



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: ANDREW LEE

Address: 800 WEST BROADWAY SUITE 200 Phone Number of Contact Person: 608.442.3865

City, State, Zip Code: MONONA, WI. 53713 Email of Contact Person: ALEE@JLA-AP.COM

Project Address: FAHEY FIELDS Lot: 107 Subdivision: _____

Project Type: Multi-Family Commercial Industrial Other
 New Addition

Impervious Surface Ratio (ISR): 44.6% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

- 1. Location, species, size of existing trees, shrubs, and plantings.
- 2. Location, species, size of proposed plantings.
- 3. Location and size of all paved, seeded/sodded and gravelled areas.
- 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: David Faber Date: 9/22/2020
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:

FAHEY TOWNHOME

FAHEY FIELDS LOT #107
FITCHBURG, WISCONSIN 53711



CITY OF FITCHBURG DESIGN REVIEW SET

SEPTEMBER 22, 2020



JLA
ARCHITECTS

JLA PROJECT NUMBER: 20-0618

ABBREVIATIONS

A air condition	D DEMO demolition	G GALV gage	N north	T T&M time & materials
AE Architect/Engineer	DEFT department	GA galvanized	NA not applicable	TEMP temperature
ACT acoustical ceiling tile	DF drinking fountain	GB grab bar	NIC not in contract	TER terrazzo
ADOL additional	DPS Door and Frame Schedule	GC general contractor	NO number	TERB terrazzo base
ADDM addendum	DH double hung	GL glass	NSM nominal	TF top of finish floor
AFC above finished counter	DIA diameter	GLT glass tile	NS no scale	TK BD tackboard
AFF above finished floor	DR door	GLU LAM glued laminated wood	NTS not to scale	TO top of
AFG above finished grade	DR FR door frame	GR granite, grading		TOB top of beam
AFS above finished slab	DTL detail	GRAN granite		TOC top of concrete
ALT alternate	DWG drawing	GRT grout		TOI top of joist
ALUM aluminum		GW glazed wall tile		TOPO topography
APPD approved		GYP BD gypsum board		TOS top of slab
APT apartment				TOS top of steel
ASC above suspended ceiling				TV television
				TY typical
B baseboard	E east	H hose bibb	O on center	U unless noted otherwise
BB bulletin board	EFS exterior insulation	HC hollow core	OD outside diameter	UON unless otherwise note
BDG building	EL elevation	HCP handicapped	OF/CI owner furnished, contractor installed	
BL blinds (window)	ELEC electric, electrical	HM hollow metal	OF/OI owner furnished, owner installed	
BLT borrowed light	ELEV elevator	HORIZ horizontal	OH DR overhead (ceiling) door	
BLW below	EP epoxy base	HSKPG housekeeping	OPH opposite hand	
BPL base plate	EPS expanded polystyrene board	HT height	OPNG opening	
BO bottom of	EQ equal	HVAC heating, ventilating & air conditioning		
BOS bottom of steel	EXIST existing	HW hot water		
	EXP expand, expansion	HWF hardwood floor		
	EXT exterior	HWY highway		
C catch basin	F female	I inside diameter	Q quarry tile	
CB construction bulletin	F filler	INSUL insulation	QTB quarry tile base	
CF/CI contractor furnished, contractor installed	FA fire alarm	INT interior	R resilient base	
CF/OI contractor furnished, owner installed	FAB fabric	FAX facsimile	RCP reflected ceiling plan	
CF/VI contractor furnished, vendor installed	FC fire cabinet	FD floor drain	RD roof drain	
CG corner guard	FEC fire extinguisher cabinet	FID fire hose cabinet	RF resilient flooring	
CH BD cast-in-place	FHC fire hose cabinet	FG foot grille	RFS room finish schedule	
CIP cast-in-place	FL floor mat	LAV lavatory	RO rough opening	
CJ control joint	FM fire proof	LL live load		
CJ construction joint	FP fire proof			
CL centerline	FRP fiber reinforced panel			
CLG ceiling	FT floor tile			
CLG clear	FTG foiling			
CM construction management	FWP fabric wrapped panel			
CMU concrete masonry unit				
CO cleanout				
COL column				
CONC concrete				
CORR corridor				
CONT continuous				
CPT carpet				
CSWK casework				
CT ceramic tile				
CTB ceramic tile base				

SYMBOL LEGEND

VIEW NUMBER
19
TITLE --- **VIEW NAME**
1/2" = 1' - 0" --- **VIEW SCALE**

WALL TAG
00000

DOOR TAG
000

KEYNOTE TAG
000.000

REVISION TAG
0

FURNITURE TAG
000

EQUIPMENT TAG
000

WINDOW TAG
XX 000

CASEWORK TAG (PLAN OR ELEVATION)
000

FINISH PLAN TAG
FLOOR
BASE
WALL
REMARKS

CEILING TAG
TYPE
HEIGHT

ROOM TAG
NAME
0000

DETAIL CALLOUT
00 SIM
A000

SECTION CALLOUT
00 SIM
A000

ELEVATION CALLOUT
2
1 3
A000

ELEVATION DATUM
Level
0' - 0"

NORTH ARROW

EXISTING CONSTRUCTION

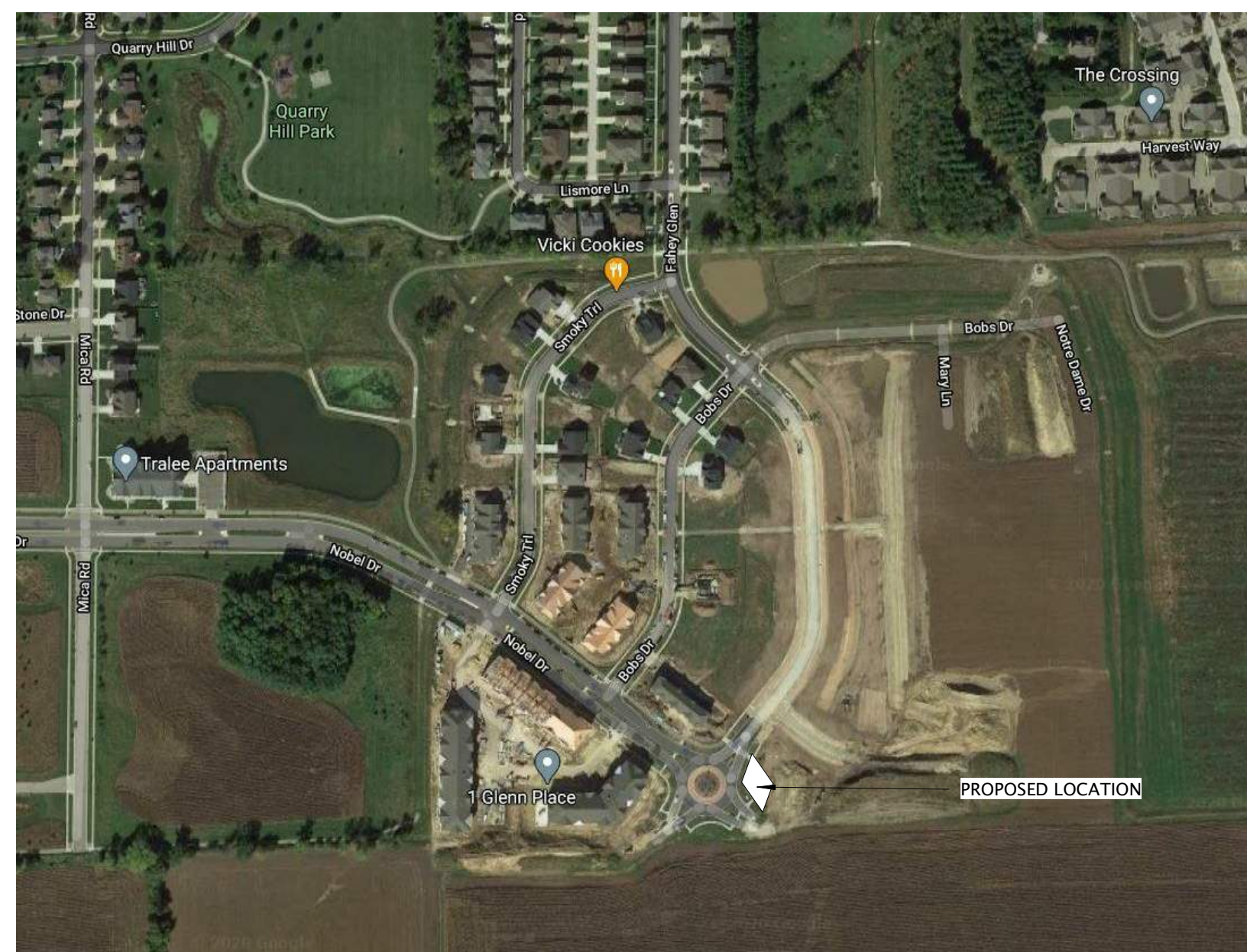
DEMOLITION

NEW CONSTRUCTION

NEW GRID AND IDENTIFICATION
1
2

EXISTING GRID AND IDENTIFICATION
A
B

VICINITY MAP



PROJECT ADDRESS

FAHEY TOWNHOME
FAHEY FIELDS LOT #107
FITCHBURG, WISCONSIN 53711

OWNER INFORMATION

IRISH 1855 LLC
702 NORTH HIGH POINT ROAD SUITE 200
MADISON, WISCONSIN 53717
CONTACT: DAVID FAHEY AND TONY HEINRICHS
EMAIL: FAHEYFIELDS1@GMAIL.COM
P 608.235.9220

PROJECT TEAM

GENERAL CONTRACTOR

TBD

ADDRESS
ADDRESS
CONTACT: XXXX
EMAIL: XXXXX
PHONE: XXXXX

ARCHITECTURAL

JLA ARCHITECTS & PLANNERS
800 W. BROADWAY, SUITE 200
MONONA, WISCONSIN 53713
CONTACT: MR. MARC OTT
MOTT@JLA-AP.COM
OFFICE: 608.241.9500 DIRECT: 608.442.3867

CIVIL ENGINEERING

D'ONOFRIO KOTTKE AND ASSOCIATES
7530 WESTWARD WAY
MADISON, WISCONSIN 53717
CONTACT: MR. BRUCE HOLLAR
BHOLLAR@DONOFRIO.CC
608.833.7530

STRUCTURAL ENGINEERING

TBD

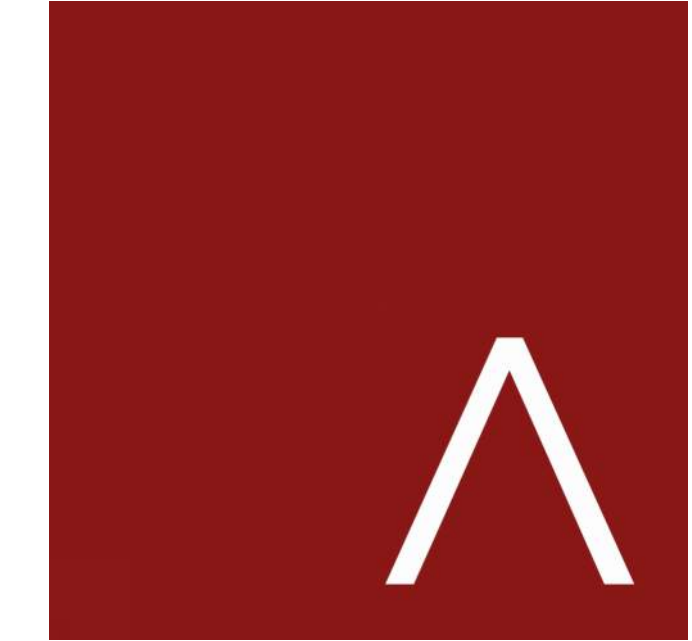
ADDRESS
ADDRESS
CONTACT: XXXX
EMAIL: XXXXX
PHONE: XXXXX

SET ISSUE

CITY OF FITCHBURG DESIGN REVIEW SET
SEPTEMBER 22, 2020

SHEET INDEX

SHEET DISCIPLINE AND NUMBER	
ARCHITECTURAL SITE	
ASP-100	ARCHITECTURAL SITE LAYOUT PLAN
GENERAL	
G000	COVER SHEET
G001	INDEX SHEET
G002	CODE INFORMATION
CIVIL	
C200	GRADING & EROSION CONTROL PLAN
C300	UTILITY PLAN
CIVIL - LANDSCAPE	
L-1.0	LANDSCAPE PLAN
CIVIL - SITE LIGHTING	
P-1.0	SITE LIGHTING PHOTOMETRIC
P-1.1	FIXTURE CUT SHEET
ARCHITECTURAL	
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A109	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A800	WINDOW, DOOR & FRAME SCHEDULES
Grand total: 14	



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0618



FAHEY TOWNHOME

CITY OF FITCHBURG DESIGN REVIEW SET

PROGRESS DOCUMENTS

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DATE OF ISSUANCE SEPTEMBER 22, 2020

REVISION SCHEDULE		
MARK	DESCRIPTION	DATE

SHEET TITLE

INDEX SHEET

SHEET NUMBER

G001

JLA ARCHITECTS PROJECT CODE REVIEW
ARCHITECTURAL REVIEW - BUILDING SUBMITTAL
09/18/2020 (Prepared by Andy Lee)

PROJECT NAME: Fahey Townhome
PROJECT DESCRIPTION: 4 Unit, 2-Story Townhome Buildings
PROJECT LOCATION: Street: Fahey Fields Lot #107
City: Fitchburg, WI 53711

CODE: Code Version: 2015 International Building Code (IBC)
Including Wisconsin Commercial Building Code 2018

CONSTRUCTION TYPE: 5B - WOOD FRAMED, PROTECTED

REQUIRED BUILDING ELEMENT RATINGS		
Bearings Walls	0 HOUR	Table 601
Floors	0 HOUR	Table 601
Roofs	0 HOUR	Table 601
Exterior Walls	0 HOUR	IBC 704, Table 602

BUILDING AREA (DESIGN):
Per IBC Definition (502.1 - 202)
Interior Side of Exterior Walls
Exterior Spaces Under Roof

BUILDING AREAS				
FLOOR	MAIN OCCUPANCY (R2)	GARAGES (U)	COVERED PORCHES/ BALCONIES	TOTALS
2ND FLOOR	3,234		120	3,354
1ST FLOOR	3,118	1,633	212	4,963
TOTALS:	6,352	1,633	332	8,317

**** NOTE: INDIVIDUAL GARAGE AREAS TO BE SEPARATED FROM ADJACENT GARAGE AREAS WITH 1HR FIRE BARRIERS**

BUILDING AREA

BUILDING AREA		
	DESIGN	*FRONTAGE INCREASE
1ST FLOOR	4,963	12,250
2ND FLOOR	3,354	12,250
TOTALS:	8,317	24,500

(CODE REVIEW):
Area Limitations: (Table 506.2)
Construction = Type VB
Occupancy = R-2
Area Limit = 7,000 SF
*Frontage Increase = 12,250 SF
Allowed Per Floor (SEE Building Area Calculations below)

* MAX IS ALLOWABLE PER TABLE 506, PLUS FRONTAGE INCREASE

BUILDING AREA CALCULATIONS				Max Stories with NFPA 13R = 3	
Allowable Area Determination:	NS	7,000		# of stories per design =	2
per Table 506.2	S13R	7,000			
R-2 Occupancy	S1	28,000			
	SM	21,000			
Amount of frontage Increase (If):	l(frontage)=	[F/P-0.25]W/30		F = Building Perimeter length with frontage >= 20 ft.	
per 506.3.3	l(frontage)=	[348 / 348 -0.25] * 30.00 / 30		W = (L1*w1)+(L2*w2)+(L3*w3)+(L4*w4)/F	
	l(frontage)=	[1.00 -0.25] * 1.00		Facade Lengths	Frontage Dist.
	l(frontage)=	0.75 * 1.00		L1	348
	l(frontage)=	0.75		W1	30
				L2	0
				W2	0
				L3	0
				W3	0
				L4	0
				W4	0
				L5	0
				W5	0
				L6	0
				W6	0
				L7	0
				W7	0
				L8	0
				W8	0
				L9	0
				W9	0
				L10	0
				W10	0
				Perimeter (P) =	348
				F =	348
				SUM	10440
				W =	30.00
				A(allowed) =	24,500.00

