



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: _____

Address: _____ **Phone Number of Contact Person:** _____

City, State, Zip Code: _____ **Email of Contact Person:** _____

Project Address: _____ **Lot:** _____ **Subdivision:** _____

Project Type: _____ **Multi-Family** _____ **Commercial** _____ **Industrial** _____ **Other**
 _____ **New** _____ **Addition**

Impervious Surface Ratio (ISR): _____ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 2/10/2021
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:

Memorandum

To: Sonja Kruesel, City Planner/Zoning Administrator
From: Jessica Vaughn, AICP, JSD Professional Services, Inc.
Re: Letter of Intent - Certco, Inc. - Warehouse/Distribution Center Site Improvements
JSD Project #: 17-7999
Date: February 16, 2021 (rev. February 18, 2021)
cc: Certco, Inc.: Amy Niemetscheck, Randall Simon
JSD: Hans Justeson, Matt Haase

On behalf of the Certco, Inc., JSD Professional Services, Inc. (JSD) is submitting the following project summary memorandum and submittal materials for your review and consideration for the March 16, 2021, Plan Commission meeting:

- Proposed construction plans for site improvements, and
- Preliminary CSM.

PROJECT SITE LOCATION

The subject project site is comprised of five (5) Certco properties, generally located north of the intersection of McKee Road and US 18/151, east of US 18/151 (Verona Road), west of Cannonball Path and south of Sprocket Drive (PINs 060906488750, 060906496202, 060906482502, 060906495822, and 060906493307). The majority of the parcels are currently utilized to operate the Certco warehousing and distribution facility. In total the properties encompass approximately 22 acres.

DEVELOPMENT PROPOSAL OVERVIEW

Proposed Site Improvements

Given the location of the project site adjacent to US 18/151, the project site was impacted by various improvements surrounding the WisDOT Verona Road project. As a result of the WisDOT improvements, the existing site access from the former Verona Road frontage road was removed and a temporary site access was required to be constructed along Sprocket Drive. The temporary access was permitted with the City of Fitchburg with a sunset condition of removal by September 1, 2021. As such, the proposed site improvements include removal of the existing temporary driveway and construction of permanent access to the Certco property. More specifically, the proposed site improvements include:

- **Site Demolition**
 - Existing pavement and structures will be demolished, including:
 - Removal of the existing temporary access drive and curb cut, and
 - Removal of the existing metal building and accessory building.
 - While these areas will be replaced with turf and grass, it is anticipated that they will be the location of a potential future building expansion and site improvements.
 - Removal/redevelopment of other on-site existing impervious areas
 - Overall the site will decrease the impervious area by approximately 0.37 acres.



- **Site Access**

Providing permanent site access via two existing curb cuts along Sprocket Drive in the northwest corner of the site. Both curb cuts and driveway aprons were previously constructed as part of the Sprocket Drive and US 18/151 projects, including:

- Existing 100-foot curb cut to serve a primary site access point.
- Existing 35-foot curb cut a secondary entrance for Certco in-bound only semi-truck traffic.

- **Parking Improvements**

- Expansion of on-site semi-truck parking stalls off primary access drive.
 - Provides 14 semi-truck parking/staging stalls.
- Reconfiguration and expansion of existing employee parking areas.
 - Provide 29 additional parking stalls.
 - Improves site circulation for employees and semi-truck traffic.

- **Site Landscaping**

Landscape improvements are focused on the goal of improving the streetscape along Sprocket Drive and providing screening to parking areas from public right-of-way. The proposed landscape improvements include:

- Street trees along Sprocket Drive.
- Screening plantings adjacent to the semi-truck parking and staging area.

- **Site Lighting**

Site lighting improvements will be made to illuminate the new parking areas and improve existing lighting on-site.

Preliminary Certified Survey Map

In addition to construction of permanent access, Certco is proposing a Certified Survey Map (CSM) to consolidate the five (5) existing parcels owned by Certco and the eventual transfer of surplus remnant right-of-way lands from WisDOT and the City of Fitchburg into one (1) contiguous lot. Certco is concurrently coordinating with both the City of Fitchburg and WisDOT on recording deeds to execute the surplus land transfers.

ANTICIPATED PROJECT SCHEDULE

Formal application requests for Site Plan Review and Certified Survey Map, are anticipated to be submitted for the February 16 submittal deadline, for March Planning Commission and Common Council review.

Construction is anticipated to begin this spring with completion by end of summer prior to the expiration of the temporary driveway permit on September 1, 2021.

Attachments:

Attachment A: Proposed Construction Plans for Site Improvements

Attachment B: Preliminary CSM

DRIVEWAY IMPROVEMENTS

CITY OF FITCHBURG, WISCONSIN



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:



CLIENT ADDRESS:
5321 VERONA ROAD
FITCHBURG, WI 53711

PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
FITCHBURG, WI
DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.30.20	PRELIMINARY DESIGN
2	02.16.21	MUNICIPAL SUBMITTAL
3		
4		
5		
6		
7		
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11		
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14		
15		

Design/Drawn: _____ N.J.F.
Approved: _____

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
C0.0

JSD PROJECT NO: 17-7999-PH1

DRAWING INDEX

C0.0	TITLE SHEET
C1.0	NOTES
C1.1	DETAILS
C1.2	DETAILS
C2.0	DEMOLITION PLAN
C3.0	ACCESS DRIVE SITE PLAN
C3.1	SOUTH PARKING LOT SITE PLAN
C4.0	GRADING & EROSION CONTROL PLAN
C4.1	SOUTH PARKING LOT GRADING PLAN
C5.0	STORM SEWER PLAN & PROFILE STA: 0+00 TO 5+40
C5.1	STORM SEWER PLAN & PROFILE STA: 5+40 TO 11+06
L1.0	LANDSCAPE SEEDING PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS & NOTES
E0.1	SITE LIGHTING PHOTOMETRIC PLAN ENTRANCE DRIVE
E0.2	SITE LIGHTING PHOTOMETRIC PLAN SOUTH PARKING
E0.3	SITE LIGHTING LUMINAIRE SCHEDULE



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

OWNER
CONTACT: AMY NIEMETSCHKE
5321 VERONA ROAD
FITCHBURG, WI 53711
P: 608.270.2393
aniemetschke@certcoinc.com

CIVIL CONSULTANT
CONTACT: MATT HAASE, P.E.
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
P: 608.848.5060
matt.haase@jdsinc.com

MUNICIPAL CONTACTS

CITY OF FITCHBURG DEPARTMENT OF PUBLIC WORKS
CONTACT: BILL BALKE
5520 LACY ROAD, FITCHBURG, WI 53711
P: 608.270.4264
billbalke@fitchburgwi.gov

UTILITY PROJECT ENGINEER
CONTACT: TRACY FOSS, P.E.
5520 LACY ROAD
FITCHBURG, WI 53711
P: 608.270.4260
tracy.foss@fitchburgwi.gov

UTILITY CONTACTS

ELECTRIC
MADISON GAS & ELECTRIC
CONTACT: CHRIS ERICKSON
133 S. BLAIR ST.
MADISON, WI 53701
P: 608.252.5671
C: 608.444.9620
cerickson@mge.com

GAS
MADISON GAS & ELECTRIC CO.
CONTACT: STEVE BEVERSDORF
133 S. BLAIR ST.
MADISON, WI 53701
P: 608.252.1552
C: 608.444.9620
sbeversdorf@mge.com

HIGH PRESSURE GAS MAIN
MADISON GAS & ELECTRIC CO.
CONTACT: THOMAS PAYNE
623 RAILROAD ST.
MADISON, WI 53703
P: 608.252.7267
C: 608.225.5875
tpayne@mge.com

COMMUNICATIONS
AT&T
CONTACT: LISA GUNDLACH
316 W. WASHINGTON AVE.
MADISON, WI 53703
P: 608.252.2432
lg6852@att.com

CABLE TV
CHARTER COMMUNICATIONS
CONTACT: GLEN JAKUSZ
2701 DANIELS ST.
MADISON, WI 53718
P: 608.274.3822
C: 608.209.3202
gjakusz@chartercom.com

GENERAL NOTES

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

- 1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
10. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
14. EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
15. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
16. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
17. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

CONSTRUCTION SEQUENCING

- 1. 04/15/2021 - INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF PAVEMENTS, ETC.
6. 10/01/2021 - PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
7. 05/16/2022 - EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

- 1. GENERAL
1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF FITCHBURG ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC, INC. DATED DATE.
1.2. ALL PAVING DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. PAVEMENT MARKING SPECIFICATIONS
3.1. USE 4" WIDE, HIGH VISIBILITY YELLOW EPOXY PAINT FOR STALL LINES AND STRIPED ISLANDS.

GRADING AND SEEDING NOTES

- 1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
8. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
10. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF FITCHBURG ORDINANCE.

UTILITY NOTES

- 1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
* EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
* OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
* VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
* NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
* NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
* COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF FITCHBURG SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE. NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL.
BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
CATCH BASIN FRAME AND COVERS - CATCH BASIN FRAME AND COVER SHALL BE NEENAH R-1550A FRAME WITH A NEENAH R-2560-E BEEHIVE GRATE.
MANHOLES - SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 12 OF THE "STANDARD SPECIFICATIONS" AND DETAILS PROVIDED WITH PLANS, OR APPROVED EQUAL.

EROSION CONTROL NOTES

- 1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF FITCHBURG OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF FITCHBURG ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
5. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF FITCHBURG PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF FITCHBURG.
9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
17. STABILIZATION PRACTICES:
17.1. *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
17.2. *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
17.3. *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
17.4. *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
* PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
* TEMPORARY SEEDING; TEMPORARY SEEDING; MAY CONSIST OF OATS (131LB/ACRE) FOR SPRING AND SUMMER SEEDING AND/OR WINTER WHEAT OR CEREAL RYE (131LB/ACRE) FOR FALL SEEDING
* HYDRO-MULCHING WITH A TACKIFIER
* GEOTEXTILE EROSION MATTING
* SODDING



CREATE THE VISION TELL THE STORY

MADISON MILWAUKEE WAUSAU APPLETON KENOSHA CHICAGO COEUR D'ALENE

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060



CLIENT ADDRESS: 5321 VERONA ROAD FITCHBURG, WI 53711

PROJECT: DRIVEWAY IMPROVEMENTS

PROJECT LOCATION: FITCHBURG, WI DANE COUNTY

Table with 3 columns: #, Date, Description. Row 1: 1, 12.30.20, PRELIMINARY DESIGN. Row 2: 2, 02.16.21, MUNICIPAL SUBMITTAL.

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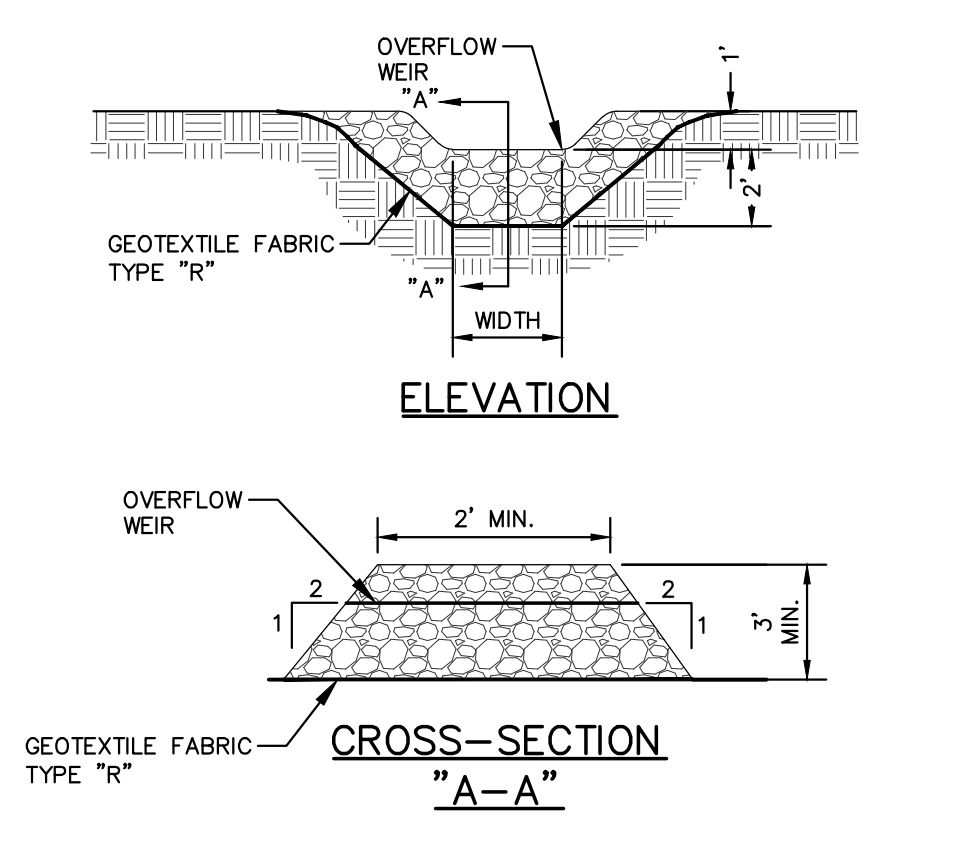
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SHEET NUMBER: C1.0

JSD PROJECT NO: 17-7999-PH1

File: I:\2017\17999\DWG\Phase 1 - CON DOCS.dwg Layout: C1.0 - Notes User: rfnunath Plotted: Feb 16, 2021, 3:33pm Xref's:

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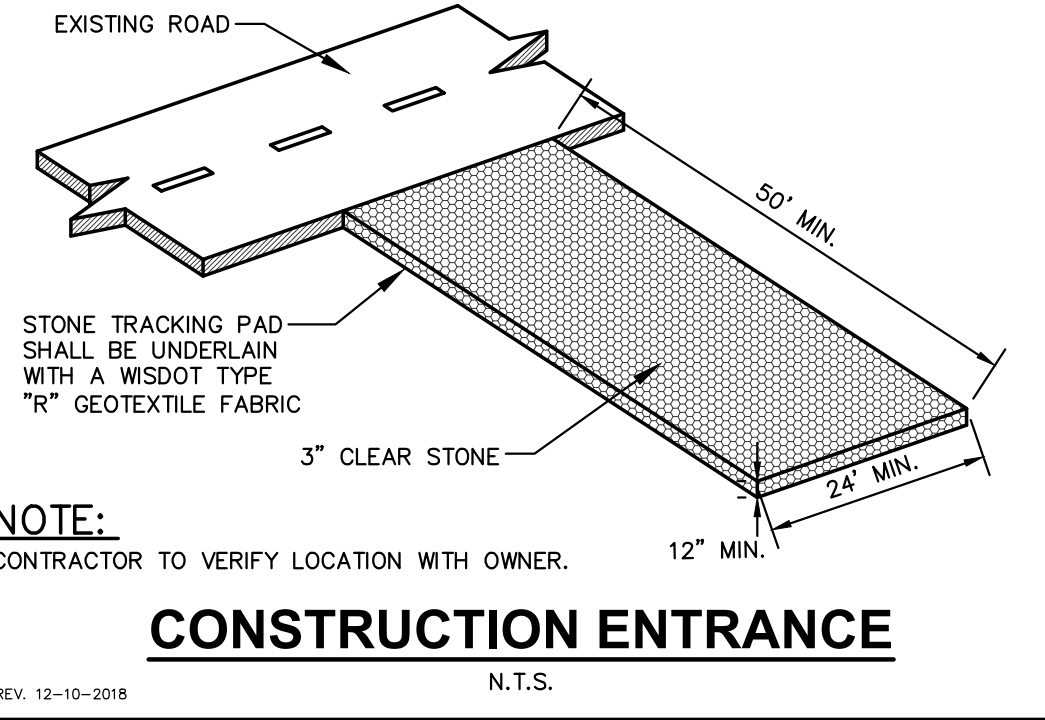


GENERAL NOTES:

- STONE DITCH CHECKS SHALL BE CONSTRUCTED OF A WELL-GRADED ANGULAR STONE, A D50 OF 3 INCH DIAMETER OR GREATER, SOMETIMES REFERRED TO AS BREAKER RUN OR SHOT ROCK.
- EXTEND DITCH CHECK ACROSS CHANNEL OPENING TO MEET SWALE/DITCH SIDE SLOPES. WHERE CHANNEL IS LESS THAN 3 FEET DEEP, REDUCE WEIR HEIGHT TO 1 FOOT AND INCREASE THE TOP OF DITCH CHECK FROM 2 FEET TO 4 FEET.

