



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: East Cheryl Parkway

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Lot 55, Fourth Addition to Nine Springs

***Also submit in electronic format (MS WORD or plain text) by email to: **PLANNING@FITCHBURGWI.GOV**

2. Current Use of Property: Vacant

3. Proposed Use of Property: Mixed-use Development with drive-thru window

4. Proposed Development Schedule: Start Construction September 2019 with completion in Spring/Summer of 2020

5. Zoning District: Smartcode T5

6. Future Land Use Plan Classification: Smartcode T5

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable): Mixed-use with (10) studio and (9) one bedroom apartments

No. of Dwelling Units by Bedroom: 1 BR ☒ 2 BR ☐ 3 BR ☐ 4 or More ☐

No. Of Parking Stalls: 48 shared

Type of Non-residential Development (If Applicable): Coffee Shop, Tavern, and Professional Service/Retail

Proposed Hours of Operation: To be determined **No. Of Employees:** To be determined

Floor Area: 7,449 sq.ft. **No. Of Parking Stalls:** 48 shared

Sewer: Municipal ☒ Private ☐ **Water:** Municipal ☒ Private ☐

Current Owner of Property: Avante Properties, Attn Chris Armstrong

Address: 120 E Lakeside Street, Madison, WI 53715

Phone No: 608-294-4086

Contact Person: Kevin Burow; Knothe & Bruce Architects

Email: kburow@knothebruce.com

Address: 7601 University Ave. Suite 201, Middleton, WI 53562

Phone No: 608-836-3690

Respectfully Submitted By: Kevin Burow

Owner's or Authorized Agent's Signature

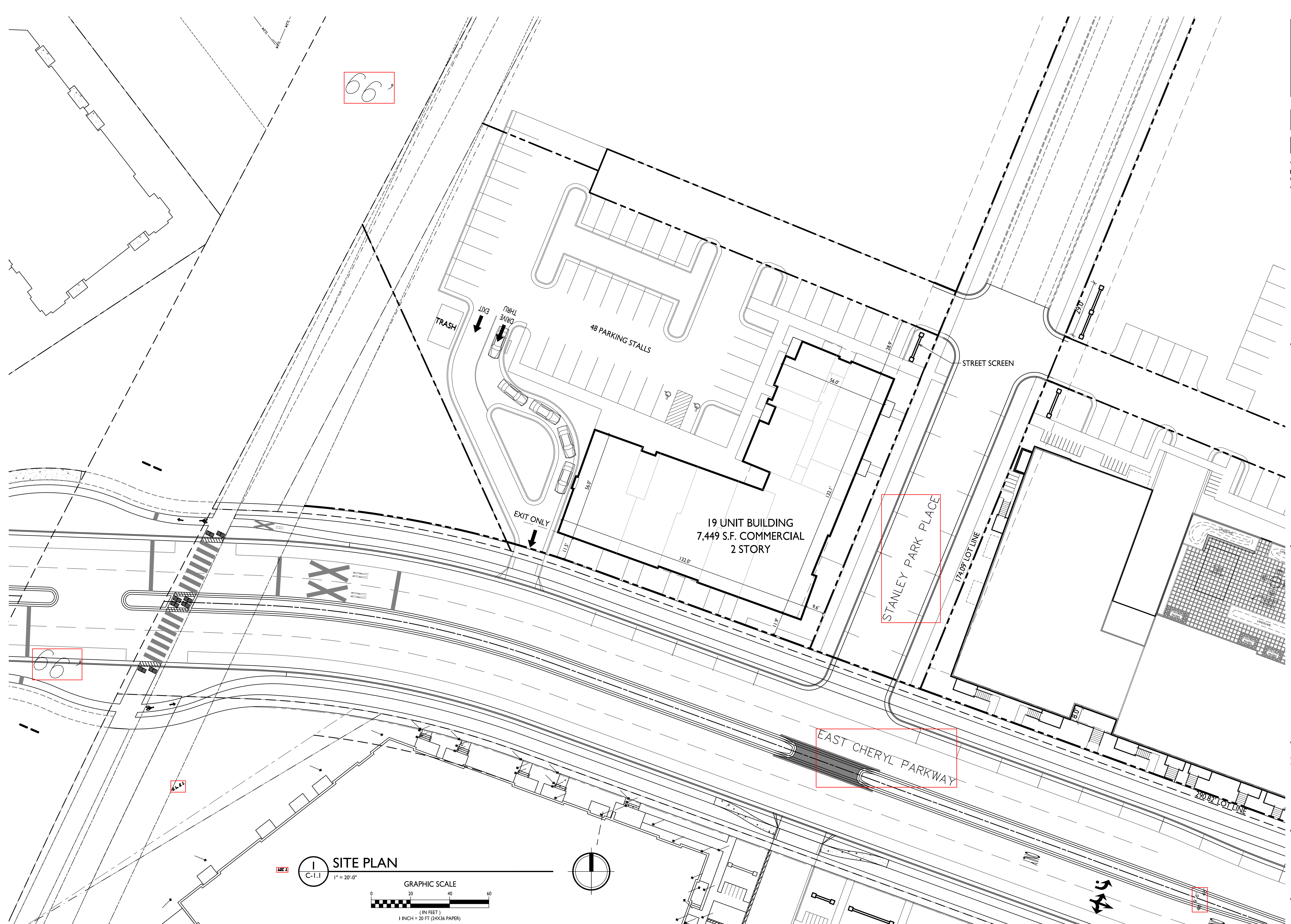
**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

