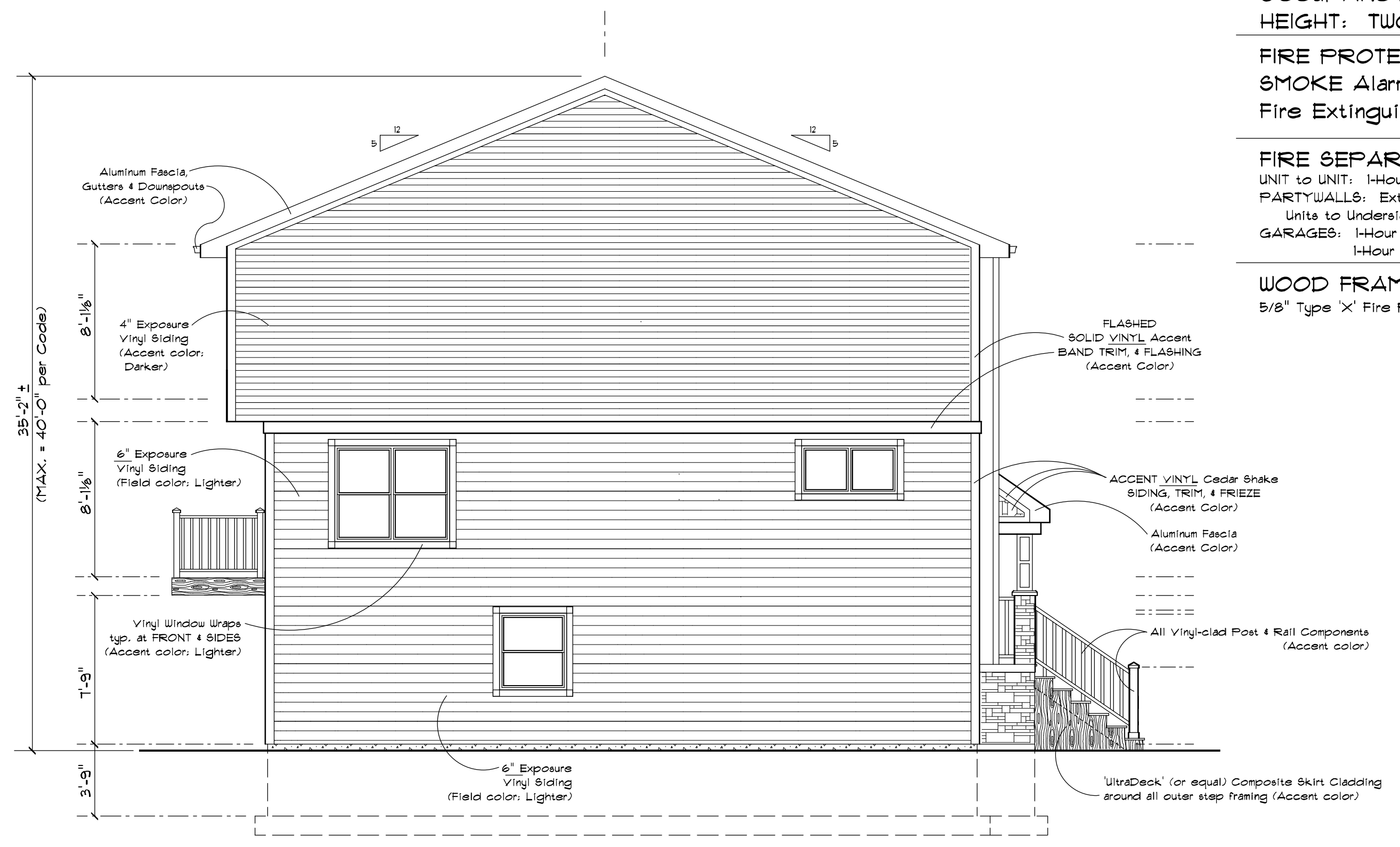
SECOND FLOOR PLAN 5-UNIT

Sheet Number

A5



'FRONT' ELEVATION
SCALE: 3/16" = 1'-0"



'LEFT' ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING INFORMATION:

CONSTRUCTION TYPE: VB Wood-Framed
 OCCUPANCY: R-2 RESIDENTIAL
 HEIGHT: TWO STORIES w/ BASEMENT
 FIRE PROTECTION:
 SMOKE Alarms per IBC 907.2.11.2
 Fire Extinguishers per IBC 906.1

FIRE SEPARATION:

UNIT TO UNIT: 1-Hour Min. Rated Separation.
 PARTYWALLS: Extend from Top of Foundation Wall between Units to Underside of Roof Deck.
 GARAGES: 1-Hour between GARAGES and 1-Hour between UNIT & GARAGE.

WOOD FRAME PROTECTION:

5/8" Type 'X' Fire Rated Gypsum Board per Details.

General 'ELEVATION' Notes:

- All NEW construction shall comply with the ADA and all Governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.
- Adherence to Code Requirements of the New construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act).
- All NEW windows shall be 'Andersen' or approved equal. Window units shall be clad exterior, double pane, low E of the style and sizes as indicated on the FLOOR PLAN and EXTERIOR ELEVATIONS. Provide code compliant egress windows where required. All operable window units shall have insect screens and be lockable.
- All NEW doors shall have Lever Handles.
- Provide proper roof (attic space) ventilation by installing vented soffits/louvers and continuous ridge vents, etc. as required per code.
- The builder shall be responsible for determining all structural conditions. Any alteration of the prescribed structural components as a result of NEW construction shall be the responsibility of the Builder.
- Any conflicts encountered with the NEW construction shall be brought to the attention of the Architect for possible resolve.
- All Mechanical Sub-Contractors shall be responsible for Designing their own systems and acquiring their own respective permits as necessary.