TEMPORARY DITCH CHECK (STONE)

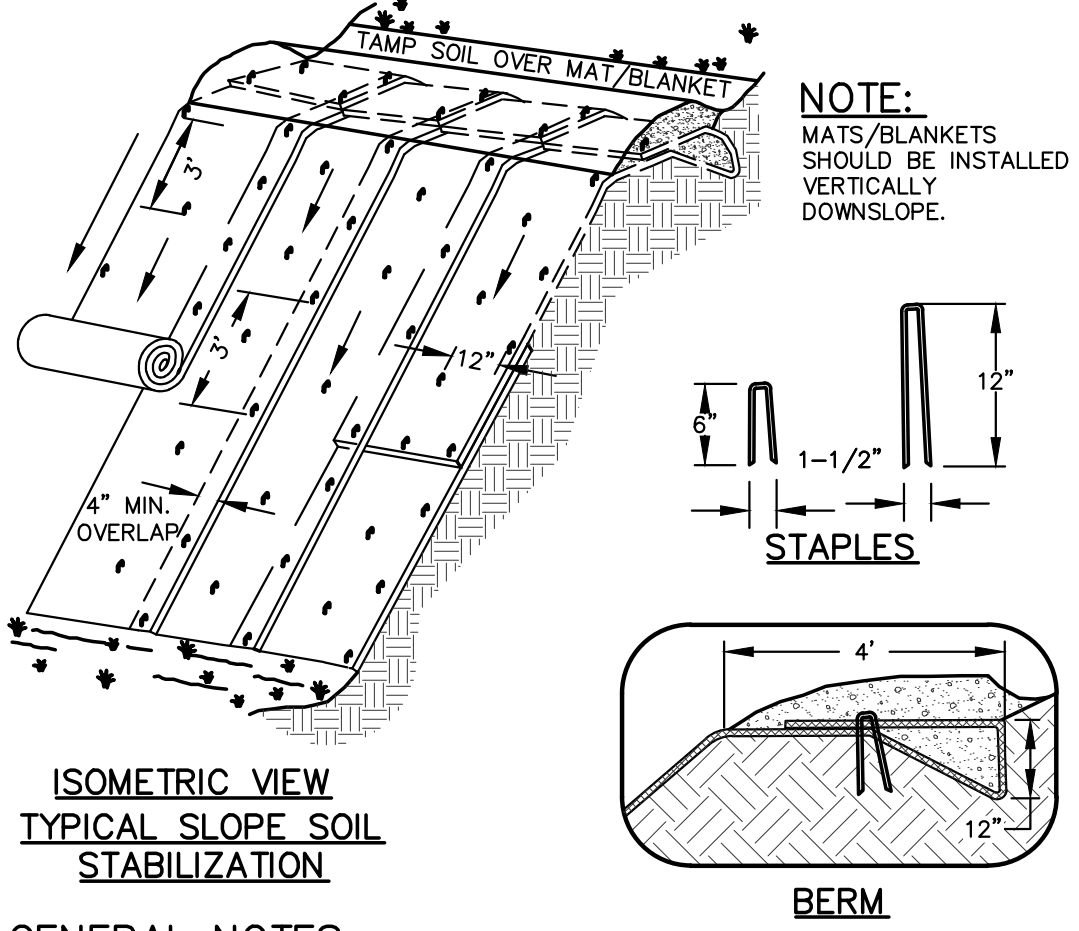
REV. 7-31-2018 N.T.S.



NOTE:
CONTRACTOR TO VERIFY LOCATION WITH OWNER.

CONSTRUCTION ENTRANCE

REV. 12-10-2018 N.T.S.



NOTE:
MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE.

ISOMETRIC VIEW TYPICAL SLOPE SOIL STABILIZATION

GENERAL NOTES:

- EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
- ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
- ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

EROSION MATTING

REV. 11-19-2018 N.T.S.

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

STYLE	FRAME STYLE AND SIZE	Frame P/N:
ROUND	Small Round (up to 20" dia grates (A) diam)	62SRD
	Med Round (20.1" - 26.0" dia grates (A) up to 25" dia openings (B))	62MRD
	Large Round (26.1" - 33.0" dia grates (A) up to 30" dia openings (B))	62LRD
RECT/SQ	XL Round (24" dia - 30" dia grates (A) up to 37" dia openings (B))	62XLRD
	Small Rect / Square (up to 16" (B) x 16" (D) openings or 64" perimeter)	62SQR
	Med Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter)	62MSQR
	Large Rect / Square (up to 30" (B) x 24" (D) openings or 120" perimeter)	62LSQR
COMBO	XL Rect / Square (side by side 2-pc set to fit up to 48" (B) x 30" (D) openings)	62XLRSQ
	Small Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62SCR
	Med Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62MSCR
	Large Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62LSQR
INLET	XL Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62XLRSQ
	12" diameter Myloplast castings (Stainless Steel Framing standard)	6212NY
	15" diameter Myloplast castings (Stainless Steel Framing standard)	6215NY
	18" diameter Myloplast castings (Stainless Steel Framing standard)	6218NY
	24" diameter Myloplast castings (Stainless Steel Framing standard)	6224NY
	30" diameter Myloplast castings (Stainless Steel Framing standard)	6230NY

NOMINAL BAG SIZE	SOLIDS STORAGE (Cu Ft)	FILTERED FLOW RATE AT 50% MAX (CFM)
Small	1.6	1.2
Medium	2.1	1.7
Large	3.8	2.7
XL	4.2	3.6

INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

NOTE: ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8455 PH (630) 355-3477 FX INFO@INLETFILTERS.COM



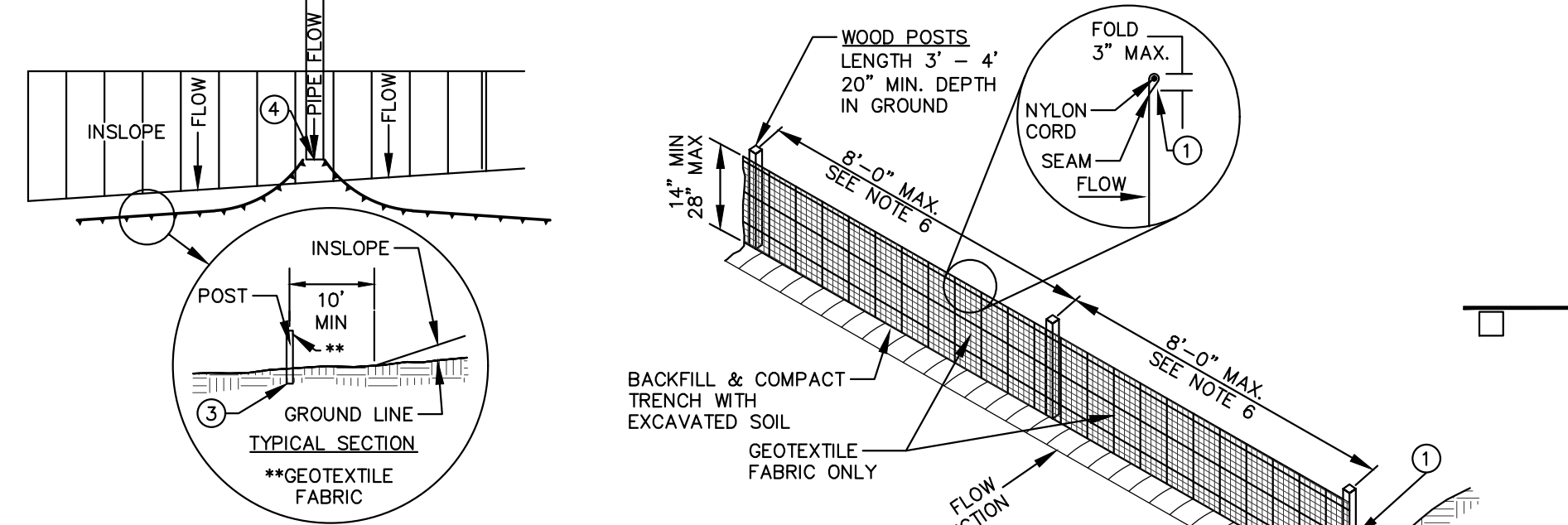
CREATE THE VISION TELL THE STORY

MADISON MILWAUKEE WAUSAU
APPLETON KENOSHA CHICAGO
COEUR D'ALENE

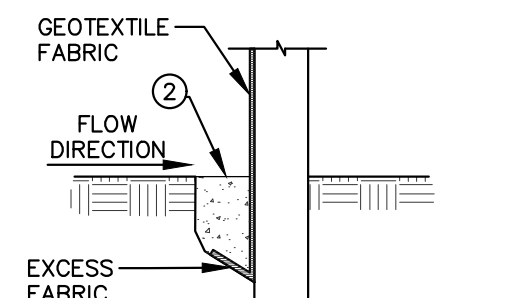
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
**5321 VERONA ROAD
FITCHBURG, WI 53711**



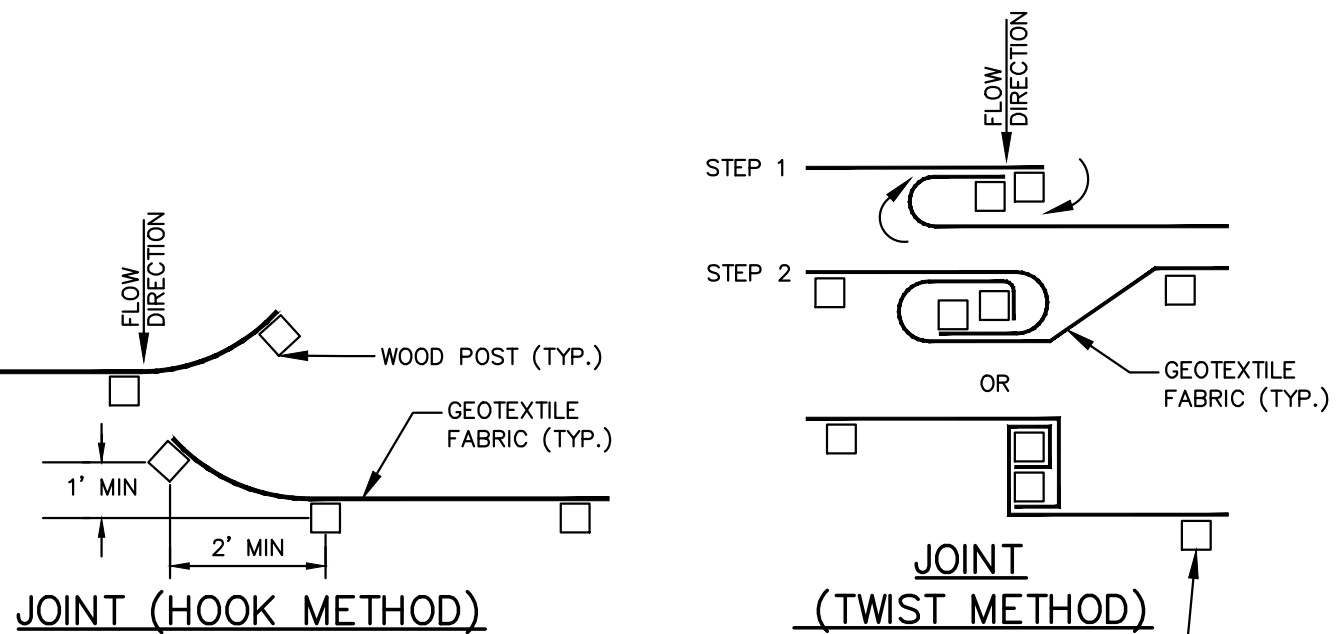
SILT FENCE ALONG SLOPES & OUTFALLS



NOTE:
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

TRENCH DETAIL

REV. 7-01-2019 N.T.S.



JOINT (HOOK METHOD)

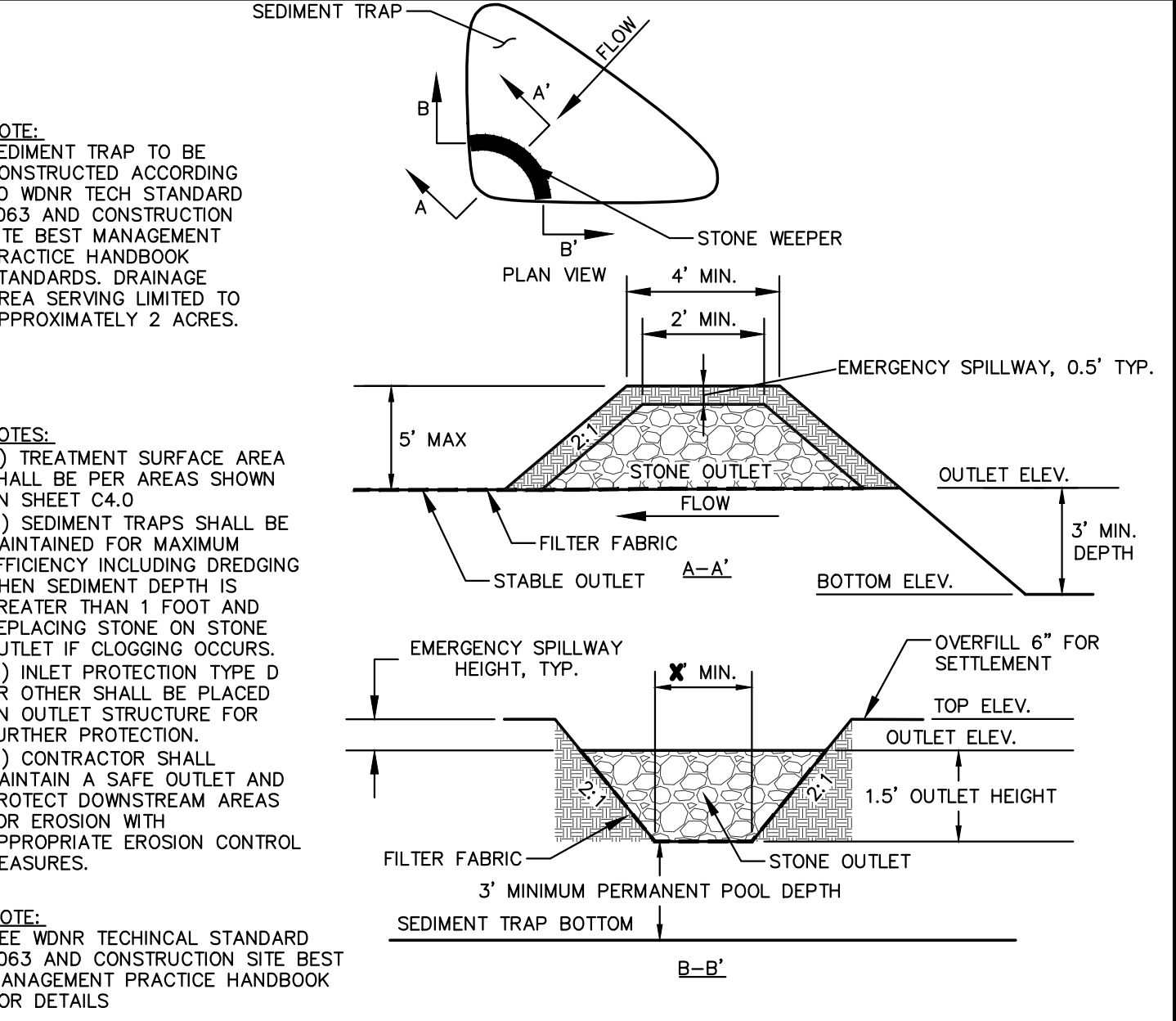
JOINT (TWIST METHOD)

GENERAL NOTES:

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

SILT FENCE

N.T.S.



NOTE:
SEDIMENT TRAP TO BE CONSTRUCTED ACCORDING TO WDNR TECH STANDARD 1063 AND CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK STANDARDS. DRAINAGE AREA SERVING LIMITED TO APPROXIMATELY 2 ACRES.

NOTES:

- TREATMENT SURFACE AREA SHALL BE PER AREAS SHOWN ON SHEET C4.0
- SEDIMENT TRAPS SHALL BE MAINTAINED FOR MAXIMUM EFFICIENCY INCLUDING DREDGING WHEN SEDIMENT DEPTH IS GREATER THAN 1 FOOT AND REPLACING STONE ON STONE OUTLET IF CLOGGING OCCURS.
- INLET PROTECTION TYPE D OR OTHER SHALL BE PLACED ON OUTLET STRUCTURE FOR FURTHER PROTECTION.
- CONTRACTOR SHALL MAINTAIN A SAFE OUTLET AND PROTECT DOWNSTREAM AREAS FOR EROSION WITH APPROPRIATE EROSION CONTROL MEASURES.

NOTE:
SEE WDNR TECHNICAL STANDARD 1063 AND CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK FOR DETAILS

TEMPORARY SEDIMENT TRAP 3' DEPTH - STONE WEEPER OUTLET

REV. 10-14-2020 N.T.S.

PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

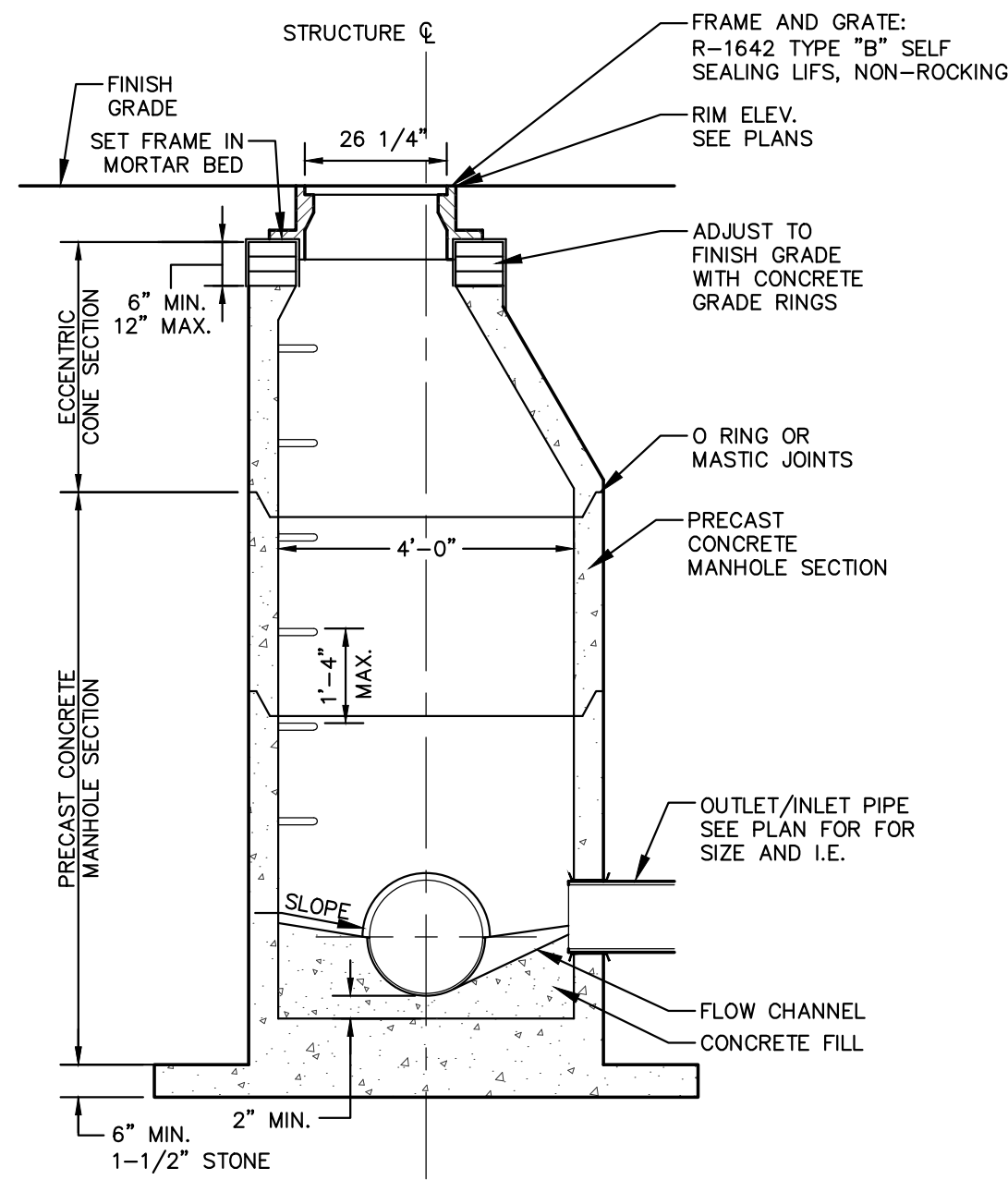
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Design/Drawn: N/JF
Approved:

SHEET TITLE:
DETAILS

SHEET NUMBER:
C1.1

JSD PROJECT NO: 17-7999-PH1

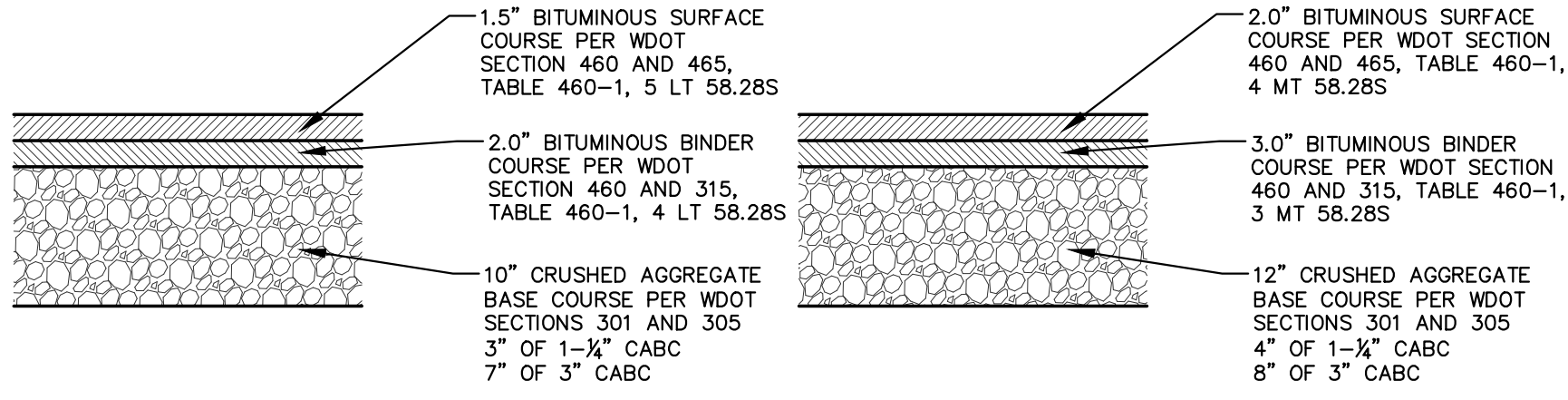


GENERAL NOTES:

1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
4. USE MORTAR FOR PIPE CONNECTIONS.
5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR ROADWAY.
6. USE NEENAH R-2501-G BEEHIVE FRAME AND GRATE WHEN IN LANDSCAPE AREAS.

STORM SEWER MANHOLE

N.T.S.



PARKING LOT ASPHALT PAVEMENT SECTION

HEAVY DUTY PAVEMENT SECTION

GENERAL NOTES:

1. REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY CGC, INC. TITLED "GARDNER REPORT TITLE" DATED [DATE]. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
2. WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS.
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.

PAVEMENT SECTIONS

FLEXSTORM PURE FILTERS FOR PERMANENT INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION DRAWING

For Round Openings with Grates		Minimum Bypass Flow Rates (CFM)*		For Open Throat Curb Inlets - Mounted to Wall Beneath Curb Opening		For Rectangular/Square Openings with Grates		Minimum Bypass Flow Rates (CFM)*	
Drop Thru Opening Size Dia	Flexstorm Frame P/N	Based on Nominal Frame Size with minimum 2" Bypass Flow gap		Curb Opening Size	Flexstorm Frame P/N	Clear Drop Thru Opening Size (not grate or seat size)	Flexstorm Frame P/N	Combination P/N	Based on Nominal Frame Size with minimum 2" Bypass Flow gap
Small: 10" - 18"	6201SR	1.6		Up to 4 curb openings (1 Filter)	6201WMS	Small: 12" x 12" up to 12" x 12" (see 60" max perimeter)	6201SR	6201SR	2.4
Medium: 18" - 24"	6201MR	2.2		Between 4 and 8 curb openings (2 Filters)	6201WMS	Medium: 18" x 18" up to 18" x 18" (see 90" max perimeter)	6201MR	6201MR	3.5
Large: 24" - 36"	6201LR	3.8		Between 8 and 12 curb openings (4 Filters)	6201WMS	Large: 24" x 24" up to 24" x 24" (see 120" max perimeter)	6201LR	6201LR	5.0
				Between 12 and 16 curb openings (6 Filters)	6201WMS	XL: 36" x 36" up to 36" x 36" (see 150" max perimeter) (see 2.0 pc. req.)	6201XL	6201XL	7.2

Nominal Bag Size Matched to Frame Size	Solids Storage (Cu Ft)			Retention (%)		
	FX (Woven)	PC (NonWoven)	IL (NonWoven)	PC-Oil (Oil)	PC-Oil (Oil)	FX-Oil (Oil)
Small	1.6	1.2	0.8	9.9	79	168
Medium	2.1	1.7	1.2	1.3	115	204
Large	3.8	2.7	2.8	1.9	173	262
XL	4.2	2.4	2.6	2.6	230	319

CREATE YOUR ADS FLEXSTORM PART NUMBER BY COMBINING FRAME P/N AND BAG P/N

1. IDENTIFY YOUR FLEXSTORM FRAME PART NUMBER FROM TABLES ABOVE

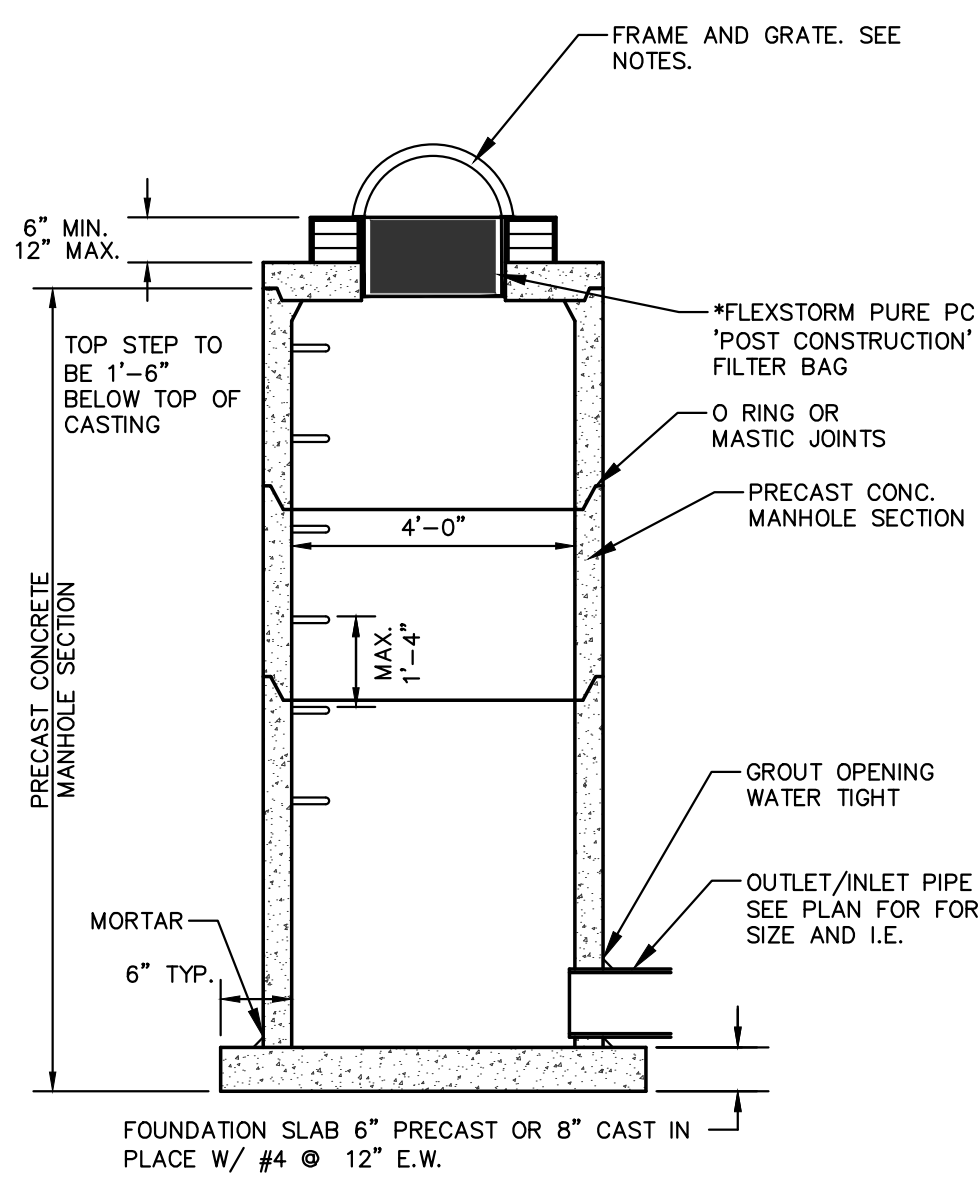
2. SELECT YOUR BAG PART NUMBER BASED ON APPLICATION NEEDS

FLEXSTORM FILTER BAGS	(24" depth)	(12" depth)	Clean Water Flow Rate (GPM/SqFt)	Min A.O.S. (US Sieve)
FX: Standard Woven Bag	FX	FX-S	200	40
FX: Woven w/ MyCelx	FXP	FXP-S	200	40
FXD: Woven w/ Oil Boom	FXD	FXD-S	200	40
PC: Post Construction Bag	PC	PC-S	137	140
PC: PC Bag w/ MyCelx	PCP	PCP-S	137	140
LL: Litter and Leaf Bag	LL	LL-S	High	3.5
IL: IDOT Non-Woven Bag	IL	IL-S	145	70

INSTALLATION:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

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4' CATCH BASIN W/ OIL & GREASE FILTER

N.T.S.

GENERAL NOTES:

1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
4. USE MORTAR FOR PIPE CONNECTIONS.
5. *INSTALL FLEXSTORM PURE PC CATCH BASIN FILTER INSERT AS MANUFACTURED BY FLEXSTORM INLET FILTERS OR EQUIVALENT. FILTER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, RECOMMENDATIONS AND SPECIFICATIONS DETAIL. INFORMATION REGARDING MAINTENANCE AND FILTER REPLACEMENT CAN BE FOUND AT WWW.INLETFILTERS.COM OR BY CALLING ADS FLEXSTORM AT (866) 287-8655.



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P. 608.848.5060



CLIENT ADDRESS:
**5321 VERONA ROAD
FITCHBURG, WI 53711**

PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.30.20	PRELIMINARY DESIGN
2	02.16.21	MUNICIPAL SUBMITTAL
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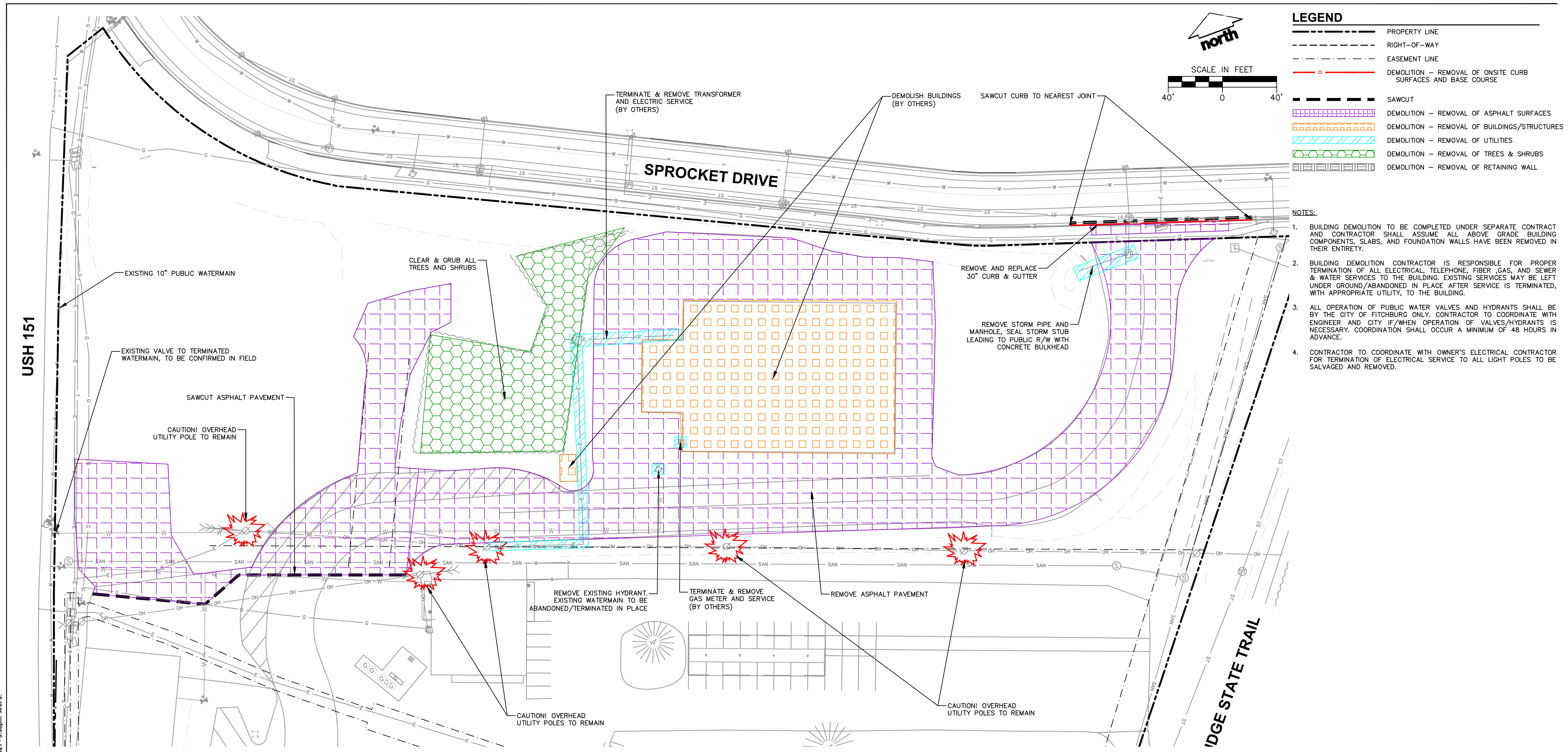
Design/Drawn: N/JF
Approved:

SHEET TITLE:
DETAILS

SHEET NUMBER:
C1.2

JSD PROJECT NO: 17-7999-PH1

File: I:\2017\17999\DWG\Phase I - CON DCCS.dwg Layout: C2.0 - Demo Plan User: nfunsekh Plotter: Feb 16, 2021 - 3:35pm Xrefs:



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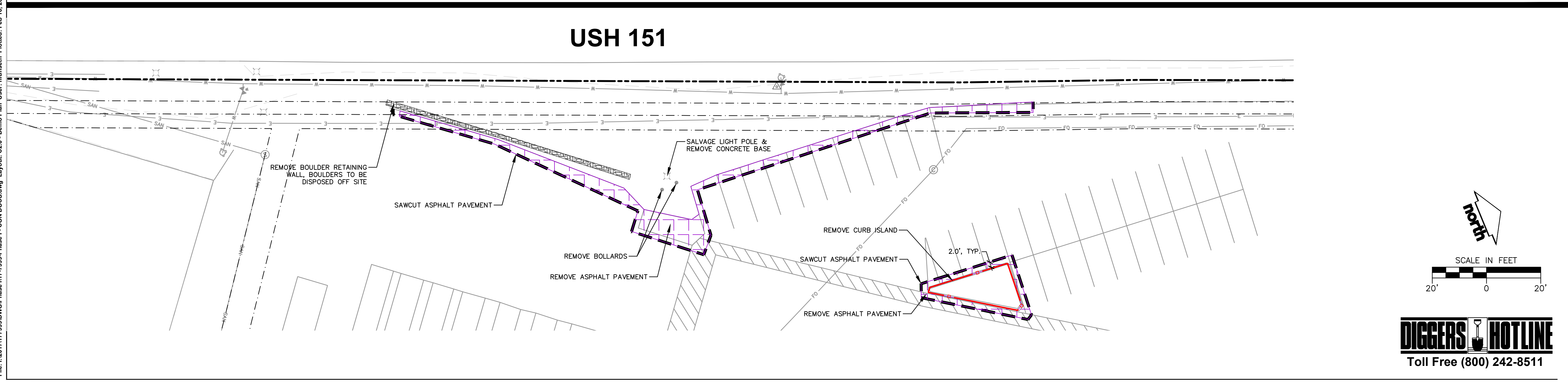
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
**5321 VERONA ROAD
FITCHBURG, WI 53711**

PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**



PLAN MODIFICATIONS:

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Design/Drawn: NJF
Approved:

SHEET TITLE:
DEMO PLAN

SHEET NUMBER:
C2.0

JSD PROJECT NO: 17-7999-PH1

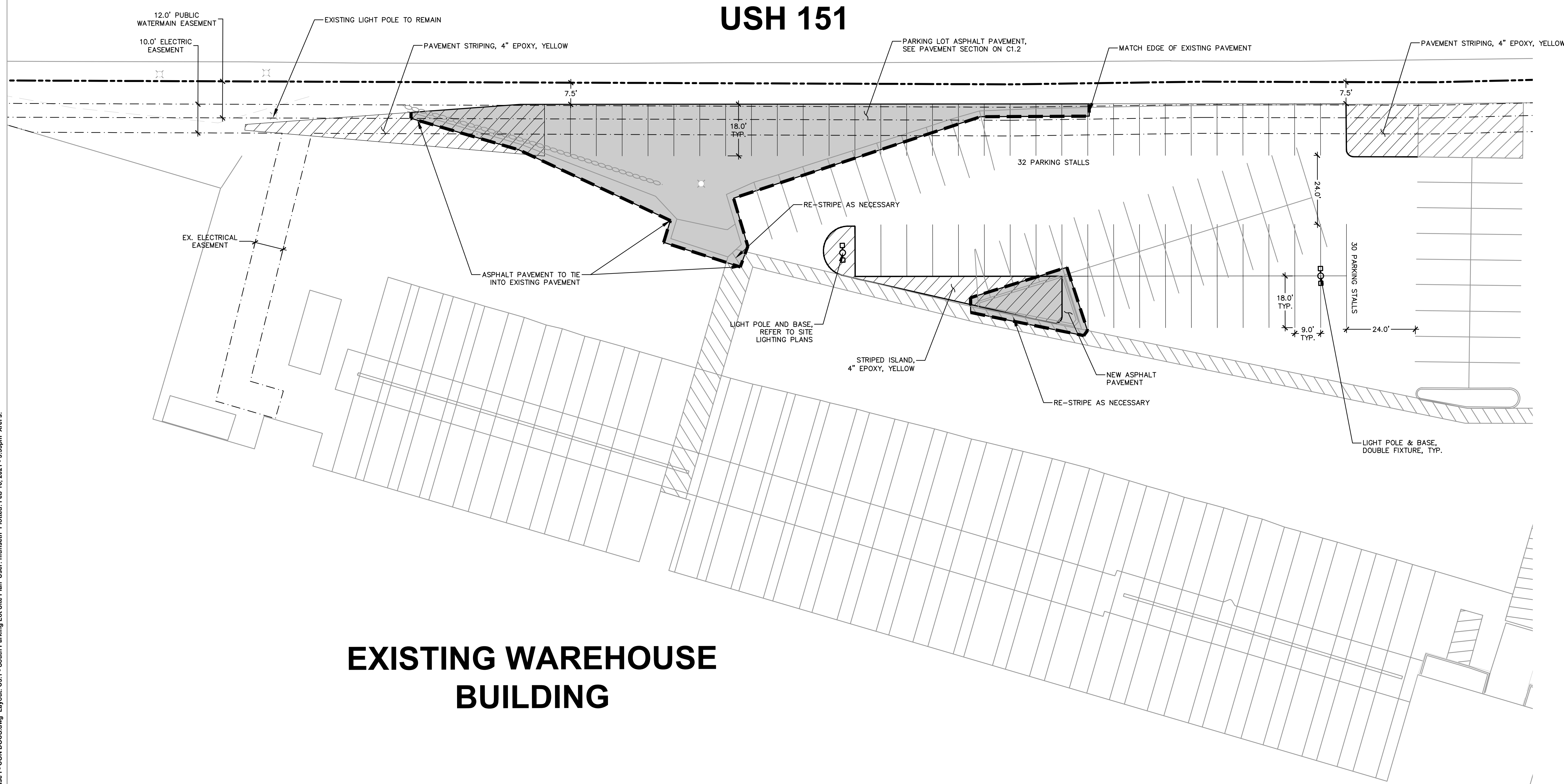


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SITE INFORMATION BLOCK	
SITE ADDRESS	5321 VERONA ROAD
PROPERTY ACREAGE	22.69 ACRES
PARKING STALLS IN IMPROVED AREA	62
ADDITIONAL PARKING STALLS ADDED	25
TOTAL NUMBER OF PARKING STALLS AFTER IMPROVEMENT	183
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	728,696 SF
EXISTING PERVIOUS SURFACE AREA	259,685 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.74
PROPOSED IMPERVIOUS SURFACE AREA	
PROPOSED IMPERVIOUS SURFACE AREA	712,771 SF
PROPOSED PERVIOUS SURFACE AREA	275,610 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.72

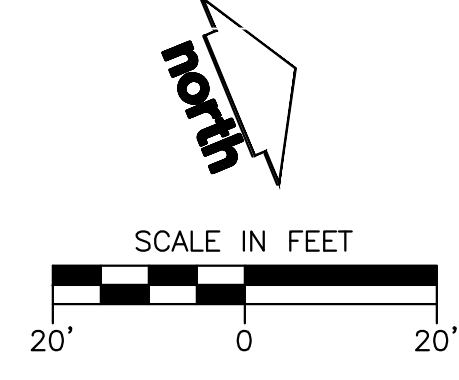
NOTE: SITE COVERAGE ACCOUNTS FOR ALL CERTCO PROPERTY AREA, NOT JUST PROJECT LIMITS SHOWN ON PLANS.

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	SAWCUT
	STRIPING, 4" EPOXY, YELLOW
	PARKING LOT ASPHALT PAVEMENT
	LIGHT POLE



EXISTING WAREHOUSE BUILDING

USH 151



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P. 608.848.5060



CLIENT ADDRESS:
**5321 VERONA ROAD
FITCHBURG, WI 53711**

PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	12.30.20	PRELIMINARY DESIGN
2	02.16.21	MUNICIPAL SUBMITTAL
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Design/Drawn: N.J.F.
Approved:

SHEET TITLE:
**SOUTH PARKING LOT
SITE PLAN**

SHEET NUMBER:
C3.1

JSD PROJECT NO: 17-7999-PH1

File: I:\2017\17999\DWG\Phase 1 - CON DOCS.dwg Layout: C3.1 - South Parking Lot Site Plan User: mfunseth Plotted: Feb 16, 2021 - 3:35pm Xrefs:

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P. 608.848.5060



CLIENT ADDRESS:
5321 VERONA ROAD
FITCHBURG, WI 53711

PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
FITCHBURG, WI
DANE COUNTY

PLAN MODIFICATIONS:

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Design/Drawn: NJF
Approved:

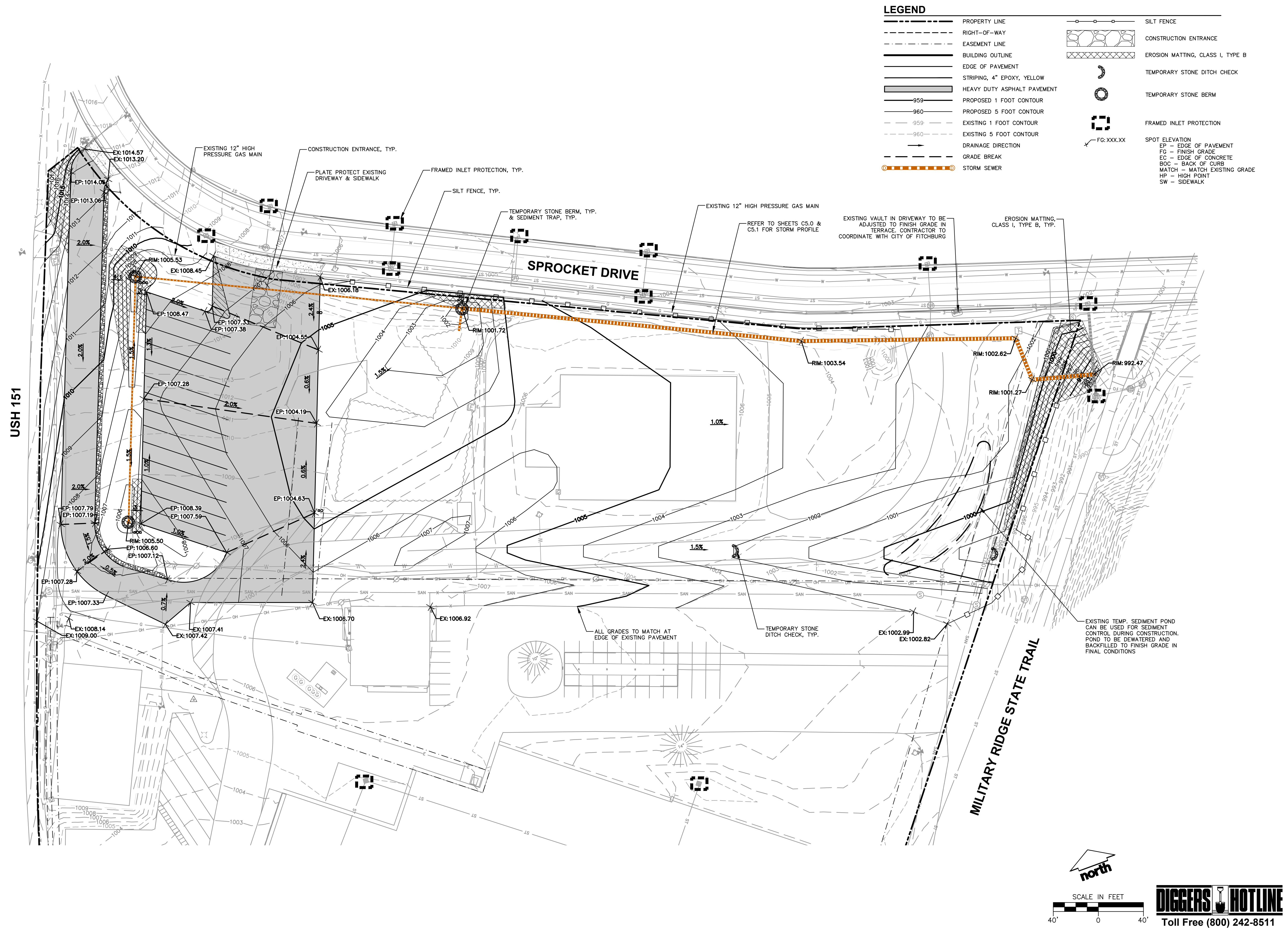
SHEET TITLE:
GRADING & EROSION CONTROL PLAN

SHEET NUMBER:
C4.0

JSD PROJECT NO: 17-7999-PH1

LEGEND

	PROPERTY LINE		SILT FENCE
	RIGHT-OF-WAY		CONSTRUCTION ENTRANCE
	EASEMENT LINE		EROSION MATTING, CLASS I, TYPE B
	BUILDING OUTLINE		TEMPORARY STONE DITCH CHECK
	EDGE OF PAVEMENT		TEMPORARY STONE BERM
	STRIPING, 4" EPOXY, YELLOW		FRAMED INLET PROTECTION
	HEAVY DUTY ASPHALT PAVEMENT		SPOT ELEVATION
	PROPOSED 1 FOOT CONTOUR		EP - EDGE OF PAVEMENT
	PROPOSED 5 FOOT CONTOUR		FG - FINISH GRADE
	EXISTING 1 FOOT CONTOUR		EC - EDGE OF CONCRETE
	EXISTING 5 FOOT CONTOUR		BOC - BACK OF CURB
	DRAINAGE DIRECTION		MATCH - MATCH EXISTING GRADE
	GRADE BREAK		HP - HIGH POINT
	STORM SEWER		SW - SIDEWALK



Scale in feet: 40' 0' 40'