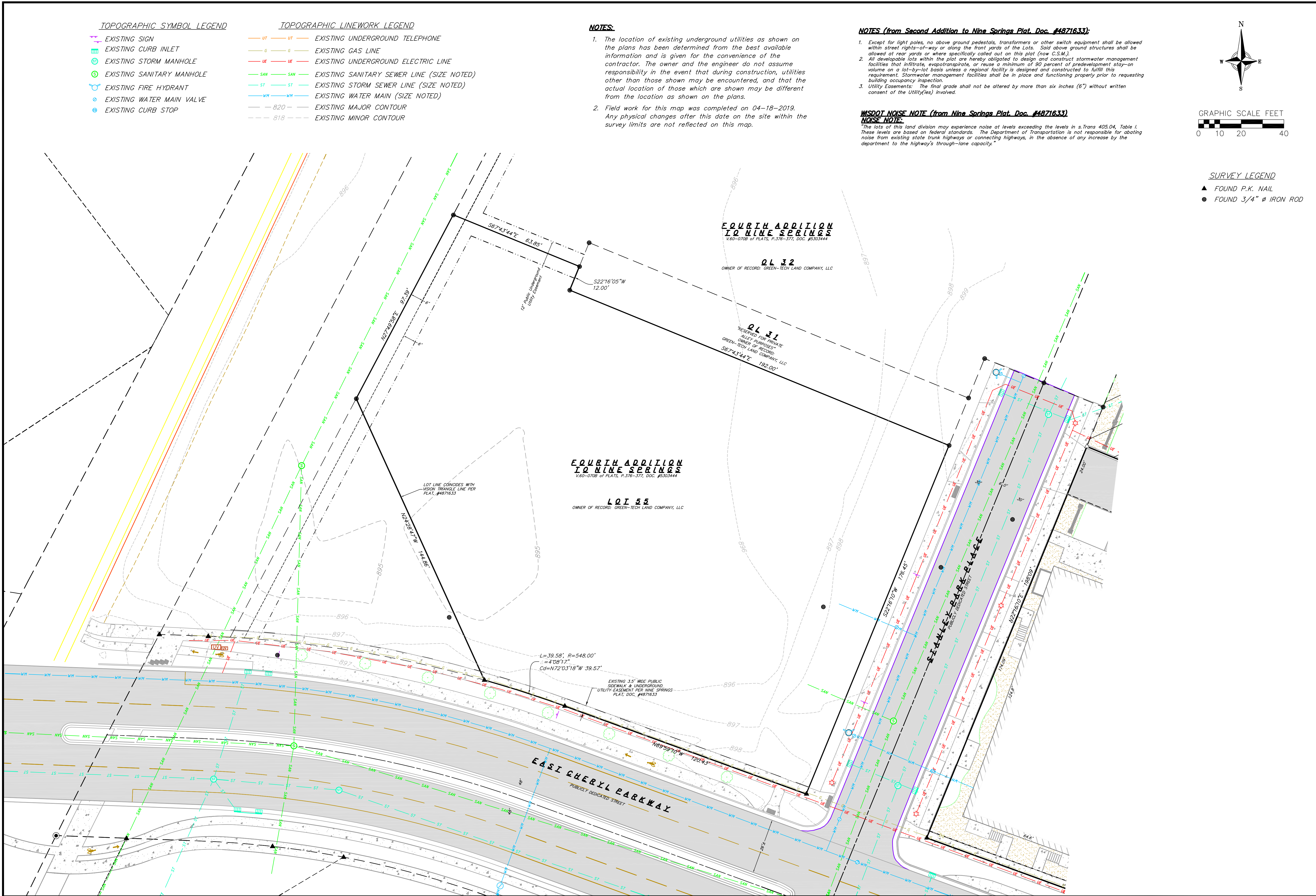
PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** **Publish:**

