



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Randy Bruce - Knothe & Bruce Architects, LLC

Address: 7601 University Ave. Ste 201

Phone Number of Contact Person: 608-836-3690

City, State, Zip Code: Middleton, WI 53534

Email of Contact Person: rbruce@knothebruce.com

Project Address: SE Corner Aurora Ave. & Addison Place

Lot: 6

Subdivision: North Park

Project Type: ☒ **Multi-Family** ☐ **Commercial** ☐ **Industrial** ☐ **Other**
☒ **New** ☐ **Addition**

Impervious Surface Ratio (ISR): 76.8% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- ☐ 1. Lot or property dimensions.
- ☐ 2. Orientation (to north).
- ☐ 3. Adjacent highways, roads, drive, etc.
- ☐ 4. Existing natural features (rivers, ponds, wetlands).
- ☐ 5. Existing buildings and/or improvements.
- ☐ 6. Existing and proposed site drainage.
- ☐ 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- ☐ 8. ISR shall be indicated on all plans.
- ☐ 9. Stormwater management plans and details, including grading plan.
- ☐ 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- ☐ 1. Building size, configuration and orientation.
- ☐ 2. Distance from lot lines.
- ☐ 3. Distance from other buildings, improvements and natural features.
- ☐ 4. Location of well, septic tank, drainfield, etc. (if applicable)
- ☐ 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- ☐ 6. Construction type (wood frame, structural steel, etc.).
- ☐ 7. Foundation type (full basement, slab on grade, etc.).
- ☐ 8. Number of levels.
- ☐ 9. Siding/exterior covering type, color, texture, etc.
- ☐ 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- ☐ 11. Roofing material type, color, texture, etc.
- ☐ 12. Exterior door and window location, size, type, etc.
- ☐ 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- ☐ 1. Location of highway and road access points.
- ☐ 2. Location, size, configuration of drivers and walks.
- ☐ 3. Number, size, location of parking spaces.
- ☐ 4. Location of handicapped parking and accessible building entrances.
- ☐ 5. Bicycle rack(s).

Landscaping:

☐
☐
☐
☐

1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____

Applicant or Authorized Agent

Date: 7/24/2018

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:

Denise Salimes

From: Susan Badtke <Susan.Badtke@fitchburgwi.gov>
Sent: Thursday, May 17, 2018 3:13 PM
To: Denise Salimes
Cc: Don Schroeder; Randy Bruce
Subject: RE: ADR/Article 5 - Lot 6 North Park

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Denise,

Thanks for an update.

After review, and a better understanding of your timeline, you'll need to go back to the Plan Commission for reapproval.

Permits cannot be issued until the public infrastructure is installed and accepted by the City. Given this, you'll be past the 1 year timeline for pulling permits. I'd suggest you make application for reapproval sometime in the winter.

Regards,

Susan B. Badtke, Community Planner
(608) 270-4256

From: Denise Salimes <DSalimes@knothebruce.com>
Sent: Thursday, May 17, 2018 3:01 PM
To: Susan Badtke <Susan.Badtke@fitchburgwi.gov>
Cc: Don Schroeder <DSchroeder@knothebruce.com>; Randy Bruce <RBruce@knothebruce.com>
Subject: RE: ADR/Article 5 - Lot 6 North Park

Susan,
They want to begin in April 2019. Can we obtain an extension?

Thank you,

Denise Salimes | Knothe & Bruce Architects, LLC | Ph: 608.836.3690 ext:111
7601 University Avenue, Middleton, WI 53562 dsalimes@knothebruce.com

Denise

From: Susan Badtke <Susan.Badtke@fitchburgwi.gov>
Sent: Thursday, May 17, 2018 7:16 AM
To: Denise Salimes <DSalimes@knothebruce.com>
Subject: RE: ADR/Article 5 - Lot 6 North Park

Hi Denise,

Just following-up on my e-mail below regarding the status of Lot 6 North Park. Public Works has informed me that an ECSWM permit was obtained, so wondering the proposed timing of this project.

As you know, there are outstanding comments on the Article 5 plan review that will need to be addressed prior to any approval of issuance of permits. Additionally, the ADR approval for the project was granted by the Plan Commission in July 2017; the ADR approval is valid for one year so unless permits are obtained prior to the expiration date you may need to get reapproval of the ADR request for the project.

Let me know if you have any questions.

Regards,

Susan B. Badtke, Community Planner
(608) 270-4256

From: Susan Badtke
Sent: Thursday, April 5, 2018 3:21 PM
To: 'Denise Salimes' <DSalimes@knothebruce.com>
Subject: RE: ADR/Article 5 - Lot 6 North Park

Hi Denise,

Just checking in on the status of Lot 6 North Park. My understanding is that Goldleaf has obtained an Erosion Control permit, so am curious as to the status.

Any info you have as to timing of the project is greatly appreciated. As a reminder, there are outstanding comments on the Article 5 plan review that will need to be addressed prior to any approval or issuance of permits.

Thanks,

Susan B. Badtke, Community Planner
(608) 270-4256

From: Denise Salimes <DSalimes@knothebruce.com>
Sent: Monday, November 20, 2017 2:26 PM
To: Susan Badtke <Susan.Badtke@fitchburgwi.gov>
Subject: RE: ADR/Article 5 - Lot 6 North Park

Susan,

Thanks for checking in. It is on our list of items to do.

Denise Salimes | Knothe & Bruce Architects, LLC | Ph: 608.836.3690 ext:111
7601 University Avenue, Middleton, WI 53562 dsalimes@knothebruce.com

From: Susan Badtke [<mailto:Susan.Badtke@fitchburgwi.gov>]
Sent: Thursday, November 16, 2017 12:55 PM
To: Denise Salimes <DSalimes@knothebruce.com>
Cc: Randy Bruce <RBruce@knothebruce.com>; Don Schroeder <DSchroeder@knothebruce.com>
Subject: RE: ADR/Article 5 - Lot 6 North Park

Hi Denise,

Just checking in on my e-mail below from early October. Any update on this project and responses to staff comments?

Regards,

Susan B. Badtke, Community Planner
(608) 270-4256

From: Susan Badtke
Sent: Wednesday, October 11, 2017 9:41 AM
To: Denise Salimes <DSalimes@knothebruce.com>
Cc: Randy Bruce <RBruce@knothebruce.com>; Don Schroeder (DSchroeder@knothebruce.com)
(DSchroeder@knothebruce.com) <DSchroeder@knothebruce.com>
Subject: RE: ADR/Article 5 - Lot 6 North Park

Hi Denise,

Hope this e-mail finds you well.

I was trying to wrap up the Article 5 approval for Lot 6 North Park. As ADR approval was granted for the increased recess and vinyl siding on the building. In reviewing the Article 5 plan materials it appears that I never received responses and revised plans for staff comments that were sent to you on June 30, 2017. I will need these items addresses prior to issuing the Article 5 plan approval.

Please let me know the status of this project and responses to staff comments.

Thanks,

Susan B. Badtke, Community Planner
(608) 270-4256

From: Susan Badtke
Sent: Friday, June 30, 2017 11:19 AM
To: 'Denise Salimes' <DSalimes@knothebruce.com>
Cc: 'Randy Bruce' <RBruce@knothebruce.com>; Don Schroeder (DSchroeder@knothebruce.com)
(DSchroeder@knothebruce.com) <DSchroeder@knothebruce.com>
Subject: ADR/Article 5 - Lot 6 North Park

Denise,

Staff is in the process of reviewing your ADR & Article 5 requests for Lot 6 North Park. Attached are comments from Planning, Public Works, Parks and Fire Departments; additional comments may be provided after further review.

Please respond to these comments with a detailed written responses to each comment, along with appropriate updated plans, by Noon on Friday, July 7, 2017. Please provide an electronic PDF of the resubmittal along with one full size and 2 11x17 copies of any updated plans.

Let me know if you have any questions.

Regards,

Susan Badtke
Community Planner
City of Fitchburg, WI | 5520 Lacy Road | Fitchburg, WI 53711
susan.badtke@fitchburgwi.gov
ph: 608.270.4256
fax: 608.270.4275



NVLAP Lab Code 500089-0

Report Number: RESTL-2014-0019

Model: BXSPWA03FG-US

Date: 01/16/2014

Cree Racine Engineering Services Testing Laboratory (RESTL) Photometric Testing and Evaluation Report

Prepared For:

Bernard Krauska

Cree, Inc

9201 Washington Avenue

Racine, WI 53406

Prepared By:

Linjie Li, Photometric Test Technician

Approved By:

Steven Bowers, Photometric Test Engineer

Product Information

Manufacturer	Cree, Inc.
Model Number (SKU)	BXSPWA03FG-US
Serial Number	PL02966-001
LED Type	MDA

Product Description

Cast gray painted metal housing. One circuit board with four LEDs and white plastic trim plate. One clear plastic non-integral optic below each LED.