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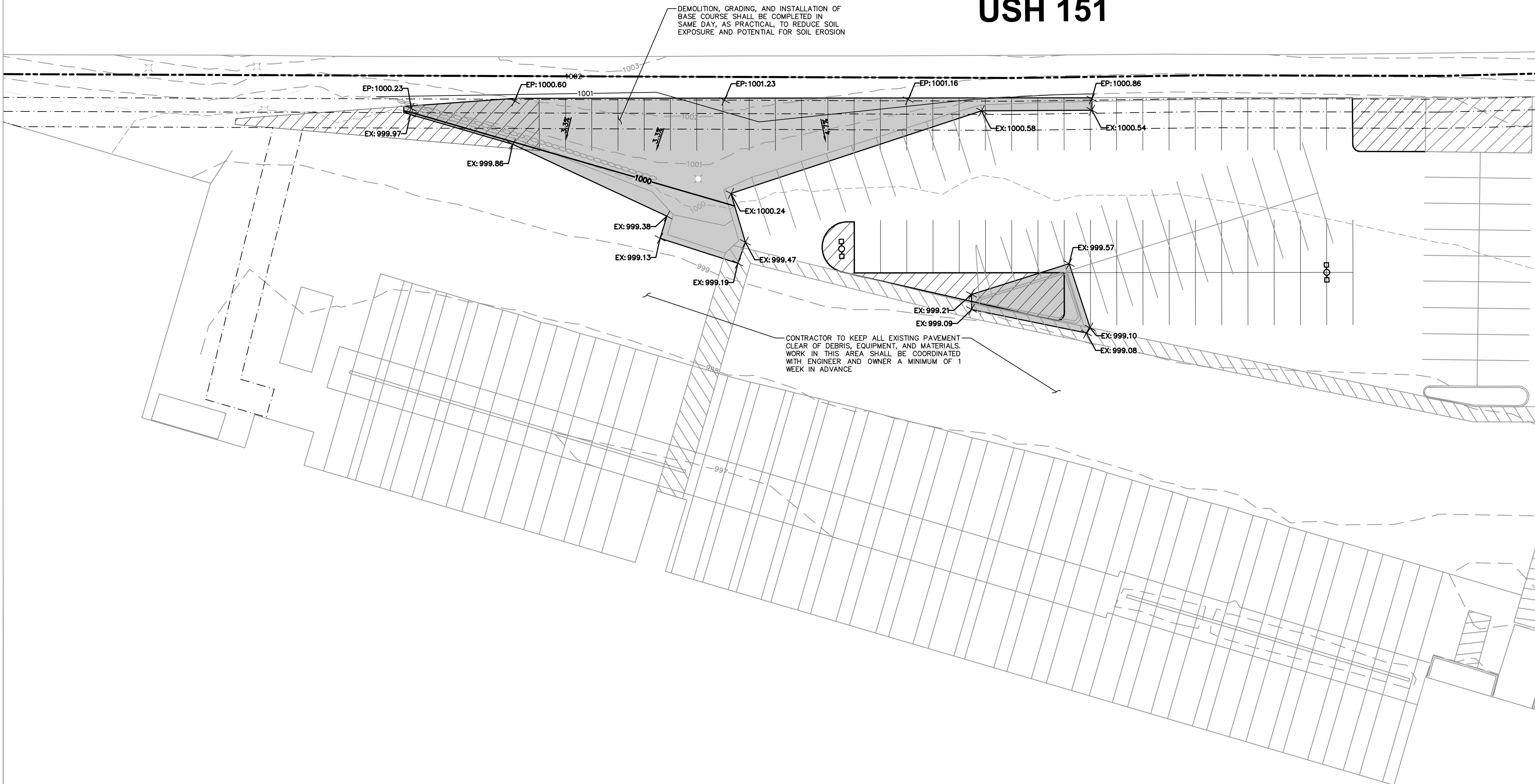
File: I:\2017\17999\DWG\Phase 1 - CON DOCS.dwg Layout: C4.0 - Grading & Erosion Control Plan User: nfnuseth Plotted: Feb 16, 2021 - 3:37pm Xrefs:

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LEGEND

---	PROPERTY LINE	FG: XXX.XX	SPOT ELEVATION
- - -	RIGHT-OF-WAY		EP - EDGE OF PAVEMENT
- · - · -	EASEMENT LINE		FG - FINISH GRADE
---	BUILDING OUTLINE		EC - EDGE OF CONCRETE
---	EDGE OF PAVEMENT		BOC - BACK OF CURB
---	STRIPING, 4" EPOXY, YELLOW		MATCH - MATCH EXISTING GRADE
---	PARKING LOT ASPHALT PAVEMENT		HP - HIGH POINT
---	PROPOSED 1 FOOT CONTOUR		SW - SIDEWALK
---	PROPOSED 5 FOOT CONTOUR		
---	EXISTING 1 FOOT CONTOUR		
---	EXISTING 5 FOOT CONTOUR		
---	DRAINAGE DIRECTION		

USH 151



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CLIENT:



CLIENT ADDRESS:
**5321 VERONA ROAD
FITCHBURG, WI 53711**

PROJECT:
**DRIVEWAY
IMPROVEMENTS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
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Design/Drawn: N/JF
Approved:

SHEET TITLE:
**SOUTH PARKING LOT
GRADING PLAN**

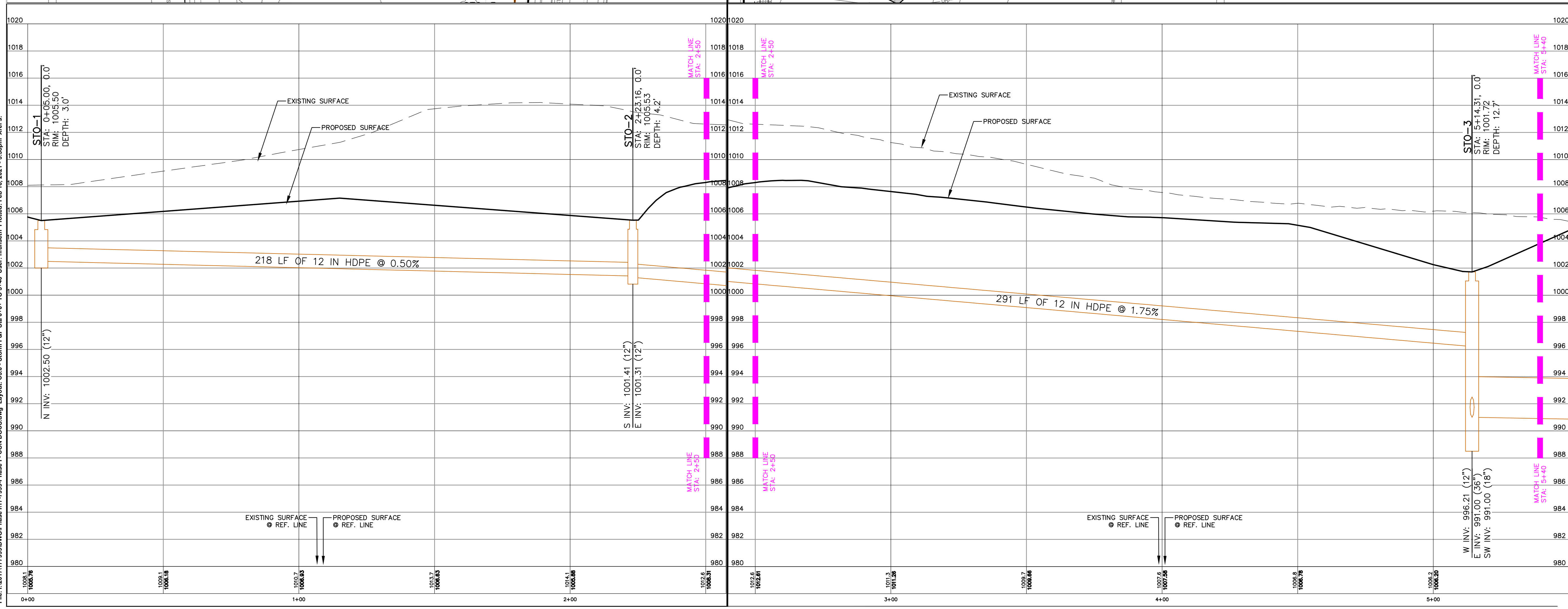
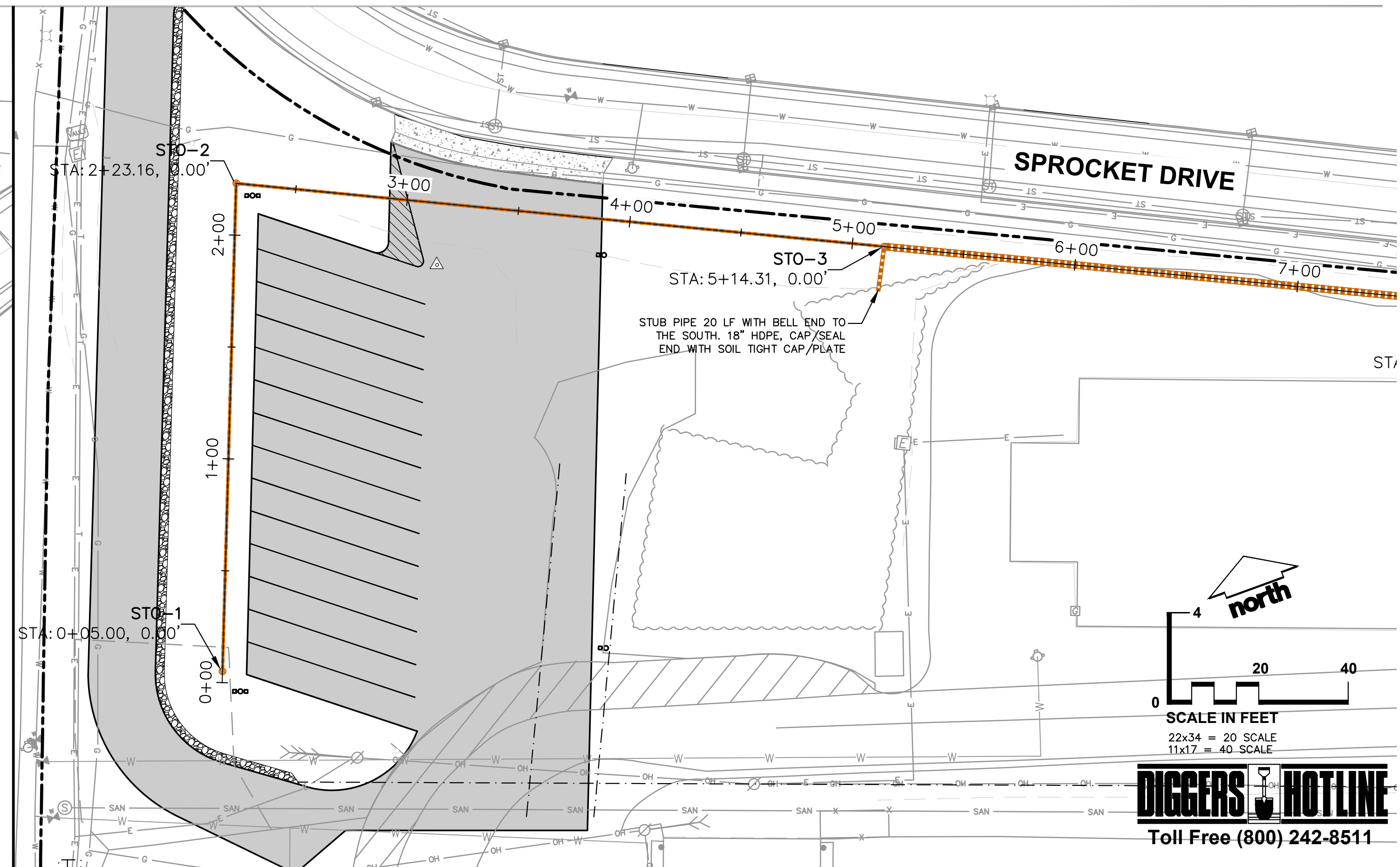
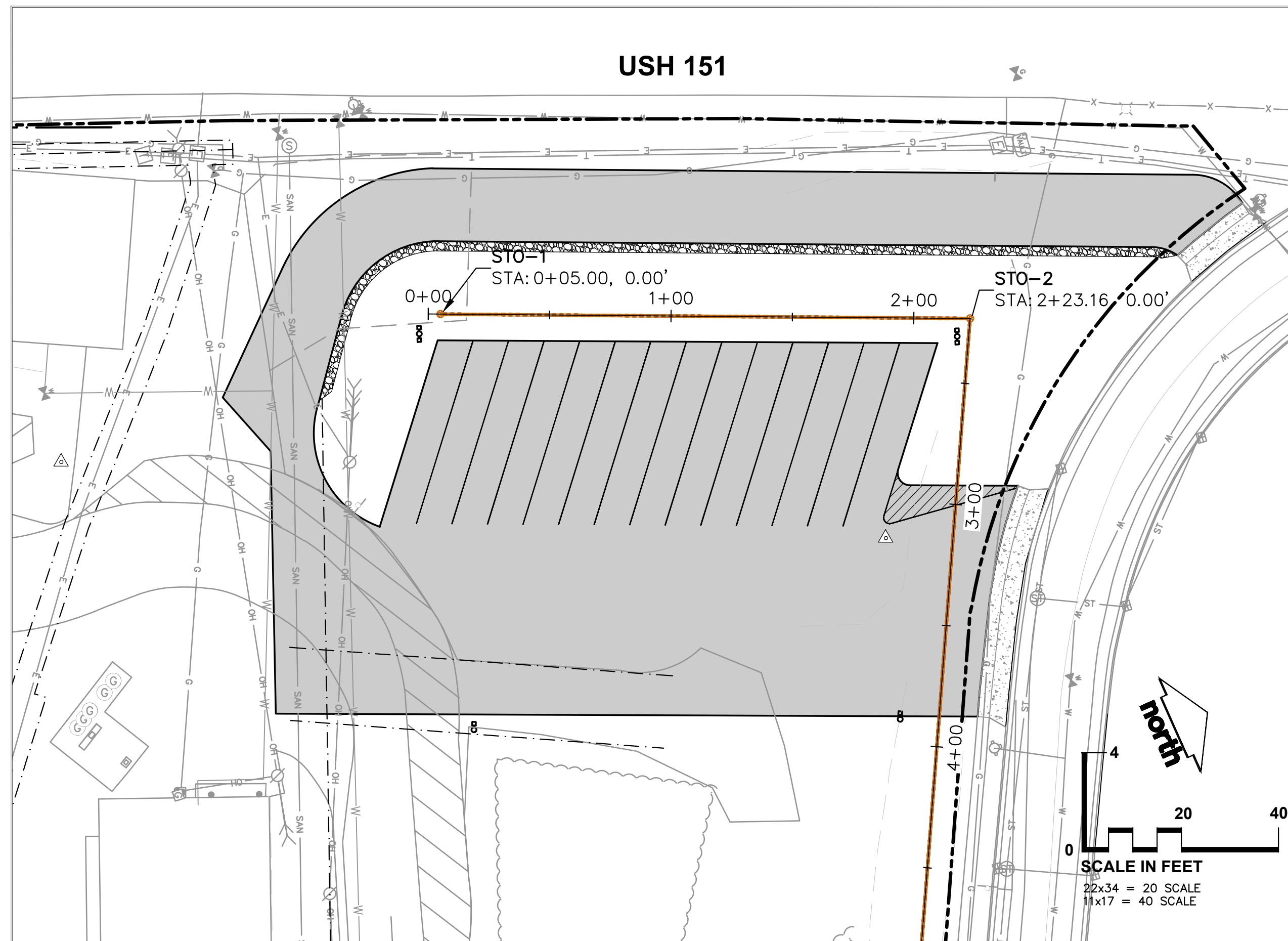
SHEET NUMBER:
C4.1


JSD PROJECT NO: 17-7999-PH1

North

SCALE IN FEET

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P. 608.848.5060

CLIENT:



CERTCO INC.
Independent Grocery Distributor - Madison, Wisconsin

CLIENT ADDRESS:
5321 VERONA ROAD
FITCHBURG, WI 53711

PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
FITCHBURG, WI
DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.30.20	PRELIMINARY DESIGN
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Design/Drawn: _____ N/JF
Approved: _____

SHEET TITLE:
STORM SEWER PLAN & PROFILE STA: 00+00 TO 5+40

SHEET NUMBER:
C5.0

JSD PROJECT NO: 17-7999-PH1

File: I:\2017\17999\DWG\Phase 1 - CON DCCS.dwg Layout: C5.0 - Storm P&P Sta 0+00 TO 5+40 User: rjmsmith Plotted: Feb 16, 2021 - 3:38pm Xref's:

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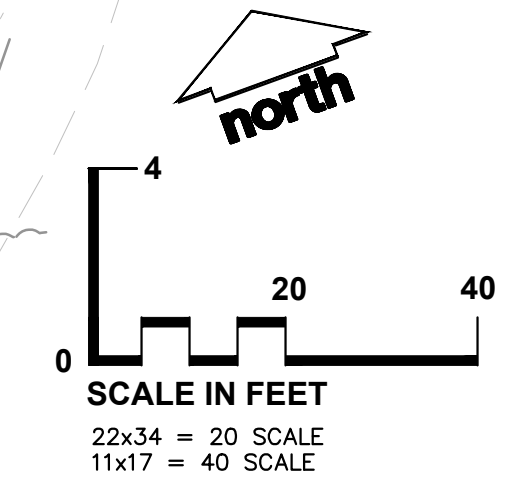
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COEUR D'ALENE

