



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Pat Schmitt AIA (contact person)

Address: 6621 Boulder Lane **Phone Number of Contact Person:** (608) 770-5848

City, State, Zip Code: Middleton **Email of Contact Person:** psarch@tds.net

Project Address: 5302 Verona Road **Lot:** Lot 2 **Subdivision:** CSM 335

Project Type: Multi-Family Commercial Industrial Other
 New Addition

Impervious Surface Ratio (ISR): 70% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: Pat Schmitt AIA (authorized agent) **Date:** 08/24/21
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 8/24/21 Plan Commission Date: 9/21/21

Comments:



PS ARCHITECTURE, INC.
6621 BOULDER LANE
MIDDLETON, WI 53562
(608) 770-5848
psarch@tds.net

August 24, 2021

Attn: City of Fitchburg
Planning/Zoning
Department
5520 Lacy Road
Fitchburg, WI 53711

Letter of Intent

Project: **Little Johns Restaurant**
Location: 5302 Verona Road
Fitchburg, Wisconsin 53711

Dear Sir,

The following is a description of the changes and/or improvements to the site and building.

Site Improvements

- Repaving of parking lot with a small increase in paving to accommodate new handicap parking
- Restriping of lot as shown on site plan
- New trash enclosure
 - Same dimensions as previous approved enclosure
 - Materials to match those on building
- Request for a 2nd curb cut access to site
- Reduction in ISR
 - Pervious paving at main entrance
- Site lighting
 - To be provided at a later date
- Additional landscaping (per plan)

Building Improvements

- New finishes on exterior elevations (as shown on plans)
 - North elevation
 - New energy efficient windows & doors
 - New wall finishes
 - Masonry veneer
 - Lap siding
 - Aluminum parapet caps and flashing
 - South elevation (partial)
 - New energy efficient windows & storefront entrance

Little John's Restaurant

August 24, 2021

Page 2

- New wall finishes
 - Masonry veneer
 - Lap siding
 - Aluminum parapet caps and flashing
- East elevation
 - New energy efficient windows & storefront entrance
 - New wall finishes
 - Masonry veneer
 - Lap siding
 - Aluminum parapet caps and flashing
 - Refinished EIFS
- West elevation
 - New wall finishes
 - Masonry veneer
 - Lap siding
 - Aluminum roof edge & flashing
 - Energy efficient entrance

Note: Colors shown on elevations are preliminary. Products and actual colors will be verified and provided as needed prior to submitting plans for department review.

No changes to site are anticipated other than those noted on plans. Client is planning on installing solar panel on the roof of the existing building.

Please contact me if additional verification of scope is required.

Sincerely,

Pat Schmitt
PS ARCHITECTURE



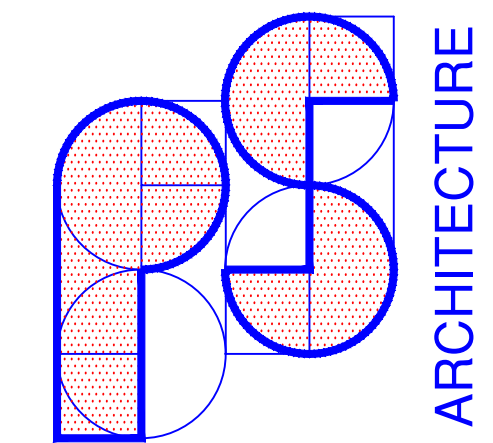
1 Existing East Facade



2 Existing North Facade



1 Existing West Facade



6621 BOULDER LANE
MIDDLETON, WI. 53562
608-770-5848
psarch@tds.net

project
Little John's
5302 Verona Road
Fitchburg, WI 53711

client
Chopla, LLC
9708 Tawny Acorn
Fitchburg, WI 53711

issue dates	
REVISION	DATE
ISSUES FOR PLAN REVIEW	07/28/2021

revisions	
REV	REVISION

project # 2016

content
Existing Building
Exterior Photos

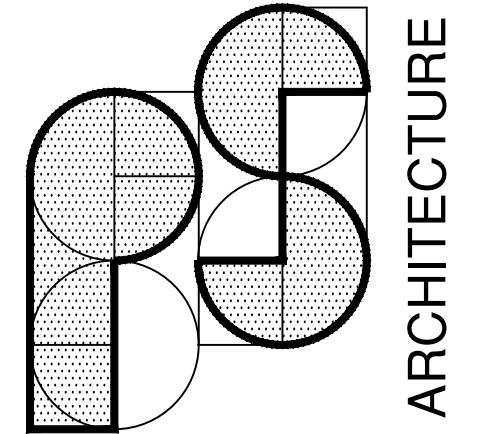
drawn by: PLS
checked by: PLS
date: 08/23/21
drawing no. --

project
Little Johns
5302 Verona Road
Fitchburg, WI 53711

client
David Heide
5302 Verona Road
Fitchburg, WI 53711

owner
Chopia, LLC
Paul Cannarella
9708 Tawny Acorn Drive.
Verona, WI 53593
phone: (608) 222-9200
email: paulcannarella@gmail.com

issue date:
August 23, 2021
Conditional Use Application



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608-770-5848
psarch@tds.net

SHEET INDEX:

TITLE

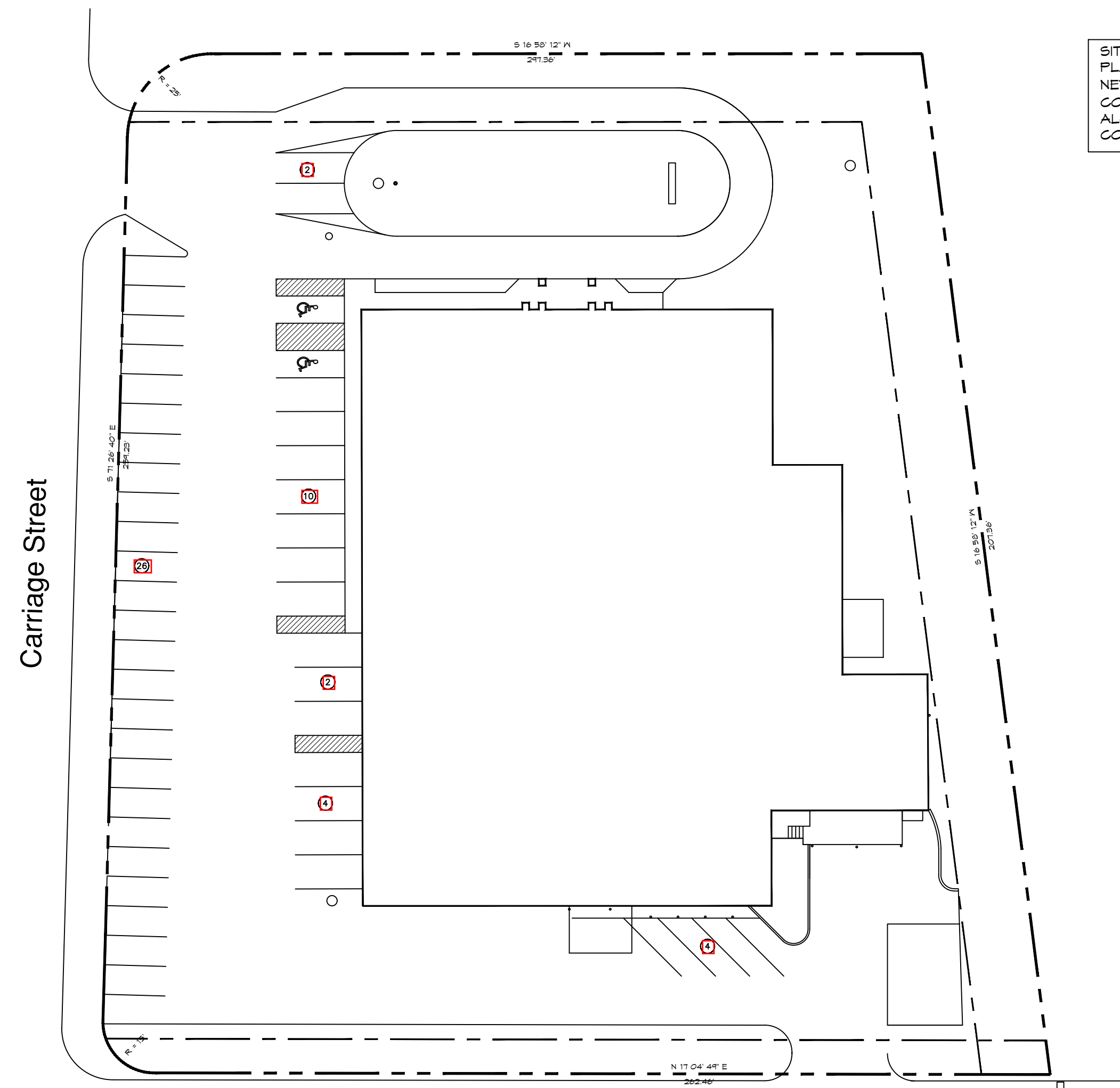
CS-1 COVER SHEET

SITE

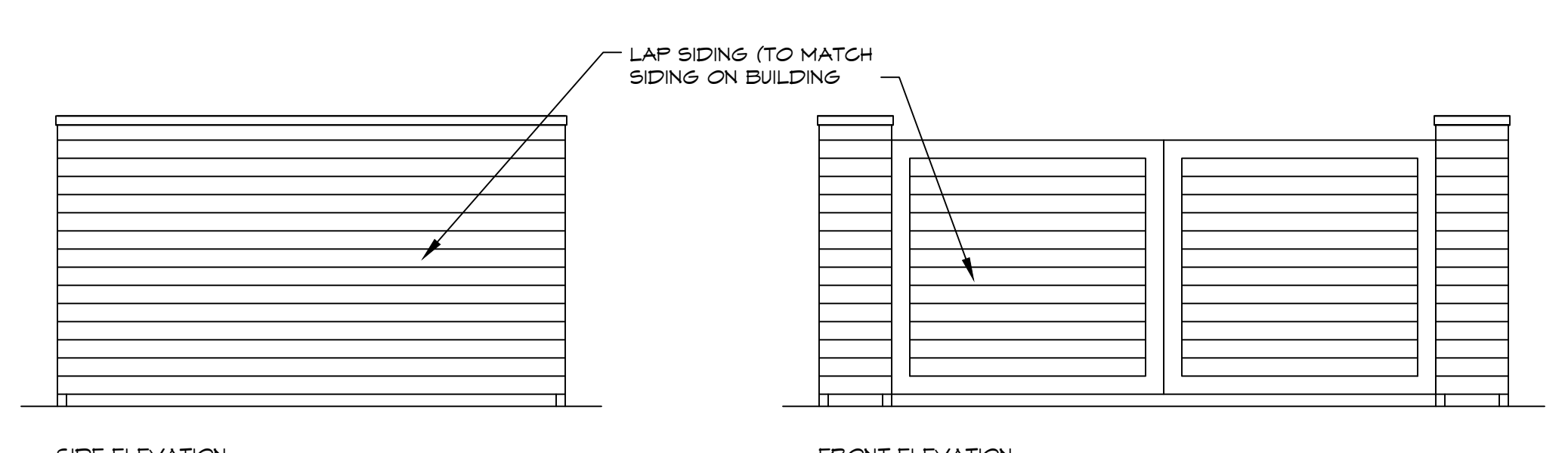
SP-1 SITE PLAN
SP-1A IMPERVIOUS SURFACE RATIO
-- Planting Plan