Ordinance Section No. **Fee Paid:**

Permit Request No.







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planners | engineers | advisors

REEDSBURG - MADISON - PRÆMIUM DU CHIEN
999 F. ROAD, SUITE 200, REEDSBURG, WI 53157
Phone: (608) 824-0332 Fax: (608) 824-0330

Existing Conditions

Lot 55

City of Fitchburg

Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE
1"=20'

DATE
4/23/2019

DRAFTER
DGUL

CHECKED
MMAR

PROJECT NO.
170231

SHEET
1 OF 3

DWG. NO.
C-01



<u>2.92%</u>	PROPOSED SLOPE ARROWS
⊕ 1048.61	EXISTING SPOT ELEVATIONS
— 1048.61	PROPOSED SPOT ELEVATIONS

ABBREVIATIONS

TC - TOP OF CURB
P - PAVEMENT
R - RIM
FF - FIRST FLOOR
W - SIDEWALK
TW - TOP OF WALL
BW - BOTTOM OF WALL
G - GROUND

- | | |
|--|--|
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | ADA ROUTE |
| | PROPERTY BOUNDARY |
| | CURB AND GUTTER
(REJECT CURB HATCHED) |
| | PROPOSED CONCRETE |
| | PROPOSED ASPHALT |
| | PROPOSED HANDICAP PARKING |
| | STORM SEWER PIPE |
| | STORM SEWER MANHOLE |
| | STORM SEWER FIELD INLET |
| | EXISTING UNDERGROUND FIBEROPTIC LINE |
| | EXISTING GAS LINE |
| | EXISTING UNDERGROUND ELECTRIC LINE |
| | EXISTING UNDERGROUND CABLE TV |
| | EXISTING UNDERGROUND TELEPHONE |
| | EXISTING STORM SEWER LINE |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | PROPERTY BOUNDARY |
| | EXISTING CONCRETE SIDEWALK |
| | EXISTING ASPHALT PAVEMENT |
| | EXISTING CURB INLET |
| | EXISTING STORM MANHOLE RECTANGULAR |
| | EXISTING STORM MANHOLE |
| | EXISTING SANITARY MANHOLE |
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER MAIN VALVE |
| | EXISTING LIGHT POLE |
| | EXISTING ELECTRICAL UTILITY VAULT |
| | EXISTING ELECTRIC PEDESTAL |
| | EXISTING TRANSFORMER |
| | EXISTING TELEPHONE PEDESTAL |
| | BENCHMARK (SEE BENCHMARK NOTES) |
| | EXISTING POST |

