



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the R-H district to the PDD district the following described property:
PDD-SIP PDD-SIP

1. Location of Property/Street Address: Fitchrona Road & Limestone Lane

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Lot 10, Orchard Pointe, as recorded in Volume 59-052A of Plats, on Pages 253-258, as Document Number 4429294, Dane County Registry, located in the SW 1/4 - NW 1/4 of Section 07, Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin.

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

Multifamily Workforce Housing

3. Proposed Development Schedule: Start Fall 2020, Finish Fall 2021

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Multifamily

Total Dwelling Units Proposed: 116 No. Of Parking Stalls: 144

Type of Non-residential Development (If Applicable): N/A

Proposed Hours of Operation: N/A No. Of Employees: N/A

Floor Area: 124,887 s.f. No. Of Parking Stalls: N/A

Sewer: Municipal ☒ Private ☐ Water: Municipal ☒ Private ☐

Current Owner of Property: Orchard Pointe Development Company Inc.

Address: P.O Box 44284 Madison, WI 53744 Phone No: 608-327-4004

Contact Person: Chris Etmanczyk

Email: chris.etman@lee-associates.com

Address: 6430 Bridge Rd Suite #230 Madison, WI 53713

Phone No: 608-327-4004

Respectfully Submitted By: [Signature]
Owner's or Authorized Agent's Signature

Jacob T. Klein
Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 6/23/20 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$1875

Permit Request No. PZ-2353-20



JLA
ARCHITECTS

June 23, 2020

City of Fitchburg – Planning & Zoning
5520 Lacy Road
Fitchburg, WI 53711

Re: Limestone Ridge Apartments
Lot 10 – Orchard Pointe
SIP & ADR Revision

Ms. Sonja Kruesel,

Please accept submitted packages for minor revision to the previously approved SIP and Architectural Design Review. The minor revision are as follows:

SIP

- Decrease total development density from originally approved 135 dwelling units to 116 dwellings units
 - o The footprint of the large building has not changed from the original approval. The smaller building has been eliminated, and the unit mix in the larger building has been modified. The unit mix has been revised as follows:

	<u>New</u>	<u>Original</u>
1 Bedroom Units:	78 (67.2%)	79 (58.5%)
2 Bedroom Units:	21 (18.1%)	33 (24.4%)
3 Bedroom Units:	17 (14.7%)	22 (16.3%)
Total	116	135

Architectural Design Review

- Minor revisions to exterior projections.
 - o The large building footprint has not changed. Some of the walk-up exterior first floor entries have been removed.
 - o The original smaller 24 unit building has been eliminated, along with the concrete plaza between the two buildings.

Thank you for your time in reviewing our proposal.

Sincerely,

Marc Ott
Project Manager

JLA ARCHITECTS + PLANNERS

SPECIFIC IMPLEMENTATION PLAN
REVISED
LIMESTONE RIDGE APARTMENTS

Fitchburg, Wisconsin



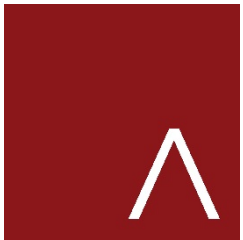
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PROJECT TEAM:



JT Klein, INC.
818 S. Park Street
Madison, Wisconsin 53715
Contact: Jacob Klein, 612.202.1577



JLA ARCHITECTS + PLANNERS
2418 Crossroads Drive, Suite 2300
Madison, Wisconsin 53718
Contact: Marc Ott, 608.241.9500



VIERBICHER, INC.
999 Fourier Drive, Suite 201
Madison, Wisconsin 53717
Contact: Randy Kolinske, 608.821.3950

PROJECT LOCATION & GENERAL DESCRIPTION

Limestone Ridge Apartments will be a high-quality mixed income residential community serving the increased demand for affordable housing in the Fitchburg area over the next five years and beyond. It will be located on a 3.78-acre parcel at the corner of Fitchrona Road and Limestone Lane in the Orchard Pointe development.

Surrounding Context

The project site is surrounded by existing big box retailers, commercial businesses, and restaurants.

Existing Topography

The majority of the project site has a small change in elevation, then drops 14 feet to the Limestone Lane on the east. The south property lines is contains a rock hill with dense trees that climbs upto 20 feet in height. There are no wetlands within the boundary of the parcel.

Existing Vegetation

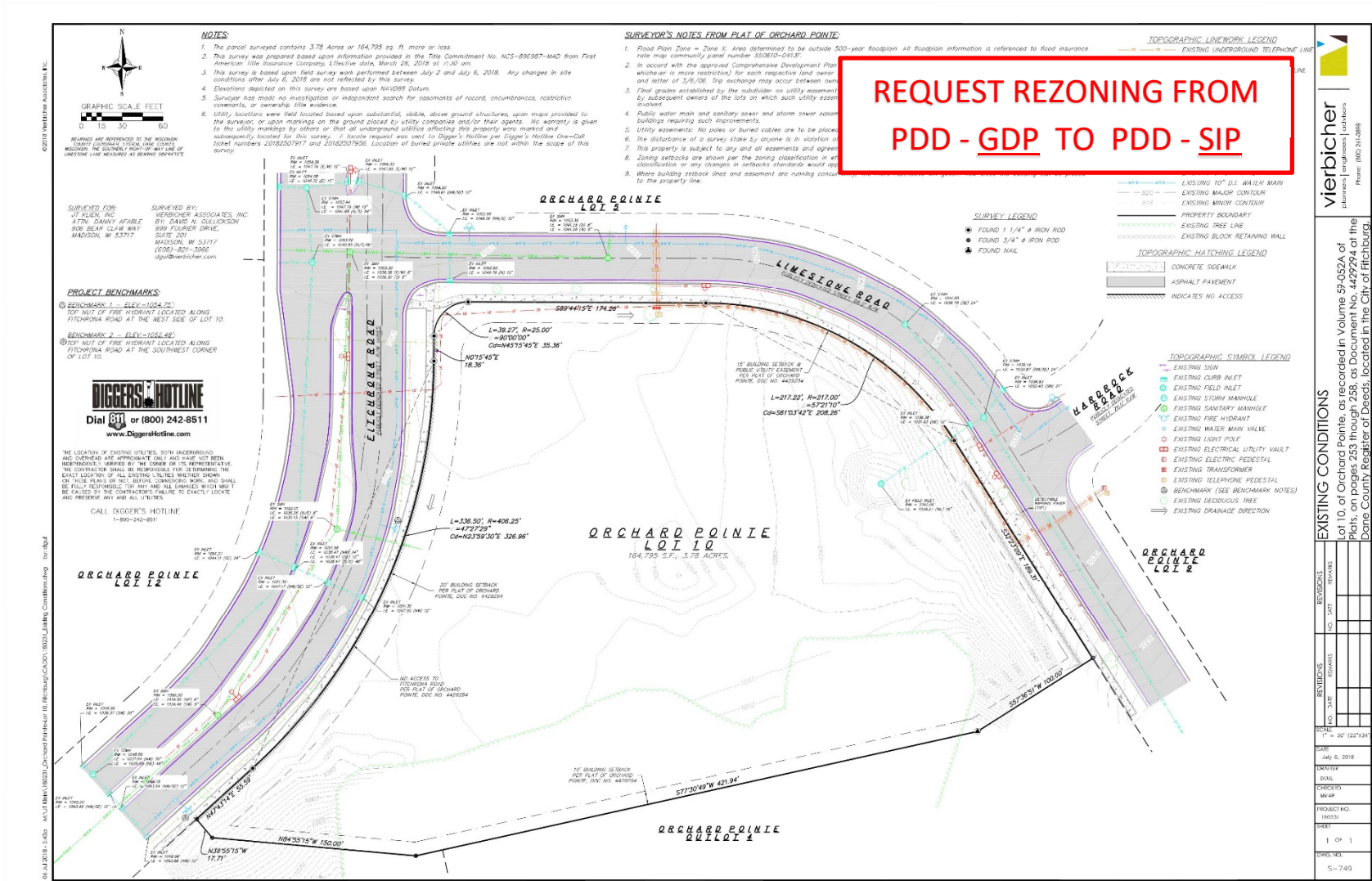
The project site currently has mature trees along the southern edge of the parcel and is otherwise a vacant lot with an open grass area.



LEGAL DESCRIPTION

Lot 10, Orchard Pointe, as recorded in Volume 59-052A of Plats, on Pages 253-258, as Document Number 4429294, Dane County Registry, located in the SW ¼ - NW ¼ of Section 07, Township 06 North, Range 09 East, City of Fitchburg, Dane County, Wisconsin.

Containing 164,795 square feet or 3.78 acres, more or less.



RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

We believe there is a need to take advantage of the option for Planned Development District Zoning for the Limestone Ridge Apartments in order to accomplish the goals of providing a quality infill development.

To accomplish these goals, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,200 square feet of lot area per each 1-bedroom unit, 2,400 square feet per each 2-bedroom unit, and 2,700 square feet per each 3-bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. With our proposed unit mix and total unit count of 116 units, this standard would require a parcel of 411,100 square feet or 9.43 acres, over double our parcel size of 3.78 acres.
- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are utilizing one developable lot for this project with an area of 164,795 square feet, or 3.78 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback (Limestone Lane) at 30 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 15.0 feet.

- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback (Fitchrona Road & Limestone Lane) at 25 feet. In order to keep with our desire to provide a more urban feel to multi-family residential developments, we propose a minimum setback of 15 feet.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet or 3 stories, whichever is less. We are planning 4-stories of residential on top of an underground parking structure that is partially exposed due to grading on site. While we realize dwelling structures having greater than 3 stories is allowed as a Conditional Use (per 22-146 (8)), we desire the long-term stability afforded under a permanent zoning classification.
- Please refer to masterplan image on Page 6 for setbacks and dimensions.
- This specific implementation plan substantially complies with the previously approved General Implementation Plan.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

This project represents a total investment of over \$26,800,000.00. It is estimated that this project would have an estimated value of approximately \$7,800,000.00

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2018 fees listed):

Park Improvement Fee:	116 units x \$160 =	\$ 18,560.00
Fire Protection Fee:	(78) 1BR x \$311 =	\$ 24,258.00
	(21) 2BR x \$466 =	\$ 9,786.00
	(17) 3BR x \$466=	\$ 7,922.00
Water Impact Fee:	116 units x \$800 =	\$ 92,800.00
Total Projected Impact Fees:		\$153,326.00

Any fee in lieu of Street Frontage for Parks per Ordinance 24-15(e) and 22-647(3), or Parkland Dedication per Ordinances 24-2(d)(2)(a) and 24-2(d)(2)(e) shall be established by the time of the Final Plat.

- We acknowledge current City Ordinances include parkland dedication fees, however since the 133-unit apartment building will be affordable housing we intend to apply for a waiver of those fees. We have made similar requests for affordable housing and were awarded lower park and/or impact fees or a total fee waiver for recent projects in Madison, Middleton and Mount Horeb. We additionally understand that the Fitchburg Housing Task Force is

currently discussing the potential of recommending the waiver of Parkland Dedication and Parkland Improvement fees to encourage the development of affordable housing.

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to create workforce housing in an area of high retail employment.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & living amenities.

Affordability

This project will feature Federal and potentially State low-income housing tax credit units with an average unit income restriction of approx. 55% County Median Income. The unit mix offers residents the choice between 1, 2, or 3-bedroom units featuring modern amenities such as an open floor plan, in unit washer and dryer, walk-in closets, outdoor patio/balcony areas, fitness room, underground parking, and outdoor play structure.

CONSISTENCY WITH COMPREHENSIVE PLAN

This project complies with the City of Fitchburg's Comprehensive Plan. Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the Comprehensive Plan.

Land Use Goal 1:

This project preserves and enhances the natural and agricultural resources of the City as follows:

Objective 1: This project is consistent with the long term urban growth map and related phasing plan.

Policies: (2) This project will be served by gravity flow sanitary sewer
(3) This project is being developed on an urban infill site within the urban growth boundary and is not replacing high quality agricultural lands.

Objective 2: This project is protecting environmental resources by using high density, sustainable development, and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands.
(7) This project is not within or near identified floodplains

Land Use Goal 2:

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

Objective 1: This is a project that is a significant reinvestment in the community as a redevelopment of urban infill land.

Policies: (1) This is a redevelopment of land in accord with the Future Land Use map.

Objective 2: This is a project that will restore underutilized land within current commercial neighborhoods.

Policies: (2) A plan for redevelopment has been established to help guide the use of City resources.

Objective 3: This is a compact development that will have a logical and sustainable mix of uses and will preserve open space and natural areas within the surrounding area by utilizing higher density design.

Policies: (1) This project provides in-demand affordable work force residential rental units utilizing low income housing tax credits.
(2) This project fits in well with the existing and planned infrastructure and land uses.

Objective 5: Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban growth boundary.
(3) This high-density project is located at the intersection of Fitchrona Road and Limestone Lane and is therefore consistent with proposed functional roadway classifications.

Objective 6: This project's location encourages options to alternative transit modes.

Policies: (1) This project falls along an existing bus route.

Objective 7: This project is within the urban service area.

Policies: (3) This project is within the urban service area.

Objective 8: This project is consistent with the Future Land Use map.

Policies: (1) PDD zoning is consistent with the High Density Residential land use designation and the Future Land Use map.

Natural Resources Goal 1:

This project will protect the natural environment.

Objective 3: This project will protect natural resources

- Policies:
- (1) This project will meet all current City storm water control requirements.
 - (2) This project will meet all current City erosion control requirements.
 - (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
 - (5) This project is not developed on private septic.