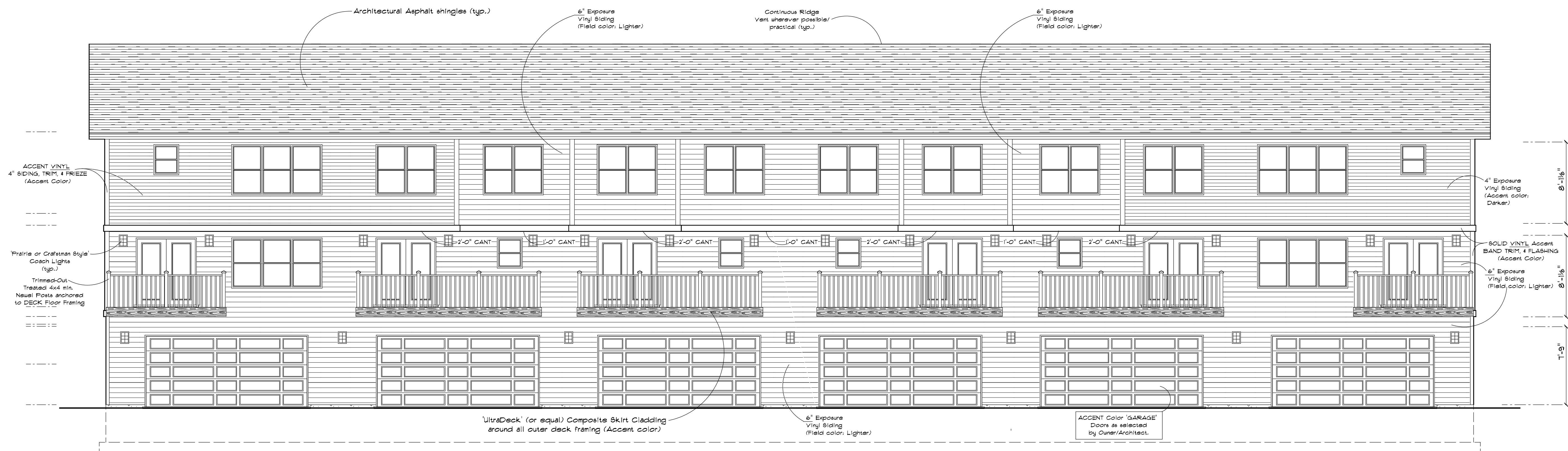
NOTE:
GRILLES BETWEEN THE GLASS PANES OF WINDOWS & DOORS AS SHOWN.

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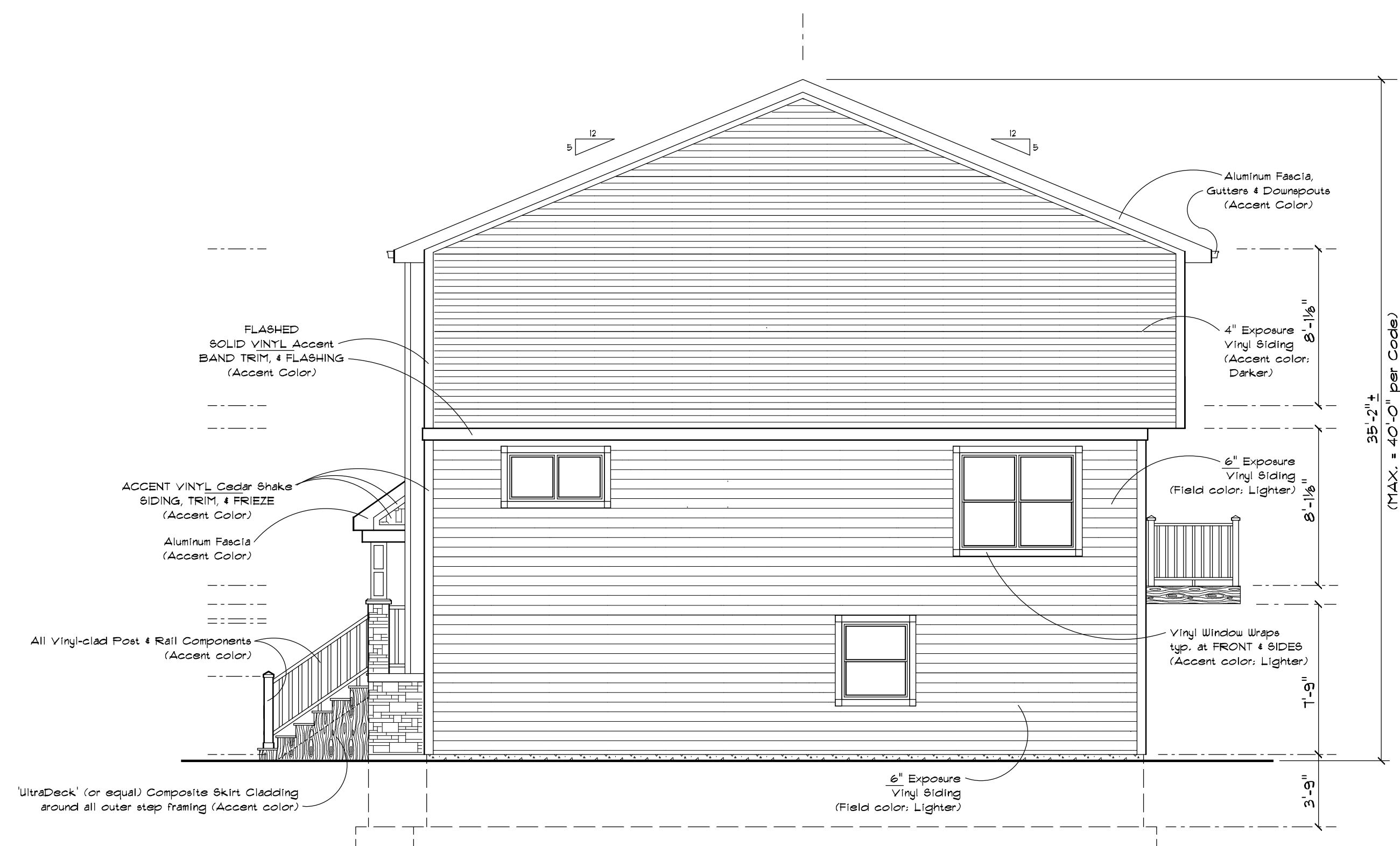
INSPIRATION AT SWAN CREEK TOWNHOMES
SWAN CREEK FITCHBURG, WISCONSIN

