



City of Fitchburg  
 Planning/Zoning Department  
 5520 Lacy Road  
 Fitchburg, WI 53711  
 (608-270-4200)

# ARCHITECTURAL & DESIGN REVIEW APPLICATION

**Applicant/Contact Person:** Leah Teske, JLA Architects, on behalf of Jon de Fiebre, SJ Acquisitions, LLC

**Address:** 800 West Broadway - Suite 200 **Phone Number of Contact Person:** 608-442-3824

**City, State, Zip Code:** Monona, WI 53718 **Email of Contact Person:** lteske@jla-ap.com

**Project Address:** Lacy Road & Notre Dame Drive **Lot:** Outlot 1, CSI **Subdivision:** \_\_\_\_\_

19487

**Project Type:**  **Multi-Family**  **Commercial**  **Industrial**  **Other**

**New**  **Addition**

**Impervious Surface Ratio (ISR):** 61.6% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

**Site Data:**

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

**Building:**

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

**Ingress, Egress, Parking:**

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

**Landscaping:**

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

**\*It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: *Jahteske* *on behalf of* *Jan de Filsone* Date: *2/16/2021*  
 Applicant or Authorized Agent

**\*\*\* Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to [planning@fitchburgwi.gov](mailto:planning@fitchburgwi.gov). Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

**FOR CITY USE ONLY**

Date Received: \_\_\_\_\_ Plan Commission Date: \_\_\_\_\_

**Comments:**

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**JLA**  
ARCHITECTS

## TRANSMITTAL

**Date:** February 16, 2021

**To:** City of Fitchburg  
Planning/Zoning  
5520 Lacy Road  
Fitchburg, WI 53711  
**via e-mail only (planning@fitchburgwi.gov)**

**Project Name:** Fitchburg Townhomes

**JLA Project:** 17-1006

**Message:**

Good Afternoon,

We are pleased to be re-submitting the Fitchburg Townhomes for Architectural & Design Review on behalf of Jon de Fiebre with SJ Acquisitions, LLC. Included in our submittal are the following documents:

- Signed Application for Architectural & Design Review
- (1) 24x36 Set of Plans
- (2) 11x17 Sets of Plans
- (1) Copy of Staff Comments with Response

Please note that we do have a Neighborhood meeting currently planned for Wednesday, February 24. We will be happy to provide attendance and summary information to Staff following that meeting.

If there is anything additional needed to clarify our application and submittal, please do not hesitate to reach out.

Sincerely,

Leah Teske  
Madison Office Director | Vice President

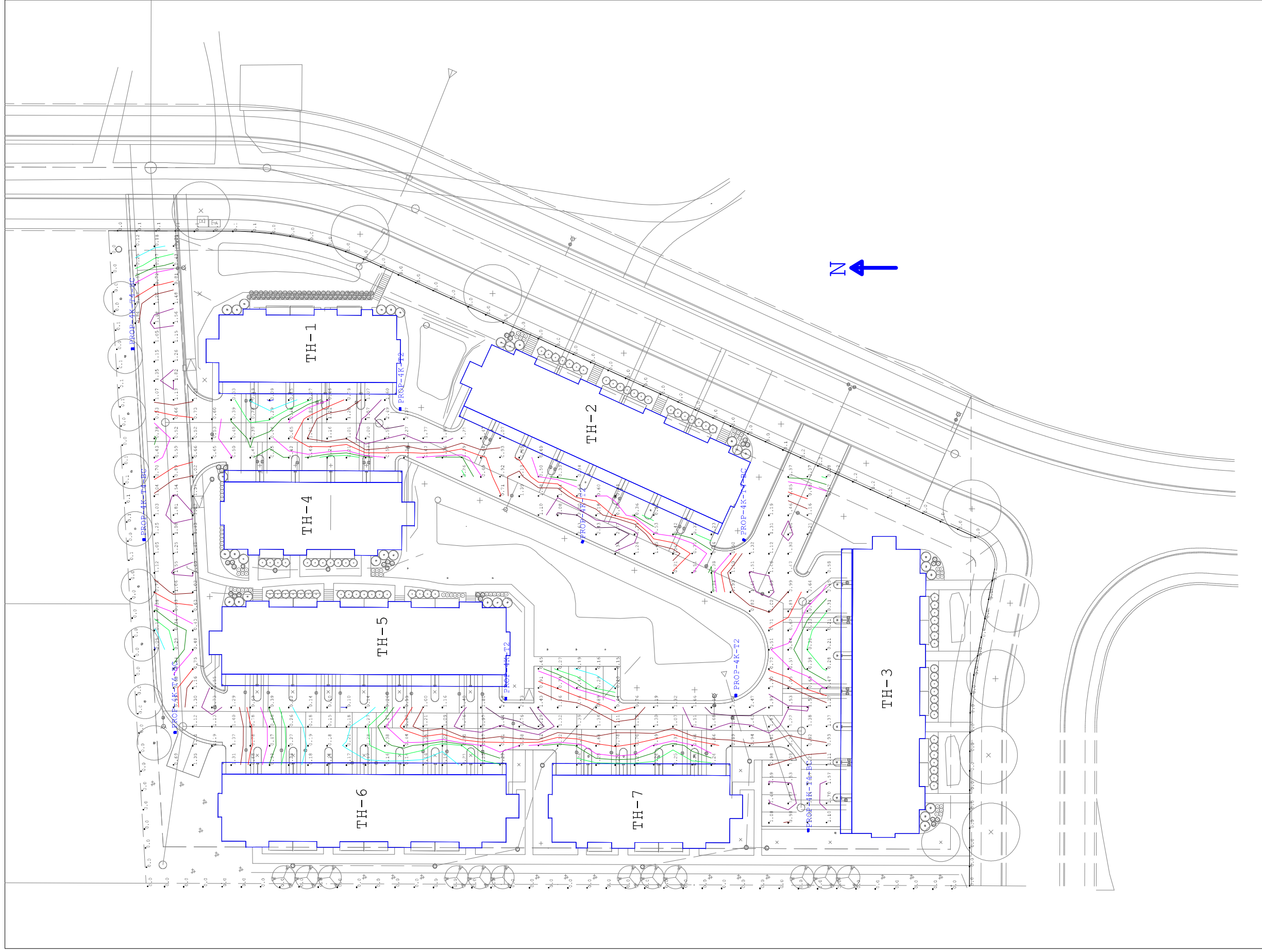
**Cc:** Jon de Fiebre, SJ Acquisitions, LLC  
Scott Anderson, Snyder & Associates, LLC

FITCHBURG TOWNHOMES  
FITCHBURG, WISCONSIN

SJ Acquisitions, LLC



ARCHITECTURAL DESIGN REVIEW



Scale: 1 inch= 50 Ft.

**FITCHBURG TOWNHOMES  
FITCHBURG, WI  
FEBRUARY 16, 2021**

Project Number: 117.0990.30

- Assumptions:  
 -20 ft Mounting Height  
 -Hubbell Outdoor Lighting, Cimarron Series LED  
 -Type II Distribution, 4K Color Temperature  
 -Type IV Distribution, 4K Color Temperature, With Back Light Control



**Luminaire Schedule**

Qty	Label	Product #	Equivalent
5	CL1-30L-4K-4-BC	CL1-30L-4K-4-BC	PROP-4K-T4-BC
4	CL1-30L-4K-2	CL1-30L-4K-2	PROP-4K-T2

**Illumination Calculation Summary**

Label	Units	Avg	Max	Min	Max/Min
Driveway-Parking Area	Fc	0.87	2.77	0.09	30.78
Property Line - North Side	Fc	0.03	0.1	0.0	N.A.
Property Line - West Side	Fc	0.00	0.0	0.0	N.A.
Right-of-Way - East Side	Fc	0.04	0.2	0.0	N.A.
Right-of-Way - South Side	Fc	0.00	0.0	0.0	N.A.

**Isoline Legend**

Value (Fc)	Color	Value (Fc)	Color
0.0	Black	0.4	Green
0.1	Blue	0.5	Magenta
0.2	Cyan	0.75	Red
0.3	Light Green	1	Dark Red
			Dark Purple

# CIMARRON LED

Cat.#	
Job	Type



Approvals

## SPECIFICATIONS

### Construction:

- Stylish vertically finned die-cast solid top housing for maximum heat dissipation; Stops collection of unsightly debris from gathering on top of the housing

- Rugged lower die-cast aluminum heat sink accelerates thermal management and optimizes PCB and optical performance

- Separate optical and electrical compartment for optimum component operation

- One piece die cut silicone gasket ensures weather proof seal around each individual LED for IP65 rating

- Backlight Control (BC) option available for 85% spill light reduction, doesn't change fixture appearance or EPA, recommended for Type III and Type IV distributions

- Stamped bezel provides mechanical compression to seal the optical assembly

- Complements the Hubbell Southwest series of outdoor fixtures

- Weight - 45.0 pounds, EPA - 1.3 ft<sup>3</sup>

- Suitable for applications requiring 3G testing prescribed by ANSI C136.31

### Optics:

- Choice of 72 high brightness LED configurations with individual acrylic lenses specially designed for IES Type II, III, IV and V distributions

- Auto optics designed for front row 1A and interior rows 2A (see distribution under ordering and page 2)

- CCT: 3000K (80 CRI), 4000K (70 CRI), 5000K (70 CRI), and turtle friendly Amber LED options

### Electrical:

- Universal input voltage 120-277 VAC, 50/60 Hz

- Integral step-down transformer for 347V & 480V

- Ambient operating temperature -40° C to 40° C

- Automatic thermal self-protection

- Drivers have greater than 90% power factor and less than 10% THD

- Optional continuous dimming to 10% or dual circuitry available

- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery

- 1050 mA driver available with 90L configuration for increased lumen output

- LED electrical assembly, including PR devices, consumes no power in the 'off' state

- Surge protection – 20KA; Turns fixture off at end of life; Includes LED for end of life indication (see surge suppressor page 4)

### Controls:

- Drivers are 0-10V dimming standard. Photocell, occupancy sensor and wireless controls available for complete on/off and dimming control

### Lumen maintenance:

- L90 at 60,000 hours (Projected per IESNA TM-21-11)

### Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upswept look while the straight arm follows the housing's contoured lines for continuity of style

- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern

- Wall bracket, mast arm fitter and pole accessories are also available allowing easy mounting for virtually any application

### Finish:

- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

### Warranty:

- Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

### Listings:

- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations

- Models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/QPL>

- IDA approved • IP65

## PRODUCT IMAGE(S)



90 LED 3/4 VIEW

30 LED

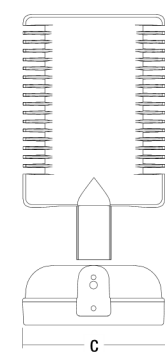
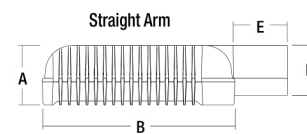
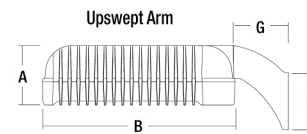


60 LED



90 LED

## DIMENSIONS



A	B	C	D	E	F	G
6 3/4" 171mm	21 3/4" 552mm	16" 406mm	6 5/8" 168mm	6 5/16" 160mm	5 5/8" 143mm	6 1/8" 155mm

## CERTIFICATIONS/LISTINGS



\*3000K and warmer CCTs only

## ORDERING INFORMATION SEE NEXT PAGE



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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## ORDERING INFORMATION ORDERING EXAMPLE: CL1-A-90LU-5K-3-DB-RPA3

SERIES	NO. OF LEDS	VOLTAGE	CCT	DRIVE CURRENT	OPTIONS
CL1 Cimarron LED	90L 90 High brightness LEDs 60L 60 High brightness LEDs 30L 30 High brightness LEDs	U <sup>1</sup> Universal 120V-277V, 50/60 Hz 1 120V 2 208V 3 240V 4 277V 5 480V, 60 Hz F 347V, 60 Hz E <sup>4</sup> 220V, 50 Hz	3K 3000K 4K 4000K 5K 5000K AM <sup>4</sup> Amber (590 nm available for "Turtle Friendly" applications (consult factory))	Leave blank for 700mA (standard) 035 350mA Amber CCT only 105 1050 mA (Not for use with 30L)	BC <sup>5</sup> Backlight control CD Continuous dimming WB Wall bracket RPA3 3" Round pole adapter RPA4 4" Round pole adapter RPA5 5" Round pole adapter RPA6 6" Round pole adapter FX <sup>2</sup> Fusing (replace X with voltage: 1-120V, 2-208V, 3-240V, 4-277V, 5-480V, F-347V) VG Vandal guard 7PR Photocell receptacle (7-pin ANSI C136.41—2013 receptacle for use with standard Twist-Lock® photo controls, shunting caps, and ANSI C136.41 external wireless control devices. Select SCL option to add occupancy sensing capability when using with compatible external wireless devices.)
MOUNTING					
A	Arm mount construction (6" straight rigid arm included & acceptable for 90° configurations)				
AD	Decorative arm mount const. (6" decorative upswept arm incl. & acceptable for 90° configurations)				
MAF	Mast arm fitter for mounting to standard 2 3/8" mast arm bracket, includes 6" straight rigid arm				
DISTRIBUTION					
2	Type II				
3	Type III				
4	Type IV				
5M	Type V Medium				
5S	Type V Short				
5W	Type V Wide				
2L	Type II Rotated 90° left				
3L	Type III Rotated 90° left				
4L	Type IV Rotated 90° left				
2R	Type II Rotated 90° right				
3R	Type III Rotated 90° right				
4R	Type IV Rotated 90° right				
1A	Auto Front Row Type I				
1AR	Auto Front Row Type I Rotated 90° right				
1AL	Auto Front Row Type I Rotated 90° left				
2A	Auto Front Row Type II				
2AR	Auto Front Row Type II Rotated 90° right				
2AL	Auto Front Row Type II Rotated 90° left				

Notes: 1 - Fuse option not available with universal voltage  
2 - Select F3 fusing option for 220V  
3 - Recommended for Type III and IV distributions only  
4 - Available in 350mA drive current only Type IV, 5M  
5 - 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, must order minimum of one SCP-REMOTE control to program dimming settings (see accessories)  
6 - Not available with AD arm  
7 - Not available with WIR or WIRSC  
8 - Not available with SCO, SCL, SCP or SCPW

### CONTROLS GUIDE

As energy codes become more restrictive and we push for sustainable lighting designs, the integration of lighting controls and luminaires have become more and more important. Hubbell Lighting offers numerous outdoor lighting controls solutions for the most demanding applications. Visit the link below to learn more about energy-saving controls.

[www.hubbellighting.com/solutions/controls/](http://www.hubbellighting.com/solutions/controls/)

Only for Type IV Distribution Fixtures

## AUTOMOTIVE DEALERSHIP OPTICS

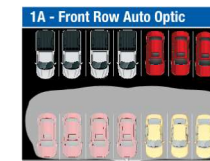
For Automotive Dealership applications Spaulding Lighting has developed two optics designed for enhanced and proper lighting of the auto dealership merchandise and the front row 1A and interior rows 2A (See CL1 distribution information for details)

### Optic 1A

- Maximum illumination on front row display
- Maximum pole spacing

### Optic 2A

- Excellent front row illumination and drive lane
- Optimal uniformity for drive lane and interior rows



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Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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**ENERGY SAVING DATA**

#LEDS	DRIVE CURRENT	SYSTEM WATTS		DIST. TYPE	5K (5000K nominal, 70 CRI)				4K (4000K nominal, 70 CRI)				3K (3000K nominal, 70 CRI)				Amber				SYSTEM WATTS							
		120-277V	347-480V		LUMENS	LPW'	B	U	G	LUMENS	LPW'	B	U	G	LUMENS	LPW'	B	U	G	LUMENS	LPW'	B	U	G	Drive Current	120-277V	#LEDS	
30	700 mA	70W	80W	1A	8244	118	1	0	1	8162	117	1	0	1	6775	97	1	0	1									
				2A	8202	117	1	0	1	8121	116	1	0	1	6740	96	1	0	1									
				3	7715	110	2	0	3	7639	109	2	0	2	6340	91	2	0	2									
				4	7712	110	2	0	2	7635	109	2	0	2	6371	91	1	0	2									
				5S	8374	120	3	0	0	8291	118	3	0	0	6882	98	3	0	0									
60	700 mA	135W	150W	1A	16171	120	1	0	2	16011	119	1	0	1	13289	98	1	0	1									
				2A	16088	119	1	0	2	15929	118	1	0	2	13221	98	1	0	2									
				3	15134	112	3	0	3	14984	111	3	0	3	12437	92	3	0	3									
				4	15127	112	3	0	3	14977	111	3	0	3	12498	93	2	0	3									
				5S	16426	122	4	0	0	16263	120	4	0	0	13498	100	4	0	0									
60	1050 mA	220W	235W	1A	21139	96	2	0	2	20929	95	2	0	2	17371	79	2	0	2									
				2A	21030	96	2	0	2	20822	95	2	0	2	17282	79	2	0	2									
				3	19783	90	4	0	5	19587	89	3	0	5	16257	74	3	0	5									
				4	19774	90	3	0	4	19578	89	3	0	4	16250	74	3	0	4									
				5S	20359	93	5	0	3	20158	92	5	0	3	16731	76	5	0	3									
90	700 mA	205W	225W	1A	23781	116	2	0	2	23546	115	2	0	2	19543	95	2	0	2									
				2A	23659	115	2	0	2	23425	114	2	0	2	19443	95	2	0	2									
				3	22255	109	3	0	4	22035	107	3	0	4	18289	89	3	0	4									
				4	22246	109	3	0	4	22026	107	3	0	4	18379	90	3	0	4									
				5S	24156	118	5	0	0	23916	117	5	0	0	19851	97	4	0	0									
90	1050 mA	325W	350W	1A	31708	98	2	0	2	31394	97	2	0	2	26057	80	2	0	2									
				2A	31545	97	2	0	2	31233	96	2	0	2	25923	80	2	0	2									
				3	29674	91	4	0	5	29380	90	3	0	5	24385	75	3	0	4									
				4	29661	91	3	0	4	29367	90	3	0	4	24505	75	3	0	4									
				5S	32207	99	5	0	0	31888	98	5	0	0	26467	81	5	0	0									

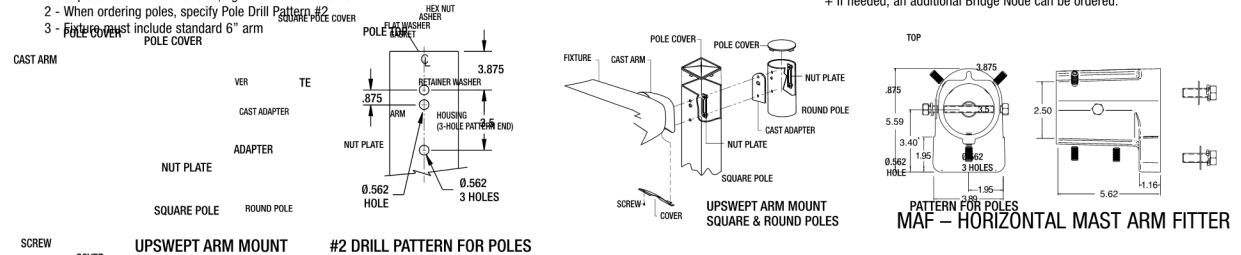
Amber				Drive Current	SYSTEM WATTS	#LEDS
LUMENS	LPW'	B	U			
2488		0	0	350 mA	135W	60
2533		2	0	350 mA	205W	90
3558		1	0	350 mA	205W	90
3596		2	0	350 mA	205W	90

**ACCESSORIES/REPLACEMENT PARTS - Order Separately**

Catalog Number	Description
CR-RPA3-XX'	Round pole adapter for straight arm (3/4 - 3/4")
CR-RPA4-XX'	Round pole adapter for straight arm (3/8 - 4/2")
CR-RPA5-XX'	Round pole adapter for straight arm (5")
CR-RPA6-XX'	Round pole adapter for straight arm (6")
CRD-RPA2-XX'	Round pole adapter for upswept arm (2/4 - 3/8")
CRD-RPA3-XX'	Round pole adapter for upswept arm (3/4 - 3/4")
CRD-RPA4-XX'	Round pole adapter for upswept arm (3/8 - 4/2")
CRD-RPA5-XX'	Round pole adapter for upswept arm (5")
CRD-RPA6-XX'	Round pole adapter for upswept arm (6")
WB-AREA-XX'	Wall bracket
TPLB-XX'	Twin parallel luminaire bracket
MAF-CL-XX'	Horizontal mast arm fitter for 2 3/8" OD arm. Mounts to standard 6" arm (ordered with fixture)

Catalog Number	Description
SCP-REMOTE <sup>9</sup>	Remote control for SCP option. Order at least one per project to program and control.
SWUSB*	SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node.
SWTAB*	Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node.
SWBRG+	SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested.
93052458	20KA surge protection with an end of life LED indicator

1 - Replace XX with color choice, eg.: DB for Dark Bronze  
 2 - When ordering poles, specify Pole Drill Pattern (see page 12)  
 3 - Fixture must include standard 6" straight arm



**MOUNTING ACCESSORIES**

Catalog Number	Description
ARM-CL-K-TA-XX'	Adjustable mounting arm for single fixture (2-3/8 tenon) – 5 lbs. 2.3 kgs.
ARM-CL-TK-TA-XX'	Adjustable mounting arm for two fixtures at 180° (2-3/8 tenon) – 7 lbs. 3.2 kgs.
ARM-CL-K-S-XX'	10" adjustable arm – 5 lbs. .05 kgs. – 5.75 lbs. 2.6 kgs.

1 Replace XX with color choice, eg.: DB for Dark Bronze  
 2 Fixture must include standard 6" straight arm



**TENON TOP POLE BRACKET ACCESSORIES**  
 (2 3/8" OD tenon) (RSS version requires 4" round pole adapter)

Catalog Number	Description
SETA2-XX'	Square pole tenon adapter (4 at 90 degrees)
RETA2-XX'	Round pole tenon adapter (4 at 90 degrees)
TETA-XX'	Hexagonal pole tenon adapter (3 at 120 degrees)

1 Replace XX with color choice, eg.: DB for Dark Bronze

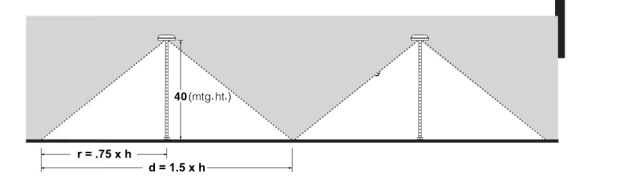
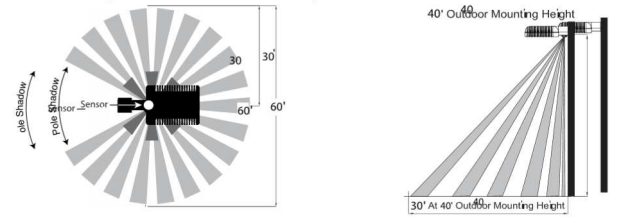
**PHOTOCONTROL EQUIPMENT**

Catalog Number	Description
PTL-1	Photocontrol - twist-lock cell (120V)
PTL-8	Photocontrol - twist-lock cell (120-277V)
PTL-5	Photocontrol - twist-lock cell (480V)
PTL-6	Photocontrol - twist-lock cell (347V)
PSC	Shorting cap - twist-lock

**MOTION CONTROLS**

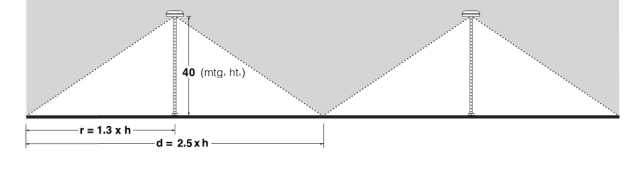
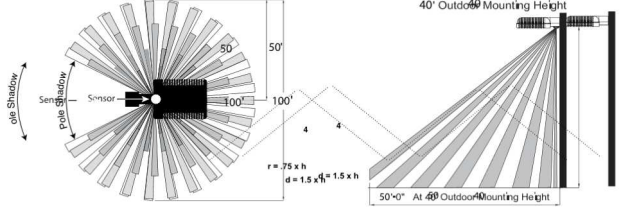
- Start up delay from initial motion detection to fixture illumination is approximately 1-2 seconds
- Vehicle detection is possible however less reliable than human detection; Vehicle detection is dependent upon the following: rate of speed, mounting height of luminaire and vehicle temperature

**SCP - Designed for intermediate coverage area**



Note: Extreme heat or cold temperatures may limit detection.

**SCPW - Designed for widest coverage area**



Note: Extreme heat or cold temperatures may limit detection.

