


Rec. 16.004843 \$480.00
8/26/2021 RB

 <p>City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608) 270-4200</p>	<h2>CONDITIONAL USE PERMIT APPLICATION</h2>
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The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

- Location of Property:**
Street Address: 5302 Verona Road
Legal Description - (Metes & Bounds, or Lot No. And Plat): LOT 2 CSM 335 CS2/91&92-3/30/70 DESCR AS SEC 6-6-9 PRT NE1/4NW1/4, PRT NW1/4NW1/4, PRT SW1/4NW1/4, PRT SE1/4NW1/4, PRT NW1/4SW1/4 & PRT NW1/4SE1/4 CONT 1.75 ACRES
- Current Use of Property:** Vacant/Commercial
- Proposed Use of Property:** Restaurant + Drinking Place (RM)
- Proposed Development Schedule:** August 2021 (Ground breaking) - March 2022 (Substantial Completion)
- Zoning District:** B/G Business/General

6. Future Land Use Plan Classification: Business
***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): N/A

No. of Dwelling Units by Bedroom: 1 BR 2 BR 3 BR 4 or More

No. Of Parking Stalls: _____

Type of Non-residential Development (If Applicable): Restaurant/Commissary Kitchen/Community Services

Proposed Hours of Operation: 7 am - 9 pm; 7 days a week No. Of Employees: 15

Floor Area: 24,000 sf +/- No. Of Parking Stalls: 48 (2HC)

Sewer: Municipal Private Water: Municipal Private

Current Owner of Property: LLC Chophia

Address: 5302 Verona Road, Fitchburg, WI 53711 Phone No: N/A

Contact Person: Paul Cannarella

Email: paul@a1furniture <paulcannarella@gmail.com>

Address: 9708 Tawny Acorn Drive, Verona, WI 53593 Phone No: (608) 222-9200

Respectfully Submitted By: [Signature]

Owner's or Authorized Agent's Signature

** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 8/24/21 Publish: _____

Ordinance Section No. _____ Fee Paid: \$480

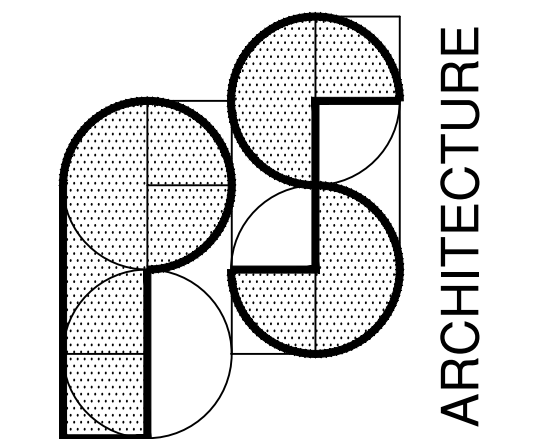
Permit Request No. CU-2404-21



1 Floor Plan
 A1.0 1/8" = 1'-0"
 NORTH

COUNTER SEATING FOR 17
 (2 ACCESSIBLE SPACES)

TABLE SEATING FOR UP TO
 144



6621 BOULDER LANE
 MIDDLETON, WI. 53562
 608-770-5848
 psarch@tds.net

project
 Little John's
 5302 Verona Road
 Fitchburg, WI 53711

client
 Chopla, LLC
 9708 Tawny Acorn
 Fitchburg, WI 53711

issue dates

REVISION	DATE
ISSUES FOR PLAN REVIEW	07/28/2021

revisions

REV	REVISION	DATE

project # 2016

content
 Floor Plan w/
 Seating

drawn by: PLS
checked by: PLS
date: 08/24/21
drawing no.

A1.0

project
Little Johns
5302 Verona Road
Fitchburg, WI 53711

client
David Heide
5302 Verona Road
Fitchburg, WI 53711

owner
Chopia, LLC
Paul Cannarella
9708 Tawny Acorn Drive.
Verona, WI 53593
phone: (608) 222-9200
email: paulcannarella@gmail.com

issue date:
August 23, 2021
Conditional Use Application

SHEET INDEX:

TITLE

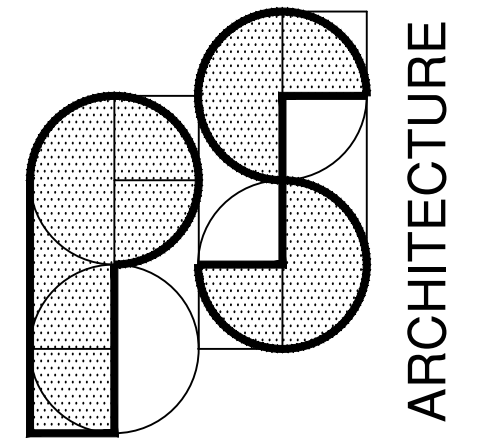
CS-1 COVER SHEET

SITE

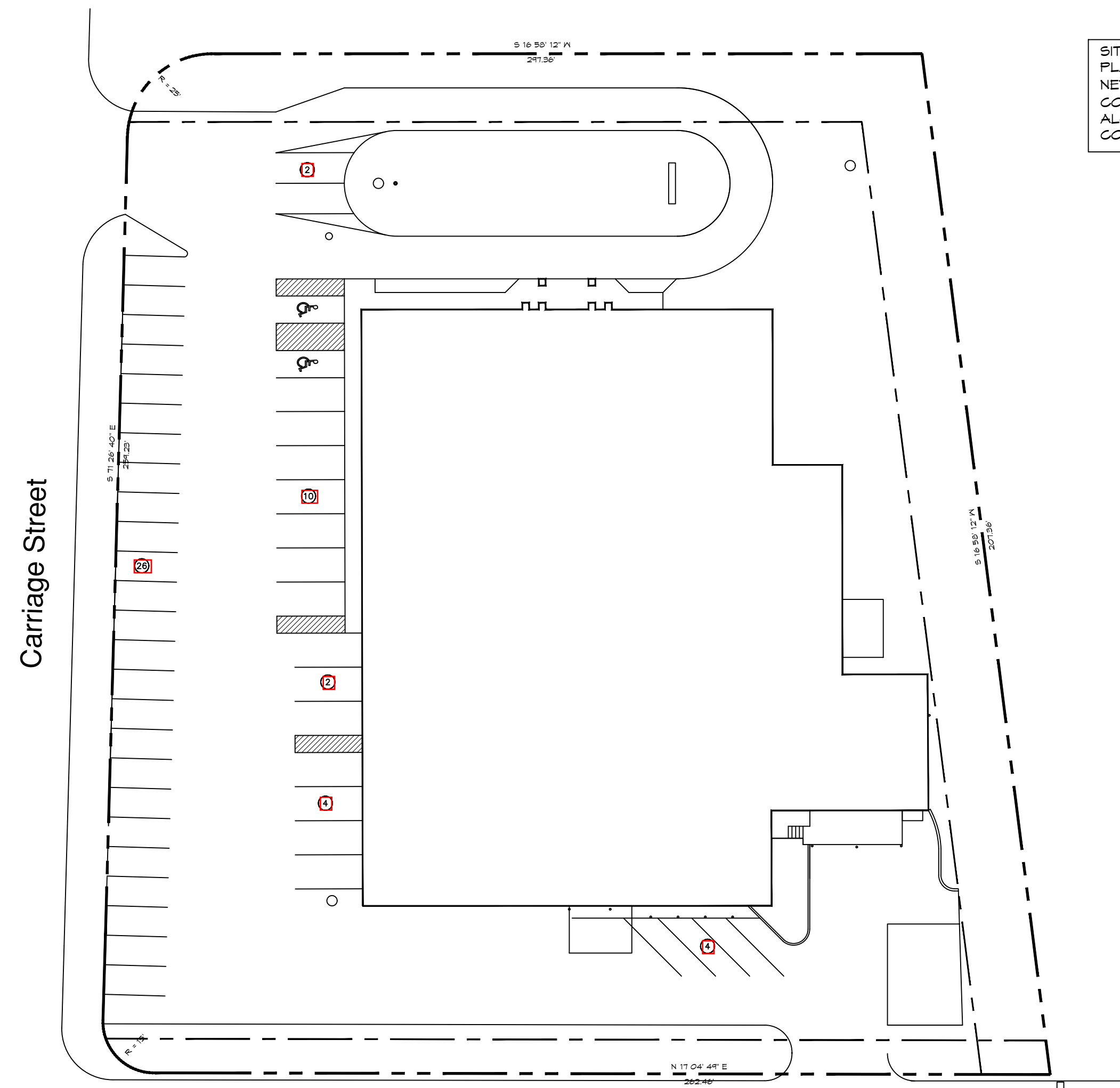
SP-1 SITE PLAN
SP-1A IMPERVIOUS SURFACE RATIO
-- Planting Plan

