

Rec. 1.017578 8/22/2018
#4650 RB



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608) 270-4200

CONDITIONAL USE PERMIT APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby applies for a conditional use permit for the following described property:

1. Location of Property:

Street Address: 2924 Fish Hatchery Road

Legal Description - (Metes & Bounds, or Lot No. And Plat):

(2924 FISH HATCHERY) - Maple Lawn Heights Lot 34 EXC NWLY .3 Acre & EXC HWY in R550/266

(2922 FISH HATCHERY) - Maple Lawn Heights, Lots 29 to 41 Inclusive

***Also submit in electronic format (MS WORD or plain text) by email to: PLANNING@FITCHBURGWI.GOV

2. Current Use of Property: Church Parsonage and Home

3. Proposed Use of Property: Hotel & Restaurant

4. Proposed Development Schedule: September 2018 - July 2019

5. Zoning District: B-G General Business

6. Future Land Use Plan Classification: Same

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Conditional Use Permits shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) pdf document of the entire submittal to planning@fitchburgwi.gov.

Additional information may be requested.

Type of Residential Development (If Applicable):

No. of Dwelling Units by Bedroom: 1 BR ☒ 2 BR ☐ 3 BR ☐ 4 or More ☐

No. Of Parking Stalls:

Type of Non-residential Development (If Applicable): Hotel & Restaurant

Proposed Hours of Operation: 24/7 **No. Of Employees:** 50

Floor Area: **No. Of Parking Stalls:** 166

Sewer: Municipal ☒ Private ☐ **Water:** Municipal ☒ Private ☐

Current Owner of Property: Light and Life Church

Address: 2924 Fish Hatchery Road **Phone No:** 608-271-1531

Contact Person: Chuck Chvala

Email: cjchvala@gmail.com

Address: 131 W Wilson St Ste 301 Madison, WI 53703 **Phone No:** 608-258-8222

Respectfully Submitted By: *Chuck Chvala*

Owner's or Authorized Agent's Signature

**** It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an CUP application to identify any concerns or issues of surrounding residents.**

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 8/21/2018 **Publish:**

Ordinance Section No. **Fee Paid:** \$465.00

Permit Request No. CU-2233-18



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Chuck Chvala

Address: 131 W Wilson St Ste 301

Phone Number of Contact Person: 608-258-8222

City, State, Zip Code: Madison, WI 53703

Email of Contact Person: cjchvala@gmail.com

Project Address: 2924 Fish Hatchery Road

Lot: 34

Subdivision: _____

Project Type: _____ **Multi-Family** ☒ **Commercial** _____ **Industrial** _____ **Other**
☒ **New** _____ **Addition**

Impervious Surface Ratio (ISR): 65 (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- ☒ 1. Lot or property dimensions.
- ☒ 2. Orientation (to north).
- ☒ 3. Adjacent highways, roads, drive, etc.
- ☒ 4. Existing natural features (rivers, ponds, wetlands).
- ☒ 5. Existing buildings and/or improvements.
- ☒ 6. Existing and proposed site drainage.
- ☒ 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- ☒ 8. ISR shall be indicated on all plans.
- ☒ 9. Stormwater management plans and details, including grading plan.
- ☒ 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- ☒ 1. Building size, configuration and orientation.
- ☒ 2. Distance from lot lines.
- ☒ 3. Distance from other buildings, improvements and natural features.
- ☒ 4. Location of well, septic tank, drainfield, etc. (if applicable)
- ☒ 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- ☒ 6. Construction type (wood frame, structural steel, etc.).
- ☒ 7. Foundation type (full basement, slab on grade, etc.).
- ☒ 8. Number of levels.
- ☒ 9. Siding/exterior covering type, color, texture, etc.
- ☒ 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- ☒ 11. Roofing material type, color, texture, etc.
- ☒ 12. Exterior door and window location, size, type, etc.
- ☒ 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- ☒ 1. Location of highway and road access points.
- ☒ 2. Location, size, configuration of drivers and walks.
- ☒ 3. Number, size, location of parking spaces.
- ☒ 4. Location of handicapped parking and accessible building entrances.
- ☒ 5. Bicycle rack(s).