**SURGE PROTECTION**

- Field replaceable surge protection device (SPD) provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3
- The SPD is designed with a clamping voltage of 1600V at 20KA using industry standard 8/20µs waveform
- Max surge current = 20,000 Amps (see table)
- LED Indicator – Green LED is unlit at end of life

Pulse Rating (8 x 20 µSec)	cRUus		
	I <sub>n</sub>	10KA	5KA
Strikes			
1	20,000 A		
2	15,000 A		
15	10,000 A		
120	3,000 A		







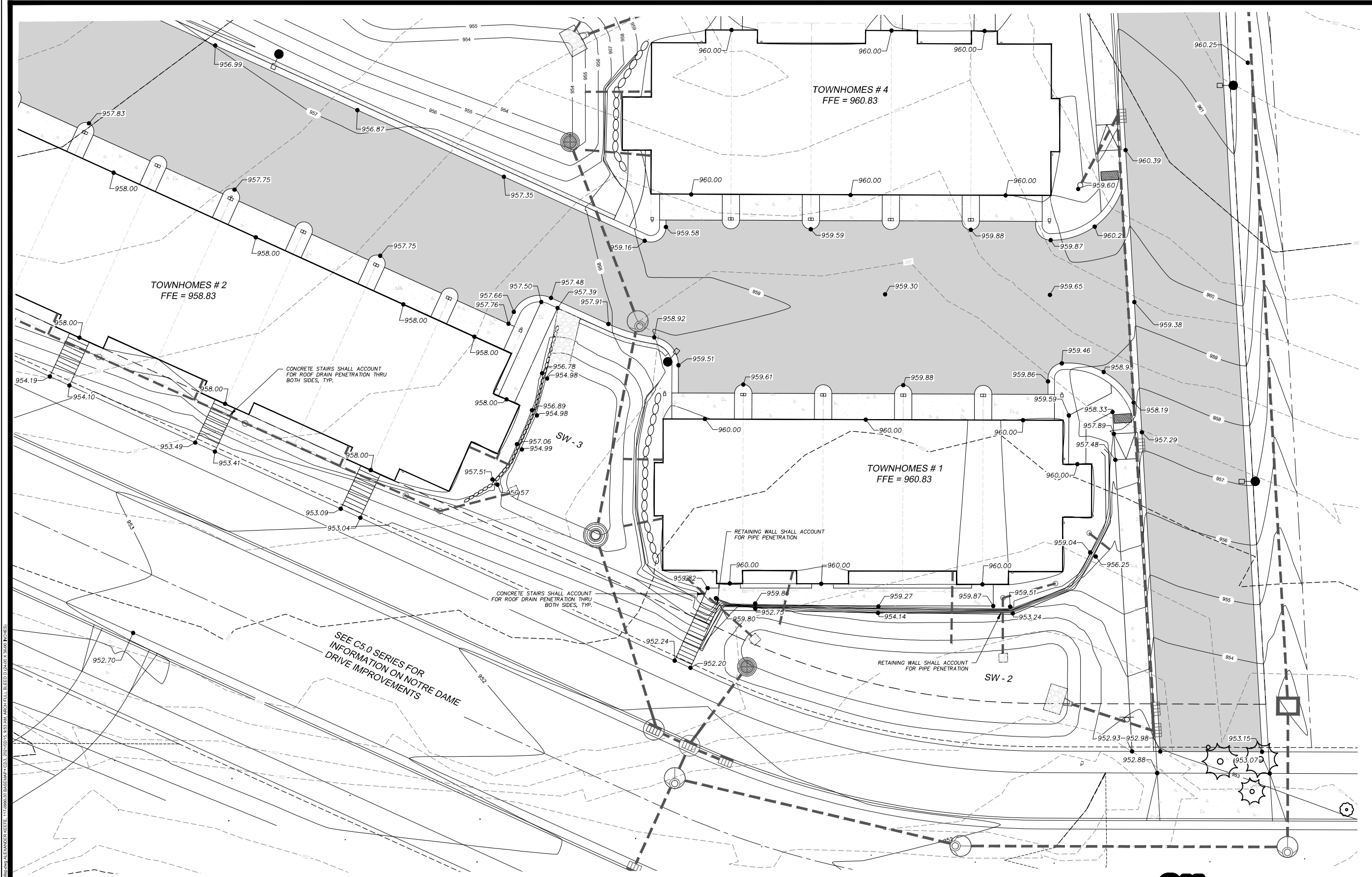












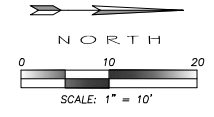
W:\Projects\2011\117.0990.30\FITCHBURG TOWNHOMES\DWG\117.0990.30 GRADING PLAN.dwg (DATE: 02/15/2021) 11:43 AM ARCH FULL BLEED (24.00 X 36.00 INCHES)

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE APRON & SIDEWALK
- SPOT ELEVATION AT FLOWLINE



Know what's below.  
 Call before you dig.  
 WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE



MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 10'	
Technician: MW	Date: 02/15/2021	T-R-S: TBM/RB/ES/15	
Project No: 117.0990.30			Sheet C 2.3

**FITCHBURG TOWNHOMES**  
**GRADING PLAN**  
**SNYDER & ASSOCIATES, INC.**

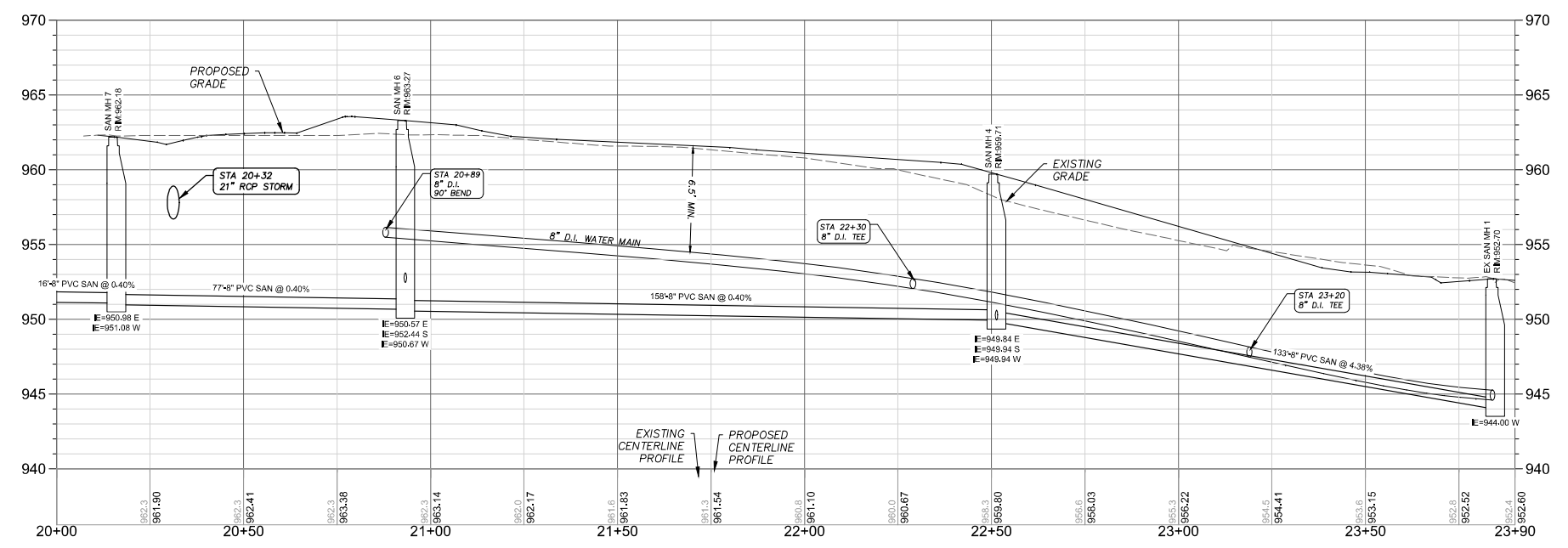
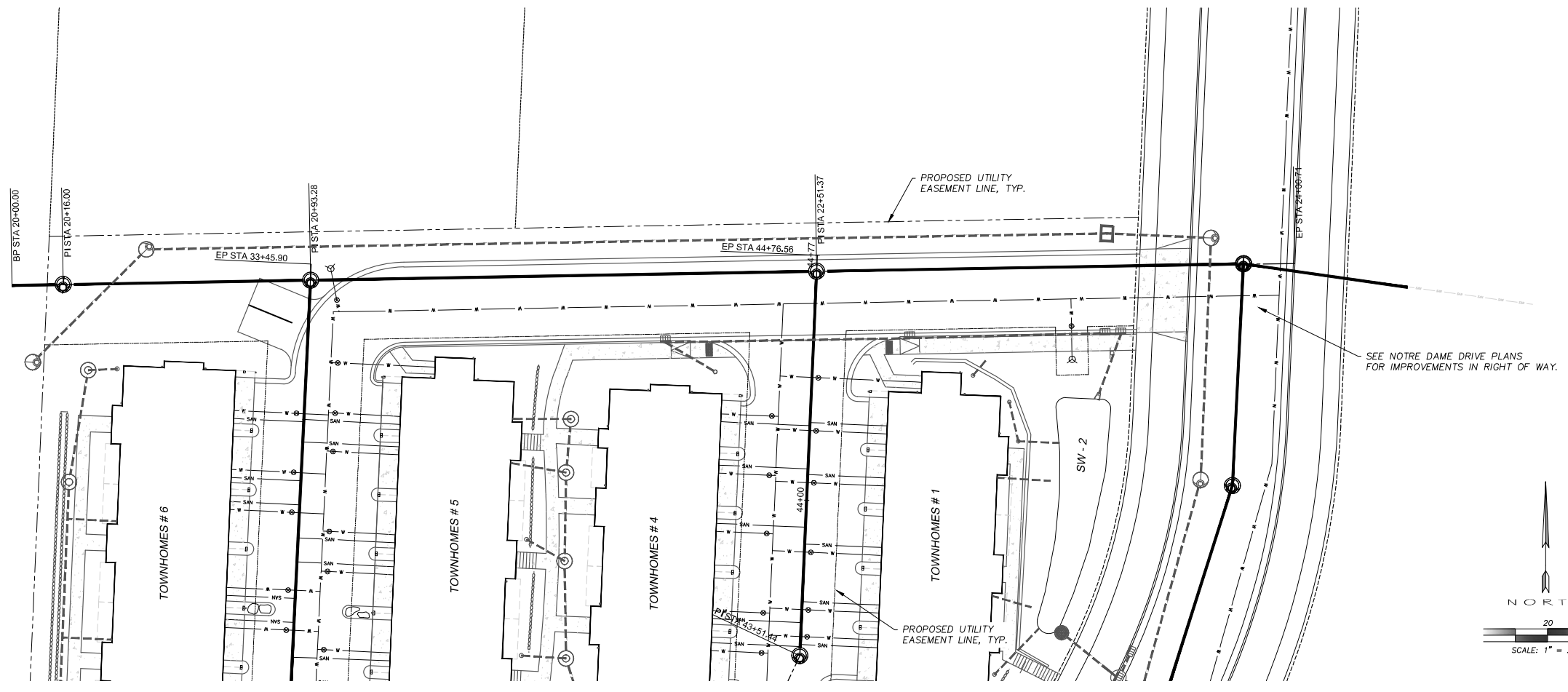
5010 VOGES ROAD  
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**SNYDER & ASSOCIATES**

Project No: 117.0990.30

Sheet C 2.3





- UTILITY NOTES**
- ALL SANITARY MANHOLES SHOWN SHALL BE 48" DIAMETER PRECAST CONCRETE WITH NEENAH R-1550 TYPE B NON-ROCKING CASTING.
  - SEE DETAIL 1/C6.2 FOR MORE MANHOLE DETAILS.



Know what's below.  
Call before you dig.  
WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 20'	
Technician: MW	Date: 02/15/2021	T-R-S: TBNR9E-S15	
Project No: 117.0990.30			Sheet C 3.1

**FITCHBURG, WISCONSIN**

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609-338-0444 | www.stydrassociates.com

**FITCHBURG TOWNHOMES**

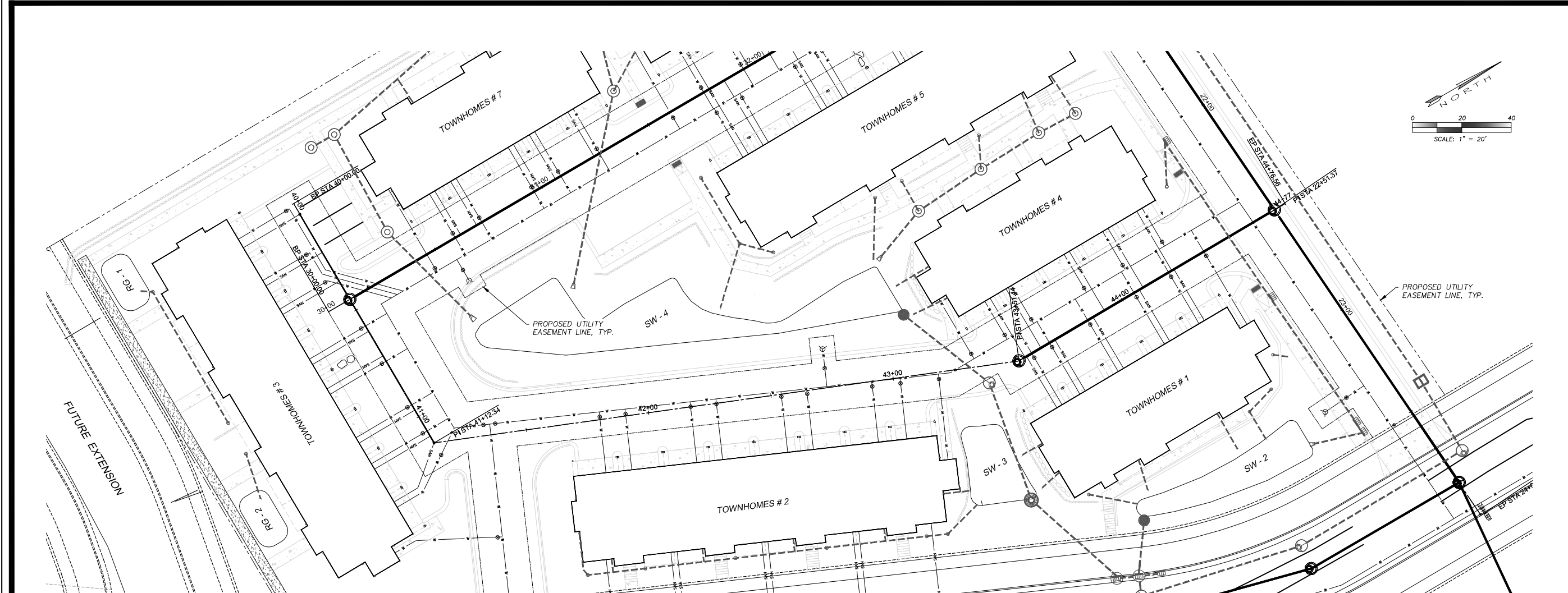
**SANITARY & WATER PLAN & PROFILE**

**SNYDER & ASSOCIATES, INC.**

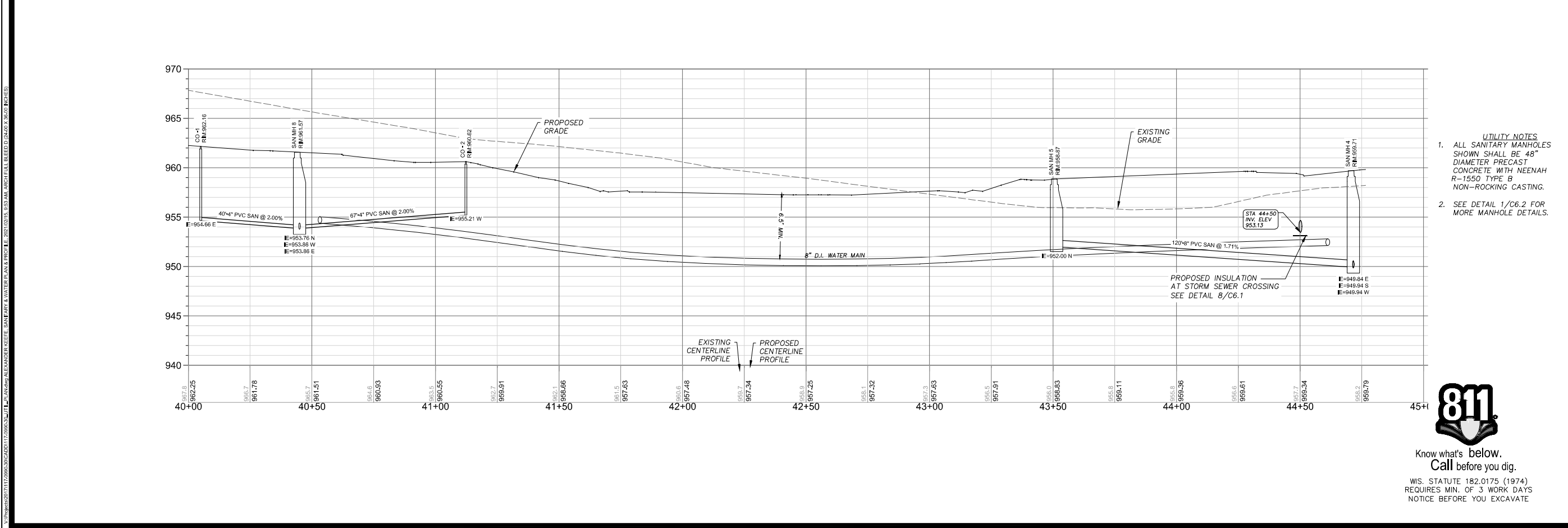


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MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: AJK	Scale: 1" = 20'	T-R-S: TBNR09-S15
Technician: MW	Date: 02/15/2021	Project No: 117.0990.30	Sheet C 3.3



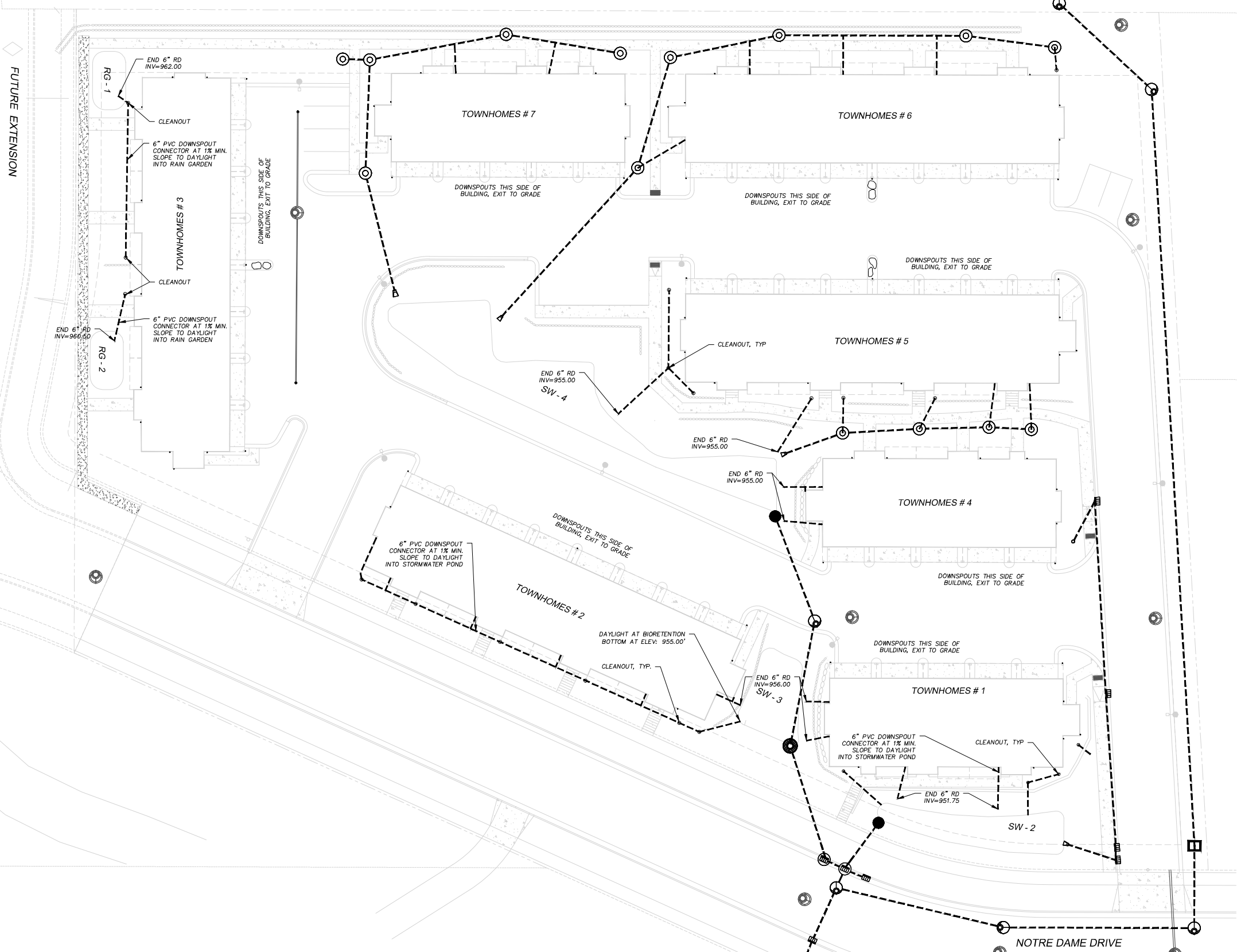
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 PLOT DATE: 2/15/2021 10:53 AM ARCHITECT: BLEED (DRAWN BY: SJA)

**FITCHBURG TOWNHOMES**  
**SANITARY & WATER PLAN & PROFILE**  
**SNYDER & ASSOCIATES, INC.**

  
 Know what's below.  
 Call before you dig.  
 WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE

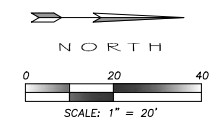
  
 Project No: 117.0990.30  
 Sheet C 3.3

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STORM PIPE TABLE					
PIPE NAME	SIZE (IN.)	LENGTH (FT)	START INV	END INV	SLOPE

All downspout pipes 6" PVC at min. 1%



Know what's below.  
 Call before you dig.  
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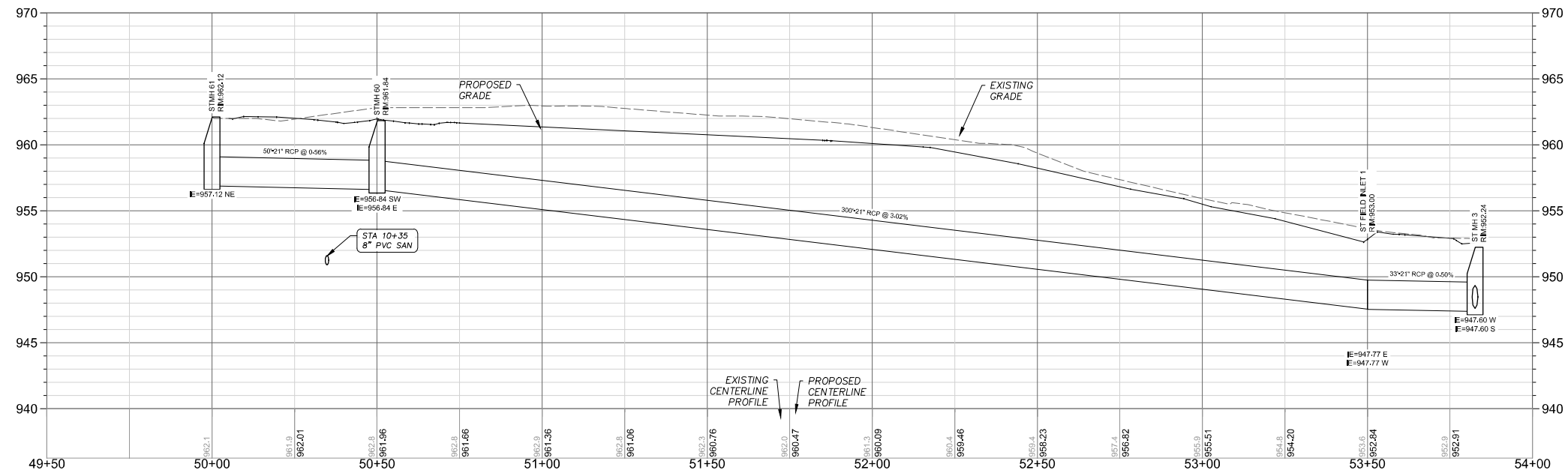
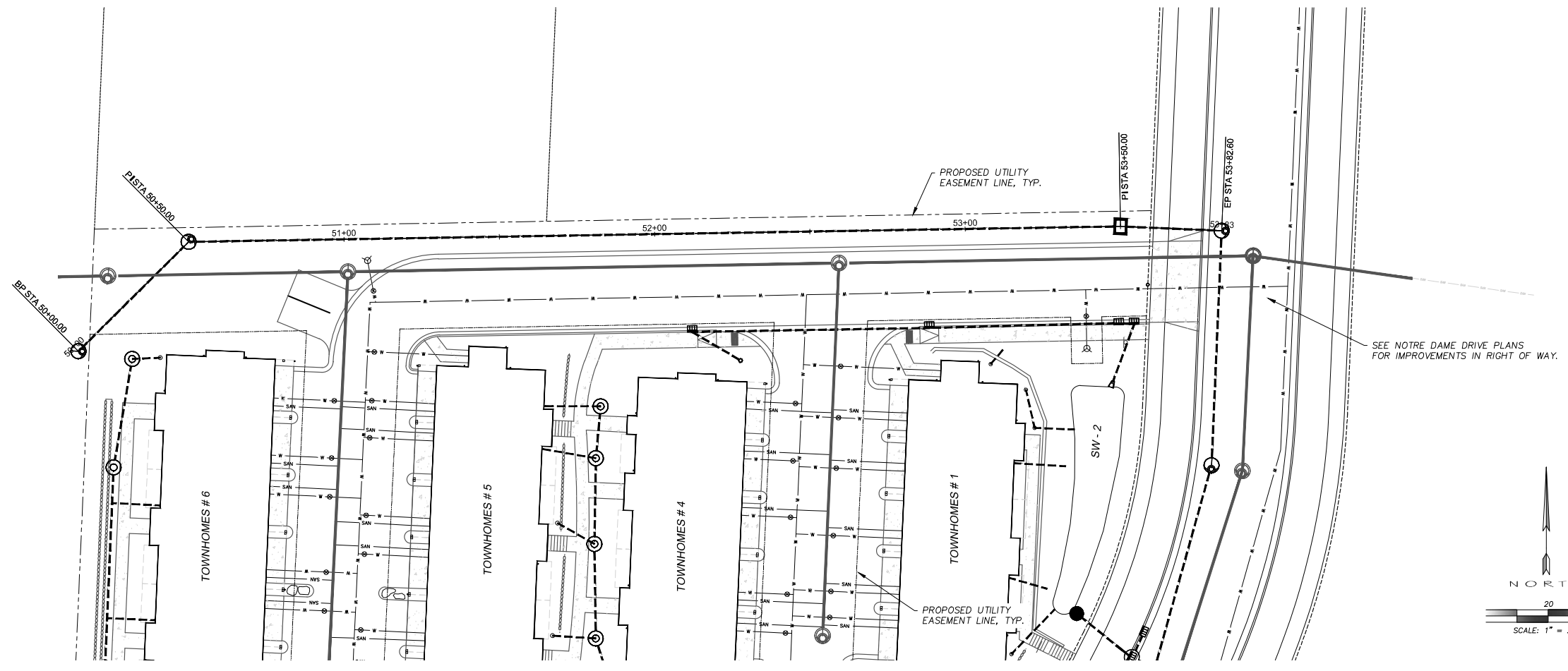
MARK	REVISION	DATE	BY

Checked By: AJK  
 Engineer: SJA  
 Technician: MMW  
 Date: 02/15/2021  
 Scale: 1" = 20'  
 T-R-S: TBNR09S15  
 Project No: 117.0990.30  
 Sheet C 4.1

**FITCHBURG TOWNHOMES**  
**STORM SEWER PLAN**  
**SNYDER & ASSOCIATES, INC.**

FITCHBURG, WISCONSIN  
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 MADISON, WISCONSIN 53718  
 609-338-0444 | www.snyderassociates.com

Project No: 117.0990.30  
 Sheet C 4.1



- UTILITY NOTES**
- ALL SANITARY MANHOLES SHOWN SHALL BE 48" DIAMETER PRECAST CONCRETE WITH NEENAH R-1550 TYPE B NON-ROCKING CASTING.
  - SEE DETAIL 1/C6.2 FOR MORE MANHOLE DETAILS.