ARCHITECTURAL

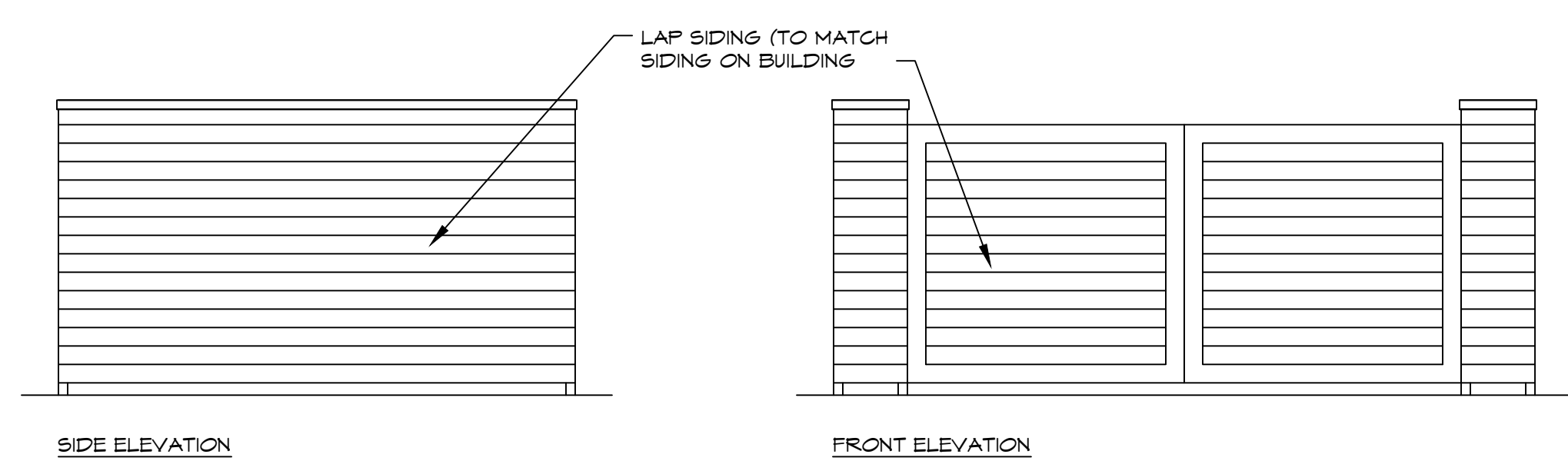
A2.0 BUILDING ELEVATIONS
A2.1 BUILDING ELEVATIONS
-- COLORED ELEVATIONS



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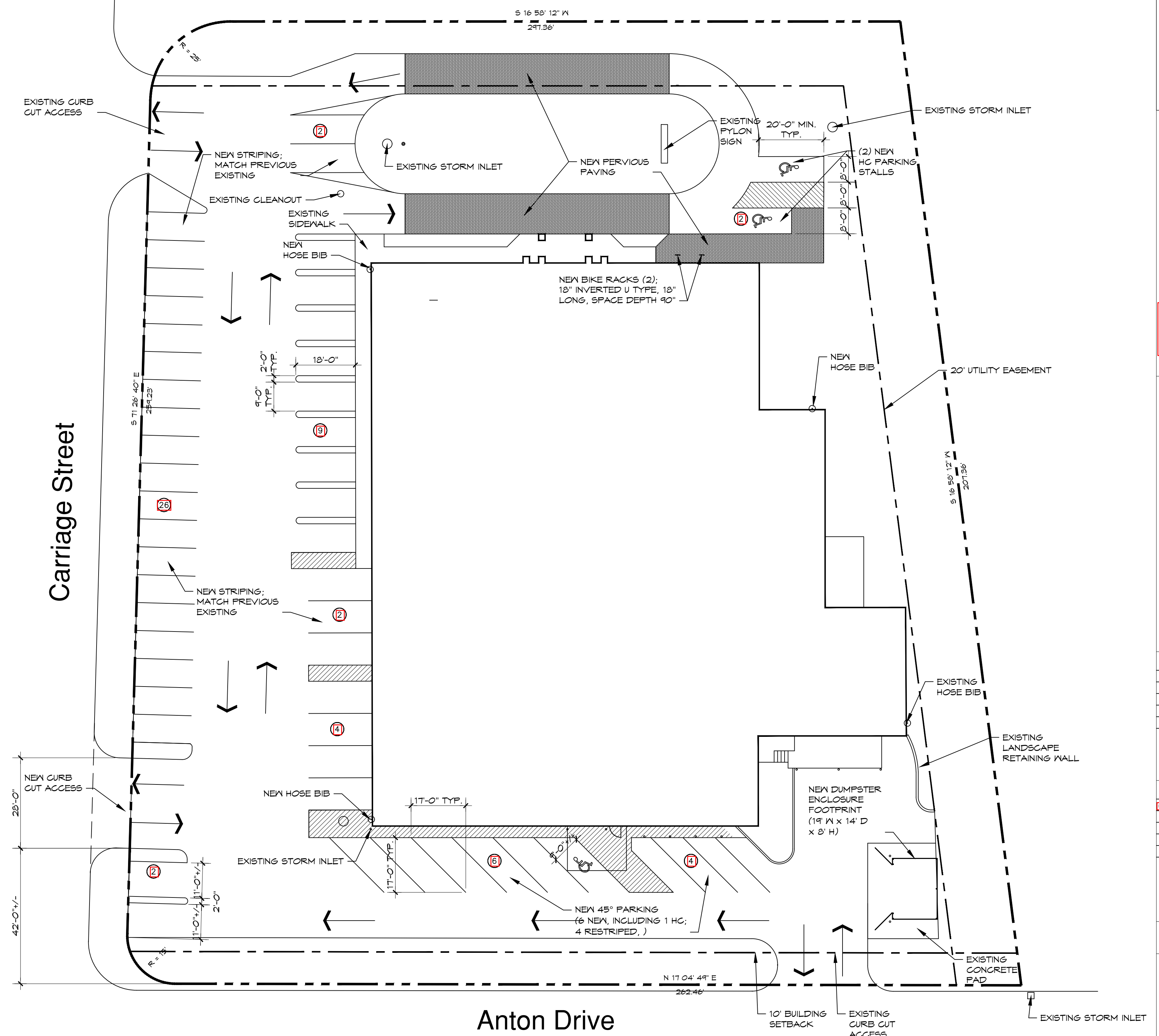


1 Existing Site Plan
SP-1 1"=30'



3 Dumpster Enclosure
SP-1 1"=20'

SITE PLAN INFORMATION WAS TAKEN FROM PLANS PREPARED BY ARCHITECTURAL NETWORK, INC. (8, APRIL, 1998) & CONDITIONALLY APPROVED (10, APRIL, 1998), ALONG WITH FIELD VERIFICATION OF CURRENT CONDITIONS BY PS ARCHITECTURE.



2 Site Plan
SP-1 1"=20'

PS ARCHITECTURE
6621 BOULDER LANE
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5302 Verona Road
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client Chopla, LLC
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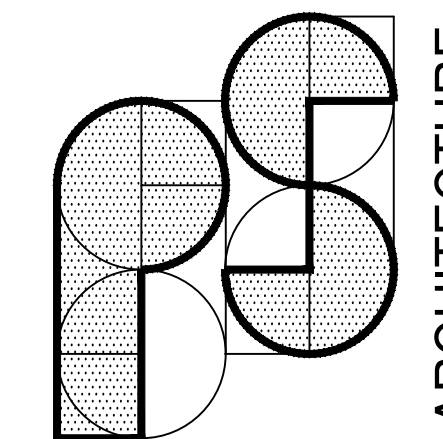
revisions	
REV	DATE

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content
Site Plan

drawn by: PLS
checked by: PLS
date: 08/23/21
drawing no.