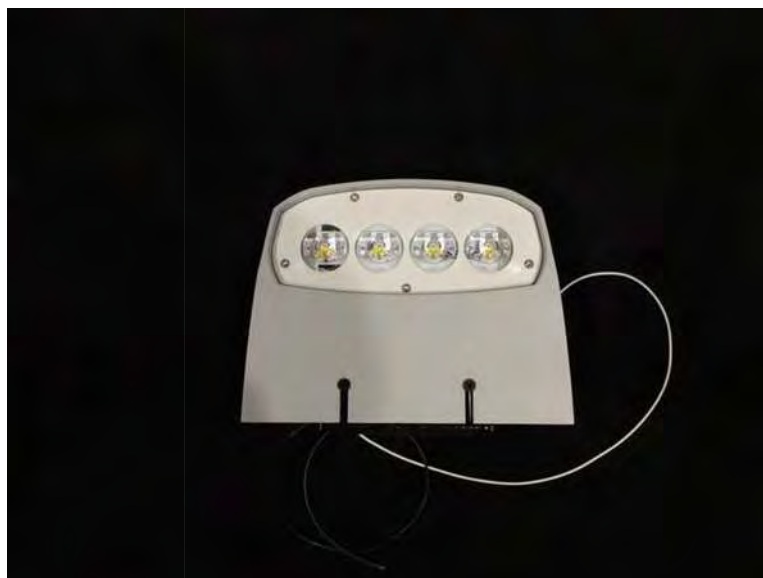
Driver Information (Where Applicable)

Integral

Length	Width	Height
9.0"	12.0"	4.0"

Sample

The following sample was submitted for evaluation





NVLAP Lab Code 500089-0

Key Photometric Data	Sphere Output	Goniophotometer	
Luminous Flux	2718	2691.5	lm
Efficacy	111.17	110.17	lm/W
Correlated Color Temperature (CCT)	3838	K	
Color Rendering Index (CRI)	72		
R ₉	-20		
Duv	0.0050		
S/P Ratio*	1.44		

Electrical Measurements	Sphere		Goniophotometer		
	120V	277V	120V	277V	
Input Wattage	24.45	24.46	24.43	24.44	W
Input Current	0.20	0.10	0.21	0.10	A
Input Voltage	120.13	277.15	120.13	277.10	V
Power Factor	0.991	0.901	0.991	0.902	
Off-State Power	0	0	0	0	W
Total Harmonic Distortion (Voltage)	0.11	0.14	0.05	0.10	%
Total Harmonic Distortion (Amperage)	6.44	15.20	6.34	14.24	%

Note: All photometric measurements taken at 120VAC.

Luminous Intensity Distribution	Goniophotometer	
Max Candela	1776.1	Cd
Angle of Max Candela (Horizontal)	45	°
Angle of Max Candela (Vertical)	62.5	°

Key Test Parameters	Sphere Output	Goniophotometer	
Stabilization Time	36	42	min
Total Operating Time (Stabilization + Test)	40	62	min
Ambient Temperature	24.3	25.0	°C

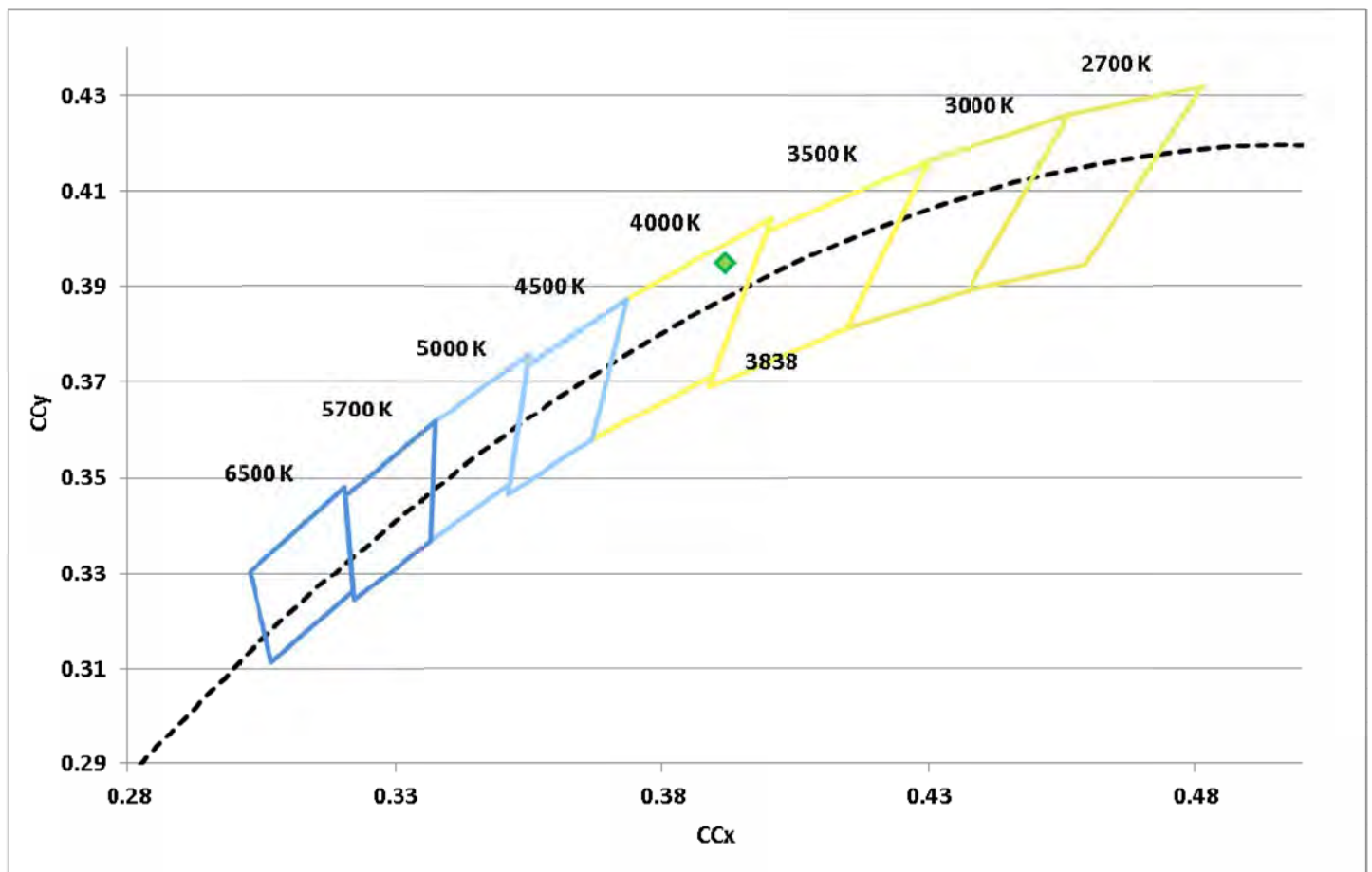
Chromaticity Coordinates **

x	y	u	v	u'	v'	Duv
0.3919	0.3948	0.2254	0.3406	0.2254	0.5110	0.0050

Color Rendering Index Details **

Ra	R1	R2	R3	R4	R5	R6	R7	R8	R9	R10	R11	R12	R13	R14
72	70	77	83	73	69	67	82	57	-20	45	69	40	70	90

Chromaticity Diagram **



Spectral Distribution **

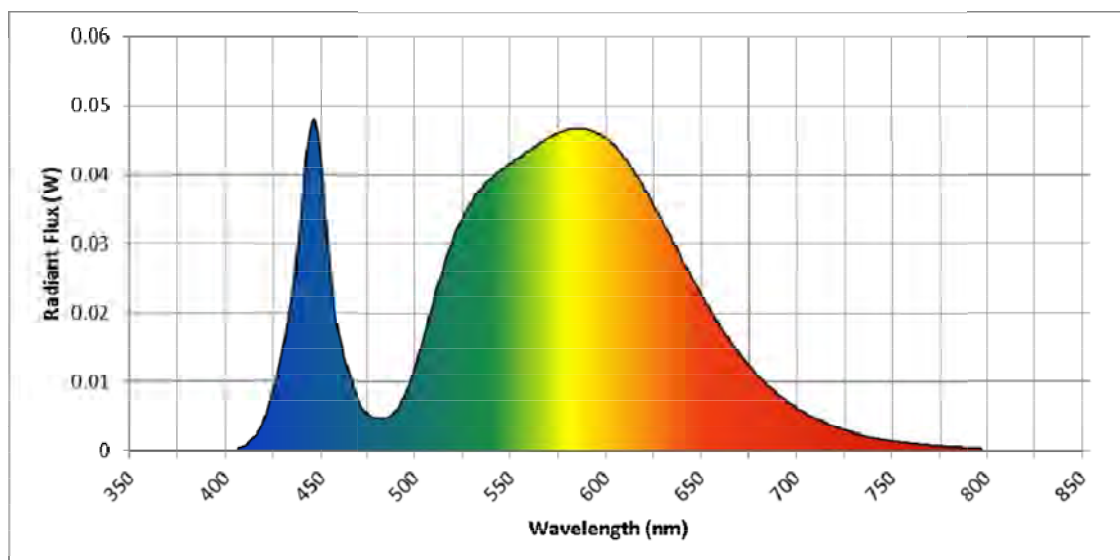
$\lambda(\text{nm})$	W/nm
360	0.000158
370	0.000059
380	0.000060
390	0.000042
400	0.000034
410	0.000729
420	0.004497
430	0.015138
440	0.036303
450	0.041051
460	0.015759
470	0.007253
480	0.004722
490	0.005793
500	0.012073
510	0.021851
520	0.030804