ARCHITECTURAL AND DESIGN REVIEW APPLICATION
Page 2

Landscaping:

- ☒ 1. Location, species, size of existing trees, shrubs, and plantings.
- ☒ 2. Location, species, size of proposed plantings.
- ☒ 3. Location and size of all paved, seeded/sodded and gravelled areas.
- ☒ 4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____

Chuck Chala

Date: 8-21-2018

Applicant or Authorized Agent

*** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.

FOR CITY USE ONLY

Date Received: 8/21/2018

Plan Commission Date: _____

Comments:

FITCHBURG HOTEL

2922 FISH HATCHERY RD.,
FITCHBURG, WI



Conceptual Exterior Image

Architecture :

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

CIVIL
ENGINEER:

Quam Engineering, llc
4604 Siggelkow Rd, McFarland, WI 53558
p: (608) 838 - 7750 quamengineering.com

LIST OF DRAWINGS

- C1.1 Existing Conditions Plan
- C1.3 General Development Plan
- L1.1 Landscape Plan
- Ground Floor Plan
- Upper Floors Plan

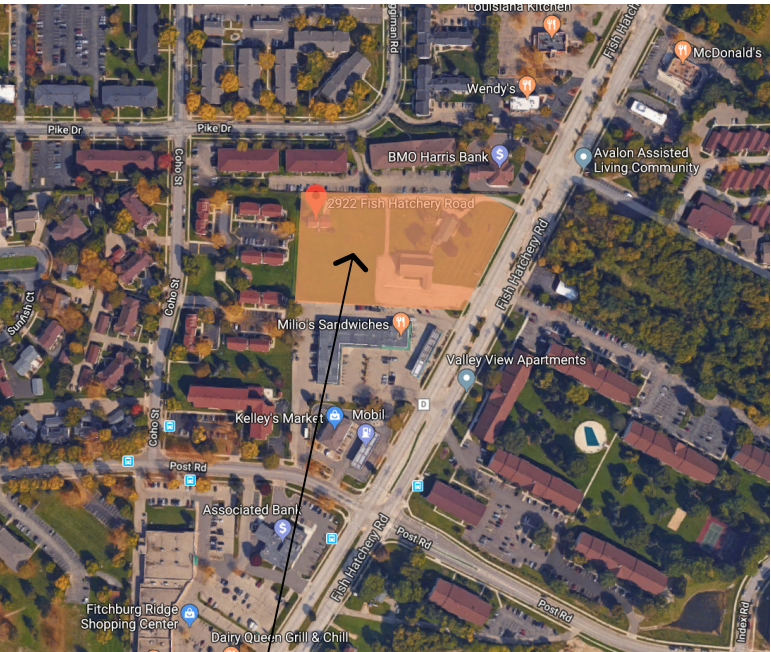
PROJECT DATA:

Ground Floor Area: 22,034sf
2nd Floor Area: 13,470sf
3rd Floor Area: 13,470sf
4th Floor Area: 12,330sf
TOTAL: 61,034sf

