



City of Fitchburg  
 Planning/Zoning Department  
 5520 Lacy Road  
 Fitchburg, WI 53711  
 (608-270-4200)

# LAND DIVISION APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby submits ten (10) copies of the attached maps, one (1) copy no larger than 11" x 17", and one (1) pdf document of the complete submittal (planning@fitchburgwi.gov) for approval under the rules and requirements of the Fitchburg Land Division Ordinance.

1. **Type of Action Requested:**
- Certified Survey Map Approval
  - Preliminary Plat Approval
  - Final Plat Approval
  - Replat
  - Comprehensive Development Plan Approval

2. **Proposed Land Use** (Check all that Apply):
- Single Family Residential
  - Two-Family Residential
  - Multi-Family Residential
  - Commercial/Industrial

3. **No. of Parcels Proposed:** 1

4. **No. Of Buildable Lots Proposed:** 1

5. **Zoning District:** B-H

6. **Current Owner of Property:** Certco, Inc.

**Address:** 5321 Verona Road, Fitchburg, WI **Phone No:** (608) 271-4500

7. **Contact Person:** Ms. Amy Niemetscheck, President and CEO / Certco, Inc.

**Email:** aniemetscheck@certcoinc.com

**Address:** 5321 Verona Road, Madison, WI **Phone No:** (608) 270-2393

8. **Submission of legal description** in electronic format (MS Word or plain text) by email to: planning@fitchburgwi.gov

Pursuant to Section 24-2 (4) of the Fitchburg Land Division Ordinance, all Land Divisions shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

Respectfully Submitted By: *Amy Niemetscheck* Amy Niemetscheck, President & CEO  
 Owner's or Authorized Agent's Signature      Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

**For City Use Only:**      **Date Received:** \_\_\_\_\_

**Ordinance Section No.** \_\_\_\_\_ **Fee Paid:** \_\_\_\_\_

**Permit Request No.** \_\_\_\_\_

# Memorandum

**To:** Sonja Kruesel, City Planner/Zoning Administrator  
**From:** Jessica Vaughn, AICP, JSD Professional Services, Inc.  
**Re:** Letter of Intent - Certco, Inc. - Warehouse/Distribution Center Site Improvements  
**JSD Project #:** 17-7999  
**Date:** February 16, 2021 (rev. February 18, 2021)  
**cc:** Certco, Inc.: Amy Niemetscheck, Randall Simon  
JSD: Hans Justeson, Matt Haase

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On behalf of the Certco, Inc., JSD Professional Services, Inc. (JSD) is submitting the following project summary memorandum and submittal materials for your review and consideration for the March 16, 2021, Plan Commission meeting:

- Proposed construction plans for site improvements, and
- Preliminary CSM.

## PROJECT SITE LOCATION

The subject project site is comprised of five (5) Certco properties, generally located north of the intersection of McKee Road and US 18/151, east of US 18/151 (Verona Road), west of Cannonball Path and south of Sprocket Drive (PINs 060906488750, 060906496202, 060906482502, 060906495822, and 060906493307). The majority of the parcels are currently utilized to operate the Certco warehousing and distribution facility. In total the properties encompass approximately 22 acres.

## DEVELOPMENT PROPOSAL OVERVIEW

### Proposed Site Improvements

Given the location of the project site adjacent to US 18/151, the project site was impacted by various improvements surrounding the WisDOT Verona Road project. As a result of the WisDOT improvements, the existing site access from the former Verona Road frontage road was removed and a temporary site access was required to be constructed along Sprocket Drive. The temporary access was permitted with the City of Fitchburg with a sunset condition of removal by September 1, 2021. As such, the proposed site improvements include removal of the existing temporary driveway and construction of permanent access to the Certco property. More specifically, the proposed site improvements include:

- **Site Demolition**
  - Existing pavement and structures will be demolished, including:
    - Removal of the existing temporary access drive and curb cut, and
    - Removal of the existing metal building and accessory building.
      - While these areas will be replaced with turf and grass, it is anticipated that they will be the location of a potential future building expansion and site improvements.
    - Removal/redevelopment of other on-site existing impervious areas
      - Overall the site will decrease the impervious area by approximately 0.37 acres.



- **Site Access**

Providing permanent site access via two existing curb cuts along Sprocket Drive in the northwest corner of the site. Both curb cuts and driveway aprons were previously constructed as part of the Sprocket Drive and US 18/151 projects, including:

- Existing 100-foot curb cut to serve a primary site access point.
- Existing 35-foot curb cut a secondary entrance for Certco in-bound only semi-truck traffic.

- **Parking Improvements**

- Expansion of on-site semi-truck parking stalls off primary access drive.
  - Provides 14 semi-truck parking/staging stalls.
- Reconfiguration and expansion of existing employee parking areas.
  - Provide 29 additional parking stalls.
  - Improves site circulation for employees and semi-truck traffic.

- **Site Landscaping**

Landscape improvements are focused on the goal of improving the streetscape along Sprocket Drive and providing screening to parking areas from public right-of-way. The proposed landscape improvements include:

- Street trees along Sprocket Drive.
- Screening plantings adjacent to the semi-truck parking and staging area.

- **Site Lighting**

Site lighting improvements will be made to illuminate the new parking areas and improve existing lighting on-site.

### **Preliminary Certified Survey Map**

In addition to construction of permanent access, Certco is proposing a Certified Survey Map (CSM) to consolidate the five (5) existing parcels owned by Certco and the eventual transfer of surplus remnant right-of-way lands from WisDOT and the City of Fitchburg into one (1) contiguous lot. Certco is concurrently coordinating with both the City of Fitchburg and WisDOT on recording deeds to execute the surplus land transfers.