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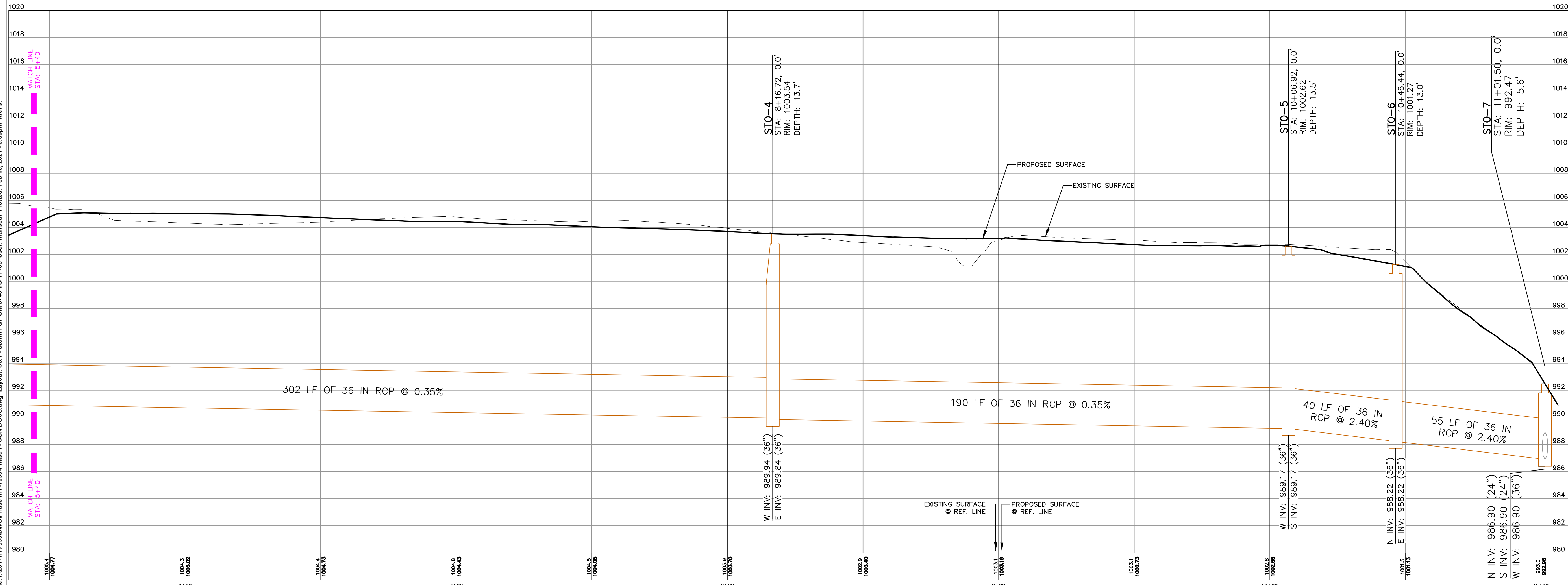
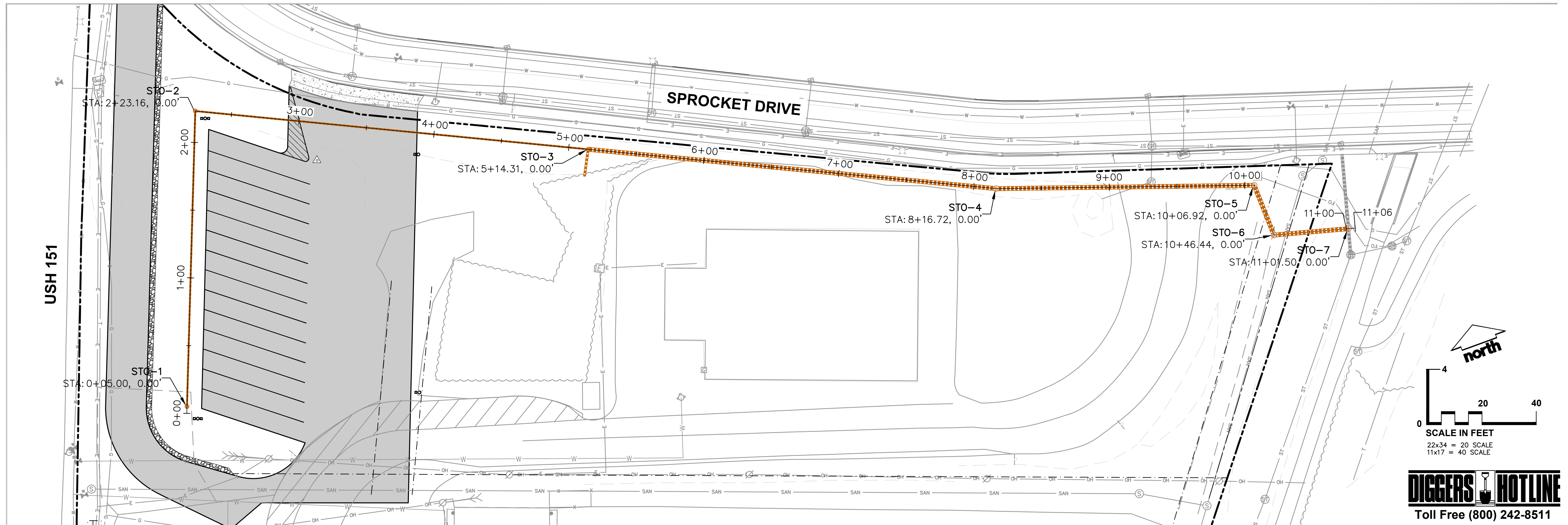
CLIENT:

CERTCO INC.
Independent Grocery Distributor - Madison, Wisconsin

CLIENT ADDRESS:
5321 VERONA ROAD
FITCHBURG, WI 53711



DIGGERS HOTLINE
Toll Free (800) 242-8511



PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

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1	12.30.20	PRELIMINARY DESIGN
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Design/Drawn: N/JF
Approved:

SHEET TITLE:
**STORM SEWER PLAN &
PROFILE STA: 5+40 TO
11+06**

SHEET NUMBER:

C5.1

JSD PROJECT NO: 17-7999-PH1

File: I:\2017\17999\DWG\Phase 1 - CON DDCS.dwg Layout: C5.1 - Storm P&P Sta 5+40 TO 11+06 User: nmunseih Plotted: Feb 16, 2021 - 3:39pm Xrefs:

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USH 151

HWY PD | MCKEE RD

EXISTING BUILDING

EXISTING BUILDING

LANDSCAPE BED, REFER TO SHEET L1.1

SPROCKET DRIVE

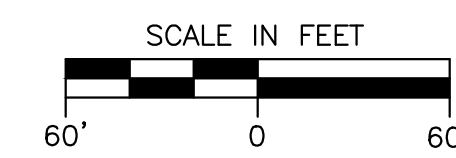
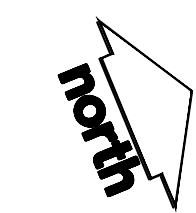
MILITARY RIDGE STATE TRAIL

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS AND FINISH GRADING ARE COMPLETE

LEGEND

	PROPERTY LINE		SANITARY SEWER
	RIGHT-OF-WAY		WATERMAIN
	BUILDING OUTLINE		STORM SEWER
	EDGE OF PAVEMENT		EXISTING SANITARY SEWER
	ASPHALT PAVEMENT		EXISTING WATERMAIN
	CONCRETE PAVEMENT		EXISTING STORM SEWER
	STANDARD CURB AND GUTTER		LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	REJECT CURB AND GUTTER		NATURAL SPADE EDGE
	PROPOSED 1 FOOT CONTOUR		SEED MIX - WSDOT NO. 10
	PROPOSED 5 FOOT CONTOUR		SEE MIX - TURFGRASS
	EXISTING 1 FOOT CONTOUR		
	EXISTING 5 FOOT CONTOUR		



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

CLIENT ADDRESS:
**5321 VERONA ROAD
FITCHBURG, WI 53711**

PROJECT:
**DRIVEWAY
IMPROVEMENTS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

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Design/Drawn: MWS
Approved: MRH

**SHEET TITLE:
LANDSCAPE SEEDING
PLAN**

SHEET NUMBER:

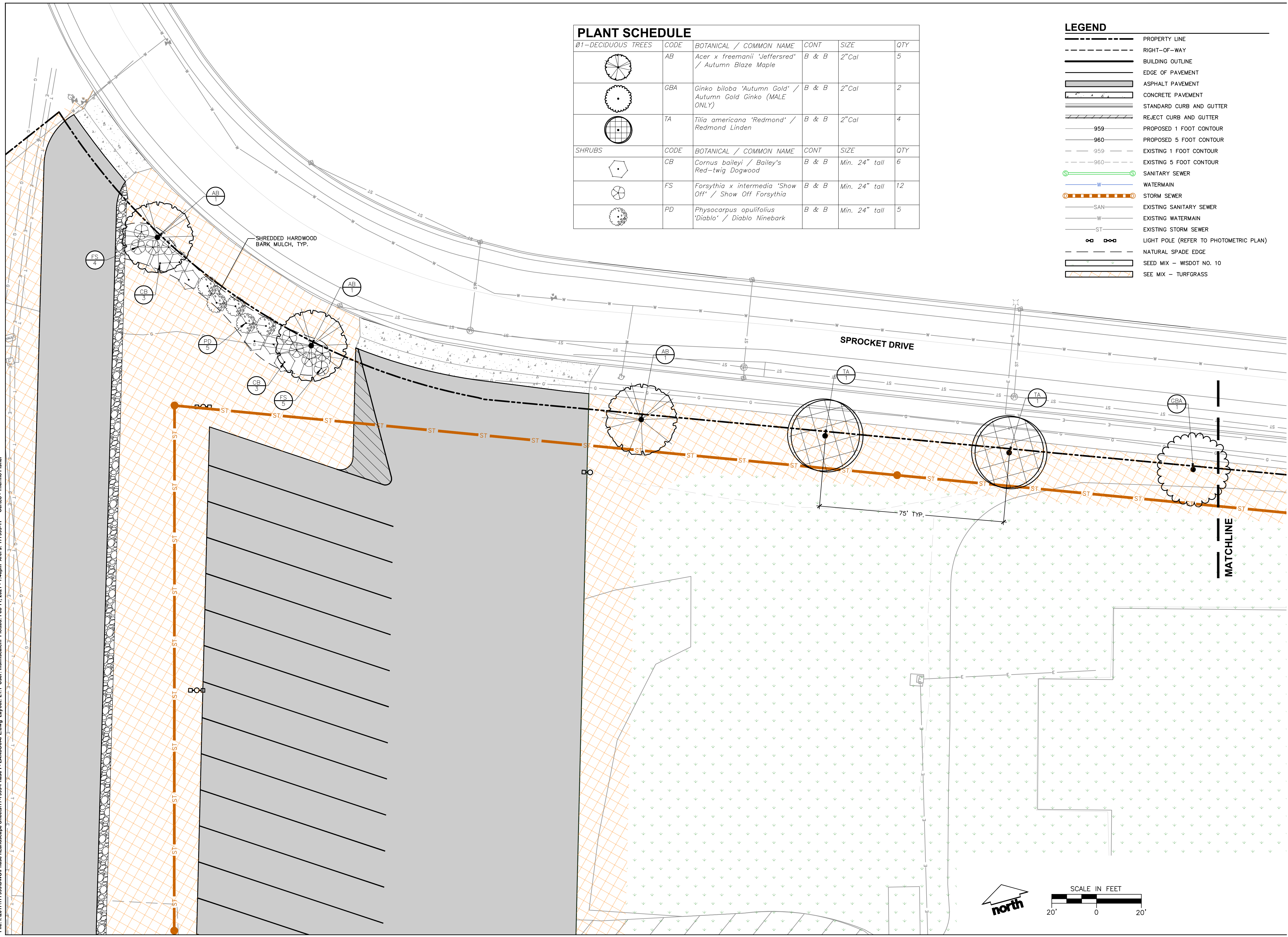
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JSD PROJECT NO: 17-7999-PH1

File: I:\2017\17999\DWG\Phase I Landscape Sheets\17-999-Phase I - LANDSCAPE.dwg Layout: L1.1 User: mainiscalchi Plotted: Feb 11, 2021 - 1:46pm Xref's: 177999-TF Centoc - Thermo Fisher

PLANT SCHEDULE					
Ø1-DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AB	<i>Acer x freemanii</i> 'Jeffersred' / Autumn Blaze Maple	B & B	2" Cal	5
	GBA	<i>Ginkgo biloba</i> 'Autumn Gold' / Autumn Gold Ginkgo (MALE ONLY)	B & B	2" Cal	2
	TA	<i>Tilia americana</i> 'Redmond' / Redmond Linden	B & B	2" Cal	4
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	CB	<i>Cornus baileyi</i> / Bailey's Red-twig Dogwood	B & B	Min. 24" tall	6
	FS	<i>Forsythia x intermedia</i> 'Show Off' / Show Off Forsythia	B & B	Min. 24" tall	12
	PD	<i>Physocarpus opulifolius</i> 'Diablo' / Diablo Ninebark	B & B	Min. 24" tall	5

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	NATURAL SPADE EDGE
	SEED MIX - WSDOT NO. 10
	SEE MIX - TURFGRASS



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MADISON REGIONAL OFFICE
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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

CLIENT ADDRESS:
**5321 VERONA ROAD
FITCHBURG, WI 53711**

PROJECT:
DRIVEWAY IMPROVEMENTS

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

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Design/Drawn: MWS
Approved: MRH

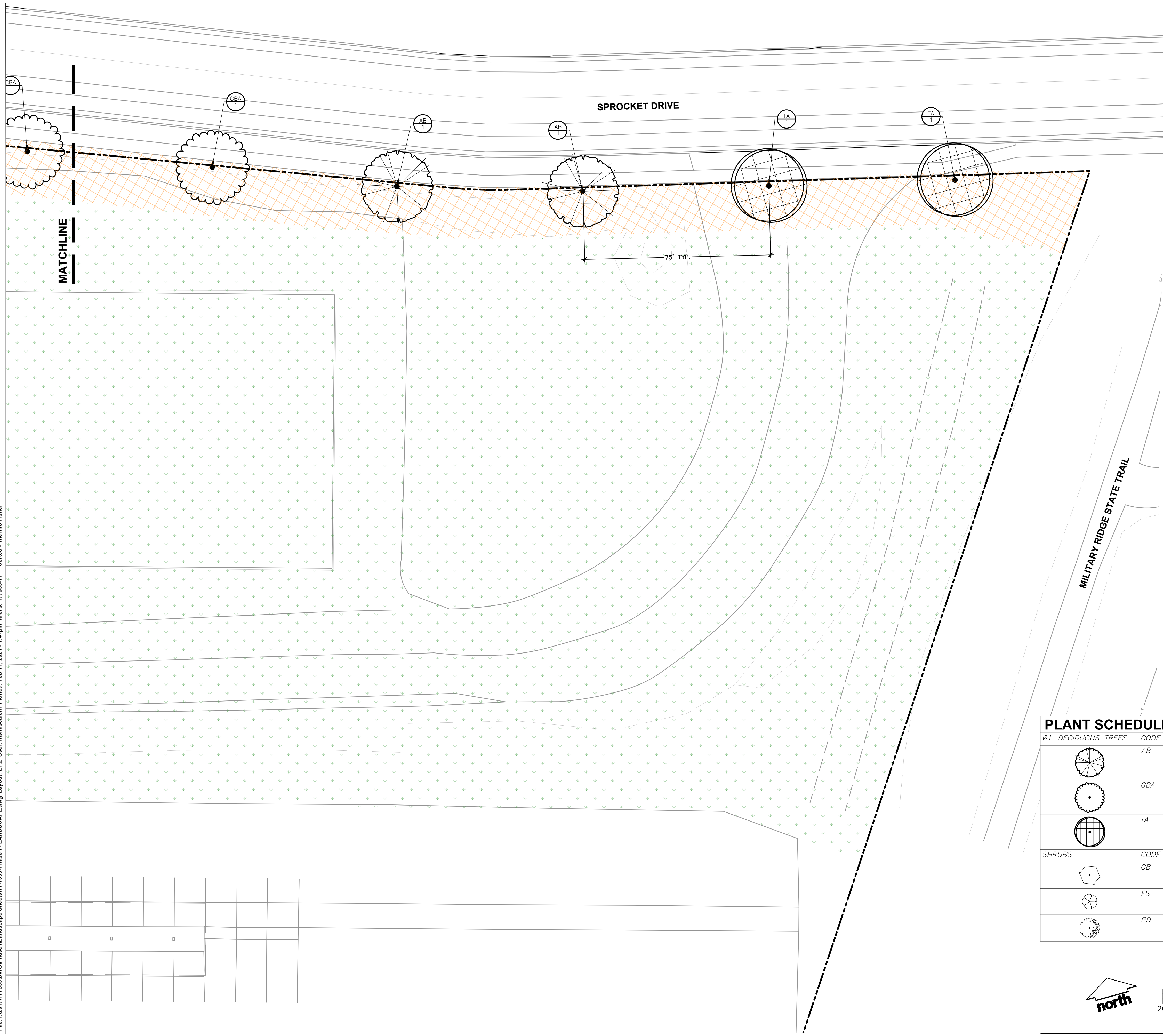
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L1.1

JSD PROJECT NO: 17-7999-PH1

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File: I:\2017\17999\DWG\Phase I Landscape Sheets\17-999-Phase I - LANDSCAPE.dwg Layout: L1.2 User: mainicalchi Plotted: Feb 11, 2021 - 1:47pm Xref's: 177999-TF Centoc - Thermo Fisher



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	NATURAL SPADE EDGE
	SEED MIX - WISDOT NO. 10
	SEE MIX - TURFGRASS

PLANT SCHEDULE

Ø1-DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AB	Acer x freemanii 'Jeffersred' / Autumn Blaze Maple	B & B	2" Cal	5
	GBA	Ginkgo biloba 'Autumn Gold' / Autumn Gold Ginkgo (MALE ONLY)	B & B	2" Cal	2
	TA	Tilia americana 'Redmond' / Redmond Linden	B & B	2" Cal	4
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	CB	Cornus baileyi / Bailey's Red-twig Dogwood	B & B	Min. 24" tall	6
	FS	Forsythia x intermedia 'Show Off' / Show Off Forsythia	B & B	Min. 24" tall	12
	PD	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	B & B	Min. 24" tall	5