Housing Goal 1:

This project will provide a much in-demand housing choice: Work force housing tax credit rental units.

Objective 1: This project promotes the development of housing to meet the current and future needs of senior residents within the City.

- Policies:
- (1) This project is an efficient use of land in the urban service area and provides for multi-modal friendly densities.
 - (2) This project adds variety to the area.
 - (4) This project will meet the demand of income qualified residents within the community.

Objective 2: This project promotes the development of housing for low-moderate income residents.

- Policies:
- (1) This project promotes high level and quality sustainable construction by implementing higher standards in design and living amenities.
 - (2) This project will utilize federal and state low income housing tax credits.
 - (3) This project will provide affordable housing for low-income persons.

Housing Goal 2:

This project makes efficient use of land for housing.

Objective 1: This project is a compact neighborhood.

- Policies:
- (1) This project creates compactness and efficiency which helps preserve rural land resources.
 - (2) This project will provide a variety of housing types by offering one-bedroom, two-bedroom, and three-bedroom units as well as various open space uses.
 - (3) The boundary of this project site does not fall within an environmental corridor.
 - (4) This infill project makes wise use of underutilized land in the current urban service area, where service provisions already occur.
 - (5) We are proposing high residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.
 - (6) By utilizing the PDD design review process, the City will be allowed to ensure sound sustainable housing design.

Objective 2: This residential development is occurring in an area with existing infrastructure and sewer.

- Policies:
- (1) This residential housing project is in an area served by full urban services, including sanitary sewers and public water with convenient access to community facilities, retail centers, and to arterial highways.
 - (2) This project is not an un-sewered development.

Utilities Goal 1:

This project will provide and maintain high quality public utility services.

Objective 1: This project will provide and maintain an adequate supply of safe water for drinking and fire protection needs.

Policies: (1) This project will meet all requirements of the Safe Drinking Water Act.

Utilities Goal 2:

This project will maintain and extend existing public utility systems within the urban development boundary.

Objective 1: This project will maintain and improve the condition of existing sanitary sewer and water infrastructure.

Policies: (4) This project will be served with gravity flow sanitary sewer.

Objective 2: This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

Policies: (3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

Utilities Goal 4:

This project will improve the Fitchburg park and open space system.

- We acknowledge current City Ordinances include parkland dedication fees, however since the 109 units of the building will be affordable housing we intend to apply for a waiver of those fees. We have made similar requests for affordable housing and were awarded lower park and/or impact fees or a total fee waiver for recent projects in Madison, Middleton and Mount Horeb. We additionally understand that the Fitchburg Housing Task Force is currently discussing the potential of recommending the waiver of Parkland Dedication and Parkland Improvement fees to encourage the development of affordable housing.

Transportation Goal 1:

This project is part of a coordinated land use and transportation system.

Objective 1: This project is a compact, urban development.

Policies: (1) This project features buildings closer to the sidewalks, street trees, street lighting, lower parking ratios, structured parking, and parking behind buildings.

Transportation Goal 2:

In conjunction with this project, a safe and efficient transportation system will be provided for the neighborhood.

Objective 2: This project will maintain a transportation system that allows for proper traffic management.

Policies: (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.
(4) The streets in this project area are interconnected to preserve mobility and avoid travel delays.
(6) This project is not located with direct access to major streets and roadways.
(7) This project is not located with direct access to major streets and roadways.

LAND USE

When complete, this project will contain multi-family residential use. This 3.78-acre parcel will be consistent with the City's Comprehensive Plan with a High-Density Multi-Family Residential Use. It will have 109 workforce housing tax credit units, 24 market rate units, along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

	<u>New</u>	<u>Original</u>
• 1 Bedroom Units:	78 (67.2%)	79 (58.5%)
• 2 Bedroom Units:	21 (18.1%)	33 (24.4%)
• 3 Bedroom Units:	17 (14.7%)	22 (16.3%)
Total	116	135

Within each unit type there will be a variety of unit sizes. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, the project will contain various common space amenities integrated within the buildings or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- On-site Management/ Leasing Office
- Commons Area w/ patio
- Fitness Center
- Outdoor Play Structure
- Walking Access to Target and HyVee.

SITE DESIGN & ZONING STANDARDS

The Masterplan of Limestone Ridge Apartments has been thoughtfully designed to address numerous site challenges including the existing topography.

Masterplan Design Highlights:

- The bulk of building is located at the “rear” of the site to take advantage of the topography and soften the street edge.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.

Off Street Parking:

The City’s typical parking requirement is 2.0 parking stalls per residential dwelling unit. Based on our experience with workforce housing tax credit developments, and considering the unit mix, and access to public transportation and retail stores, we find that this requirement would be excessive. Therefore, we are proposing a minimum of 1.24 parking stalls per dwelling unit. We believe that providing this level of parking will be appropriate for this project, will allow the site to have less impervious paving, and will minimize the visual impact of surface parking on the site and the surrounding areas.

Off-Street Bicycle Parking:

In addition to off-street vehicular parking, we are proposing a minimum of 0.20 bicycle parking stalls per dwelling unit. Exterior stalls are located with proximity to the entrances of the building. For long-term storage, bike racks are proposed within the Lower Level parking area.

Storm Water Management Overview:

Storm water management for this site will be satisfied with the construction of a below grade management system located beneath the parking areas. All storm water management for this site will remain within the site boundaries. All City of Fitchburg ordinance requirements will be met.

Maintenance of all storm sewer structures and pipes within the development parcel will be the responsibility of the property Owner.

Landscape Design:

The new landscape design for this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'C' of this document for the Preliminary Landscape Plan.

Refuse & Recycling Storage & Removal:

This building will have a refuse & recycling room on the Lower Level centrally located near the elevator and stairs. A private waste management company will be contracted to provide recycling & refuse services as appropriate for the development.

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Masterplan Data is as follows. This data is subject to change as the design of the project proceeds. However, final Masterplan Data that meets the “Planned Development Zoning Standards” on the following page will be provided in the subsequent Specific Implementation Plans for this project.

LIMESTONE RIDGE APARTMENTS - CONCEPTUAL MASTERPLAN DATA FEBRUARY 19, 2019									
BUILDING						PARKING			
NAME	USE	FOOTPRINT		FLOOR AREA		UNITS	COVERED	SURFACE	TOTAL
	Multi-Family	47,109	S.F.	124,887	S.F.	116	95	49	144
TOTALS		47,109	S.F.	124,887	S.F.	116	95	49	1.24 / UNIT

FITCHBURG SENIOR APARTMENTS ZONING REQUIREMENT VALUES – AS OF JUNE 19, 2018 (SUBJECT TO CHANGE)									
ZONING REQUIREMENT		CURRENT DESIGN VALUE			CALCULATIONS				
SITE DENSITY		3.29	Units/Acre		116	Units	/	35.18	AC. = 3.29
BUILDING COVERAGE		20.8%	of Parcel		34,333	S.F.	/	164,795	S.F. = 20.8%
LANDSCAPE AREA		42.5%	of Parcel		102,367	S.F.	/	164,795	S.F. = 62.1%
IMPERVIOUS SURFACE		42.8%	of Parcel		28,096	S.F.	/	164,795	S.F. = 17.0%
FLOOR AREA RATIO		0.934%	of Parcel		124,887	S.F.	/	164,795	S.F. = 0.757%

IMESTONE RIDGE APARTMENTS BICYCLE PARKING – AS OF FEBRUARY 19, 2019						
BUILDING		BICYCLE PARKING				
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO	
BUILDING	116	7	16	23	0.20	PER UNIT
TOTALS	116	7	16	23	0.20	PER UNIT

Planned Development Zoning Standards

Under the proposed Planned Development Zoning, the project shall meet the following Zoning Standards:

- Residential Density: 36 units per acre (maximum)
- Building Height: Maximum of 4 Stories and Maximum 65 feet (to mid-point of roof)
- Front Street Setback: 15.0' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Street Setback: 15.0' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 15.0' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Rear Yard Setback: 30' (minimum)
Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Building Coverage: 47,570 S.F. (28.8%) of Parcel Area (maximum)
- Floor Area Ratio: 0.934
- Impervious Surface Ratio: 75,665 S.F. (45.9%) of Parcel Area (maximum)
- Off-Street Parking: 1.29 Auto Spaces per Dwelling Unit (minimum)
- Off-Street Bicycle Parking: 0.25 Bike Spaces per Dwelling Unit (minimum)

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would otherwise be required under the City's High Density Residential Zoning.

Less Impervious Surface Area

Because of PDD Zoning, there is greater flexibility in the amount of vehicular parking that must be provided on site. In our Development Team's experience, the parking requirements of the City's High Density Residential Zoning District are excessive for this project - and would result in more impervious surface area across the site than what our plan proposes. Utilizing PDD Zoning for this project will decrease run-off and allow additional landscaped areas.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm.

ORGANIZATIONAL STRUCTURE

In November 2014, Jacob T. Klein formed JT Klein Company, Inc. with the ambition to develop affordable and senior housing for Wisconsin's low-income families and seniors. Prior to forming JT Klein Company, Inc. Jacob was Vice President and lead developer for a regional multi-family developer based in Minneapolis, MN where he was an owner and minority partner in the firm.

The company has developed and completed Meadow Ridge Middleton, a 95-unit family affordable project in Middleton, WI. 8Twenty Park (affordable family, 95 units), located in Madison. Oak Ridge (affordable senior, 83 units) located in Middleton. Stagecoach Trail Apartments (Middleton TIF-supported workforce and market rate apartments, 46 units) began construction in May 2018.

Over the past 14 years Jacob has been involved with the development and construction of affordable and market rate apartments, independent senior apartments, assisted living and memory care. Jacob's role includes site identification, market analysis, securing entitlements, sourcing debt and equity financing and construction project management. Between his experience with his former firm and with JT Klein Company, Jacob has developed over 1,350 units with project costs totaling over \$200,000,000. He has also served as construction project manager for over 600 of those units with construction contracts of exceeding \$60,000,000.

This project will be professionally managed by an entity controlled by Oakbrook Corporation, Inc.

Oakbrook's multifamily property management group has extensive experience managing apartment communities of all types and sizes including urban mixed-use properties. These properties consist of senior or family communities which operate as market rate properties or were financed with Section 42 Low Income Housing Tax Credits or under various other state and federal programs. Oakbrook Corporation currently employs over 280 individuals and manages over 8,300 apartments in 118 different

properties in Wisconsin, Iowa and Illinois, and 46 commercial properties in the Madison area totaling over 1,900,000 square feet.

Supervision

We have the most experienced, well-trained supervisory employees.

- We have corporate reviews for each property on a bi-monthly basis – and are updated daily on emergency maintenance issues.
- Each on-site Property Manager conducts a daily staff meeting and is the key contact person for each property.
- We maintain continual maintenance personnel contact, so we are on top of all existing or potential maintenance issues.
- We implement thorough bi-monthly property inspections for each property.

Applicant Screening

To help ensure that we are attracting quality residents, we obtain the following information from prospective residents:

- Criminal background checks
- Credit checks
- Recommendations/Referrals of previous landlords
- Income qualifications & verifications

PROJECT IMPLEMENTATION

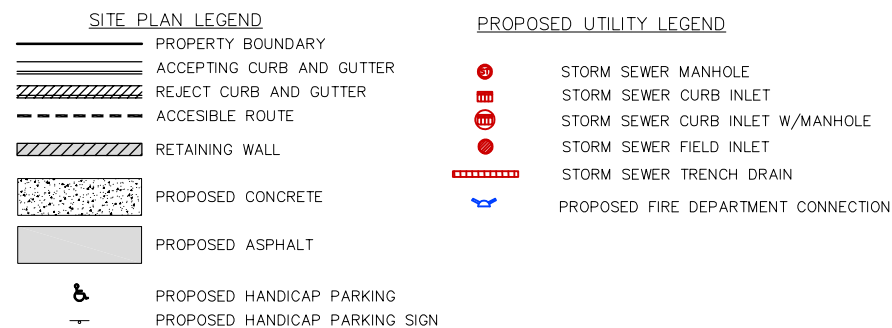
The construction of the Limestone Ridge Apartments is anticipated to maintain the following schedule in one single phase with completion in the Summer of 2020:

Schedule

Anticipated Construction Start – October 2020

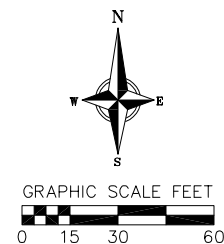
Anticipated Leasing – September 2021

APPENDIX 'A'
SPECIFIC IMPLEMENTATION PLAN
DEVELOPMENT SITE PLAN



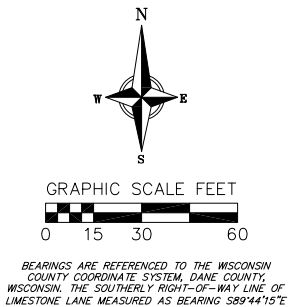
NOTE:
ALL PARKING LOT DIMENSIONS GIVEN
ARE TO FACE OF CURB.