$\lambda(\text{nm})$	W/nm
530	0.036381
540	0.039615
550	0.041672
560	0.043533
570	0.045375
580	0.046531
590	0.046602
600	0.045204
610	0.042316
620	0.038029
630	0.033094
640	0.027764
650	0.022661
660	0.018080
670	0.014008
680	0.010782
690	0.008166

$\lambda(\text{nm})$	W/nm
700	0.006143
710	0.004610
720	0.003460
730	0.002560
740	0.001899
750	0.001422
760	0.001049
770	0.000780
780	0.000572
790	0.000433
800	0.000315
810	0.000216
820	0.000153
830	0.000105

Dominant Wavelength **	577	nm
Peak Wavelength **	446	nm

Spectral Power Distribution (W/nm) **



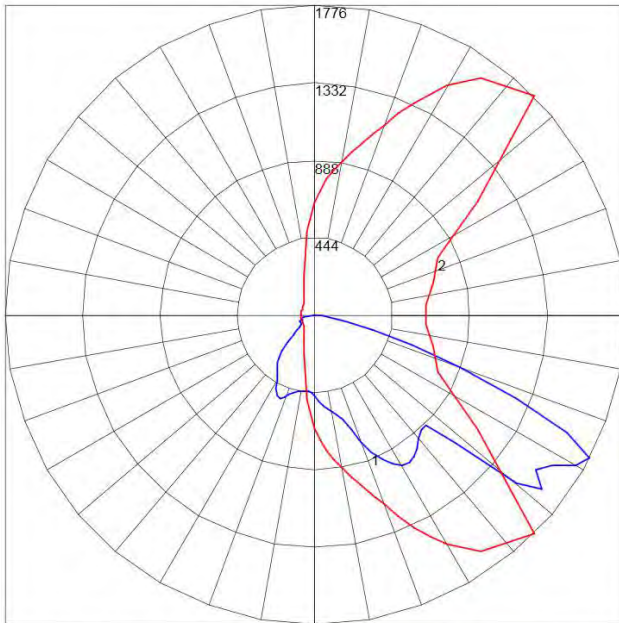


NVLAP Lab Code 500089-0

Zonal Lumen Summary

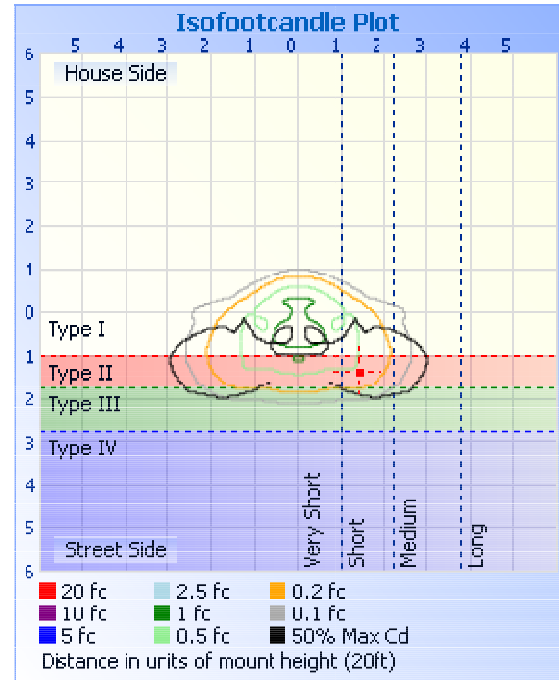
Zone	Lumens	% of Total	Zone	Lumens	% of Total
0-5	11.3	0.4%	90-95	0	0%
5-10	35.3	1.3%	95-100	0	0%
10-15	59.6	2.2%	100-105	0	0%
15-20	86.5	3.2%	105-110	0	0%
20-25	119.2	4.4%	110-115	0	0%
25-30	150.8	5.6%	115-120	0	0%
30-35	173.8	6.5%	120-125	0	0%
35-40	185.8	6.9%	125-130	0	0%
40-45	192.4	7.1%	130-135	0	0%
45-50	243.5	9.0%	135-140	0	0%
50-55	305.5	11.4%	140-145	0	0%
55-60	295.4	11.0%	145-150	0	0%
60-65	298.8	11.1%	150-155	0	0%
65-70	254.0	9.4%	155-160	0	0%
70-75	164.3	6.1%	160-165	0	0%
75-80	82.8	3.1%	165-170	0	0%
80-85	27.8	1.0%	170-175	0	0%
85-90	4.8	0.2%	175-180	0	0%
			Total	2691.6 lm	100%

Candela Plot

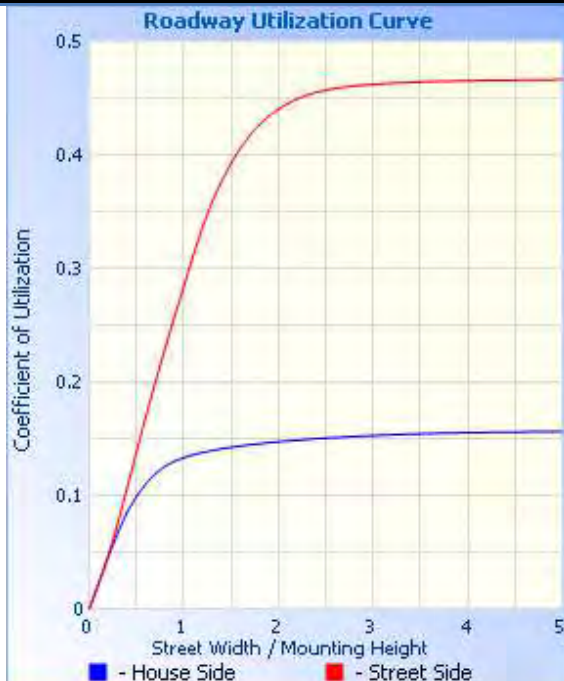


Maximum Candela = 1776.1 Located At Horizontal Angle = 45, Vertical Angle = 62.5
 # 1 - Vertical Plane Through Horizontal Angles (45 - 225) (Through Max. Cd.)
 # 2 - Horizontal Cone Through Vertical Angle (62.5) (Through Max. Cd.)