### **ANTICIPATED PROJECT SCHEDULE**

Formal application requests for Site Plan Review and Certified Survey Map, are anticipated to be submitted for the February 16 submittal deadline, for March Planning Commission and Common Council review.

Construction is anticipated to begin this spring with completion by end of summer prior to the expiration of the temporary driveway permit on September 1, 2021.

### **Attachments:**

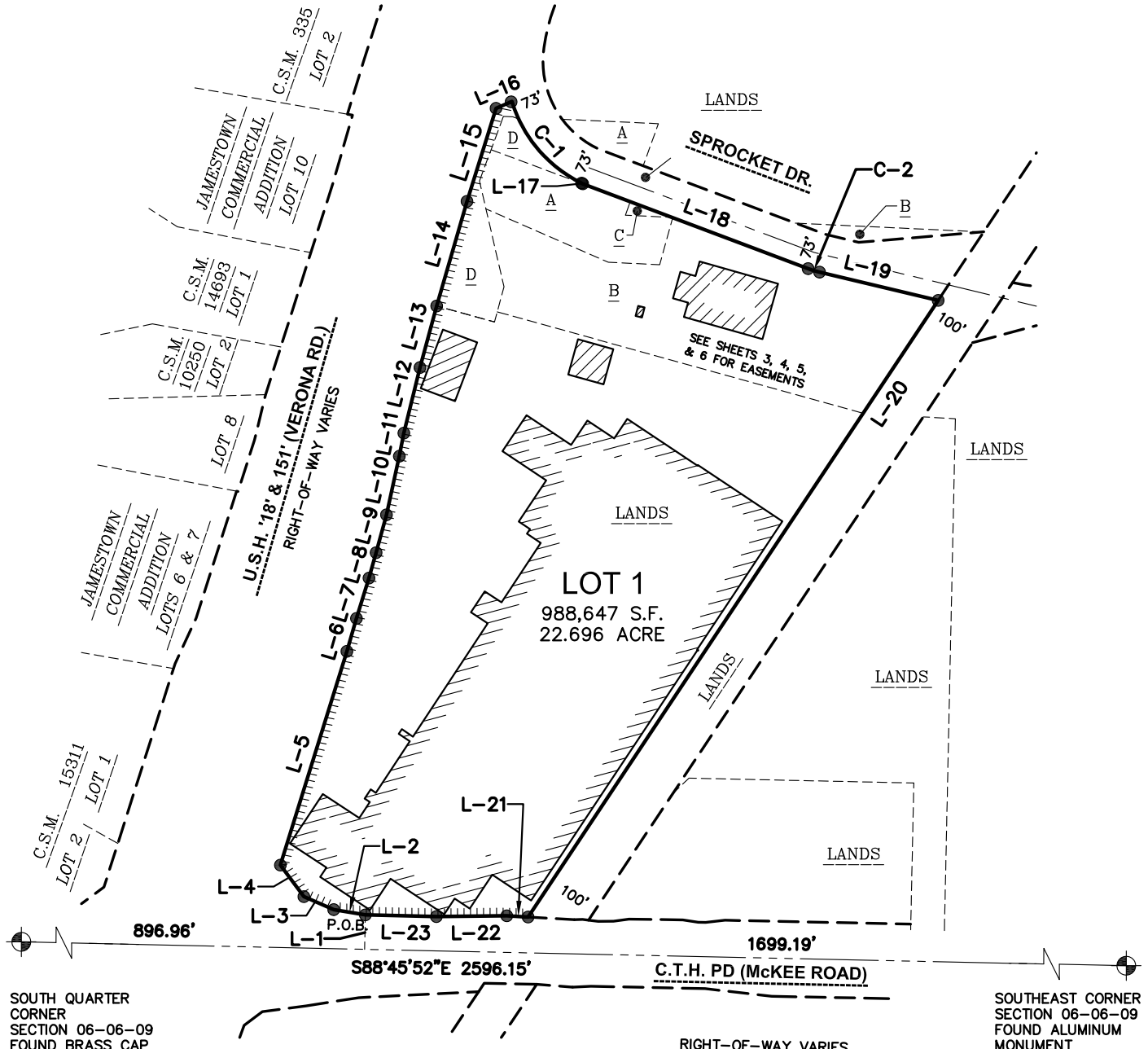
**Attachment A:** Proposed Construction Plans for Site Improvements

**Attachment B:** Preliminary CSM

# PRELIMINARY

## CERTIFIED SURVEY MAP NO. \_\_\_\_\_

PART OF LOTS 1 AND 2, CERTIFIED SURVEY MAP No. 5942, RECORDED IN VOLUME 28, PAGE 151-153 OF CERTIFIED SURVEY MAPS OF DANE COUNTY AS DOCUMENT No. 2162049 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 06, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



SOUTH QUARTER CORNER  
SECTION 06-06-09  
FOUND BRASS CAP  
IN CONCRETE  
N=461,274.90  
E=796,937.58

SOUTHEAST CORNER  
SECTION 06-06-09  
FOUND ALUMINUM  
MONUMENT  
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E=799,533.13