SP-1



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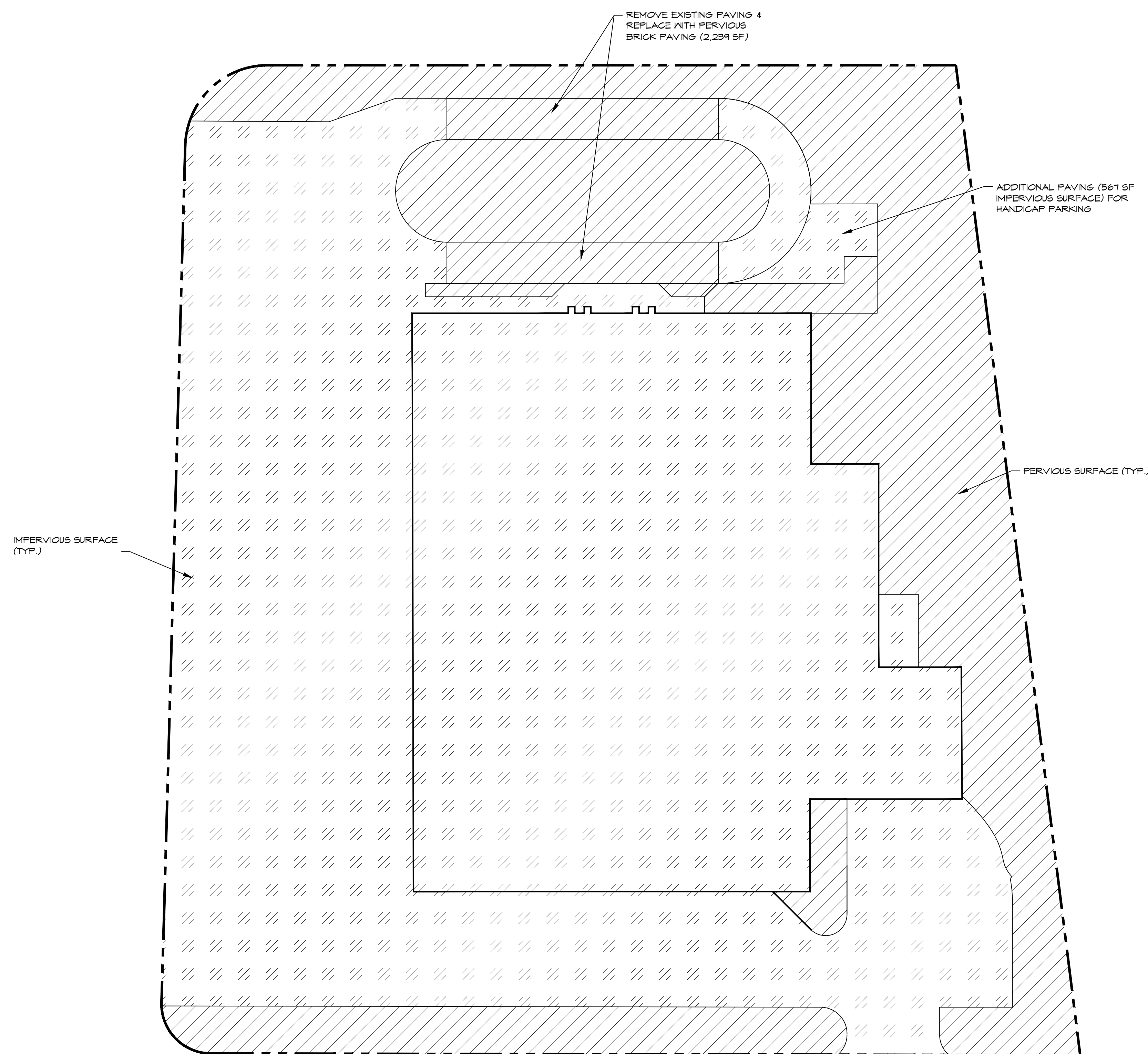
revisions	
REV	REVISION

project # 2016

content
Site Plan
Impervious Surface Ratio

drawn by: PLS
checked by: PLS
date: 08/23/21
drawing no.