Illuminance Plot

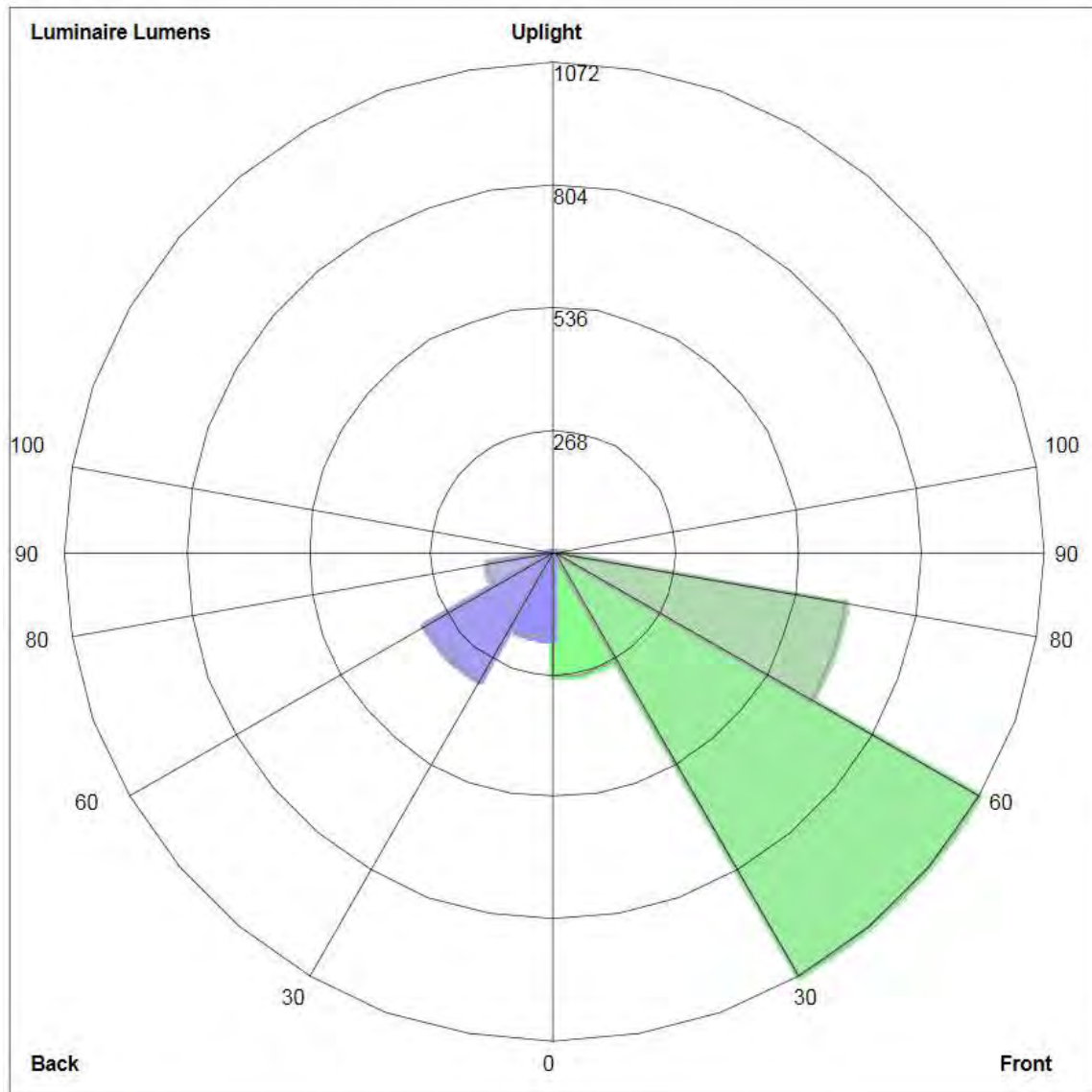


Roadway Utilization



Roadway Summary	Lumens	% Lamp
Cutoff Classification	Full Cutoff	
Distribution	Type III, Short	
Downward Street Side	2,015.3	74.9%
Downward House Side	676.2	25.1%
Downward Total	2,691.5	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Lumens	2,691.5	100%

Luminaire Classification System



Luminaire Lumens:
 Front: Low=272.6, Medium=1072.4, High=650.1, Very High=20.1
 Back: Low=189.9, Medium=323.8, High=150.0, Very High=12.5
 Uplight: Low=0.0, High=0.0

BUG Rating : B1-U0-G1



NVLP Lab Code 500089-0

Candela Tabulations

	0	5	15	25	35	45	55	60	62.5	65	67.5	70	72.5	75	77.5	80	82.5	85	87.5	90	95	105	115	125	135	145	155	165	175	180
0	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462	462
2.5	514	515	512	511	505	494	483	477	476	474	473	472	470	468	466	465	463	460	459	458	454	450	443	443	444	446	446	444	444	444
5	570	570	566	558	543	525	505	494	490	486	483	479	475	470	467	464	459	455	453	450	445	440	434	437	439	446	450	448	448	450
7.5	628	628	619	602	577	546	515	501	495	489	484	478	472	466	462	457	451	446	443	440	434	430	428	436	443	451	454	453	454	455
10	680	679	670	649	614	564	516	494	486	477	470	464	456	448	442	436	430	424	420	417	412	413	422	437	445	453	456	455	455	456
12.5	702	705	712	698	654	585	510	477	464	450	441	431	422	413	406	399	392	384	381	378	374	389	414	437	449	459	463	462	463	465
15	688	703	762	765	718	618	507	459	440	421	408	394	383	372	365	357	350	343	340	337	338	370	407	441	461	476	478	476	475	476
17.5	692	708	787	835	802	689	523	458	433	408	390	372	360	349	341	333	328	322	321	320	328	374	416	455	480	492	489	481	478	477
20	718	725	800	894	882	775	573	482	450	417	394	371	357	343	336	328	325	322	323	325	341	401	444	483	502	506	489	468	460	460
22.5	739	746	816	938	949	850	650	530	486	442	413	384	368	353	347	341	339	337	342	346	370	440	482	514	520	500	463	442	438	437
25	751	760	835	969	1005	913	721	588	530	473	437	401	385	369	365	360	362	362	370	378	409	480	518	536	515	468	435	416	414	412
27.5	767	773	848	979	1043	964	768	634	566	498	456	414	398	382	381	380	385	390	402	413	450	517	541	536	478	436	407	389	387	386
30	784	789	851	966	1056	997	785	653	584	514	467	420	407	393	394	396	405	415	431	447	491	549	550	510	439	403	378	363	361	361
32.5	805	806	837	945	1040	1005	775	647	579	512	466	422	411	400	405	409	422	436	458	481	530	572	542	467	405	374	351	336	338	339
35	818	814	825	910	999	990	752	622	559	496	456	416	410	405	411	417	435	453	482	511	563	588	521	425	373	349	331	319	320	321
37.5	819	808	816	858	939	968	722	592	536	480	446	413	409	404	414	425	446	468	501	535	586	585	484	391	348	330	312	294	290	287
40	828	817	816	813	873	929	704	569	517	466	438	411	406	400	416	431	456	480	518	556	600	566	439	360	324	298	263	234	219	214
42.5	844	835	825	780	823	900	704	578	536	494	470	447	436	425	437	449	472	495	530	566	600	533	396	327	281	237	191	170	161	159
45	1144	1132	923	767	802	896	770	673	638	602	581	560	544	529	530	531	540	548	563	578	585	489	351	283	223	173	145	134	128	127
47.5	1308	1304	1200	943	940	1093	940	808	777	747	728	708	697	686	681	676	671	666	650	635	585	441	304	228	168	138	120	112	107	107
50	1151	1172	1361	1288	1260	1507	1186	1012	979	945	926	907	886	865	848	830	817	804	772	741	651	399	259	177	134	115	103	99	97	97
52.5	1055	1064	1179	1312	1420	1640	1515	1268	1212	1157	1123	1090	1038	985	956	926	908	889	833	778	687	365	222	146	114	100	93	91	88	88
55	982	980	1002	1003	1382	1545	1573	1387	1325	1263	1191	1119	1036	952	909	866	819	772	737	701	606	306	182	121	99	91	87	84	81	81
57.5	950	950	996	947	1206	1609	1392	1321	1257	1193	1105	1018	947	876	843	810	766	723	670	616	520	248	148	104	90	83	80	78	76	76
60	777	780	854	930	1187	1730	1452	1381	1304	1227	1143	1059	1000	940	912	883	850	818	732	647	506	212	126	97	84	78	76	74	74	75
62.5	633	637	702	774	1146	1776	1663	1518	1431	1344	1251	1158	1086	1013	954	896	840	784	716	648	489	232	145	107	91	84	82	80	78	78
65	462	463	529	626	999	1599	1611	1503	1447	1390	1303	1216	1128	1041	969	897	829	761	724	688	536	289	156	114	94	85	85	81	80	80
67.5	199	200	300	464	760	1247	1422	1376	1345	1314	1260	1205	1116	1028	943	859	792	726	744	762	637	305	149	105	84	82	86	82	81	81
70	94	96	115	252	511	883	1145	1135	1130	1126	1102	1078	1012	946	860	775	713	650	700	749	705	248	122	86	78	82	88	85	85	86
72.5	64	64	75	86	290	590	869	884	891	897	896	895	845	796	726	656	585	514	563	612	618	175	94	83	80	86	91	90	86	86
75	46	46	50	53	103	348	594	656	659	663	676	690	662	634	581	528	458	388	388	389	429	130	89	87	84	85	86	79	68	68
77.5	44	43	42	38	54	178	370	414	422	430	452	473	461	449	411	373	323	274	243	213	256	129	94	89	82	76	73	47	35	32
80	28	28	32	30	39	78	186	210	214	218	234	251	240	229	206	184	162	140	118	97	138	134	92	79	62	32	26	22	19	19
82.5	15	16	18	20	24	37	74	96	103	109	118	127	121	114	102	90	81	71	68	65	108	104	70	46	14	15	11	9	7	7
85	9	9	10	10	14	17	37	52	54	57	62	68	64	61	54	47	42	36	35	34	54	50	21	5	4	1	0	0	0	0
87.5	3	3	3	3	4	8	14	19	20	22	24	26	23	20	16	12	12	12	12	12	22	11	1	0	0	0	0	0	0	0
90	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0



NVLP Lab Code 500089-0

Candela Tabulations (Continued)

	0	5	15	25	35	45	55	60	62.5	65	67.5	70	72.5	75	77.5	80	82.5	85	87.5	90	95	105	115	125	135	145	155	165	175	180
92.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
95	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
97.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
102.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
105	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
107.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
110	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
112.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
115	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
117.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
120	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
122.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
125	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
127.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
130	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
132.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
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142.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
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147.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
150	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
152.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
155	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
157.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
160	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
162.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
165	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
167.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
170	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
172.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
175	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
177.5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
180	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0



NVLAP Lab Code 500089-0

Integrating Sphere Equipment List

Description	Manufacturer	Model	Serial Number
2M Sphere	Everfine	2M	1004156T
CCD Array Spectrometer	Otsuka	MC-9801	98010360
Programmable AC Source	Adaptive	FC200	2280220
Power Analyzer	Chroma	66202	66202 0005018

Goniophotometer Equipment List

Description	Manufacturer	Model	Serial Number
AC Power Source	Chroma	61602	616020002300
Type C Goniophotometer	LSI / UL	6440T	6440PN2028
Spectroradiometer	Gooch & Housego	770VIS/NIR	12415189
Power Meter	Yokogawa	WT210	91M945458

Test Methods Used:

Title	Description
ANSI C82.77:2002	Harmonic Emission Limits- Related Power Quality Reqt's for Lighting Equipment
CIE Pub. 13.3:1995	Method of Measuring and Specifying Color Rendering of Light Sources
CIE Pub. 15:2004	Colorimetry
IES LM-58:1994	Spectroradiometric Measurements
IES LM-65:2001	Single-Ended Compact Fluorescent Lamps – Life Test Performance
IES LM-79:2008	Electrical and Photometric Measurements of Solid-State Lighting Products

Reference Standard Used:

Equipment	Description
2m Sphere	Tungsten Halogen Omni-Directional 75W Calibration Lamp, Serial Number F119
Type C Goniophotometer and Spectrometer	Tungsten Halogen Omni-Directional 500W Calibration Lamp, Serial Numbers 13C069, 13C070, 13C071. For color calibration of spectrometer, 13C074.