NOT FOR CONSTRUCTION



SCALE AS SHOWN		REVISIONS		REVISIONS	
DATE	06/23/2020	NO.	DATE	REMARKS	
DRAFTER	AMEA				
CHECKED	JDOY				
PROJECT NO. 180231					
C					
02					

APPENDIX 'B'
SPECIFIC IMPLEMENTATION PLAN
GRADING & UTILITY PLANS



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN. THE SOUTHERLY RIGHT-OF-WAY LINE OF LIMESTONE LANE MEASURED AS BEARING S89°44'15"E

NOTES:

- The parcel surveyed contains 3.78 Acres or 164,795 sq. ft. more or less.
- This survey was prepared based upon information provided in the Title Commitment No. NCS-896987-MAD from First American Title Insurance Company, Effective date, March 26, 2018 at 7:30 am.
- This survey is based upon field survey work performed between July 2 and July 6, 2018. Any changes in site conditions after July 6, 2018 are not reflected by this survey.
- Elevations depicted on this survey are based upon NAVD88 Datum.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20182507917 and 20182507956. Location of buried private utilities are not within the scope of this survey.

SURVEYOR'S NOTES FROM PLAT OF ORCHARD POINTE:

- Flood Plain Zone = Zone X: Area determined to be outside 500-year floodplain. All floodplain information is referenced to flood insurance rate map community panel number 550610-0413F.
- In accord with the approved Comprehensive Development Plan approved by R-31-06, total trip generation (PM peak, or daily total, whichever is more restrictive) for each respective land owner area shall not exceed the level used in the Strand and Associates analysis and letter of 3/6/06. Trip exchange may occur between ownership areas.
- Final grades established by the subdivider on utility easements shall not be altered by more than 6 inches by the subdivider, his agent or by subsequent owners of the lots on which such utility easement are located, except with written consent of the utility or utilities involved.
- Public water main and sanitary sewer and storm sewer easements shall be recorded prior to the issuance of any building permits for buildings requiring such improvements.
- Utility easements: No poles or buried cables are to be placed on any lot line or property corner.
- The disturbance of a survey stake by anyone is in violation of Section 236.32 of the Wisconsin Statutes.
- This property is subject to any and all easements and agreements both recorded and unrecorded.
- Zoning setbacks are shown per the zoning classification in effect at the time of the recording of this plat. Any changes in zoning classification or any changes in setbacks standards would apply at the time of site development.
- Where building setback lines and easement are running concurrently, the more restrictive will govern how close the building can be placed to the property line.

TOPOGRAPHIC LINEWORK LEGEND

- PO PO EXISTING UNDERGROUND TELEPHONE LINE
- G G EXISTING GAS LINE
- UE UE EXISTING UNDERGROUND ELECTRIC LINE
- SAN 8 SAN 8 EXISTING 8" SANITARY SEWER LINE
- ST 12 ST 12 EXISTING 12" STORM SEWER LINE
- ST 15 ST 15 EXISTING 15" STORM SEWER LINE
- ST 18 ST 18 EXISTING 18" STORM SEWER LINE
- ST 21 ST 21 EXISTING 21" STORM SEWER LINE
- ST 24 ST 24 EXISTING 24" STORM SEWER LINE
- ST 42 ST 42 EXISTING 42" STORM SEWER LINE
- ST 48 ST 48 EXISTING 48" STORM SEWER LINE
- ST 54 ST 54 EXISTING 54" STORM SEWER LINE
- WM 8 WM 8 EXISTING 8" D.I. WATER MAIN
- WM 10 WM 10 EXISTING 10" D.I. WATER MAIN
- 820 EXISTING MAJOR CONTOUR
- 818 EXISTING MINOR CONTOUR
- PROPERTY BOUNDARY
- EXISTING TREE LINE
- EXISTING BLOCK RETAINING WALL

TOPOGRAPHIC HATCHING LEGEND

- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- INDICATES NO ACCESS

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING LIGHT POLE
- EXISTING ELECTRICAL UTILITY VAULT
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING TELEPHONE PEDESTAL
- BENCHMARK (SEE BENCHMARK NOTES)
- EXISTING DECIDUOUS TREE

SURVEYED FOR:
JT KLIEN, INC.
ATTN: DANNY AFABLE
906 BEAR CLAW WAY
MADISON, WI 53717

SURVEYED BY:
VIERBICHER ASSOCIATES, INC.
BY: DAVID N. GULLICKSON
999 FOURIER DRIVE,
SUITE 201
MADISON, WI 53717
(608)-821-3966
dgu@vierbicher.com

PROJECT BENCHMARKS:

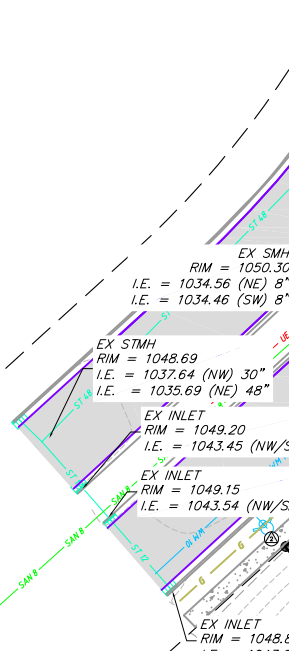
- BENCHMARK 1 - ELEV.=1054.75';
TOP NUT OF FIRE HYDRANT LOCATED ALONG
FITCHRONA ROAD AT THE WEST SIDE OF LOT 10.
- BENCHMARK 2 - ELEV.=1052.48';
TOP NUT OF FIRE HYDRANT LOCATED ALONG
FITCHRONA ROAD AT THE SOUTHWEST CORNER
OF LOT 10.



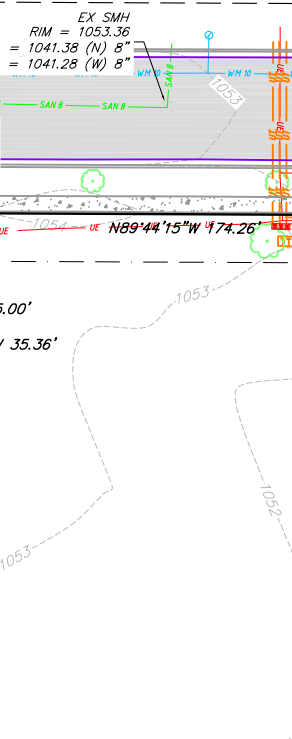
THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

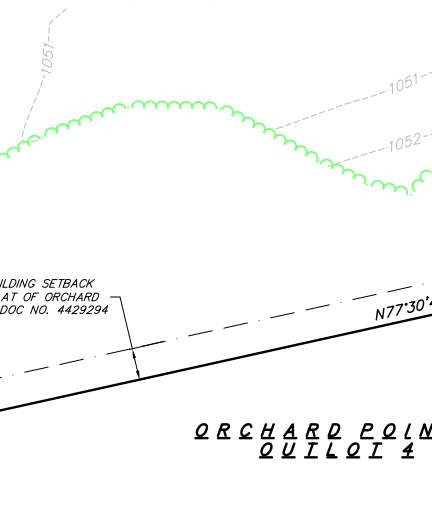
ORCHARD POINTE
LOT 12



ORCHARD POINTE
LOT 5



ORCHARD POINTE
LOT 10
164,795 S.F., 3.78 ACRES.



ORCHARD POINTE
LOT 4

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TOPOGRAPHIC SYMBOL LEGEND

- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

GRADING AND EROSION CONTROL LEGEND

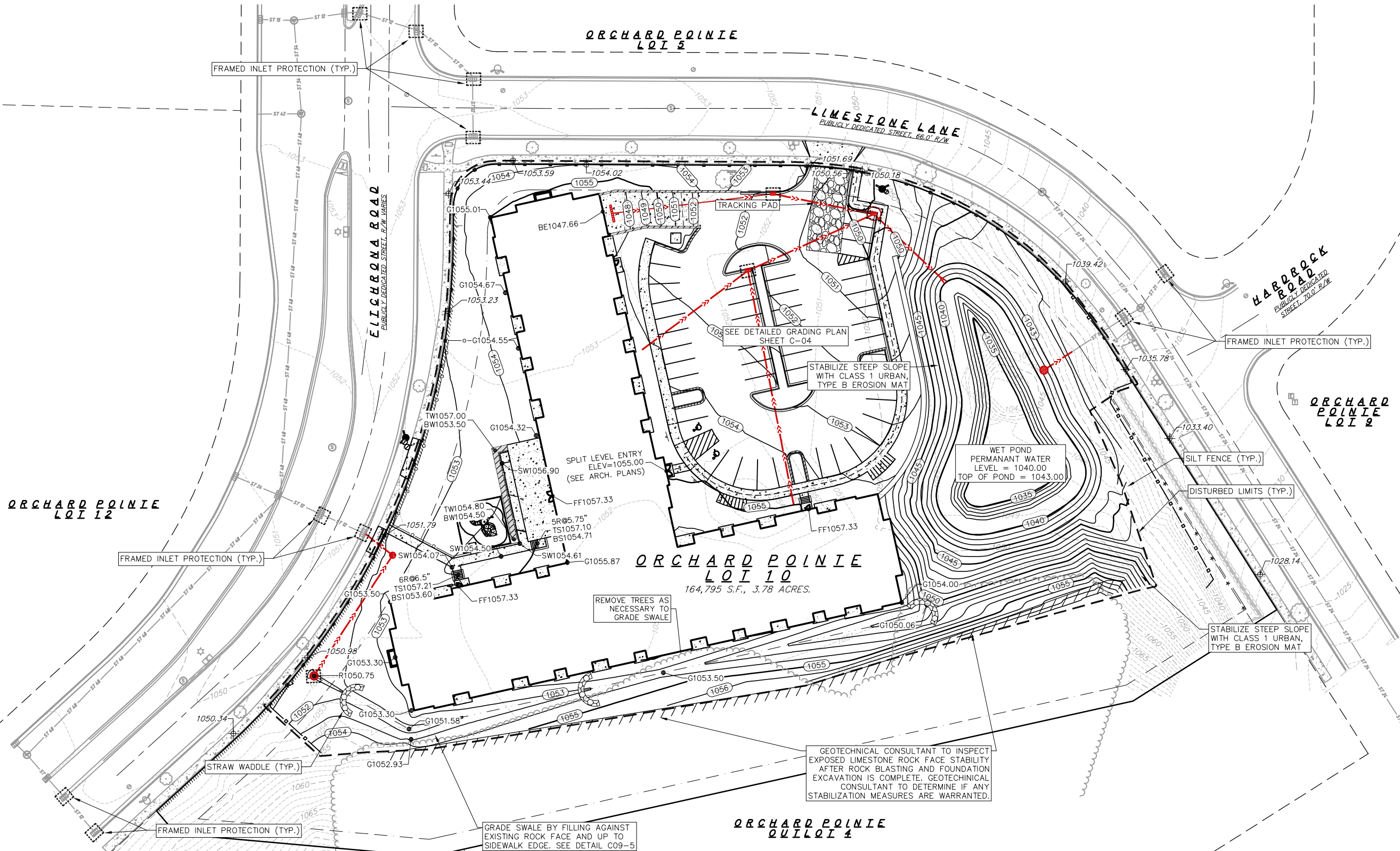
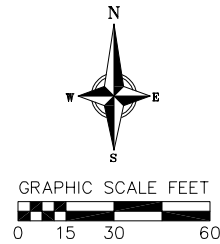
- SILT FENCE
- DISTURBED LIMITS
- INLET PROTECTION
- TRACKING PAD
- STRAW WADDLE

ABBREVIATIONS

- FF - FINISHED FIRST FLOOR
- SL - SPLIT LEVEL ELEV.
- BE - BASEMENT ELEVATION
- TC - TOP OF CURB
- SW - TOP OF SIDEWALK
- P - PAVEMENT
- G - GROUND ELEVATION
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- R - RIM

- NOTES:
1. CONTOURS SHOWN ARE FOR REFERENCE ONLY. ALL IMPROVEMENTS SHALL BE CONSTRUCTED BASED ON SPOT ELEVATIONS PROVIDED.
 2. ALL CURB FACE IS 4" HEIGHT.
 3. ADA REQUIREMENTS SPECIFY PARKING STALLS SLOPE MUST BE LESS THAN 2% IN ANY DIRECTION. ADA WALKWAYS MUST NOT EXCEED 5% SLOPE IN LONGITUDINAL DIRECTION WITHOUT A RAILING AND 8.3% WITH A RAILING. THE CROSS SLOPE OF AN ADA WALKWAY MUST NOT EXCEED 1.5% SLOPE.
 4. TYPICAL SIDEWALK CROSS SLOPE IS 1.5% UNLESS OTHERWISE NOTED.