Future Restaurant: 5,000sf

4 Stories
Approx. Max Height: 45'

104 Guest Rooms



Project
Location

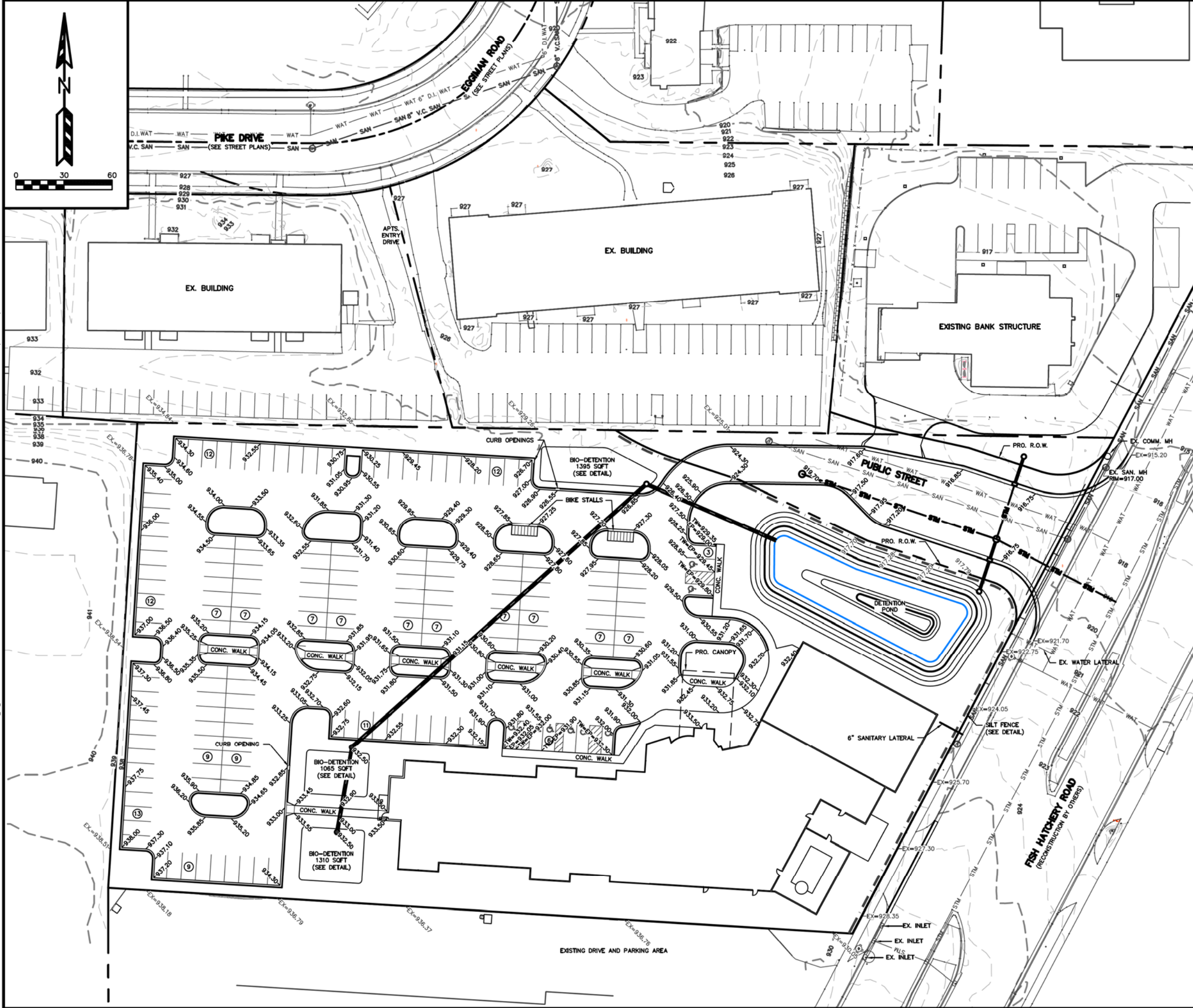
Conditional Use Application
Architectural & Design Review

PROJECT # 18090

08/21/2018

G0.1





EROSION NOTES:
THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
OCTOBER 1, 2018 - OCTOBER 15, 2018 INSTALL INITIAL EROSION CONTROL DEVICES AND CONSTRUCT DETENTION POND.
OCTOBER 1, 2018 - OCTOBER 31, 2019 CONSTRUCT BUILDING & PARKING LOT AND RESTORE PERVIOUS DISTURBED AREAS.

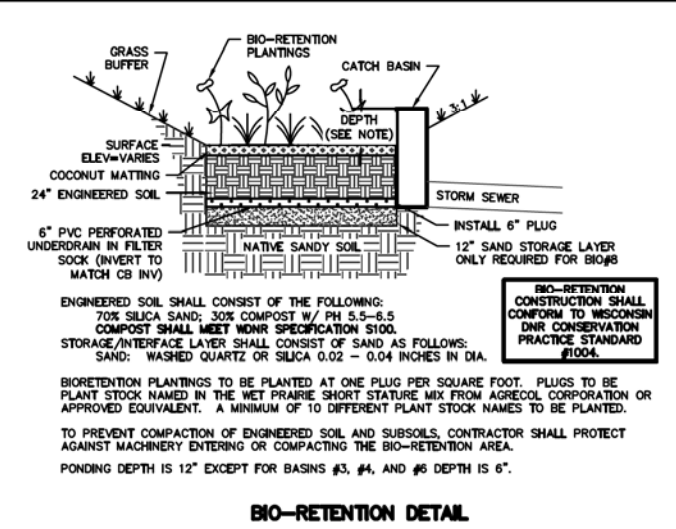
RESTORATION NOTES:
ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