NOTES:

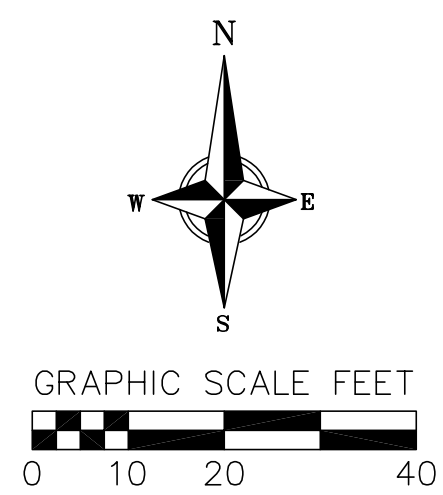
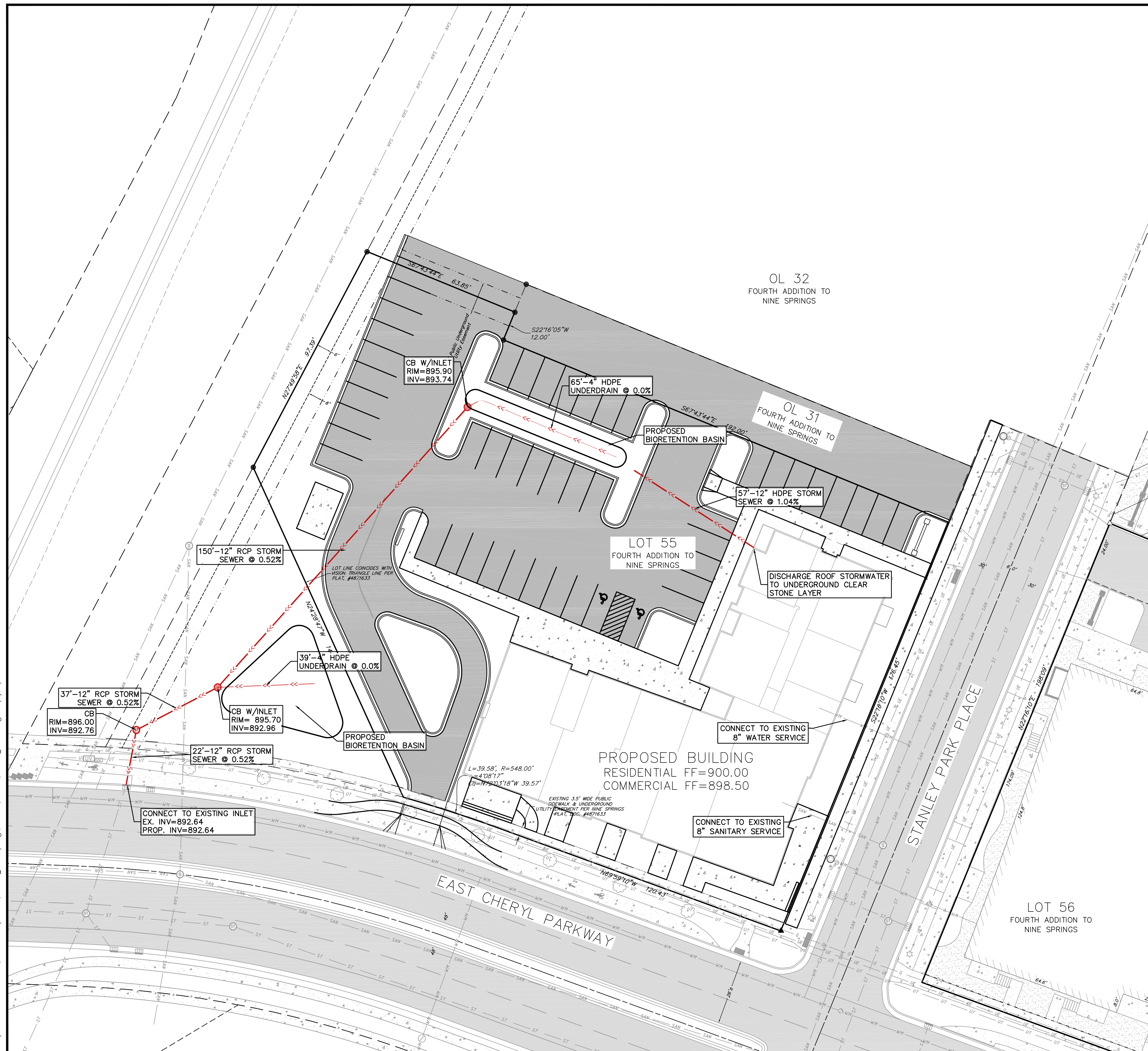
1. SURVEYOR SHALL CHECK ANY LOCATIONS WHERE PROPOSED SIDEWALK, PAVEMENT, AND CURB IS MATCHING INTO EXISTING SIDEWALK, PAVEMENT, AND CURB TO ENSURE APPROPRIATE DRAINAGE AND SLOPES. CONTACT ENGINEER WITH ANY PLAN DISCREPANCIES.
2. ALL CURB TO BE 4" UNLESS DESCRIBED OTHERWISE.