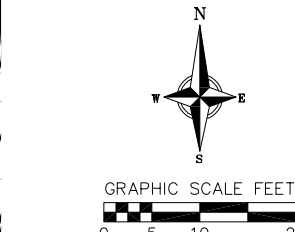
NOT FOR CONSTRUCTION



Grading and Erosion Control Plan

Limestone Ridge
City of Fitchburg
Dane County, Wisconsin

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GRADING LEGEND

	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	DITCH CENTERLINE
	ADA ROUTE
	PROPOSED SLOPE ARROWS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	PROPOSED HANDICAP PARKING

ABBREVIATIONS

FF – FINISHED FIRST FLOOR
SL – SPLIT LEVEL ELEV.
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TC – TOP OF CURB
SW – TOP OF SIDEWALK
P – PAVEMENT
G – GROUND ELEVATION
TW – TOP OF WALL
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PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- SANITARY SEWER PIPE (GRAVITY)
- WATER SERVICE LATERAL PIPE
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED PIPE INSULATION

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND TELEPHONE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)

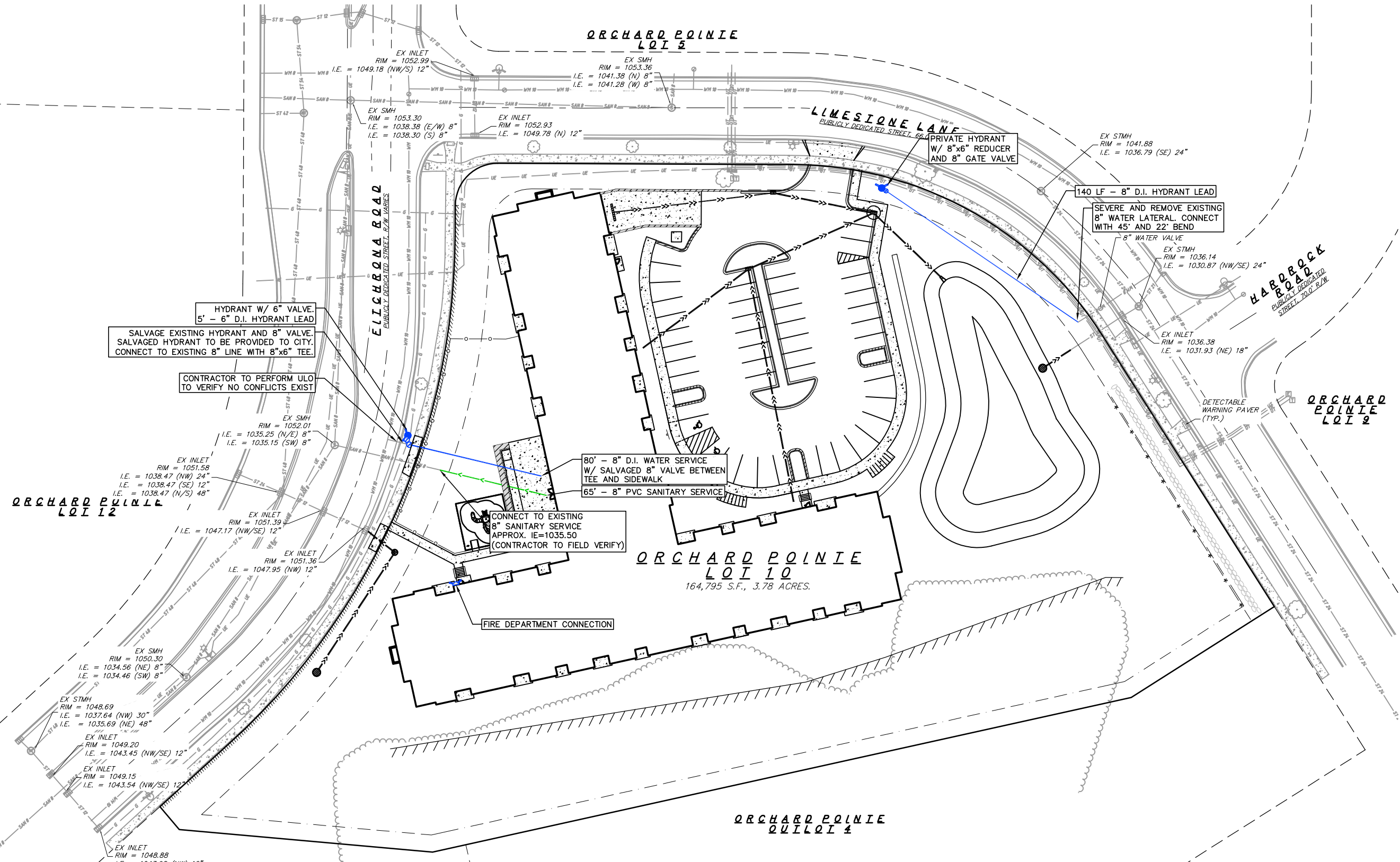
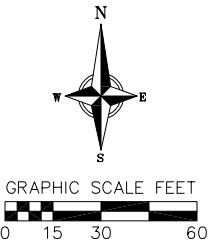
ABBREVIATIONS

- STMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE

NOTES:

- CONTRACTOR TO PERFORM UTILITY LINE OPENINGS FOR ALL UTILITY WORK WITHIN UTILITY EASEMENTS OR WITHIN 15 FEET OF THE PROPERTY BOUNDARY PRIOR TO STARTING ANY WORK. NOTIFY THE ENGINEER IF ANY CONFLICTS EXIST.
- A CITY OF FITCHBURG PERMIT TO EXCAVATE IN THE PUBLIC RIGHT-OF-WAY IS REQUIRED FOR ALL WORK IN THE LIMESTONE LANE AND FITCHRONA ROAD RIGHT-OF-WAYS.
- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL WATER MAIN BETWEEN THE PUBLIC WATER MAIN UP TO AND INCLUDING PRIVATE HYDRANTS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- PER CITY ORDINANCE, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. THE CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4270 FOR OPERATION OF THESE VALVES.

- SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE AT THE POINT OF CONNECTION.
- CASTINGS WITH OPEN PICK HOLES ARE PROHIBITED FOR SANITARY MANHOLES.
- ALL WATER SERVICES TO BE 6.5' BELOW FINISHED GRADE AND HAVE A MINIMUM OF 18" OF SEPARATION WHEN CROSSING BELOW STORM SEWER OR STORMWATER FACILITIES.



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PROPOSED UTILITY LEGEND

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- STORM SEWER CURB INLET
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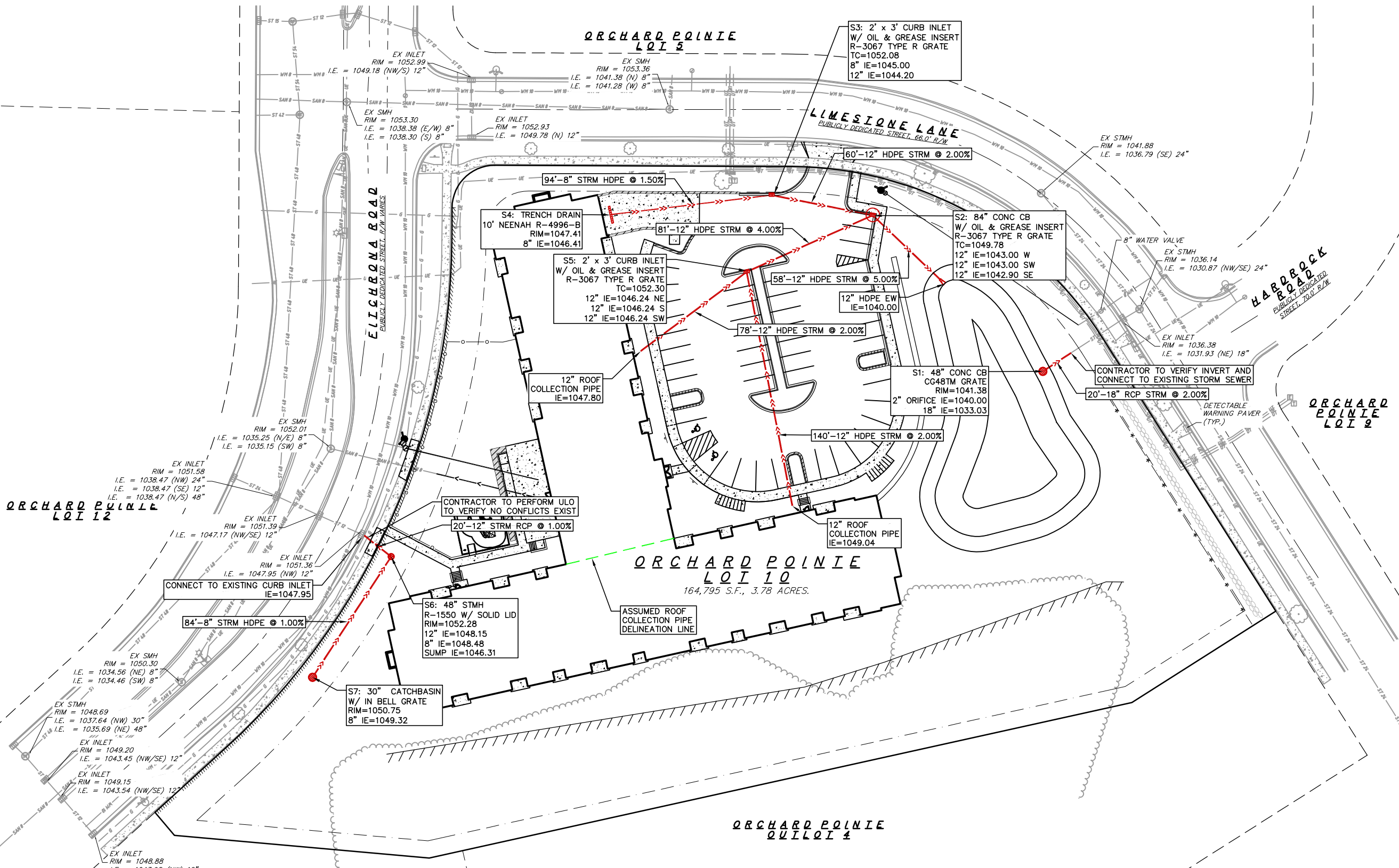
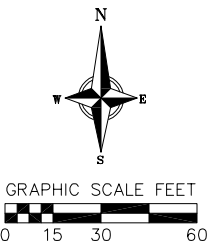
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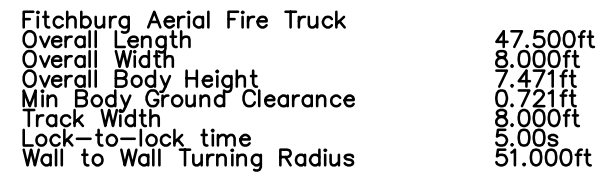
NOTES:

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- A DANE COUNTY STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE LIMESTONE ROAD RIGHT OF WAY.
- THE SANITARY SEWER WITHIN THE RIGHT OF WAY IS REQUIRED TO BE INSTALLED WITH TRENCHLESS TECHNOLOGY. SANITARY SEWER MATERIALS IN THE RIGHT OF WAY SHALL BE PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL WATER MAIN BETWEEN THE PUBLIC WATER MAIN UP TO AND INCLUDING PRIVATE HYDRANTS SHALL BE INSTALLED PER THE LATEST EDITION OF THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
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A graphic scale bar is shown below the map, with markings at 0, 15, 30, and 60 feet. Above the scale bar is a compass rose indicating North (N), South (S), East (E), and West (W).



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EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE CONSTRUCTION ENTRANCE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. FLEXSTORM TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- LOT SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO THE PROPERTY
- STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS
- ROUGH GRADE SITE FOR BUILDING PAD AND PARKING AREAS
- CONSTRUCT BUILDING
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION ON NEW INLETS
- CONSTRUCT CURB & GUTTER, DRIVES, AND WALKS
- FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZE, AND MULCH
- REMOVE SILT FENCE AND INLET PROTECTION UPON SITE STABILIZATION

SEEDING RATES:

- TEMPORARY:
- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 - USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 S.F. FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

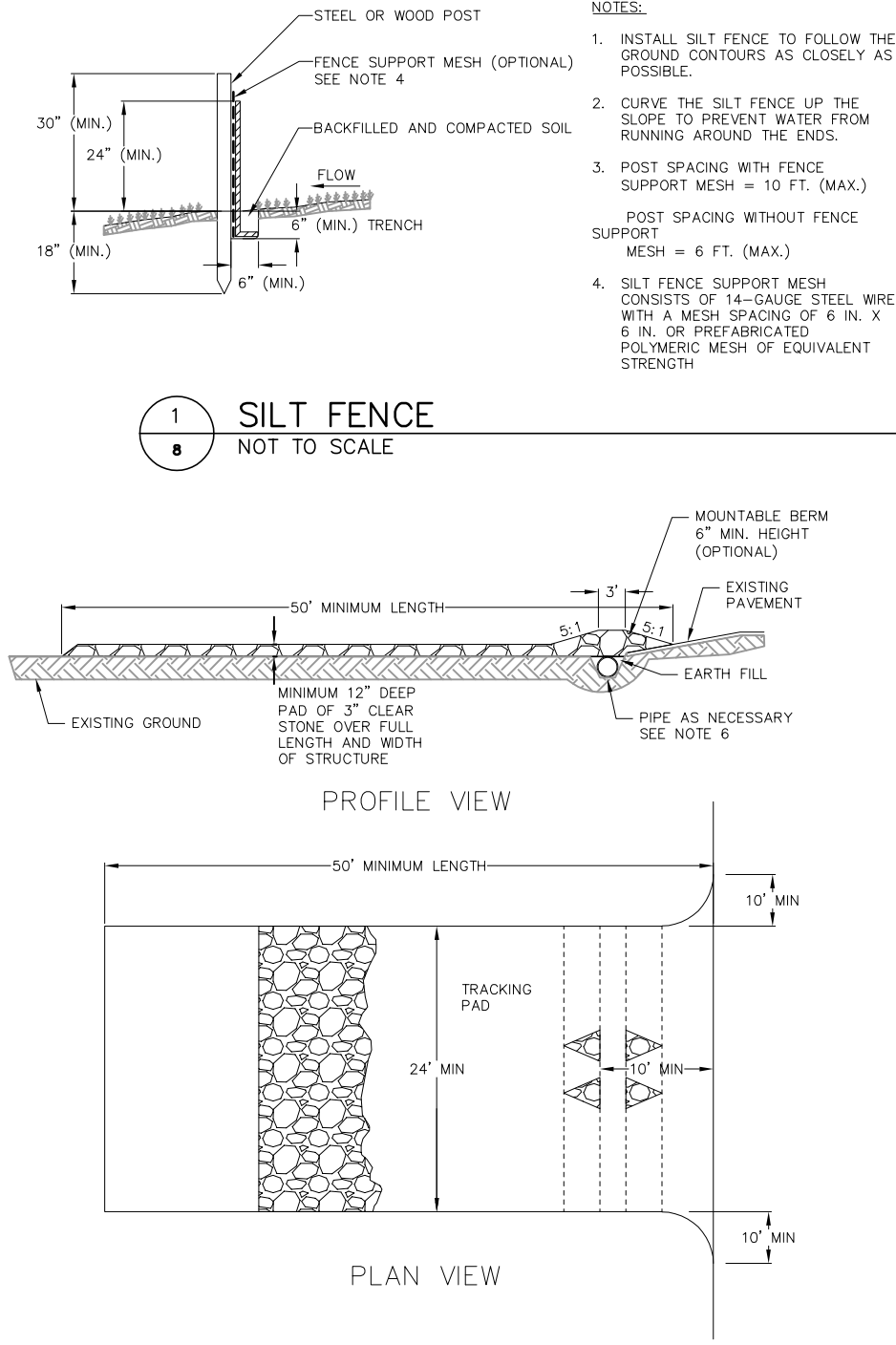
MULCHING RATES:

TEMPORARY AND PERMANENT:
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

2 TRACKING PAD NOT TO SCALE

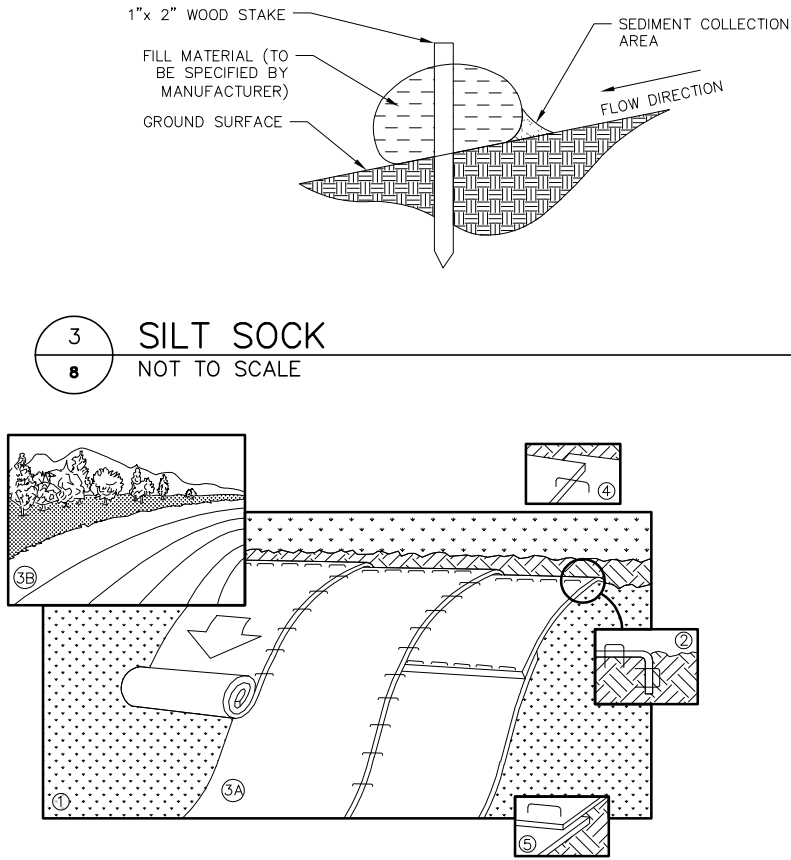
1 SILT FENCE NOT TO SCALE



NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

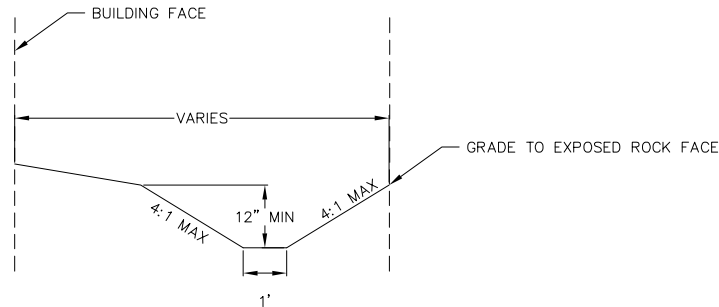
3 SILT SOCK NOT TO SCALE



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

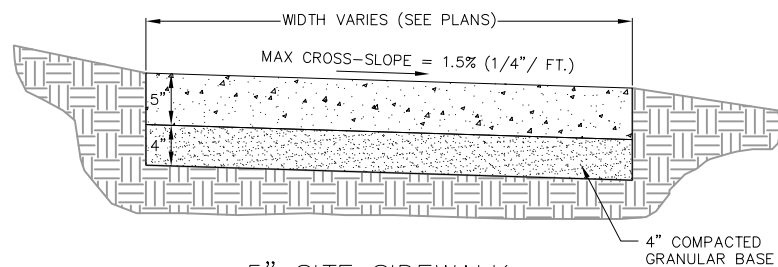
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

4 EROSION MAT NOT TO SCALE

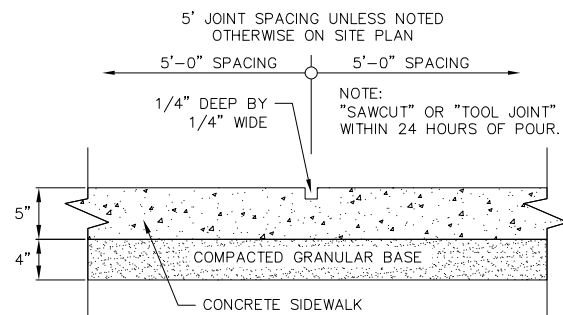


5 SWALE CROSS SECTION NOT TO SCALE

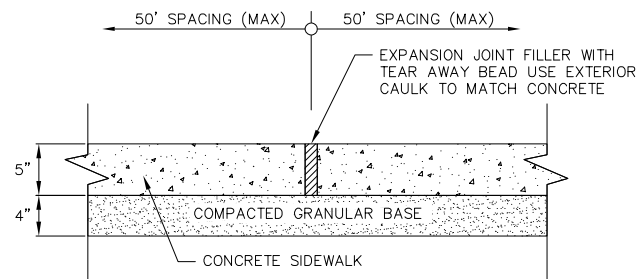
SCALE	REVISIONS		REVISIONS			
	NO.	DATE	REMARKS	NO.	DATE	REMARKS
SCALE AS SHOWN						
DATE	06/23/2020					
DRAFTER	AMEA					
CHECKED	JDOY					
PROJECT NO.	180231					
	C					
	08					



5" SITE SIDEWALK



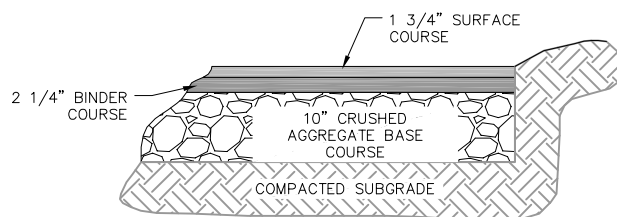
SIDEWALK CONTROL JOINT



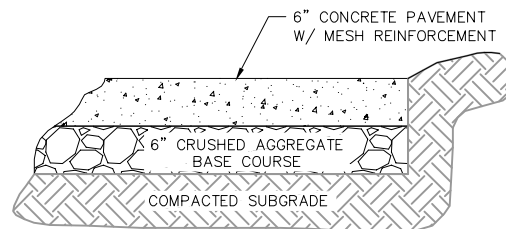
SIDEWALK EXPANSION JOINT

1
9

5" SIDEWALK
NOT TO SCALE



BITUMINOUS PAVEMENT
PARKING LOT



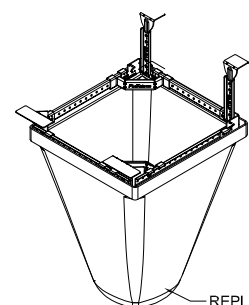
CONCRETE PAVEMENT UNDERGROUND ENTRIES

PAVEMENT RECOMMENDATIONS BASED ON GEOTECHNICAL
EXPLORATION REPORT PREPARED BY CGC INC, DATED
02/15/2019. SEE SECTION 6 OF THIS REPORT FOR FULL
GEOTECHNICAL RECOMMENDATION.

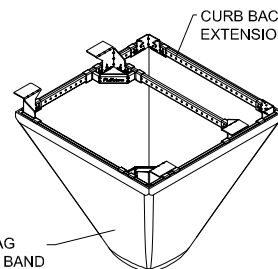
2 SITE PAVEMENT
9 NOT TO SCALE

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

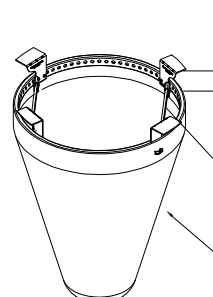
WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.



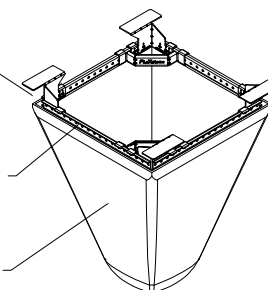
FLEXSTORM CATCH-IT INLET FITLERS FOR
ROLLED CURB



FLEXSTORM CATCH-IT INLET FILTERS FOR CURB BOX OPENINGS (MAGNETIC CURB FLAP)



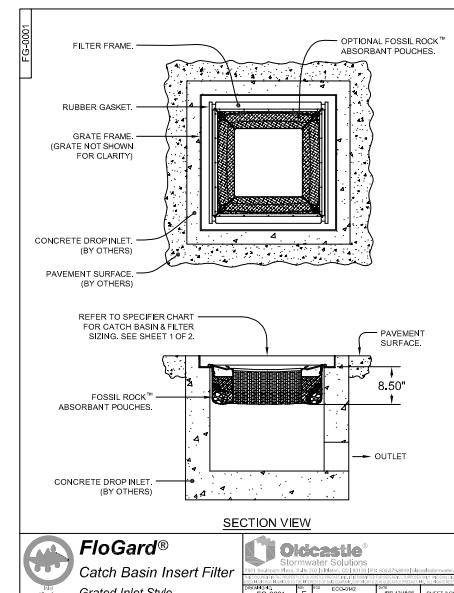
FLEXSTORM CATCH-IT INLET FILTERS
FOR ROUND OPENINGS



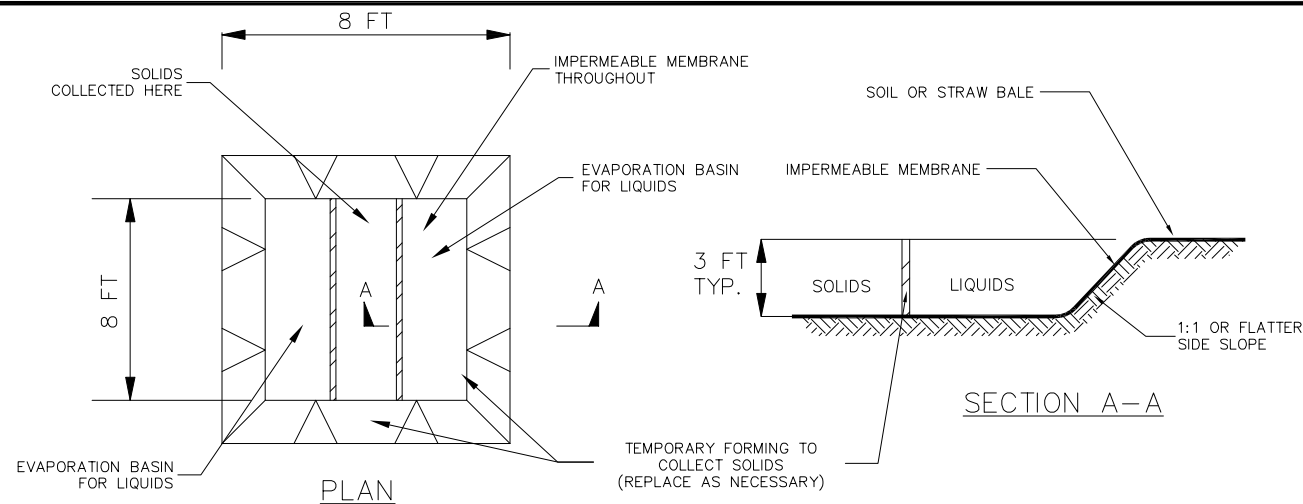
FLEXSTORM CATCH-IT INLET FILTERS FOR
SQUARE/RECTANGULAR OPENINGS

NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

3 FLEXSTORM INLET PROTECTION



4 OIL & GREASE INLET FILTER
9 NOT TO SCALE

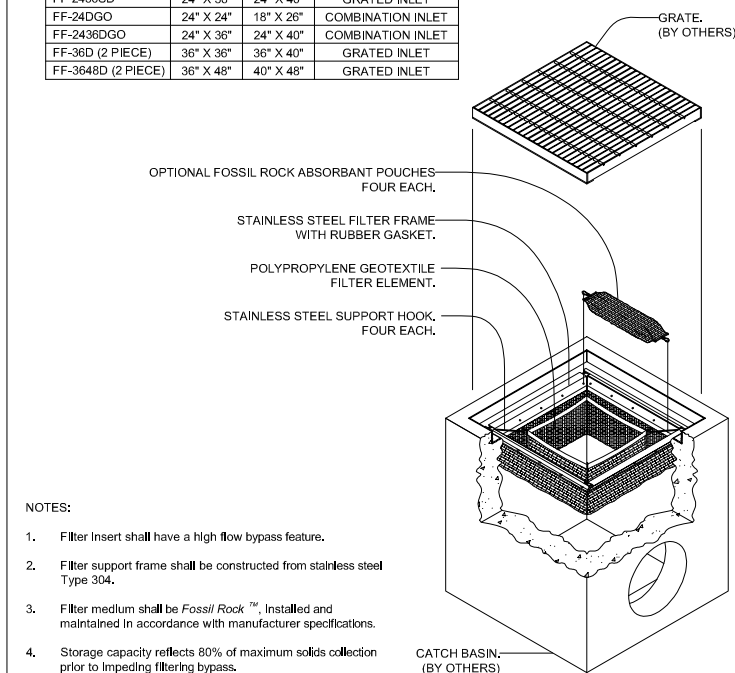


CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

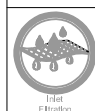
5 CONCRETE WASHOUT

SPECIFIER CHART			
MODEL	INLET ID	GRATE OD	COMMENTS
FF-12D	12" X 12"	15" X 15"	GRATED INLET
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	26" X 26"	GRATED INLET
FF-2436SD	24" X 36"	24" X 40"	GRATED INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36SD (2 PIECE)	36" X 36"	36" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET



NOTES:

1. Filter Insert shall have a high flow bypass feature.
2. Filter support frame shall be constructed from stainless steel Type 304.
3. Filter medium shall be Fossil Rock TM. Installed and maintained in accordance with manufacturer specifications.
4. Storage capacity reflects 80% of maximum solids collection prior to Impeding filtering bypass.