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P. 608.848.5060

CLIENT:

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**5321 VERONA ROAD
FITCHBURG, WI 53711**

PROJECT:
**DRIVEWAY
IMPROVEMENTS**

PROJECT LOCATION:
**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.30.20	PRELIMINARY DESIGN
2	02.16.21	MUNICIPAL SUBMITTAL
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Design/Drawn: MWS
Approved: MRH

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L1.2

JSD PROJECT NO: 17-7999-PH1

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File: I:\2017\17999\DWG\Phase I - LANDSCAPE.dwg Layout: L2.0 User: mainisacalch1 Plotted: Feb 11, 2021, 1:48pm Xref's: 177999-TF Centco - Thermo Fisher

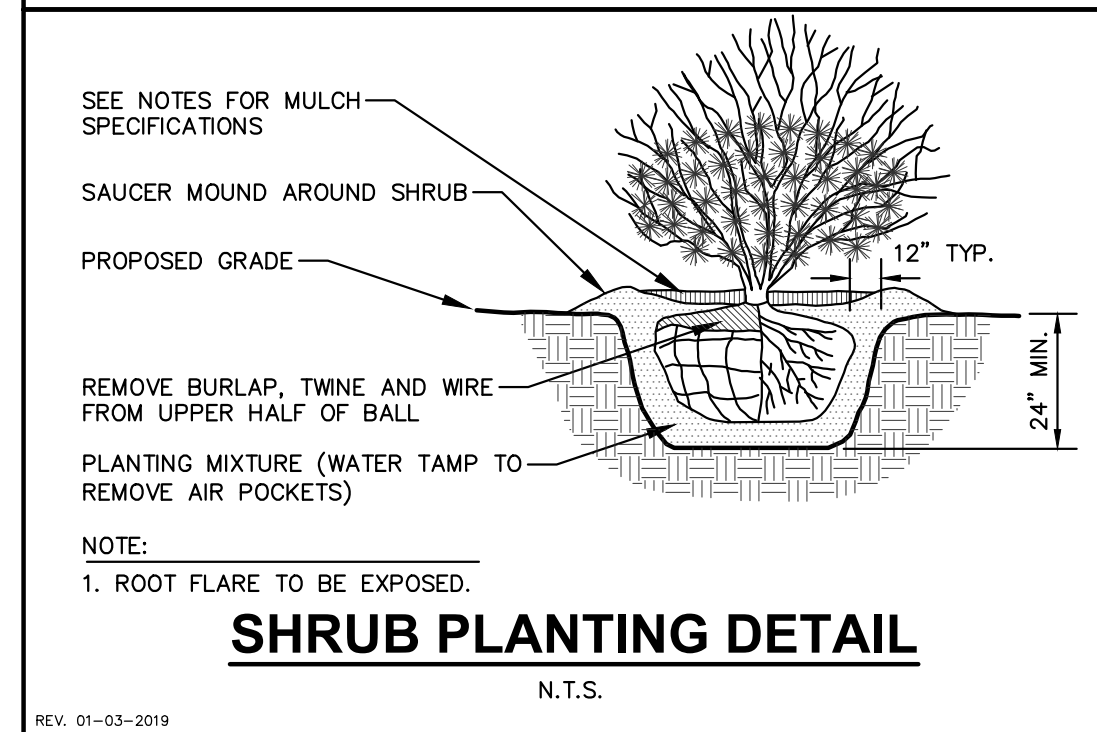
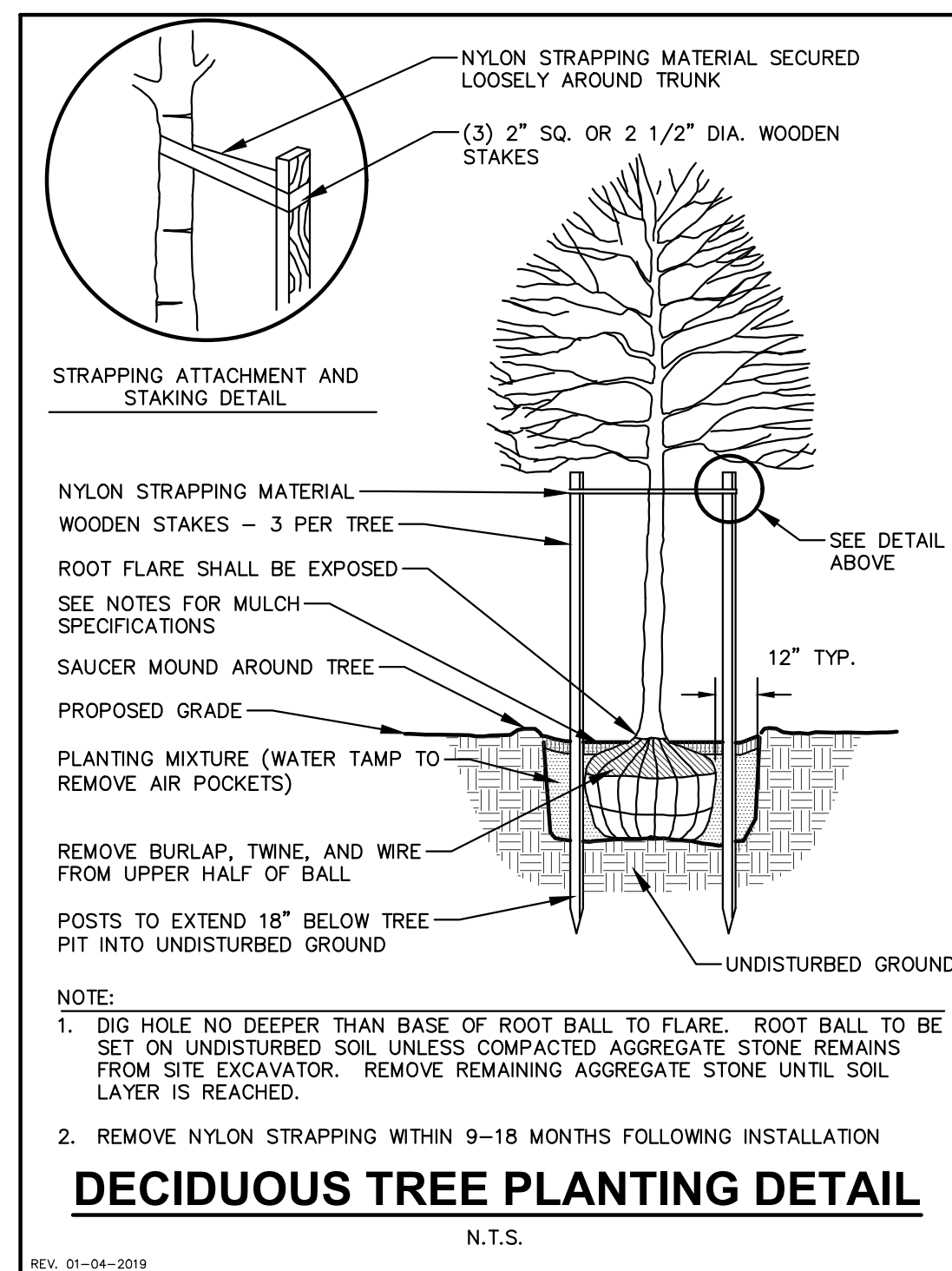
CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- 1. GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- 2. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- 3. MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- 4. MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

LANDSCAPING:

LANDSCAPING TO BE INSTALLED AFTER COMPLETION OF THE BUILDING

INSTALLATION OF LANDSCAPING NOT TO AFFECT OPERATIONS OF THE BUILDING



GENERAL NOTES

- 1. GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL UTILITIES THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- 2. DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- 3. MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY. POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- 4. PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI Z300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT. IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- 5. CLEANUP:** THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- 6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.**
- 7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.**

LANDSCAPE MATERIAL NOTES

- 1. MATERIALS - PLANTING MIXTURE:** ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- 2. MATERIALS - TOPSOIL:** TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- 3. MATERIALS - SHREDDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- 4. MATERIALS - TREE & SHRUB RINGS:** ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- 5. MATERIALS - (ALTERNATE 1): TREE WATERING BAGS:** ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 6. MATERIALS - (ALTERNATE 2): ROOT WATERING SYSTEM:** ALL TREES TO BE INSTALLED WITH TWO (2) DEEP TREE ROOT WATER AERATION/WATERING TUBES. PRODUCT TO BE "ROOTWELL PRO-318, OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO TREE ROOT BALL.

SEEDING NOTES

- 1. MATERIALS - TURFGRASS SEED:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 4" OF TOPSOIL AND "EARTH CARPETS" MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE
- 2. MATERIALS - WISCONSIN DOT NO. 10 SEED MIX:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDED WITH "DOT NO. 10" SEED MIX, AS PROVIDED BY REINDERS INC., WWW.REINDERS.COM, (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.



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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

CLIENT ADDRESS:

**5321 VERONA ROAD
FITCHBURG, WI 53711**

PROJECT:

**DRIVEWAY
IMPROVEMENTS**

PROJECT LOCATION:

**FITCHBURG, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.30.20	PRELIMINARY DESIGN
2	02.16.21	MUNICIPAL SUBMITTAL
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Design/Drawn: MWS

Approved: MRH

SHEET TITLE:
**LANDSCAPE DETAILS &
NOTES**

SHEET NUMBER:

L2.0

JSD PROJECT NO: 17-7999-PH1

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USH 151

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STRIPING, 4" EPOXY, YELLOW
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT



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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
CERTCO, INC.

CLIENT ADDRESS:
5321 VERONA RD.
FITCHBURG, WI 53711

PROJECT:
PERMANENT ACCESS DRIVE

PROJECT LOCATION:
CITY OF FITCHBURG, WI
DANE COUNTY

PLAN MODIFICATIONS:

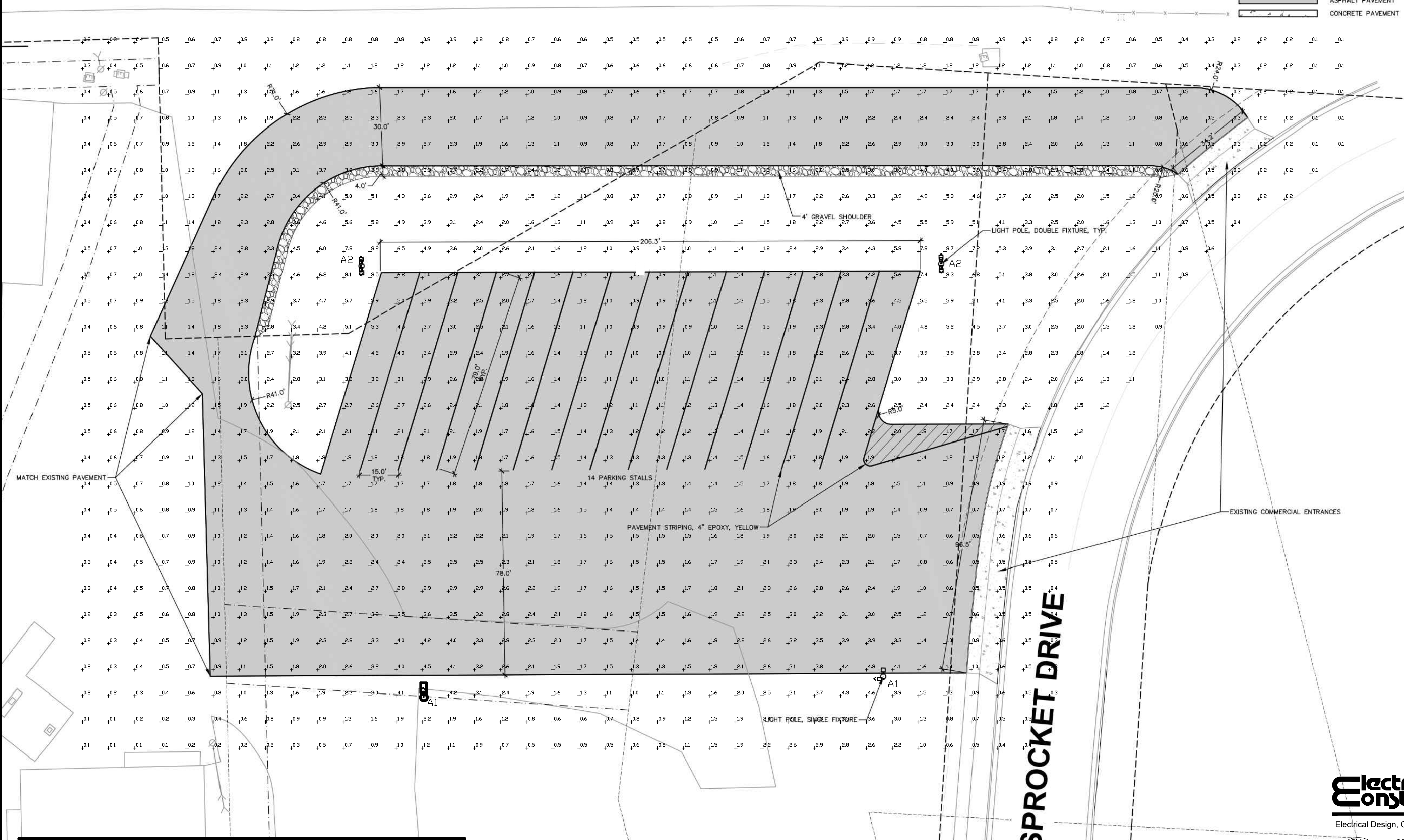
#	Date	Description
1	02.16.2021	PLAN REVIEW
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Design/Drawn: _____ (Initials)
Approved: _____ (Initials)

SHEET TITLE:
**SITE LIGHTING
PHOTOMETRIC PLAN
ENTRANCE DRIVE**

SHEET NUMBER:
E0.1

SD PROJECT NO. 17-7999-PH1



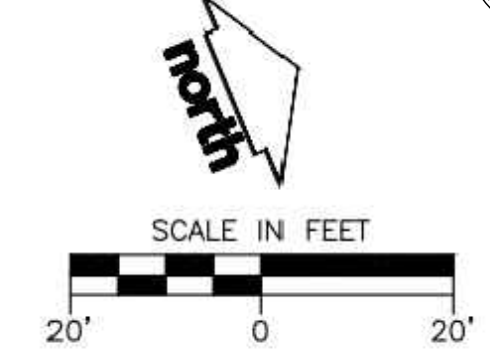
SITE LIGHTING PHOTOMETRIC CALCULATIONS:
+ AVERAGE = 1.8 MAX = 8.6 MIN = 0.0

1 SITE LIGHTING PHOTOMETRIC PLAN ENTRANCE DRIVE
E0.1 1" = 20'-0"

Electric Construction inc
Electrical Design, Contracting & Consulting

2861 Index Road
Madison WI 53713
(608) 271-2046
(608) 271-0160 FAX
www.ecdesign.com

DIGGERS HOTLINE
Toll Free (800) 242-8511



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SITE INFORMATION BLOCK	
TOTAL NUMBER OF PARKING STALLS AFTER IMPROVEMENT	183
PARKING STALLS IN IMPROVED AREA	62
ADDITIONAL STALLS ADDED	25

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	FUTURE EDGE OF PAVEMENT
	STRIPING, 4" EPOXY, YELLOW
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	STANDARD CURB AND GUTTER
	LIGHT POLE



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P. 608.848.5060

CLIENT:
CERTCO, INC.