HEIGHT LIMITATION:

ALLOWABLE HEIGHT - WITH NFPA 13R SPRINKLER INCREASE

Allowed: per IBC 504, Table 504.3
per IBC 504.4, Table 504.4
(3) Stories (60 Feet Max.) of 5B Construction Above Grade
(Table 504.4 with S13R sprinkler increase)

Designed:

DESIGN HEIGHT
(2) Stories 5B Construction - 33'-0" Average Height Above Grade Plane

OCCUPANCY & FIRE PROTECTION SYSTEMS:

FIRE AREA	OCCUPANCY	SPRINKLER TYPE	NOTES
Fire Area #1	R2	NFPA 13R per 903.3.1.2	Quick Response Sprinklers required per 903.3.2

Notes:
Complete Fire Alarm System is required on all floors
Provide Fire Extinguishers per NFPA 10

FIRE SEPARATIONS:

Fire Area Separations: N/A
Exit Access Corridors: N/A
Vertical Exit Enclosures: N/A
Occupancy Separations: N/A

See Life Safety Plans

Dwelling Unit Separation: 1 HR Fire Partition - Vertical (708)
To underside of roof deck or 1 HR rated assembly (708.4)
Penetrations per Section 714

In Floor Draftstopping: Floor/Ceiling Space Separation required above all Unit Separation Partitions (per 718.3, 718.3.2)

Attic Separation: Code Required Attic Space Separation at every (2) units or 3,000 s.f. (2015 IBC, SECTIONS 718.4, 718.4.2)

Allowable Wall Openings: per IBC 705.8	Fire Separation Distance (ft)	Unprotected Openings, Nonsprinklered (NFPA 13R)	Unprotected Openings, Sprinklered (NFPA 13)	Protected Openings per Section 705.8.2
	3'-5'	Not Permitted	15%	15%
5'-10'	10%	25%	25%	
10'-15'	15%	45%	45%	
15'-20'	25%	75%	75%	
20'-25'	45%	No Limit	No Limit	
25'-30'	70%	No Limit	No Limit	
>= 30'	No Limit	No Limit	No Limit	

EGRESS: (Maximum Travel Distance for R-2 Occupancy)

Common Path of Travel (1006.2.1, Table 1006.2.1) = 125'

Exit Access Travel Distance (With Sprinkler System) = 250 feet (Section 1017, Table 1017.2)

DESIGN TRAVEL DISTANCES
See "EXIT TRAVEL DISTANCE" schedule on Life Safety Plans

SOUND TRANSMISSION:

Dwelling Unit Separations:
Air-borne sound: STC: not less than 50 (45 if field tested) - Section 1207.2
Structural-borne sound: IIC: not less than 50 (45 if field tested) - Section 1207.3

EXIT TRAVEL DISTANCE - BUILDING T6		
Path ID	Travel Distance	Description
FE1b	84' - 6"	
FE2b	84' - 6"	

LIFE SAFETY LEGEND

WALL FIRE RATINGS:

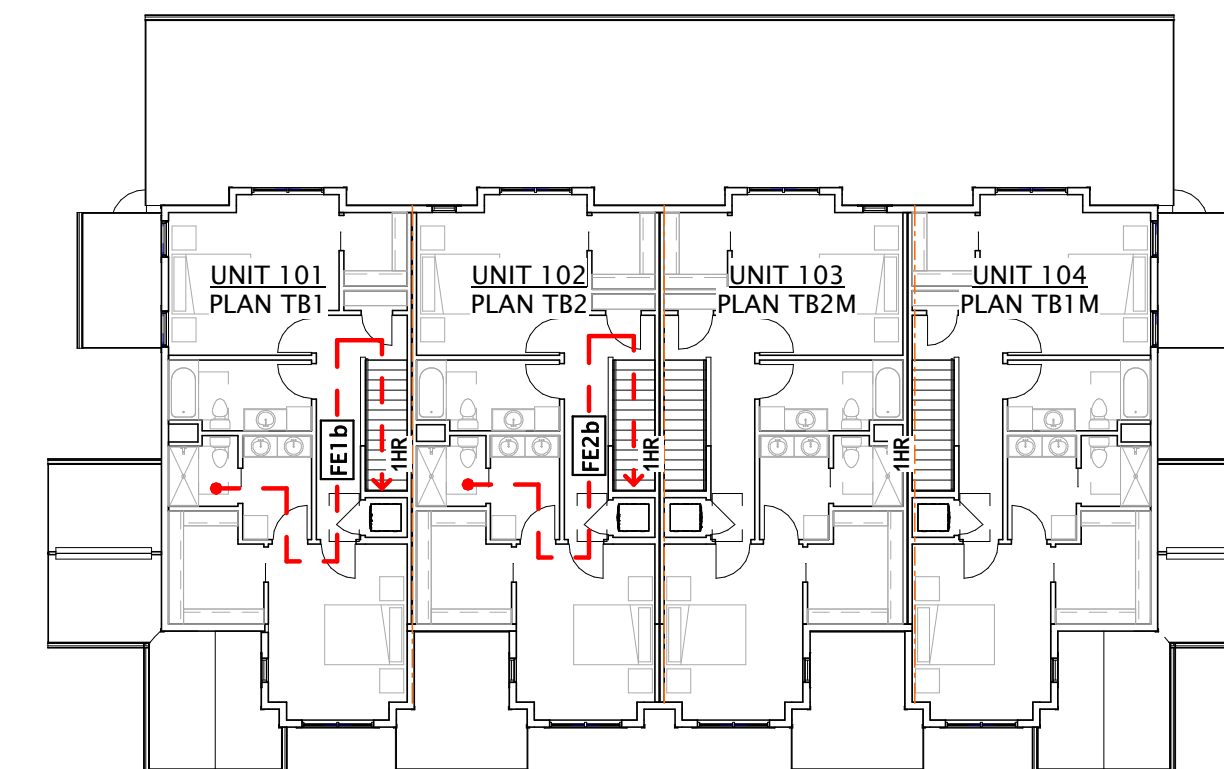
1 HOUR RATED: ----- 1HR -----

SYMBOLS & TAGS:

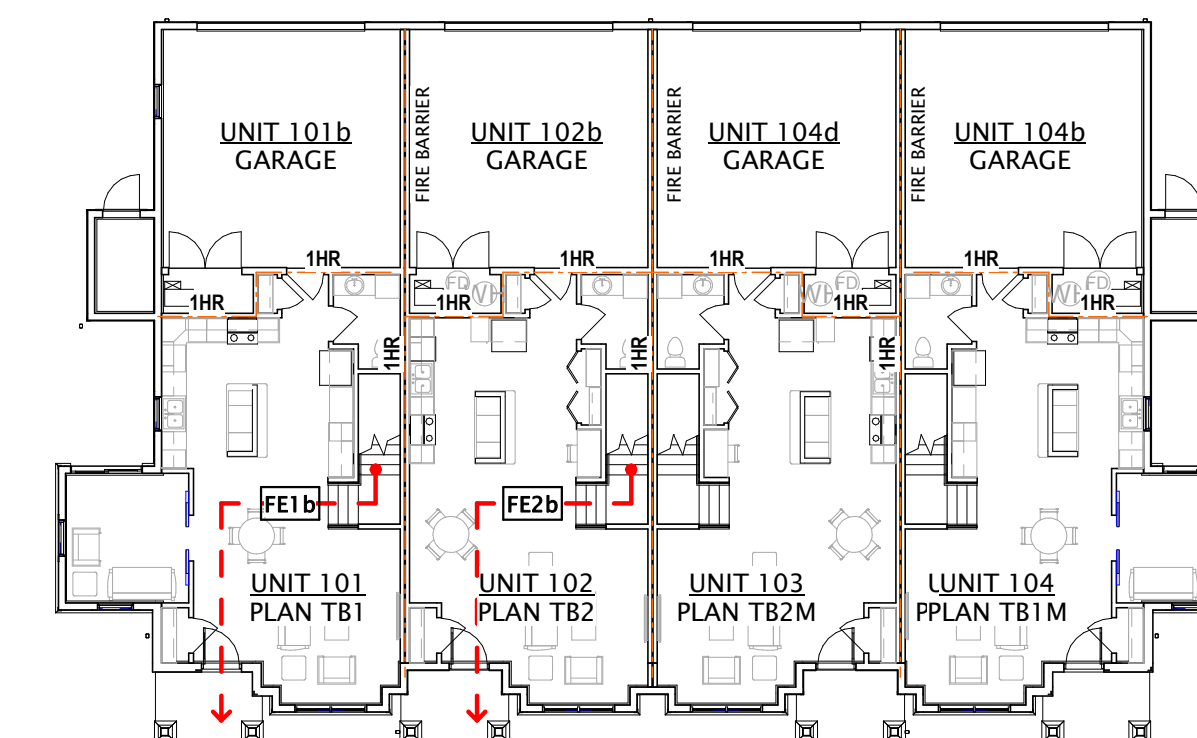
- [FE-1.1] - FIRE EXIT TRAVEL ROUTE - SEE SCHEDULE
- [CP-1.1] - COMMON PATH OF TRAVEL - SEE SCHEDULE

NOTES:

- NOTE ALL STRUCTURAL COMPONENTS SHALL BE RATED EQUAL TO THE RATED ASSEMBLY FOR WHICH THEY SUPPORT.
- ALL RESIDENTIAL UNITS ARE SEPARATED WITH 1HR RATED FIRE PARTITIONS.
- PER 2015 IBC SECTION 406.3.1: ALL PRIVATE GARAGES TO BE SEPARATED FROM ADJACENT PRIVATE GARAGES BY 1HR FIRE BARRIERS IN ACCORDANCE WITH 2015 IBC SECTION 707.
- PER 2015 IBC SECTION 406.3.4.1: PRIVATE GARAGES SHALL BE SEPARATED FROM DWELLING UNITS WITH (MIN) 1/2" (GARAGE WALL SIDE) CWB & (MIN) 5/8" (GARAGE CEILING SIDE BELOW HABITABLE ROOMS) CWB WITH 1/2" APPLIED TO SUPPORTING STRUCTURES.
- ALL FIRE RATED ASSEMBLIES WITHIN CONCEALED ACCESSIBLE SPACES SHALL BE CLEARLY AND PERMANENTLY IDENTIFIED PER 2015 IBC SECTION 703.7.
- CONCEALED SPACE FIRE/ SMOKE BLOCKING: PROVIDE PER 2015 IBC 718 - TYPICAL THROUGHOUT ENTIRE BUILDING. FIREBLOCKING MATERIALS PER 2015 IBC 718.2.1 SHALL BE:
 - NOTE LESS THAN 2" NOMINAL LUMBER
 - (2) LAYERS OF 1" NOMINAL LUMBER WITH BORKEN LAP JOINTS
 - (1) LAYER OF 0.719" STRUCTURAL PANELS WITH JOINTS BACKED BY SAME
 - (1) LAYER 3/4" PARTICLE BOARD WITH JOINTS BACKED BY SAME
 - 1/2" THICK GYPSUM WALL BOARD
 - 1/4" CEMENT BASED MILLBOARD
 - BATTS, BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
 - CELLULOSE INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION
 (SEE STAIR DETAILS FOR ADDITIONAL FIREBLOCKING INFORMATION).
- DOUBLE STUD WALL ASSEMBLIES: PROVIDE BOTH HORIZONTAL AND VERTICAL FIRE/ SMOKE BLOCKING PER 2015 IBC SECTION 718.2.1.5 AND INSTALLED PER 718.2.2.
 - VERTICAL BLOCKING AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTAL BLOCKING AT INTERVALS NOT EXCEEDING 10 FEET.
- DRAFTSTOPPING: PROVIDE PER 2015 IBC 718.3 - TYPICAL THROUGHOUT ENTIRE BUILDING. DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" WOOD STRUCTURAL PANEL, 3/8" PARTICLEBOARD, 1" NOMINAL LUMBER, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR CLASS FIBER. THE INTEGRITY OF DRAFTSTOPS SHALL BE MAINTAINED.



13 SECOND FLOOR - LIFE SAFETY PLAN - BUILDING T6
1/16" = 1'-0"



18 FIRST FLOOR - LIFE SAFETY PLAN - BUILDING T6
1/16" = 1'-0"



JLA
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MADISON : MILWAUKEE
jla-ap.com

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FAHEY TOWNHOME

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

CODE
INFORAMTION

SHEET NUMBER

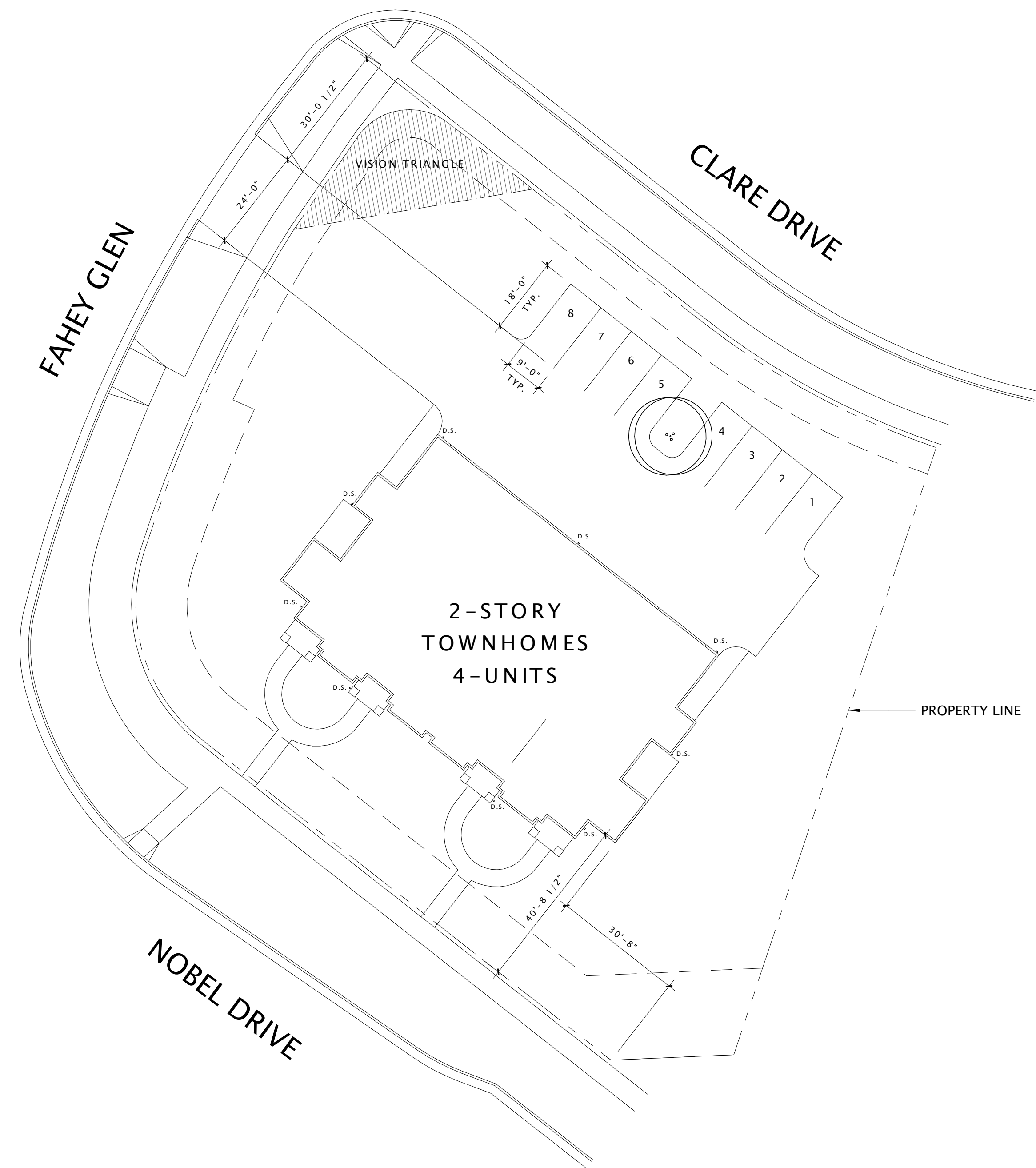
G002



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

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FAHEY TOWNHOME

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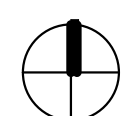
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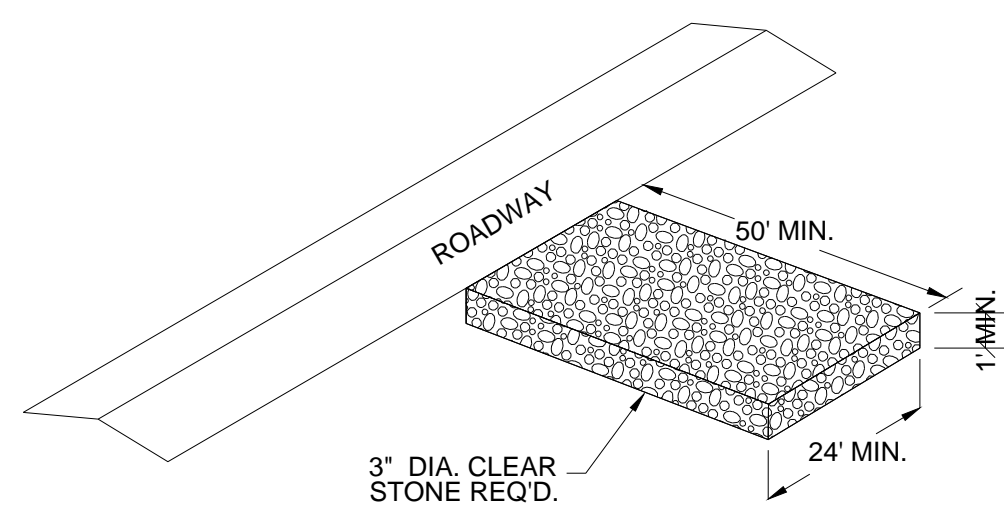
SHEET TITLE