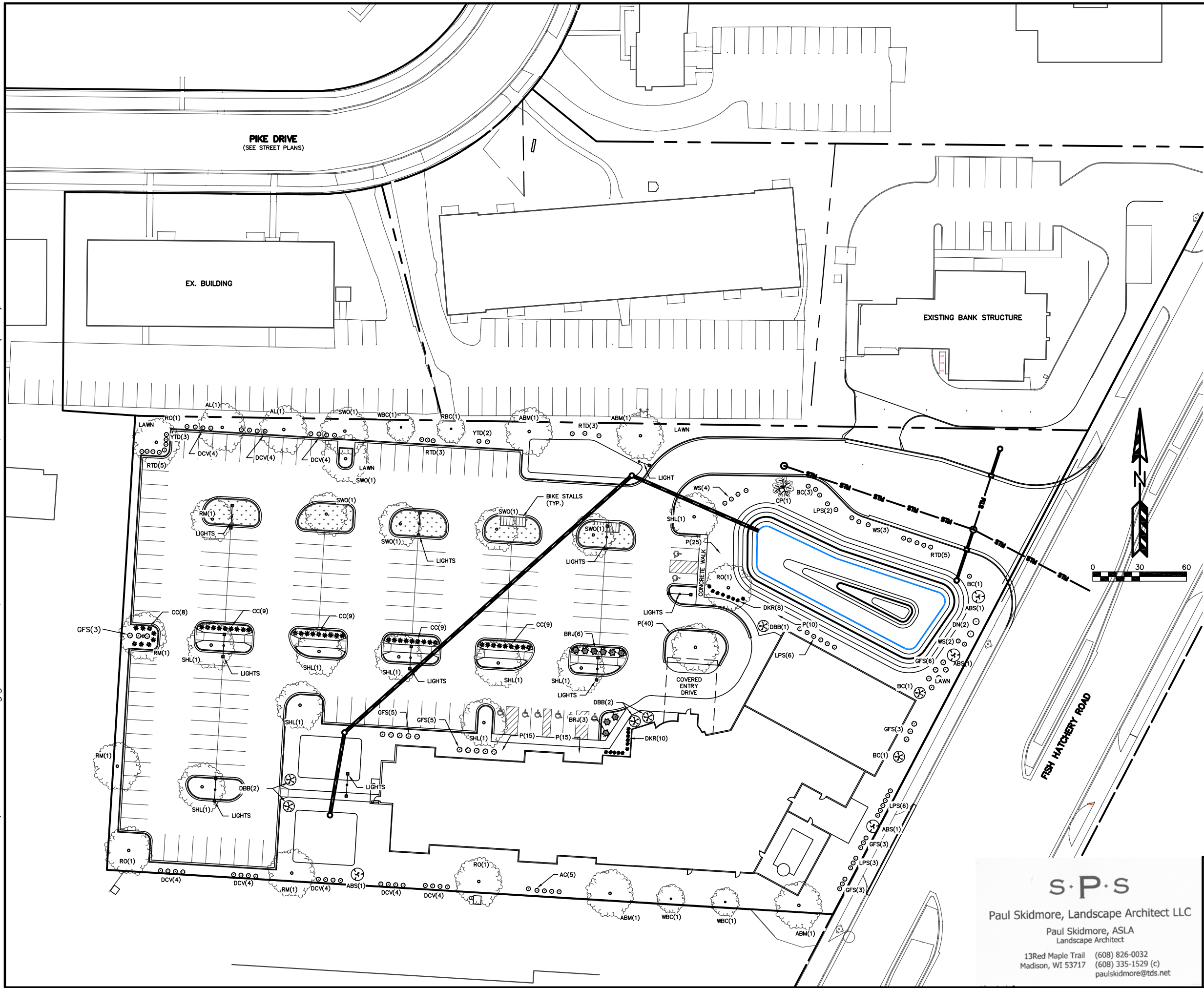
OWNER:
CHUCK CHVALA
131 WEST WILSON STREET STE 301
MADISON, WI 53703

ENGINEER:
QUAM ENGINEERING, LLC
ATTN: RYAN QUAM
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558



FITCHBURG HOTEL & CC
GENERAL DEVELOPMENT PLAN
SHEET: C1.3
DATED: AUGUST 21, 2018

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



PLANT LIST				
KEY	SIZE	QUAN	COMMON NAME	ROOT
ABM	2"	4	Autumn Blaze Maple	BB
AL	2"	2	Basswood	BB
RM	2"	4	Red Maple	BB
RO	2"	4	Red Oak	BB
SHL	2"	10	Skyline Honeylocust	BB
SWO	2 1/2"	6	Swamp White Oak	BB
ABS	6'	4	A B Serviceberry	BB
CP	2"	1	Cleveland Select Pear	BB
RBC	10'	2	River Birch Clump	BB
WBC	10'	4	White Birch Clump	BB
BRJ	5 G	9	Blue Rug Juniper	Con
AC	18"	5	Alpine Currant	Pot
BC	24"	6	Black Chokeberry	Pot
CC	18"	44	Cranberry Cotoneaster	Pot
DBB	24"	5	Dwarf Burning Bush	Pot
DCV	24"	32	Dwarf Cranberry Bush Viburnum	Pot
DKR	2 G	18	Double Knockout Rose	Pot
DN	24"	2	Diablo Ninebark	Pot
GFS	18"	28	Gold Flame Spirea	Pot
LPS	18"	17	Little Princess Spirea	Pot
RTD	24"	16	Red Twig Dogwood	Pot
WS	24"	9	White Snowberry	Pot
YTD	24"	5	Yellow Twig Dogwood	Pot
P	1 G	105	<u>Perennials</u> (18" o.c.)	
ajs	1 G		Autumn Joy Sedum	Con
bes	1 G		Black Eyed Susan	Con
lbs	1 G		Little Bluestem	Con
mwd	1 G		Midnight Wine Daylily	Con
mc	1 G		Moonbeam Coreopsis	Con
pd	1 G		Prairie Dropseed	Con
pc	1 G		Purple Coneflower	Con
ppc	1 G		Purple Palace Coral Bells	Con
sdd	1 G		Stela de Oro Daylily	Con
yc	1G		Yellow Coneflower	Con

- | | | | | |
|-----|------|-------|--|------|
| RGP | 2 ½" | 5,415 | <u>Bioretention Plantings</u> (12" o.c.) | Plug |
| | | | Common Blue Star | |
| | | | Bottle Gentine | |
| | | | Obedient Plant | |
| | | | Columbine | |
| RGP | 2 ½" | | <u>Bioretention Plantings</u> (12" o.c.) | Plug |