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Engineer: SJA	Checked By: AJK	Scale: 1" = 20'	
Technician: MW	Date: 02/15/2021	T-R-S: TBN-R9E-S15	

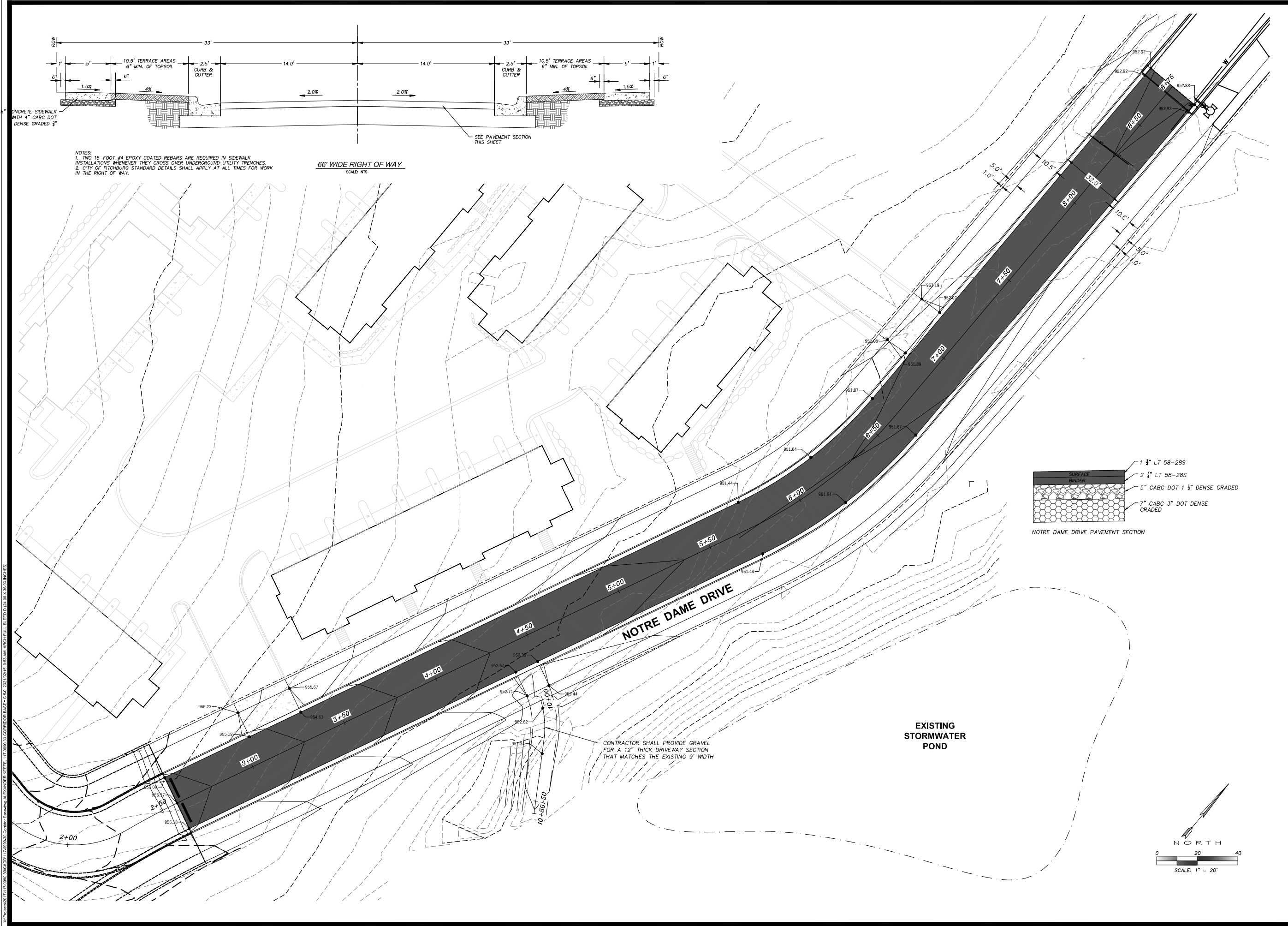
Project No: 117.0990.30  
Sheet C 4.1

**FITCHBURG, WISCONSIN**

**SNYDER & ASSOCIATES, INC.**

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NOTES:  
 1. TWO 15-FOOT #4 EPOXY COATED REBARS ARE REQUIRED IN SIDEWALK INSTALLATIONS WHENEVER THEY CROSS OVER UNDERGROUND UTILITY TRENCHES.  
 2. CITY OF FITCHBURG STANDARD DETAILS SHALL APPLY AT ALL TIMES FOR WORK IN THE RIGHT OF WAY.

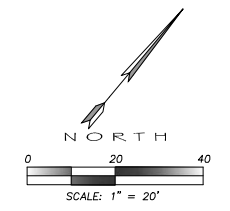
66' WIDE RIGHT OF WAY  
 SCALE: NTS

NOTRE DAME DRIVE PAVEMENT SECTION

- 1 1/2" LT 58-28S
- 2 1/2" LT 58-28S
- 5" CABG DOT 1 1/4" DENSE GRADED
- 7" CABG DOT 3" DENSE GRADED

CONTRACTOR SHALL PROVIDE GRAVEL FOR A 12" THICK DRIVEWAY SECTION THAT MATCHES THE EXISTING 9' WIDTH

EXISTING STORMWATER POND



MARK	REVISION	DATE	BY
Engineer-SJA	Checked By: AJK	Scale: 1" = 20'	
TechnicianMMW	Date: 02/15/2021	TR-RS: TBM-R09-S15	
Project No: 117.0990.30			Sheet C 5.0

**FITCHBURG TOWNHOMES**

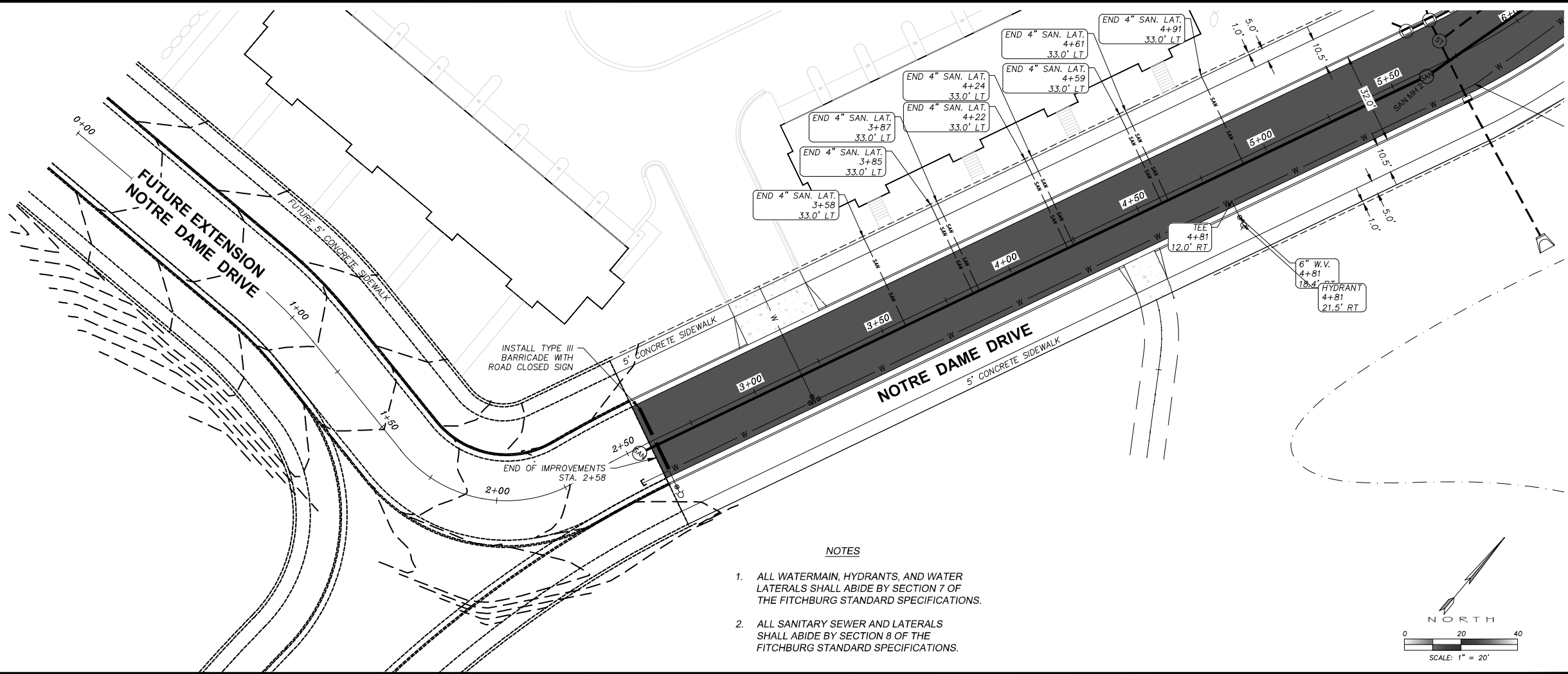
**NOTRE DAME DRIVE GRADING PLAN**

**SNYDER & ASSOCIATES, INC.**

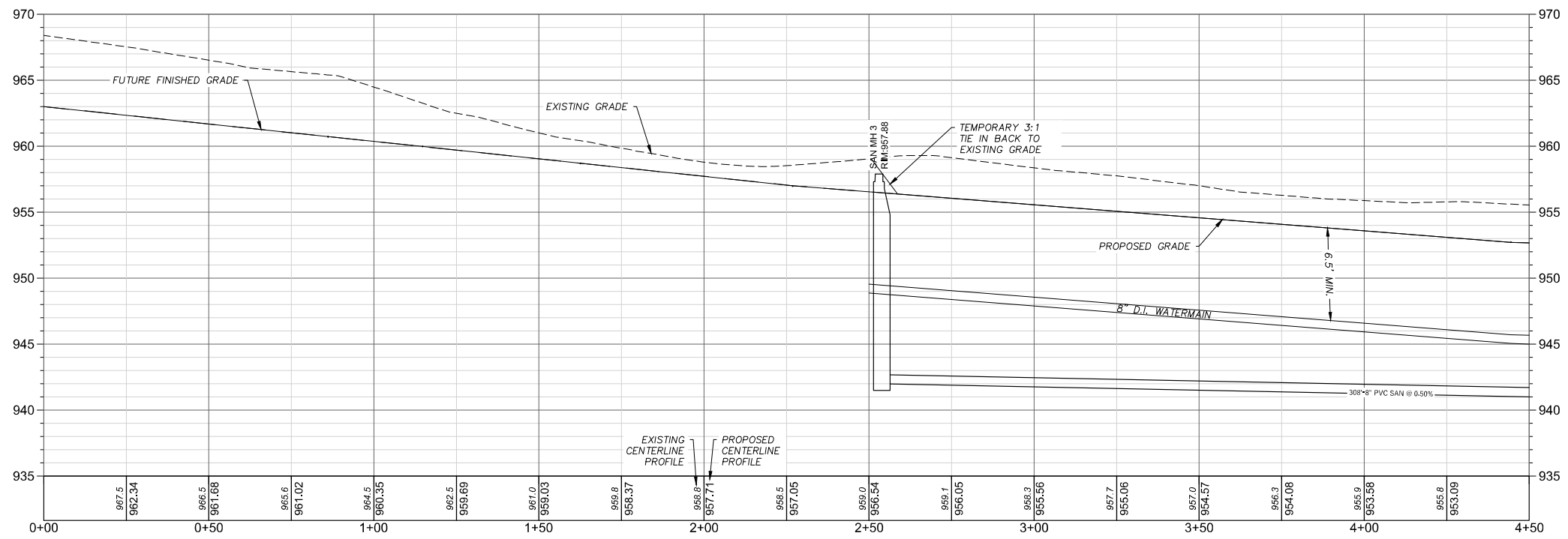
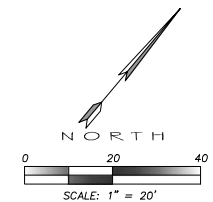
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**SNYDER & ASSOCIATES**

Project No: 117.0990.30  
 Sheet C 5.0



- NOTES**
1. ALL WATERMAIN, HYDRANTS, AND WATER LATERALS SHALL ABIDE BY SECTION 7 OF THE FITCHBURG STANDARD SPECIFICATIONS.
  2. ALL SANITARY SEWER AND LATERALS SHALL ABIDE BY SECTION 8 OF THE FITCHBURG STANDARD SPECIFICATIONS.



MARK	REVISION	DATE	BY
Engineer-SJA	Checked By: AJK	Scale: 1" = 20'	
Technician MW	Date: 02/15/2021	TR-RS: TBM-RS-15	
Project No: 117.0990.30			Sheet C 5.1

**FITCHBURG, WISCONSIN**

**NOTRE DAME DRIVE PLAN / PROFILE**

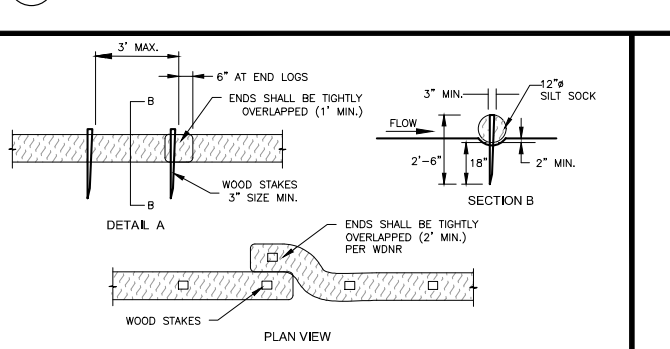
**SNYDER & ASSOCIATES, INC.**

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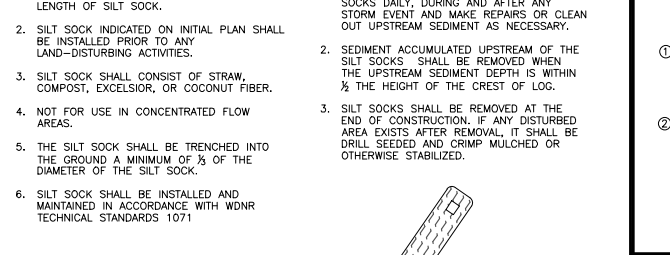




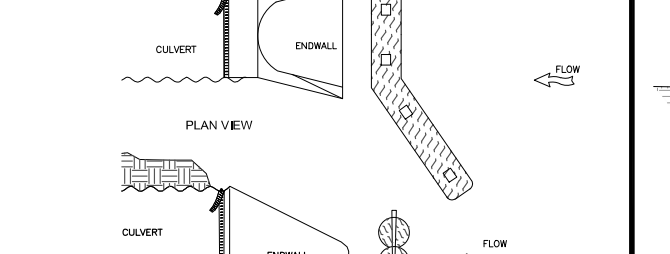
**1 CONSTRUCTION ENTRANCE DETAIL**  
SCALE: NTS



**2 SILT SOCK DETAIL**  
SCALE: NTS



**3 SILT FENCE DETAIL**  
SCALE: NTS



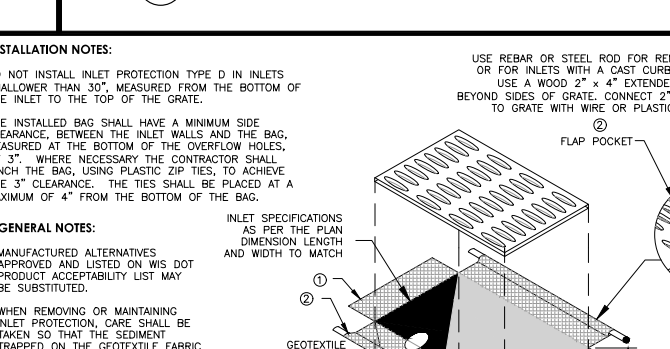
**4 INLET PROTECTION TYPE A & D DETAIL**  
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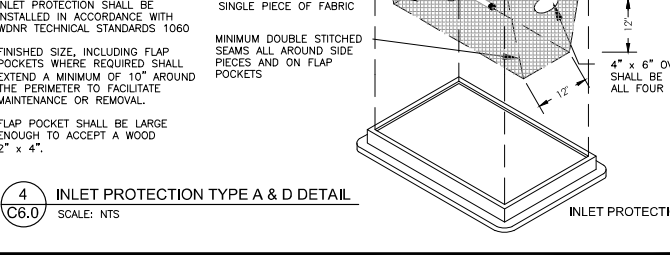
**5 STONE DITCH CHECK DETAIL**  
SCALE: NTS



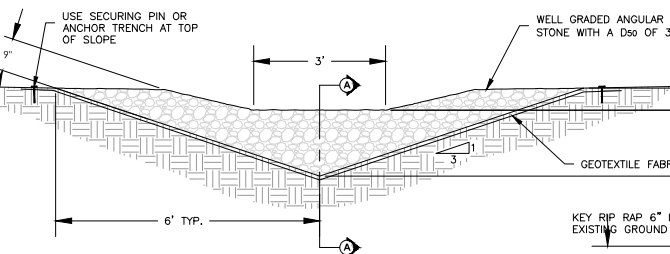
**6 EROSION CONTROL MAT - CHANNEL INSTALLATION**  
SCALE: NTS



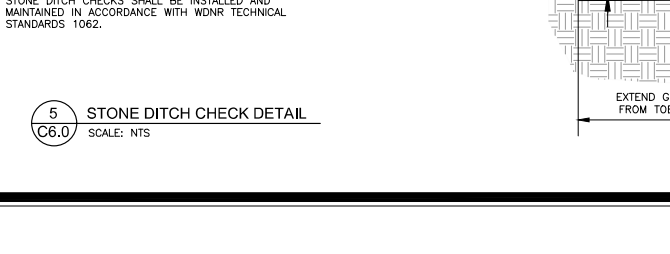
**7 EROSION CONTROL MAT - SLOPE INSTALLATION**  
SCALE: NTS



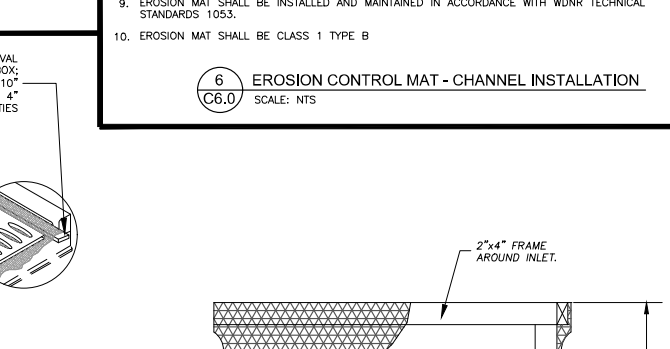
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SCALE: NTS



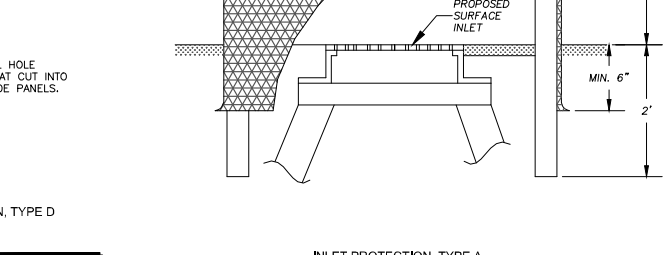
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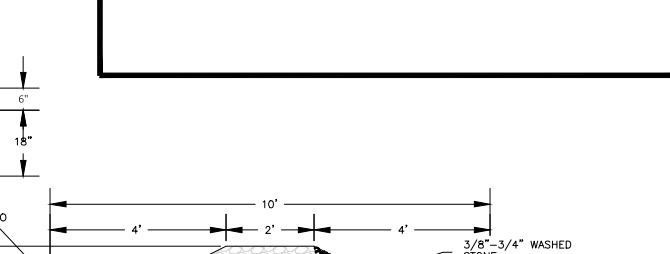
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SCALE: NTS



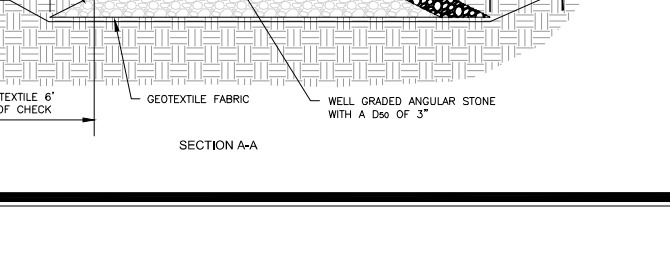
**11 EROSION CONTROL MAT - SLOPE INSTALLATION**  
SCALE: NTS



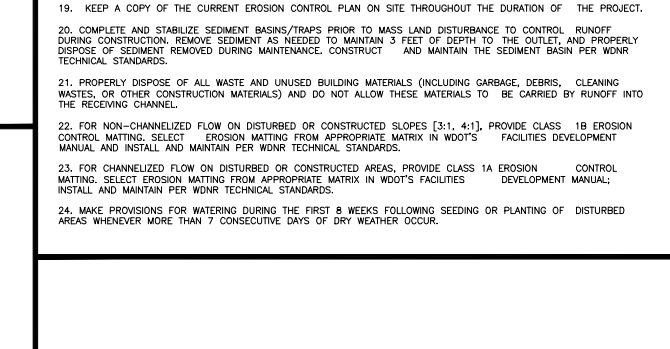
**12 EROSION CONTROL MAT - CHANNEL INSTALLATION**  
SCALE: NTS



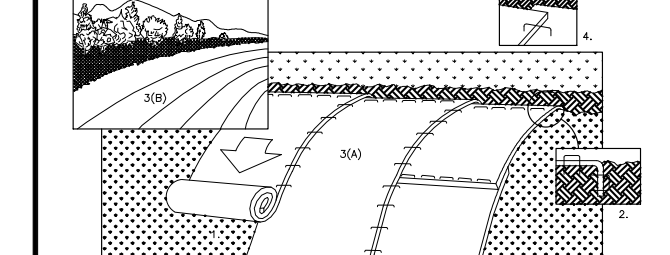
**13 EROSION CONTROL MAT - SLOPE INSTALLATION**  
SCALE: NTS



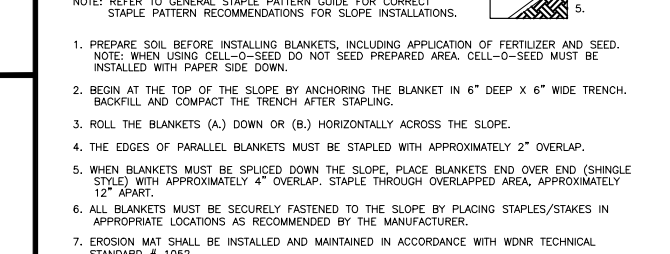
**14 CONSTRUCTION ENTRANCE DETAIL**  
SCALE: NTS



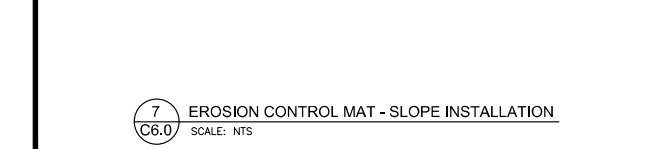
**15 SILT SOCK DETAIL**  
SCALE: NTS



**16 SILT FENCE DETAIL**  
SCALE: NTS



**17 INLET PROTECTION TYPE A & D DETAIL**  
SCALE: NTS



**18 STONE DITCH CHECK DETAIL**  
SCALE: NTS



**EROSION CONTROL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISDNR WDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
3. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD. FOUND AT: [https://dnr.wis.gov/topic/stormwater/standards/consul\\_standards.html](https://dnr.wis.gov/topic/stormwater/standards/consul_standards.html) OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES (WDNR) STANDARD. STANDARDIZATION 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL.
6. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
7. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
8. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
9. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT. MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
10. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO BE DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL AND/OR SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
12. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
13. DOUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
14. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
15. ALL SEEDING AREAS WILL BE FERTILIZED, RESEEDING AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
16. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR DOES NOT ALIENATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.
17. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.
18. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.
19. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
20. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARDS.
21. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
22. FOR NON-CANALIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES [3:1, 4:1], PROVIDE CLASS 1B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDNR'S FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.
23. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS 1A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDNR'S FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.
24. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

**REVISION**

NO.	DATE	BY
1	NTS	AJK

Checked By: AJK  
Date: 02/15/2021  
Technician: MWM

Project No: 17.0990.30  
Sheet C 6.0

**FITCHBURG, WISCONSIN**

5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
609-838-0444 | [www.stydrerassociates.com](http://www.stydrerassociates.com)

**EROSION CONTROL DETAILS**

**SNYDER & ASSOCIATES, INC.**

**EROSION CONTROL MAT - CHANNEL INSTALLATION**  
SCALE: NTS

**EROSION CONTROL MAT - SLOPE INSTALLATION**  
SCALE: NTS

**EROSION CONTROL MAT - CHANNEL INSTALLATION**  
SCALE: NTS

**EROSION CONTROL MAT - SLOPE INSTALLATION**  
SCALE: NTS

Project No: 17.0990.30  
Sheet C 6.0

**FITCHBURG TOWNHOMES**

**EROSION CONTROL DETAILS**

**SNYDER & ASSOCIATES, INC.**

**EROSION CONTROL MAT - CHANNEL INSTALLATION**  
SCALE: NTS

**EROSION CONTROL MAT - SLOPE INSTALLATION**  
SCALE: NTS

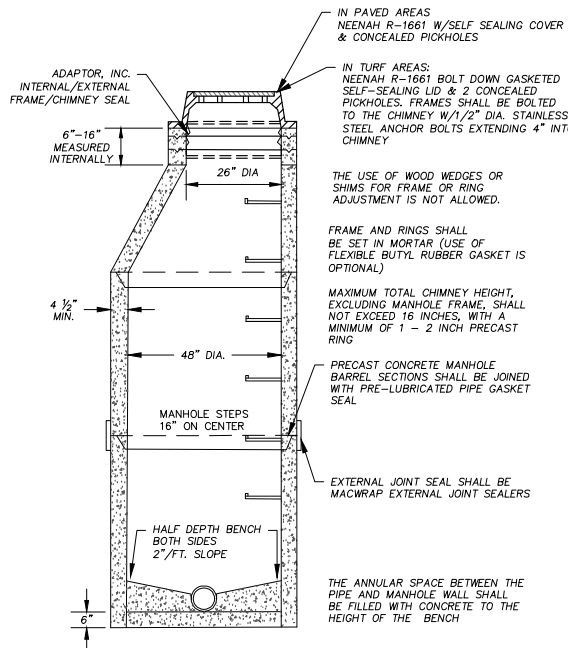
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SCALE: NTS

**EROSION CONTROL MAT - SLOPE INSTALLATION**  
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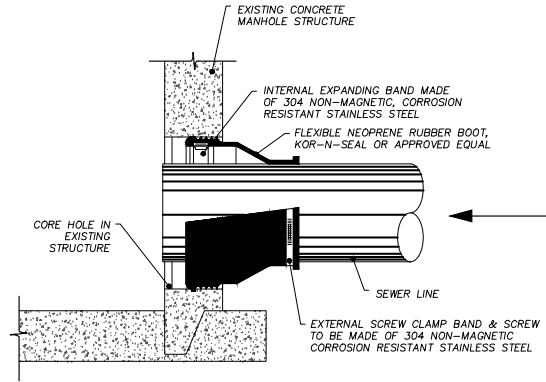
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SCALE: NTS

**EROSION CONTROL MAT - SLOPE INSTALLATION**  
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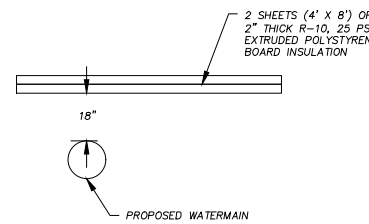
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Sheet C 6.0