Disclaimers:

This report must not be used by the customer to claim product certification, approval or endorsement by NVLAP, NIST or any agency of the federal government.

The results contained in this report pertain only to the tested sample.

This report shall not be reproduced, except in full, without written approval of the CESTL.

Items marked with a single asterisk are not covered by the NVLAP accreditation.

In the event that the recorded temperature is outside of $25 \pm 1^\circ\text{C}$, this is considered a non-standard condition.

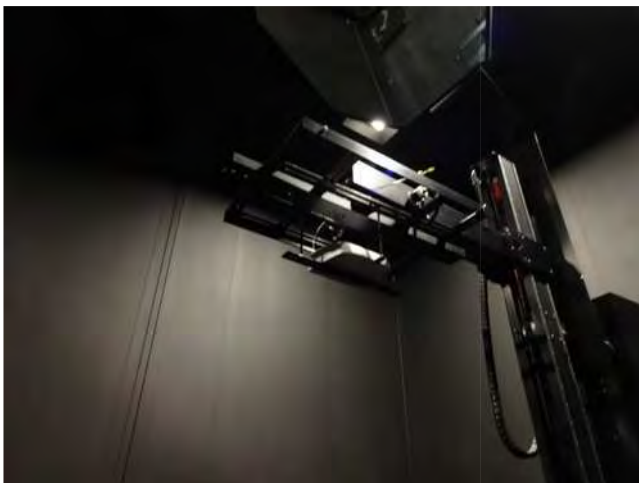
** In the event that testing is subcontracted, test results in this report marked with the symbol **, or noted as "Sphere" or "Integrating Sphere", were performed by the subcontracted laboratory identified in the footer on the first page of this report. Subcontracted testing is strictly integrating sphere based. All other tests are performed using a Type C goniophotometer.

The integrating sphere information in the equipment list, report items marked with **, or results specifically identified as "Sphere" or "Integrating Sphere", are the actual equipment used, and test results produced, by the subcontracted laboratory when subcontracting is indicated on the cover page.

Additional Comments:

The photos below are intended to show the orientation and fixturing/set-up of the units under test. These are critical to understanding the results of the test given the sensitivity of many products and measurement systems to orientation and set-up considerations, and also for reproducing the conditions of the test.

Goniophotometer



Integrating Sphere





1704 Autumn Lake Parkway

MADRAX DIVISION

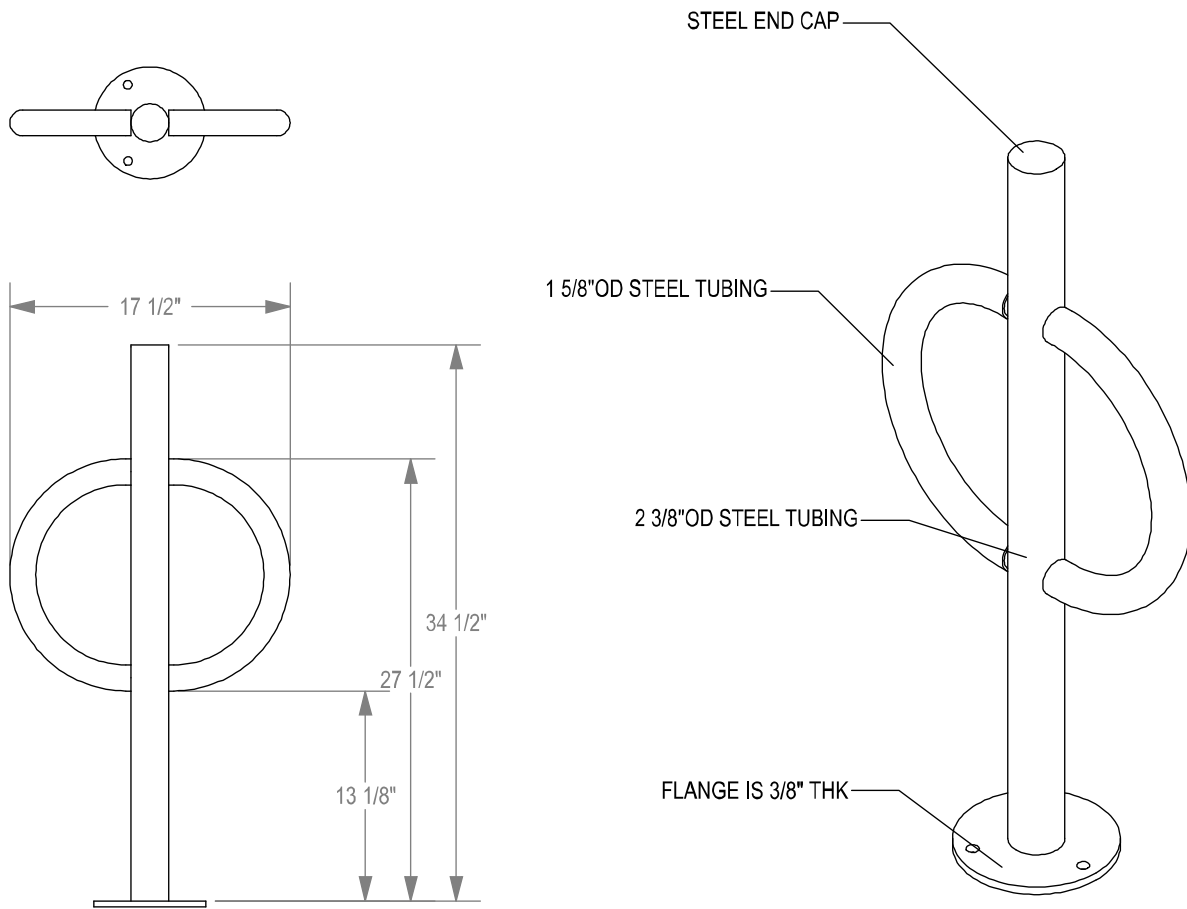
GRABER MANUFACTURING, INC., FORMERLY TRILARY, INC.

1080 UNIEK DRIVE

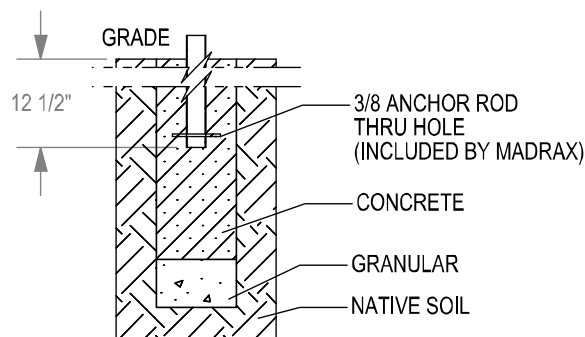
WAUNAKEE, WI 53597

P(800) 448-7931, P(608) 849-1080, F(608) 849-1081

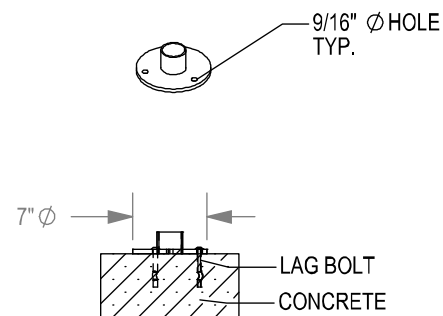
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



CHECK DESIRED MOUNT ☐



☐ IN GROUND MOUNT (IG)



☐ SURFACE FLANGE MOUNT (SF)

SECTION VIEWS

PRODUCT: BOL-2-SF(IG)

DESCRIPTION: BOLLARD BIKE RACK WITH FLAT CAP, TUBE STEEL ARMS
2 BIKE, SURFACE OR IN GROUND MOUNT

DATE: 8-20-12

ENG: SMC

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NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR(FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