ARCHITECTURAL SITE
LAYOUT PLAN

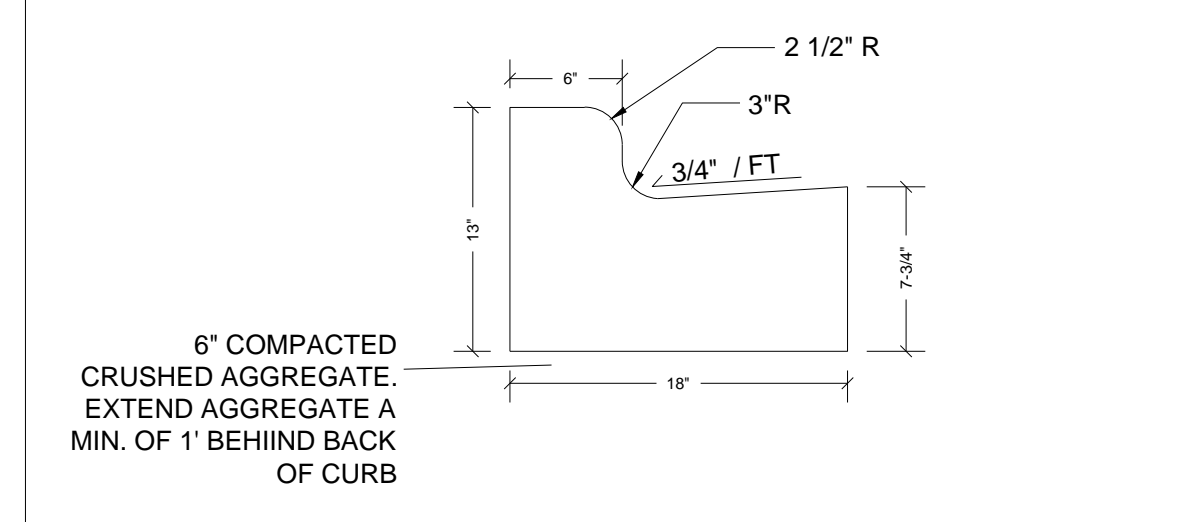
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ASP-100

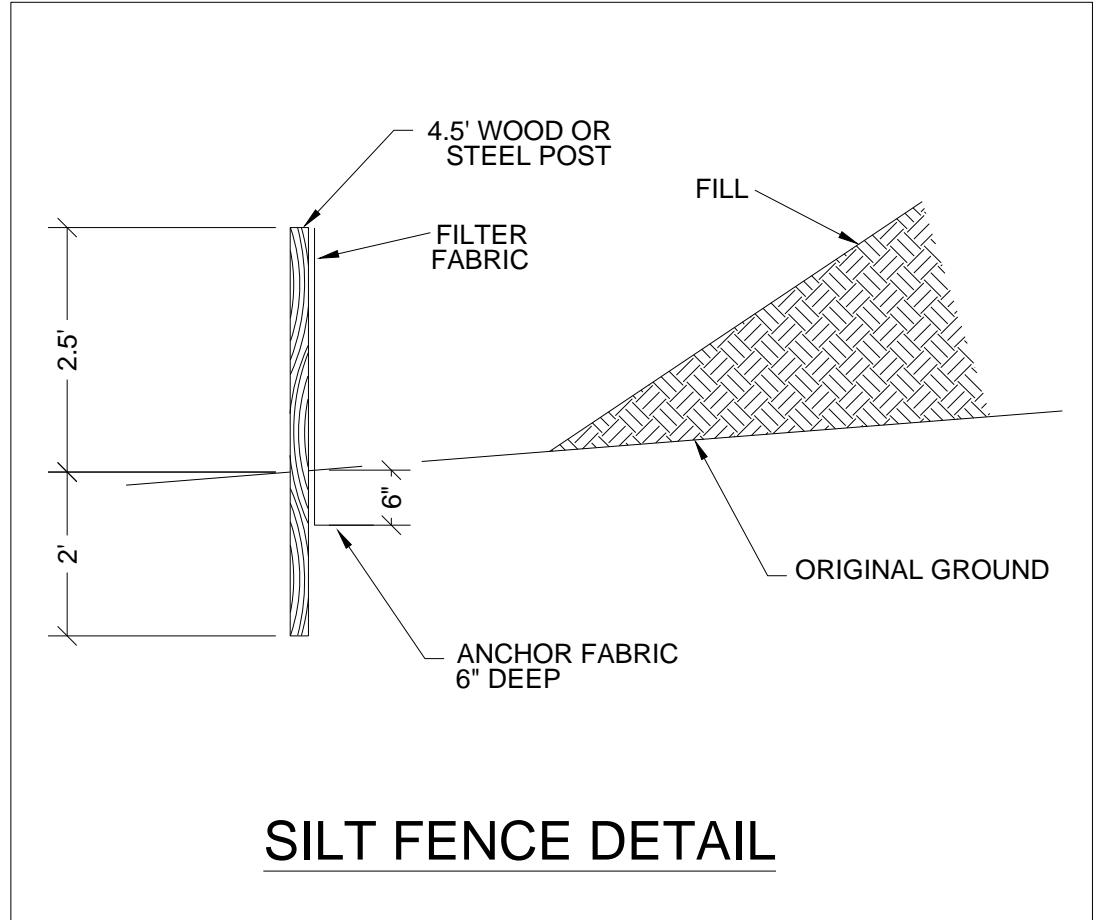




STONE TRACKING PAD DETAIL
NOT TO SCALE



18" CURB & GUTTER DETAIL
NOT TO SCALE



SILT FENCE DETAIL

IMPERVIOUS SURFACE RATIO (ISR)

LOT AREA = 25,563 SF
PROPOSED IMPERVIOUS AREA = 11,400 SF

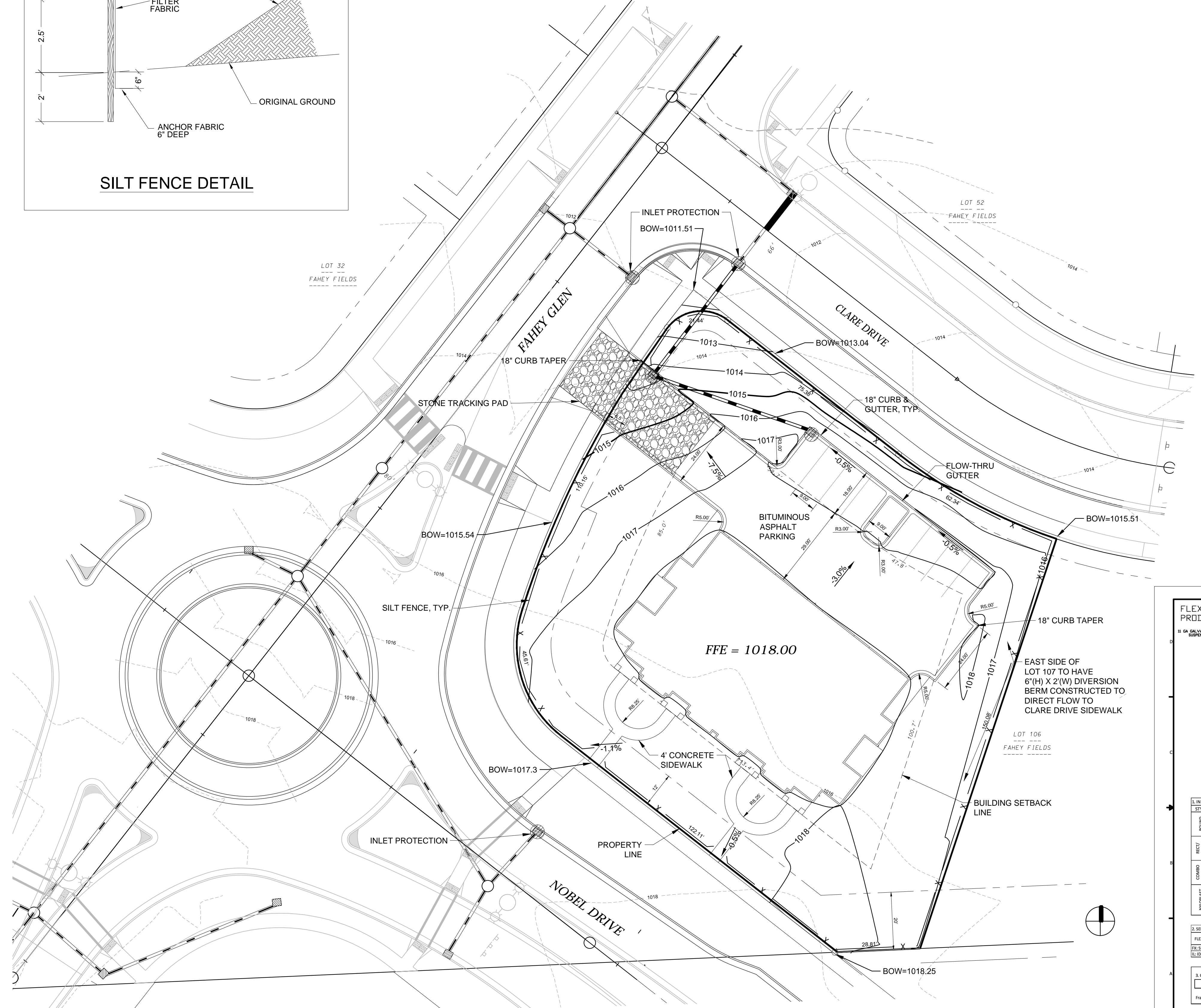
ISR = 44.6%

GENERAL NOTES:

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF FITCHBURG STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
- BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
- IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION AND OFFSITE DURING FINAL RESTORATION.

SITE GRADING AND EROSION CONTROL NOTES:

- ALL SITE GRADING AND EROSION CONTROL SHALL CONFORM WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE, CHAPTER 30 AND ANY ADDENDUMS ISSUED PRIOR TO THE CONTRACT BID DATE.
- STONE TRACKING PADS AND SILT FENCE SHALL BE INSTALLED AT THE START OF SITE GRADING AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED. ALL INLETS ON-SITE AND ON STREETS THAT ARE ADJACENT TO THE WORK AREA SHALL RECEIVE TYPE D INLET FILTER BAGS PRIOR TO SITE DISTURBANCE AND MAINTAINED THROUGHOUT CONSTRUCTION.
- DISTURBED AREAS WITHIN THE CITY ROW SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE CITY SPECIFICATIONS. ALL DISTURBED AREAS ON SITE SHALL BE RESTORED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ANY DISTURBED SLOPES 4:1 OR STEEPER SHALL BE RESTORED WITH CLASS 1 TYPE EROSION MATTING WITHIN 48 HRS OF FINAL TOPSOIL PLACEMENT ON THE BANKS.
SEED: MADISON PARKS MIX APPLIED AT A RATE OF 6 POUNDS PER 1000 SF
FERTILIZER: FERTILIZER COMPOSITION SHALL BE DETERMINED BY A SOILS TEST AND APPLIED AT A RATE OF 0.5 NITROGEN POUNDS PER 1000 SF.
- EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED. EROSION MEASURES AS LISTED SHALL BE THE MINIMUM MEASURES THAT WILL BE ACCEPTABLE.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION MEASURES AS REQUESTED IN WRITING BY THE PROJECT SUPERINTENDENT OR THE CITY OF FITCHBURG WITHIN 24 HOURS OF NOTIFICATION.
- ONCE THE SITE HAS UNDERGONE FINAL RESTORATION AND VEGETATION HAS ESTABLISHED, THE SILT FENCE SHALL BE REMOVED AND IF NECESSARY, RESTORED WITH FERTILIZER, SEED AND MULCH. ALTERNATIVELY, IF VEGETATION HAS NOT ESTABLISHED, EROSION MATTING MUST BE PLACED ON ALL DISTURBED AREAS THAT MAY DRAIN TOWARD THE SILT FENCE.
- SITE INSPECTIONS SHALL BE COMPLETED ON A WEEKLY BASIS OR AFTER EVERY RAINFALL OF AT LEAST 0.5 INCHES. ALL NECESSARY REPAIRS MUST BE COMPLETED WITHIN 24 HOURS OF NOTIFICATION.
- ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS
- PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES
- DEWATERING, IF APPLICABLE SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.
- DURING CONSTRUCTION ALL CURB INLETS SHALL RECEIVE FLEXSTORM CATCH IT OR EQUIVALENT AND INSTALLED IMMEDIATELY AFTER INSTALLATION OF THE STRUCTURE.
- ALL CURB INLETS SHALL RECEIVE PERMANENT FLEXSTORM PURE OR EQUIVALENT INLET FILTER BAGS WITH HR PILLOWS FOR OIL AND GREASE PROTECTION. HR PILLOW SHALL BE INSTALLED AFTER THE PARKING LOT HAS BEEN PAVED AND THE SITE STABILIZED.
- DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING FOR COMMERCIAL DRIVEWAYS. THIS INCLUDES A STRAIGHT TAPER IN THE CURB, CONCRETE THICKNESS SHOULD BE 7" THROUGHOUT THE APRON AND SIDEWALK. STONE BASE TO BE 6 INCHES.



FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

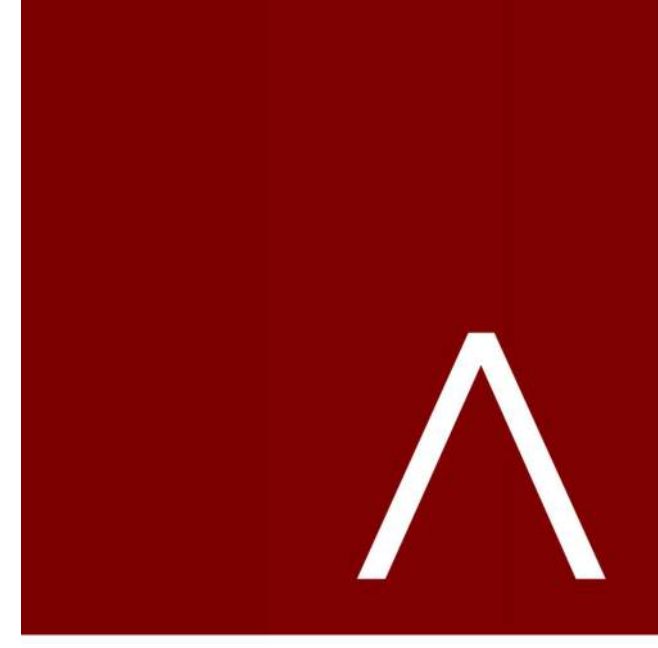
IDENTIFY YOUR FRAME STYLE AND SIZE	Frame P/N
Small Round (up to 20" dia) (A) (10')	42NRD
Med Round (20" - 24" dia) (A) (10')	42NRD
Large Round (24" - 30" dia) (A) (10')	42NRD
Small Square (up to 24" dia) (A) (10')	42NRD
Med Square (24" - 30" dia) (A) (10')	42NRD
Large Square (30" - 36" dia) (A) (10')	42NRD
Small Round (up to 20" dia) (B) (10')	42NRD
Med Round (20" - 24" dia) (B) (10')	42NRD
Large Round (24" - 30" dia) (B) (10')	42NRD
Small Square (up to 24" dia) (B) (10')	42NRD
Med Square (24" - 30" dia) (B) (10')	42NRD
Large Square (30" - 36" dia) (B) (10')	42NRD

SPECIFICATIONS FOR STANDARD BAGS BY NOMINAL SIZE			
Nominal Size (in)	Volume (cu ft)	Flow Rate (gpm)	Flow Rate (cfs)
Small	2.3	1.7	0.04
Medium	3.3	2.7	0.07
Large	4.3	3.6	0.09

INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER INTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

ALL PRODUCTS MANUFACTURED BY FLEXSTORM INLET FILTERS, INC. A DIVISION OF AIS, INC. WWW.INLETFILTERS.COM (800) 257-8655 FAX (630) 395-3477 FAX INFO@INLETFILTERS.COM



JLA ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0618
DKA PROJECT NUMBER: 20-05-156

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FAHEY TOWNHOME

CITY OF FITCHBURG DESIGN REVIEW SET

PROGRESS DOCUMENTS

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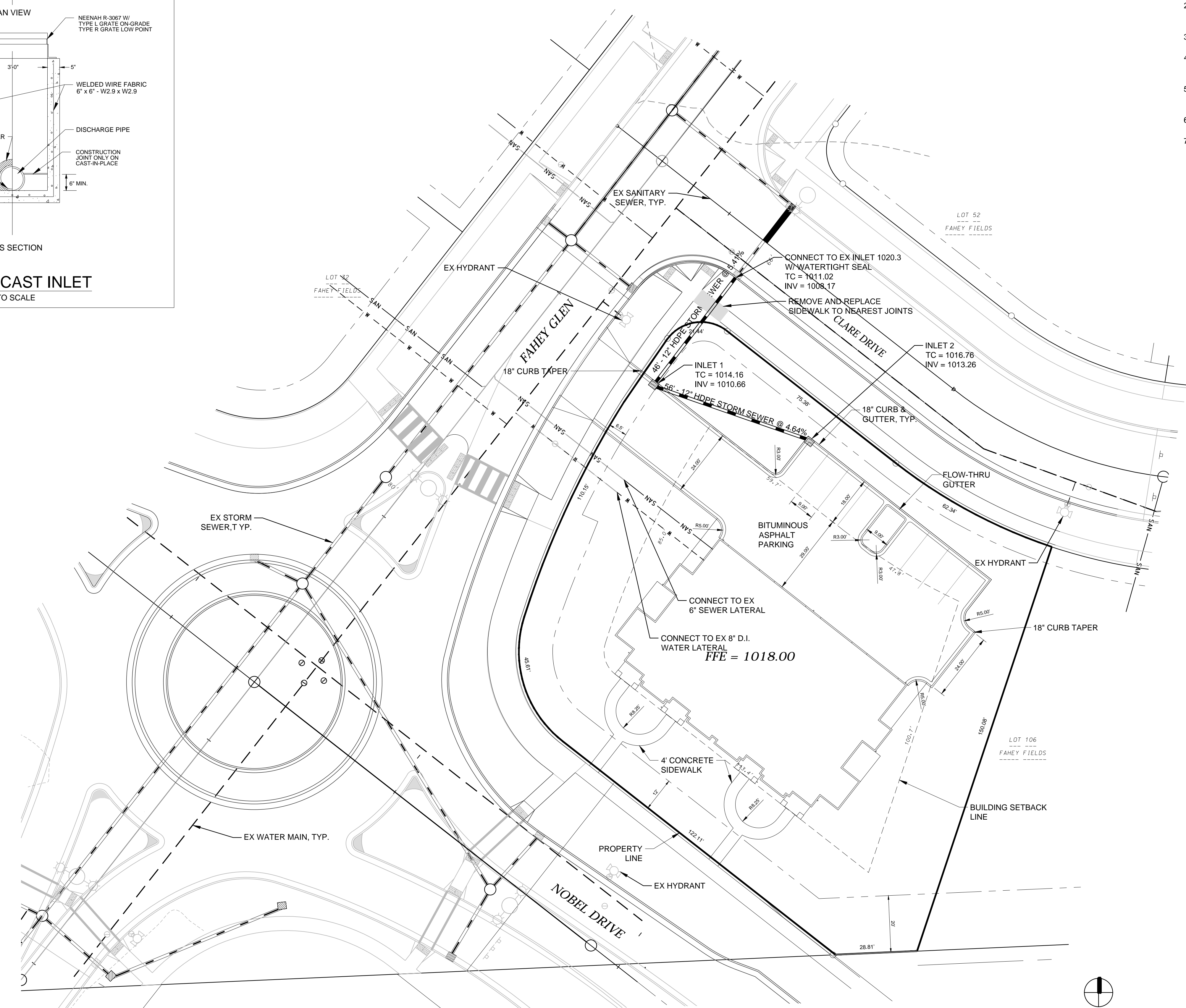
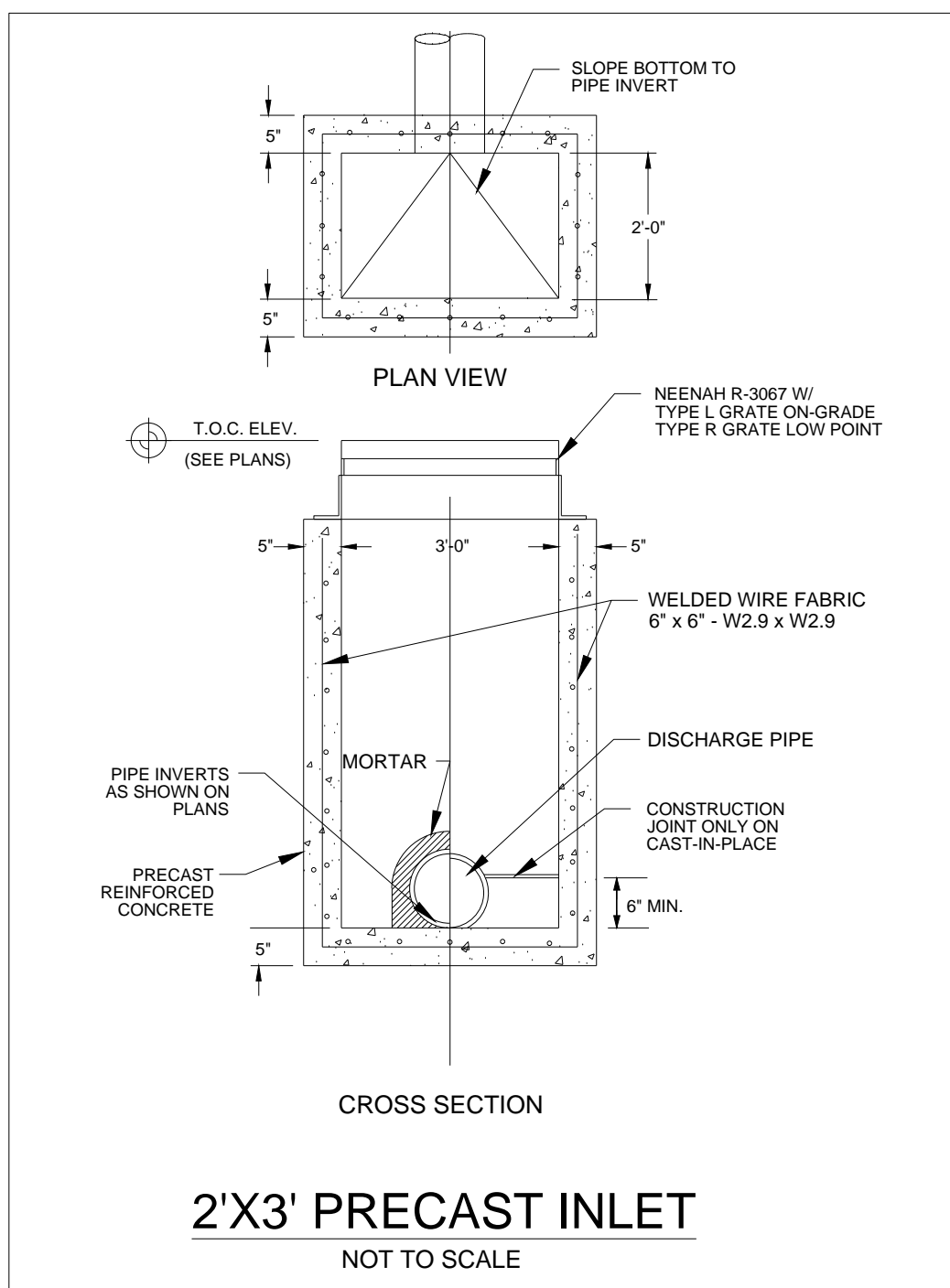
REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
GRADING & EROSION CONTROL PLAN

SHEET NUMBER

C200



- UTILITY NOTES:
1. ALL STORM SEWER AND SANITARY SEWER SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION, INCLUDING ALL ADDENDUMS.
 2. WATER LATERAL SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FITCHBURG AND DNR STANDARDS.
 3. WATER LATERAL SHALL HAVE A MINIMUM 6.5' OF BURY TO TOP OF PIPE.
 4. INL #1 - #2 SHALL BE 2' X 3' PRECAST STRUCTURES WITH NEENAH R-3067 TYPE R FRAME AND GRATE.
 5. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.
 6. ALL PVC STORM SEWER PIPING SHALL BE ADS N-12 OR EQUIVALENT
 7. PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.



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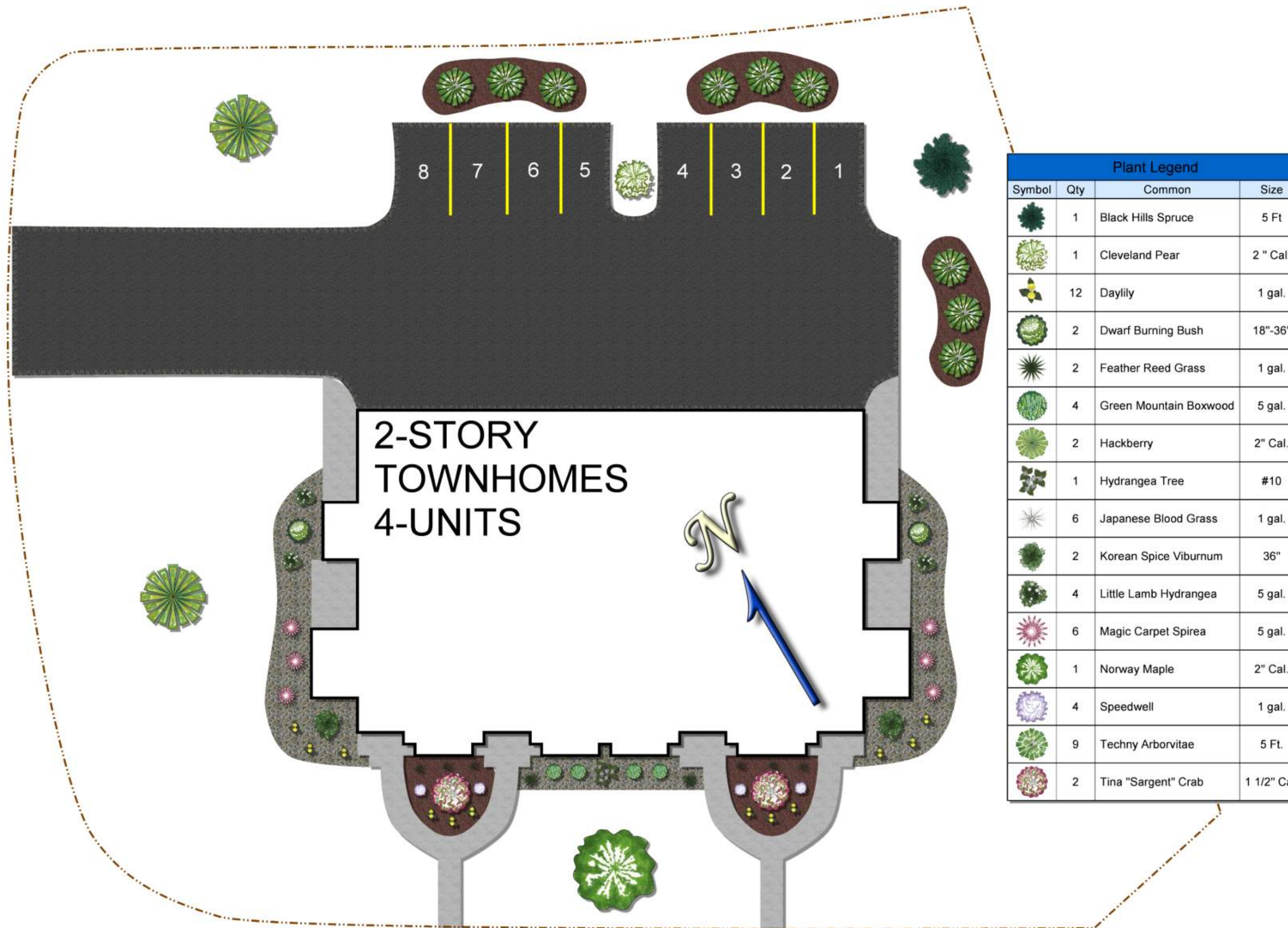
REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
C300

All disturbed areas shall be seeded with Madison Parks Seed with straw.
 All foundation plantings will have Ace of Diamonds edging installed.
 Foundation beds will have 1 1/2" wash stone with landscape fabric.
 Mulch beds will have Double Shredded Harwood Bark.