ARCHITECTURAL

A2.0 BUILDING ELEVATIONS
A2.1 BUILDING ELEVATIONS
-- COLORED ELEVATIONS

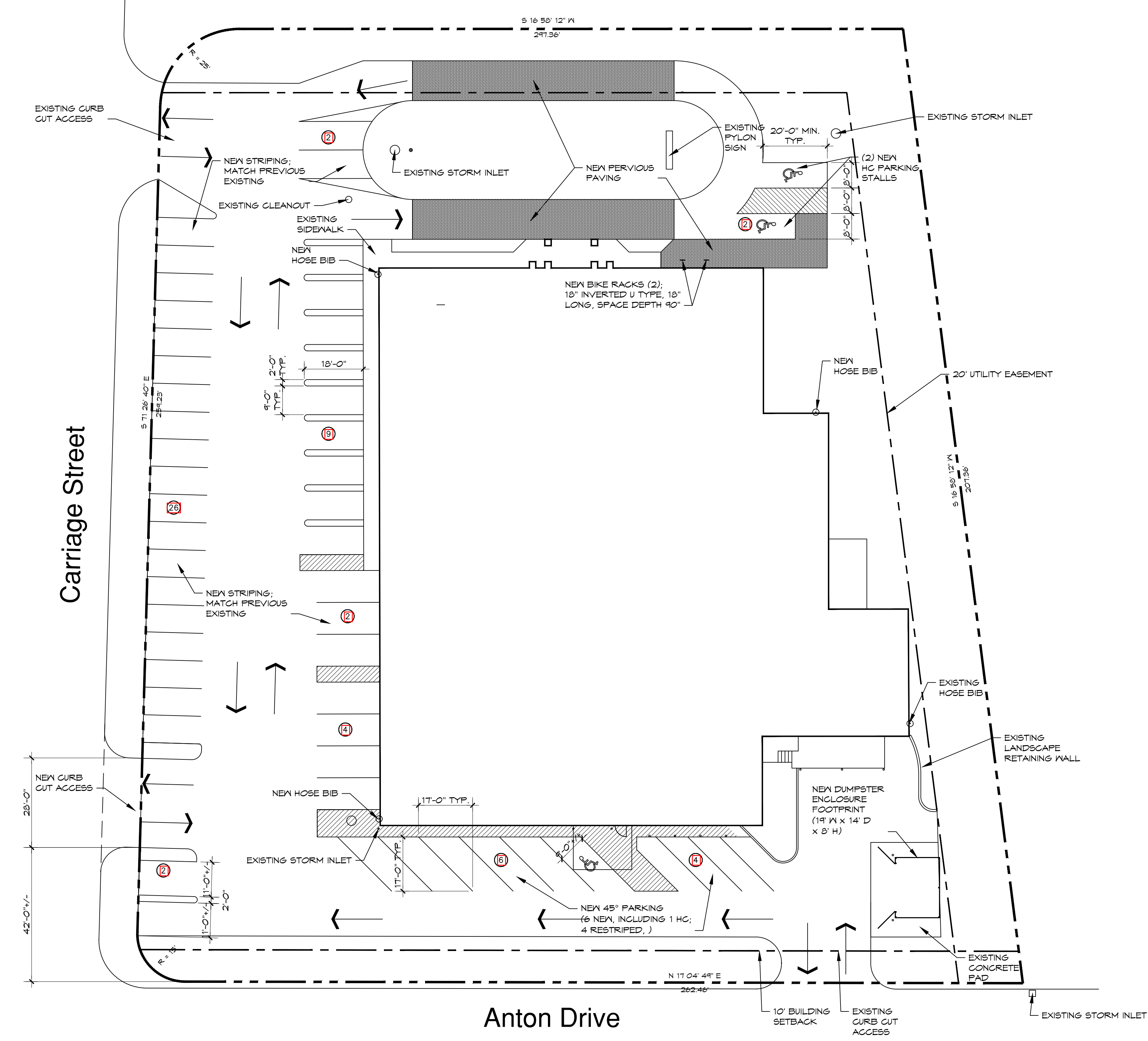


1 Existing Site Plan
SP-1 1"=30'

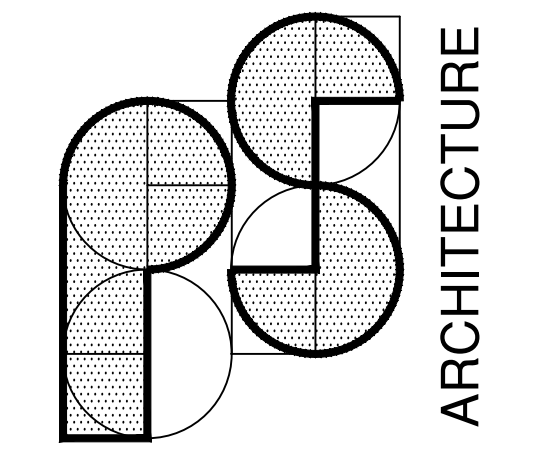


3 Dumpster Enclosure
SP-1 1"=20'

SITE PLAN INFORMATION WAS TAKEN FROM PLANS PREPARED BY ARCHITECTURAL NETWORK, INC. (8, APRIL, 1998) & CONDITIONALLY APPROVED (10, APRIL, 1998), ALONG WITH FIELD VERIFICATION OF CURRENT CONDITIONS BY PS ARCHITECTURE.