| | | | Common Blue Star | |
| | | | Bottle Gentine | |
| | | | Obedient Plant | |
| | | | Columbine | |
| | | | Switchgrass | |
| | | | Foxsedge | |
| | | | Black Eyed Susan | |
| | | | Wild Iris | |
| | | | Swamp Milkweed | |
| | | | White Turtlehead | |
| | | | Cardinal Flower | |
| | | | Turk's Cap Lily | |
| | | | Little Bluestem | |
| | | | Canada Wild Rye | |
| | | | Nodding Onion | |

NOTES:

- 1) Lawn areas to be fine graded, seeded (Madison Parks mix), fertilized, and mulched with straw mulch.
- 2) Detention basin turf areas to be fine graded, seeded (Prairie Nursery Detention Basin mix), fertilized, and mulched with straw mat.
- 3) Lawn areas in drainage swales, and with slopes greater than 3:1 shall be mulched with straw mat.
- 4) Foundation planting beds and planting beds labeled as 'stone mulch' to be mulched with 1 ½" washed stone mulch spread to a depth of 3" over weed barrier fabric.
- 5) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".
- 6) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4" diameter) spread to a depth of 3"
- 7) Designated planting beds to be separated from lawn areas with 5" black vinyl border edging (Valley View Black Diamond or equal.)
- 8) Quantity, distribution, and layout of perennials in designated planting areas to be approved by owner or his/her designer.
- 9) Bio-retention basins to receive coconut mat.
- 10) Bio-retention basin plants (RGP) to be installed 12" on center.
- 11) Bio-retention basins to be constructed per WDNR specifications.

S · P · S

Paul Skidmore, Landscape Architect LLC

Paul Skidmore, ASLA
Landscape Architect

13Red Maple Trail (608) 826-0032
Madison, WI 53717 (608) 335-1529 (c)
paulskidmore@tds.net