LeHigh Crawford Flip Up Storage Rack #FSR13

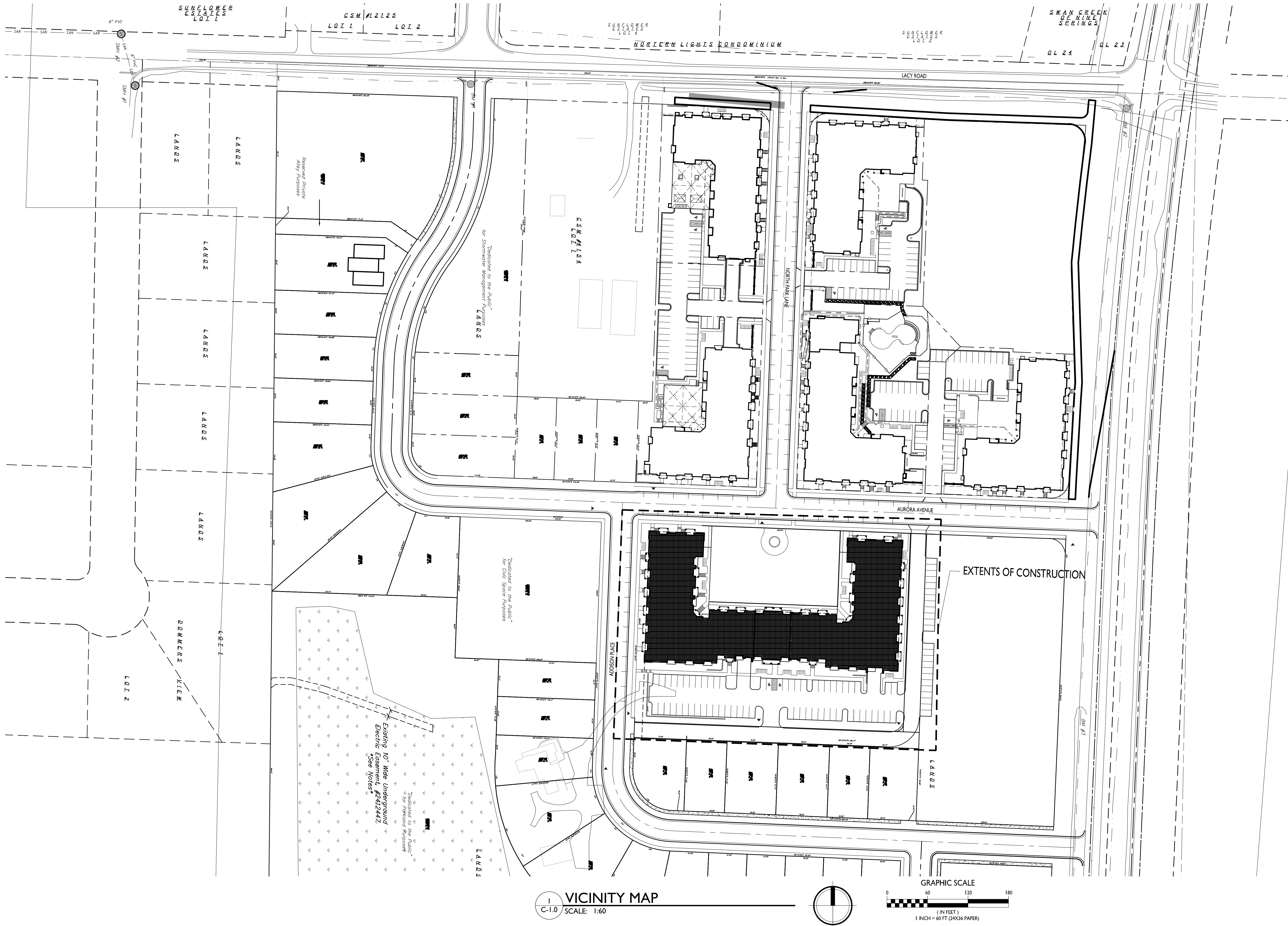


Crawford Organization offers a broad assortment of hooks and hangers as well as Peg board accessories to meet various storage needs of their consumers. The [LeHigh Crawford flip up storage rack](#) has the following features:

- Holds one bike
- No mar vinyl cushions cover 3/8" diameter arms to protect your bicycle
- Mounting hardware included
- Designed to mount on single wall stud
- Flips up flat against the wall when not in use
- Easy installation
- This rack is 13 inches from wall and 12 inches wide

First Impressions

This bike rack is ideal for storing a single bike both in the garage or in an apartment if no garage is available. Since it attaches to a single stud you won't have to worry about multiple holes in your wall as this rack only attaches with two screws.

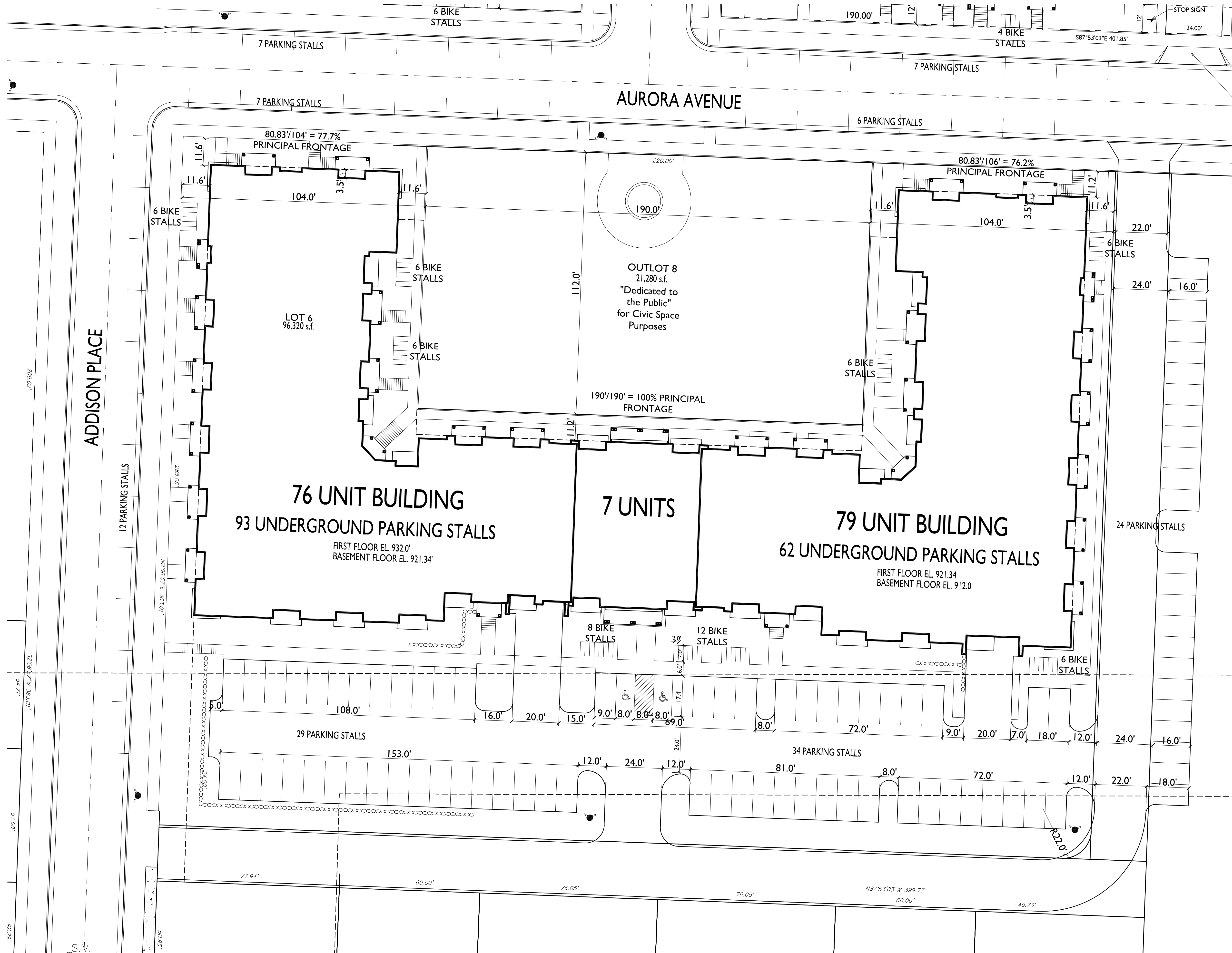


ISSUED
Issued for Article 5 - May 24, 2017
Issued for ADR - July 24, 2018

PROJECT TITLE
**The Addison
Buildings 6 & 7**

North Park Lot 6
Aurora Avenue
Fitchburg, WI
SHEET TITLE
VICINITY MAP

SHEET NUMBER



SHEET INDEX

C-1.1 SITE PLAN
C-1.2 SITE LIGHTING
C-1.3 FIRE DEPARTMENT ACCESS

C-2.1 EXISTING CONDITIONS
C-2.2 GRADING & EROSION CONTROL PLAN
C-2.3 UTILITY PLAN

L-6.1 LANDSCAPE PLAN

A-1.0 BASEMENT PLAN
A-1.1 BASEMENT & FIRST FLOOR PLAN
A-1.2 FIRST & SECOND FLOOR PLAN
A-1.3 SECOND & THIRD FLOOR PLAN
A-1.4 THIRD & FOURTH FLOOR PLAN
A-1.5 FOURTH FLOOR PLAN
A-2.1 ELEVATIONS
A-2.2 ELEVATIONS