vierbicher
 planners | engineers | advisors
 Phone: (800) 261-3898

GRADING PLAN	
LOT 55	
NINE SPRINGS PLAT	
CITY OF FITCHBURG, WI	

SCALE	REVISIONS	NO.	DATE	REMARKS
AS SHOWN				

DATE	4/23/19
DRAFTER	JDOY
CHECKED	
PROJECT NO.	170231
SHEET	2 3
DWG. NO.	C-02



PROPOSED UTILITY LEGEND

-  STORM SEWER PIPE
 STORM SEWER MANHOLE
 STORM SEWER FIELD INLET

ABBREVIATIONS

- CB - CATCH BASIN
RCP - REINFORCED CONCRETE PIPE
HDPE - HIGH DENSITY POLYETHYLENE

-
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- EXISTING CONCRETE SIDEWALK
- EXISTING ASPHALT PAVEMENT

- | | |
|---|--------------------------------------|
|  | EXISTING CURB INLET |
|  | EXISTING STORM MANHOLE |
|  | EXISTING SANITARY MANHOLE |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING WATER MAIN VALVE |
|  | EXISTING LIGHT POLE |
|  | EXISTING ELECTRICAL UTILITY VAULT |
|  | EXISTING ELECTRIC PEDESTAL |
|  | EXISTING TRANSFORMER |
|  | EXISTING TELEPHONE PEDESTAL |
|  | EXISTING UNDERGROUND FIBEROPTIC LINE |
|  | EXISTING GAS LINE |
|  | EXISTING UNDERGROUND ELECTRIC LINE |
|  | EXISTING UNDERGROUND CABLE TV |
|  | EXISTING UNDERGROUND TELEPHONE |
|  | EXISTING SANITARY SEWER LINE |
|  | EXISTING STORM SEWER LINE |
|  | EXISTING WATER MAIN AND SERVICES |
|  | EXISTING PUBLIC UTILITY EASEMENT |



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UTILITY PLAN

REVISIONS		REVISIONS		SCALE
NO.	DATE	NO.	DATE	AS SHOWN
				DATE
				4/23/19
				DRAFTER
				JDOY
				CHECKED
				PROJECT NO.
				170231
				SHEET
				3 OF 3
				DWG. NO.
				C-03