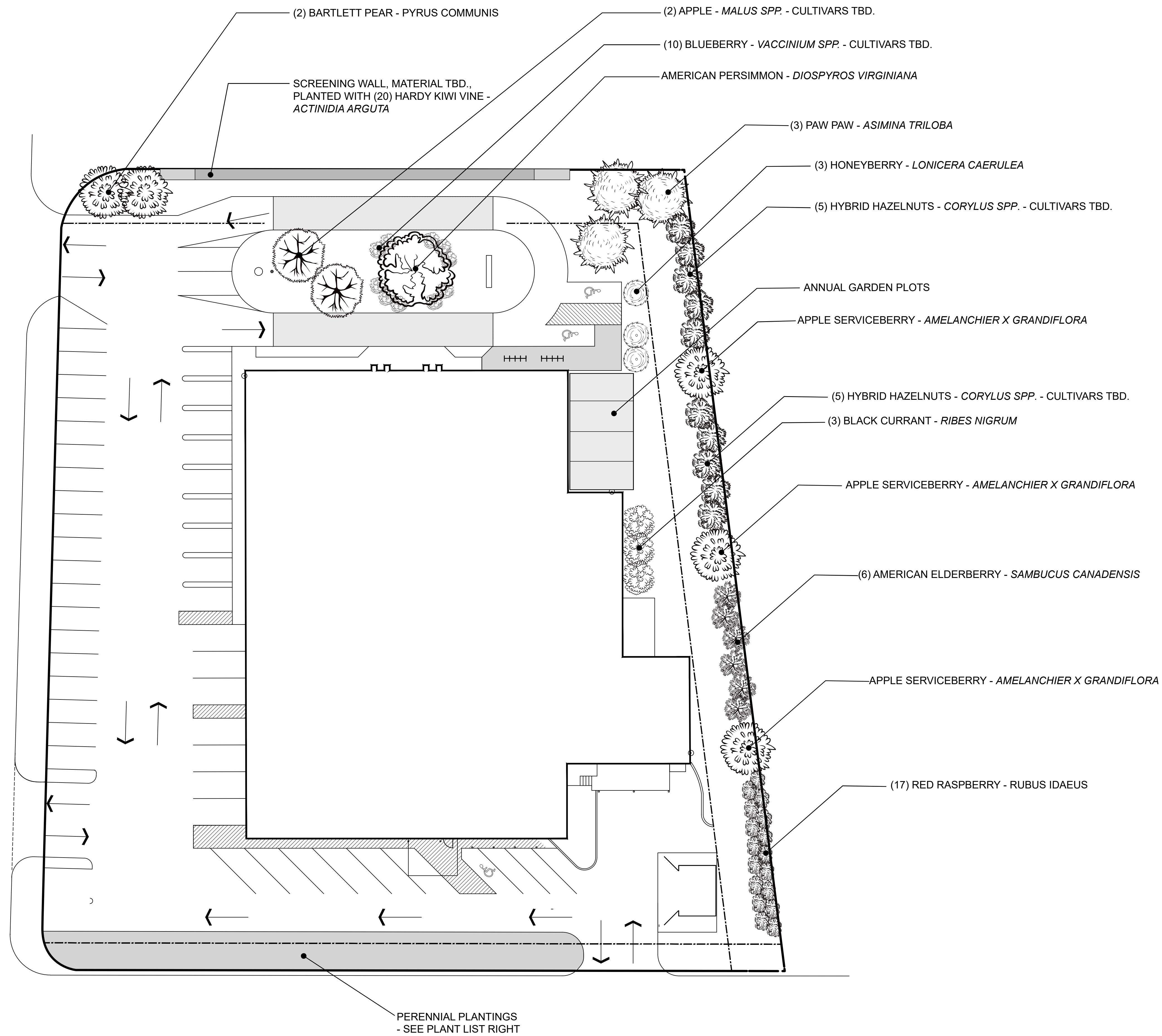
SP-1A



76,158 SF (Lot Area)
49,503 SF (Max. Impervious City Standard (65%))
55,328 SF (Actual Existing Impervious)
20,830 SF (Actual Existing Pervious)
5,825 SF over Max. Impervious (Existing Condition)

2,239 SF Existing Impervious Proposed to be Pervious
567 SF Existing Pervious Proposed to be Impervious
1,672 = Net gain in Pervious Surface
ISR (Existing) = 72%
ISR (w/Improvements) = 70%

1 Site Plan - Impervious Surfaces
SP-1A 1" = 20'

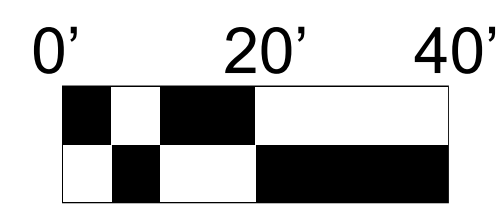


PERENNIAL PLANTING LIST

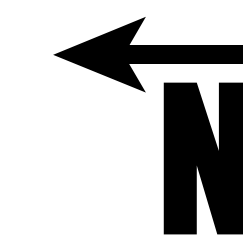
COMMON NAME	SCIENTIFIC NAME
RHUBARB	<i>RHEUM RHABBARBARUM</i>
ASPARAGUS	<i>ASPARAGUS OFFICINALIS</i>
CHIVES	<i>ALLIUM SCHOENOPRASUM</i>
GARLIC CHIVES	<i>ALLIUM TUBEROSUM</i>
OREGANO	<i>ORIGANUM VULGARE</i>
LAVENDER	<i>LAVANDULA SPP.</i>
THYME	<i>THYMUS VULGARIS</i>
WILD ONION	<i>ALLIUM CANADENSE</i>
WILD BERGAMOT	<i>MONARDA FISTULOSA</i>
YARROW	<i>ACHILLEA MILLEFOLIUM</i>
PURPLE CONEFLOWER	<i>ECHINACEA PURPUREA</i>
BLACK-EYED SUSAN	<i>RUDBECKIA HIRTA</i>
LANCELEAF COREOPSIS	<i>COREOPSIS LANCEOLATA</i>
ANISE HYSSOP	<i>AGASTACHE FOENICULUM</i>
BLUE VERVAIN	<i>VERBENA HASTATA</i>
SKY BLUE ASTER	<i>SYMPHYOTRICHUM OOLENTANGIENSE</i>
NEW ENGLAND ASTER	<i>SYMPHYOTRICHUM NOVAE-ANGLIAE</i>
SHOOTING STAR	<i>DODECATHEON MEDIA</i>
COMMON MILKWEED	<i>ASCLEPIAS SYRIACA</i>
BUTTERFLY MILKWEED	<i>ASCLEPIAS TUBEROSA</i>
PRAIRIE SMOKE	<i>GEUM TRIFLORUM</i>
LITTLE BLUESTEM	<i>SCHIZACHYRIUM SCOPARIUM</i>
PRAIRIE DROPSEED	<i>SPOROBULUS HETEROLEPSIS</i>

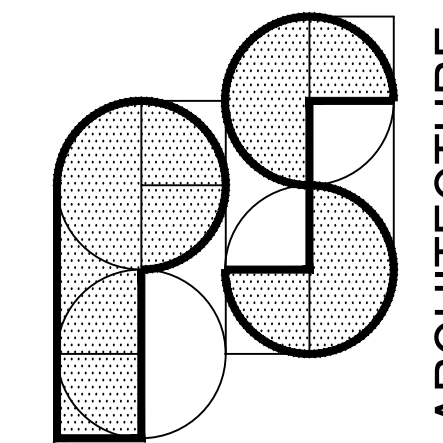
Planting Plan

Scale: 1"=20'-0"