**FloGard®**

*Catch Basin Insert Filter
Grated Inlet Style*

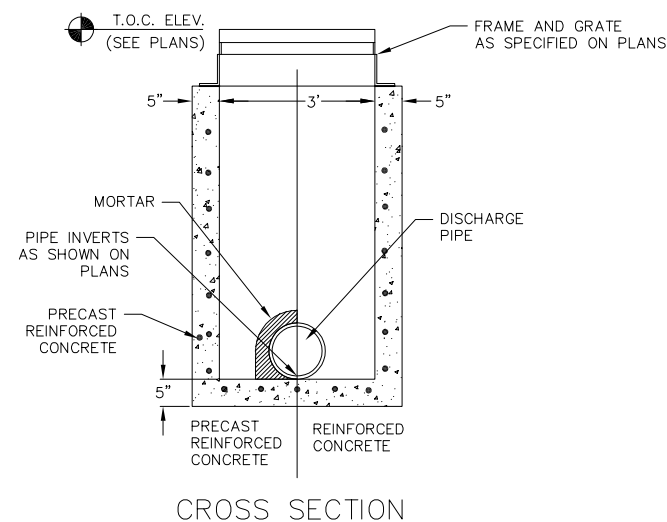


Stormwater Solutions

7921 Southpark Plaza Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastlestormwater.com

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DRAWING NO.	REV	ECO	DATE	
EG-0001	F	ECO-0142 ECO 7/13/16	JPR 12/18/06	SHEET 1 OF 1



3' x 3' CURB INLET
NOT TO SCALE



4 MOUNTABLE 18" CURB SECTION
10 NOT TO SCALE



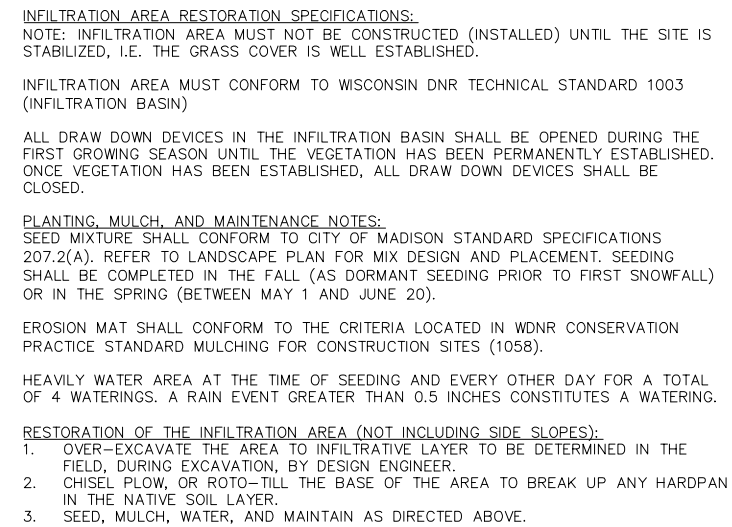
6 18" CONCRETE CURB AND GUTTER
10 NOT TO SCALE



MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

7 STORM SEWER MANHOLE
10 NOT TO SCALE

REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS



TOP OF BERM
ELEV=1043.00

3'

4:1

4'

10'

OVERFLOW WEIR
ELEV=1042.00

4:1

3'

TOP OF BERM
ELEV=1043.00

4'

NOTE: EXTEND EROSION CONTROL BLANKET TO TOE OF SLOPE ON THE DOWNSTREAM SIDE OF THE BERM

PERMANENT EROSION CONTROL BLANKET
NORTH AMERICAN GREEN C350
OR AN APPROVED EQUAL

NOTE:
SIGN TO BE CENTERED AT THE
INTERIOR END OF PARKING SPACE

MUTCD R7-8A W1 (OR R7-8MAD CITY OF MADISON)
ALUMINUM SIGN WITH ENGINEER GRADE (EG) OR
EQUIVALENT REFLECTIVE SHEETING

12"

18"

6"

60" MIN ABOVE WALKING SURFACE

FINISHED GRADE

18" MIN BELOW GRADE

2"x2" SQ PERFORATED, 12 GAUGE GALVANIZED STEEL NESTED POST ANCHORING SYSTEM, SET IN CONCRETE MIN. 18" BELOW GRADE. SECURE POSTS WITH NUT & BOLT.

1/2" RADIUS MIN. ALL CORNERS

BLUE

WHITE

GREEN (ALL TEXT)

GREEN BORDER

ARROWS INSTEAD OF TEXT (OPTIONAL)

GREEN BORDER

R7-8V WHERE INDICATED

GREEN BORDER

SIGN INDICATING FINE AMOUNT PER LOCAL ORDINANCE AS REQUIRED

12"

18"

6"

60" MIN ABOVE WALKING SURFACE

FINISHED GRADE

18" MIN BELOW GRADE

RESERVED PARKING

VEHICLES WITH VET. OR DIS. PLATES OR STATE DISABLED CARD

THIS SPACE

VAN ACCESSIBLE

4 HANDICAP SIGN DETAIL

11 NOT TO SCALE

APPENDIX 'C'
SPECIFIC IMPLEMENTATION PLAN
LANDSCAPE PLAN

Plant Material List

Broadleaf Deciduous

Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	GMM	Green Mountain Sugar Maple	Acer Saccharum 'green Mountain'	2" B&B
4	SGM	Sienna Glen Maple	Acer X Freemanii 'sienna'	2" B&B
7	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
1	CHB	Common Hackberry	Celtis Occidentalis	2" B&B
3	TCHT	Thnls Cockspur Hawthorn (tf)	Crataegus Crus-Galli Var Iner (tf)	2" B&B
2	SHL	Skyline Thlns Honeylocust	Gleditsia Triacan Iner 'skycole'	2" B&B
1	RJC	Red Jewel Crabapple	Malus 'jewelcole'	1 3/4" B&B
2	SWO	Swamp White Oak	Quercus Bicolor	2" B&B
2	ASL	Amer Sentry Linden	Tilia Americana 'mcksentry'	2" B&B

Conifer Evergreen

Quantity	Code Name	Common Name	Scientific Name	Planting Size
14	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	5' B&B
5	BHS	Black Hills Spruce	Picea Glauca Var Densata	5' B&B
19	MMP	Mops Mugo Pine	Pinus Mugo 'mops'	#3 CONT.
29	TY	Taunton Yew	Taxus X Media 'tauntonii'	18" B&B
12	EA	Emerald Arborvitae	Thuja Occidentalis 'smaragd'	4' B&B

Perennial

Quantity	Code Name	Common Name	Scientific Name	Planting Size
74	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
27	GBD	Going Bananas Daylily	Hemerocallis 'going Bananas'	#1 CONT.
4	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
24	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpurescens	#1 CONT.
18	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Shrub

Quantity	Code Name	Common Name	Scientific Name	Planting Size
5	GBC	Glossy Black Chokeberry	Aronia Melanocarpa Var Elata	#5 CONT.
26	DBH	Dwf Bush-Honeysuckle	Diervilla Lonicera	#5 CONT.
4	DFG	Dwf Fothergilla	Fothergilla Gardenii	#5 CONT.
5	SVN	Summer Wine Ninebark	Physocarpus Opulifolius 'seward'	#5 CONT.
3	MCS	Magic Carpet Spirea	Spiraea japonica 'walbuma'	#2 CONT.
10	PL	Palibin Lilac	Syringa Meyeri 'palibin'	3' B&B
4	BMAV	Blue Muffin Arwd Viburnum	Viburnum Dentatum 'christom'	#5 CONT.

GENERAL NOTES

- A) Areas labeled "Brown Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
10% Palmer IV Perennial Ryegrass
20% Dragon Kentucky Bluegrass
20% Diva Kentucky Bluegrass
20% Foxy II Creeping Red Fescue
15% Vail II Perennial Ryegrass
15% Ginney Kentucky Bluegrass
- G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with D575 straw erosion control netting that is then pegged into the soil with Biodegradable staples.
- H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.

Sedge Meadow

Sedge meadows naturally protect water quality by trapping sediment and nutrients during seasonal flooding. These important plant communities also provide wildlife habitat for many small mammals and waterfowl. Best if planted in saturated soils with full sun.

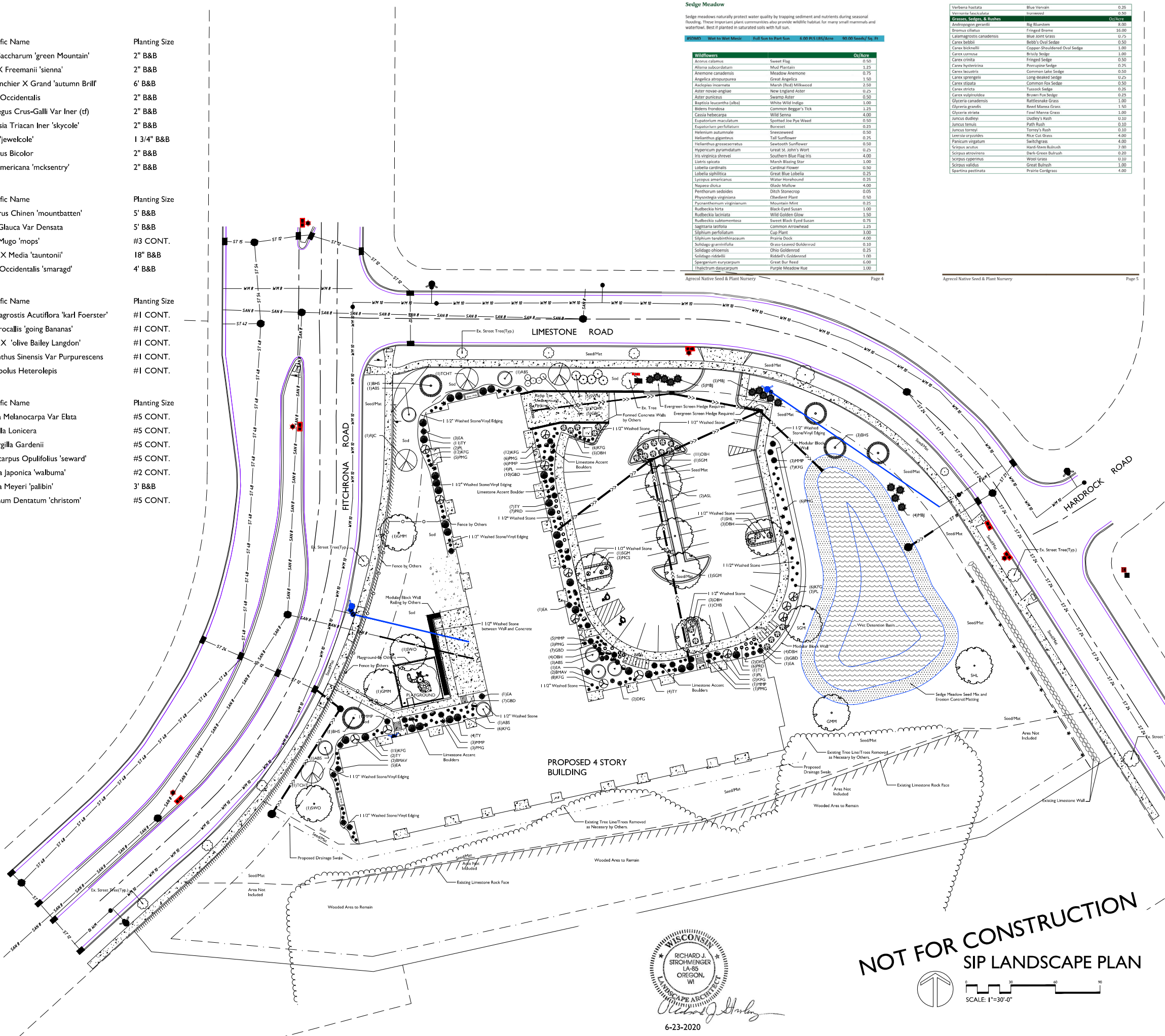
SEEDING	Wet to Wet-Medic	Full Sun to Part Sun	8,000 BLS/acre	80,000 Seeds/ Sq. Ft.
---------	------------------	----------------------	----------------	-----------------------