ARCHAIDE ARCHITECTS	8194 N. Riley Rd. Verona, WI 53593 E-MAIL: gkamaia@tds.net FAX: (608) 845-8159
IP Holdings, LLC	5210 Siggeikow Road Madison, WI 53718
BUILDING ELEVATIONS 6-UNIT	
Project Number 21-01	Document Release 8-15-21 Design Rev/Iss
Scale: 3/16" = 1'-0"	Drawn: SPJ/kmn
Sheet Number A1	Checklist:



'REAR' ELEVATION

SCALE: 3/16" = 1'-0"



'RIGHT' ELEVATION

SCALE: 3/16" = 1'-0"

General 'ELEVATION' Notes:

- All NEU construction shall comply with the ADA and all Governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.
- Adherence to Code Requirements of the New construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act).
- All NEU windows shall be 'Andersen' or approved equal. Window units shall be clad exterior, double pane, low E of the style and sizes as indicated on the FLOOR PLAN and EXTERIOR ELEVATIONS. Provide code compliant egress windows where required. All operable window units shall have insect screens and be lockable.
- All NEU doors shall have Lever Handles.
- Provide proper roof (attic space) ventilation by installing vented soffits/louvers and continuous ridge vents, etc. as required per code.
- The builder shall be responsible for determining all structural conditions. Any alteration of the prescribed structural components as a result of NEU construction shall be the responsibility of the Builder.
- Any conflicts encountered with the NEU construction shall be brought to the attention of the Architect for possible resolve.
- All Mechanical Sub-Contractors shall be responsible for Designing their own systems and acquiring their own respective permits as necessary.

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INSPIRATION AT SWAN CREEK TOWNHOMES		SWAN CREEK FITCHBURG, WISCONSIN	
BUILDING ELEVATIONS 6-JUNIT		ARCHAIDE ARCHITECTS	
IP Holdings, LLC 5210 Siggeikow Road Madison, WI 53718		8194 N. Riley Rd. Verona, WI 53593 E-MAIL: gkmata@tds.net (608) 335-8159 FAX: (608) 845-8159	
Project Number	21-01	Document Release	Design Review
Scale:	3/16" = 1'-0"	Drawn by:	gkm
Sheet Number	A2	Checked:	

FOUNDATION NOTES:

Concrete Foundations:

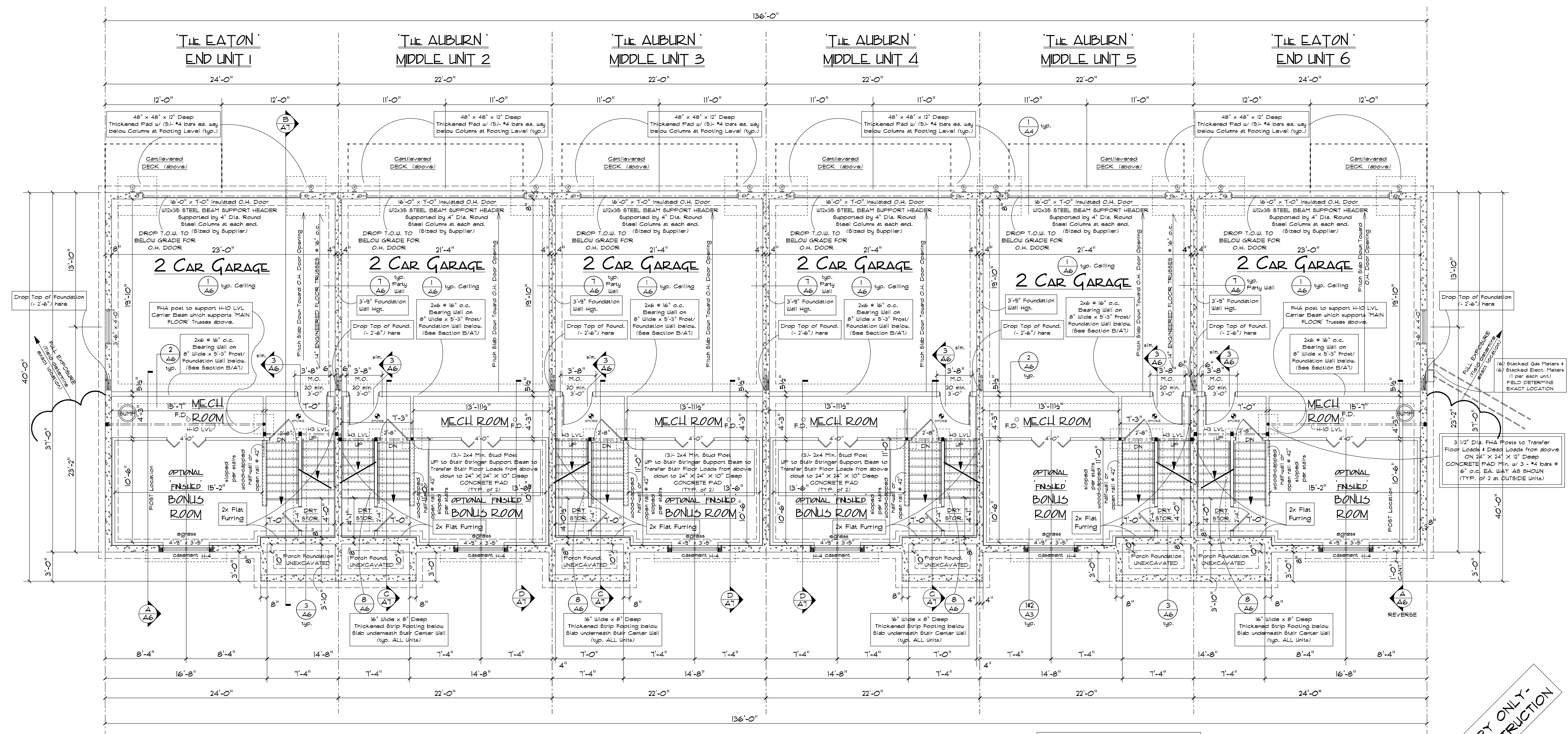
- All Structural Concrete shall be 3000 PSI (28-day compressive strength) concrete per IBC Table 1904.2.2(2). All Structural Concrete shall comply with ACI 318.
- All NEW slabs on grade shall be 3000 PSI (28-day compressive strength) concrete.
- All NEW concrete slabs on grade shall bear on 4" compacted granular fill with #4 x 12" O.D. welded wire mesh (W.W.M.).
- All NEW interior concrete slabs on grade shall be placed over 6 mil. polyethylene vapor barrier.
- All NEW footings shall be placed below frost line.
- All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.