2 Site Plan
SP-1 1"=20'



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Chopla, LLC
9708 Tawny Acorn
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issue dates

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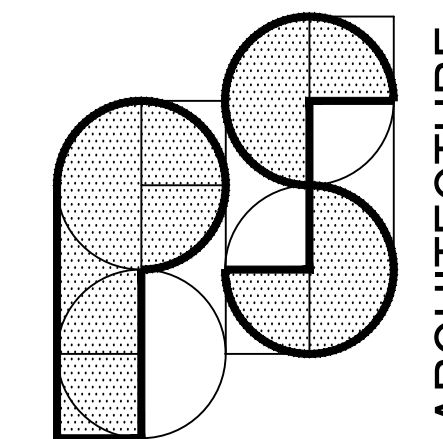
revisions

REV	REVISION	DATE
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project # 2016

content
Site Plan

drawn by: PLS
checked by: PLS
date: 08/23/21
drawing no. SP-1



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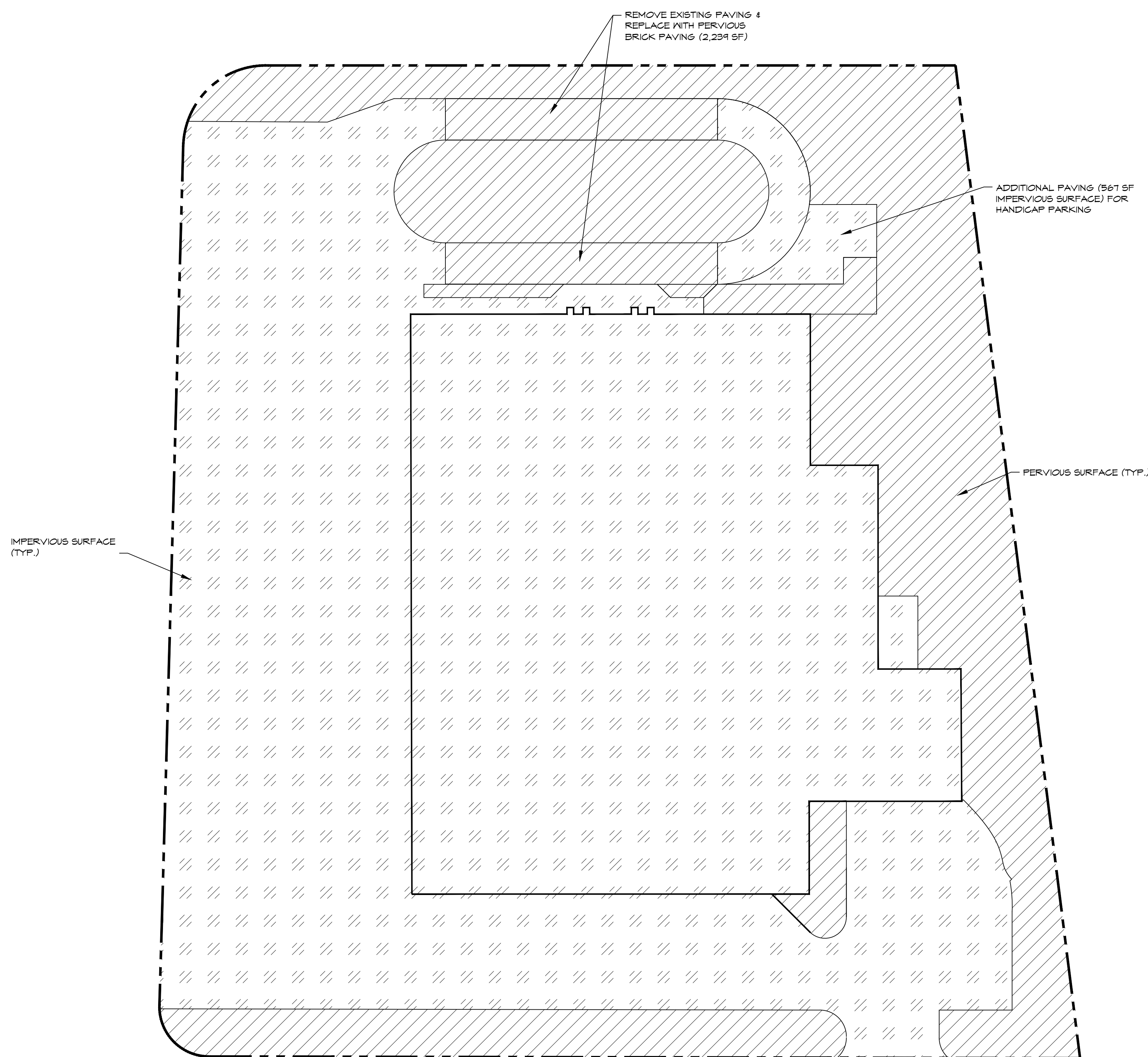
revisions		
REV	REVISION	DATE

project # 2016

content
Site Plan
Impervious Surface Ratio

drawn by: PLS
checked by: PLS
date: 08/23/21
drawing no.