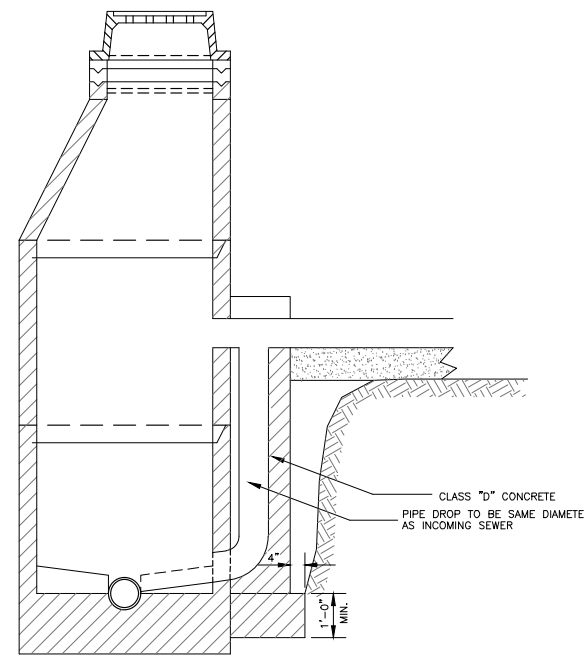
1 SANITARY MANHOLE DETAIL  
C6.1 SCALE: NTS



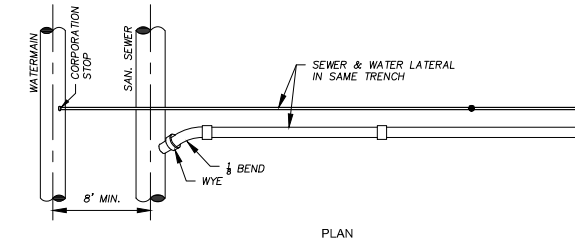
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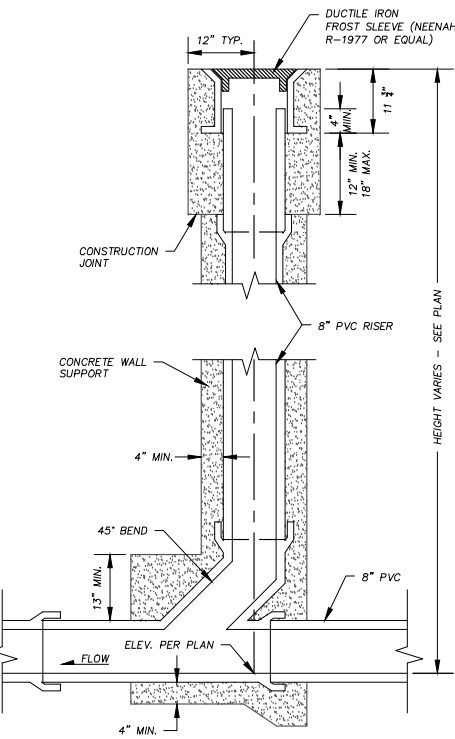
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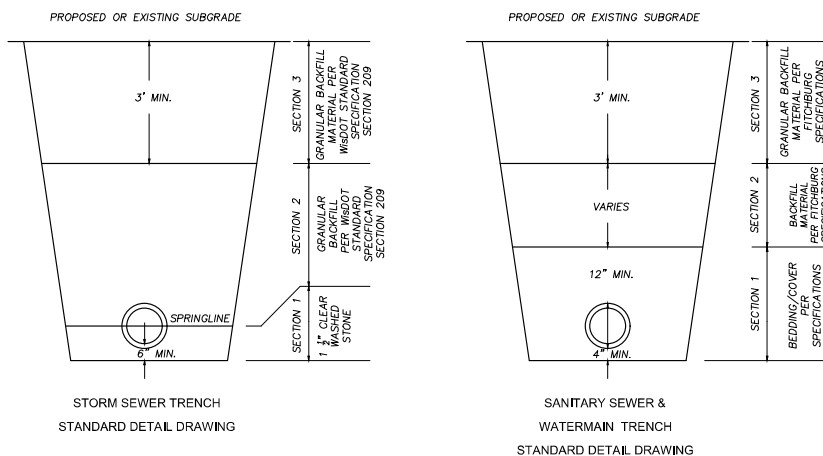
5 DROP MANHOLE DETAIL  
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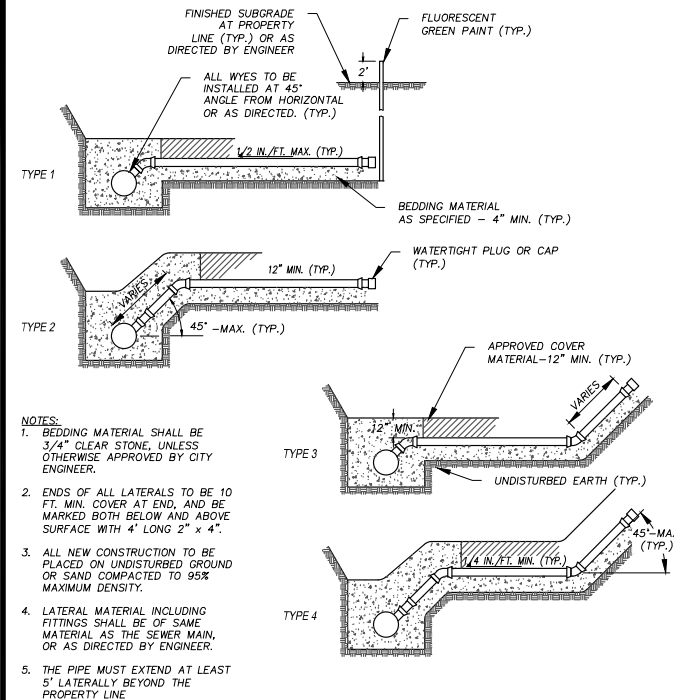
7 SEWER AND WATER CONNECTION DETAIL  
C6.1 SCALE: NTS



2 SANITARY CLEANOUT DETAIL  
C6.1 SCALE: NTS



4 UTILITY BEDDING DETAIL  
C6.1 SCALE: NTS



6 SANITARY SEWER DETAIL  
C6.1 SCALE: NTS

- SANITARY SEWER NOTES**
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
  - THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
  - ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
  - PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
  - MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS:  
SANITARY SEWER SHALL BE PVC IN ACCORDANCE WITH ASTM 3034, SDR-35 AND BEDDED WITH CLASS C BEDDING.  
BEDDING: 3/8" TO 1 1/2" CLEAR STONE  
COVER: 3/8" TO 1 1/2" CLEAR STONE
- TRACER WIRE SHALL BE INSTALLED WITH ALL NEW LATERALS.  
TRACER WIRE BOXES SHALL BE PROVIDED AND LOCATED 3.5' BEHIND THE BACK OF CURB. "SEWER" SHALL BE STAMPED IN THE LID OF THE ACCESS BOX.  
TRACER WIRE SHALL EXTEND TO THE RIGHT OF WAY.  
ALL LATERAL ENDS SHALL BE MARKED WITH A TREATED 4" X 4" POST AND THE TOP OF THE POST SHALL BE PAINTED GREEN. LATERAL END SHALL BE CAPPED WITH A GLUED ON CAP.  
LATERALS ARE NOT ALLOWED TO BE CONNECTED DIRECTLY INTO A MANHOLE.
- ALL SANITARY MANHOLE CASTINGS SHALL BE NEENAH R-1550 WITH TYPE B NON-ROCKING LIDS AND CONCEALED PICK HOLES.  
SANITARY MANHOLES SHALL HAVE EXTERNAL CHIMNEY SEALS.  
ALL MANHOLE JOINTS SHALL BE WRAPPED WITH GATOR WRAP OR APPROVED EQUAL.  
EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.  
ALL SANITARY SEWER MAINS WILL BE REQUIRED TO BE TELEVIEWED. 2 COPIES OF THE TELEVIEWING REPORT AND DVD SHALL BE PROVIDED TO THE PUBLIC SERVICES DIRECTOR. MANDRELL TESTING IS ALSO REQUIRED ON ALL SANITARY SEWER. LOW PRESSURE AIR TESTS ARE REQUIRED ON ALL SANITARY SEWER CONSTRUCTION.  
ALL MANHOLES INSTALLED OUTSIDE OF THE RIGHT-OF-WAY SHALL HAVE A RIM ELEVATION A MINIMUM OF 1' ABOVE THE PROPOSED GROUND AND BE MARKED WITH A TREATED 4" X 4" POST AND HAVE A SIGN WITH THE WORDS "SANITARY SEWER" ATTACHED TO THE POST.  
LATERAL DEPTH AT THE RIGHT-OF-WAY SHALL NOT EXCEED 12' WITHOUT PROPER JUSTIFICATION. VARIANCES FROM THIS MAP BE APPROVED BY THE PUBLIC SERVICES DIRECTOR.  
ADJUSTMENT RINGS SHALL HAVE A MINIMUM HEIGHT OF 4" AND A MAXIMUM HEIGHT OF 12". ADJUSTMENT RINGS SHALL BE POLYETHYLENE PLASTIC UNLESS OTHERWISE APPROVED.  
MAINTAIN A MINIMUM SEPARATION OF 8" OF HORIZONTAL SEPARATION BETWEEN WATER MAIN AND SANITARY SEWER. SANITARY MANHOLES SHALL BE CONSTRUCTED WITH STEPS.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL BE A MINIMUM OF 18-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.

MARK	REVISION	DATE	BY
Engineer-SJA	Checked By: AJK	11-NTS	
TechnicianMW	Checked By: AJK	11-NTS	
		Date: 02/15/2021	
		Project No: 117.0990.30	

FITCHBURG, WISCONSIN  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
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FITCHBURG TOWNHOMES  
SANITARY SEWER DETAILS

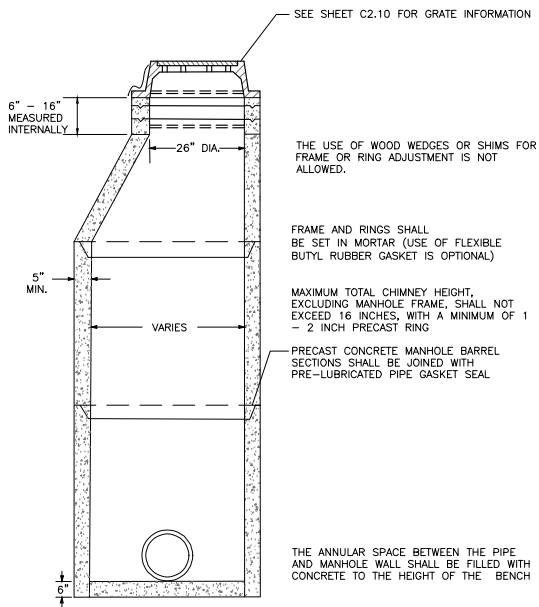


Project No: 117.0990.30

Sheet C 6.1

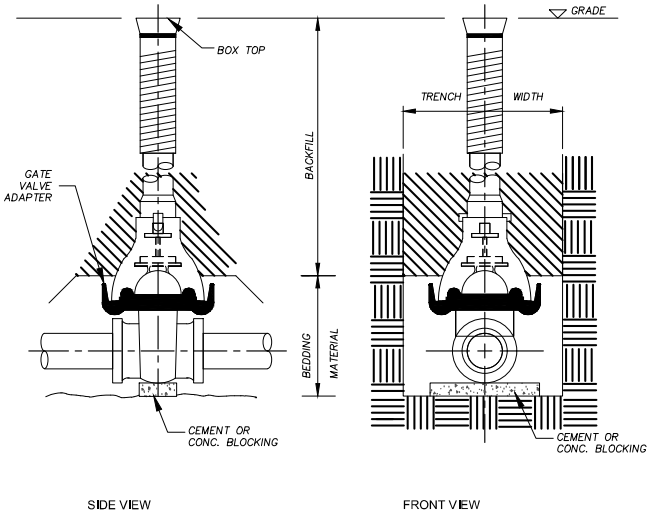
SNYDER & ASSOCIATES, INC.

Sheet C 6.1

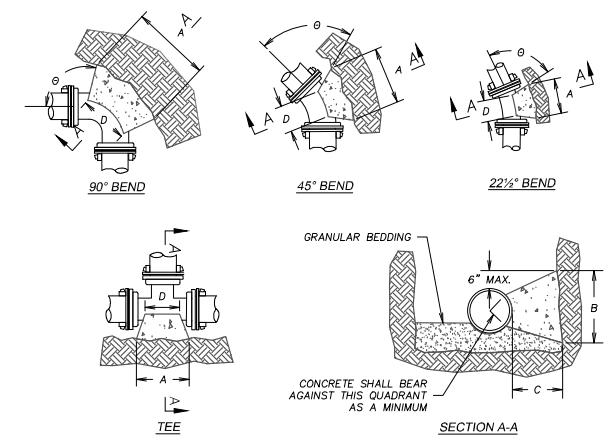


NOTES:  
 1. FOR STRUCTURES LESS THAN 5.0' DEEP A PRECAST REINFORCED CONCRETE FLATTOP IS REQUIRED.  
 WALL THICKNESS SHALL BE 5" FOR 48" MANHOLE AND 6" FOR 60" MANHOLE.

1 STORM SEWER MANHOLE DETAIL  
 SCALE: NTS



3 GATE VALVE BOX DETAIL  
 SCALE: NTS

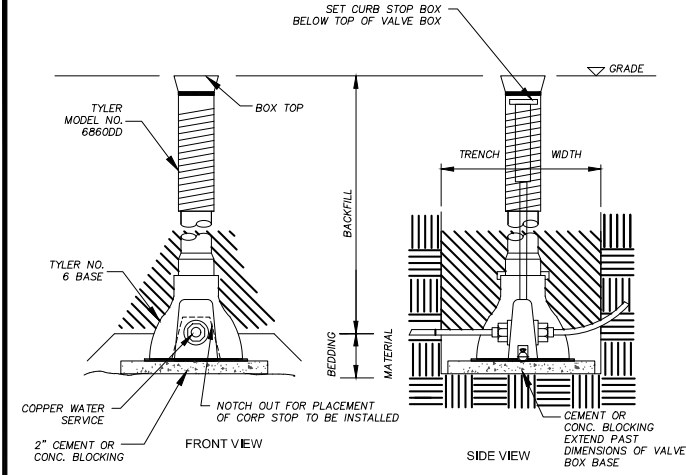


NOTES:  
 1. WOOD BLOCKING MAY NOT BE USED. ONLY SOLID CONCRETE BLOCKS ARE ALLOWED.  
 2. DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.  
 3. DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "θ" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.  
 4. CONCRETE SHALL BE CLASS "CC".  
 5. ALL BUTTRESSED JOINTS SHALL INCLUDE MEGALUGS AND CONCRETE BUTTRESSING.

PIPE SIZE	BUTTRESS DIMENSIONS							
	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
6	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10/12	2'-3"	2'-0"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"	

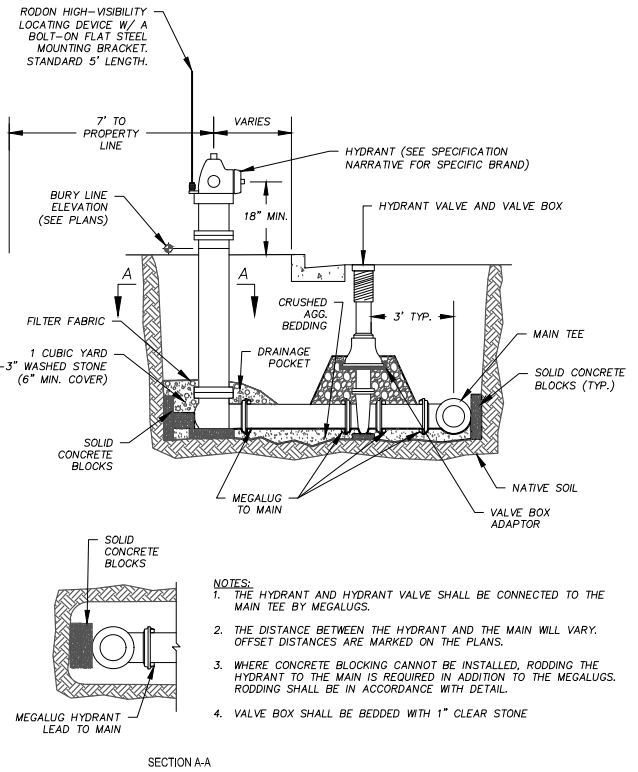
DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS./SQ.FT.  
 \* = FOR TEE THIS WILL BE THE BRANCH PIPE

5 BUTTRESS DETAIL  
 SCALE: NTS



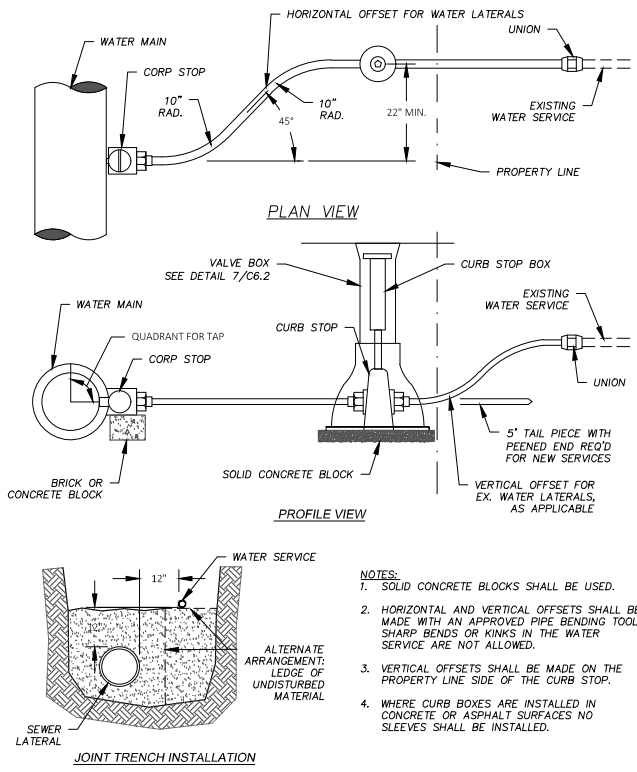
NOTES:  
 1. CONTRACTOR SHALL CONFIRM THAT THE CALLED OUT VALVE BOX MODEL WORKS WITH THE PROPOSED CURB BOX STOP SCHEMATIC AS SHOWN ABOVE.  
 2. 2" THICK CONCRETE BLOCK SHALL EXTEND PAST THE BASE BOX BY A MINIMUM OF 2" ON ALL SIDES.

7 WATER LATERAL CURB BOX  
 SCALE: NTS



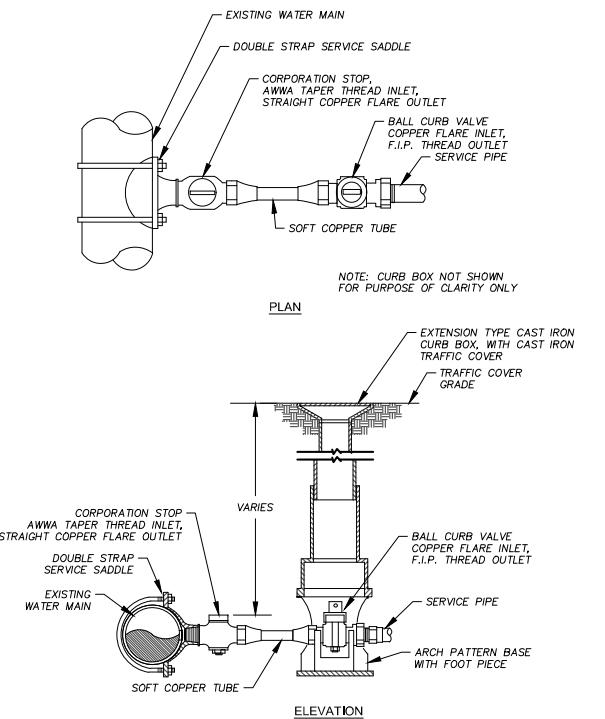
NOTES:  
 1. THE HYDRANT AND HYDRANT VALVE SHALL BE CONNECTED TO THE MAIN TEE BY MEGALUGS.  
 2. THE DISTANCE BETWEEN THE HYDRANT AND THE MAIN WILL VARY. OFFSET DISTANCES ARE MARKED ON THE PLANS.  
 3. WHERE CONCRETE BLOCKING CANNOT BE INSTALLED, RODDING THE HYDRANT TO THE MAIN IS REQUIRED IN ADDITION TO THE MEGALUGS. RODDING SHALL BE IN ACCORDANCE WITH DETAIL.  
 4. VALVE BOX SHALL BE BEDDED WITH 1" CLEAR STONE

2 STANDARD HYDRANT DETAIL  
 SCALE: NTS



NOTES:  
 1. SOLID CONCRETE BLOCKS SHALL BE USED.  
 2. HORIZONTAL AND VERTICAL OFFSETS SHALL BE MADE WITH AN APPROVED PIPE BENDING TOOL. SHARP BENDS OR KINKS IN THE WATER SERVICE ARE NOT ALLOWED.  
 3. VERTICAL OFFSETS SHALL BE MADE ON THE PROPERTY LINE SIDE OF THE CURB STOP.  
 4. WHERE CURB BOXES ARE INSTALLED IN CONCRETE OR ASPHALT SURFACES NO SLEEVES SHALL BE INSTALLED.

4 WATER SERVICE INSTALLATION DETAIL  
 SCALE: NTS



6 WATER MAIN CONNECTION DETAIL  
 SCALE: NTS

**WATER / STORM SEWER NOTES**

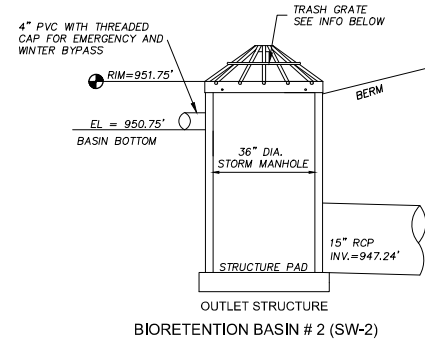
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND PER CITY OF FITCHBURG STANDARD SPECIFICATIONS.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
- MATERIALS FOR WATER SERVICE SHALL BE AS FOLLOWS:  
 WATER MAIN SHALL BE DUCTILE IRON IN ACCORDANCE WITH AWWA C-151 AND MINIMUM SPECIAL THICKNESS CLASS 52 AND A RATED WORKING PRESSURE OF 350 PSI. ALL MAINS SHALL BE A MINIMUM OF 8" IN DIAMETER WITH THE EXCEPTION OF HYDRANT LEADS THAT SHALL BE 6".  
 WATER MAINS SHALL HAVE A MINIMUM COVER OF 6.5'.  
 ALL WATER MAINS ARE REQUIRED TO BE LOOPED.  
 MECHANICAL JOINT FITTINGS IN ACCORDANCE WITH AWWA C-110 ARE REQUIRED FOR ALL FITTINGS.  
 FIRE HYDRANTS SHALL BE LOCATED 3.5' BEHIND THE BACK OF CURB AND HYDRANT VALVES SHALL BE PLACED IN THE STREET.  
 A FIRE HYDRANT WILL BE REQUIRED AT THE END OF ALL DEAD END LINES.  
 FIRE HYDRANTS SHALL BE WATEROUS PACER WB67 WITH A 36 INCH ORANGE SLIMLINE FIT FIRE HYDRANT MARKER MADE BY FLEXSTAKE INC. MODEL NO. SFH-3.  
 CURB BOXES SHALL BE ARCH PATTERN WITH 1-1/4" UPPER SECTION - TYPE PL LID STATIONARY ROD OR EQUAL MUELLER PATTERN FOR STANDARD 6.5' DEPTH. PART #H10385  
 CURB VALVES SHALL BE MUELLER H15209.  
 WATER SERVICES 4" OR GREATER SHALL HAVE VALVES LOCATED IN THE STREET.  
 ALL LATERAL/WATER SERVICE ENDS SHALL BE MARKED WITH A TREATED 4" X 4" POST AND THE TOP OF THE POST SHALL BE PAINTED BLUE.  
 EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE CITY ENGINEER SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.
- STORM SEWER AND STORMWATER MANAGEMENT SHALL BE AS FOLLOWS:  
 STORM SEWER SHALL BE HDPE WITH TRACER WIRE.  
 STORM SEWER PIPE BEDDING SHALL BE GRADATION 1, 2, OR 3 PER THE CITY OF SUN PRAIRIE STANDARD SPECIFICATIONS.  
 STORM SEWER THAT DOES NOT MEET A MINIMUM COVER OF 4' SHALL BE INSULATED.  
 EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE VILLAGE ENGINEER SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.
- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- A MAXIMUM OF 9" OF ADJUSTING RINGS IS ALLOWED AND A MINIMUM OF 4" IS REQUIRED. ADJUSTMENTS TO INLETS AND MANHOLES MAY REQUIRE ADDITIONAL WORK INCLUDING BUT NOT LIMITED TO: ADDING, REMOVING, AND/OR REPLACING MANHOLE/INLET BARREL SECTIONS TO MEET THE CITY STANDARDS FOR MINIMUM AND MAXIMUM ADJUSTMENTS.
- NEW CHIMNEY SEALS WILL BE REQUIRED IF EXISTING CHIMNEY SEALS ARE DAMAGED DURING MANHOLE ADJUSTMENT.