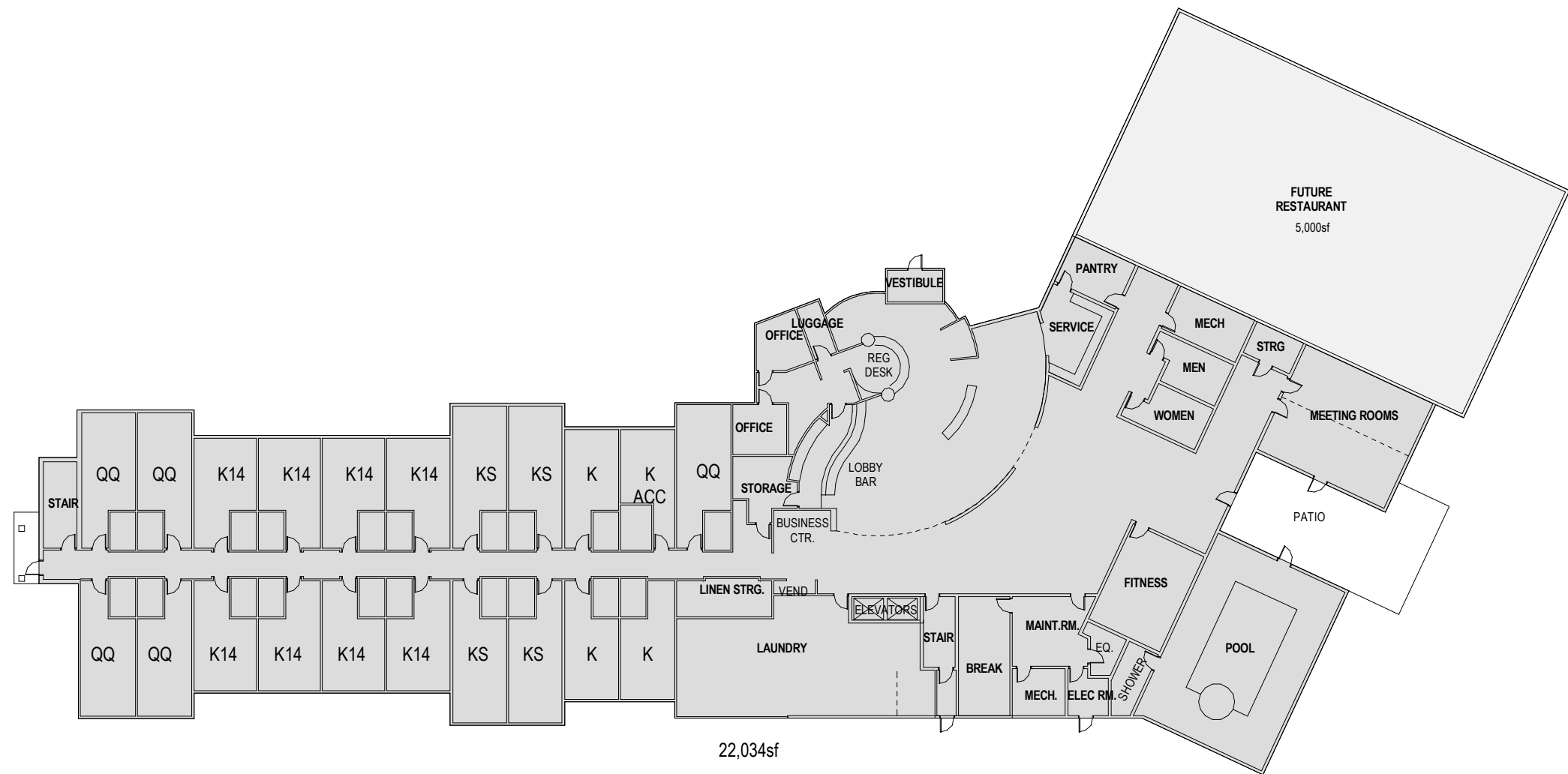
FITCHBURG HOTEL & CC
LANDSCAPE PLAN
SHEET: L1.1
DATED: AUGUST 21, 2018

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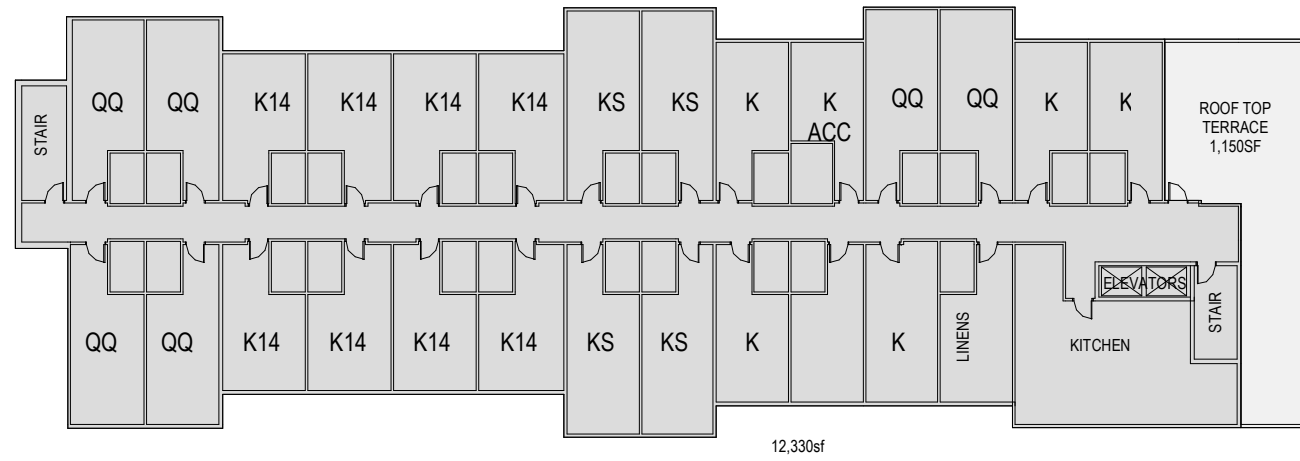