**LEGEND**

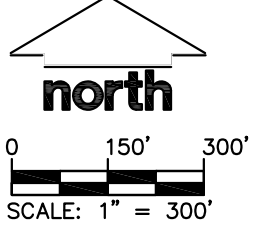
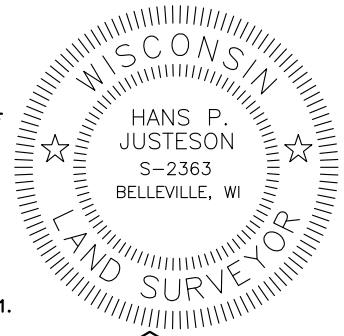
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- BUILDING
- NO ACCESS

**NOTES**

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2. BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (DANE COUNTY). THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 06-06-09, BEARS S88°45'52"E.
3. SEE SHEET 2 FOR LINE AND CURVE TABLE.
4. HIGHWAY RIGHT-OF-WAYS ARE BASED ON:  
C.T.H. PD - TPP 1206-07-25-4.03 & TPP 1206-07-30-4.02  
U.S.H. 151 - TPP 1206-07-25-4.03 AMENDMENT No.1  
SPROCKET DRIVE - TPP14-SR-101-0-4.01
5. NO ACCESS TO C.T.H. PD OR U.S.H. 151.

**NOTES ON UNDERLYING PARCELS**

- A LOT 1, CERTIFIED SURVEY MAP No. 5942
- B LOT 2, CERTIFIED SURVEY MAP No. 5942
- C LANDS
- D LANDS



SURVEYED BY:  MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060	SURVEYED FOR: <b>CERTCO, INC.</b>  5321 VERONA ROAD MADISON, WI 53711	PROJECT NO: 17-7999 FIELDBOOK/PG: SHEET NO: 1 OF 8	SURVEYED BY: - DRAWN BY: JK CHECKED BY: BCK APPROVED BY: TJB
VOL. _____ PAGE _____		DOC. NO. _____	
C.S.M. NO. _____			

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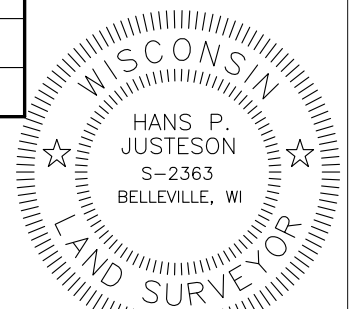
LINE TABLE		
LINE	BEARING	DISTANCE
L-1	N01°14'08"E	66.13'
L-2	N80°34'38"W	61.55'
L-3	N66°30'24"W	62.40'
L-4	N36°43'39"W	75.50'
L-5	N17°17'10"E	429.46'
L-6	N16°15'57"E	65.80'
L-7	N17°13'29"E	81.04'
L-8	N15°41'16"E	50.63'
L-9	N15°17'05"E	75.25'
L-10	N12°24'03"E	115.11'
L-11	N11°04'35"E	45.10'
L-12	N13°47'21"E	129.53'

LINE TABLE		
LINE	BEARING	DISTANCE
L-13	N15°12'46"E	122.43'
L-14	N16°09'22"E	209.01'
L-15	N17°20'11"E	186.91'
L-16	N66°49'34"E	33.29'
L-17	S59°34'57"E	2.62'
L-18	S69°23'05"E	462.05'
L-19	S76°36'13"E	233.97'
L-20	S33°38'09"W	1420.76'
L-21	N86°45'55"W	40.98'
L-22	S89°21'32"W	135.08'
L-23	N88°36'35"W	136.35'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C-1	211.68'	259.00'	46°49'38"	S40°28'09"E	205.84'
C-2	23.06'	183.03'	7°13'02"	S72°59'36"E	23.04'

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
E-1	N17°17'10"E	45.64'
E-2	N56°03'22"W	8.02'
E-3	N33°26'56"E	27.59'
E-4	N17°17'10"E	360.90'
E-5	N16°15'57"E	65.81'
E-6	N17°13'29"E	81.08'
E-7	N15°41'16"E	50.77'
E-8	N15°17'05"E	75.49'
E-9	N12°24'03"E	115.40'
E-10	N11°04'35"E	45.00'
E-11	N13°47'21"E	129.23'
E-12	N15°13'27"E	122.25'
E-13	S74°46'33"E	10.00'

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
E-14	S15°13'27"W	122.12'
E-15	S13°47'21"W	128.87'
E-16	S11°04'35"W	44.88'
E-17	S12°24'03"W	115.77'
E-18	S15°17'05"W	75.77'
E-19	S15°41'16"W	50.94'
E-20	S17°13'29"W	81.13'
E-21	S16°15'57"W	65.81'
E-22	S17°17'10"W	340.85'
E-23	S33°26'56"W	45.74'
E-24	S56°03'22"E	13.29'
E-25	S17°17'10"W	54.08'
E-26	N36°49'29"W	12.34'



**SURVEYED BY:**  
  
**JSD Professional Services, Inc.**  
 Engineers • Surveyors • Planners  
**MADISON REGIONAL OFFICE**  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 P. 608.848.5060