Design Loads:

Soil Bearing Capacity:
The Builder/Contractor shall verify a minimum Soil Bearing Capacity of 2800 PSF.

DIMENSIONS ARE FACE TO FACE OF WALLS UNLESS OTHERWISE INDICATED

NOTE:
8" WIDE x 1'-9" TALL FOUNDATION WALLS TYPICAL UNLESS NOTED OTHERWISE OR AS DETERMINED BY FINISH GRADES - FIELD DETERMINE FOOTING / FOUNDATION STEPS.



BASEMENT / FOUNDATION PLAN 6-UNIT

SCALE: 3/16" = 1'-0"

BASEMENT FLOOR:
 'The EATON' UNIT 1: 269 SQ. FT.
 'The AUBURN' UNIT 2: 249 SQ. FT.
 'The AUBURN' UNIT 3: 249 SQ. FT.
 'The AUBURN' UNIT 4: 249 SQ. FT.
 'The AUBURN' UNIT 5: 249 SQ. FT.
 'The EATON' UNIT 6: 269 SQ. FT.

BASEMENT FLOOR TOTALS:
 1534 SQ. FT. (FINISHED/LIVING)
 3190 SQ. FT. (TOTAL GARAGES & MECHS)
 5153 SQ. FT. (TOTAL FOOTPRINT)

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INSPIRATION AT SWAN CREEK TOWNHOMES SWAN CREEK FITCHBURG, WISCONSIN		ARCHAIDE ARCHITECTS (608) 335-3159 E-MAIL: gkarnata@ids.net FAX: (608) 845-8159
IP Holdings, LLC 5210 Siggelkow Road Madison, WI 53718		
BASEMENT / FOUNDATION PLAN 6-UNIT	Project Number 21-01	Document Release 6-15-21 For Design, Rev./Iss.
Scale: 3/16" = 1'-0"	Drawn: greg kern	Checked:
Sheet Number A3		

PLOT DATE: August 23, 2021

General Notes:

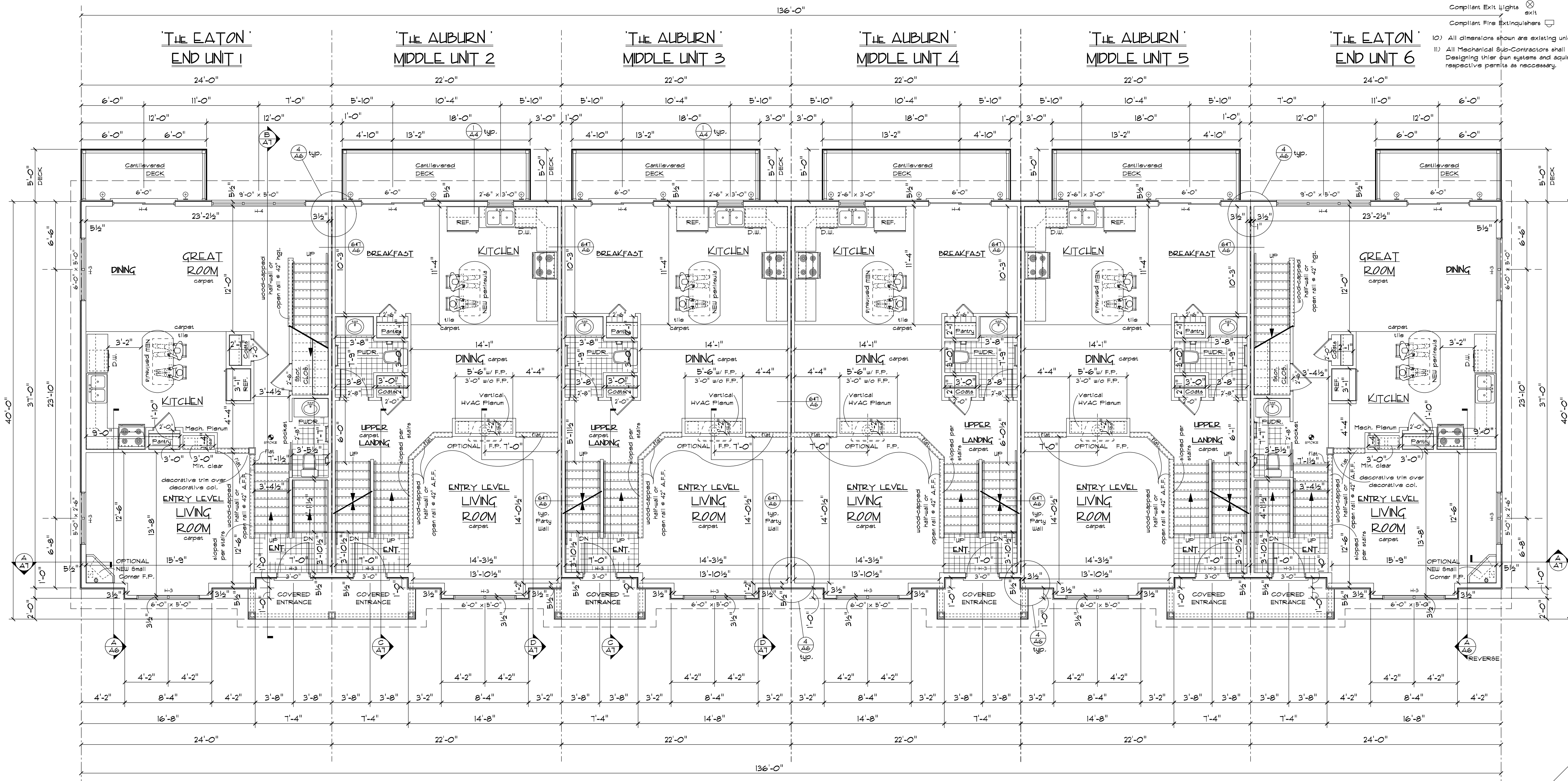
- All NEU construction shall comply with the ADA and all Governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.
- Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act).
- All NEU windows shall be "Andersen" or approved equal. Window units shall be clad exterior, double pane, low E of the sight and size as indicated on the FLOOR PLANS and EXTERIOR ELEVATIONS. Provide code compliant egress windows where required. All operable window units shall have insect screens and be lockable.
- Provide proper roof (attic space) ventilation by installing vented soffits/louvers and continuous ridge vents, etc. as required per code.
- Provide wood blocking in walls as required for cabinetry, accessories, etc.
- All NEU doors shall have Lever Handles.
- The builder shall be responsible for determining all structural conditions. Any alteration of the prescribed structural components as a result of NEU construction shall be the responsibility of the Builder.
- Any conflicts encountered with the NEU construction shall be brought to the attention of the Architect for possible resolve.
- NEU Smoke/Carbon Monoxide Detectors shall be installed per Plans as necessary.
- The Builder shall verify the existence and adequacy of all components required by Code including but not limited to:
 - Compliant Exit Lights
 - Compliant Fire Extinguishers
- All dimensions shown are existing unless noted otherwise.
- All Mechanical Sub-Contractors shall be responsible for Designing their own systems and acquiring their own respective permits as necessary.

NOTE:
Detail 'KITCHEN' & 'BATH'
Designs by Others.

NOTE:
8' Ceilings typ. thru-out
except at High Ceiling in
LIVING ROOM area -
See Sections.

HEADER SCHEDULE		
HEADER	SIZE / TYPE	BEARING STUDS
H1	(2) 2 x 10's	(2) 2 x 4 OR 2 x 6
H2	(3) 2 x 10's	(2) 2 x 4 OR 2 x 6
H3	(2) 8 1/2" x 13 1/4" LVL (1.8E)	(2) 2 x 4 OR 2 x 6
H4	(3) 8 1/2" x 13 1/4" LVL (2.0E)	(3) 2 x 4 OR 2 x 6
H5	(4) 8 1/2" x 13 1/4" LVL (0.8)	(5) 2 x 4 OR 2 x 6
H6	(4) 11 7/8" x 13 1/4" LVL (0.8)	(5) 2 x 4 OR 2 x 6
H7	(3) Pressure Treated 2 x 10's	
H8	(2) 11 7/8" x 13 1/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6
H9	(3) 11 7/8" x 13 1/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6
H10	(3) 14" x 13 1/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6

NOTES: - ALL HEADERS H1 UNLESS NOTED ON PLAN.
- THE 'KING STUD' QUANTITY SHALL BE EQUAL TO THE 'BEARING (TRIM) STUD' QUANTITY.



MAIN FLOOR PLAN - 6 UNIT

SCALE: 3/16" = 1'-0"

MAIN FLOOR:
 'The EATON' UNIT 1: 892 SQ. FT.
 'The AUBURN' UNIT 2: 813 SQ. FT.
 'The AUBURN' UNIT 3: 813 SQ. FT.
 'The AUBURN' UNIT 4: 813 SQ. FT.
 'The AUBURN' UNIT 5: 813 SQ. FT.
 'The EATON' UNIT 6: 892 SQ. FT.