www.quamengineering.com

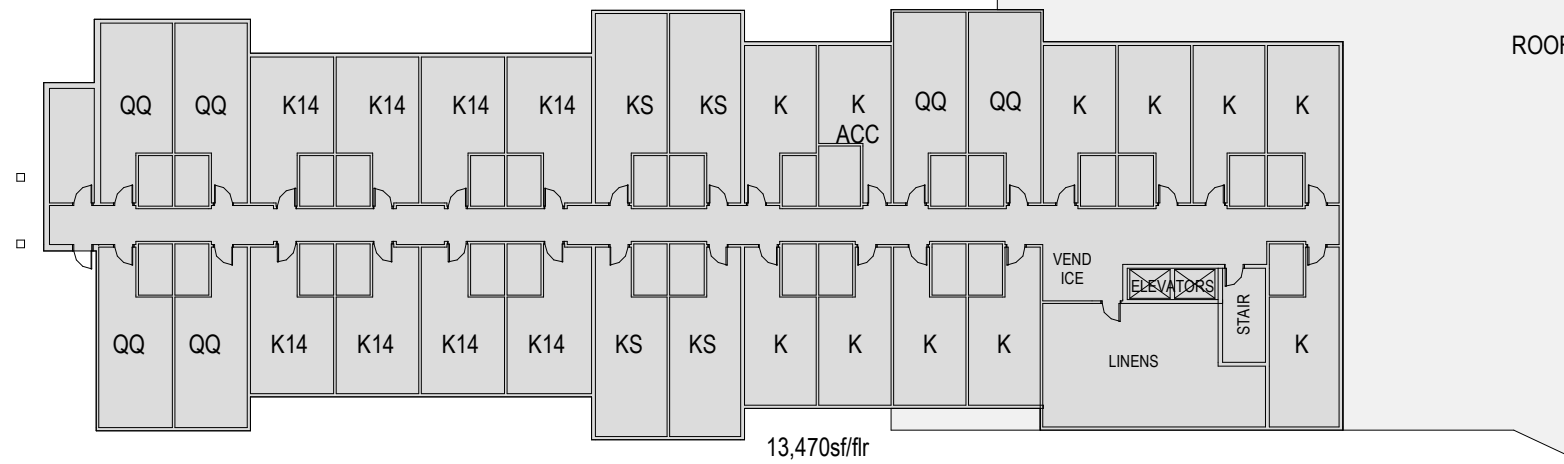
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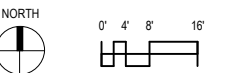
1 FIRST FLOOR PLAN
1/16" = 1'-0"