**SURVEYED FOR:**  
**CERTCO, INC.**  
 5321 VERONA ROAD  
 MADISON, WI 53711

**PROJECT NO:** 17-7999  
**FIELDBOOK/PG:** -  
**SHEET NO:** 2 OF 8

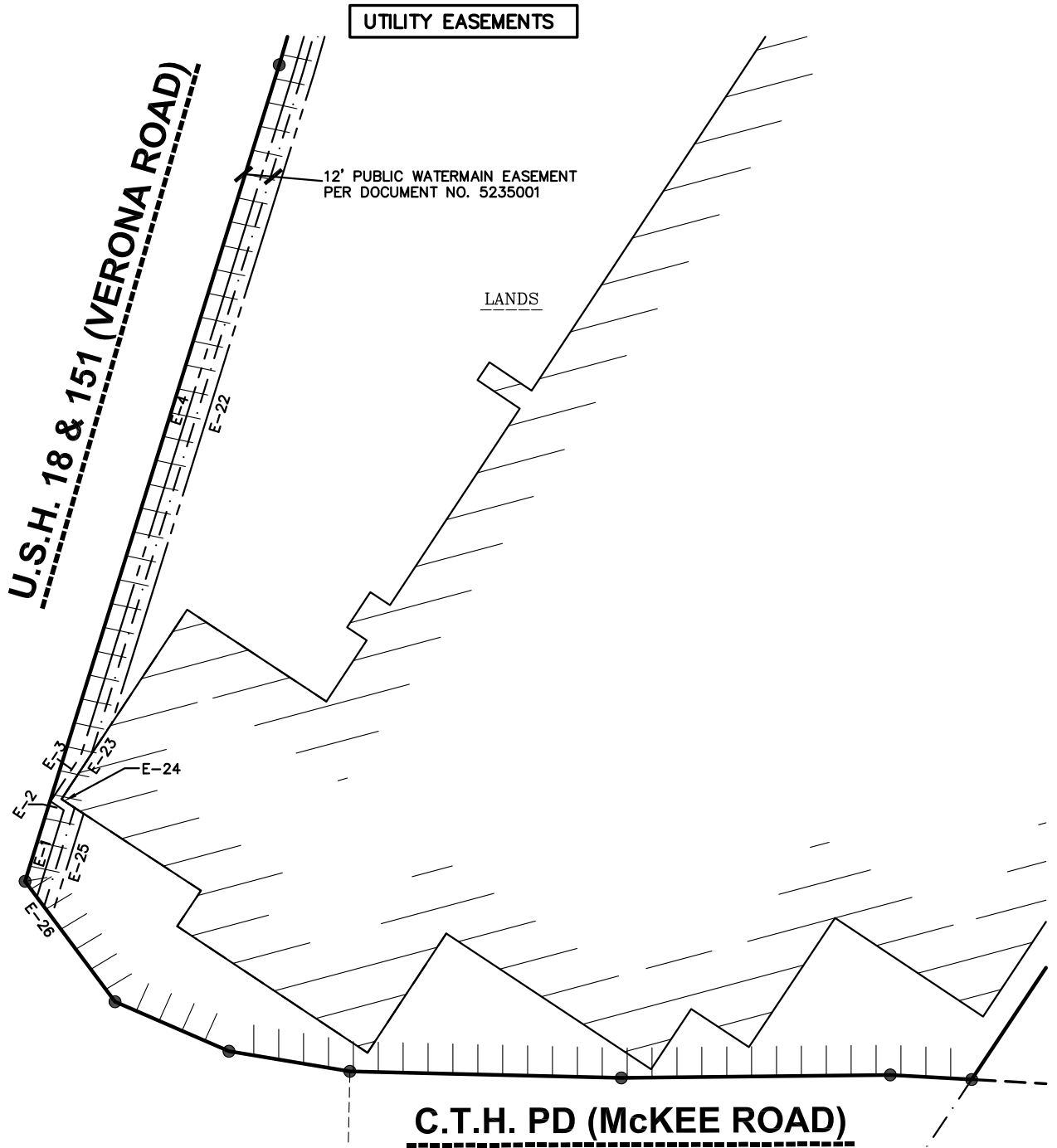
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**DRAWN BY:** JK  
**CHECKED BY:** BCK  
**APPROVED BY:** TJB

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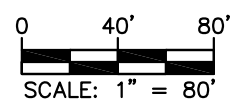
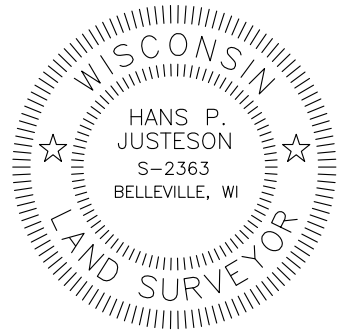


**LEGEND**

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
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**NOTES**

1. FIELD WORK PERFORMED ON DECEMBER 28, 2020.
2. BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (DANE COUNTY). THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 06-06-09, BEARS S88°45'52"E.
3. SEE SHEET 2 FOR LINE AND CURVE TABLE.