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PROGRESS DOCUMENTS

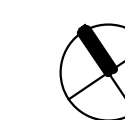
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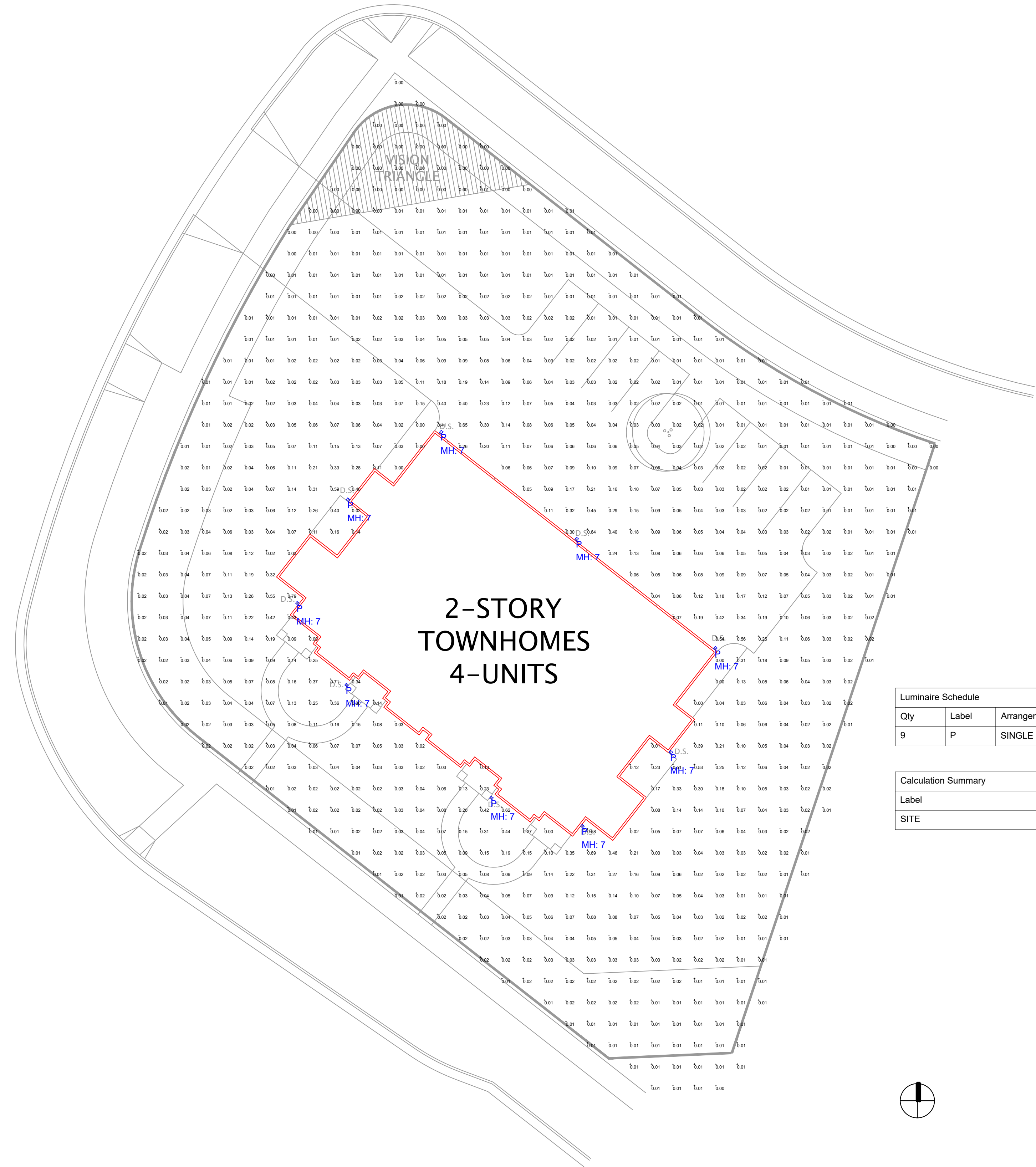
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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L-1.0





**2-STORY
TOWNHOMES
4-UNITS**

Luminaire Schedule									
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens	
9	P	SINGLE	0.720	CANARM	BRWL-SQ6W-N-BK (APPROXIMATED)	11.8	106.2	664	

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
SITE	illuminance	Fc	0.06	0.79	0.00	N.A.	N.A.	



#	DATE	COMMENTS
REVISIONS		

DRAWN BY : AD
DATE : SEPT 22, 2020
SCALE : 1/16" = 1'- 0"

FAHEY FIELDS TOWNHOMES
FITCHBURG, WISCONSIN
LIGHTING LAYOUT



CANARM LTD.

PO Box 367, 2157 Parkedale Avenue, Brockville, Ontario K6V5V6
 Tel: 613-342-5424 | Fax: 1-800-263-4598
 2555 Rue Bernard Lefebvre, Laval, Quebec H7C 0A5
 Tel: 1-450-665-2535 | Fax: 1-450-665-0910
 808 Commerce Park Drive, Ogdensburg, New York, USA 13669
 Tel: 1-800-267-4427 | Fax: 1-800-263-4598
 www.canarm.com

LED Outdoor Light

part # BRWL-SQ6W-N-BK

General

Size of fixture: 4 1/4" W x 9 1/2" H x 3 1/4" D
 Finish: black plastic
 Lens: High quality PC acrylic lens
 Stainless steel screws
 UV resistant paint
 Canopy size: 4 1/4" x 9 1/2"
 Mounting: wall
 EASY CONNECT™

Lamping

Light source: LED
 Energy used: 7W
 Light output: 500 lumens thru the lens
 Colour temperature: 3000K
 Light source life: 30,000 hours

Packaging

Colour box: 9.85" x 4.72" x 4.33" (250 x 120 x 110mm)
 Colour box weight: 1.98 lbs (0.90 kgs)
 Master box: 20.47" x 9.85" x 22.25" (520 x 250 x 565mm)
 Pieces per master: 20
 Master box weight: 41.98 lbs (19.04 kgs)

Warranty & Safety Standards

Warranty - 5 year
 cCSAus
 Suitable for wet locations



WARNING: The use of this product can expose you to chemicals including Cadmium, which is known to the State of California to cause cancer, and Lead, which is known to the State of California to cause birth defects and/or other reproductive harm. For more information go to www.P66Warnings.ca.gov



Prepared for
Contact
Date
Presented by
Remarks



JLA
ARCHITECTS

MADISON : MILWAUKEE
 jla-ap.com

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SHEET TITLE

FIXTURE CUT SHEET

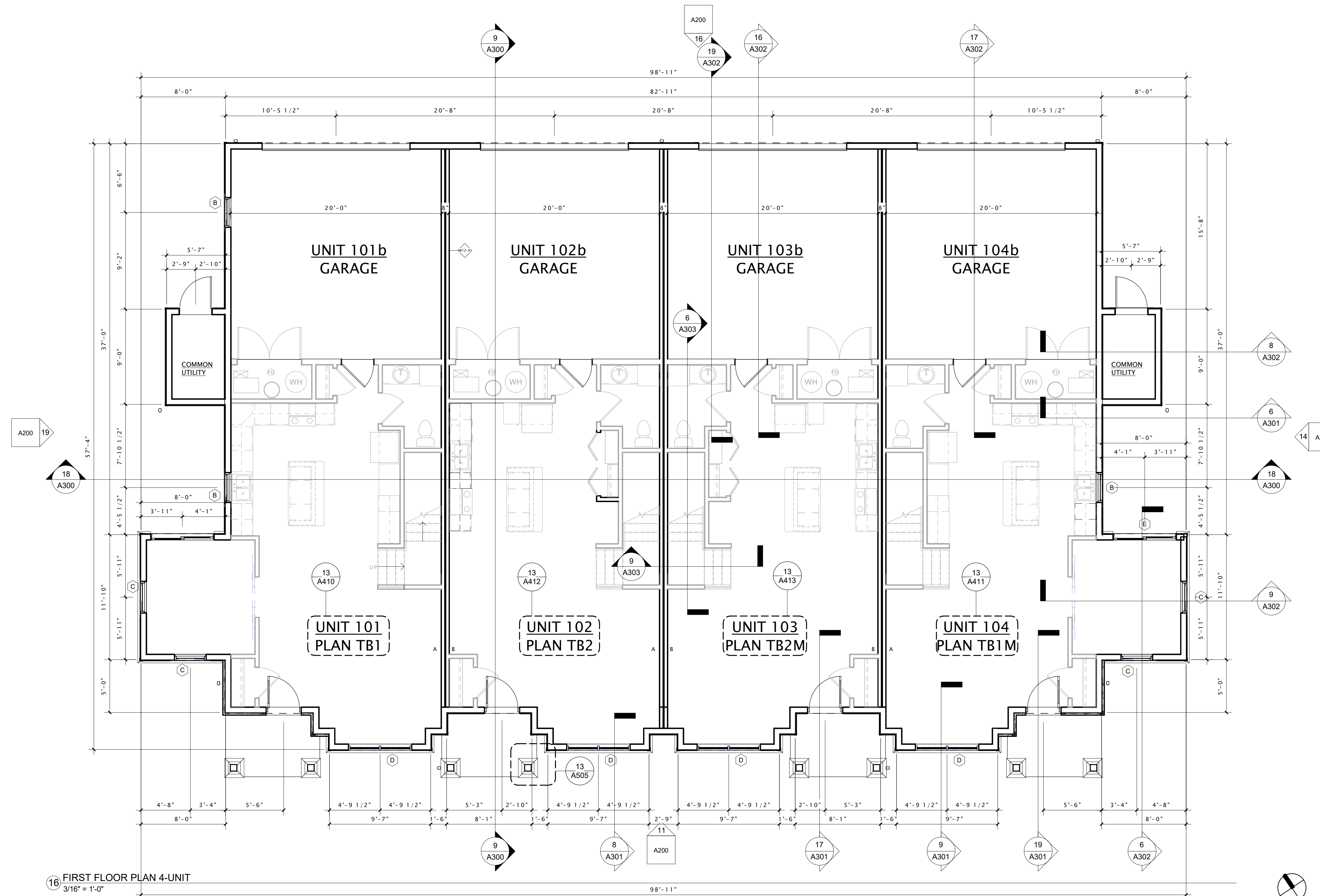
SHEET NUMBER

P-1.1

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
- BUILDING TO BE FULLY SPRINKLERED PER 2015 IBC & NFPA 13R, AS REQUIRED.

CONSTRUCTION TYPE: WOOD FRAMED
FOUNDATION TYPE: SLAB ON GRADE
NUMBER OF LEVELS: 2
BUILDING AREA: RESIDENTIAL - 6,352 SQ. FEET
 GARAGES - 1,633 SQ. FEET
 COVERED PORCHES/BALCONIES - 332 SQ. FEET
TOTAL - 8,317 SQ. FEET



16 FIRST FLOOR PLAN 4-UNIT
 3/16" = 1'-0"



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 ARCHITECTS

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 20-0618

FAHEY TOWNHOME

CITY OF FITCHBURG DESIGN REVIEW SET

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101

GENERAL PLAN NOTES

1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE NOTED.
2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
5. VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
7. PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
8. PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
9. FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
10. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
11. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.
13. BUILDING TO BE FULLY SPRINKLERED PER 2015 IBC & NFPA 13R, AS REQUIRED.



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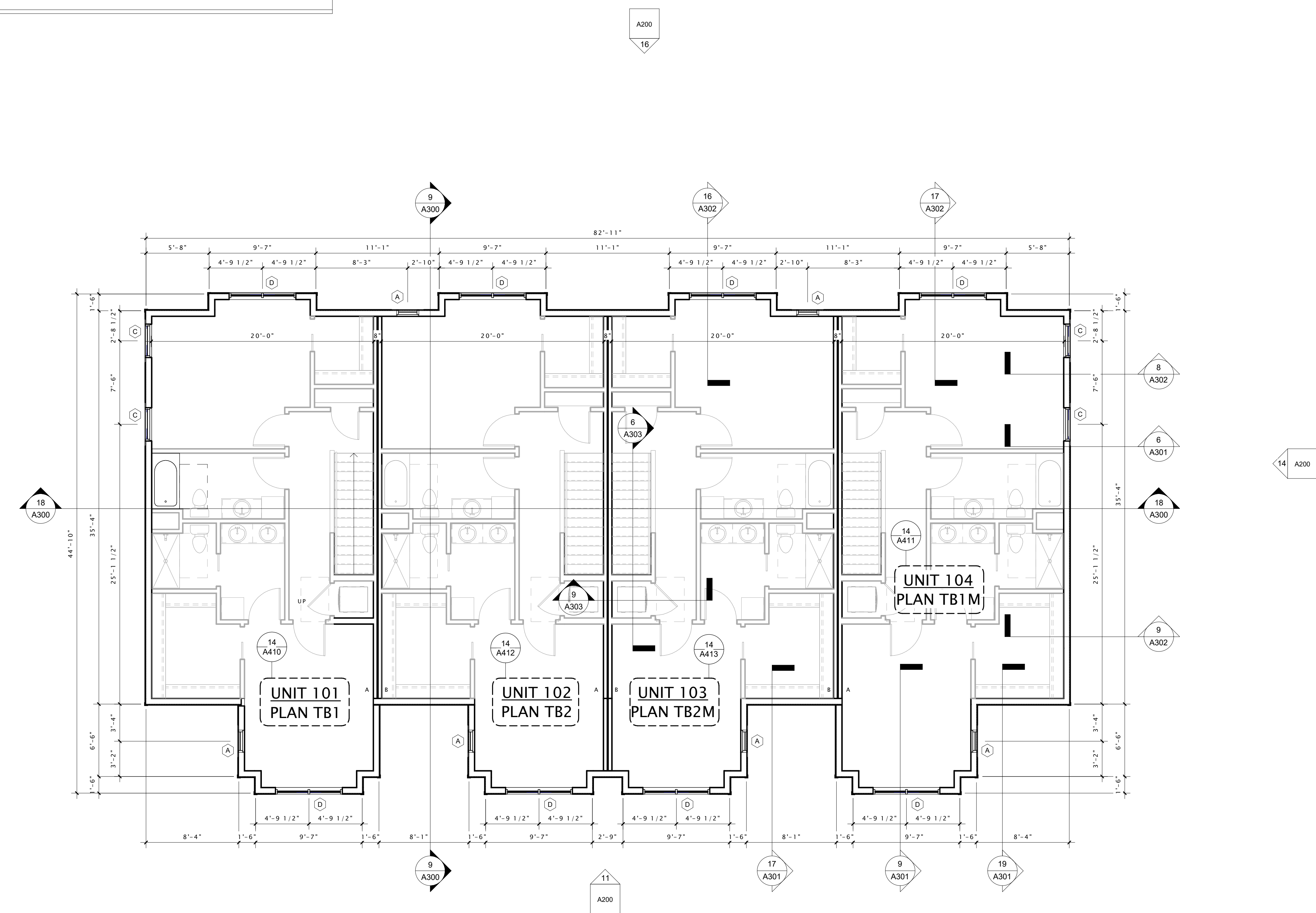
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