MAIN FLOOR TOTALS:
 5036 SQ. FT. (FINISHED/LIVING)
 480 SQ. FT. (TOTAL DECKS)

PLOT DATE: August 23, 2021

INSPIRATION AT SWAN CREEK TOWNHOMES
 FITCHBURG, WISCONSIN

ARCH AIDE!
 ARCHITECTS
 (608) 335-8159
 FAX: (608) 845-8159
 8194 N. Riley Rd.
 Verona, WI 53593
 E-MAIL: gkama@aids.net

IP Holdings, LLC
 5210 Siggekow Road
 Madison, WI 53718

Project Number: 21-01
 Scale: 3/16" = 1'-0"
 Document Release: 8-15-21 For Design Review
 Drawn: Greg Kern
 Checked:

Sheet Number: **A4**

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*** WINDOW VENTILATION & NATURAL LIGHT SCHEDULE			
UNIT/ROOM	ROOM AREA	*VENTING REQ./PROVIDED	**LIGHTING REQ./PROVIDED
UNITS 144 / MSTR. BEDROOM	187.2 SQ. FT.	7.48 sq. ft. / 18.12 sq. ft.	14.96 sq. ft. / 31.35 sq. ft.
UNITS 144 / BEDROOM #2	137.6 SQ. FT.	5.50 sq. ft. / 11.66 sq. ft.	11.00 sq. ft. / 20.9 sq. ft.
UNITS 144 / BEDROOM #3	144.2 SQ. FT.	5.76 sq. ft. / 11.66 sq. ft.	11.54 sq. ft. / 20.9 sq. ft.
UNIT 2 / MSTR. BEDROOM	189.1 SQ. FT.	7.56 sq. ft. / 11.66 sq. ft.	15.13 sq. ft. / 20.9 sq. ft.
UNIT 3 / MSTR. BEDROOM	175.3 SQ. FT.	7.01 sq. ft. / 11.66 sq. ft.	14.02 sq. ft. / 20.9 sq. ft.
UNITS 245 / BEDROOM #2	116.5 SQ. FT.	4.66 sq. ft. / 11.66 sq. ft.	9.32 sq. ft. / 20.9 sq. ft.
UNITS 245 / BEDROOM #3	128.2 SQ. FT.	5.13 sq. ft. / 11.66 sq. ft.	10.26 sq. ft. / 20.9 sq. ft.

- * The Minimum Operable Area to the Outdoors shall be 4% of the Floor Area.
- ** The Minimum NET Glazing Area shall NOT be less than 8% of the Floor Area.
- *** Per the Manufacturer's Product Catalog, these Window Units meet or exceed the following:
 - Clear Operable Area of 5.71 Sq. Ft.
 - Clear Operable Width of 20" and Clear Operable Height of 24"
 - 44" MAX. Sill Heights based on a Structural Header Opening Height of 8'-10 1/2" Above Sub-Floor.

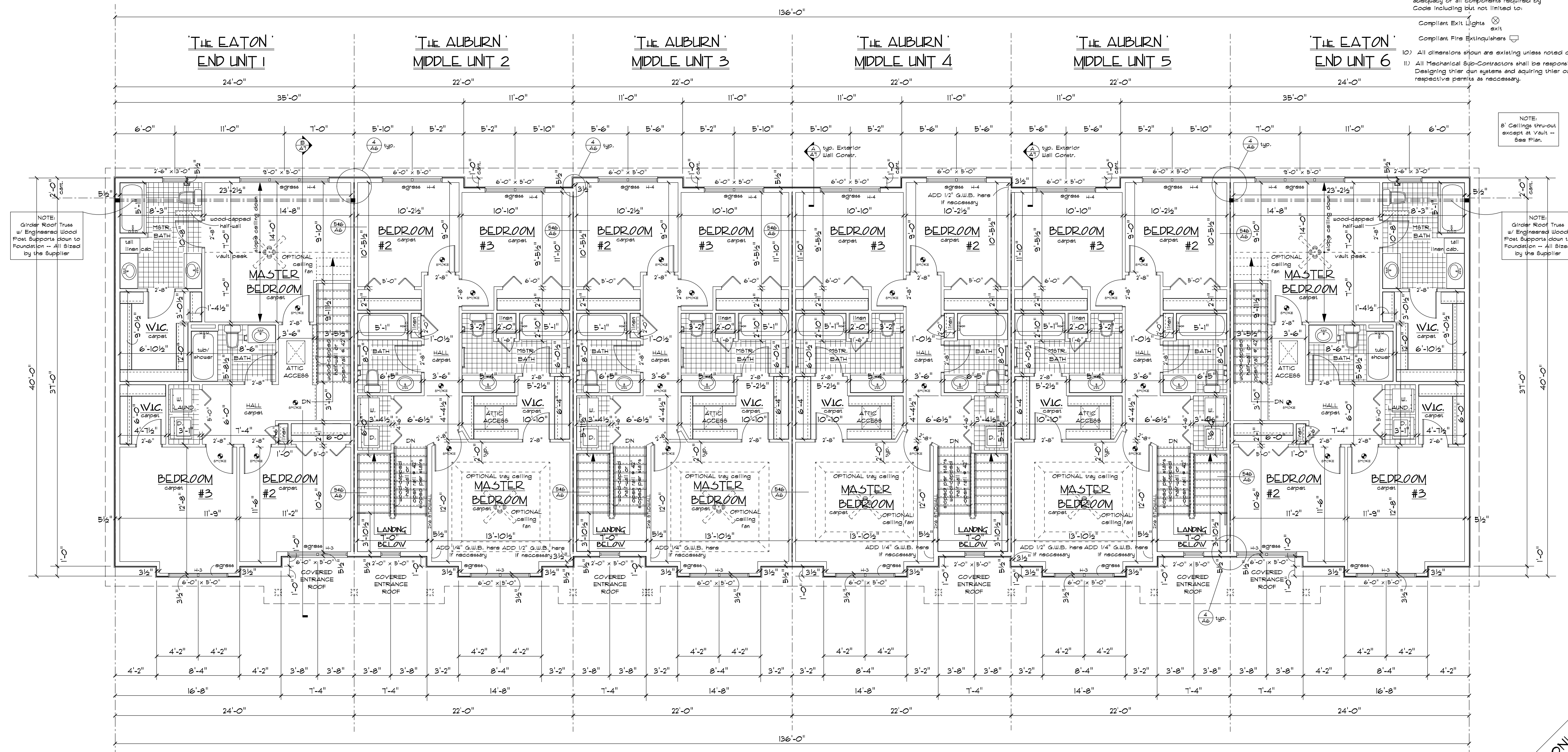
HEADER SCHEDULE		
HEADER	SIZE / TYPE	BEARING STUDS
H-1	(2) 2 x 10B	(2) 2 x 4 OR 2 x 6
H-2	(2) 2 x 10B	(2) 2 x 4 OR 2 x 6
H-3	(2) 5 1/2" x 13/4" LVL (1.8E)	(2) 2 x 4 OR 2 x 6
H-4	(3) 5 1/2" x 13/4" LVL (1.8E)	(3) 2 x 4 OR 2 x 6
H-5	(4) 5 1/2" x 13/4" LVL (1.8)	(3) 2 x 4 OR 2 x 6
H-6	(4) 1 7/8" x 13/4" LVL (1.8)	(3) 2 x 4 OR 2 x 6
H-7	(3) Pressure Treated 2 x 10B	(3) 2 x 4 OR 2 x 6
H-8	(2) 1 7/8" x 13/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6
H-9	(3) 1 7/8" x 13/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6
H-10	(3) 1 7/8" x 13/4" LVL (1.8)	(4) 2 x 4 OR 2 x 6