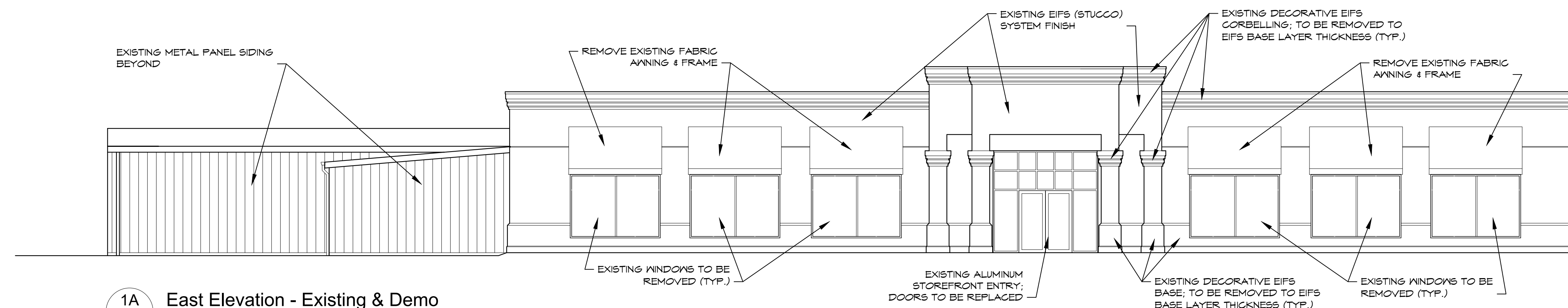


Drawn by:
Matt Provost

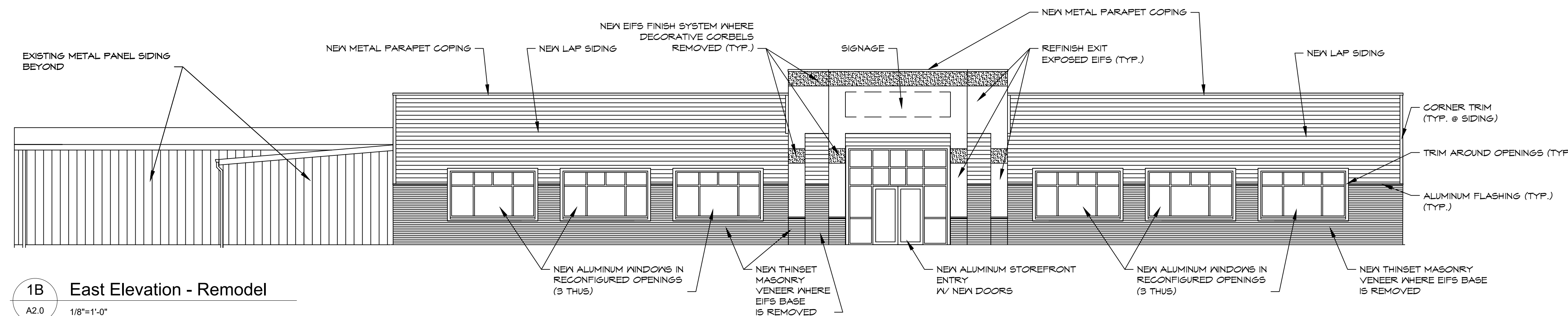




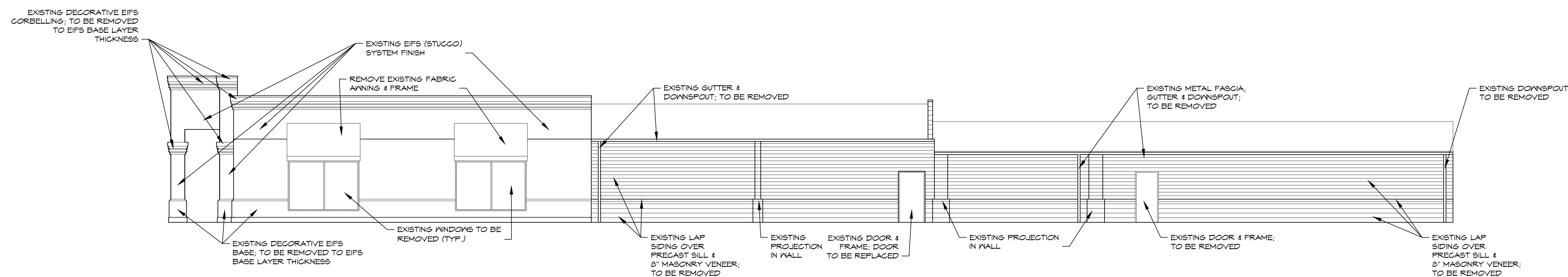
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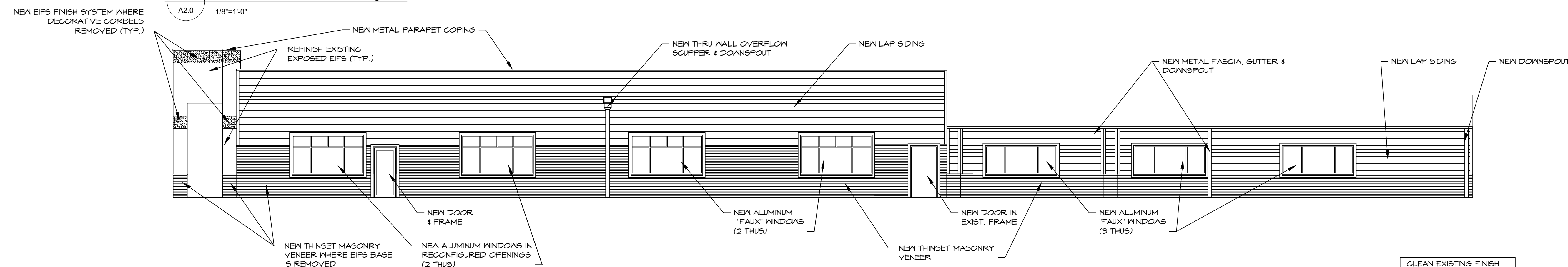
1A East Elevation - Existing & Demo
A2.0 1/8"=1'-0"



1B East Elevation - Remodel
A2.0 1/8"=1'-0"



2A North Elevation - Existing & Demo
A2.0 1/8"=1'-0"



2B North Elevation - Remodel
A2.0 1/8"=1'-0"