REVISION	DATE	BY
1	02/15/2021	AJK

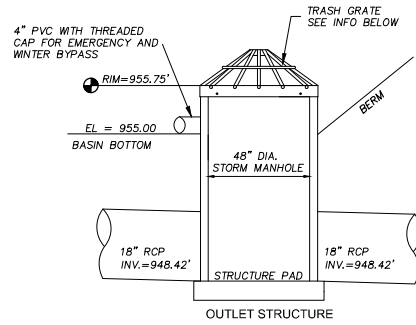
Checked By: AJK  
 Date: 02/15/2021  
 Engineer: SJA  
 Technician: MW  
 Project No: 17.0990.30

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 5010 VOGES ROAD  
 MADISON, WISCONSIN 53718  
 609-838-0444 | www.stydrassociates.com

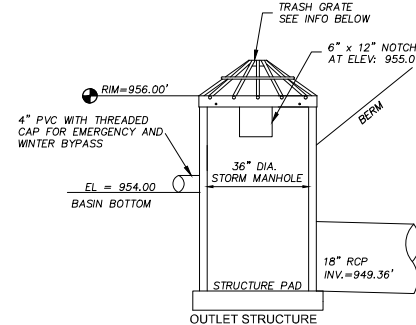
FITCHBURG TOWNHOMES  
 UTILITY DETAILS  
**SNYDER & ASSOCIATES, INC.**  
 SNYDER & ASSOCIATES  
 Project No: 117.0990.30  
 Sheet C 6.2



BIORETENTION BASIN # 2 (SW-2)

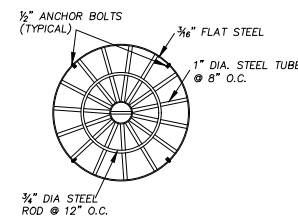


BIORETENTION BASIN # 3 (SW-3)



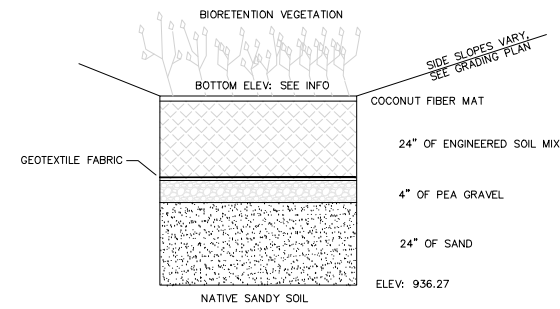
BIORETENTION BASIN # 4 (SW-4)

1 BIORETENTION DETAILS  
SCALE: NTS



- NOTES:
- EACH GRATE IS WIRE BRUSHED AND CLEANED THOROUGHLY PRIOR TO PAINTING
  - EACH COAT IS AN OVERALL COAT EACH COAT IS ALLOWED TO DRY FOR 24 HOURS MIN.
  - FIRST COAT: RUST-OLEUM X-60 RED BARE METAL PRIMER OR EQUAL
  - SECOND COAT: RUST-OLEUM 960 ZINC CHROMATE PRIMER OR EQUAL
  - THIRD COAT: RUST-OLEUM 1282 HIGH GLOSS AND METALLIC FINISH OR EQUAL
  - GALVANIZED AND EPOXY COATED GRATES ALSO AVAILABLE AS SPECIFIED
  - PIPE GRATES ARE ALSO AVAILABLE FOR APRON ENDWALLS

2 BIORETENTION OVERFLOW GRATE DETAILS  
SCALE: NTS



BIORETENTION INFORMATION

- SW-2 = 900 SQ FT BOTTOM, BOTTOM ELEV: 950.75'
- SW-3 = 675 SQ FT BOTTOM, BOTTOM ELEV: 955.00'
- SW-4 = 2,650 SQ FT BOTTOM, BOTTOM ELEV: 954.00'

BIORETENTION NOTES

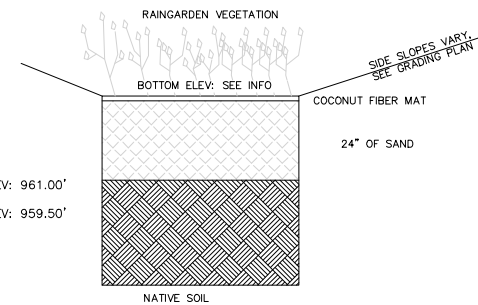
- BIORETENTION SHALL CONFORM TO WIS. DNR TECH STANDARD 1004.
- ENGINEERED SOIL SHALL CONSIST OF 70%-85% SILICA SAND AND 15%-30% COMPOST WITH A PH OF 5.5-6.5
- BIORETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 3 FEET MINIMUM AND THEN THE SAND LAYER AND ENGINEERED SOIL SHALL BE PLACED TO WITHIN THREE INCHES OF FINAL GRADE.
- SPECIFIC SPECIES OF PLANTS SHALL BE NATIVE TO THE STATE OF WISCONSIN AND BE ABLE TO WITHSTAND SATURATED SOIL CONDITIONS.  
PLANT SPECIES SHALL BE SELECTED FROM THE FOLLOWING LIST:  
FORBES: MARSH MILKWEED, HEATH ASTER, NEW ENGLAND ASTER, WILD WHITE INDIGO, SPOTTED JOE PYE WEED, BONESET PRAIRIE BLAZING STAR, MARSH BLAZING STAR, CARDINAL FLOWER, GREAT BLUE LOBELIA, WILD BERGAMOT, OBEDIENT PLANT, MOUNTAIN MINT, YELLOW CONEFLOWER, BLACK-EYED SUSAN, SWEET BLACK-EYED SUSAN, OHIO GOLDENROD, SPIDERWORT, BLUE VERVAIN AND IRONWEED.  
GRASSES, SEDGES & RUSHES: FRINGED BROME, BLUE JOINT GRASS, BEBB-S SEDGE CRAWFORD'S SEDGE FRINGED SEDGE, COMMON FOX SEDGE, CANADA WILD RYE, VIRGINIA WILD RYE, REED MANNA GRASS, SWITCH GRASS, DARK-GREEN BULLRUSH, WOOL GRASS, INDIAN GRASS, PRAIRIE CORD GRASS.
- LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY CONSULTANT OR ENGINEER. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- ALL PLANTED MATERIALS WILL BE WARRANTED BY INSTALLATION CONTRACTOR TO BE IN HEALTHY CONDITION WITH A REPLACEMENT GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF PLANTING.
- NATIVE PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR PROJECT ENGINEER WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
- PLANTS SHALL BE PLANTED IN THE BIORETENTION AREA AT A MINIMUM OF ONE PLANT PER EVERY SQUARE FOOT.
- UPON COMPLETION OF EXCAVATING & GRADING OPERATIONS, A LOOSE, FRIABLE SEEDBED SHALL BE PREPARED FOR INSTALLATION OF LIVE PLANTS.
- CARE SHALL BE TAKEN TO MINIMIZE SOIL COMPACTION DURING CONSTRUCTION ACTIVITY. BY EXAMPLE OF A STANDARD SOIL PENETROMETER (COMPACTION THE TOPSOIL COMPACTION READINGS SHALL BE LESS THAN 200 PSI AT THE 0-6 INCH DEPTH AND LESS THAN 250 PSI AT THE 6-18 INCH DEPTHS IN ALL AREAS TO BE SEEDED.
- UNDULATIONS OR IRREGULARITIES IN THE PLANTING BED WHICH WOULD INTERFERE WITH A CONSISTENT PLANTING OPERATION SHALL BE LEVELED PRIOR TO FINAL SEEDING.
- FINAL BED SHOULD BE GRADED SUCH THAT THE AREAS TO BE PLANTED CONSIST OF A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE POROUS TEXTURE.
- ALL PLANTED MATERIALS WILL BE WARRANTED BY INSTALLATION CONTRACTOR TO BE IN HEALTHY CONDITION WITH A REPLACEMENT GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF PLANTING.

RAIN GARDEN INFORMATION

- RG 1 = 115 SQ FT BOTTOM, 12" PONDING, BOTTOM ELEV: 961.00'
- RG 2 = 115 SQ FT BOTTOM, 12" PONDING, BOTTOM ELEV: 959.50'

RAIN GARDEN NOTES

- RAIN GARDENS SHALL NOT BE USED SEDIMENT TRAPS DURING CONSTRUCTION. RAIN GARDENS SHALL BE OFFLINE UNTIL THE RECEIVING WATERSHED HAS BEEN ESTABLISHED AND STABILIZED.
- PLANT GARDEN WITH SPECIFIC SPECIES OF PLANTS SHALL BE NATIVE TO THE STATE OF WISCONSIN AND BE ABLE TO WITHSTAND SATURATED SOIL CONDITIONS.
- LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY CONSULTANT OR ENGINEER. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- ALL PLANTED MATERIALS WILL BE WARRANTED BY INSTALLATION CONTRACTOR TO BE IN HEALTHY CONDITION WITH A REPLACEMENT GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF PLANTING.
- NATIVE PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR PROJECT ENGINEER WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
- PLANTS SHALL BE PLANTED IN THE RAIN GARDEN AREA AT A MINIMUM OF ONE PLANT PER EVERY TWO SQUARE FEET.
- UPON COMPLETION OF EXCAVATING & GRADING OPERATIONS, A LOOSE, FRIABLE SEEDBED SHALL BE PREPARED FOR INSTALLATION OF LIVE PLANTS.
- CARE SHALL BE TAKEN TO MINIMIZE SOIL COMPACTION DURING CONSTRUCTION ACTIVITY. BY EXAMPLE OF A STANDARD SOIL PENETROMETER (COMPACTION TESTER), THE TOPSOIL COMPACTION READINGS SHALL BE LESS THAN 200 PSI AT THE 0-6 INCH DEPTH AND LESS THAN 250 PSI AT THE 6-18 INCH DEPTHS IN ALL AREAS TO BE SEEDED.
- UNDULATIONS OR IRREGULARITIES IN THE PLANTING BED WHICH WOULD INTERFERE WITH A CONSISTENT PLANTING OPERATION SHALL BE LEVELED PRIOR TO FINAL PLANTING.
- FINAL BED SHOULD BE GRADED SUCH THAT THE AREAS TO BE PLANTED CONSIST OF A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE POROUS TEXTURE.



3 RAIN GARDEN SECTION  
SCALE: NTS

BY	DATE	REVISION
Checked By: AJK	Date: 02/15/2021	Scale: 1" = 10'
Engineer: SJA	Technician: MW	Project No: 117.0990.30
Sheet C 6.3		

**FITCHBURG, WISCONSIN**

**BIO-RETENTION DETAILS**

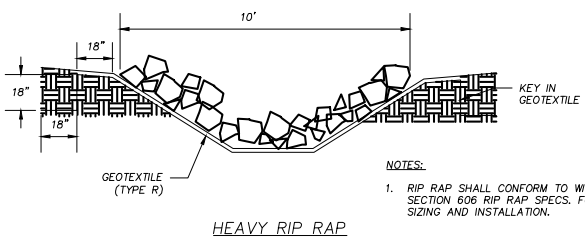
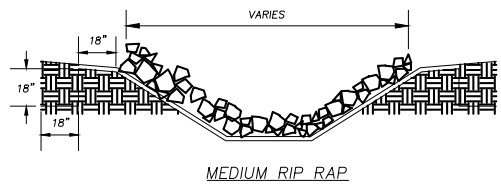
**SNYDER & ASSOCIATES, INC.**

5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-9444 | www.snyder-associates.com

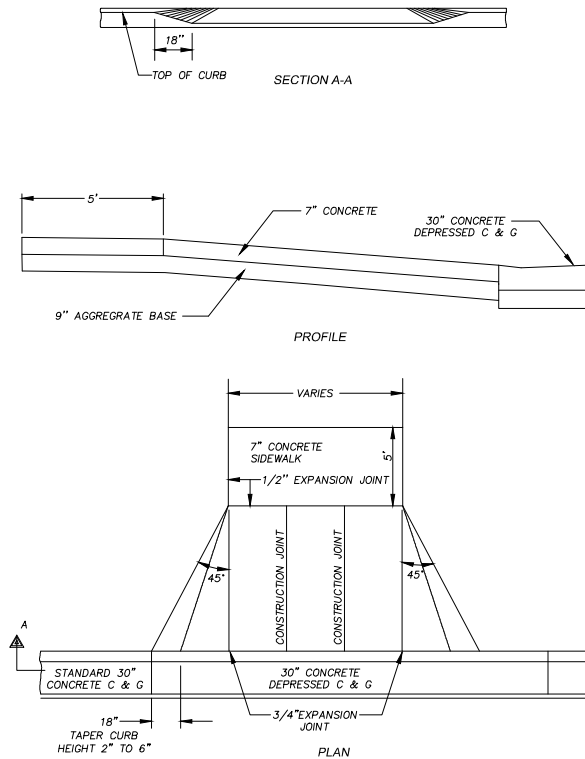
**SNYDER & ASSOCIATES**

Project No: 117.0990.30  
Sheet C 6.3

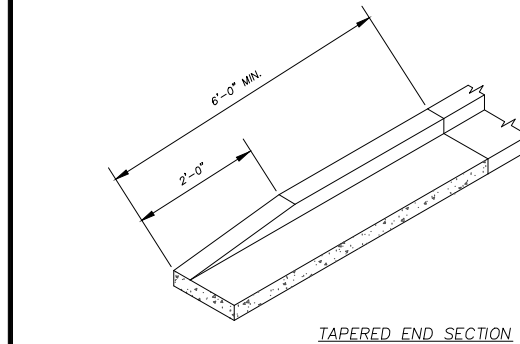
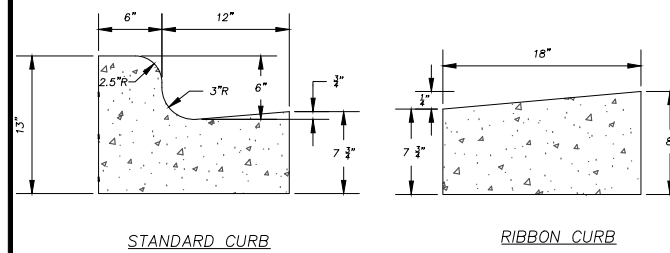
W:\Projects\2017\170990\30\CD\170990-30\BIODETAILS-C6.3\BIODETAILS-C6.3.dwg (A) ALEXANDER KEENE - 11/26/2019 10:54 AM (ARCH-FULL BLEED) (12x24) (X,3600 TICKETS)



1 RIPRAP CHANNEL DETAIL  
SCALE: NTS

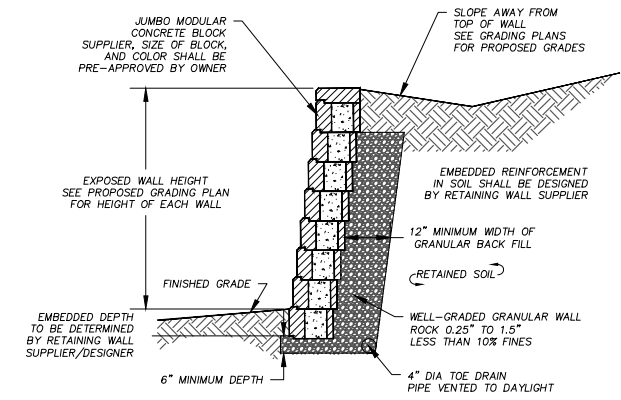


3 COMMERCIAL DRIVEWAY DETAIL  
SCALE: NTS

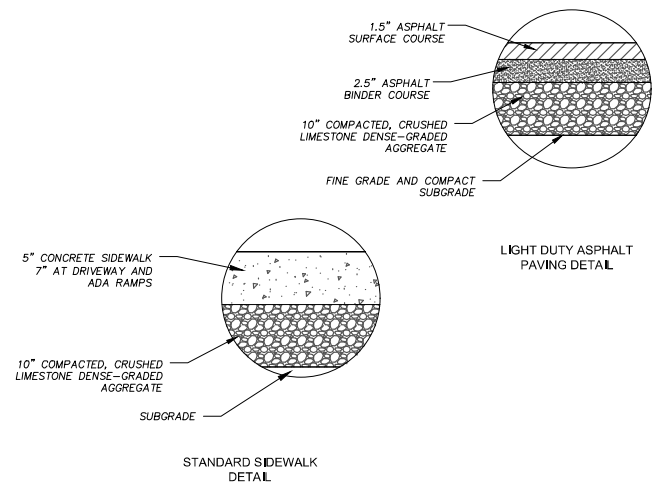


NOTES:  
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.  
2. THE EXPANSION JOINT SHALL BE A ONE-PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

5 CONCRETE CURB & GUTTER  
SCALE: NTS



6 LARGE BLOCK RETAINING WALL DETAILS  
SCALE: NTS



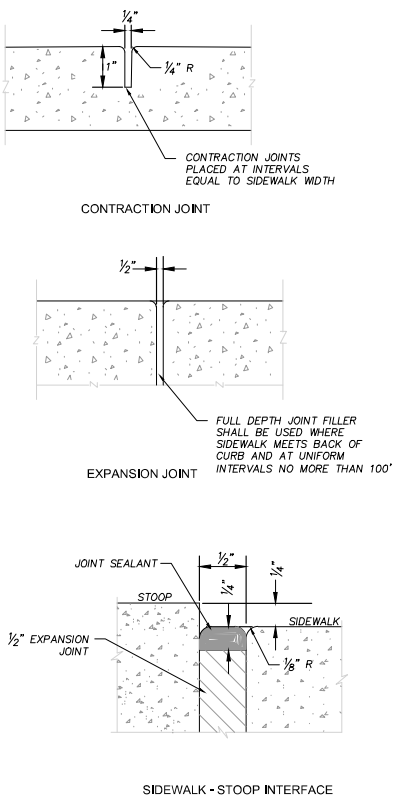
7 PAVEMENT / SIDEWALK DETAIL  
SCALE: NTS

PAVEMENT AND CURB NOTES

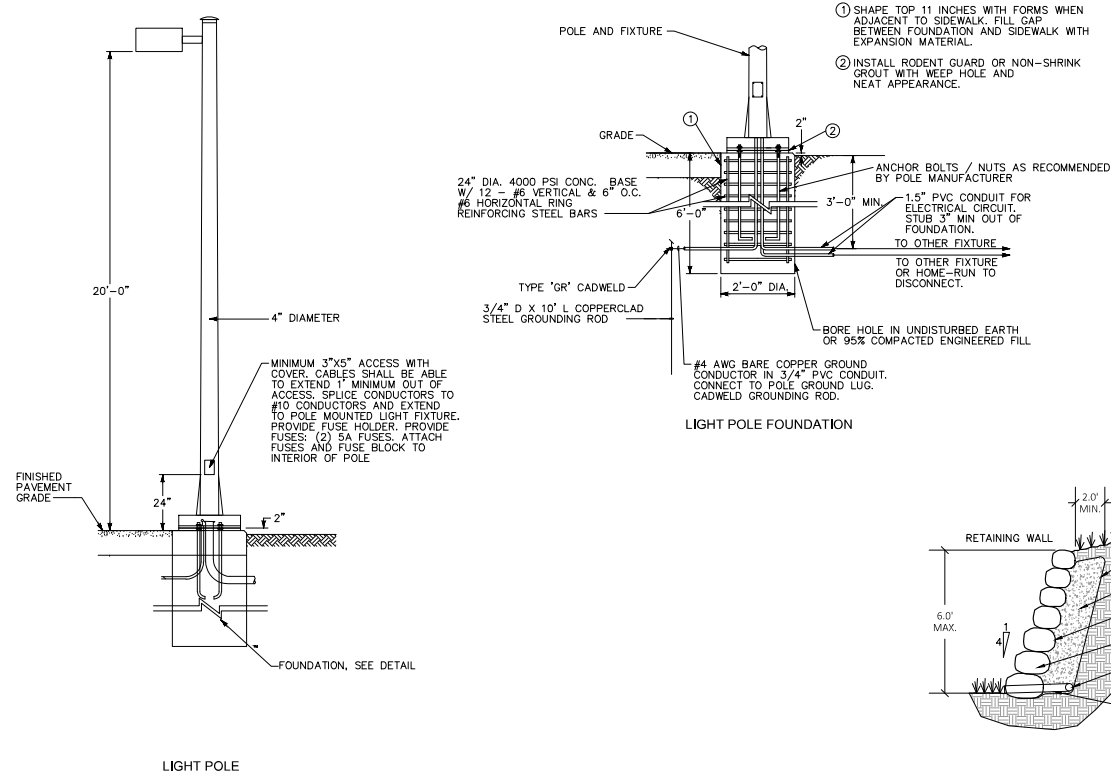
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (1-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE SUPERPAVE (E-\*\*) IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
- ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE PG(\*\*\*), AND LOWER LAYERS SHALL BE PG(\*\*\*).
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (\*\*\*\*), AND THE LOWER LAYER PAVEMENT SHALL BE (\*\*\*\*).
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINMENT IN ACCORDANCE WITH SECTION 501 OF THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:  
SECTION 415 FOR CONCRETE PAVEMENT  
SECTION 601 FOR CONCRETE CURB AND GUTTER  
SECTION 602 FOR CONCRETE SIDEWALKS.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:  
PARKING STALLS: WHITE  
PEDESTRIAN CROSSWALKS: WHITE  
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW  
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE  
ADA SYMBOLS: BLUE OR PER LOCAL CODE  
FIRE LANES: PER LOCAL CODE  
EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW

NOTE: PAVEMENT SHALL BE DESIGNED BY GEOTECHNICAL ENGINEER. MISSING INFORMATION ABOVE, DESIGNATED WITH (\*), SHALL BE FILLED IN PER GEOTECHNICAL REPORT. CAUTION: INFORMATION BELOW SHALL BE USED ONLY AS A GUIDE.  
\* DENSE GRADED BASE GRADATIONS: 3-INCH, 1 1/4-INCH, OR 3/4-INCH (TYPICALLY 1 1/4-INCH)  
\*\* HMA SUPERPAVE TYPES: E-0.3, E-1, E-3, E-10, E-30 (TYPICALLY E-0.3 OR E-1 FOR MOST RESIDENTIAL AND COMMERCIAL PROJECTS)  
\*\*\* PG BINDERS:  
64-22 BASIC ASPHALT, TYPICALLY USED FOR PARKING LOTS  
58-28 RECOMMENDED FOR OVERLAY PROJECTS  
64-28 POLYMER ADDED, HIGH COST ASPHALT, LARGEST RANGE OF TEMP.  
UPPER LAYER PG64-28, PG64-22, OR PG58-28  
LOWER LAYER PG64-22 (IF UPPER LAYER IS PG64-xx OR HIGHER), OR PG58-28  
\*\*\*\* HMA AGGREGATE GRADATIONS: 37.5 MM, 25.0 MM, 19.0 MM, 12.5 MM, 9.5 MM (TYPICALLY 12.5 MM FOR UPPER LAYER, 19.0 MM FOR LOWER LAYER)

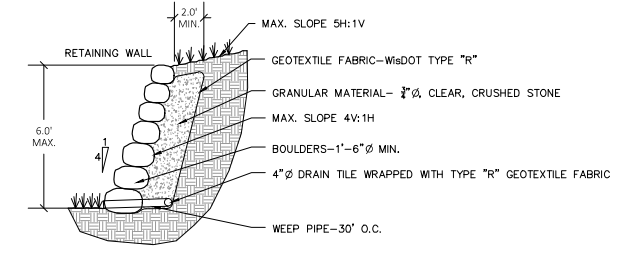
8 BOULDER RETAINING WALL DETAILS  
SCALE: NTS



2 STANDARD SIDEWALK DETAILS  
SCALE: NTS



4 LIGHT POLE & FOUNDATION DETAIL  
SCALE: NTS



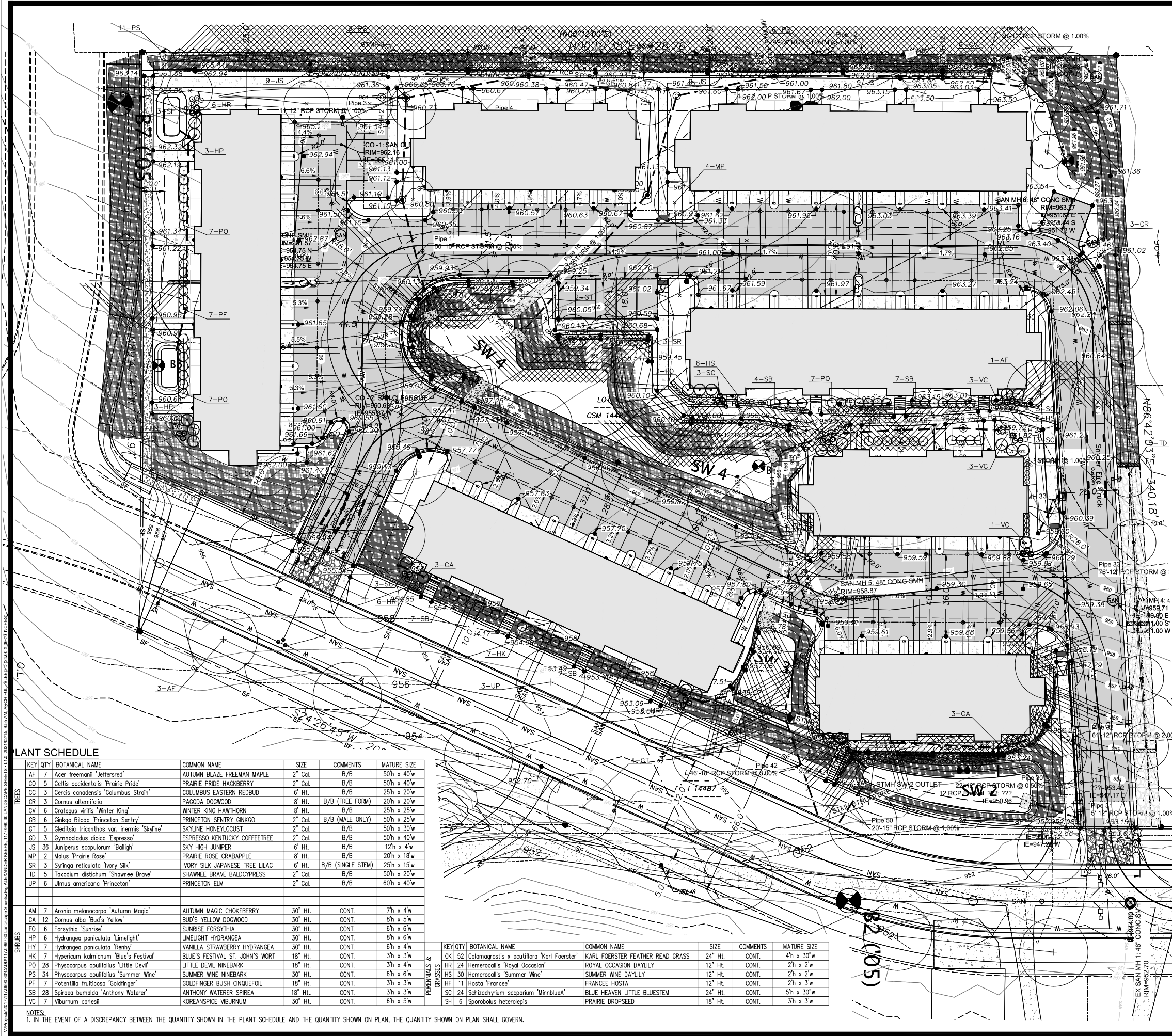
BY	DATE	REVISION	MARK
Checked By: AJK	Date: 02/15/2021	Engineer: SJA	Technician: MW
Scale: 1" = 10'	Project No: 17.0990.30		
			Sheet C 6.4

FITCHBURG, WISCONSIN  
5010 VOGES ROAD  
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FITCHBURG TOWNHOMES  
SITE DETAILS  
SNYDER & ASSOCIATES, INC.