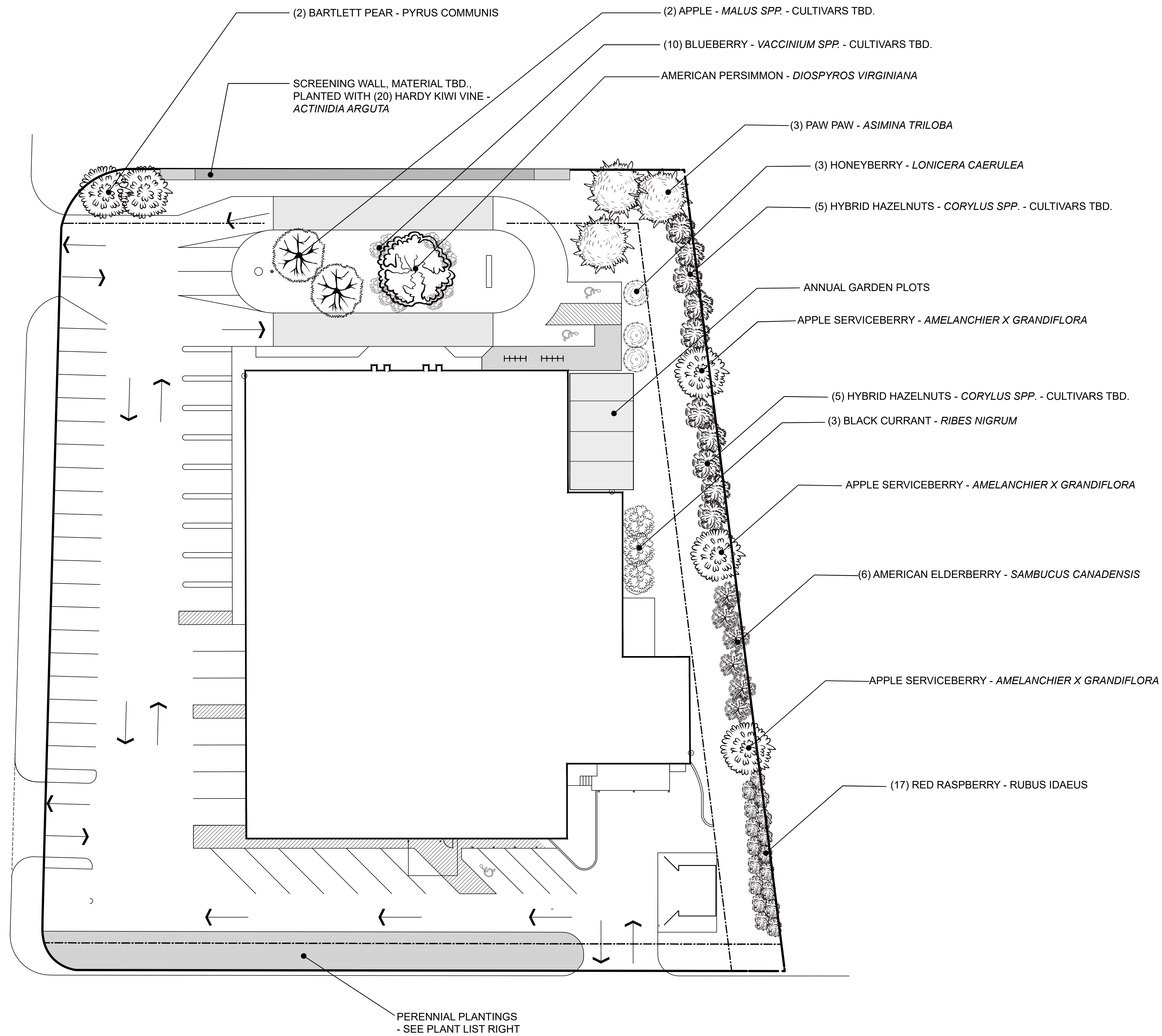
SP-1A



76,158 SF (Lot Area)
49,503 SF (Max. Impervious City Standard (65%))
55,328 SF (Actual Existing Impervious)
20,830 SF (Actual Existing Pervious)
5,825 SF over Max. Impervious (Existing Condition)

2,239 SF Existing Impervious Proposed to be Pervious
567 SF Existing Pervious Proposed to be Impervious
1,672 = Net gain in Pervious Surface
ISR (Existing) = 72%
ISR (w/Improvements) = 70%

1 Site Plan - Impervious Surfaces
SP-1A 1"=20'

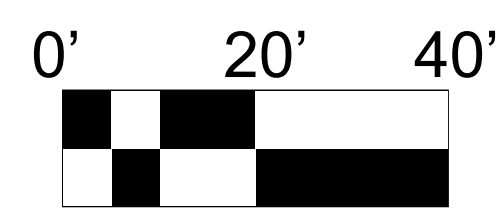


PERENNIAL PLANTING LIST

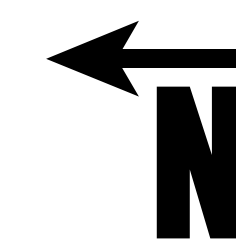
COMMON NAME	SCIENTIFIC NAME
RHUBARB	<i>RHEUM RHABBARBARUM</i>
ASPARAGUS	<i>ASPARAGUS OFFICINALIS</i>
CHIVES	<i>ALLIUM SCHOENOPRASUM</i>
GARLIC CHIVES	<i>ALLIUM TUBEROSUM</i>
OREGANO	<i>ORIGANUM VULGARE</i>
LAVENDER	<i>LAVANDULA SPP.</i>
THYME	<i>THYMUS VULGARIS</i>
WILD ONION	<i>ALLIUM CANADENSE</i>
WILD BERGAMOT	<i>MONARDA FISTULOSA</i>
YARROW	<i>ACHILLEA MILLEFOLIUM</i>
PURPLE CONEFLOWER	<i>ECHINACEA PURPUREA</i>
BLACK-EYED SUSAN	<i>RUDBECKIA HIRTA</i>
LANCELEAF COREOPSIS	<i>COREOPSIS LANCEOLATA</i>
ANISE HYSSOP	<i>AGASTACHE FOENICULUM</i>
BLUE VERVAIN	<i>VERBENA HASTATA</i>
SKY BLUE ASTER	<i>SYMPHYOTRICHUM OOLENTANGIENSE</i>
NEW ENGLAND ASTER	<i>SYMPHYOTRICHUM NOVAE-ANGLIAE</i>
SHOOTING STAR	<i>DODECATHEON MEDIA</i>
COMMON MILKWEED	<i>ASCLEPIAS SYRIACA</i>
BUTTERFLY MILKWEED	<i>ASCLEPIAS TUBEROSA</i>
PRAIRIE SMOKE	<i>GEUM TRIFLORUM</i>
LITTLE BLUESTEM	<i>SCHIZACHYRIUM SCOPARIUM</i>
PRAIRIE DROPSEED	<i>SPOROBULUS HETEROLEPSIS</i>