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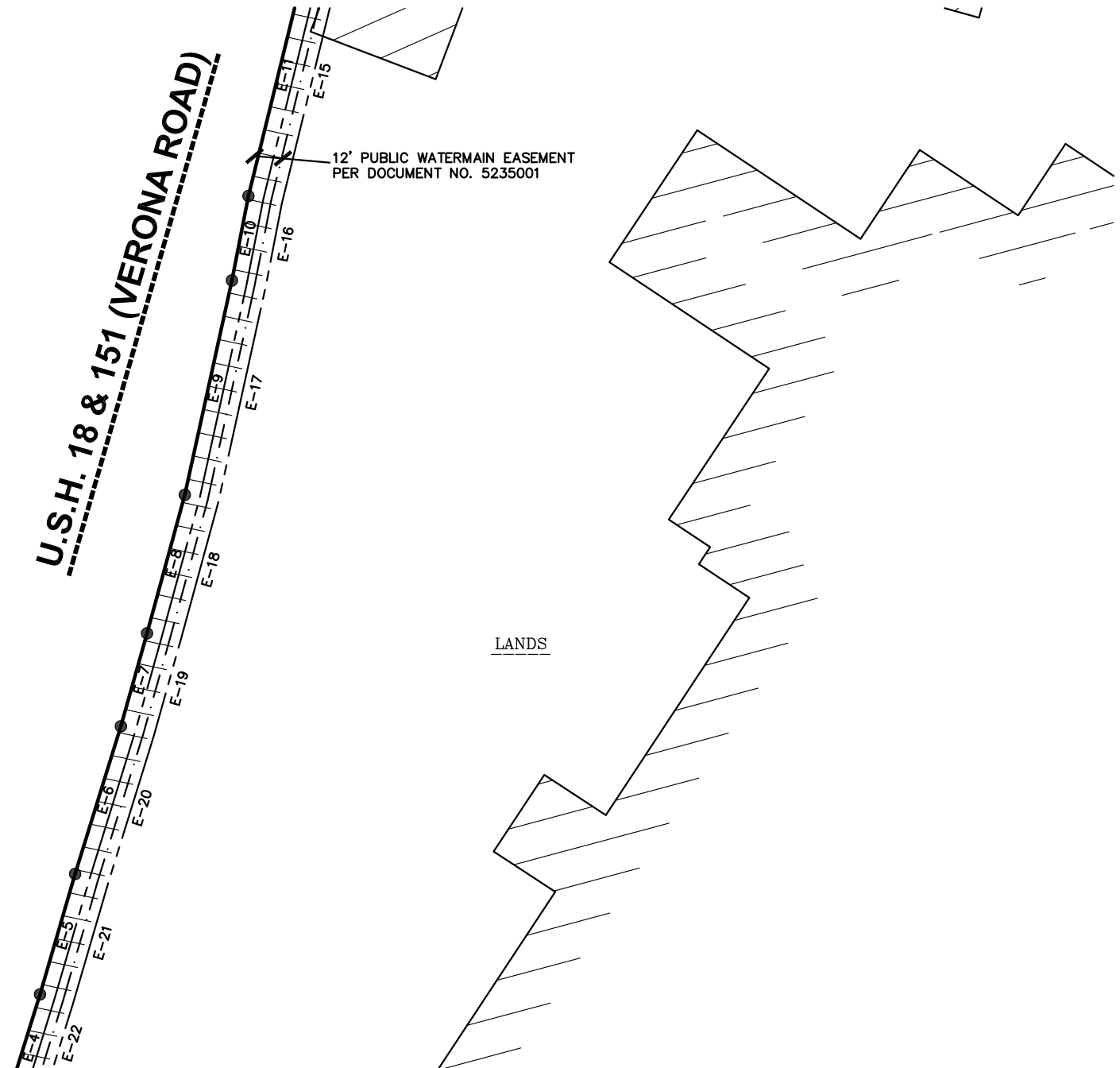
<p><b>SURVEYED BY:</b></p> <p><b>JSD Professional Services, Inc.</b>  <small>Engineers • Surveyors • Planners</small>  <b>MADISON REGIONAL OFFICE</b>          161 HORIZON DRIVE, SUITE 101          VERONA, WISCONSIN 53593          P. 608.848.5060</p>	<p><b>SURVEYED FOR:</b></p> <p><b>CERTCO, INC.</b></p> <p>5321 VERONA ROAD          MADISON, WI 53711</p>	<p><b>PROJECT NO:</b> 17-7999</p> <p><b>FIELDBOOK/PG:</b> -</p> <p><b>SHEET NO:</b> 3 OF 8</p>	<p><b>SURVEYED BY:</b> -</p> <p><b>DRAWN BY:</b> JK</p> <p><b>CHECKED BY:</b> BCK</p> <p><b>APPROVED BY:</b> TJB</p>
<p><b>VOL.</b> _____ <b>PAGE</b> _____</p> <p><b>DOC. NO.</b> _____</p> <p><b>C.S.M. NO.</b> _____</p>			

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### UTILITY EASEMENTS



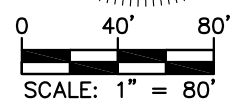
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### NOTES