Project No: 117.0990.30  
Sheet C 6.4





**PLANTING PLAN GENERAL NOTES**

- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.
- E. CONTRACTOR SHALL PROPERLY CARE FOR ALL PLANT MATERIAL DURING CONSTRUCTION AND FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE.
- F. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANT MATERIAL TO A MINIMUM OF 3-FOOT PERIMETER. PROVIDE CONTINUOUS MULCH BEDS IN AREAS INDICATED ON PLAN AND AROUND ALL SHRUB BEDS. DO NOT PLACE MULCH WITHIN 2-INCHES OF ROOT COLLAR OR TRUNK. CONTRACTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4" DEPTH INTO EXISTING GRADE TO DEFINE THE MULCH BED LIMITS, UNLESS OTHERWISE DIRECTED BY OWNER.
- G. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- H. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.
- I. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- J. TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
- K. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE PLANT MATERIAL PRIOR TO PLANTING AND SEEDBED PREPARATION PRIOR TO SEEDING.
- L. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 10 FEET FROM FIRE HYDRANTS AND UTILITY LINES, UNLESS OTHERWISE DIRECTED BY ENGINEER. ALL TREES SHALL BE PLANTED A MINIMUM DISTANCE OF 4 FEET FROM ALL PAVEMENTS.
- M. PLANT SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**PLANT SCHEDULE**

KEY QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
AF 7	<i>Acer freemanii</i> 'Jeffersred'	AUTUMN BLAZE FREEMAN MAPLE	2" Cal.	B/B	50'h x 40'w
CO 5	<i>Celtis occidentalis</i> 'Prairie Pride'	PRAIRIE PRIDE HACKBERRY	2" Cal.	B/B	50'h x 40'w
CC 3	<i>Cercis canadensis</i> 'Columbus Strain'	COLUMBUS EASTERN REDBUD	6" HL	B/B	25'h x 20'w
CR 3	<i>Cornus alternifolia</i>	PAGODA DOGWOOD	8" HL	B/B (TREE FORM)	20'h x 20'w
CV 6	<i>Crataegus viridis</i> 'Winter King'	WINTER KING HAWTHORN	8" HL	B/B	25'h x 25'w
GB 6	<i>Ginkgo Biloba</i> 'Princeton Sentry'	PRINCETON SENTRY GINKGO	2" Cal.	B/B (MALE ONLY)	50'h x 25'w
GT 5	<i>Gleditsia tricanthos</i> var. 'inermis' 'Skyline'	SKYLINE HONEYLOCUST	2" Cal.	B/B	50'h x 30'w
GD 3	<i>Gymnocladia dioica</i> 'Espresso'	ESPRESSO KENTUCKY COFFEE TREE	2" Cal.	B/B	50'h x 40'w
JS 36	<i>Juniperus scopulorum</i> 'Baileigh'	SKY HIGH JUNIPER	6" HL	B/B	12'h x 4'w
MP 2	<i>Malus</i> 'Prairie Rose'	PRAIRIE ROSE CRABAPPLE	8" HL	B/B	20'h x 18'w
SR 3	<i>Syringa reticulata</i> 'Ivory Silk'	IVORY SILK JAPANESE TREE LILAC	6" HL	B/B (SINGLE STEM)	25'h x 15'w
TD 5	<i>Taxodium distichum</i> 'Shawnee Brave'	SHAWNEE BRAVE BALD CYPRESS	2" Cal.	B/B	50'h x 20'w
UP 6	<i>Ulmus americana</i> 'Princeton'	PRINCETON ELM	2" Cal.	B/B	60'h x 40'w

KEY QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE
CK 52	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	24" HL	CONT.	4'h x 30'w
HR 24	<i>Hemerocallis</i> 'Royal Occasion'	ROYAL OCCASION DAYLILY	12" HL	CONT.	2'h x 2'w
HS 30	<i>Hemerocallis</i> 'Summer Wine'	SUMMER WINE DAYLILY	12" HL	CONT.	2'h x 2'w
HF 11	<i>Hosta</i> 'Frances'	FRANCEE HOSTA	12" HL	CONT.	2'h x 3'w
SC 24	<i>Schizanthus luteus</i> 'Minnblue'	BLUE HEAVEN LITTLE BLUESTEM	24" HL	CONT.	5'h x 30'w
SH 6	<i>Sporobolus heterolepis</i>	PRAIRIE DROPS EED	18" HL	CONT.	3'h x 3'w

NOTES:  
1. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY SHOWN IN THE PLANT SCHEDULE AND THE QUANTITY SHOWN ON PLAN, THE QUANTITY SHOWN ON PLAN SHALL GOVERN.

MARK	REVISION	DATE	BY
Engineer-SJA	Checked By: AJK	Scale: 1" = 20'	TR-S: TBN-R9E-S15
Technician-MW	Date: 02/15/2021		Project No: 117.0990.30

**FITCHBURG, WISCONSIN**

**LANDSCAPE PLAN**

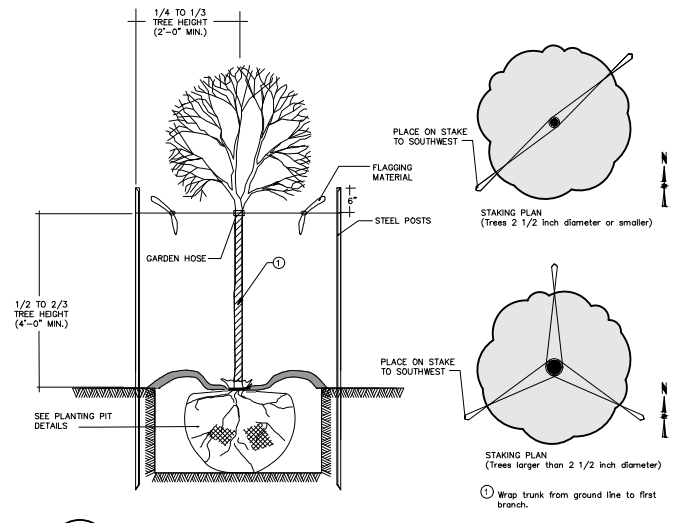
**SNYDER & ASSOCIATES, INC.**

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MADISON, WISCONSIN 53718  
608-338-0444 | www.snyder-associates.com

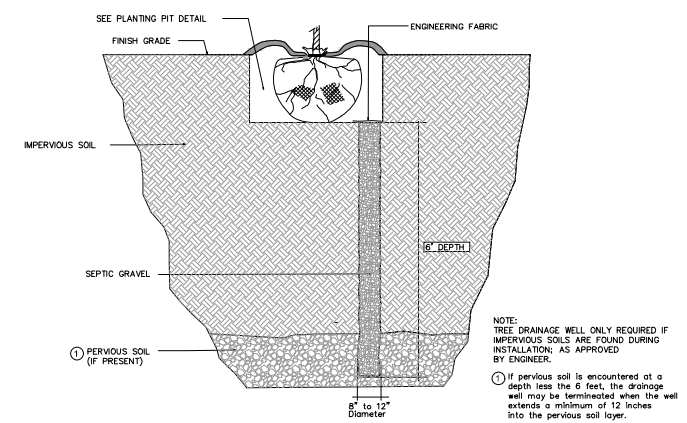
**811**  
Know what's below.  
Call before you dig.

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

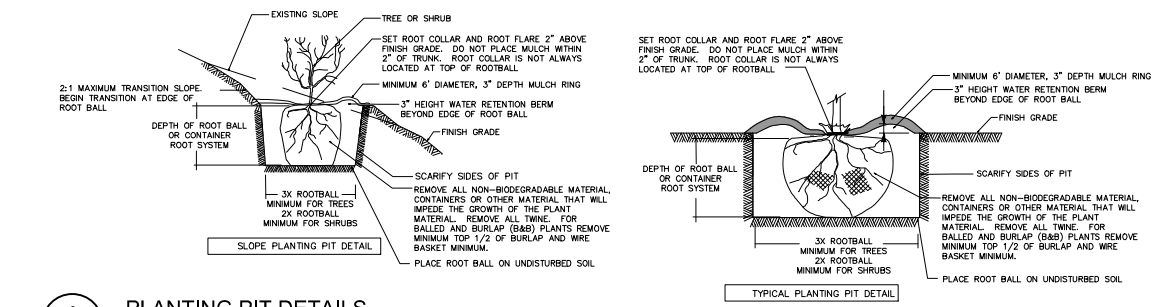
Project No: 117.0990.30  
**Sheet L 1.0**



**1** DECIDUOUS TREE STAKING DETAIL  
L1.1 NO SCALE



**2** TREE DRAINAGE WELL DETAIL  
L1.1 NO SCALE




**3** PLANTING PIT DETAILS  
L1.1 NO SCALE

W:\Projects\2017\172090\30 LANDSCAPE SHEETS\L1.1 2017.02.16 1:55 AM ARCHITECT BLEED D (24.00 X 36.00 INCHES)  
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MARK	REVISION	DATE	BY
Engineer-SJA	Checked By: AJK	Scale: 1" = NTS	
TechnicianMW	Date: 02/15/2021	Tr-RS: T8HR9ES15	
Project No: 117.0990.30			Sheet L 1.1

**FITCHBURG TOWNHOMES**  
**LANDSCAPE DETAILS**  
**FITCHBURG, WISCONSIN**  
**SNYDER & ASSOCIATES, INC.**

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 MADISON, WISCONSIN 53718  
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**SNYDER & ASSOCIATES**

Project No: 117.0990.30

Sheet L 1.1



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



### FITCHBURG TOWNHOMES DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE FEBRUARY 16, 2021

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE PLAN

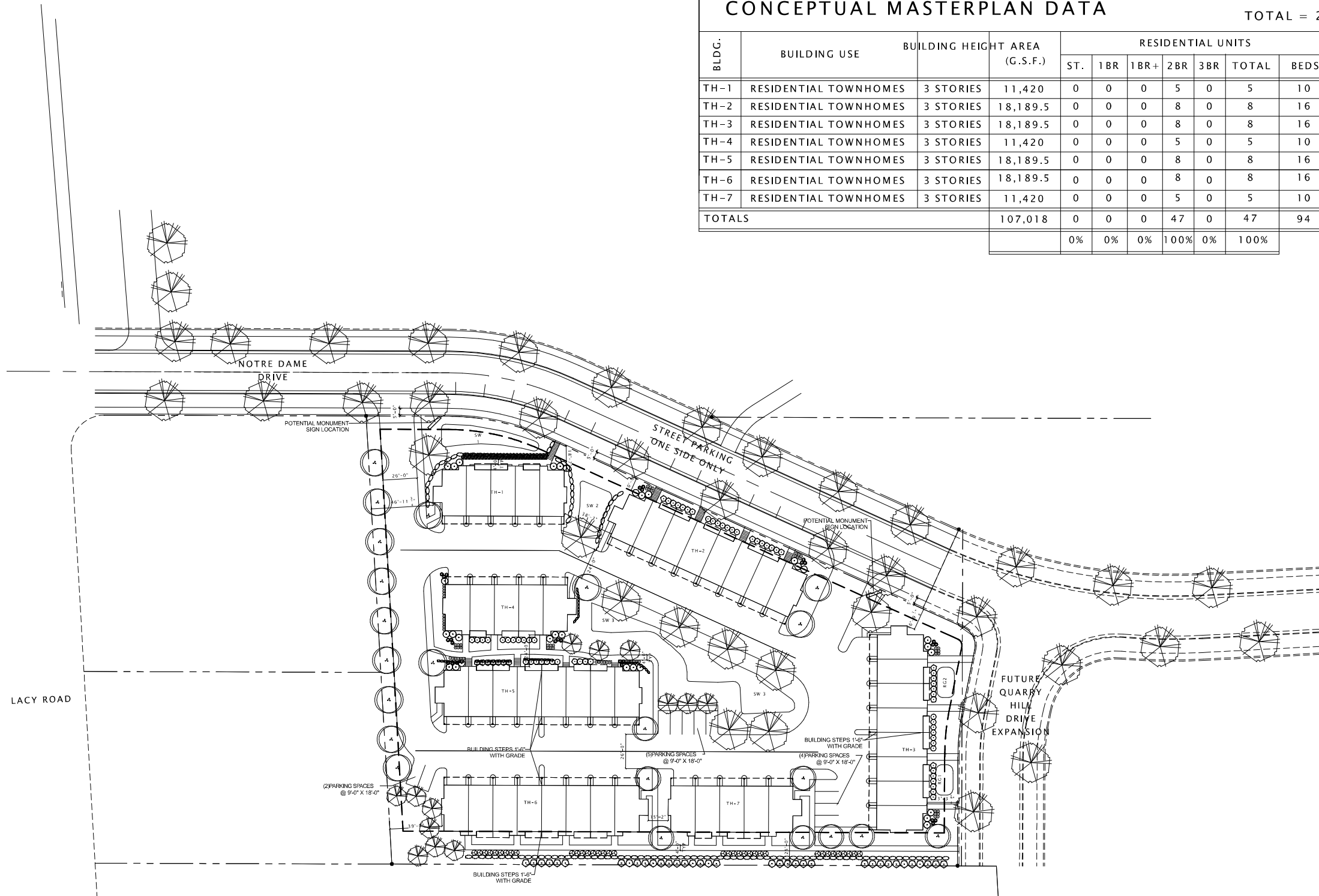
SHEET NUMBER

ASP-100

## CONCEPTUAL MASTERPLAN DATA

TOTAL = 2.78 ACRES (47 UNITS @ 16.91 U/A)

BLDG.	BUILDING USE	BUILDING HEIGHT	AREA (G.S.F.)	RESIDENTIAL UNITS						PARKING PROVIDED				
				ST.	1BR	1BR+	2BR	3BR	TOTAL	BEDS	COVERED	DRIVEWAY	OVERFLOW	RATIO
TH-1	RESIDENTIAL TOWNHOMES	3 STORIES	11,420	0	0	0	5	0	5	10	10	0	1	1.1 / BR
TH-2	RESIDENTIAL TOWNHOMES	3 STORIES	18,189.5	0	0	0	8	0	8	16	16	0	2	1.1 / BR
TH-3	RESIDENTIAL TOWNHOMES	3 STORIES	18,189.5	0	0	0	8	0	8	16	16	0	2	1.1 / BR
TH-4	RESIDENTIAL TOWNHOMES	3 STORIES	11,420	0	0	0	5	0	5	10	10	0	1	1.1 / BR
TH-5	RESIDENTIAL TOWNHOMES	3 STORIES	18,189.5	0	0	0	8	0	8	16	16	0	2	1.1 / BR
TH-6	RESIDENTIAL TOWNHOMES	3 STORIES	18,189.5	0	0	0	8	0	8	16	16	0	2	1.1 / BR
TH-7	RESIDENTIAL TOWNHOMES	3 STORIES	11,420	0	0	0	5	0	5	10	10	0	1	1.1 / BR
<b>TOTALS</b>			<b>107,018</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>47</b>	<b>0</b>	<b>47</b>	<b>94</b>	<b>94</b>	<b>0</b>	<b>11</b>	<b>1.2 / BR</b>
				0%	0%	0%	100%	0%	100%					



**JLA ARCHITECTS PROJECT CODE REVIEW**  
 ARCHITECTURAL CODES REVIEW  
 02/16/2021 (Prepared by Andy Lee)

**PROJECT NAME:** Fitchburg Townhomes - Buildings A & B  
**PROJECT DESCRIPTION:** 47 Units of Owner Occupied Townhomes housed within (6) 8 Unit Buildings & (3) 5 Unit Buildings  
**PROJECT LOCATION:** 3 Story Buildings with 2 car attached Garages at grade  
 Street: Home Dome Drive  
 City: Fitchburg, WI

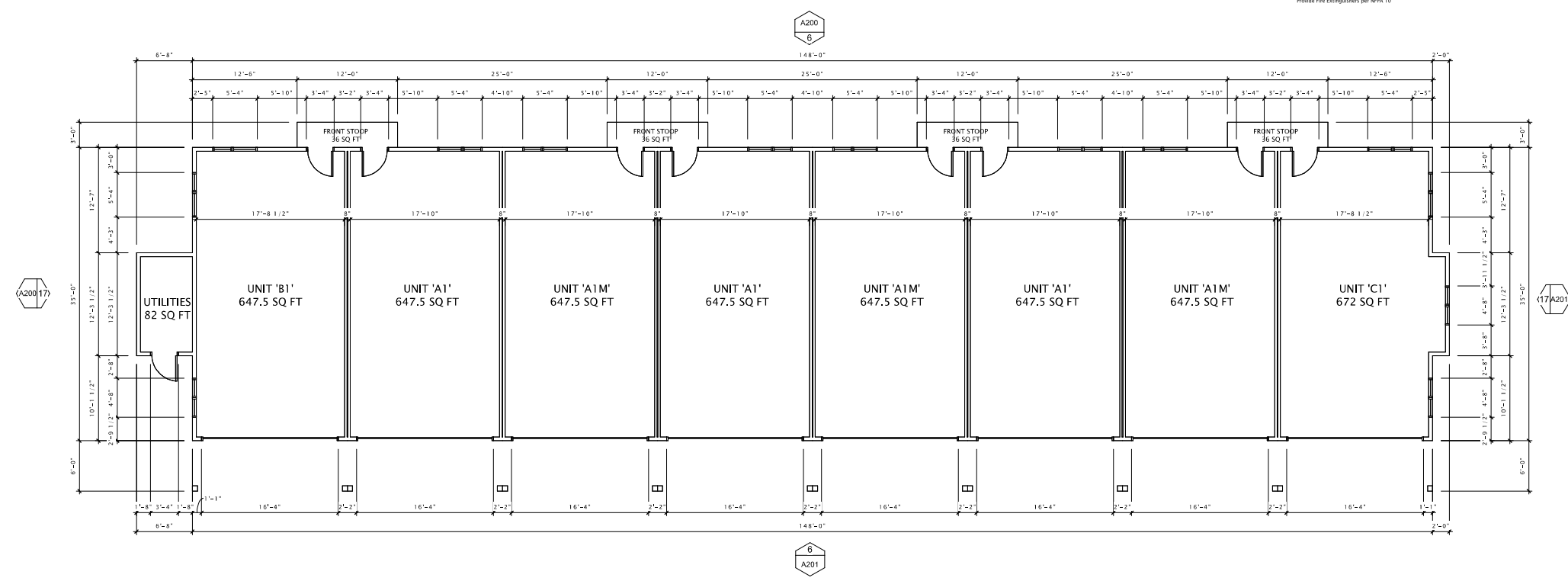
**CODE:** Code Version: 2015 International Building Code (IBC)  
 Including Wisconsin Commercial Building Code - COMM 62

**CONSTRUCTION TYPE:** SA - WOOD FRAMED, PROTECTED OVER  
 SLAB ON GRADE

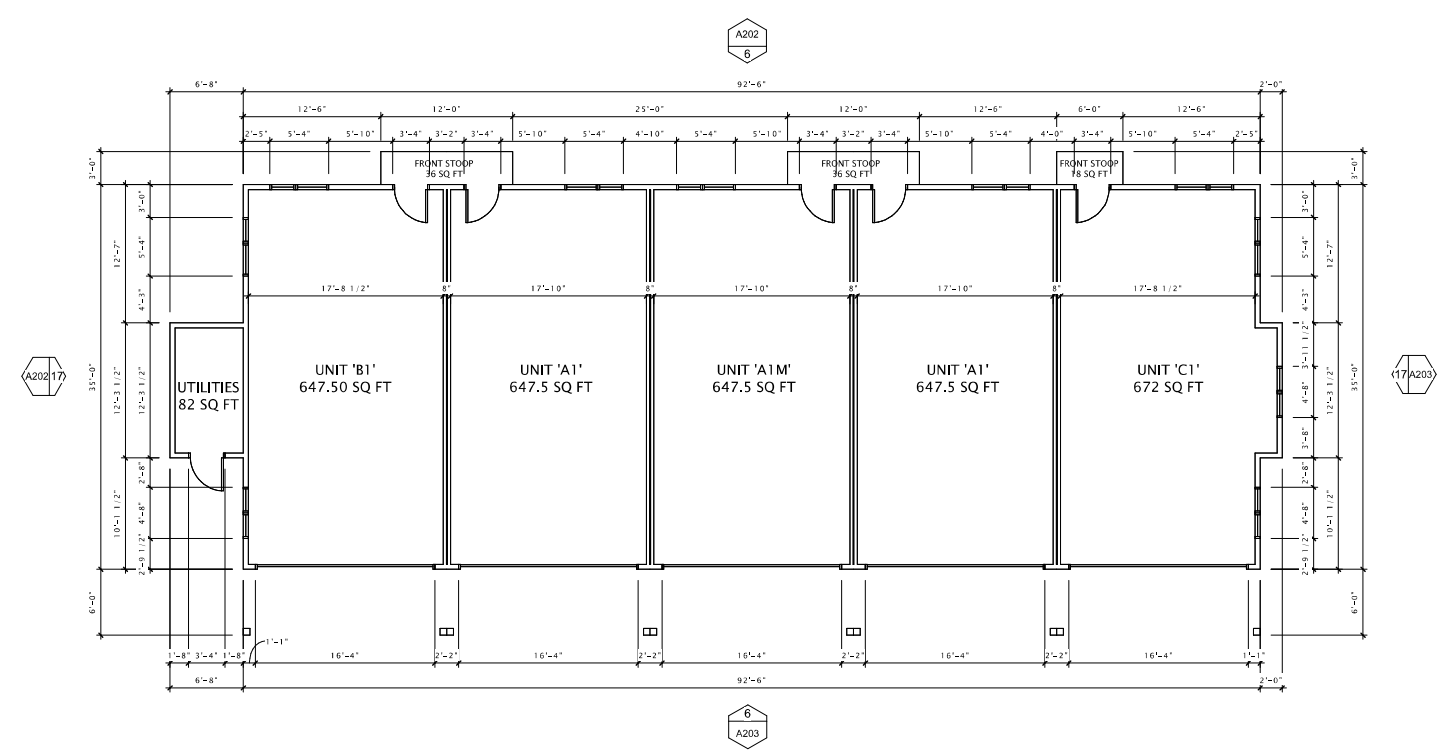
**HEIGHT LIMITATION:** Allowed: PER CITY OF FITCHBURG ORDINANCE NO. 2018-0-03: Maximum of 3 Stories and Maximum 38'-6" (to midpoint of roof)  
 Designed: DESIGN HEIGHT  
 (3) Stories - 14'-3" to 38'-0" SA Construction above grade

FIRE AREA	OCCUPANCY	SPRINKLER TYPE	NOTES
Fire Area 21	R2	WPA 1.3R	Quick Response Sprinklers required per 903.3.2

Notes:  
 Complete Fire Alarm System is required on all floors  
 Provide Fire Extinguishers per NFPA 10



⑥ OVERALL FIRST FLOOR PLAN- A BUILDING  
 1/8" = 1'-0"



⑦ OVERALL FIRST FLOOR PLAN- B BUILDING  
 1/8" = 1'-0"



**JLA**  
 ARCHITECTS

MADISON : MILWAUKEE  
 jla-ap.com

JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



FITCHBURG  
 TOWNHOMES  
 DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE FEBRUARY 16, 2021

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**FIRST FLOOR PLANS**

SHEET NUMBER  
**A101**

**JLA ARCHITECTS PROJECT CODE REVIEW**  
 ARCHITECTURAL DESIGN REVIEW  
 02/16/2021 (Prepared by Andy Lee)

**PROJECT NAME:** Fitchburg Townhomes - Buildings A & B  
**PROJECT DESCRIPTION:** 47 Units of Owner Occupied Townhomes housed within (6) 8 Unit Buildings & (13) 5 Unit Buildings  
 3 Story Buildings with 2 car attached Garages at grade  
**PROJECT LOCATION:** Name: Dene Drive  
 City: Fitchburg, WI

**CODE:** Code Version: 2015 International Building Code (IBC)  
 Including Wisconsin Commercial Building Code - COMM 62

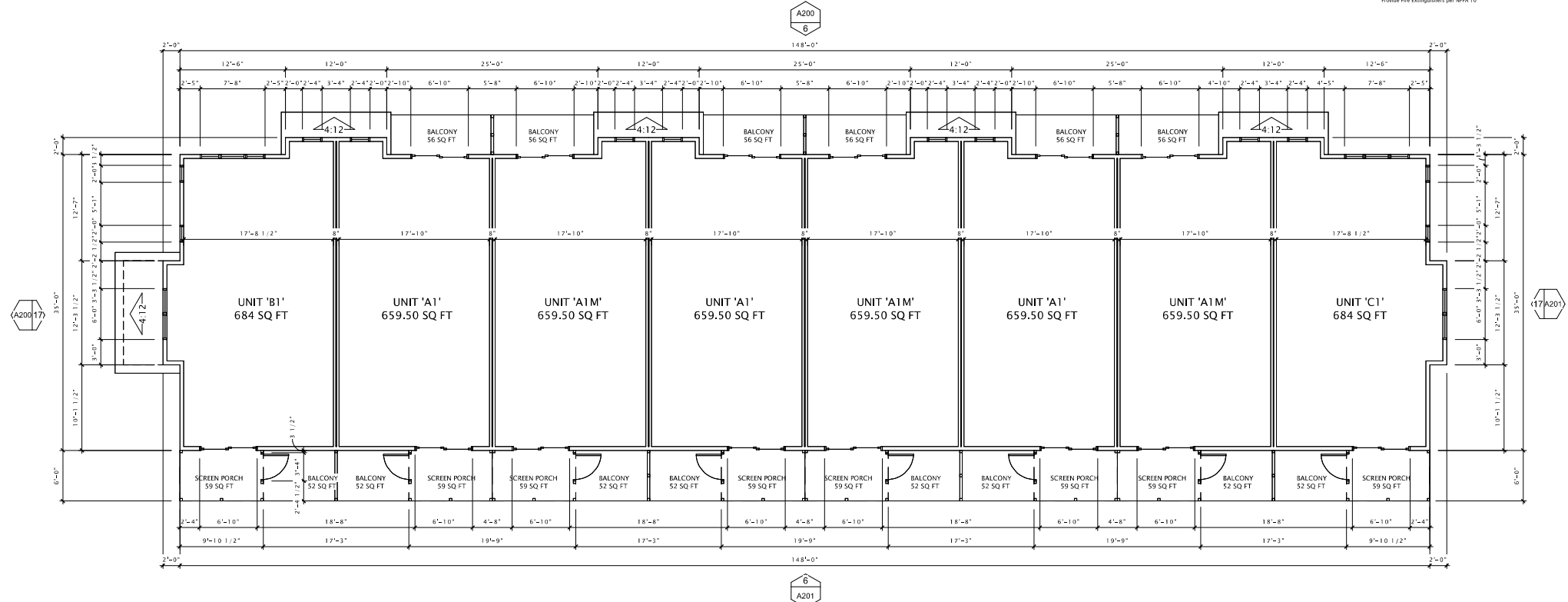
**CONSTRUCTION TYPE:** SA - WOOD FRAMED, PROTECTED OVER  
 SLAB ON GRADE

**HEIGHT LIMITATION:** Allowed: PER CITY OF FITCHBURG ORDINANCE NO. 2018-0-03: Maximum of 3 Stories and Maximum 38'-0" to midpoint of roof  
 Designed: PER CITY OF FITCHBURG ORDINANCE NO. 2018-0-03: Maximum of 3 Stories and Maximum 38'-0" to midpoint of roof