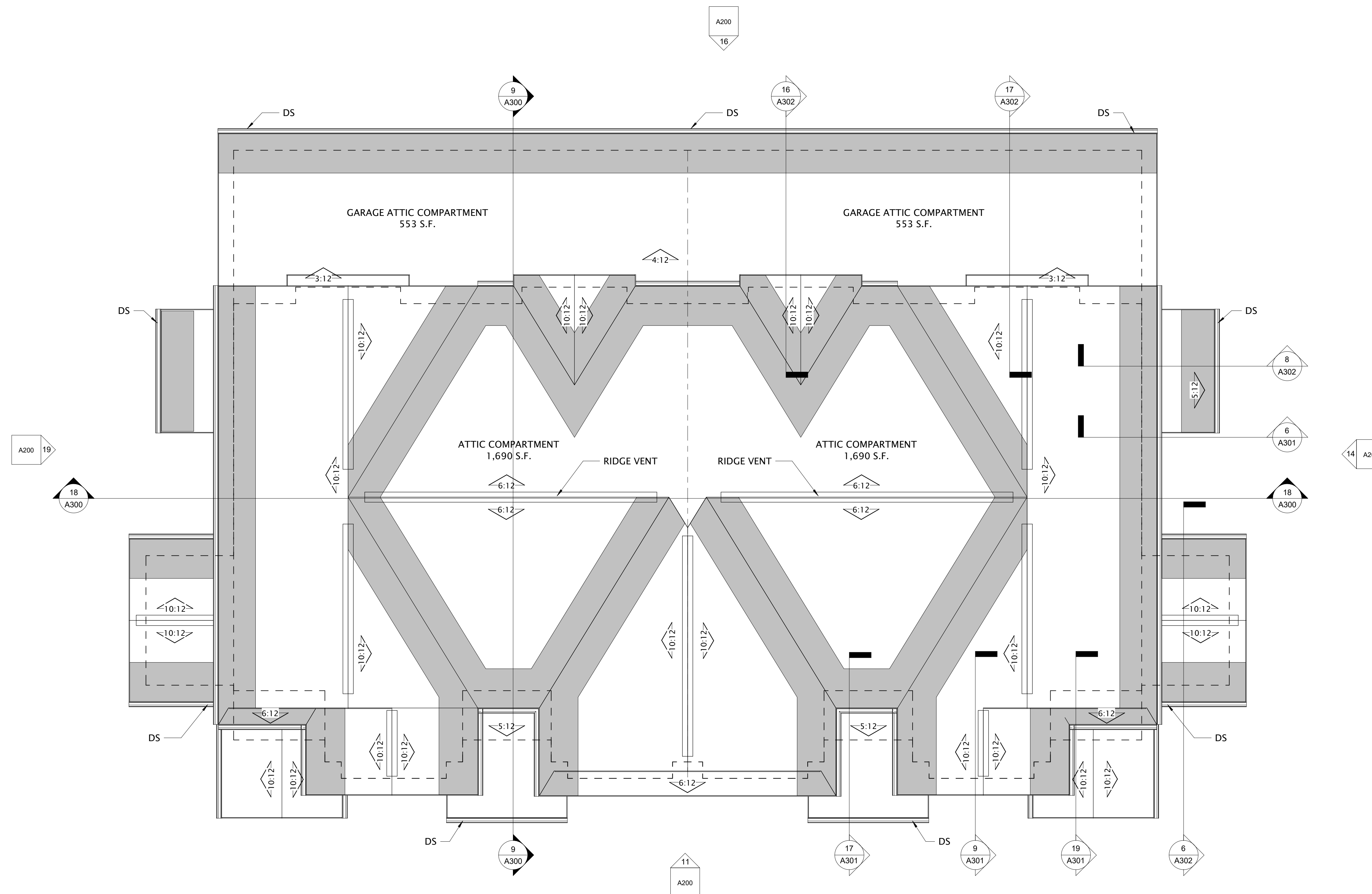
A102



16 SECOND FLOOR PLAN 4-UNIT
3/16" = 1'-0"

ROOF NOTES

- ALL ROOF SLOPES SHALL BE 10:12, UNLESS NOTED OTHERWISE.
- ROOF ROUGH FRAMING DISTANCES BEYOND PERIMETER STUD FACE SHALL BE AS FOLLOWS (UNLESS NOTED OTHERWISE):
TYPICAL EAVE OVERHANG = 1'-6"
TYPICAL RAKE OVERHANG = 1'-6"
- PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):
ALL EAVES:
RUN FROM EDGE OF EAVE TO 24" (MIN.) PAST FACE OF EXTERIOR WALLS.
ALL VALLEYS:
RUN FROM VALLEY TO 18" (MIN.) EACH SIDE OF VALLEY (36" TOTAL WIDTH).
INSTALL UNDER METAL FLASHINGS AT VALLEYS.
ALL ROOF/WALL INTERSECTIONS:
RUN 33" (MIN.) HORIZONTALLY FROM FACE OF WALL
RUN 18" (MIN.) VERTICALLY UP FACE OF WALL.
ALL ROOF PENETRATIONS:
RUN 18" (MIN.) FROM PENETRATIONS
- PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFIT AND ALL PENETRATIONS SHALL BE CAULKED. SEE ATTIC COMPARTMENTALIZATION DETAIL FOR ADDITIONAL INFORMATION - LOCATED IN BUILDING DETAIL SHEETS.
- ALL OPENINGS IN ATTIC DRAFTSTOPPING SHALL BE PROTECTED WITH SELF-CLOSING DOORS. FRAMING CONTRACTOR SHALL LABEL DOORS/ COMPARTMENTS WITH NUMBERS.
- INSTALL ROOF/ ATTIC VENTING TO PROVIDE 1SF OF VENT AREA PER 300 SF OF ATTIC AREA. HALF OF THE REQUIRED VENTING SHALL OCCUR AT RIDGE AND HALF SHALL OCCUR AT EAVE. PROVIDE 'CAN' VENTS ONLY WHEN NECESSARY. ROOFING CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTING PRIOR TO INSTALLATION.
- PROVIDE 220V OUTLETS AT ALL EAVES AS NECESSARY FOR HEAT TAPE. PROVIDE 110V AT ENTRY CANOPY.
- PROVIDE METAL FLASHING AT ALL VALLEYS AND ALL ROOF/ WALL INTERSECTIONS.
- ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL VENT CAPS SHALL BE PREFINISHED METAL TO MATCH ROOF COLOR.
- ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN/VENT IF VENT RUN EXCEEDS 25'-0".
- PROVIDE 5" X 10" STYLE OR 10" X 10" STYLE PREFINISHED ALUMINUM RAIN CUTTERS AND 3"x4" CORRUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. DOWNSPOUT LOCATION AND QUANTITY TO BE DETERMINED BY DESIGN/BUILD ROOFING CONTRACTOR. LOCATION OF DOWNSPOUTS TO BE DETERMINED IN THE FIELD BY GENERAL CONTRACTOR AND DESIGN/BUILD PLUMBING CONTRACTOR.
- CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.
- PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.



16 ROOF PLAN 4-UNIT
3/16" = 1'-0"



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ARCHITECTS

MADISON : MILWAUKEE
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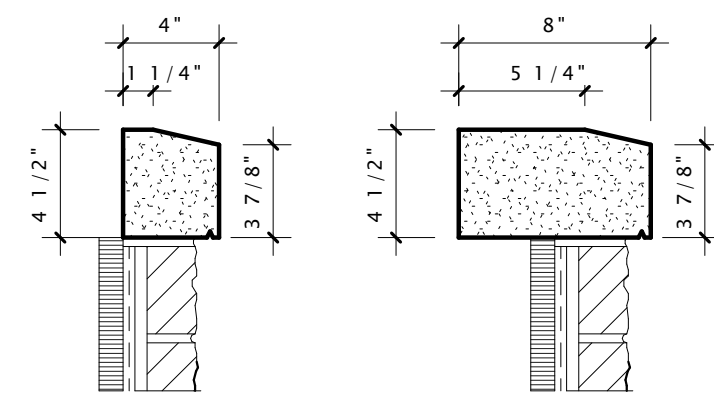
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A109



PRECAST PROFILE #1
4" X 4" SILL

PRECAST PROFILE #2
4" X 8" SILL (ENTRY COLUMN)

PRECAST PROFILE

WINDOW NOTES:

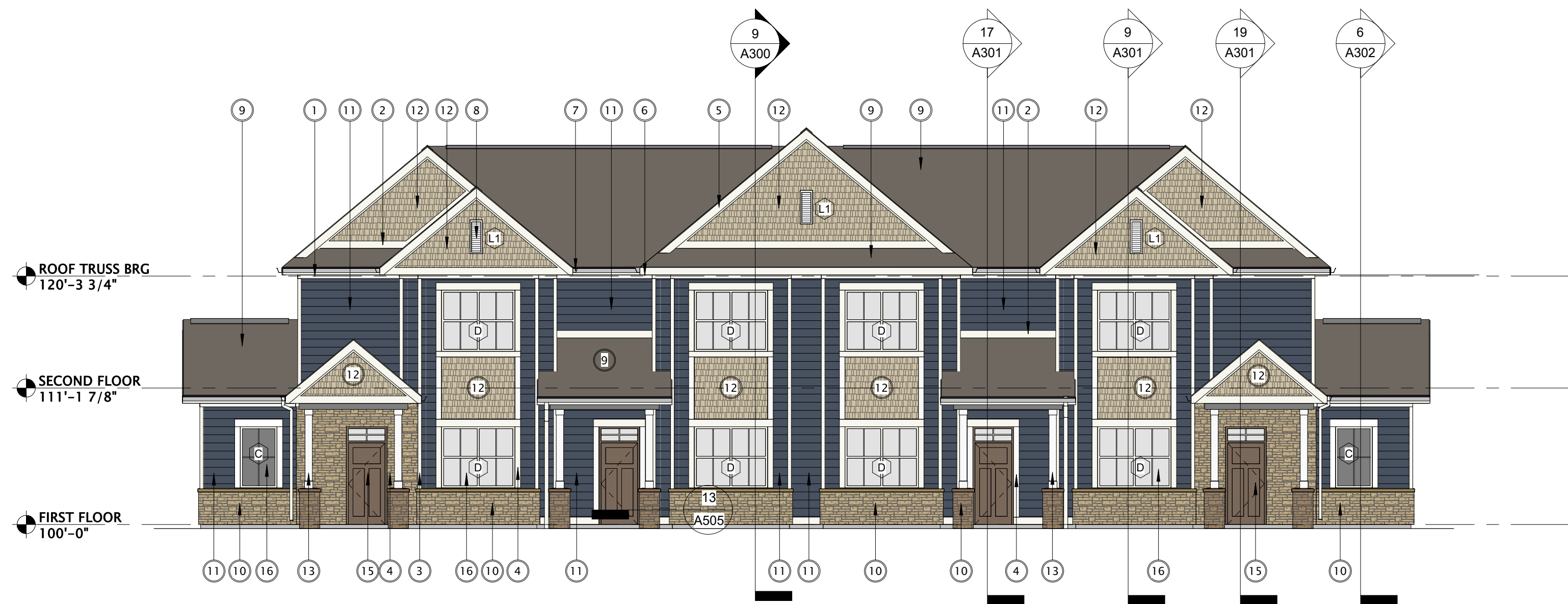
1. ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
2. WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
4. ALL WINDOWS WITHIN 18" FROM FINISHED FLOOR TO BE TEMPERED GLASS. SEE SPECIFICATIONS.

WINDOW SCHEDULE

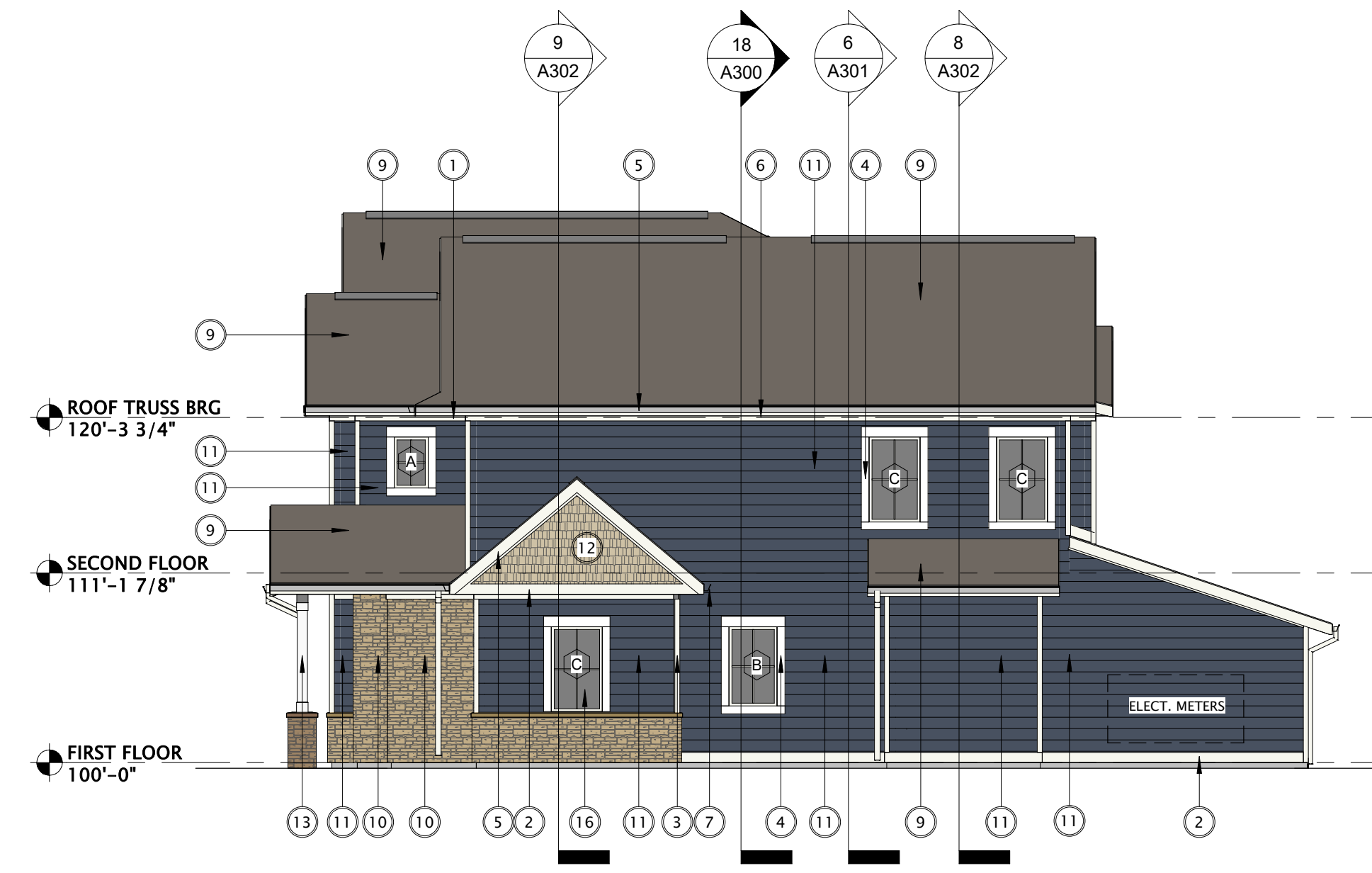
Type Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS		Type Comments
							U FACTOR	SHGC	
A	2'-0"	3'-0"	FIXED - SINGLE	Lindsey Windows	2-DW 3-0H	WHITE	0.29	0.42	2 OVER 2 GRID PATTERN
B	2'-10"	4'-8"	SINGLE HUNG - SINGLE	Lindsey Windows	2-10W 4-8H	WHITE	0.29	0.42	2 OVER 2 GRID PATTERN
C	3'-0"	5'-0"	SINGLE HUNG - SINGLE	Lindsey Windows	3-0W 5-0H	WHITE	0.29	0.42	2 OVER 2 GRID PATTERN
D	6'-0"	5'-0"	SINGLE HUNG - TWIN	Lindsey Windows	6-0W 5-0H	WHITE	0.29	0.42	2 OVER 2 GRID PATTERN
E	6'-0"	6'-10"	2-Panel Vinyl Sliding Patio Door	Lindsey Windows	6-0W 6-10H	WHITE	0.29	0.42	No Grilles
L1	1'-0"	2'-9"	Decorative Louver	TBD	TBD	WHITE			
L2	2'-0"	4'-0"	Decorative Louver	TBD	TBD	WHITE			

EXTERIOR MATERIALS SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	BAND BOARD	LP	190 SERIES TRIM	1x4	WHITE	
2	STARTER BOARD	LP	190 SERIES TRIM	1x8	WHITE	
3	CORNER TRIM	LP	190 SERIES TRIM	1x4	WHITE	
4	DOOR / WINDOW TRIM	LP	190 SERIES TRIM	1x4	WHITE	
5	TYPICAL FASCIA	ROLLEX - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	WHITE	
6	SOFFIT	ROLLEX - OR EQUAL	VENTED	SEE PLANS	WHITE/BRIGHT WHITE/240	
7	GUTTER	TBD	PREFINISHED ALUMINUM	SEE PLANS	WHITE	
8	RESIDENTIAL DECORATIVE LOUVER	PYPON	COMPOSITE	TBD	WHITE	
9	FIBERGLASS SHINGLES	CERTAINTEED - LANDMARK DESIGNER	30 YEAR DIMENSIONAL ASPHALT	SEE PLAN	WEATHERED WOOD	
10	MASONRY - CULTURED STONE VENEER	TBD		VARIES	BLEND	
11	COMPOSITE SIDING	LP	HORIZONTAL LAP	5" NOMINAL	PAINTED	
12	COMPOSITE SHAKE SIDING	LP	SHAKE	2" NOMINAL	PAINTED	
13	DECORATIVE COLUMN	TBD	COMPOSITE WRAPPED	SEE PLAN	PAINTED	
14	OVERHEAD GARAGE DOOR	WAYNE DALTON - OR EQUAL	190 SERIES: INSULATED STEEL	SEE DOOR SCHEDULE	PAINTED	
15	VINYL ENTRY DOOR	PLYGEM WINDOWS AND DOORS	SEE SCHEDULE	SEE DOOR SCHEDULE	MISSION BROWN	
16	VINYL WINDOWS	PLYGEM WINDOWS AND DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	WHITE	