NOTES: - ALL HEADERS H-1 UNLESS NOTED ON PLAN
 - THE 'KING STUD' QUANTITY SHALL BE EQUAL TO THE 'BEARING (TRIM) STUD' QUANTITY.

General Notes:

- All NEW construction shall comply with the ADA and all Governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.
- Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes or the ADA (Americans with Disabilities Act).
- All NEW windows shall be Andersen or approved equal. Window units shall be clad exterior, double pane, low E of the style and sizes as indicated on the FLOOR PLANS and EXTERIOR ELEVATIONS. Provide code compliant egress windows where required. All operable window units shall have insect screens and be lockable.
- Provide proper roof (attic space) ventilation by installing vented soffits/covers and continuous ridge vents, etc. as required per code.
- Provide wood blocking in walls as required for cabinetry, accessories, etc.
- All NEW doors shall have Lever Handles.
- The builder shall be responsible for determining all structural conditions. Any alteration of the prescribed structural components as a result of NEW construction shall be the responsibility of the Builder.
- Any conflicts encountered with the NEW construction shall be brought to the attention of the Architect for possible resolve.
- NEW Smoke/Carbon Monoxide Detectors shall be installed per Code as necessary.
- The Builder shall verify the existence and adequacy of all components required by Code including but not limited to:
 - Compliant Exit Lights
 - Compliant Fire Extinguishers
- All dimensions shown are existing unless noted otherwise.
- All Mechanical Sub-Contractors shall be responsible for Designing their own systems and acquiring their own respective permits as necessary.

NOTE:
Detail 'BATH'
Designs by Others.



SECOND FLOOR PLAN 6-UNIT

SCALE: 3/16" = 1'-0"

SECOND FLOOR:
 The EATON' UNIT 1: 935 SQ. FT.
 The AUBURN' UNIT 2: 846 SQ. FT.
 The AUBURN' UNIT 3: 846 SQ. FT.
 The AUBURN' UNIT 4: 846 SQ. FT.
 The AUBURN' UNIT 5: 846 SQ. FT.
 The EATON' UNIT 6: 935 SQ. FT.

SECOND FLOOR TOTALS:
 5254 SQ. FT. (FINISHED/LIVING)

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INSPIRATION AT SWAN CREEK TOWNHOMES
FITCHBURG, WISCONSIN

ARCHAIDE
ARCHITECTS
(608) 335-8159
E-MAIL: gtlama@gtds.net

8194 N. Riley Rd.
Verona, WI 53593

IP Holdings, LLC
5210 Siggeikow Road
Madison, WI 53718

SECOND FLOOR PLAN 6-UNIT

Project Number	21-01
Scale	3/16" = 1'-0"
Document Release	8-15-21 For Design Review
Drawn	greg kern
Checked	
Sheet Number	