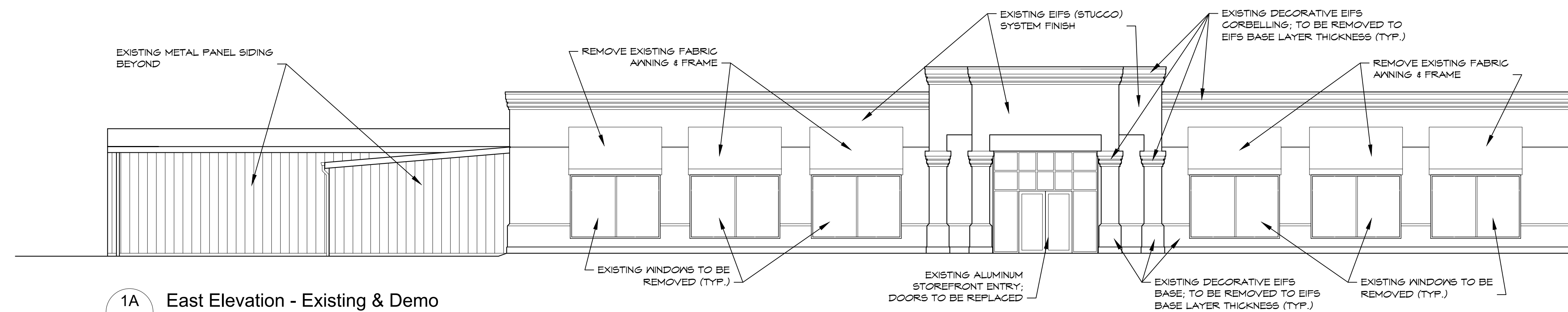
Planting Plan

Scale: 1"=20'-0"



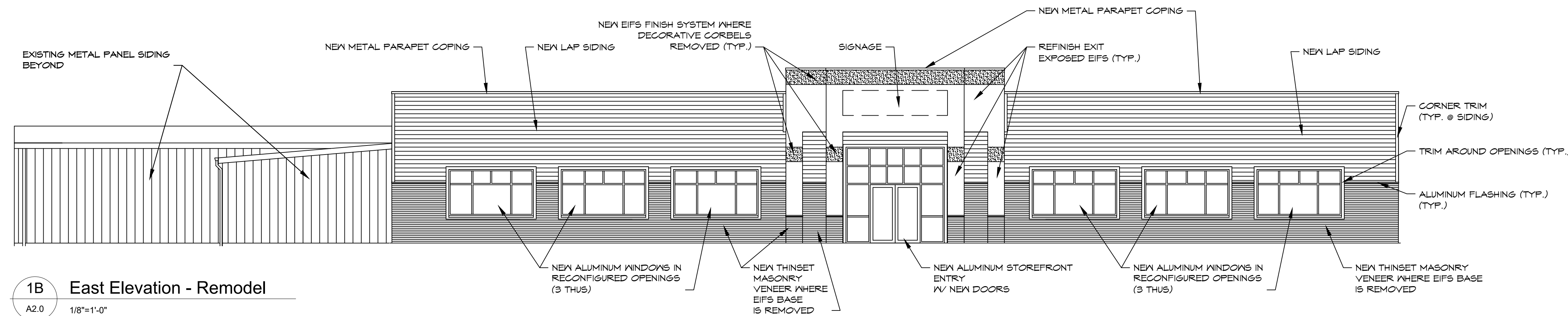
Drawn by:
Matt Provost





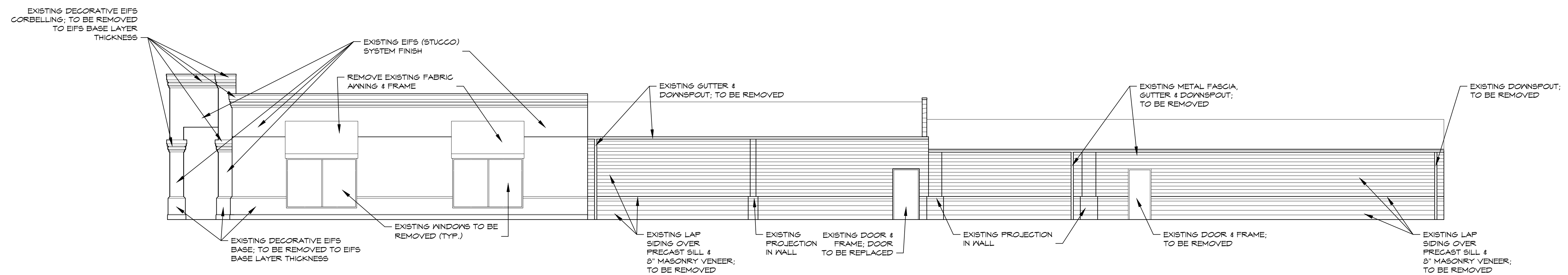
1A East Elevation - Existing & Demo

A2.0 1/8"=1'-0"



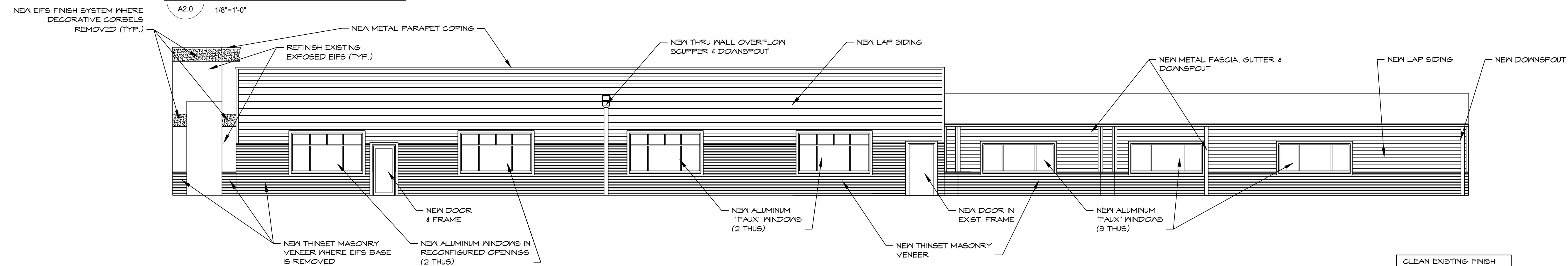
1B East Elevation - Remodel

A2.0 1/8"=1'-0"



2A North Elevation - Existing & Demo

A2.0 1/8"=1'-0"



2B North Elevation - Remodel

A2.0 1/8"=1'-0"