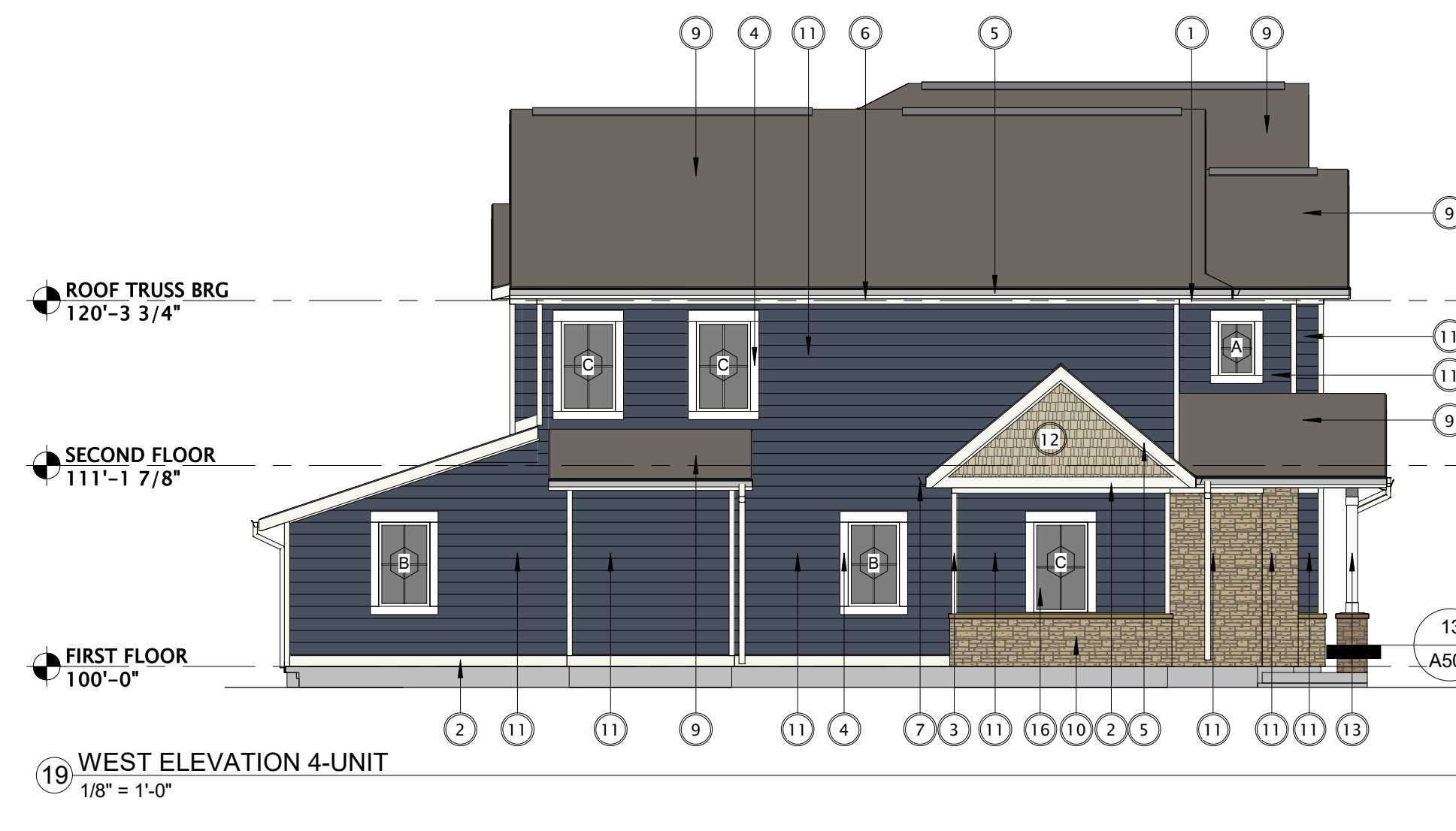
11 SOUTH ELEVATION 4-UNIT
1/8" = 1'-0"



14 EAST ELEVATION 4-UNIT
1/8" = 1'-0"



16 NORTH ELEVATION 4-UNIT
1/8" = 1'-0"



19 WEST ELEVATION 4-UNIT
1/8" = 1'-0"



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SHEET TITLE

EXTERIOR ELEVATIONS

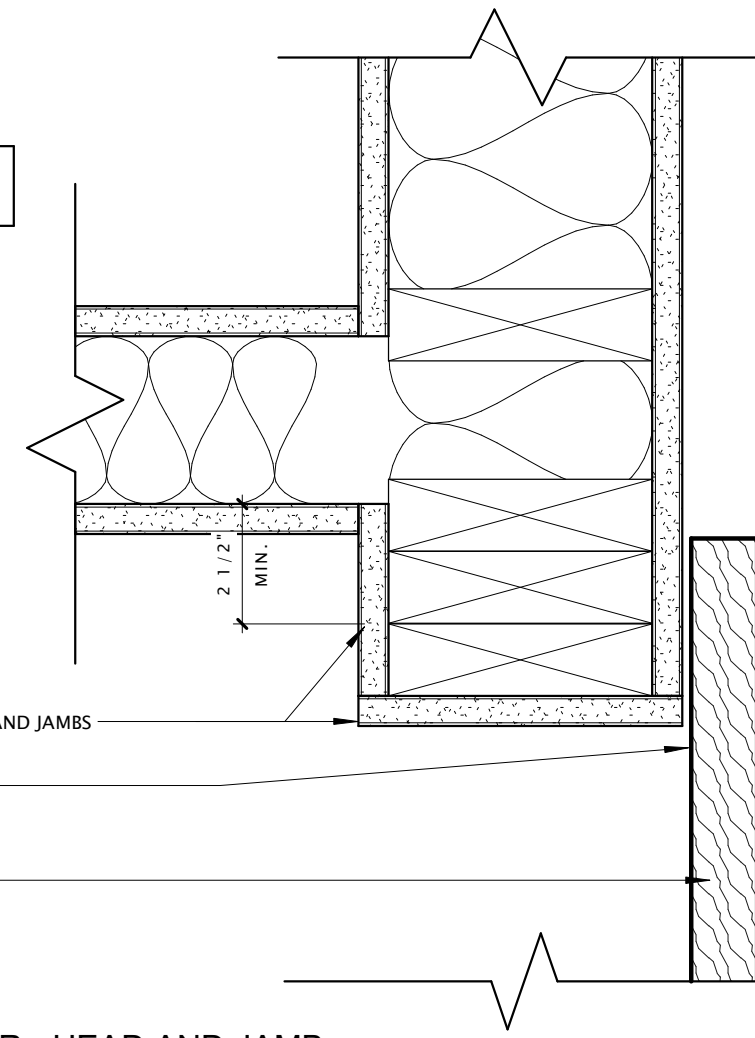
SHEET NUMBER

A200

JAMB DETAIL

NOTE:
SEE WALL TYPES FOR ADDITIONAL INFORMATION

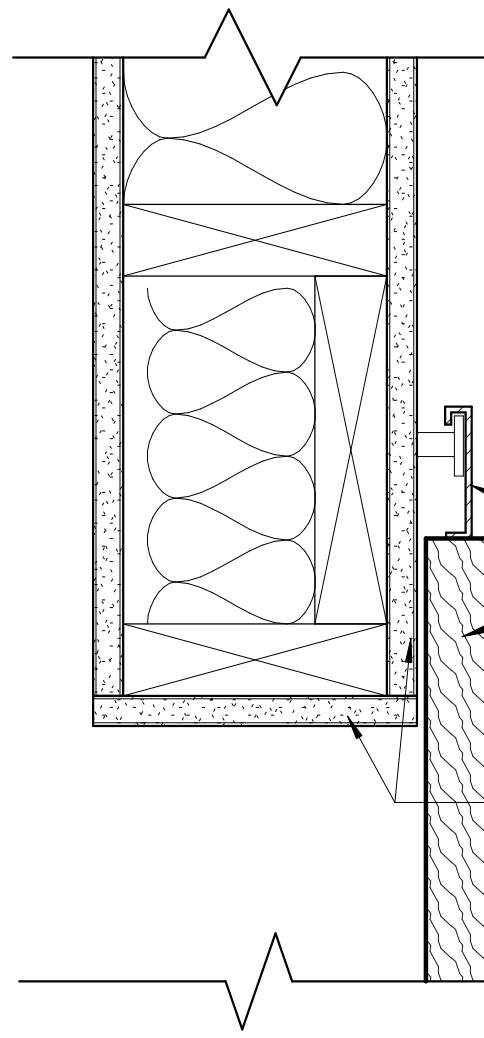
GYPSUM BOARD RETURNS AT HEAD AND JAMBS
SEE DOOR SCHEDULE FOR HARDWARE INFORMATION
BARN DOOR - (SEE SCHEDULE)



HEAD DETAIL

NOTE:
SEE WALL TYPES FOR ADDITIONAL INFORMATION

SEE DOOR SCHEDULE FOR HARDWARE INFORMATION
BARN DOOR (SEE SCHEDULE)
GYPSUM BOARD RETURNS AT HEAD AND JAMBS

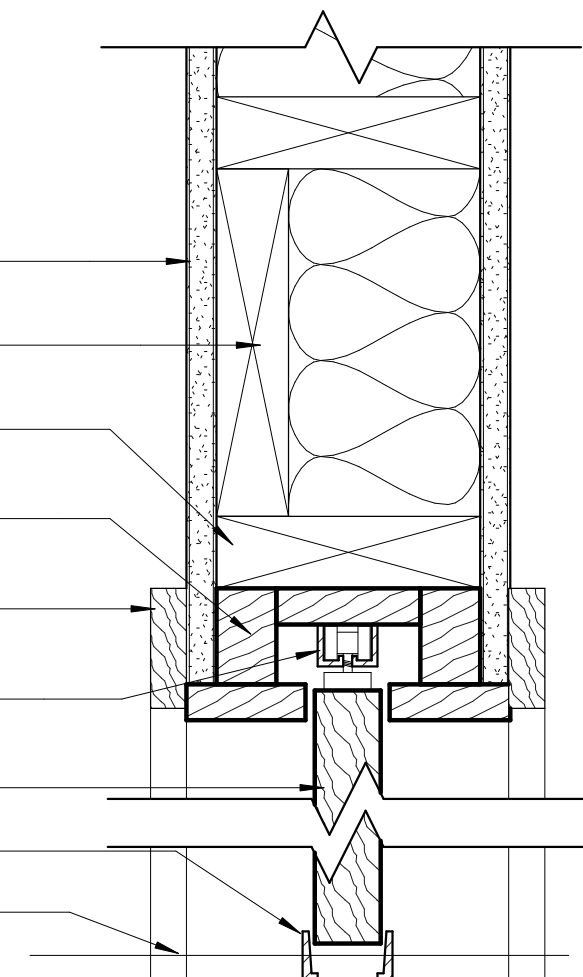


1 WOOD - BARN DOOR - HEAD AND JAMB
3" = 1'-0"

HEAD DETAIL

NOTE:
SEE WALL TYPES FOR ADDITIONAL INFORMATION

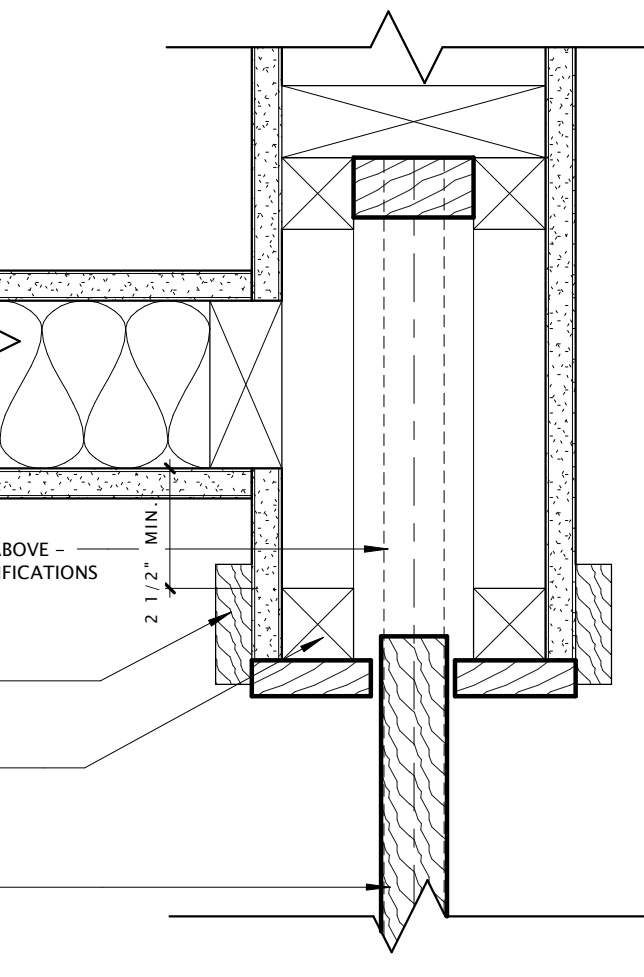
GYPSUM WALL BOARD
SEE WALL TYPES FOR MORE INFORMATION
2x HEADER
SEE STRUCTURAL DRAWINGS FOR SPECIAL CONDITIONS
2x WALL FRAMING
SEE WALL TYPES FOR MORE INFORMATION
POCKET DOOR FRAME
(INSTALL PER MANUFACTURER'S SPECIFICATIONS)
DOOR CASING PER OWNER'S SPECIFICATIONS
ALUMINUM POCKET DOOR TRACK -
MOUNT PER MANUFACTURER'S SPECIFICATIONS
WOOD DOOR (SEE SCHEDULE)
PROVIDE BOTTOM DOOR GUIDES OR TRACK
FINISH FLOOR (VARIES)



JAMB DETAIL

NOTE:
SEE WALL TYPES FOR ADDITIONAL INFORMATION

ALUMINUM POCKET DOOR TRACK ABOVE -
MOUNT PER MANUFACTURER'S SPECIFICATIONS
DOOR CASING PER OWNER'S SPECIFICATIONS
POCKET DOOR FRAME
(INSTALL PER MANUFACTURER'S SPECIFICATIONS)
WOOD DOOR (SEE SCHEDULE)

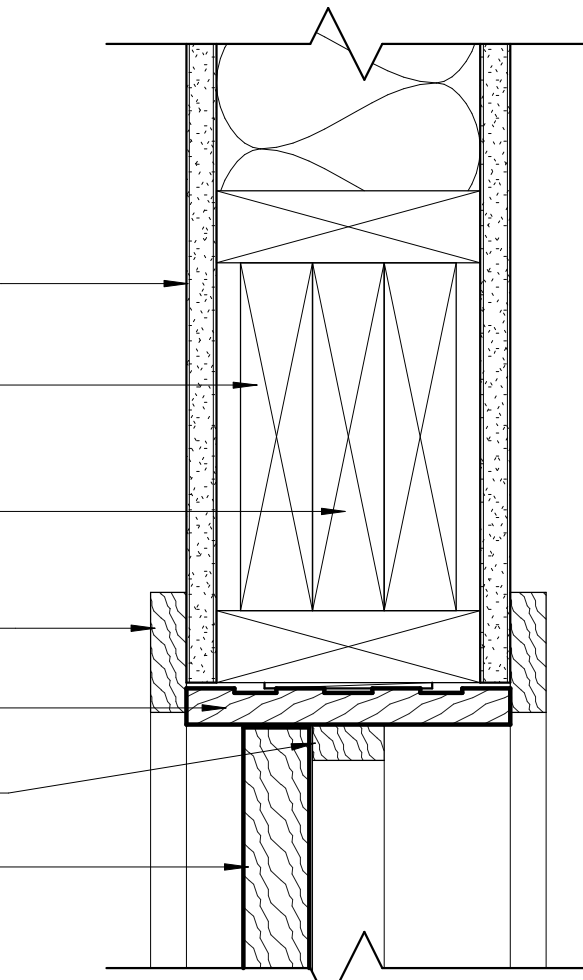


6 WOOD - POCKET - HEAD & JAMB
3" = 1'-0"

HEAD DETAIL

NOTE:
SEE WALL TYPES FOR ADDITIONAL INFORMATION

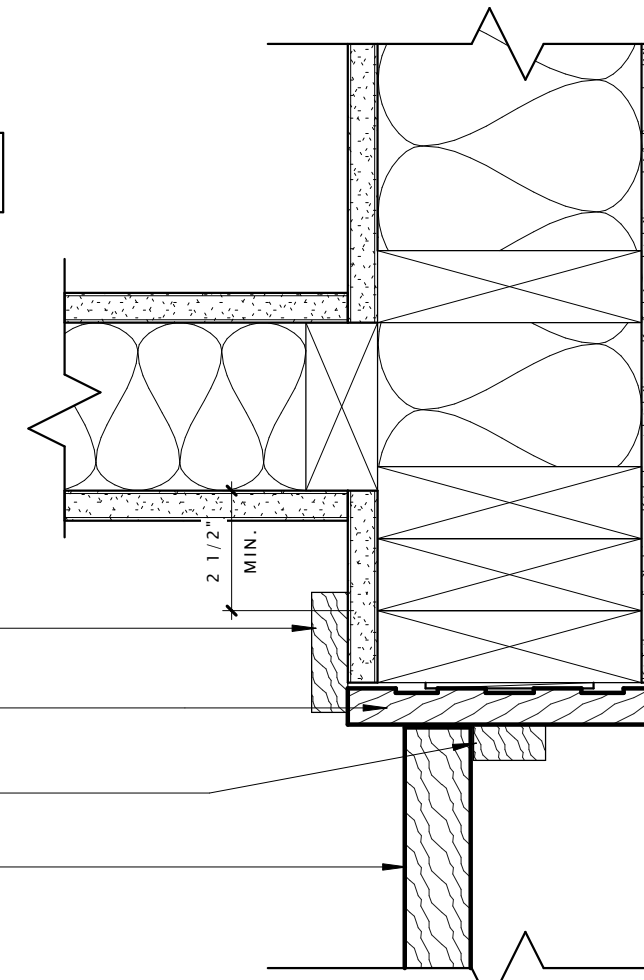
GYPSUM WALL BOARD
SEE WALL TYPES FOR MORE INFORMATION
2x HEADER
SEE STRUCTURAL DRAWINGS FOR SPECIAL CONDITIONS
2x WALL FRAMING WITH OPTIONAL INSULATION
SEE WALL TYPES FOR MORE INFORMATION
WOOD CASING
WOOD DOOR FRAME
WOOD DOOR STOP
WOOD DOOR (SEE SCHEDULE)