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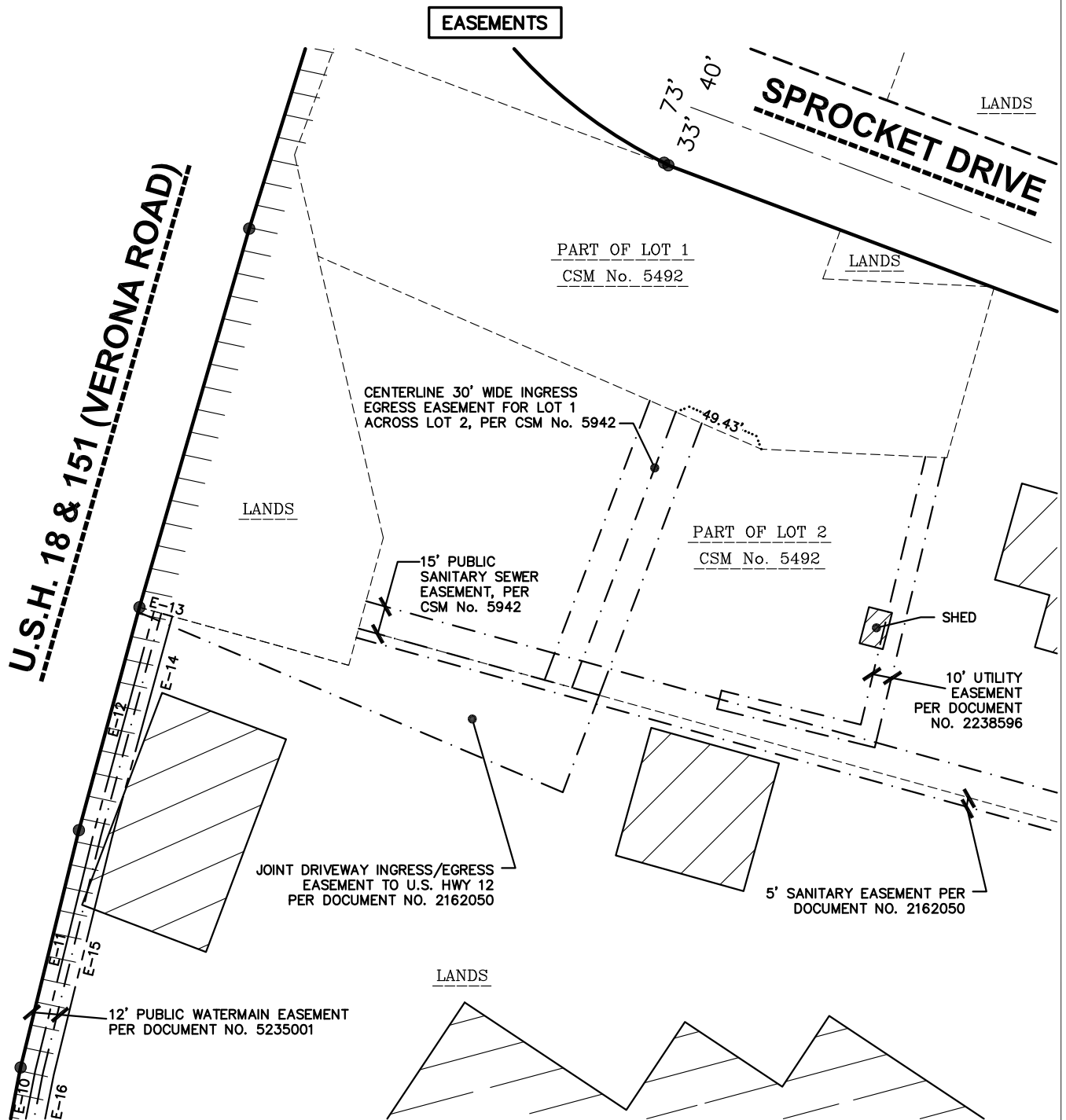


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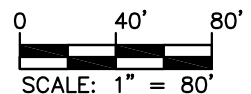


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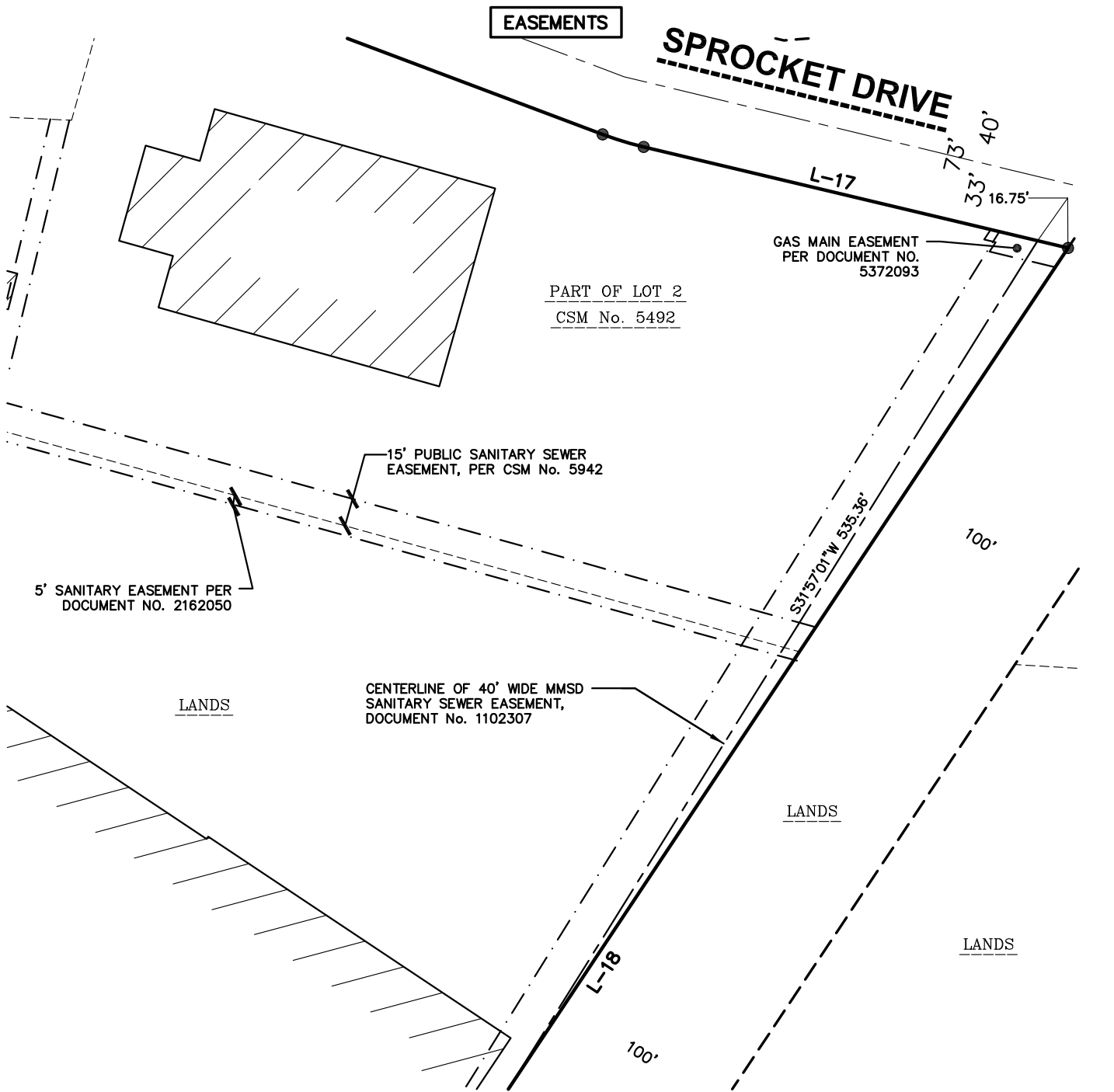
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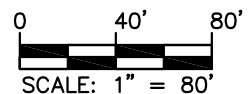