- CLEAN EXISTING FINISH SURFACES TO REMAIN INCLUDING:
- EIFS
 - EXPOSED CONCRETE
 - DOORS & FRAMES

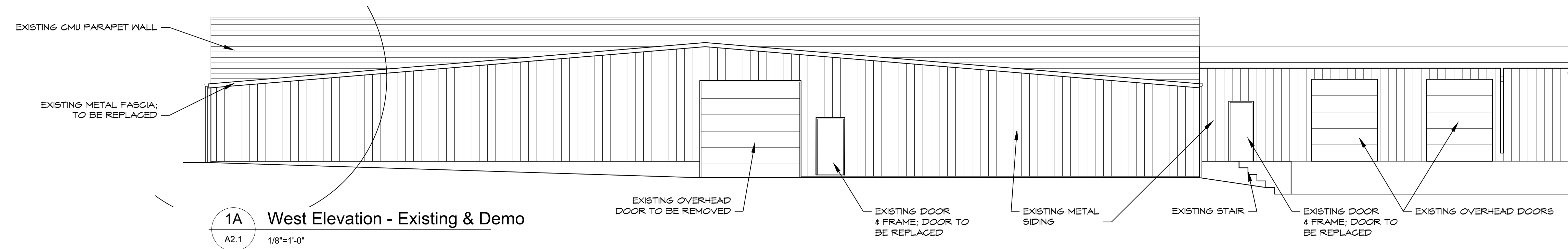
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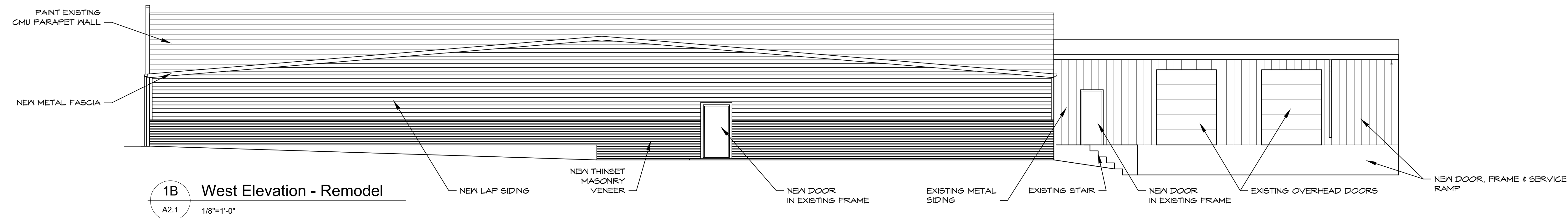
project # 2016

content Elevations

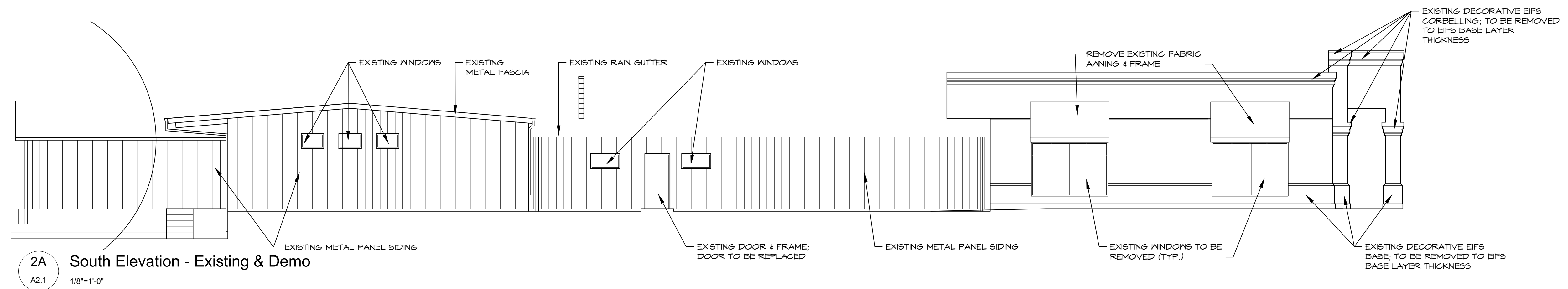
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checked by: PLS
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drawing no.



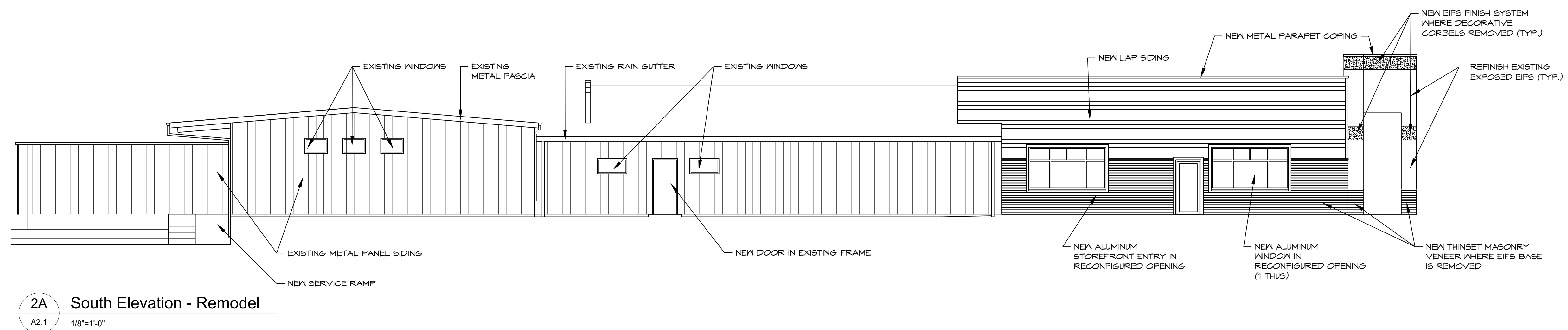
1A West Elevation - Existing & Demo
A2.1 1/8"=1'-0"