SITE DEVELOPMENT STATISTICS - LOT 6

TRANSECT ZONE T5
LOT AREA 96,320 S.F. (2.21 ACRES)
LOT COVERAGE 73,943 SF = 76.8%
DWELLING UNITS 162 UNITS
LOT AREA/ D.U. 594.6 SF/D.U.
DENSITY 73.3 UNITS / ACRE

GROSS FLOOR AREA 162,907 S.F.
(EXCLUDING GARAGE LEVELS)

APARTMENTS
STUDIO 36
ONE BEDROOM 89
ONE BED + DEN 5
TWO BEDROOM 32
TOTAL 162

PARKING
SURFACE 87
STREET 12 (25/2)
UNDERGROUND 155
TOTAL 254 (1.56 / UNIT)

BIKE PARKING
GARAGE 37*
SURFACE 56
TOTAL 93*

*ADDITIONAL WALL-HUNG BIKE PARKING STALLS TO BE INSTALLED IN THE BASEMENT AT THE HEADS OF PARKING STALLS TO MEET THE LONG TERM BIKE PARKING REQUIREMENTS

GENERAL CONTRACTOR NOTE:

A STREET OPENING PERMIT IS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY AND ALL WORK PERFORMED IN THE RIGHT-OF-WAY NEEDS TO BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FITCHBURG'S STANDARD SPECIFICATIONS OR PUBLIC WORKS CONSTRUCTION.

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PROJECT TITLE

The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI

SHEET TITLE

SITE PLAN

SHEET NUMBER

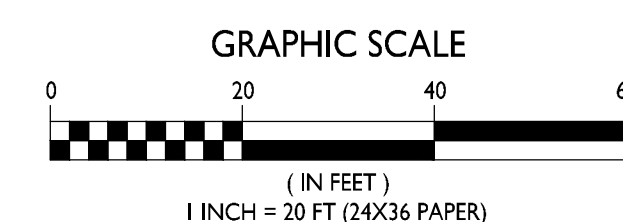
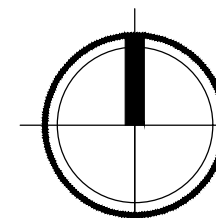
C-1.1

PROJECT NO.

1332

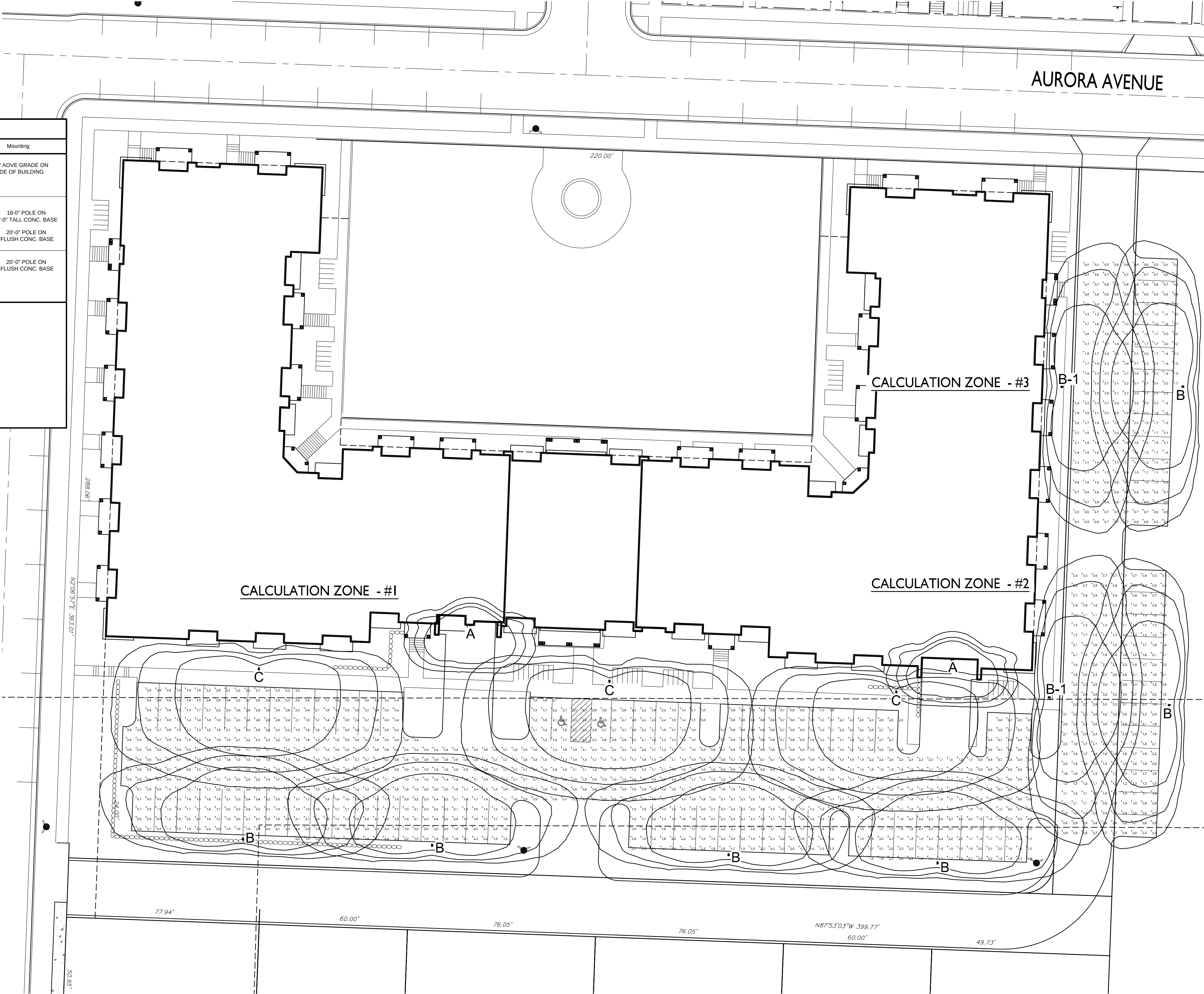
© Knothe & Bruce Architects, LLC

1 SITE PLAN
C-1.1 SCALE: 1:20

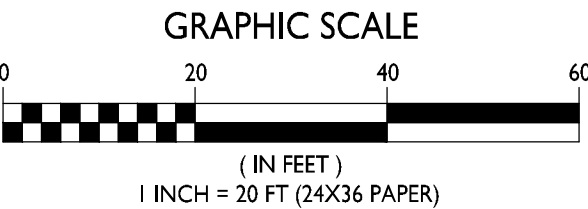
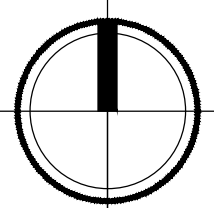


STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calculation Zone - #1	+	1.4 fc	2.7 fc	0.4 fc	6.8:1	3.5:1
Calculation Zone - #2	+	1.6 fc	3.3 fc	0.4 fc	8.3:1	4.0:1
Calculation Zone - #3	+	1.5 fc	3.2 fc	0.4 fc	8.0:1	3.8:1

LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	Mounting
	A	2	XSPWax3FG-U	Cree XSPW Series Wallpack Luminaire, Type III Medium, 4000K, G Input Power Designator	4 type MDA LEDs	8'-0" ABOVE GRADE ON SIDE OF BUILDING
	B	6	ARE-EDG-2MB-**-06-E-UL-350-40K (350mA)	CONFIGURED FROM Cree Edge Area, Type II Medium w/ 60 LEDs, 700mA, 4000K	CONFIGURED FROM Sixty White LEDs, Vertical Base-Up Position	18'-0" POLE ON 2'-0" TALL CONC. BASE
	B-I	2				20'-0" POLE ON FLUSH CONC. BASE
	C	3	ARE-EDG-3MB-**-10-E-UL-350-40K (350mA)	CONFIGURED FROM 60 LED Type III Medium Optic w/ Full Backlight 700mA 4000K LEDway Streetlight	CONFIGURED FROM 60 WHITE LEDs, VERTICAL BASE-UP	20'-0" POLE ON FLUSH CONC. BASE
EXAMPLE LIGHT FIXTURE DISTRIBUTION ISOLUX CONTOUR = 0.25 FC ISOLUX CONTOUR = 0.5 FC ISOLUX CONTOUR = 1.0 FC LIGHT FIXTURE						