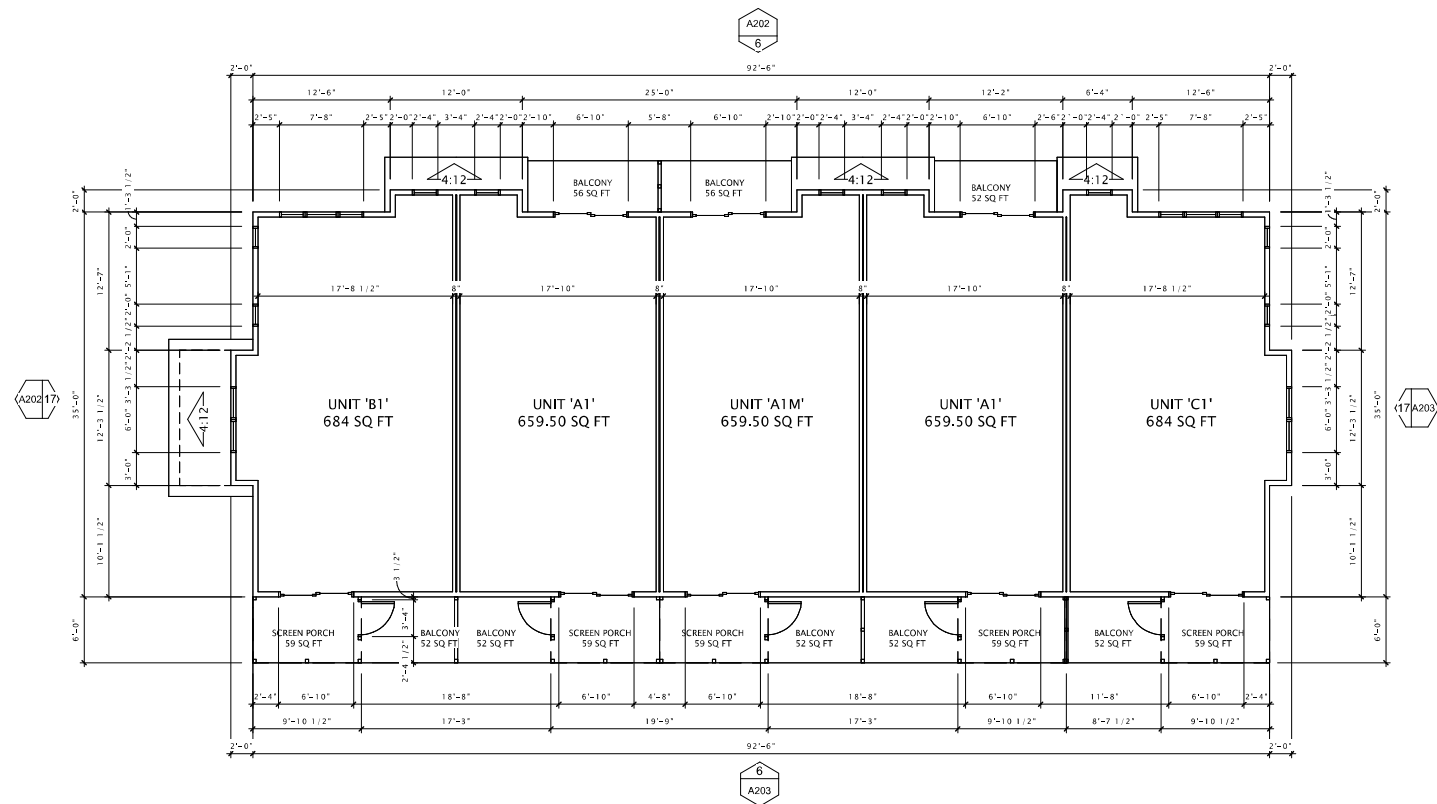
**DESIGN HEIGHT:** (3) Stories - 34'-3" to 38'-0" SA Construction above grade

FIRE AREA	OCCUPANCY	SPRINKLER TYPE	NOTES
Fire Area 41	R2	WPA 1.3R	Stock Response Sprinklers required per 903.3.4

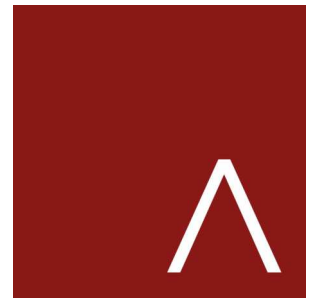
Note:  
 Complete Fire Alarm System is required on all floors  
 Provide Fire Extinguishers per NFPA 10



6 OVERALL SECOND FLOOR PLAN- A BUILDING  
 1/8" = 1'-0"



17 OVERALL SECOND FLOOR PLAN- B BUILDING  
 1/8" = 1'-0"



**JLA**  
 ARCHITECTS

MADISON : MILWAUKEE  
 jla-ap.com

JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



FITCHBURG  
 TOWNHOMES  
 DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE FEBRUARY 16, 2021

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
 SECOND FLOOR  
 PLANS

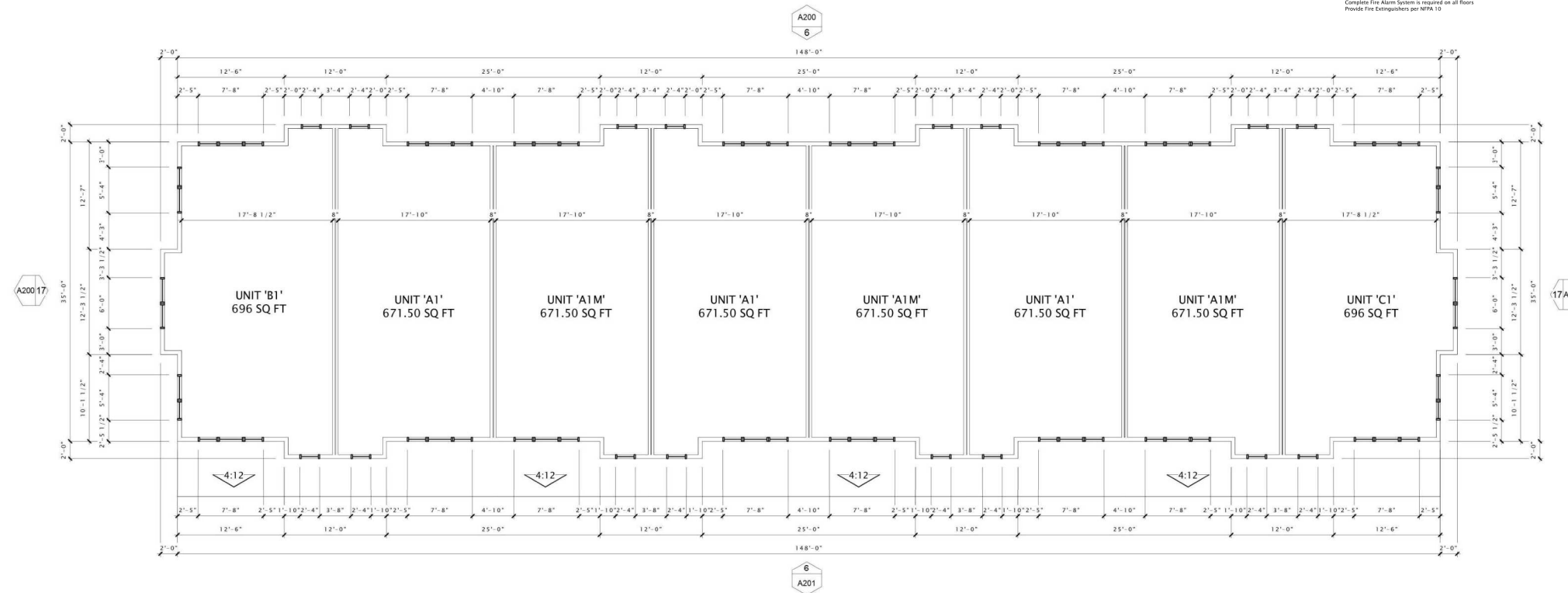
SHEET NUMBER  
 A102

**JLA ARCHITECTS PROJECT CODE REVIEW**  
 ARCHITECTURAL DESIGN REVIEW  
 02/16/2021 (Prepared by Andy Lee)

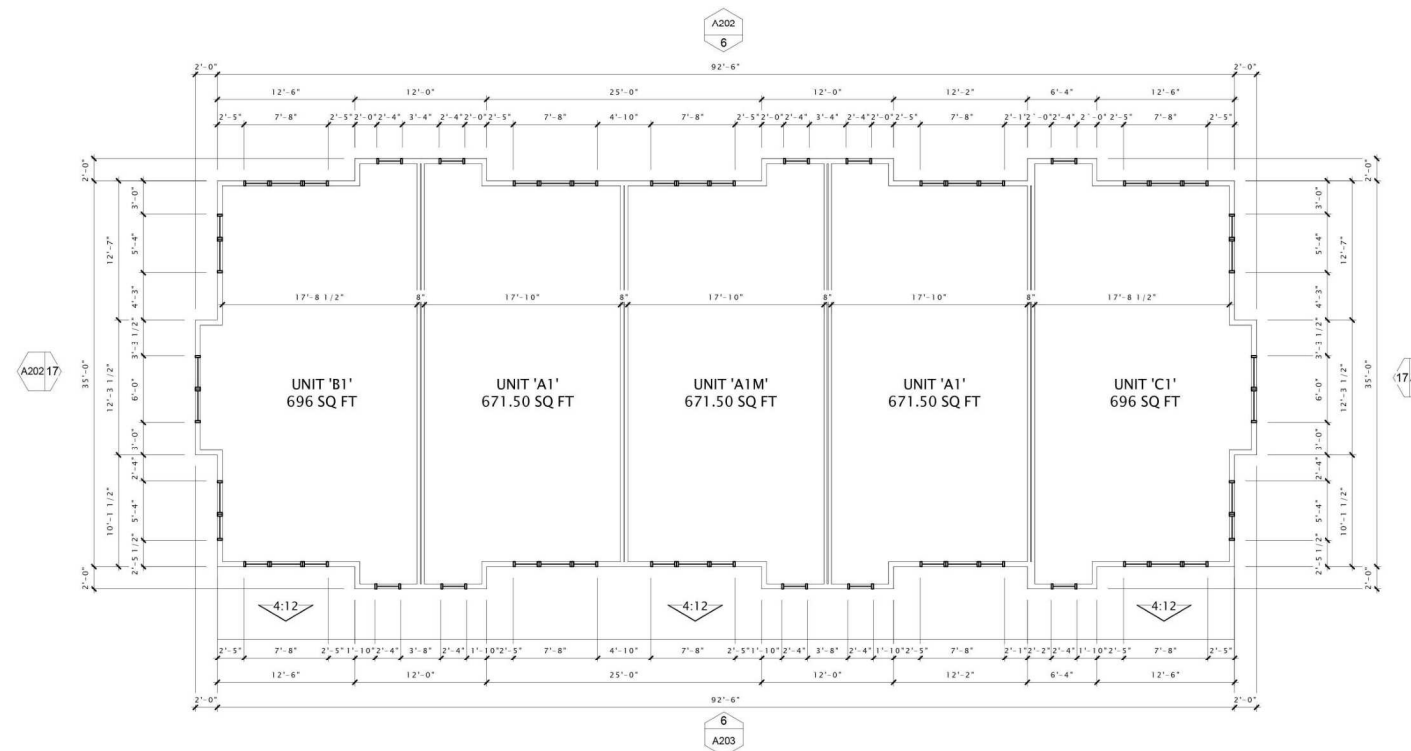
**PROJECT NAME:** Fitchburg Townhomes - Buildings A & B  
**PROJECT DESCRIPTION:** 47 Units of Owner Occupied Townhomes housed within (4) 8 Unit Buildings & (3) 5 Unit Buildings  
**PROJECT LOCATION:** 3 Story Buildings with 2 car attached Garages at grade  
 Street: Notre Dame Drive  
 City: Fitchburg, WI  
**CODE:** Code Version: 2015 International Building Code (IBC) including Wisconsin Commercial Building Code - COMM 62  
**CONSTRUCTION TYPE:** SA - WOOD FRAMED, PROTECTED OVER  
 SLAB ON GRADE  
**HEIGHT LIMITATION:** Allowed: PER CITY OF FITCHBURG ORDINANCE NO. 2018-0-03: Maximum of 3 Stories and Maximum 38'-0" (to midpoint of roof)  
 Designed: DESIGN HEIGHT: (3) Stories - 34'-3" to 24'-0" SA Construction above grade

FIRE AREA	OCCUPANCY	SPRINKLER TYPE	NOTES
Fire Area 3	RS	RCPA 1.1B	Install Response Sprinklers required per 903.3.2

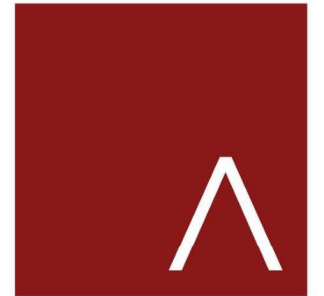
Notes:  
 Complete Fire Alarm System is required on all floors  
 Provide Fire Extinguishers per NFPA 10



6 OVERALL THIRD FLOOR PLAN- A BUILDING  
 1/8" = 1'-0"



17 OVERALL THIRD FLOOR PLAN- B BUILDING  
 1/8" = 1'-0"



**JLA**  
 ARCHITECTS

MADISON : MILWAUKEE  
 jla-ap.com

JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



FITCHBURG  
 TOWNHOMES  
 DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

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DATE OF ISSUANCE FEBRUARY 16, 2021

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**THIRD FLOOR PLANS**

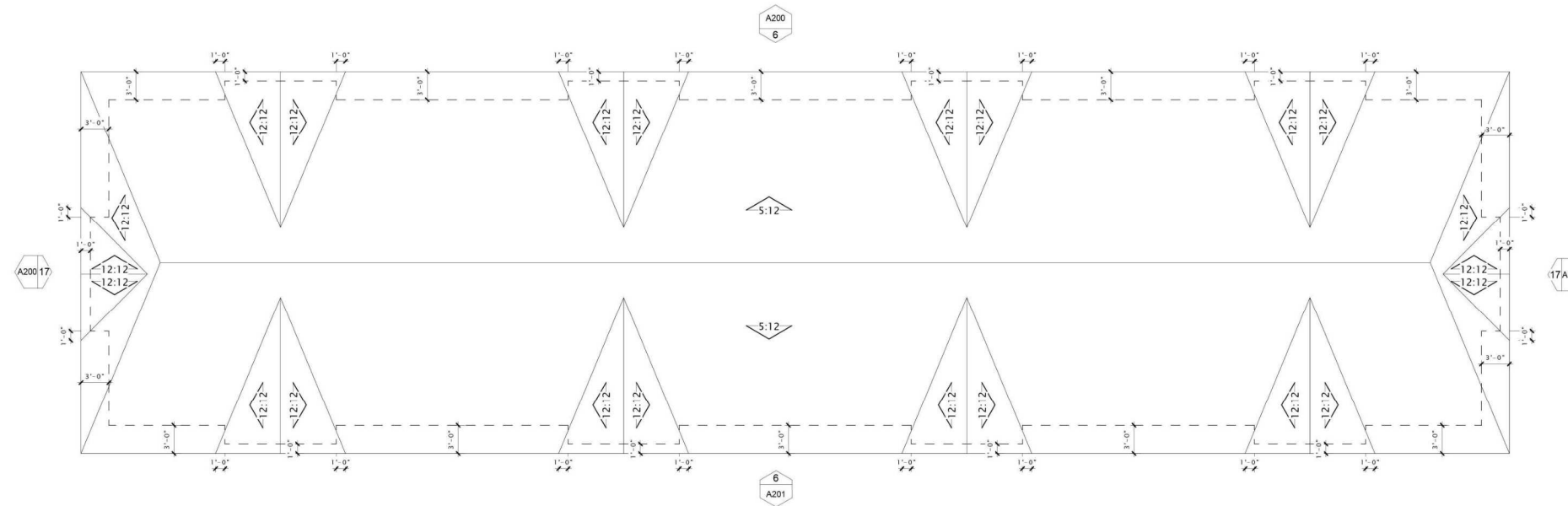
SHEET NUMBER  
**A103**

**JLA ARCHITECTS PROJECT CODE REVIEW**  
 ARCHITECTURAL DESIGN REVIEW  
 02/16/2021 (Prepared by Andy Lee)

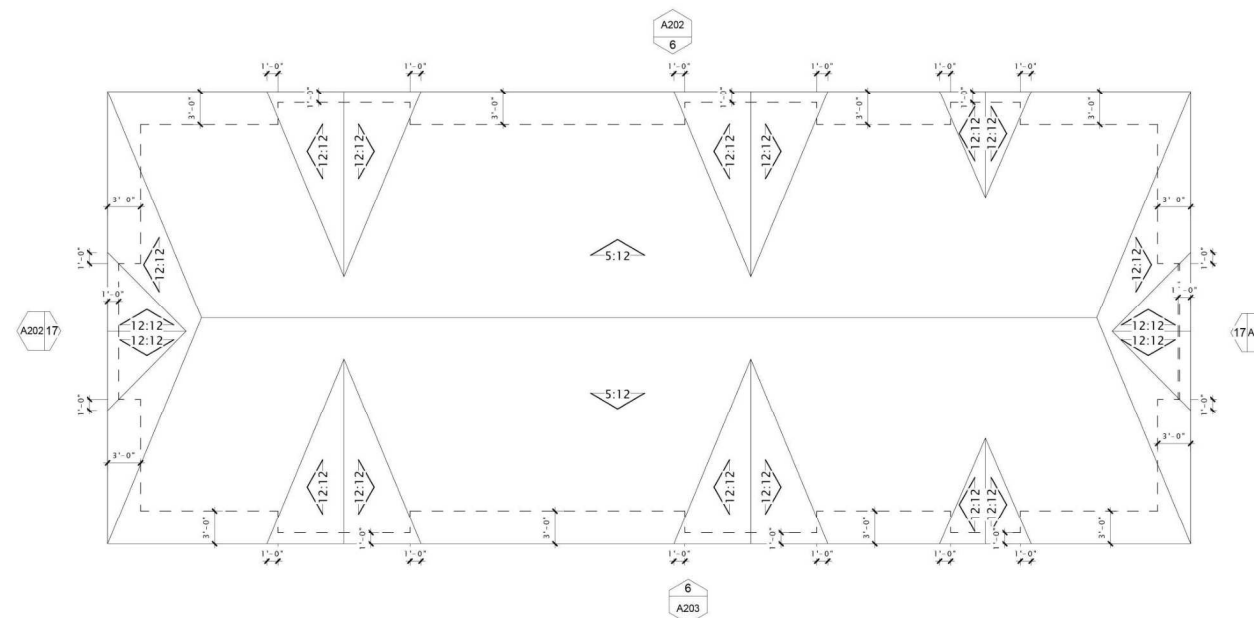
**PROJECT NAME:** Fitchburg Townhomes - Buildings A & B  
**PROJECT DESCRIPTION:** 47 Units of Owner Occupied Townhomes housed within (4) 8 Unit Buildings & (3) 5 Unit Buildings  
**PROJECT LOCATION:** 3 Story Buildings with 2 car attached Garages at grade  
 Street: Notre Dame Drive  
 City: Fitchburg, WI  
**CODE:** Code Version: 2018 International Building Code (IBC) including Wisconsin Commercial Building Code - COMM 62  
**CONSTRUCTION TYPE:** SA - WOOD FRAMED, PROTECTED OVER  
**HEIGHT LIMITATION:** Allowed: PER CITY OF FITCHBURG ORDINANCE NO. 2018-O-03: Maximum of 3 Stories and Maximum 38'-0" (to midpoint of roof)  
**DESIGN HEIGHT:** (3) Stories - 24'-3" to 24'-0" S.A. Construction above grade

FIRE AREA	OCCUPANCY	SPRINKLER TYPE	NOTES
Fire Area 1	RS	RIS/A-1/1R	Check Response Sprinklers required per 903.3.2

Notes:  
 Complete Fire Alarm System is required on all floors  
 Provide Fire Extinguishers per NFPA 10



**6** OVERALL ROOF PLAN- A BUILDING  
 1/8" = 1'-0"



**17** OVERALL ROOF PLAN- B BUILDING  
 1/8" = 1'-0"



**JLA**  
 ARCHITECTS

MADISON : MILWAUKEE  
 jla-ap.com

JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



FITCHBURG  
 TOWNHOMES  
 DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

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Mark	Description	Date

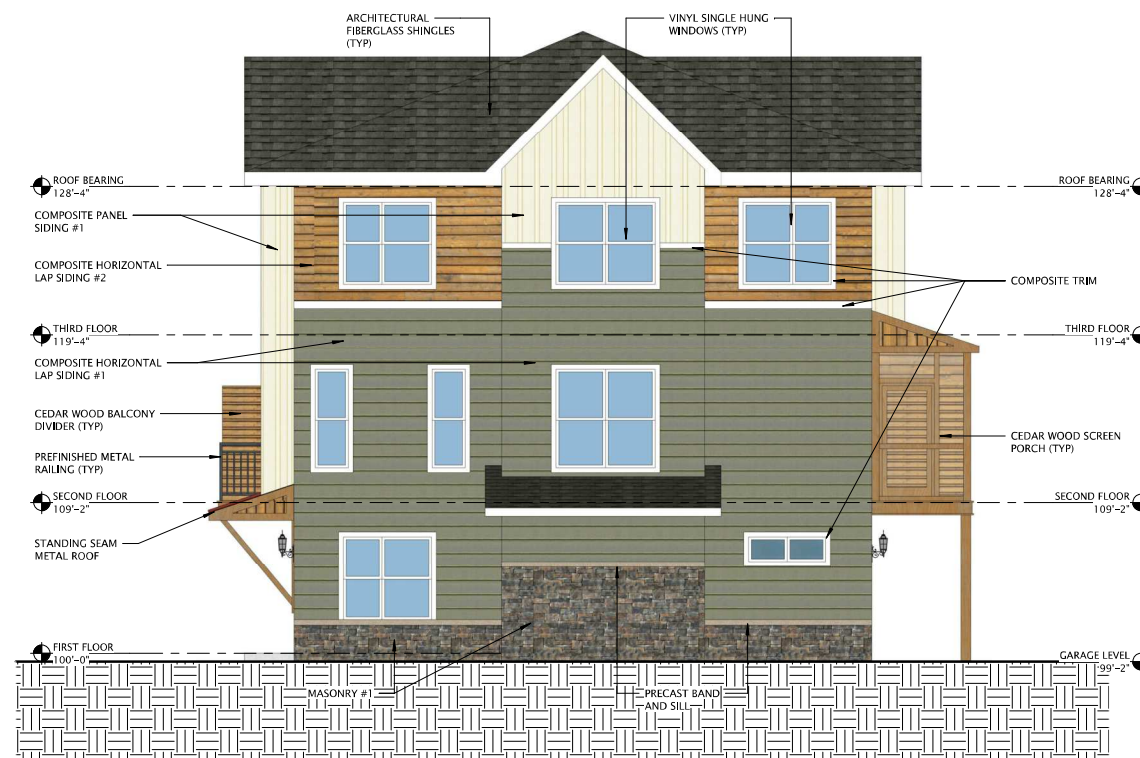
SHEET TITLE  
**ROOF PLANS**

SHEET NUMBER  
**A109**



⑥ FRONT ELEVATION  
1/8" = 1'-0"

FITCHBURG TOWNHOMES DEVELOPMENT				
2/16/2021 Material Selection				
MATERIAL	COMPANY	COLOR/#	SIZE	MISC.
MASONRY #1	Boral Cultured Stone	Wolf Creek		Country LedgeStone
COMPOSITE HORIZONTAL LAP SIDING #1	LP SmartSide Lap Siding	Balsam		Artisan Series
COMPOSITE HORIZONTAL LAP SIDING #2	LP SmartSide Lap Siding	Spiced Cedar		Artisan Series
COMPOSITE VERTICAL SIDING #1	LP SmartSide Siding	Spiced Cedar		Artisan Series
COMPOSITE PANEL SIDING #1	LP SmartSide Panel Siding	Dover White		Board and Batten
COMPOSITE TRIM	LP SmartSide Trim	White		
RAILINGS	TBD	Black		
STANDING SEAM METAL ROOF	PAC-Clad	Colonial Red		Snap On Batten
PRECAST SILLS AND BANDING	Custom Cast Stone	Light Buff		
ROOFING - SHINGLES	CertainTeed, Landmark	Colonial Slate		
VINYL WINDOWS AND PATIO DOORS	Jeld-Wen Builders Series	White		
FIBERGLASS ENTRY AND GARAGE DOORS	TBD	Cherry		



⑦ SIDE ELEVATION 1  
3/16" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



FITCHBURG  
TOWNHOMES  
DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE FEBRUARY 16, 2021

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR  
ELEVATIONS- A  
BUILDING

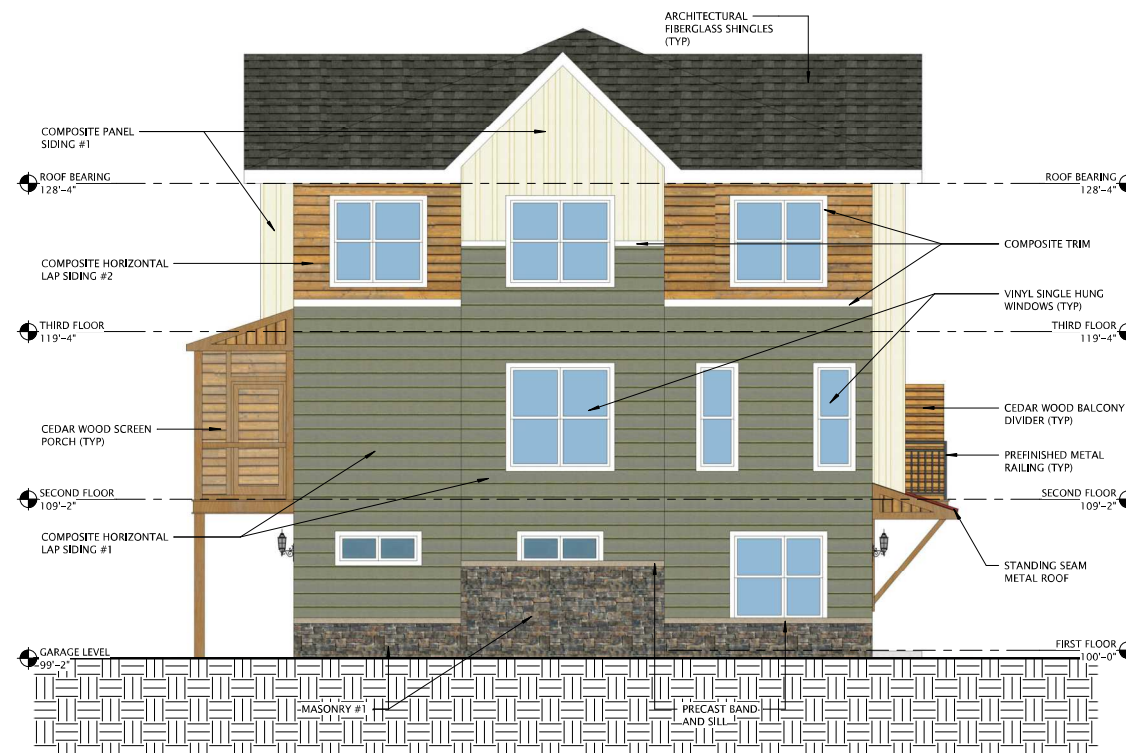
SHEET NUMBER

A200



6 REAR ELEVATION  
1/8" = 1'-0"

FITCHBURG TOWNHOMES DEVELOPMENT				
2/16/2021 Material Selection				
MATERIAL	COMPANY	COLOR/#	SIZE	MISC.
MASONRY #1	Boral Cultured Stone	Wolf Creek		Country LedgeStone
COMPOSITE HORIZONTAL LAP SIDING #1	LP SmartSide Lap Siding	Balsam		Artisan Series
COMPOSITE HORIZONTAL LAP SIDING #2	LP SmartSide Lap Siding	Spiced Cedar		Artisan Series
COMPOSITE VERTICAL SIDING #1	LP SmartSide Siding	Spiced Cedar		Artisan Series
COMPOSITE PANEL SIDING #1	LP SmartSide Panel Siding	Dover White		Board and Batten
COMPOSITE TRIM	LP SmartSide Trim	White		
RAILINGS	TBD	Black		
STANDING SEAM METAL ROOF	PAC-Clad	Colonial Red		Snap On Batten
PRECAST SILLS AND BANDING	Custom Cast Stone	Light Buff		
ROOFING - SHINGLES	CertainTeed, Landmark	Colonial Slate		
VINYL WINDOWS AND PATIO DOORS	Jeld-Wen Builders Series	White		
FIBERGLASS ENTRY AND GARAGE DOORS	TBD	Cherry		