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3. SEE SHEET 2 FOR LINE AND CURVE TABLE.



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<p><b>SURVEYED BY:</b></p> <p><b>JSD Professional Services, Inc.</b> Engineers • Surveyors • Planners MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060</p>	<p><b>SURVEYED FOR:</b></p> <p><b>CERTCO, INC.</b></p> <p>5321 VERONA ROAD MADISON, WI 53711</p>	<p><b>PROJECT NO:</b> 17-7999</p> <p><b>FIELDBOOK/PG:</b> -</p> <p><b>SHEET NO:</b> 6 OF 8</p>	<p><b>SURVEYED BY:</b> -</p> <p><b>DRAWN BY:</b> JK</p> <p><b>CHECKED BY:</b> BCK</p> <p><b>APPROVED BY:</b> TJB</p>
<p><b>VOL.</b> _____ <b>PAGE</b> _____</p> <p><b>DOC. NO.</b> _____</p> <p><b>C.S.M. NO.</b> _____</p>			

# PRELIMINARY

## CERTIFIED SURVEY MAP NO. \_\_\_\_\_

PART OF LOTS 1 AND 2, CERTIFIED SURVEY MAP No. 5942, RECORDED IN VOLUME 28, PAGE 151-153 OF CERTIFIED SURVEY MAPS OF DANE COUNTY AS DOCUMENT No. 2162049 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 06, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

### LEGAL DESCRIPTION

PART OF LOTS 1 AND 2, CERTIFIED SURVEY MAP No. 5942, RECORDED IN VOLUME 28, PAGE 151-153 OF CERTIFIED SURVEY MAPS OF DANE COUNTY AS DOCUMENT No. 2162049 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 06, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 06, AFORESAID; THENCE SOUTH 88 DEGREES 45 MINUTES 52 SECONDS EAST, ALONG THE SOUTH OF THE SOUTHEAST QUARTER OF SECTION 06, AFORESAID, 896.96 FEET; THENCE NORTH 01 DEGREES 14 MINUTES 08 SECONDS EAST, 66.13 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF MCKEE ROAD (C.T.H. 'PD'), ALSO BEING THE POINT OF BEGINNING; THENCE NORTH 80 DEGREES 34 MINUTES 38 SECONDS WEST ALONG SAID LINE, 61.55 FEET; THENCE NORTH 66 DEGREES 30 MINUTES 24 SECONDS WEST ALONG SAID LINE, 62.40 FEET; THENCE NORTH 36 DEGREES 43 MINUTES 39 SECONDS WEST ALONG SAID LINE, 75.50 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF VERONA ROAD (U.S.H. 18 & 151); THENCE NORTH 17 DEGREES 17 MINUTES 10 SECONDS EAST ALONG SAID LINE, 429.46 FEET; THENCE NORTH 16 DEGREES 15 MINUTES 57 SECONDS EAST ALONG SAID LINE, 65.80 FEET; THENCE NORTH 17 DEGREES 13 MINUTES 29 SECONDS EAST ALONG SAID LINE, 81.04 FEET; THENCE NORTH 15 DEGREES 41 MINUTES 16 SECONDS EAST ALONG SAID LINE, 50.63 FEET; THENCE NORTH 15 DEGREES 17 MINUTES 05 SECONDS EAST ALONG SAID LINE, 75.25 FEET; THENCE NORTH 12 DEGREES 24 MINUTES 03 SECONDS EAST ALONG SAID LINE, 115.11 FEET; THENCE NORTH 11 DEGREES 04 MINUTES 35 SECONDS EAST ALONG SAID LINE, 45.10 FEET; THENCE NORTH 13 DEGREES 47 MINUTES 21 SECONDS EAST ALONG SAID LINE, 129.53 FEET; THENCE NORTH 15 DEGREES 12 MINUTES 46 SECONDS EAST ALONG SAID LINE, 122.43 FEET; THENCE NORTH 16 DEGREES 09 MINUTES 22 SECONDS EAST ALONG SAID LINE, 209.01 FEET; THENCE NORTH 17 DEGREES 20 MINUTES 11 SECONDS EAST ALONG SAID LINE, 186.91 FEET; THENCE NORTH 66 DEGREES 49 MINUTES 34 SECONDS EAST ALONG SAID LINE, 33.29 FEET TO A POINT ON A CURVE; THENCE SOUTHEASTERLY 211.68 FEET ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 259.00 FEET, THE CHORD BEARS SOUTH 40 DEGREES 28 MINUTES 09 SECONDS EAST, 205.84 FEET; THENCE SOUTH 59 DEGREES 34 MINUTES 57 SECONDS EAST, 2.62 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SPROCKET DRIVE; THENCE SOUTH 69 DEGREES 23 MINUTES 05 SECONDS EAST ALONG SAID LINE, 462.05 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY 23.06 FEET ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 183.03 FEET, THE CHORD BEARS SOUTH 72 DEGREES 59 MINUTES 36 SECONDS EAST FEET ALONG SAID LINE, 23.04; THENCE SOUTH 76 DEGREES 36 MINUTES 13 SECONDS EAST ALONG SAID LINE 233.97 FEET TO THE WESTERLY LINE OF THE CITY OF MADISON BIKE PATH; THENCE SOUTH 33 DEGREES 38 MINUTES 09 SECONDS WEST ALONG SAID LINE, 1420.76 FEET TO THE NORTH RIGHT-OF-WAY LINE OF MCKEE ROAD (C.T.H. 'PD'); THENCE NORTH 86 DEGREES 45 MINUTES 55 SECONDS WEST ALONG SAID LINE, 40.98 FEET; THENCE SOUTH 89 DEGREES 21 MINUTES 32 SECONDS WEST ALONG SAID LINE, 135.08 FEET; THENCE NORTH 88 DEGREES 36 MINUTES 35 SECONDS WEST ALONG SAID LINE, 136.35 FEET TO THE POINT OF BEGINNING.