- CLEAN EXISTING FINISH SURFACES TO REMAIN INCLUDING:
- EIFS
 - EXPOSED CONCRETE
 - DOORS & FRAMES

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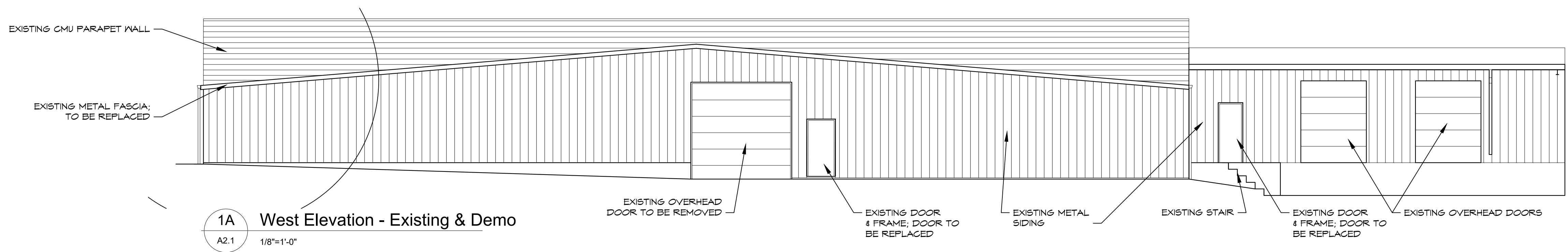
project # 2016

content Elevations

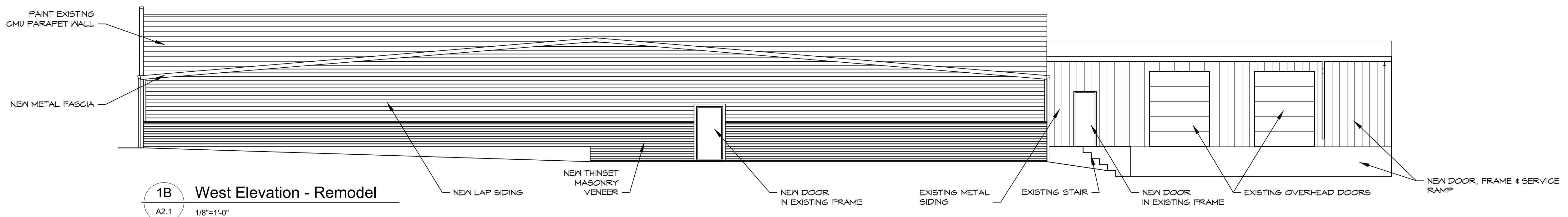
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checked by: PLS
date: 08/23/21
drawing no.

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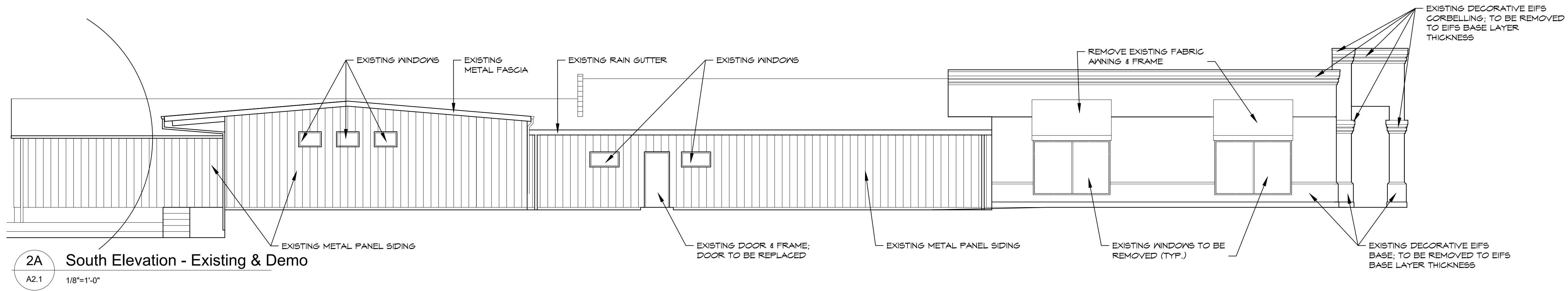
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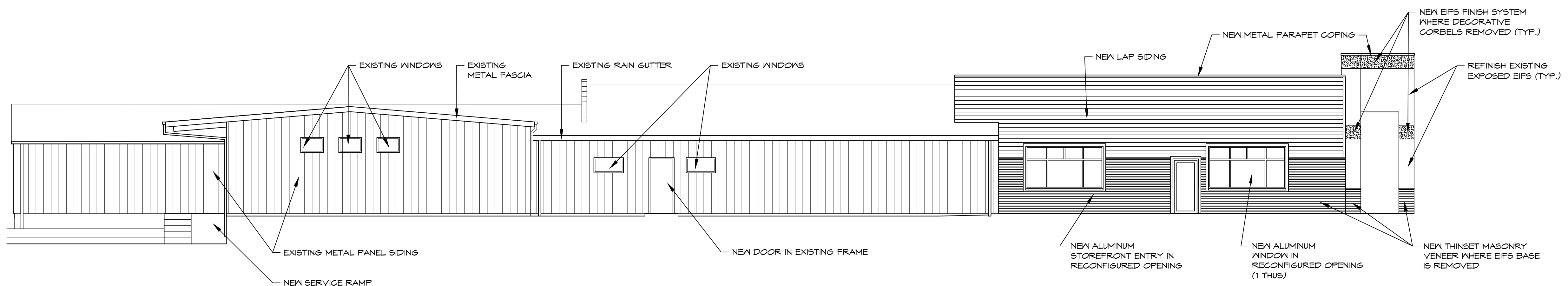
1A West Elevation - Existing & Demo
A2.1 1/8"=1'-0"



1B West Elevation - Remodel
A2.1 1/8"=1'-0"



2A South Elevation - Existing & Demo
A2.1 1/8"=1'-0"