1B West Elevation - Remodel
A2.1 1/8"=1'-0"



2A South Elevation - Existing & Demo
A2.1 1/8"=1'-0"



2A South Elevation - Remodel
A2.1 1/8"=1'-0"

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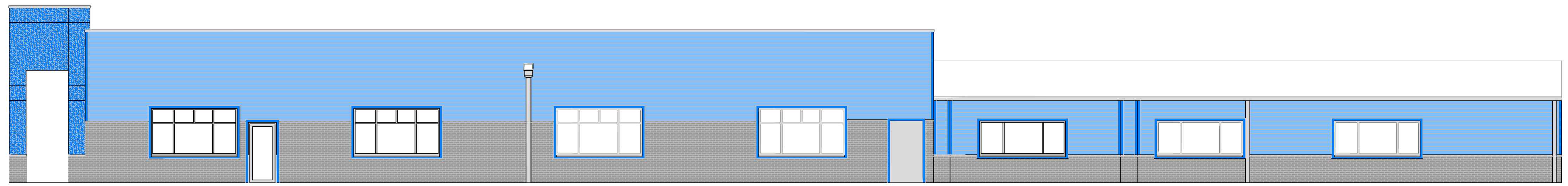
project # 2016

content
Elevations

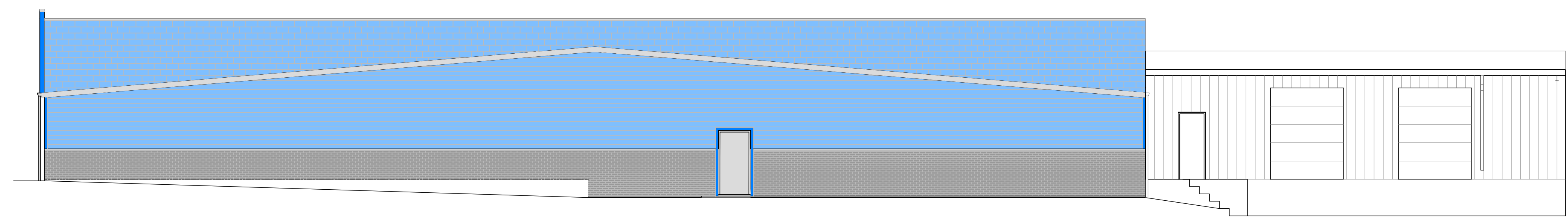
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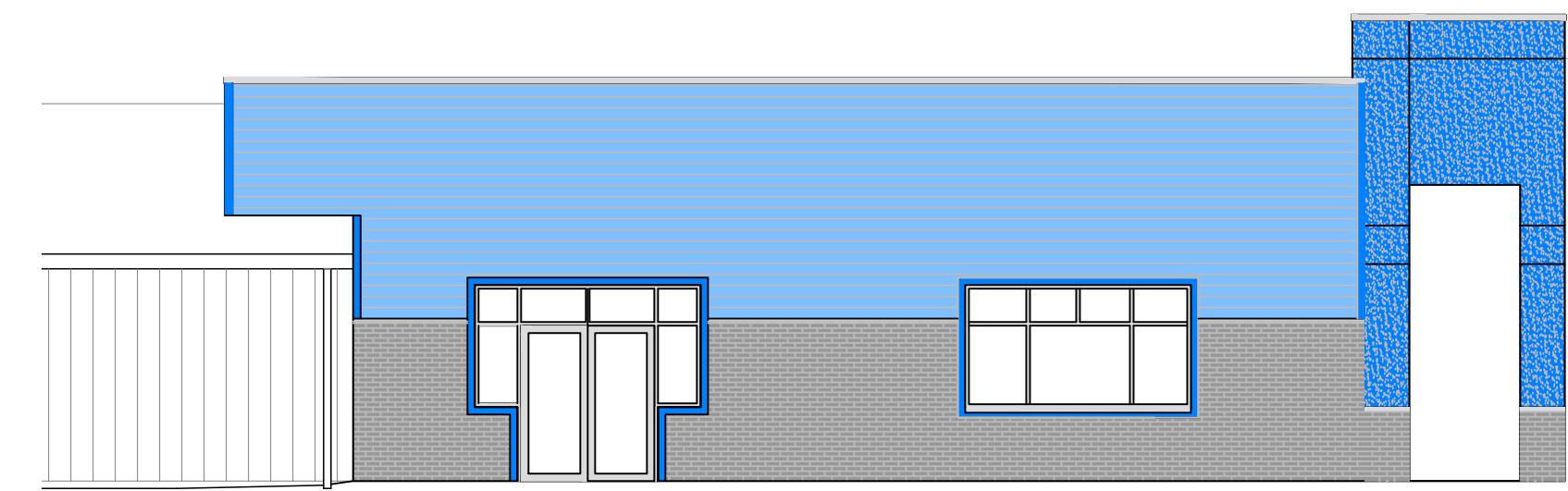
1 East Elevation
1/8"=1'-0"



2 North Elevation
1/8"=1'-0"

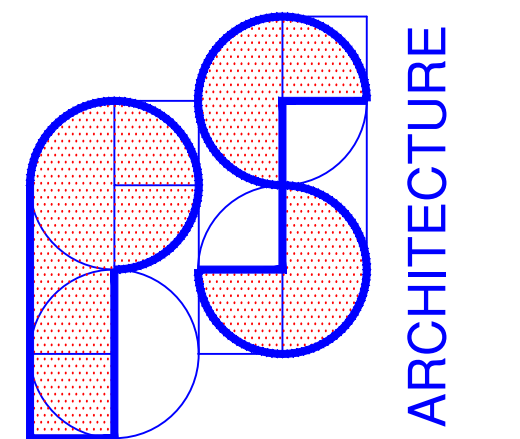


3 West Elevation
1/8"=1'-0"



4 South Elevation - Partial
1/8"=1'-0"

SEE SHEET A2.0 FOR MATERIALS & OTHER NOTES



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Colored
Elevations

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