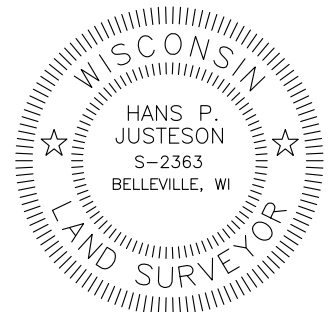
SAID PARCEL CONTAINS 988,647 SQUARE FEET OR 22.696 ACRES.

### SURVEYOR'S CERTIFICATE


I, HANS JUSTESON, PROFESSIONAL LAND SURVEYOR S-2363, DO HEREBY CERTIFY THAT BY DIRECTION OF CERTCO, INC., I HAVE SURVEYED, DIVIDED, AND MAPPED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

\_\_\_\_\_  
HANS P. JUSTESON, S-2363  
PROFESSIONAL LAND SURVEYOR

\_\_\_\_\_  
DATE



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<b>SURVEYED BY:</b>  <b>MADISON REGIONAL OFFICE</b> 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060	<b>SURVEYED FOR:</b> <b>CERTCO, INC.</b>  5321 VERONA ROAD MADISON, WI 53711	PROJECT NO: 17-7999	SURVEYED BY: —
		FIELDBOOK/PG: —	DRAWN BY: JK
		SHEET NO: 7 OF 8	CHECKED BY: BCK
			APPROVED BY: TJB

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DOC. NO. \_\_\_\_\_  
C.S.M. NO. \_\_\_\_\_

# PRELIMINARY

## CERTIFIED SURVEY MAP NO. \_\_\_\_\_

PART OF LOTS 1 AND 2, CERTIFIED SURVEY MAP No. 5942, RECORDED IN VOLUME 28, PAGE 151-153 OF CERTIFIED SURVEY MAPS OF DANE COUNTY AS DOCUMENT No. 2162049 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 06, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

### CORPORATE OWNER'S CERTIFICATE

CERTCO, INC., A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. SAID CORPORATION FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE CITY OF FITCHBURG FOR APPROVAL.

IN WITNESS WHEREOF, THE SAID CERTCO INC. HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS REPRESENTATIVES THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

CERTCO INC.

BY: \_\_\_\_\_  
AMY NIEMETSCHKE, PRESIDENT AND CEO

STATE OF WISCONSIN) SS  
DANE COUNTY ) SS

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, THE ABOVE NAMED REPRESENTATIVE OF THE ABOVE NAMED CERTCO INC. TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC, DANE COUNTY, WISCONSIN

\_\_\_\_\_  
MY COMMISSION EXPIRES

### CITY OF FITCHBURG COMMON COUNCIL APPROVAL CERTIFICATE

RESOLVED THAT THIS CERTIFIED SURVEY MAP, WHICH HAS BEEN DULY FILED FOR THE APPROVAL OF THE CITY OF MADISON COMMON COUNCIL, BE AND THE SAME IS HEREBY APPROVED AND THE DEDICATIONS, IF ANY DESIGNATED HEREON, ARE HEREBY ACKNOWLEDGED AND ACCEPTED BY THE CITY OF FITCHBURG.

I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE CITY OF FITCHBURG ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
TRACY OLDENBURG, CLERK  
CITY OF FITCHBURG



### **OFFICE OF THE REGISTER OF DEEDS**

\_\_\_\_\_ COUNTY, WISCONSIN

RECEIVED FOR RECORD \_\_\_\_\_

20\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_ M

AS DOCUMENT # \_\_\_\_\_

IN VOL. \_\_\_\_\_ OF CERTIFIED

SURVEY MAPS ON PAGE(S) \_\_\_\_\_

REGISTER OF DEEDS

SURVEYED BY: <b>JSD Professional Services, Inc.</b> <small>Engineers • Surveyors • Planners</small> MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060	SURVEYED FOR: <b>CERTCO, INC.</b> 5321 VERONA ROAD VERONA, WI 53711	PROJECT NO: 17-7999 FB/PG: - SHEET NO: 8 OF 8	SURVEYED BY: - DRAWN BY: JK CHECKED BY: BCK APPROVED BY: TJB
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