Wildflowers	Qr/Acre
Aster ciliatus	0.50
Alisma subcordatum	1.25
Anemone canadensis	0.75
Angelica atropurpurea	1.50
Astilbe incarnata	2.50
Aster novae-angliae	0.25
Aster pumilus	0.50
Baptisia leucantha (alba)	1.00
Bidens frondosa	1.25
Cassia helictocarpa	4.00
Eupatorium maculatum	0.50
Eupatorium perfoliatum	0.25
Helianthus autumnalis	0.50
Helianthus giganteus	0.25
Helianthus grosseserratus	0.50
Hypericum pyramidatum	0.25
Iris virginica shrevei	4.00
Liatris spicata	1.00
Labella cardinalis	0.50
Labella siphilitica	0.25
Lycopus americanus	0.25
Napaea dioica	4.00
Pentstemon sedoides	0.05
Physostegia virginiana	0.50
Pycnanthemum virginianum	0.25
Rudbeckia hirta	1.00
Rudbeckia laciniata	1.50
Rudbeckia subtomentosa	0.75
Sagittaria latifolia	1.25
Silphium perfoliatum	3.00
Silphium terebinthinaceum	4.00
Solidago graminifolia	0.10
Solidago ohioensis	0.25
Solidago canadensis	1.00
Spartanum eurycarpum	6.00
Thalictrum dasycarpum	1.00

Agrecol Native Seed & Plant Nursery Page 4

Verbena hastata	Blue Vervain	0.25
Veronica fasciculata	Ironweed	0.50
Grasses, Sedges, & Bushes	Qr/Acre	
Andropogon gerardi	Big Bluestem	8.00
Bromus ciliatus	Fringed Brome	16.00
Calamagrostis canadensis	Blue Joint Grass	0.25
Carex bebbii	Bebb's Oval Sedge	0.50
Carex bicknellii	Copper Shouldered Oval Sedge	1.00
Carex cornosa	Brolly Sedge	1.00
Carex crinita	Fringed Sedge	0.50
Carex hystericina	Porcupine Sedge	0.25
Carex leucostriata	Common Lake Sedge	0.50
Carex springii	Long Sedge	0.25
Carex stipata	Common Fox Sedge	0.50
Carex stricta	Tussock Sedge	0.25
Carex vulpinoidea	Beaver Fox Sedge	0.25
Glyceria canadensis	Rattlesnake Grass	1.00
Glyceria grandis	Beard Manns Grass	1.50
Glyceria striata	Tow Manna Grass	1.00
Juncus dudleyi	Dudley's Rush	0.50
Juncus tenuis	Path Rush	0.10
Juncus torreyi	Torrey's Rush	0.10
Lernaea strydoms	Rice Cut Grass	4.00
Panicum virgatum	Switchgrass	4.00
Scirpus aratus	Hard-Stem Bulrush	2.00
Scirpus atrovirens	Dark-Green Bulrush	0.20
Scirpus cyperinus	Wool Grass	0.50
Scirpus validus	Great Bulrush	1.00
Spartina pectinata	Prairie Cordgrass	4.00

Agrecol Native Seed & Plant Nursery Page 5



6-23-2020

NOT FOR CONSTRUCTION
SIP LANDSCAPE PLAN



SCALE: 1"=30'-0"

the bruce company
OF MIDDLEBURG
LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS
2830 PARKER STREET
P.O. BOX 620330
MIDDLETON, WI 53562-0330
TEL: (608) 836-7041
FAX: (608) 831-6266

LIMESTONE RIDGE APARTMENTS
LIMESTONE ROAD
FITCHBURG, WISCONSIN 53711

Checked By: SS
Drawn By: 6/23/2020 RS

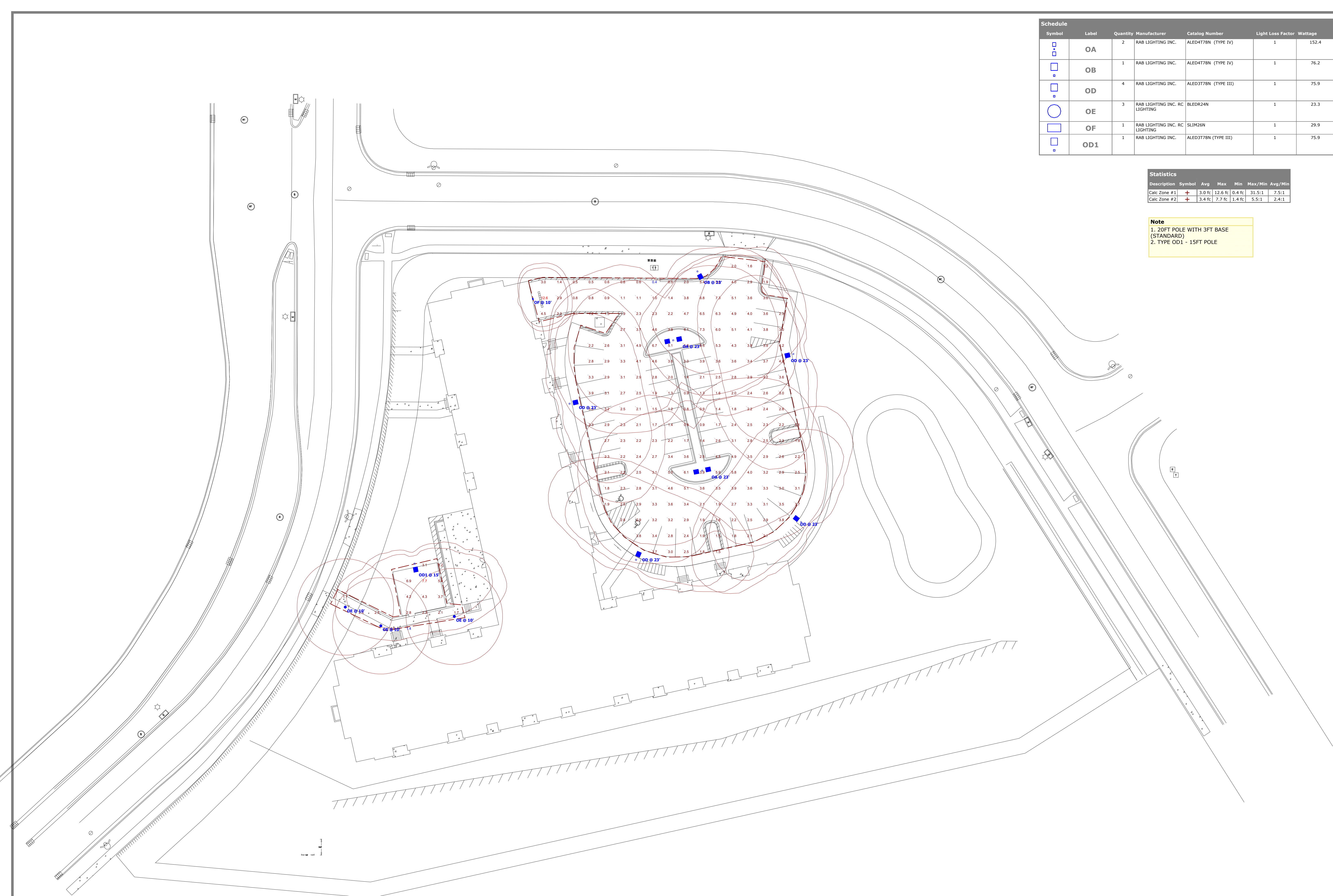
Revised:
Revised:
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Revised:

L1

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1/2020 CAD/STIVE SHORT/LIMESTONE RIDGE/LIMESTONE/DWG Created: 6/23/2020, Saved: 6/23/2020, Printed: 6/23/2020

APPENDIX 'D'
SPECIFIC IMPLEMENTATION PLAN
LIGHTING PLAN



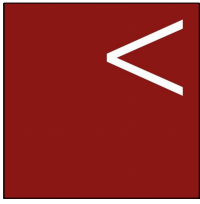
Plan View
Scale - 1" = 25ft

Schedule						
Symbol	Label	Quantity	Manufacturer	Catalog Number	Light Loss Factor	Wattage
	OA	2	RAB LIGHTING INC.	ALED4T78N (TYPE IV)	1	152.4
	OB	1	RAB LIGHTING INC.	ALED4T78N (TYPE IV)	1	76.2
	OD	4	RAB LIGHTING INC.	ALED3T78N (TYPE III)	1	75.9
	OE	3	RAB LIGHTING INC. RC LIGHTING	BLED24N	1	23.3
	OF	1	RAB LIGHTING INC. RC LIGHTING	SLIM26N	1	29.9
	OD1	1	RAB LIGHTING INC.	ALED3T78N (TYPE III)	1	75.9

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.0 fc	12.6 fc	0.4 fc	31.5:1	7.5:1
Calc Zone #2	+	3.4 fc	7.7 fc	1.4 fc	5.5:1	2.4:1

Note
1. 20FT POLE WITH 3FT BASE (STANDARD)
2. TYPE OD1 - 15FT POLE

APPENDIX 'E'
SPECIFIC IMPLEMENTATION PLAN
FLOOR PLANS



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ARCHITECTS

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 19-0424

JTKLEIN INC.
DEVELOPMENT - CONSTRUCTION-MANAGEMENT

LIMESTONE RIDGE
APARTMENTS

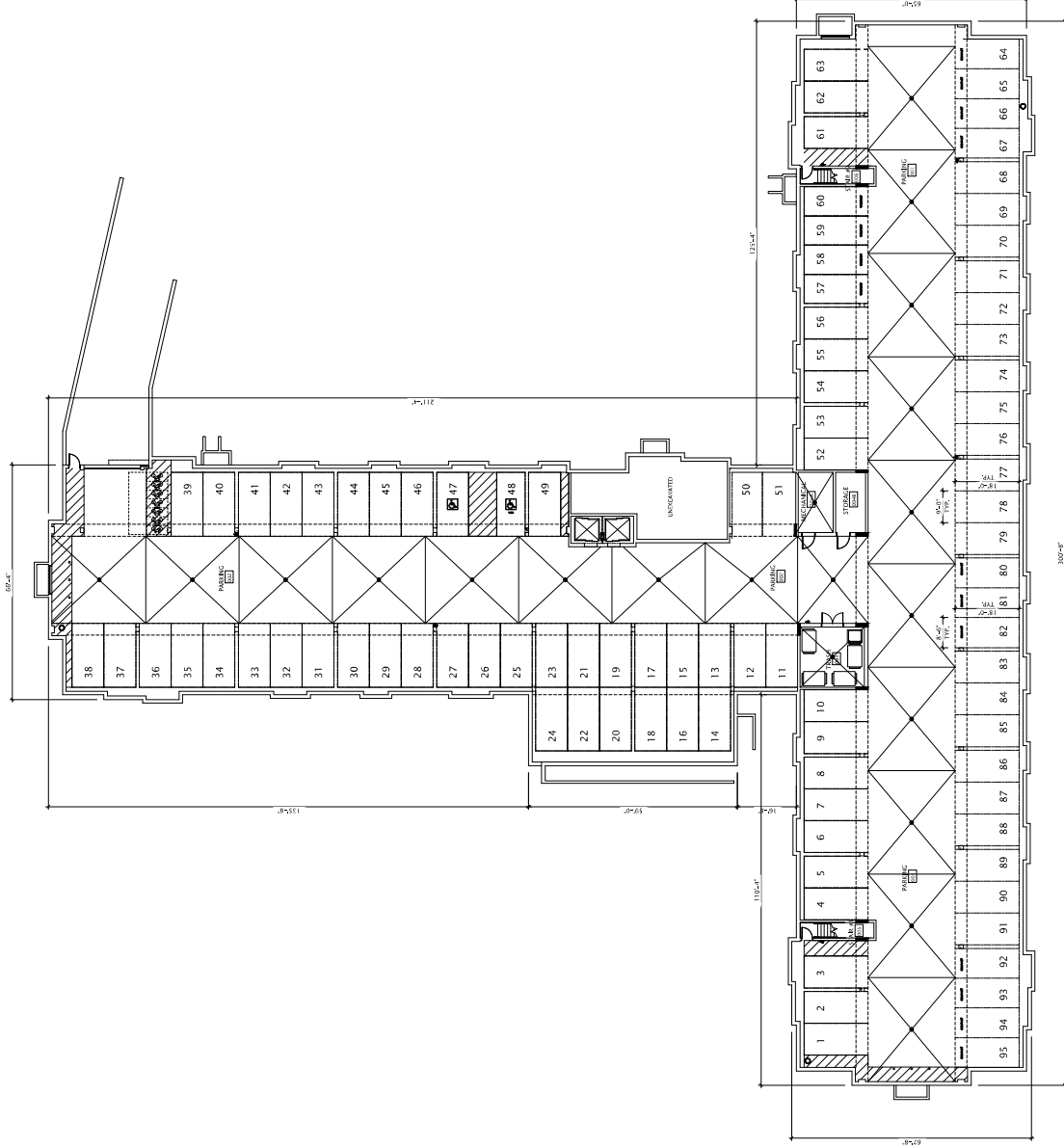
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SHEET TITLE