2 FOURTH FLOOR.
1/16" = 1'-0"

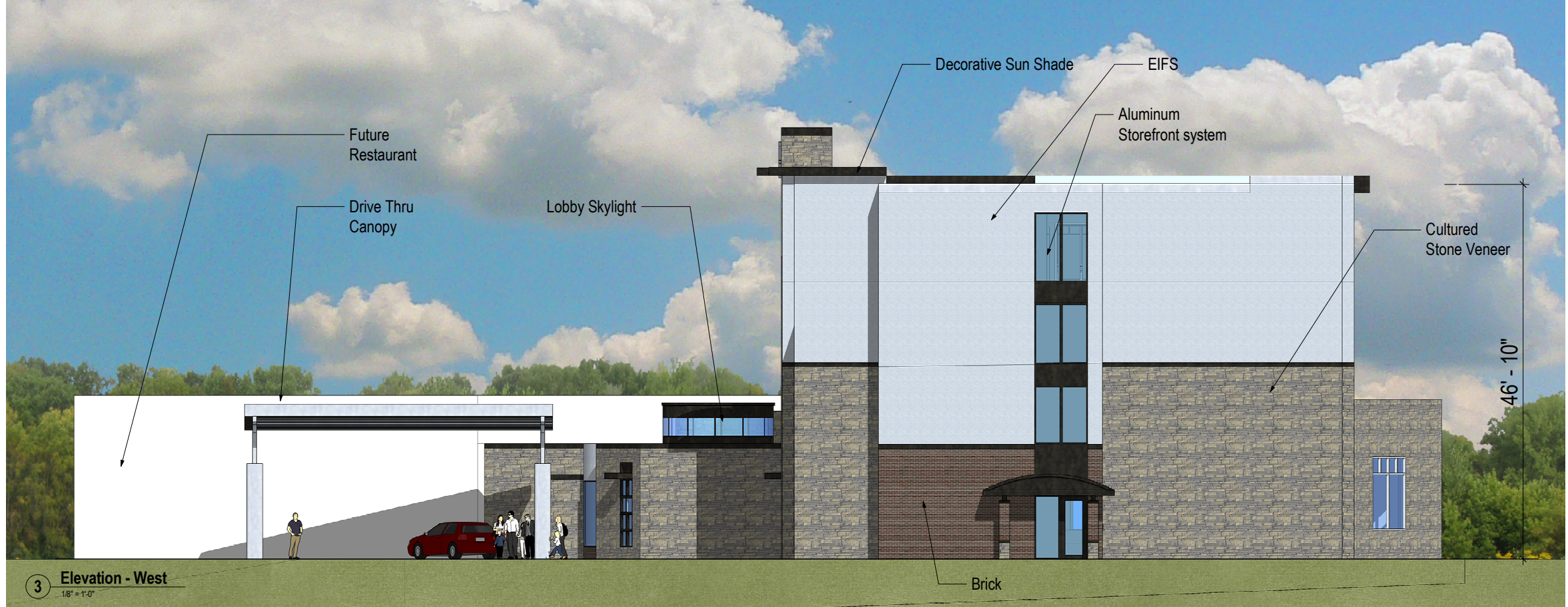


1 SECOND FLOOR PLAN
1/16" = 1'-0"
THIRD FLOOR SIMILAR



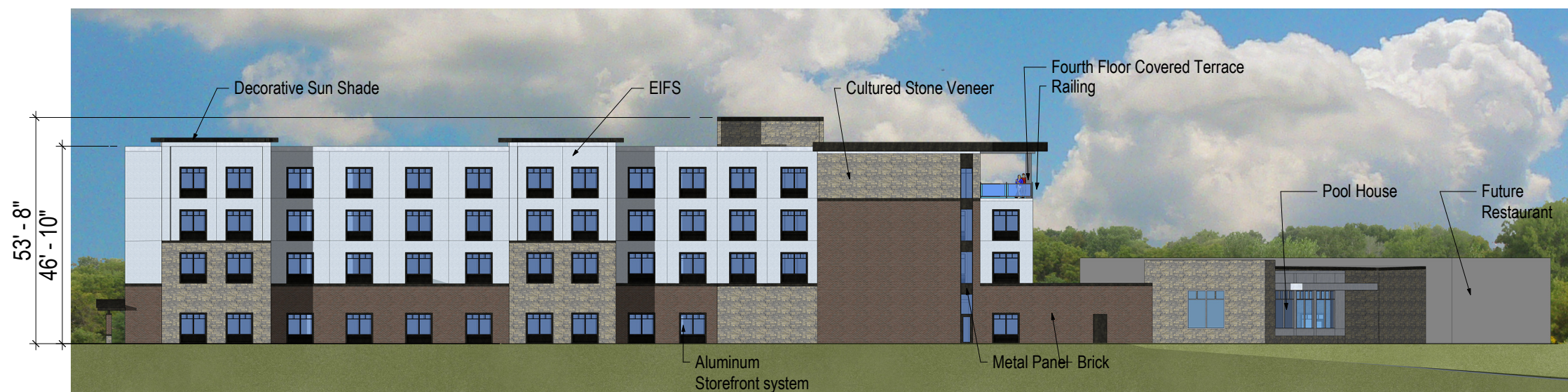
FITCHBURG HOTEL

2922 FISH HATCHERY RD., FITCHBURG, WI





② Elevation - East
1/8" = 1'-0"



① Elevation - South
1/16" = 1'-0"



view from Fish Hatchery Rd. to NW