AS

PLOT DATE: August 23, 2021

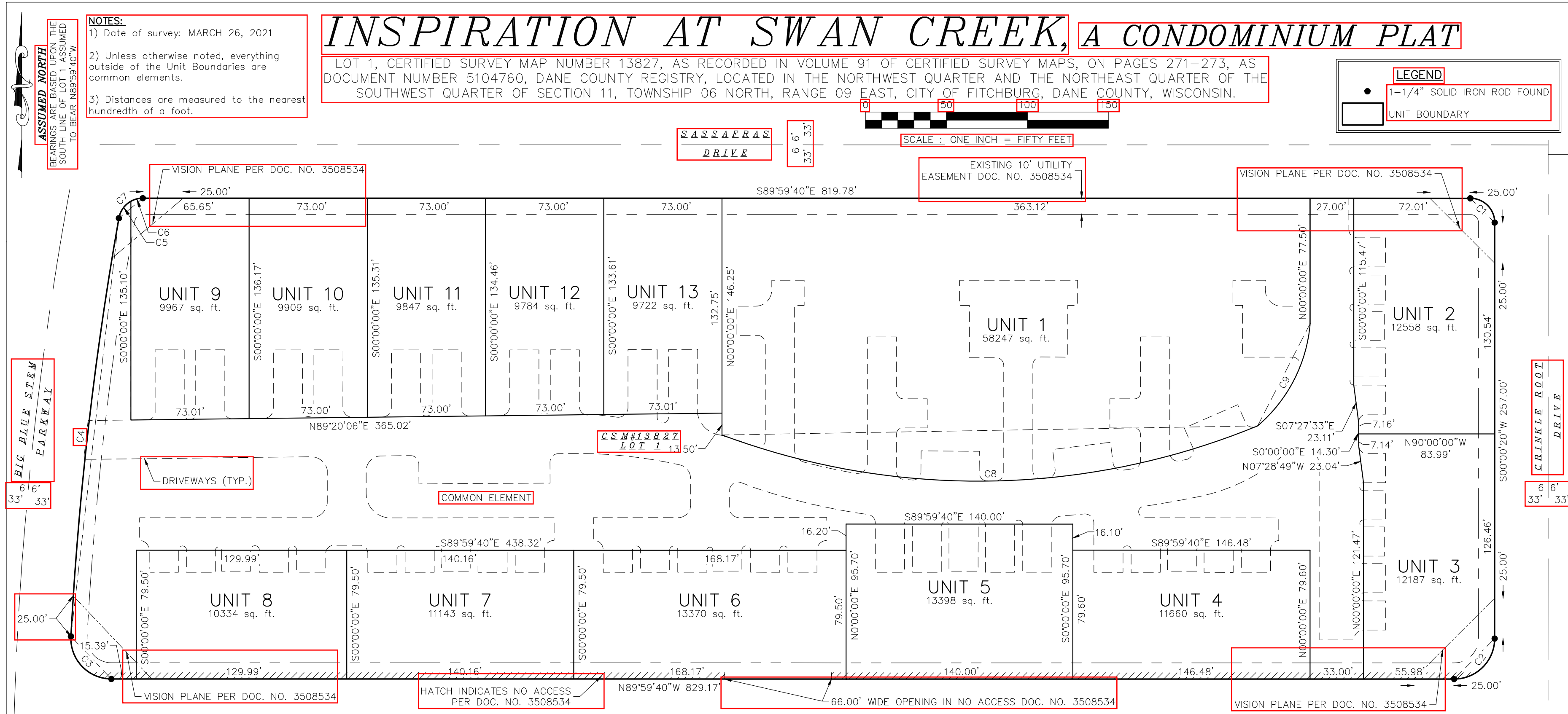
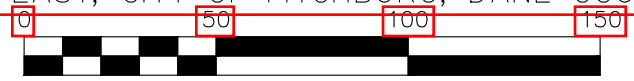
INSPIRATION AT SWAN CREEK, A CONDOMINIUM PLAT

LOT 1, CERTIFIED SURVEY MAP NUMBER 13827, AS RECORDED IN VOLUME 91 OF CERTIFIED SURVEY MAPS, ON PAGES 271-273, AS DOCUMENT NUMBER 5104760, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

- NOTES:**
- 1) Date of survey: MARCH 26, 2021
 - 2) Unless otherwise noted, everything outside of the Unit Boundaries are common elements.
 - 3) Distances are measured to the nearest hundredth of a foot.

LEGEND

- 1-1/4" SOLID IRON ROD FOUND
- UNIT BOUNDARY



Office of the Register of Deeds
 _____ County, Wisconsin
 Received for Record
 _____, 20__ at
 _____ o'clock __M as
 Document No. _____
 in _____

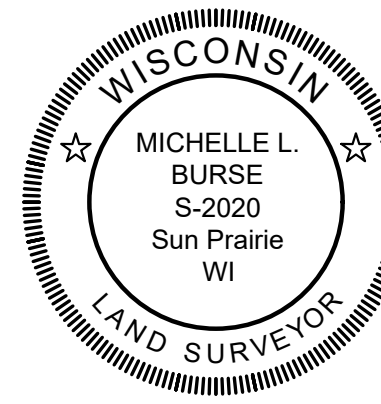
 Register of Deeds

There are no objections to this condominium with respect to Sec. 703 Wis. Stats. and is hereby approved for recording.
 Dated this ___ day of _____, 20__

 Dane County Planning and Development

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	23.56'	15.00'	90°00'00"	S44°59'40"E	21.21'
C2	39.27'	25.00'	90°00'00"	S45°00'20"W	35.36'
C3	40.60'	25.00'	93°02'19"	N43°28'31"W	36.28'
C4	260.14'	2132.00'	6°59'28"	N06°32'23"E	259.98'
C5	13.25'	15.00'	50°37'09"	N35°20'41"E	12.83'
C6	7.68'	15.00'	29°21'04"	N75°19'48"E	7.60'
C7	13.25'	15.00'	50°37'09"	N35°20'41"E	12.83'
C8	338.63'	453.00'	42°49'50"	N89°01'25"E	330.80'
C9	72.75'	93.00'	44°49'04"	N27°09'45"E	70.91'

SURVEYOR'S CERTIFICATE:
 I, Michelle L. Burse, Professional Land Surveyor, No. 2020, hereby certify that in full compliance with the provisions of Chapter 703 of the Wisconsin Statutes, I have surveyed and mapped the following described lands: LOT 1, CERTIFIED SURVEY MAP NUMBER 13827, AS RECORDED IN DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN. I further certify that this condominium plat correctly represents the condominium described; that the floorplans are reproduced from plans furnished by the architect; and the location and identification of each unit and the common elements can be determined from the plat.
 Dated this _____ day of _____, 201__.
 Signed: _____
 Michelle L. Burse, P.L.S. No. 2020



PREPARED FOR:
 IP HOLDINGS, LLC
 PREPARED BY:
Burse
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 www.bursesurveyengr.com

Date: August 23, 2021
 Plot View: condo
 \BSE1691\2021\dwg\Survey\BSE1691.dwg