JAMB DETAIL

NOTE:
SEE WALL TYPES FOR ADDITIONAL INFORMATION

WOOD CASING
WOOD DOOR FRAME
WOOD DOOR STOP
WOOD DOOR (SEE SCHEDULE)



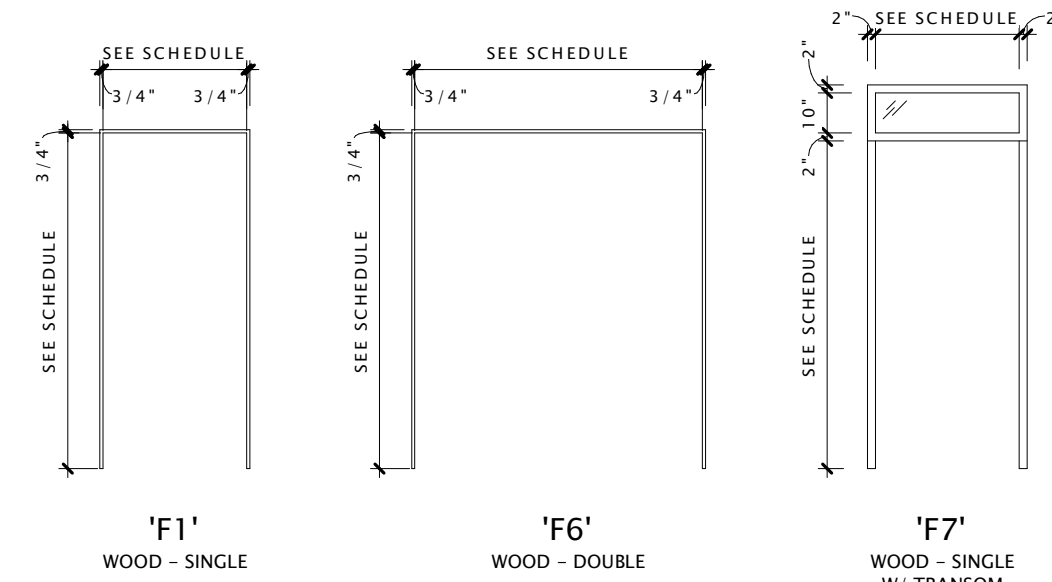
11 WOOD - SWING - HEAD & JAMB
3" = 1'-0"

WINDOW SCHEDULE

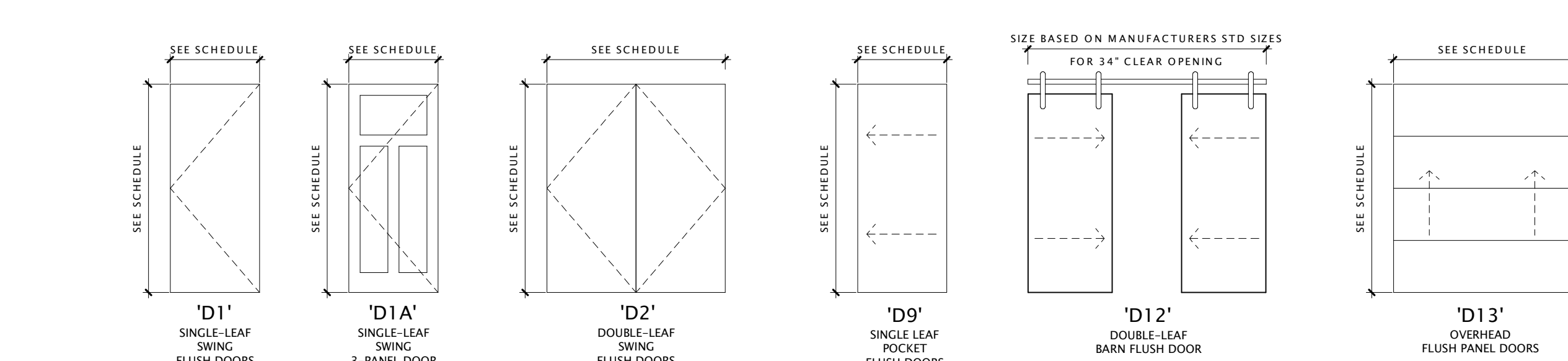
Type Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS		Type Comments
							U FACTOR	SHGC	
A	2'-0"	3'-0"	FIXED - SINGLE	Lindsay Windows	2-0W 3-0H	WHITE	0.29	0.42	2 OVER 2 GRID PATTERN
B	2'-10"	4'-8"	SINGLE HUNG - SINGLE	Lindsay Windows	2-10W 4-8H	WHITE	0.29	0.42	2 OVER 2 GRID PATTERN
C	3'-0"	5'-0"	SINGLE HUNG - SINGLE	Lindsay Windows	2-0W 5-0H	WHITE	0.29	0.42	2 OVER 2 GRID PATTERN
D	6'-0"	5'-0"	SINGLE HUNG - TWIN	Lindsay Windows	6-0W 5-0H	WHITE	0.29	0.42	2 OVER 2 GRID PATTERN
E	6'-0"	6'-10"	2-Panel Vinyl Sliding Patio Door	Lindsay Windows	6-0W 6-10H	WHITE	0.29	0.42	No Grilles
L1	1'-0"	2'-9"	Decorative Louver	TBD	TBD	WHITE			
L2	2'-9"	4'-9"	Decorative Louver	TBD	TBD	WHITE			

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- ALL WINDOWS WITHIN 18" FROM FINISHED FLOOR TO BE TEMPERED GLASS. SEE SPECIFICATIONS.



17 DOOR FRAME TYPES
1/4" = 1'-0"



18 DOOR TYPE ELEVATIONS
1/4" = 1'-0"

DOOR HARDWARE SCHEDULE

SET #	LOCKSETS										ACCESSORIES							MANUFACTURER	STYLE	FINISH	
	ENTRANCE LOCKSET W/ INTEGRAL CARD READER	KEYED KNOB OR LEVER	INDEPENDENT DEADBOLT	PRIVACY LOCK	NO-LOCK PASSAGE SET	NO-LOCK RECESSED DOOR PULL	PANIC BAR W/ PULL	CLOSERS(S)	SPRING HINGES	EYE VIEWER	DOOR KNOCKER	WALL STOP	HINGE DOOR STOP	KICKPLATE (PUSH SIDE)	HINGES (PER LEAF)	CONTINUOUS HINGE	SLIDING DOOR TRACK				THROW-BOLTS (INACTIVE LEAF)
EXT. DOORS	1		X																TBD	TBD	TBD
	2		X							X		X							SCHLAGE	JUPITER	SATIN NICKEL
INTERIOR DOORS	3	X																	TBD	TBD	TBD
	4					X	X	X					X	3					SCHLAGE	JUPITER	SATIN NICKEL
	5		X								X			3					SCHLAGE	JUPITER	SATIN NICKEL
	6		X			X		X						3					SCHLAGE	JUPITER	SATIN NICKEL
	7					X		X						3					SCHLAGE	JAZZ	SATIN NICKEL
	8			X									X	3					SCHLAGE	JAZZ	SATIN NICKEL
	9			X		X			X		X			3					SCHLAGE	JAZZ	SATIN NICKEL
	10				X						X			3					SCHLAGE	JAZZ	SATIN NICKEL
	11					X								3					SCHLAGE	JAZZ	SATIN NICKEL
	12						X										X		TBD	TBD	TBD
	13					X							X	3					SCHLAGE	JAZZ	SATIN NICKEL
	14					X		X							X	X			SCHLAGE	JUPITER	SATIN NICKEL

DOOR & FRAME NOTES

GENERAL NOTES:

- PROVIDE ICC/ANSI 117.1 COMPLIANT HARDWARE AS REQUIRED PER CODE
- PROVIDE SAFETY GLAZING AS REQUIRED BY CODE
- ALL HOLLOW METAL FRAMES SHALL BE FULLY WELDED U.N.O.
- EXTERIOR DOORS TO RECEIVE FULL WEATHER STRIPPING, THRESHOLDS AND SWEEPS
- UNIT ENTRY DOORS TO RECEIVE SMOKE SEALS
- ADA UNIT ENTRY DOORS TO RECEIVE CLOSERS IN LIEU OF SPRING HINGES
- ALL UNIT ENTRY DOORS TO BE ON ONE MASTER
- PROVIDE 12 EXTRA UNIT ENTRY DOOR CYLINDERS PER BUILDING, KEYED ALIKE
- PROVIDE 4 EXTRA UNIT CYLINDERS PER BUILDING

KEY NOTES: (SEE SCHEDULE)

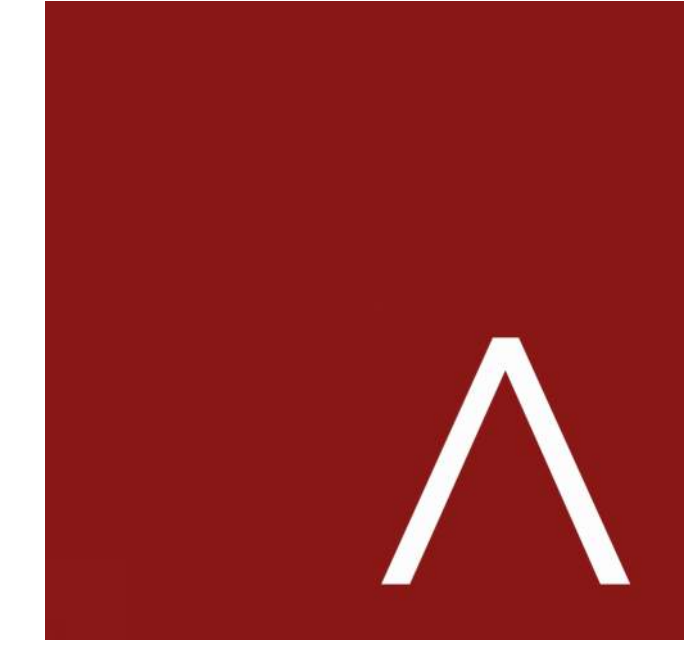
- PROVIDE CARD READER/FOB AND ELECTRIC STRIKE - COORDINATE KEY FOB QUANTITY WITH OWNER
- FIRE RATED WOOD FRAME
- PROVIDE THROW BOLT LATCHING AT TOP OF DOOR FRAME (INACTIVE LEAF)
- INSULATED
- PROVIDE HASP TYPE DOOR LOCKING HARDWARE
- PROVIDE REMOVABLE CENTER MULLION
- PROVIDE CASING AT EXTERIOR SIDE OF DOOR - CONFIRM WITH OWNER
- PROVIDE REMOVABLE LOCK CYLINDER - SEE GENERAL NOTE H
- PROVIDE OVERHEAD GARAGE DOOR OPENER - SEE SCOPE SPECS

DOOR & FRAME KEY (SEE DOOR SCHEDULE)

MATERIAL	DESCRIPTION
AL	ALUMINUM
CW	COMPOSITE WOOD (MASONITE OR EQUAL)
FG	INSULATED FIBERGLASS
HCWD	HOLLOW CORE WOOD
HM	HOLLOW METAL
IS	INSULATED STEEL
VIN	VINYL
WD	WOOD
KD	KNOCK-DOWN METAL FRAME
FINISH	DESCRIPTION
PF	PRE-FINISHED
PR	PRIMED (READY FOR PAINT)
PT	PRIMED AND PAINTED
STN	STAINED
GLAZING	DESCRIPTION
FR	FIRE-RATED GLAZING
INSUL	1" LOW-E INSULATED SAFETY GLASS
WG	WIRED GLASS

UNIT DOOR SCHEDULE

TYPE	DESCRIPTION	DOORS				FRAMES				DETAILS				HDWR	FIRE RATING	COMMENTS
		WIDTH	HEIGHT	TYPE	MAT	FINISH	TYPE	MAT	FINISH	HEAD	JAMB	SILL				
U1A-36	UNIT ENTRY	3'-0"	6'-8"	D1	WD	PF	F1	WD	PF	11/A800	11/A800	--	9	20 MIN	2, 4, 8	
U2A-34	BEDROOM	2'-10"	6'-8"	D1	WD	PF	F1	WD	PF	11/A800	11/A800	--	10	N/A		
U3A-34	BATHROOM	2'-10"	6'-8"	D1	WD	PF	F1	WD	PF	11/A800	11/A800	--	10	N/A		
U3C-34	CLOSET - POCKET	2'-10"	6'-8"	D9	WD	PF	F1	WD	PF	6/A800	6/A800	--	12	N/A		
U4A-30	CLOSET	2'-6"	6'-8"	D1	WD	PF	F1	WD	PF	11/A800	11/A800	--	13	N/A		
U4A-34	CLOSET	2'-10"	6'-8"	D1	WD	PF	F1	WD	PF	11/A800	11/A800	--	13	N/A		
U4B2-36	CLOSET - DOUBLE BI-FOLD	6'-0"	7'-0"	D6	WD	PF	--	--	--	13/A801	13/A801	--	11	N/A		
U4C-34	CLOSET - POCKET	2'-10"	6'-8"	D9	WD	PF	F1	WD	PF	6/A800	6/A800	--	12	N/A		
U4E2-24	CLOSET - DOUBLE BI-PARTING BARN DOOR	3'-10"	6'-8"	D12	WD	PF	--	--	--	1/A800	1/A800	--	0	N/A		
USA-36	UNIT ENTRY - EXTERIOR WITH TRANSOM	3'-0"	6'-8"	D1A	FC	PF	F7	WD	PF	--	--	--	1/A504	--	N/A 4, 8	
U7F-168	OVERHEAD GARAGE DOOR	14'-0"	7'-0"	D13	IS	PF	--	--	--	6/A504	6/A504	--	--	N/A 4, 9		
U8A-36	UTILITY - EXTERIOR	3'-0"	6'-8"	D1	WD	PF	F1	WD	PF	--	--	--	1	N/A 4, 8		
U9A2-36	CLOSET - DOUBLE SWING	6'-0"	6'-8"	D2	WD	PF	F6	WD	PF	11/A800	11/A800	--	--	N/A 4		



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 20-0618

FAHEY TOWNHOME

CITY OF FITCHBURG DESIGN REVIEW SET

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE SEPTEMBER 22, 2020

REVISION SCHEDULE

Mark	Description	Date
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SHEET TITLE

WINDOW, DOOR & FRAME SCHEDULES

SHEET NUMBER

A800