2A South Elevation - Remodel
A2.1 1/8"=1'-0"

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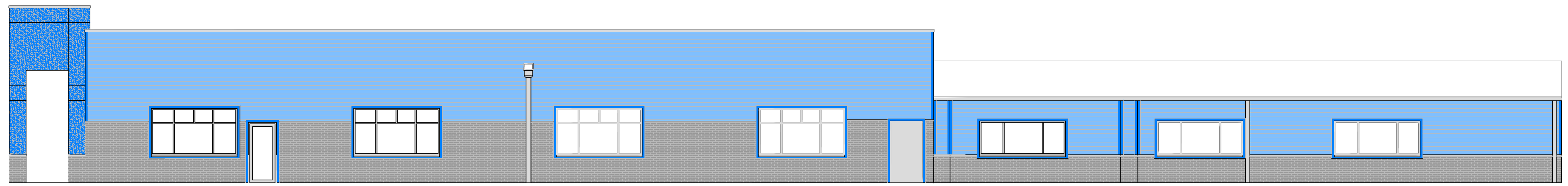
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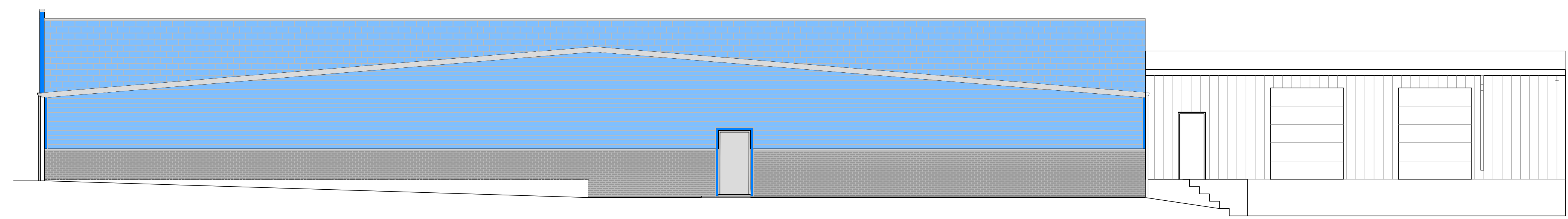
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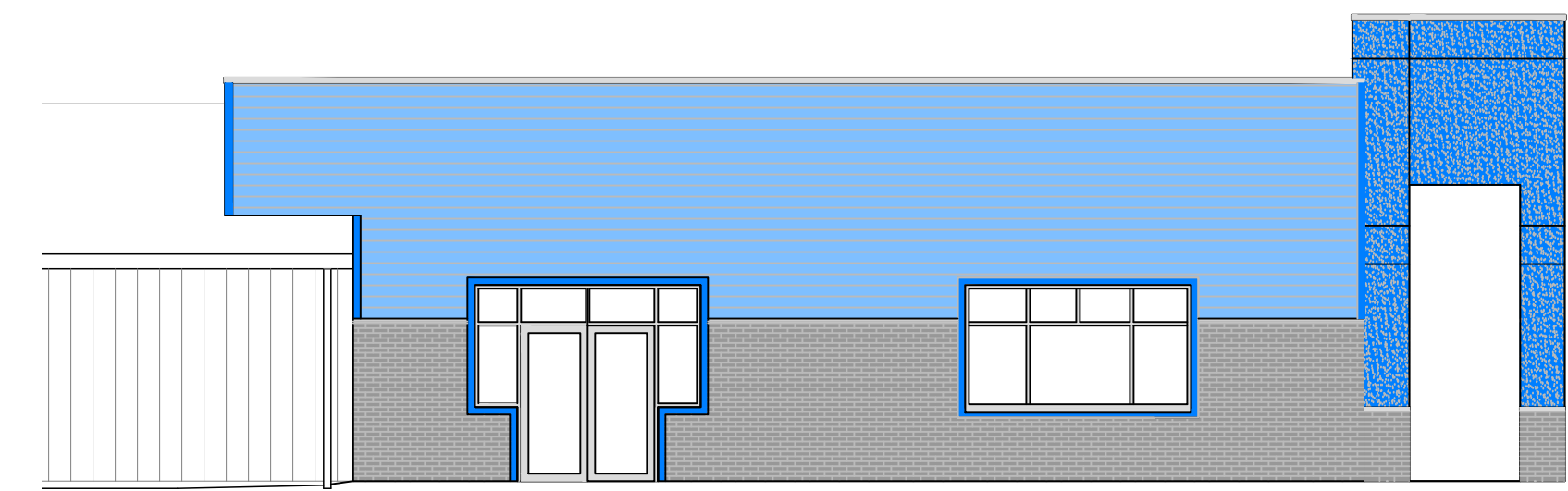
1 East Elevation
1/8"=1'-0"



2 North Elevation
1/8"=1'-0"

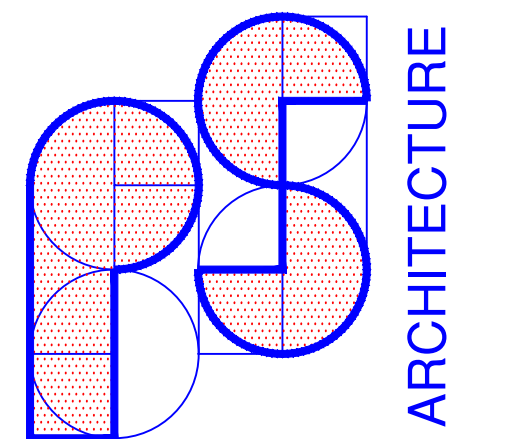


3 West Elevation
1/8"=1'-0"



4 South Elevation - Partial
1/8"=1'-0"

SEE SHEET A2.0 FOR MATERIALS & OTHER NOTES



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content
Colored
Elevations

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