NOT FOR CONSTRUCTION

ISSUED
Issued for CUP Review - April 23, 2019

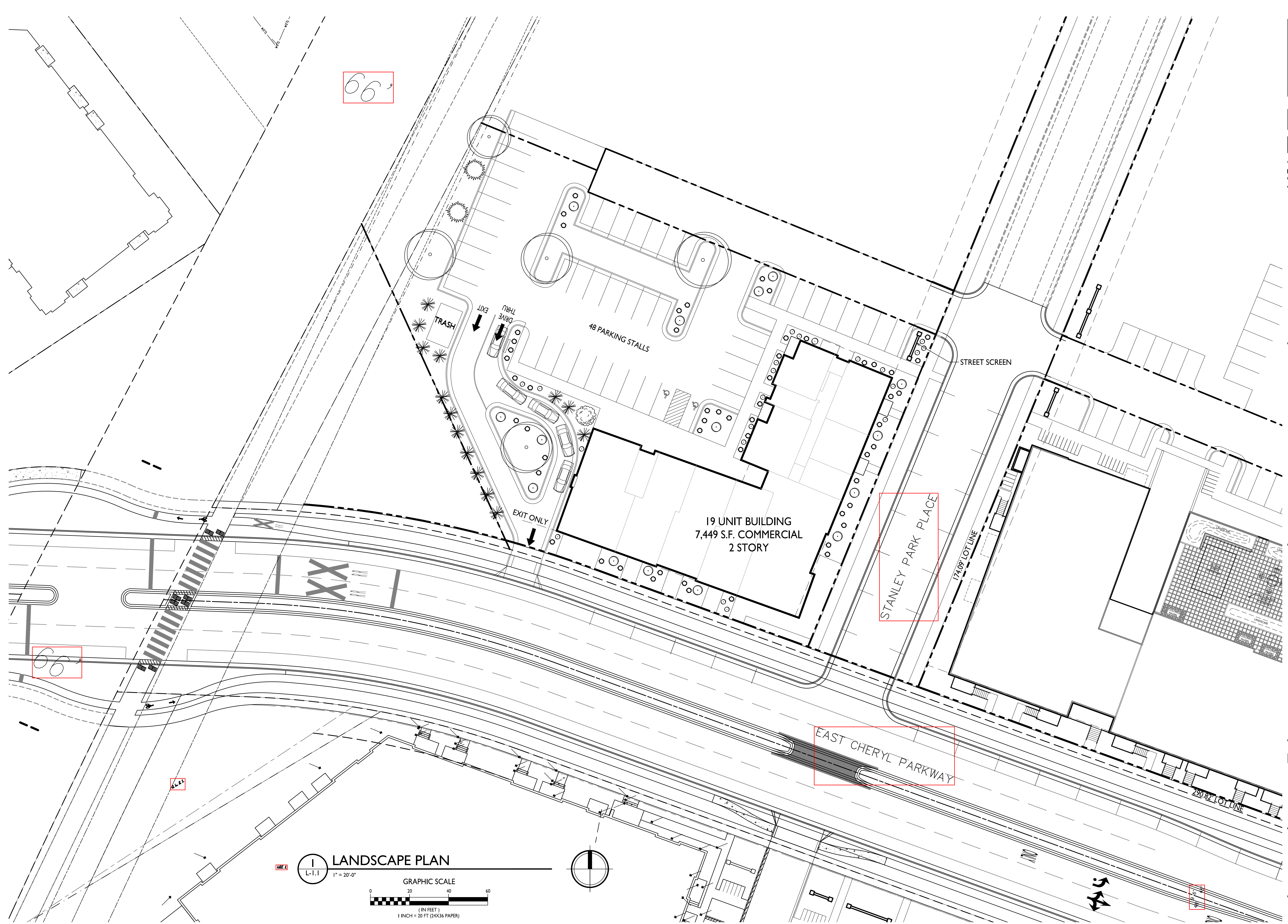
PROJECT TITLE
**Nine Springs
Lot 55**

East Cheryl Parkway
Fitchburg, Wisconsin
SHEET TITLE
Landscape Plan

SHEET NUMBER

L-1.1

PROJECT NO. **1746**
© 2013 Knothe & Bruce Architects, LLC



LANDSCAPE PLAN
L-1.1
1" = 20'-0"
GRAPHIC SCALE
0 20 40 60
(IN FEET)
1 INCH = 20 FT (24X36 PAPER)