17 SIDE ELEVATION 2  
3/16" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
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JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



FITCHBURG  
TOWNHOMES  
DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

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DATE OF ISSUANCE FEBRUARY 16, 2021

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR  
ELEVATIONS- A  
BUILDING

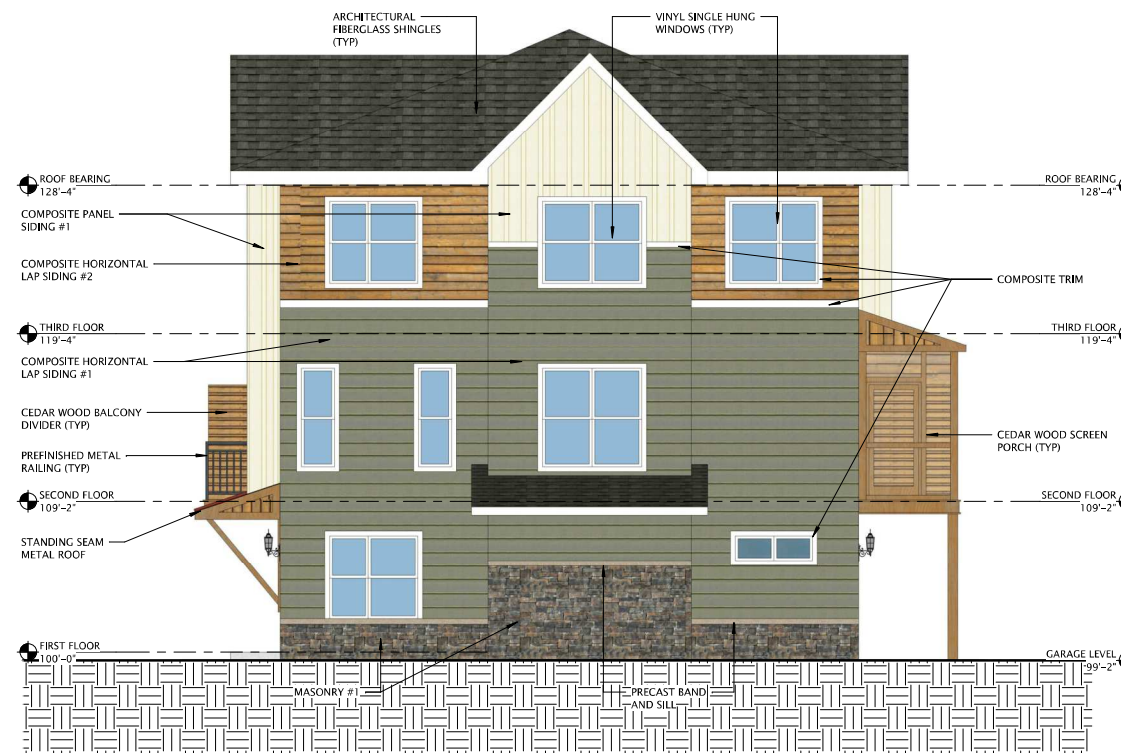
SHEET NUMBER

A201



⑥ FRONT ELEVATION  
3/16" = 1'-0"

FITCHBURG TOWNHOMES DEVELOPMENT				
2/16/2021 Material Selection				
MATERIAL	COMPANY	COLOR/#	SIZE	MISC.
MASONRY #1	Boral Cultured Stone	Wolf Creek		Country LedgeStone
COMPOSITE HORIZONTAL LAP SIDING #1	LP SmartSide Lap Siding	Balsam		Artisan Series
COMPOSITE HORIZONTAL LAP SIDING #2	LP SmartSide Lap Siding	Spiced Cedar		Artisan Series
COMPOSITE VERTICAL SIDING #1	LP SmartSide Siding	Spiced Cedar		Artisan Series
COMPOSITE PANEL SIDING #1	LP SmartSide Panel Siding	Dover White		Board and Batten
COMPOSITE TRIM	LP SmartSide Trim	White		
RAILINGS	T80	Black		Snap On Batten
STANDING SEAM METAL ROOF	PAC-Clad	Colonial Red		
PRECAST SILLS AND BANDING	Custom Cast Stone	Light Buff		
ROOFING - SHINGLES	CertainTeed, Landmark	Colonial Slate		
VINYL WINDOWS AND PATIO DOORS	Jeld-Wen Builders Series	White		
FIBERGLASS ENTRY AND GARAGE DOORS	T80	Cherry		



⑦ SIDE ELEVATION 1  
3/16" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



FITCHBURG  
TOWNHOMES  
DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE FEBRUARY 16, 2021

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR  
ELEVATIONS- B  
BUILDING

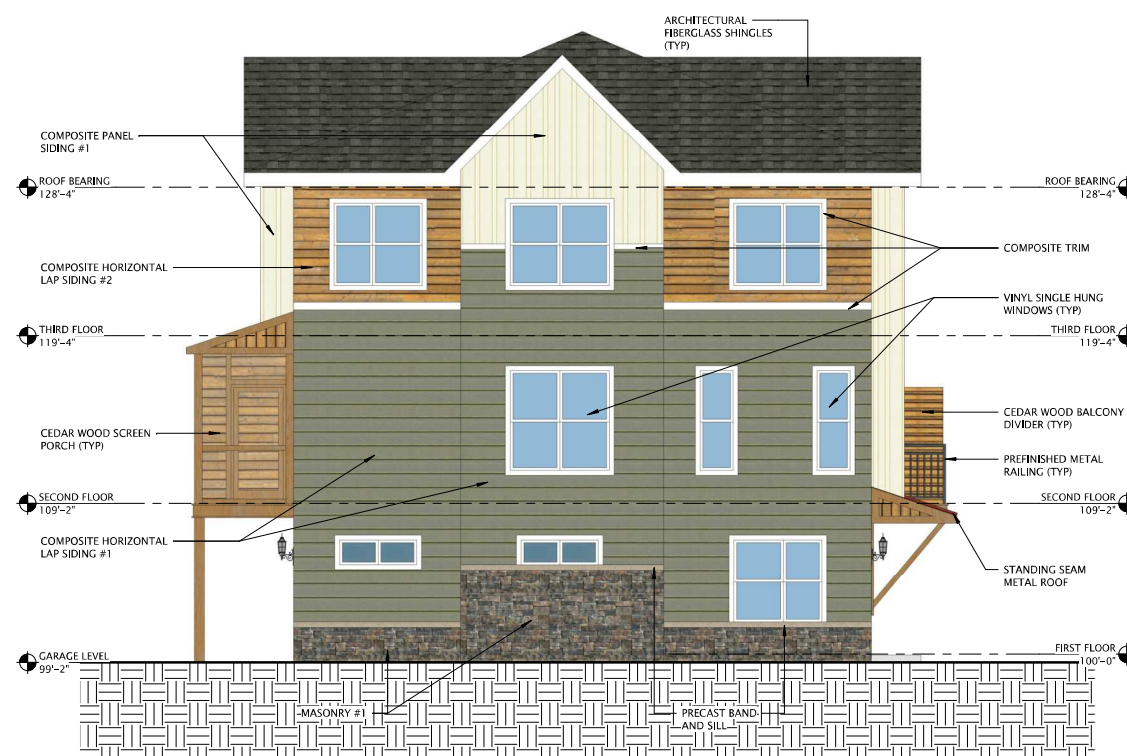
SHEET NUMBER

A202

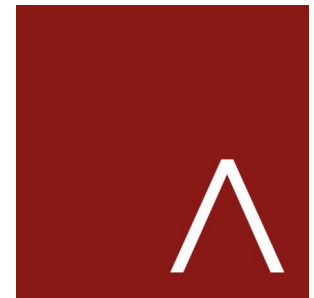


⑥ REAR ELEVATION  
3/16" = 1'-0"

FITCHBURG TOWNHOMES DEVELOPMENT				
2/16/2021 Material Selection				
MATERIAL	COMPANY	COLOR/#	SIZE	MISC.
MASONRY #1	Boral Cultured Stone	Wolf Creek		Country LedgeStone
COMPOSITE HORIZONTAL LAP SIDING #1	LP SmartSide Lap Siding	Balsam		Artisan Series
COMPOSITE HORIZONTAL LAP SIDING #2	LP SmartSide Lap Siding	Spiced Cedar		Artisan Series
COMPOSITE VERTICAL SIDING #1	LP SmartSide Siding	Spiced Cedar		Artisan Series
COMPOSITE PANEL SIDING #1	LP SmartSide Panel Siding	Dover White		Board and Batten
COMPOSITE TRIM	LP SmartSide Trim	White		
RAILINGS	TBD	Black		
STANDING SEAM METAL ROOF	PAC-Clad	Colonial Red		Snap On Batten
PRECAST SILLS AND BANDING	Custom Cast Stone	Light Buff		
ROOFING - SHINGLES	CertainTeed, Landmark	Colonial Slate		
VINYL WINDOWS AND PATIO DOORS	Jeld-Went Builders Series	White		
FIBERGLASS ENTRY AND GARAGE DOORS	TBD	Cherry		



⑦ SIDE ELEVATION 2  
3/16" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 17-1006

SJ ACQUISITIONS, LLC



FITCHBURG  
TOWNHOMES  
DEVELOPMENT

ARCHITECTURAL DESIGN REVIEW

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE FEBRUARY 16, 2021

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR  
ELEVATIONS- B  
BUILDING

SHEET NUMBER

A203

## SEE RESPONSES IN RED BELOW

Application: RZ-2201-18, CS-2202-18 & ADR  
Property Location: Outlot 1 CSM 14487  
Review Date: February 22, 2018  
*Planning Staff Review #1*

---

Planning staff has reviewed your submitted Rezoning, CSM and ADR requests, RZ-2201-18, CS-2202-18, and ADR for the Fitchburg Townhomes Project on Outlot 1 CSM 14487, submitted on February 20-21, 2018. The following comments are based on this review. Please respond to each item with a detailed written response to each individual comment, along with appropriate updated plans, by **4:00 p.m. on Wednesday, March 7, 2018**. Further comments or questions may arise as additional review occurs.

### *Rezoning RZ-2201-18 & ADR Review Comments:*

1. Do you have a sign-in sheet from your latest neighbor meeting? If yes, please provide.  
*We did not form a sign in sheet for our neighborhood meeting with The Crossing Condominium Association. Most of the Association members were present as well as Alders Daniel Bahr and Aaron Richardson. The Olson's were not present but were made aware of the meeting to the best of my knowledge. If needed, we have already reached out to The Crossing Condo Association and they agreed to put together a sign in sheet of the people present at that meeting if requested.*
2. Please provide a summary of the neighborhood meeting.  
*On Thursday, February 8<sup>th</sup>, 2018 at 6PM we met with the Crossing Condo Association Members at the Crossing Clubhouse located near the corner of Notre Dame Drive and Pond View Way. We started the meeting with introductions and a basic overview of the project as well as outlining any minor changes that may have taken place since the last neighborhood meeting including changes to the Stormwater Management and parking on site. After introductions, we opened it up to any questions and concerns the neighborhood may have. Our civil engineer proceeded to clarify any and all Stormwater Management and water run-off questions including explaining the exact process of performing soil borings on site, the results of those soil borings and what it means for water run-off within the area, as well as a broad scope explanation of stormwater management for the area taking into account current and future developments as much as possible. We spoke on traffic concerns and what our data shows as to the extent of impact from our development as well as touching base on landscaping features, parking on site, potential visibility of our development from the Crossing Condos (i.e. building height) and basic unit design and unit/site amenities and market price. The meeting lasted about 1.25 hours and was concluded on the premise that we had given adequate information for any questions and concerns the neighborhood had. At this point in time, we opened the meeting to an open forum in which we took time to speak with the neighborhood and Alders in more personal, one on one discussions. One of the few concerns the Crossing Condo Association members had left was to ensure an agreement will be written with a set of guidelines for the future Fitchburg Townhomes Condo Association to follow in regards to allowing renters within the community. We agree with this notion and will make sure to develop such an agreement as we move forward with this project.*
3. Are the exterior lights full cut off or dark sky? The City prefers dark sky lighting. Complaints have been received about Lacy Road lighting, so lighting glow is important to reduce, particularly in use of LED lights which are on the blue spectrum of light. *These fixtures are full cutoff (no light directed upwards towards the sky, U - BUG classification - of zero). The fixture and pole/mounting height was selected so that the top of the fixtures are below the 3<sup>rd</sup> floor windows of the buildings. This was to eliminate light directed into those windows. Some light may be shown into lower level windows. The proposed fixtures are 4000K, or a "white" light. Is the question regarding being "Dark Sky Compliant"? We understand that being "Dark Sky" compliant, the fixtures would need to be around 2700K (more of an orange light, similar to high pressure sodium). This fixture does not meet those official Dark Sky requirements. These fixtures are available in a 3000K color which would minimize the blue light,*

- however would make color recognition more difficult for potential safety concerns. The 3000K fixture was certified as an IDA Dark Sky Approved fixture in 2016 (see bottom of Cimarron LED cutsheet).
4. Have you thought about how Quarry Hill Drive, which sits much higher than adjoining land will be able to connect to the proposed Notre Dame? Grades need to be figured out to not preclude the extension of Quarry Hill Drive. Yes, we have thought about how Quarry Drive will connect to the West but more importantly, the future road needs to blend in with the existing drainage swale that has been installed for the conveyance of the stormwater from the development located to the south. This drainage way is shown on future plat maps for the area. The grades for Notre Dame drive were examined for as if we were constructing the road all the way to the eastern property line. The centerline road elevations were selected to ensure that after the road and sidewalk improvements were installed, that the back slope off the installed sidewalk would blend in with the installed drainage swale. Please see "Future Grading of Notre Dame Drive" pdf attached.
  5. Please be prepared with a color/material board to present at the Plan Commission meeting. JLA will bring a Material Presentation Board to our Plan Commission meeting on March 20<sup>th</sup> with current proposed exterior materials.
  6. What is the spread and height of the proposed juniper skyline near the west boundary? Will they cover sidewalk as they grow. The specified juniper skyline along the western boundary will grow 4' in width and height. The sidewalk will not be affected as the plants mature.
  7. The front landscape plants are very uniform. Can you mix up each section with some evergreen and other types of plants. The landscaping has been adjusted. Please see "Updated Landscaping Plan" pdf attached.
  8. You should talk with city forester regarding street tree plantings. Scott Anderson of Snyder & Associates spoke with Anna Healy (Fitchburg Urban Forester) about this project on March 5<sup>th</sup>, 2018. She had just gotten back in the office from being out for a week and a half. She will contact the Zoning & Planning department to review the trees specified for the extension of Notre Dame Drive. She will contact Snyder directly if anything needs to be changed.

*CSM CS-2202-18 Review Comments:*

1. A Public improvement agreement will be required for Notre Dame Drive on lot 1 as well as who pays and installs Notre Dame Drive from Lacy to proposed lot 1. **Noted and acknowledged.**
2. Prior to any private improvements starting construction (building or zoning permits) all public improvements shall be in and accepted by the City, this would include the Notre Dame Dr. extension from Lacy south to this site, as well as Notre Dame being dedicated by this CSM. Also applies to the on-site public improvements. **Noted and acknowledged.**
3. Park fees will be required to be paid for the anticipated 47 dwelling units. Such fees will be addressed in the public improvement agreement, which will be required to be executed and paid prior to the City signing of the CSM. **Noted and acknowledged.**
4. Do you have any idea of timing of the Quarry Hill Drive extension? Have you talked to the land purchaser to the south and owner to the west to try to discern what will occur and when? **As of this moment regarding Quarry Hill Drive, the landowner to the South does not have any immediate plans to develop their property. Jon de Fiebre of SJ Acquisitions, LLC has not spoken to Mr. Cooke to the West regarding his specific plans for his property, but to Jon's knowledge Mr. Cooke does not have any immediate plans to develop.**

## PARKS DEPARTMENT S.I.P. REVIEW #1

Scott Endl, Director  
Parks, Recreation and Forestry  
5520 Lacy Road  
Fitchburg, WI 53711-5318  
Phone: (608)270-4288  
Scott.Endl@city.fitchburg.wi.us

Memo

To: Susan Sloper – Community Planner

From: Endl – PRF

Ref.: RZ-2201-18, CS-2202-18 & ADR – Outlot 1 CSM 14487 - Fitchburg Townhomes development of 47 units & Replat Outlot into lot

Date: February 26, 2018

Please see below comments as requested.

- Parkland Dedication per Ordinance 24-2(d)(2)(a); Dedication of parks, playgrounds, recreation and open spaces – 2,900 square feet per dwelling unit.  
47 units x 2,900 square feet = 136,300 square feet (3.13 acres).
- Fee in lieu of Parkland Dedication per Ordinance 24-2(d)(2)(e); \$4,330 (2017 rate) per dwelling unit or approximately \$65,000 per acre of deficiency.
  - 47 units x \$4,330 = \$203,510 fee in lieu of parkland dedication
- Parkland Improvement fee per Ordinance 24-15(d)(5), 22-647(2); \$155 (2017 rate) per Multi-family dwelling unit. 47 units x \$155 = \$7,285.
- Fee in lieu of Street Frontage for Parks per Ordinance 24-15(e), 22-647(3).  
This will be calculated at time of Final Plat or 6' for single lot.

Please feel free to contact me with any questions.

Respectfully,  
Scott Endl

**Noted. The SIP Document includes this information and is up to date (page 6 of SIP Document submitted on February 20<sup>th</sup>, 2018).**

## SEE RESPONSES IN RED BELOW

### **Outlot 1 CSM 14487 TBD Notre Dame Drive CS-2202-18 Public Works Review #1**

The following comments are based on the Replat Application for Outlot 1 CSM 14487 submitted by Brett Stoffregan of D'Onofrio, agent for Joe & Karen Rueden, BB, 3-6-18; TF 3-1-18; GV, 3-1-18. Additional comments beyond these may be required on future reviews.

#### **General Comments**

1. A developer's agreement will be required for any public improvements. **We accept and acknowledge this item.**
2. The exhibit on pages 11 and 16 do not show the underlying orthophoto in the proper location and the scale is incorrect. This means that the match point to the driveway to the east is incorrectly shown. Thus the drawings do not reflect how the development actually fit to the existing area. **These drawings have been updated from the GIP submittal to the SIP submittal to more accurately fit within the contextual photo underlay, however they are not meant to be exact representations of the final location within the area. The purpose of these drawings is to represent the overall design for site layout, building locations, parking, and unit counts. For accurate information regarding the location of property lines, right of way, and curb cuts for new driveways please see the Civil drawings within our SIP submittal. If you prefer, we can turn off the photo underlay to avoid further confusion.**
3. Additional right of way will likely be needed at the corner of Lacy Rd and Notre Dame to enable connection of the sidewalk on the west side of Notre Dame to the existing bike path on Lacy Rd. **Sheet C5.2 in our SIP submittal shows the sidewalk being extended to the existing bike path. Is additional ROW acquisition still required and why?**
4. Clarify why some items are to be removed, and other items are "removed by others" (garage and stone columns). Is there an agreement with property owners to do the removal? **The garage and stone columns to be removed by others are within an existing right of way that is owned by the City. The items mentioned above are owned by the Olson's and are infringing upon the City owned right of way. We do not know the plan for the current owner to remove or demolish the items that currently sit on City property but plan to give ample notice for removal prior to construction.**
5. Ensure retaining walls are engineered and proper tiebacks and drainage is provided to ensure long term stability of walls. Ensure wall design does not require tieback installation beyond the property line. **Two of the walls onsite have been changed to a precast modular block style wall. A pre-engineered design has been started to ensure no tiebacks are required past the property line.**
6. Provide signed easement agreement for "temporary grading easement" noted along the south property line of the development, and along Notre Dame Drive. **The temporary grading easement will be obtained prior to the start of construction.**

#### **Transportation Comments**

1. The extension of Quarry Hill Drive will tee into Notre Dame Drive. Please show how Quarry Hill Drive will connect into Notre Dame Drive. **The intersection of Notre Dame Drive and Quarry Hill Drive is currently being represented on the image on Page 11 as well as within the Civil drawings in our SIP submittal and on sheet ASP-100 within our full sized Architectural set. See sheet C5.1 for the plan and profile view of the future connection.**
2. The public street infrastructure should be designed to accommodate the future extension of Notre Dame Drive to the south.

Sheet C5.1 shows the plan-profile of Notre Dame Drive with the sanitary and watermain being stubbed past the proposed pavement line.

3. Driveways for the Olson property will be required. An easement will be needed across the wedge of property to the south between Olson's bridge and this plat.  
This access easement will be pursued at the same time as the grading easement with the existing land owner to the south. This will be obtained prior to final sign offs for the project.
4. Sidewalk from Townhomes#3 should be extended to the south property line and private connecting sidewalk removed or relocated closer to the townhome building (do not want the private sidewalk right next to the proposed public sidewalk).  
See keynote #12 on Sheet C1.2. We do not know the timeline for the installation of the extension of Quarry Hill Drive. If this development is fully installed prior to the platting and construction of Quarry Hill Drive, a temporary sidewalk will need to be installed on our property. This is the intent of the sidewalk being shown. Once Quarry Hill drive is installed, this sidewalk would be removed.
5. All sidewalk along Notre Dame Drive right-of-way shall be 5-feet in width. These sidewalks are already represented as 5'-0" wide. For more information please see Civil sheets C5.0, C5.1, and C5.2 in our SIP Submittal.

### **Water Main and Sanitary Sewer**

1. MMSD and Syene Interceptor fees will need to be paid for this development prior to the start of construction on public improvements.  
We accept and acknowledge this item.
2. Public easements (minimum 20' centered on the utilities) are required for the water and sanitary sewer within this development. Please submit plan and profile drawings for review of easements. A 20' wide sanitary sewer easement is required along the entire north property line, and the sanitary sewer is required to be extended within this easement to the west property line, to service adjacent lands.  
A 30' wide easement has been provided for the utilities via the proposed CSM. Plan & Profile of the utilities have been provided on sheets C3.1 to Sheet C3.3 as part of our SIP submittal. To assist in your review, we have turned on the easement lines on the plan profile sheets attached.
3. Either provide separate water shut off valves within the easement for each unit in the townhomes or provide a common meter room within each building and a recorded access agreement (template to be provided by the City).  
The curb stops have been provided on the easement line. Please see Sheet C3.0 attached which now has the easement line turned on.
4. Sanitary sewer does not meet minimum slope design requirements. Ensure depth to serve property west of development is accounted for.  
The proposed sanitary sewer has been dropped an extra foot and the minimum slope has been corrected. Please see the attached plan sheets for details.
5. Proposed depth over watermain will be 10+ feet in depth. Check with PW to ensure this will not be an issue.  
The proposed grade over the watermain is 6.5'. The existing and proposed grade labels were inadvertently switched, this has been fixed.
6. 4-inch sanitary laterals do not meet minimum slopes for self-cleaning velocity.  
These have been changed to a 2% slope. Please see the revised plans attached.

### **Erosion Control and Stormwater Management (ECSWM) Comments**

1. Verify that the development (including road) meets the design calculations from the 2005 stormwater management plan for quantity and quality. (BB)  
See section 3.0 to 5.0 of the stormwater management plan attached.
2. Provide on-site infiltration requirements for the development. Consider oversizing infiltration on site to incorporate infiltration from road drainage.(BB)  
This is already part of the stormwater management plan. See section 3.0 in the written narrative and the SLAMM data and calculations in the appendix.

3. Provide stormwater conveyance along Notre Dame Drive and from development.  
**See Sheet C5.2 for the proposed storm sewer in Notre Dame Drive. Gutter spread and other storm sewer sizing calculations have been included in the appendix of the stormwater management plan attached.**
4. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval if land disturbance is greater than 4,000 s.f. The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements> Provide stormwater management and erosion control plan, details, and supporting calculations in accordance with Chapter 30 of City Ordinances for review and approval.  
**This will be submitted soon and coordinated with the City.**
5. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.(BB)  
**The stormwater permitting will begin soon. We will look into these city credit opportunities, thanks!**
6. Stormwater Charges (McGaw Basin/The Crossings) are due on this lot at time of development. (BB)  
**We agree and acknowledge, fees will be paid prior to starting the project.**
7. Ensure existing off site drainage (from south and west) is not impeded by development.(BB)  
**Stormwater from the West will be conveyed via a created swale that directs the stormwater to the North and continues down a rip rap channel along the North property line. Please see the proposed grades on sheet C2.0 attached.**
8. What happens to the drainage swale along the north side of the property when it encounters Notre Dame Drive?  
**Please see the proposed grades on sheet C2.0.**

**Outlot 1 CSM 14487  
TBD Notre Dame Drive  
RZ-2201-18 & ADR 2018  
Public Works Review #1**

The following comments are based on the Rezone (PDD-SIP) & ADR - 2018, for Outlot 1 CSM 14487, submitted by Devin Engle of JLA Architects, Agent for Joe Rueden. BB, 3-6-18; TF 3-1-18; GV, 3-1-18. Additional comments beyond these may be required on future reviews.

**General Comments**

1. Public improvements will need to be installed and accepted prior to the release of any building permit.  
**We accept and acknowledge this item.**

**Transportation Comments**

1. Easement will be needed to connect the Olson driveway across the wedge of land between Olson's property and this plat.  
**An easement will be obtained for the new Olson driveway location.**

**Water Main and Sanitary Sewer**

1. Impact fees will be due prior to issuance of a building permit. The 2018 rate is \$800 per unit.  
**We accept and acknowledge this item.**
2. A stormwater facility is shown along the north property line. A sanitary sewer will be required in

this location. The stormwater facility may not be located within the 20' easement required for this sanitary sewer main.

The stormwater facility is a rip rapped ditch that is necessary to convey offsite stormwater around the property. The sanitary line is 10' from the center of this ditch. The easement is 30' in width.

3. Does this main need to be extended to the west through the property? Should this be watermain only easement?

Question is unclear. Please refer to a page number and location.

### **Erosion Control and Stormwater Management Comments**

1. Unknown reason for public stormwater easement in the NW corner of the site.

The stormwater from the adjacent lands to the West flow through the property. They must be granted an easement to do so.