LOWER LEVEL
PLAN - OVERALL

SHEET NUMBER

A100



10 LOWER LEVEL PLAN
1/16" = 1'-0"





JLA PROJECT NUMBER: 19-0424



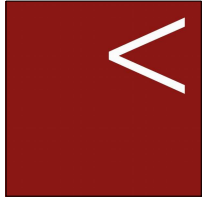
LIMESTONE RIDGE
APARTMENTS

DATE OF ISSUANCE:		JUNE 5, 2021	
REVISION SCHEDULE			
Mark	Description	Date	

**FIRST FLOOR
PLAN - OVERALL**

A101





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LIMESTONE RIDGE APARTMENTS

DATE OF ISSUANCE: JUNE 8, 2020

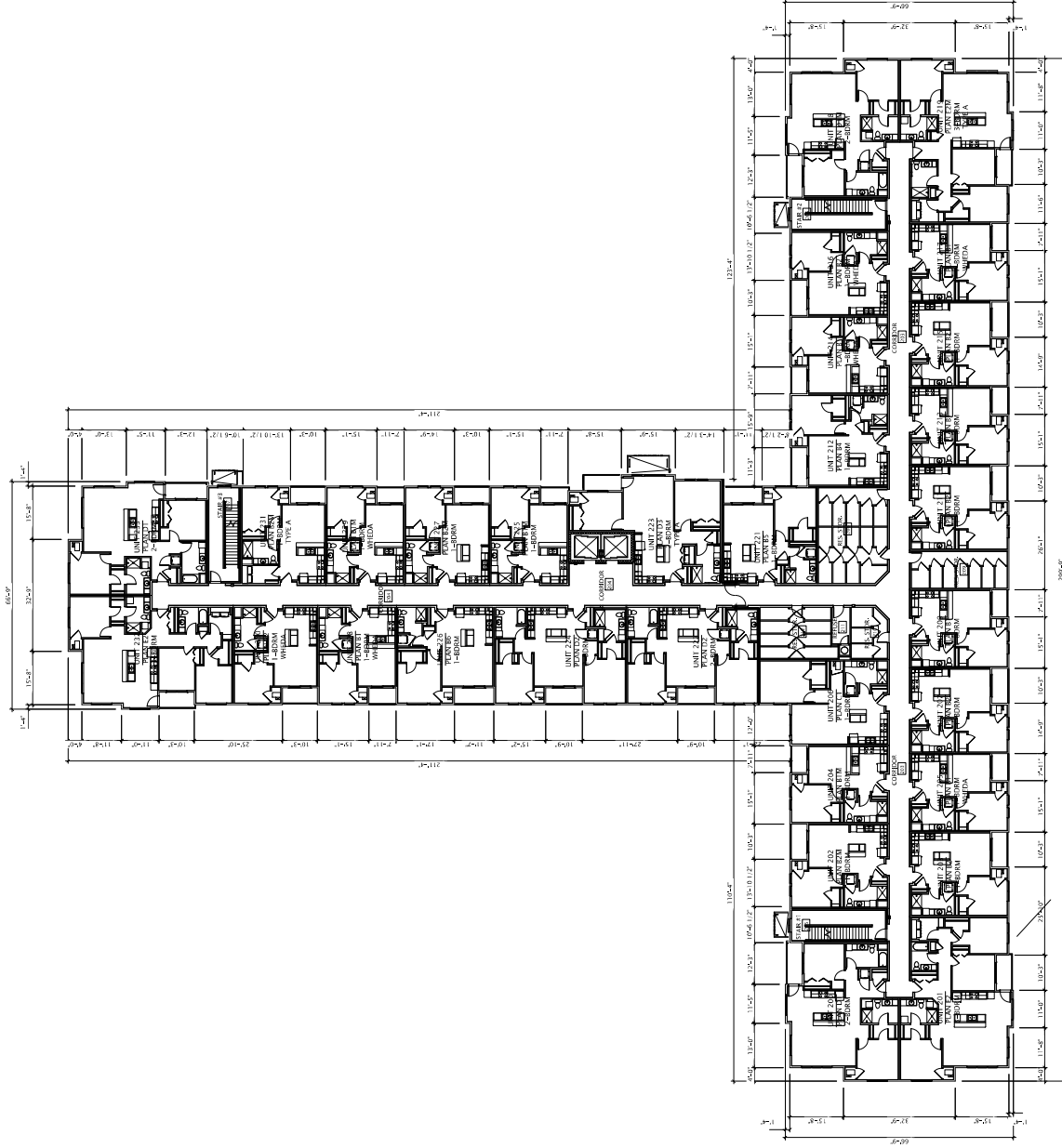
REVISION SCHEDULE	
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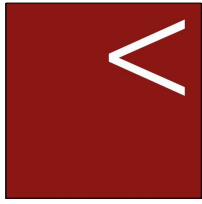
SECOND FLOOR
PLAN - OVERALL

SHEET NUMBER

A102



② SECOND FLOOR PLAN
1/8" = 1'-0"



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LIMESTONE RIDGE
APARTMENTS

DATE OF ISSUANCE: JUNE 8, 2020

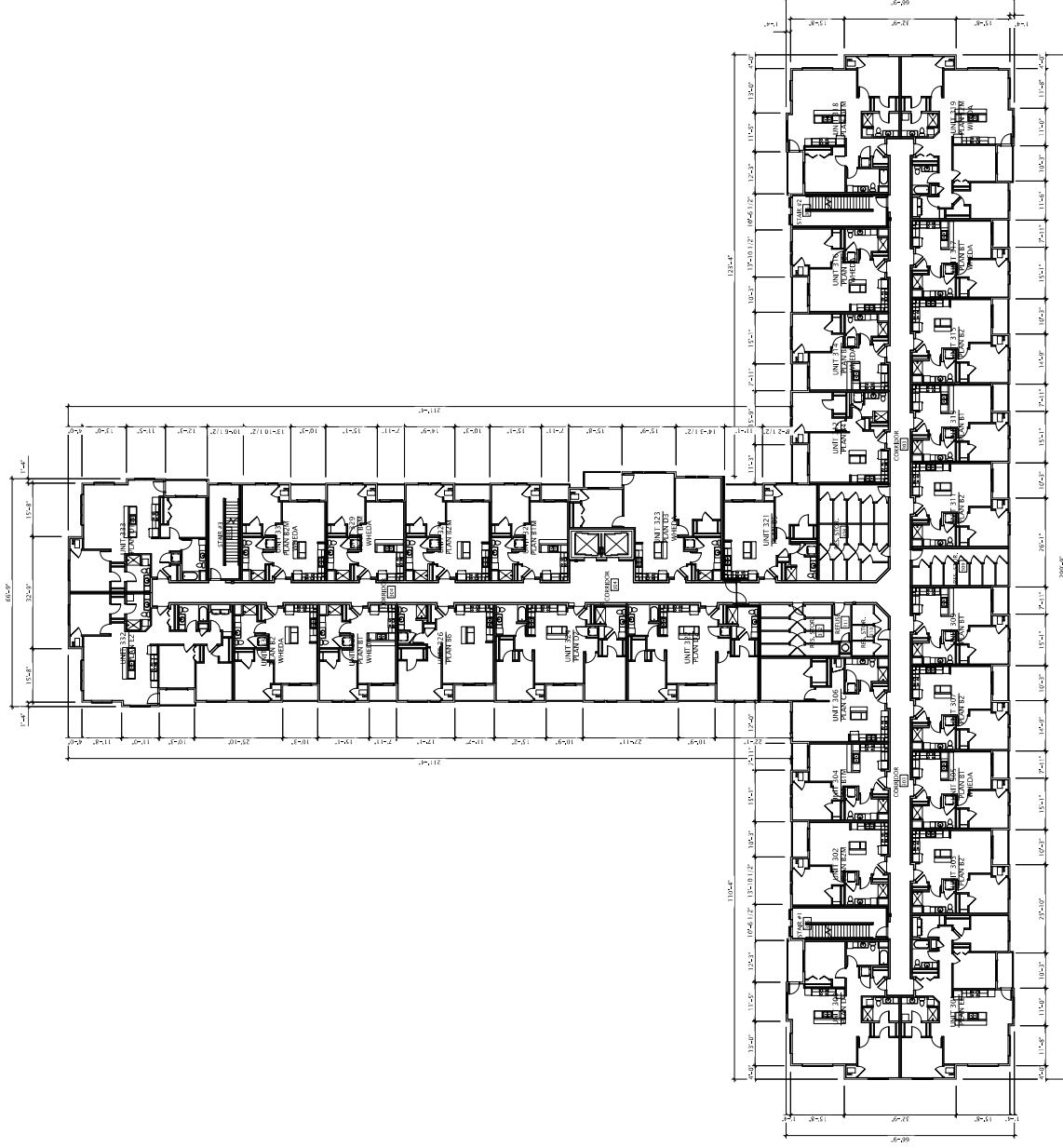
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SHEET TITLE

THIRD FLOOR
PLAN - OVERALL

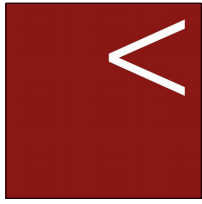
SHEET NUMBER

A103



⑥ THIRD FLOOR PLAN
1/8" = 1'-0"





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LIMESTONE RIDGE
APARTMENTS

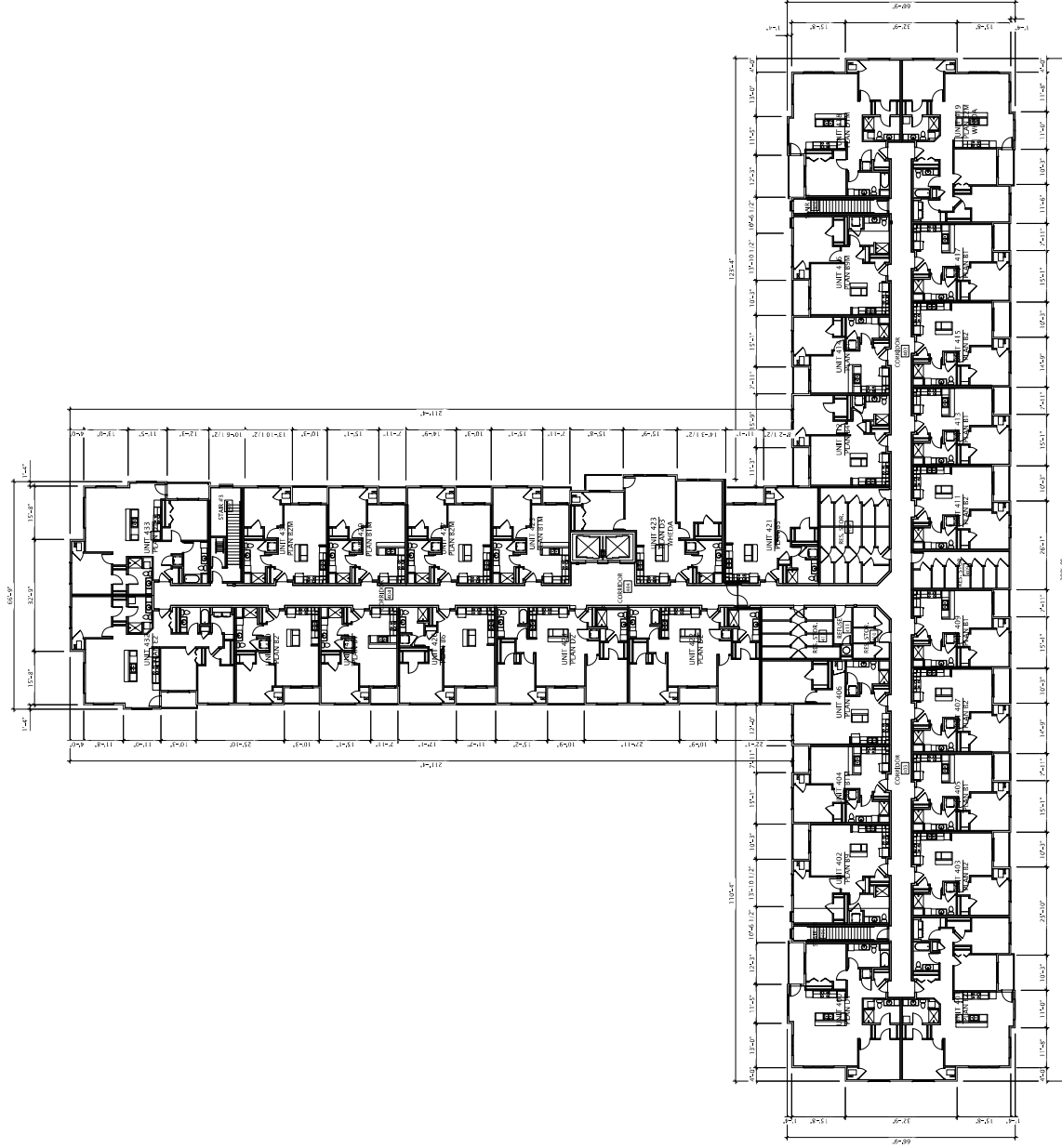
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	JUNE 8, 2020

SHEET TITLE

FOURTH FLOOR
PLAN - OVERALL

SHEET NUMBER

A104



FOURTH FLOOR PLAN
1/8" = 1'-0"

APPENDIX 'F' SPECIFIC IMPLEMENTATION PLAN EXTERIOR ELEVATIONS



JLA
ARCHITECTS

LIMESTONE RIDGE APARTMENTS

CONCEPT PERSPECTIVES – REVISED

JUNE 23, 2020



JLA
ARCHITECTS

LIMESTONE RIDGE APARTMENTS

CONCEPT PERSPECTIVES – REVISED

JUNE 23, 2020



JL A
ARCHITECTS

LIMESTONE RIDGE APARTMENTS

CONCEPT PERSPECTIVES – REVISED

JUNE 23, 2020