CLIENT ADDRESS:
**5321 VERONA RD.
FITCHBURG, WI 53711**

PROJECT:
**PERMANENT ACCESS
DRIVE**

PROJECT LOCATION:
**CITY OF FITCHBURG, WI
DANE COUNTY**

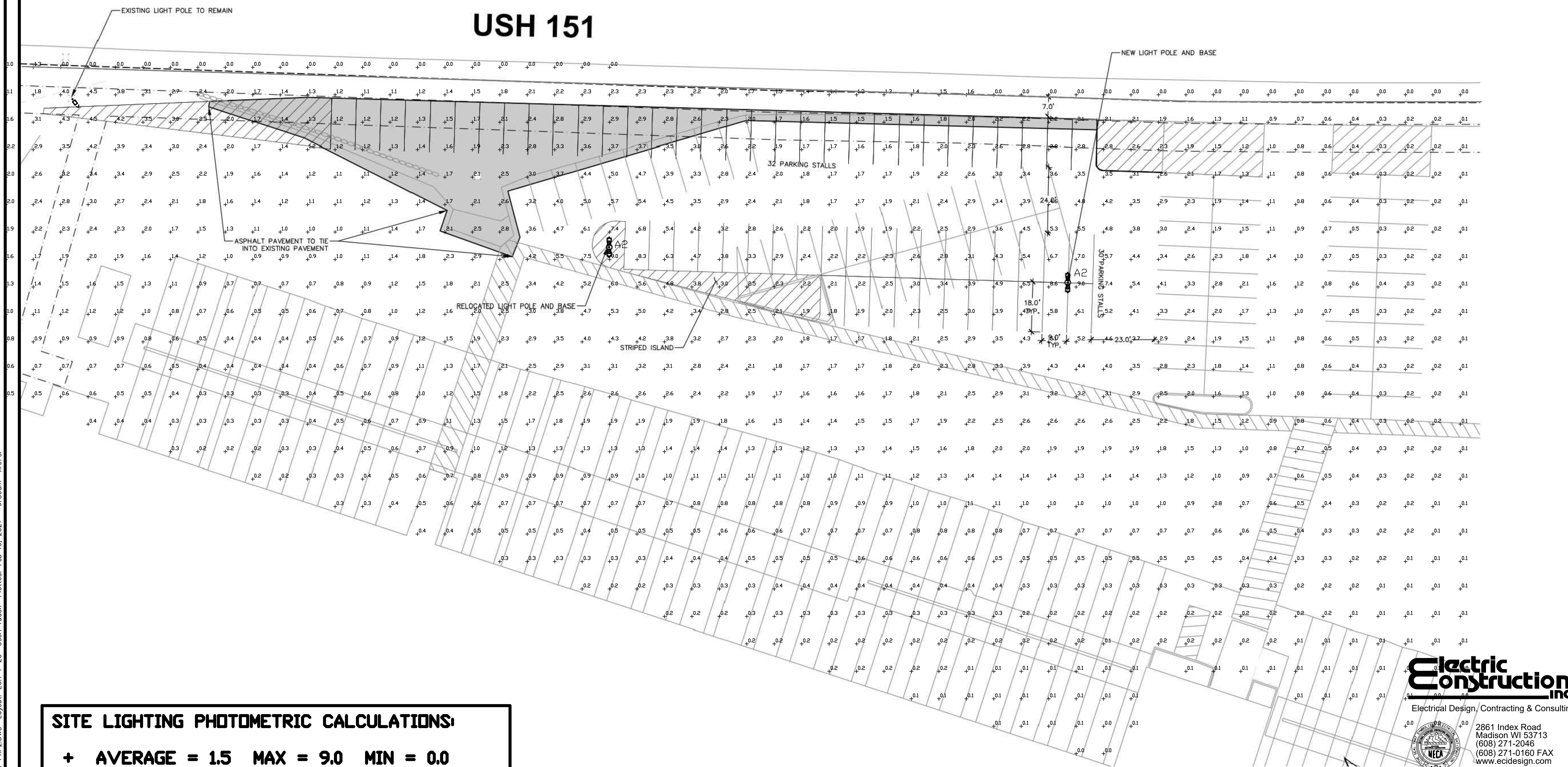
PLAN MODIFICATIONS:		
#	Date	Description
1	02.16.2021	PLAN REVIEW
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Design/Drawn: _____ (Initials)
Approved: _____ (Initials)

SHEET TITLE:
**SITE LIGHTING
PHOTOMETRIC PLAN
SOUTH PARKING**

SHEET NUMBER:
E0.2

SD PROJECT NO: _____ 17-7999-PH1



SITE LIGHTING PHOTOMETRIC CALCULATIONS:
+ AVERAGE = 1.5 MAX = 9.0 MIN = 0.0

1 SITE LIGHTING PHOTOMETRIC PLAN SOUTH PARKING
E0.2 1" = 20'-0"

Electric Construction Inc.
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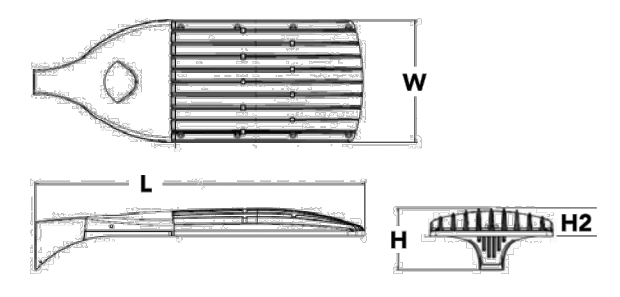


D-Series Size 2 LED Area Luminaire



Catalog Number	DSX2 LED P6 40K T4M MVOLT
Notes	30 FEET POLE
Type	A1, A2

Specifications
 EPA: 1.1 ft² (0.10 m²)
 Length: 40" (101.6 cm)
 Width: 15" (38.1 cm)
 Height 1: 7-1/4" (18.4 cm)
 Height 2: 3.5"
 Weight: 36lbs



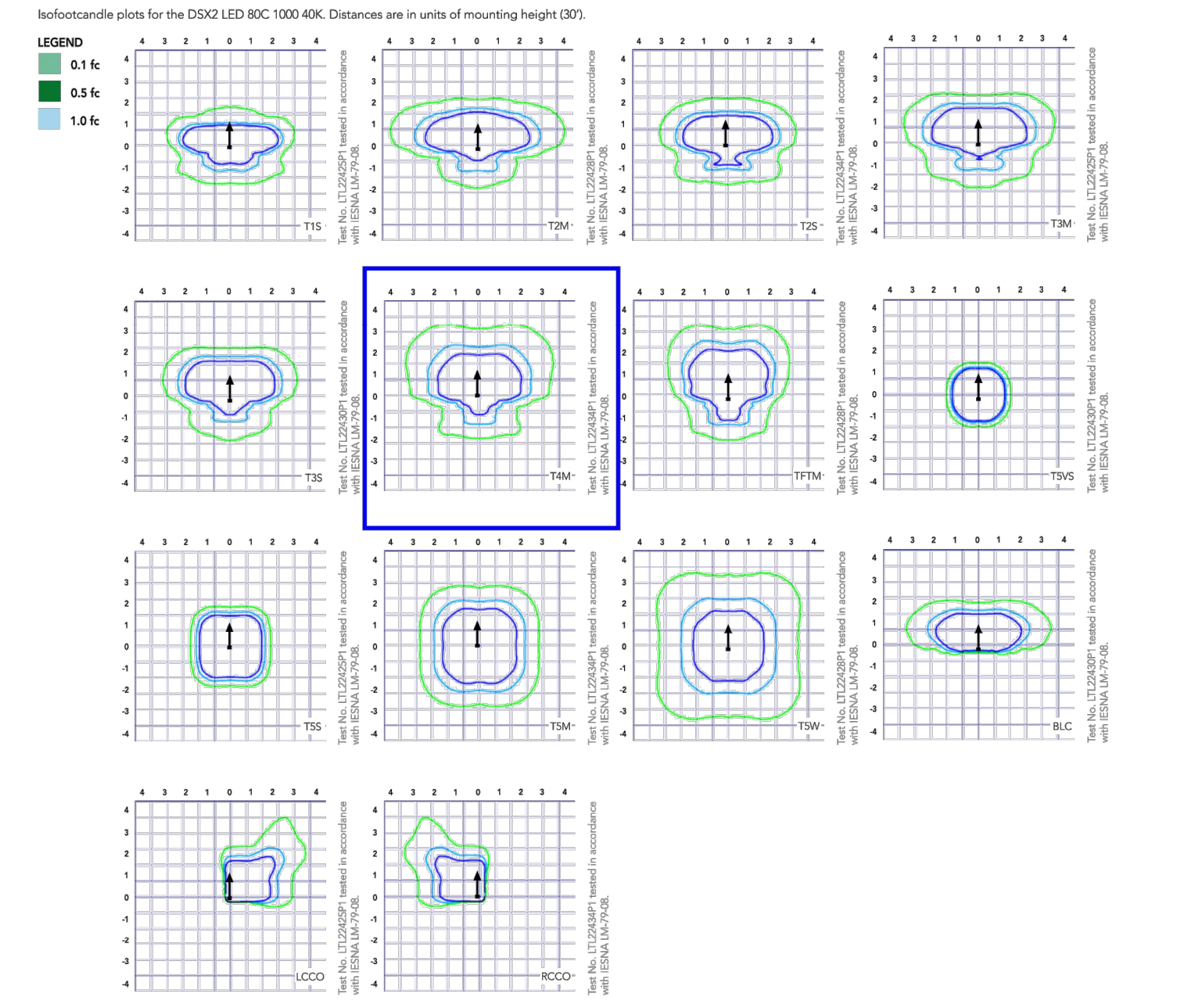
Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.
 The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

Series	LEDs	Color Temperature	Mix/rotation	Voltage	Mounting
DSX2 LED	Forward optics	30K 3000K	T1S Type I Short (Automotive)	MVOLT ¹	Shipped included
	P1	40K 4000K	T2S Type II Short	XVOLT ²	SPA Square pole mounting
	P2	50K 5000K	T3S Type III Short	(277V-480V) ^{3,4,5}	RPA Round pole mounting ¹¹
	P3		T4M Type IV Medium		WBA Wall bracket ¹
	P4		T5M Type V Medium		SRUMBA Square pole universal mounting adaptor ¹¹
	P5		T6M Type VI Medium		RPIUMBA Round pole universal mounting adaptor ¹¹
	P6		T7M Type VII Medium		Shipped separately
	P7		T8M Type VIII Medium		KM48 DBXDU Most arm mounting bracket adaptor (specify finish) ⁹
	P8		T9M Type IX Medium		
	P9		T10M Type X Medium		
	P10		T11M Type XI Medium		
	P11		T12M Type XII Medium		
	P12		T13M Type XIII Medium		

Control options	Other options	Finish
Shipped installed		DDXDU Dark bronze
NZAIR2 Night AIR generation 2 enabled ¹²	PIBH 0- level, motion/ambient sensor 15-30" mounting height; ambient sensor enable at 56" ¹²	DBLXD Black
PIRHN Network, Bi-Level motion/ambient sensor ¹⁴	PIBH1FCV High/Low, motion/ambient sensor, 8-15" mounting height; ambient sensor enable at 16" ¹⁴	DNAXD Natural aluminum
PER NEMA twist-lock receptacle only (no controls) ¹⁵	FAO Field Adjustable Output ¹³	DWAXD White
PER5 Five-wire receptacle only (no controls) ^{15,16}		DOBTD Textured dark bronze
PER7 Seven-wire receptacle only (no controls) ^{15,16}		DBLXD Textured black
DWG 0-10V dimming extend out back of housing for external control (no controls) ¹⁷		R00 Right rotated optics ¹
DS Dual switching ^{18,19}		HA 50°C ambient operations ¹
		Shipped separately
		ES Bead optics ²⁰
		E6S External glare shield

Photometric Diagrams



Performance Data

Lumen Output
 Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LED Count	Driver Cap- acity	Power Package	System Watts	Dist. Type	0.5m (1200) K, 70 CRI				0.6m (1000) K, 70 CRI				0.7m (1000) K, 70 CRI						
					Lumens	U	G	LPW	Lumens	U	G	LPW	Lumens	U	G	LPW			
80	1250	P5	327W	T1S	35,193	4	0	4	110	37,912	4	0	4	118	38,392	4	0	4	120
				T2S	35,155	4	0	5	110	37,872	4	0	5	118	38,351	4	0	5	119
				T3S	35,336	4	0	4	110	38,067	4	0	4	119	38,549	4	0	4	120
				T4M	34,222	4	0	5	107	36,866	4	0	5	115	37,333	4	0	5	116
				T5M	35,251	3	0	4	110	37,914	3	0	5	118	38,655	4	0	5	120
				T6M	34,485	3	0	5	107	37,149	4	0	5	116	37,620	4	0	5	117
				T7M	35,229	3	0	5	110	37,951	3	0	5	118	38,611	3	0	5	120
				T8M	36,659	5	0	1	114	39,470	5	0	1	123	39,970	5	0	1	125
				T9M	36,669	5	0	2	114	39,502	5	0	2	123	40,002	5	0	2	125
				T10M	36,576	5	0	4	114	39,403	5	0	4	123	39,901	5	0	4	124
				T11M	36,356	5	0	5	113	39,144	5	0	5	122	39,640	5	0	5	123
				T12M	28,884	3	0	4	90	31,115	3	0	4	97	31,509	3	0	4	98
				T13M	21,492	2	0	4	67	23,153	2	0	5	72	23,446	3	0	5	73
				RCCD	21,492	2	0	4	67	23,153	2	0	5	72	23,446	3	0	5	73
				T15	37,824	4	0	4	110	40,747	4	0	4	119	41,263	4	0	4	120
				T25	37,784	4	0	5	110	40,704	4	0	5	119	41,219	4	0	5	120
				T35	37,979	4	0	4	111	40,933	4	0	4	119	41,431	4	0	4	121
				T45	36,790	4	0	5	107	39,623	4	0	5	116	40,124	4	0	5	117
				T55	37,086	3	0	5	110	40,014	3	0	5	118	41,311	4	0	5	119
				T65	37,063	4	0	5	108	39,927	4	0	5	116	40,433	4	0	5	118
				T75	39,379	5	0	1	115	42,422	5	0	1	124	42,959	5	0	1	125
				T85	39,411	5	0	2	115	42,456	5	0	2	124	42,993	5	0	2	125
				T95	39,311	5	0	4	115	42,349	5	0	4	123	42,885	5	0	4	125
				T105	39,053	5	0	5	114	42,071	5	0	5	123	42,604	5	0	5	124
				RCCD	31,043	3	0	4	91	33,442	3	0	4	97	33,865	3	0	4	99
				T15	23,099	2	0	5	67	24,884	3	0	5	73	25,199	3	0	5	73
				T25	42,599	4	0	4	107	45,890	4	0	4	115	46,471	4	0	4	117
				T35	42,553	4	0	5	107	45,842	4	0	5	115	46,422	4	0	5	117
				T45	42,773	4	0	4	107	46,078	4	0	4	116	46,661	4	0	5	117
				T55	41,423	4	0	5	104	44,624	4	0	5	112	45,189	4	0	5	114
				T65	42,669	4	0	5	107	45,966	4	0	5	115	46,548	4	0	5	117
				T75	41,742	4	0	5	105	44,967	4	0	5	113	45,537	4	0	5	114
				T85	42,643	4	0	5	107	45,938	4	0	5	115	46,519	4	0	5	117
				T95	44,350	5	0	1	111	47,777	5	0	1	120	48,381	5	0	1	122
				T105	44,385	5	0	2	112	47,815	5	0	3	120	48,420	5	0	3	122
				T115	44,273	5	0	4	111	47,695	5	0	4	120	48,298	5	0	4	121
				T125	43,983	5	0	5	111	47,382	5	0	5	119	47,942	5	0	5	121
				RCCD	34,962	3	0	4	88	37,664	3	0	5	95	38,140	3	0	5	96
				T15	26,015	3	0	5	65	28,025	3	0	5	70	28,380	3	0	5	71
				RCCD	26,015	3	0	5	65	28,025	3	0	5	70	28,380	3	0	5	71
				T15	45,610	4	0	4	106	49,135	4	0	4	114	49,757	4	0	4	115
				T25	45,562	4	0	5	106	49,083	4	0	5	114	49,704	4	0	5	115
				T35	45,797	4	0	4	106	49,316	4	0	5	114	49,560	4	0	5	116
				T45	44,532	4	0	5	103	47,779	4	0	5	111	48,384	4	0	5	112
				T55	45,686	4	0	5	106	49,216	4	0	5	114	49,839	4	0	5	116
				T65	44,693	4	0	5	104	48,147	4	0	5	112	48,756	4	0	5	113
				T75	45,657	4	0	5	106	49,186	4	0	5	114	49,808	4	0	5	116
				T85	47,485	5	0	1	110	51,155	5	0	1	119	51,802	5	0	1	120
				T95	47,424	5	0	3	110	51,196	5	0	3	119	51,844	5	0	3	120
				T105	47,404	5	0	4	110	51,067	5	0	5	118	51,713	5	0	5	120
				T115	47,093	5	0	5	109	50,732	5	0	5	118	51,374	5	0	5	119
				RCCD	37,434	3	0	5	87	40,236	3	0	5	94	40,857	3	0	5	95
				T15	27,854	3	0	5	65	30,006	3	0	5	70	30,386	3	0	5	71
				RCCD	27,854	3	0	5	65	30,006	3	0	5	70	30,386	3	0	5	71

TYPE A2 - TWIN HEAD MOUNTED ON 30 FEET POLE 4 FEET BASE
TYPE A1 - SINGLE HEAD MOUNTED ON 30 FEET POLE 4 FEET BASE



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
CERTCO, INC.

CLIENT ADDRESS:
**5321 VERONA RD.
 FITCHBURG, WI 53711**

PROJECT:
**PERMANENT ACCESS
 DRIVE**

PROJECT LOCATION:
**CITY OF FITCHBURG, WI
 DANE COUNTY**

PLAN MODIFICATIONS:

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