SITE LIGHTING PLAN
SCALE: 1:20

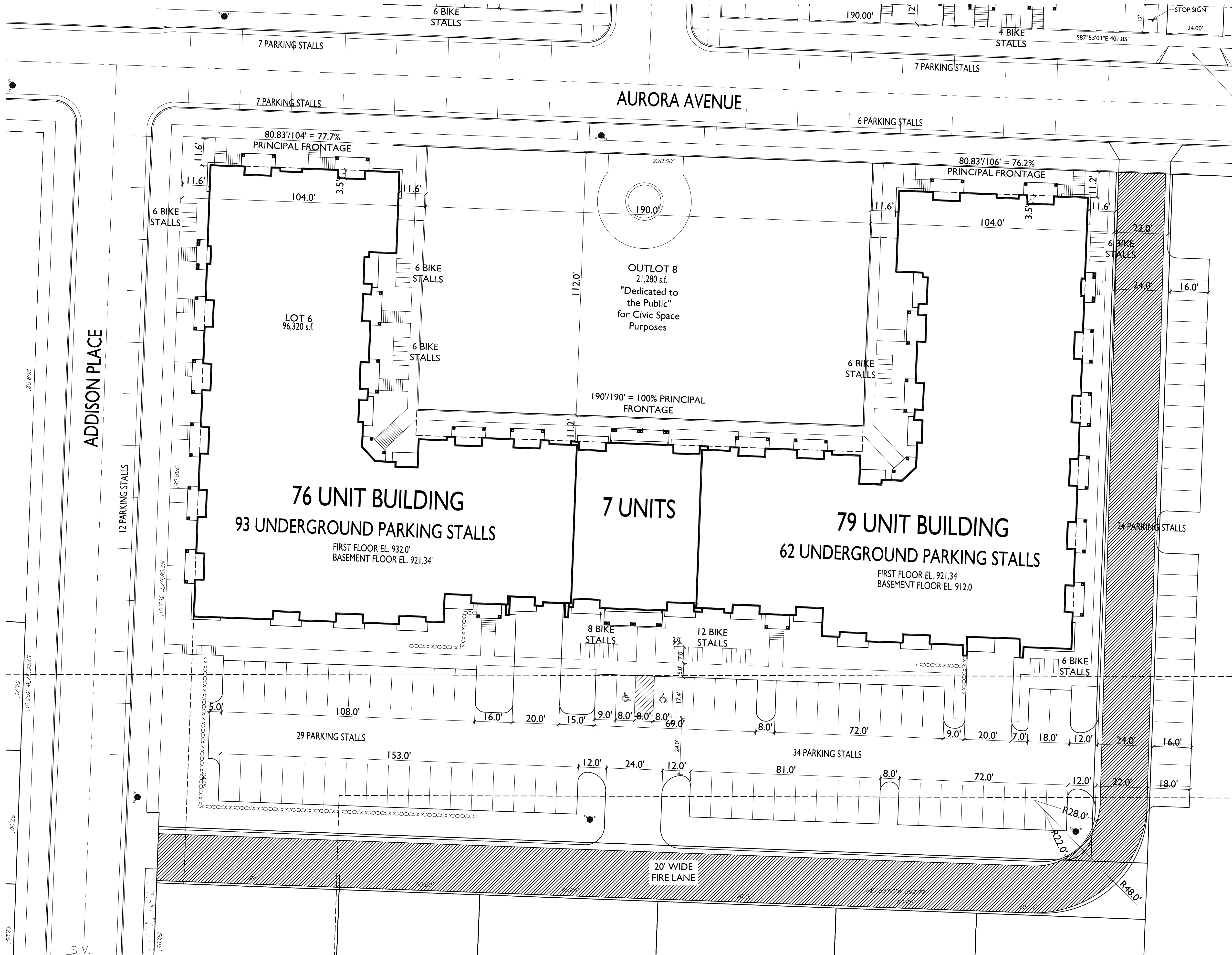


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**The Addison
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North Park Lot 6
Aurora Avenue
Fitchburg, WI
SHEET TITLE
**SITE LIGHTING
PLAN**

SHEET NUMBER

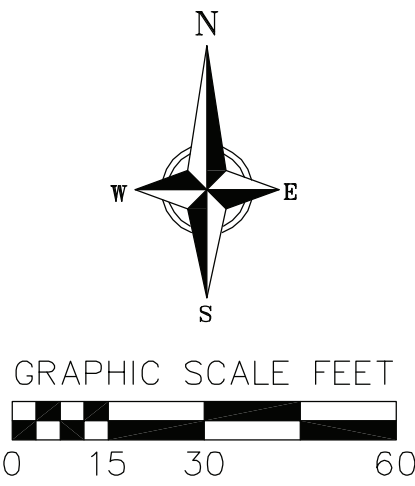
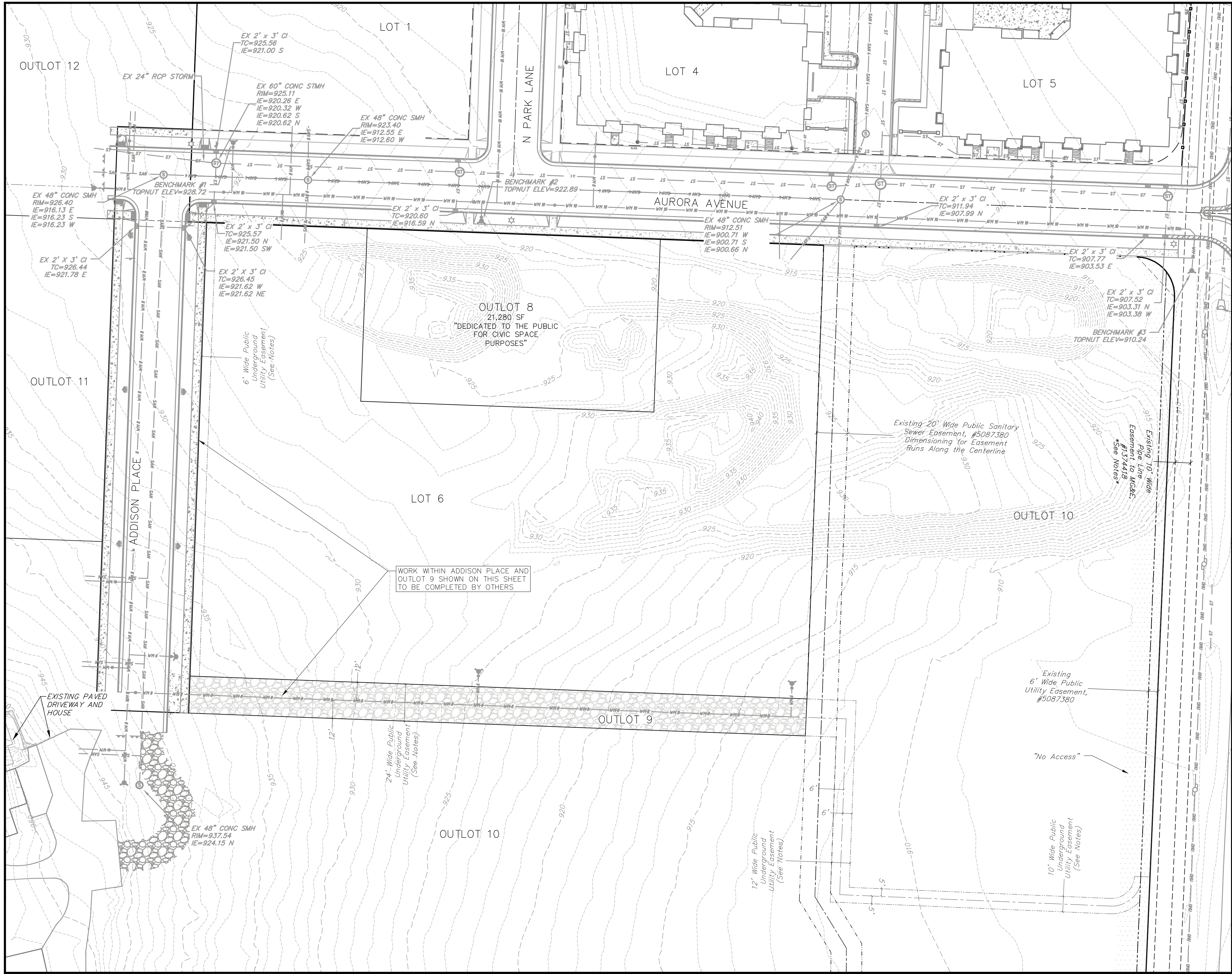


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PROJECT TITLE
The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI
SHEET TITLE
**FIRE
DEPARTMENT
ACCESS PLAN**

SHEET NUMBER



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING WELL
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING RETAINING WALL
- EXISTING OVERHEAD UTILITIES
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING WATER MAIN
- EXISTING MAJOR CONTOUR
- EXISTING GRAVEL
- EXISTING CONCRETE

GENERAL NOTES:

- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.

vierbicher
engineers | planners | architects
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fitchburg Avenue, Suite 200
Phone: (608) 824-5332 Fax: (608) 824-5330

EXISTING CONDITIONS PLAN

NORTH PARK - LOT 6

CITY OF FITCHBURG

DANE COUNTY, WISCONSIN

REVISIONS	REVISIONS	REVISIONS
NO.	DATE	REMARKS

SCALE
AS SHOWN

DATE
05/12/2017

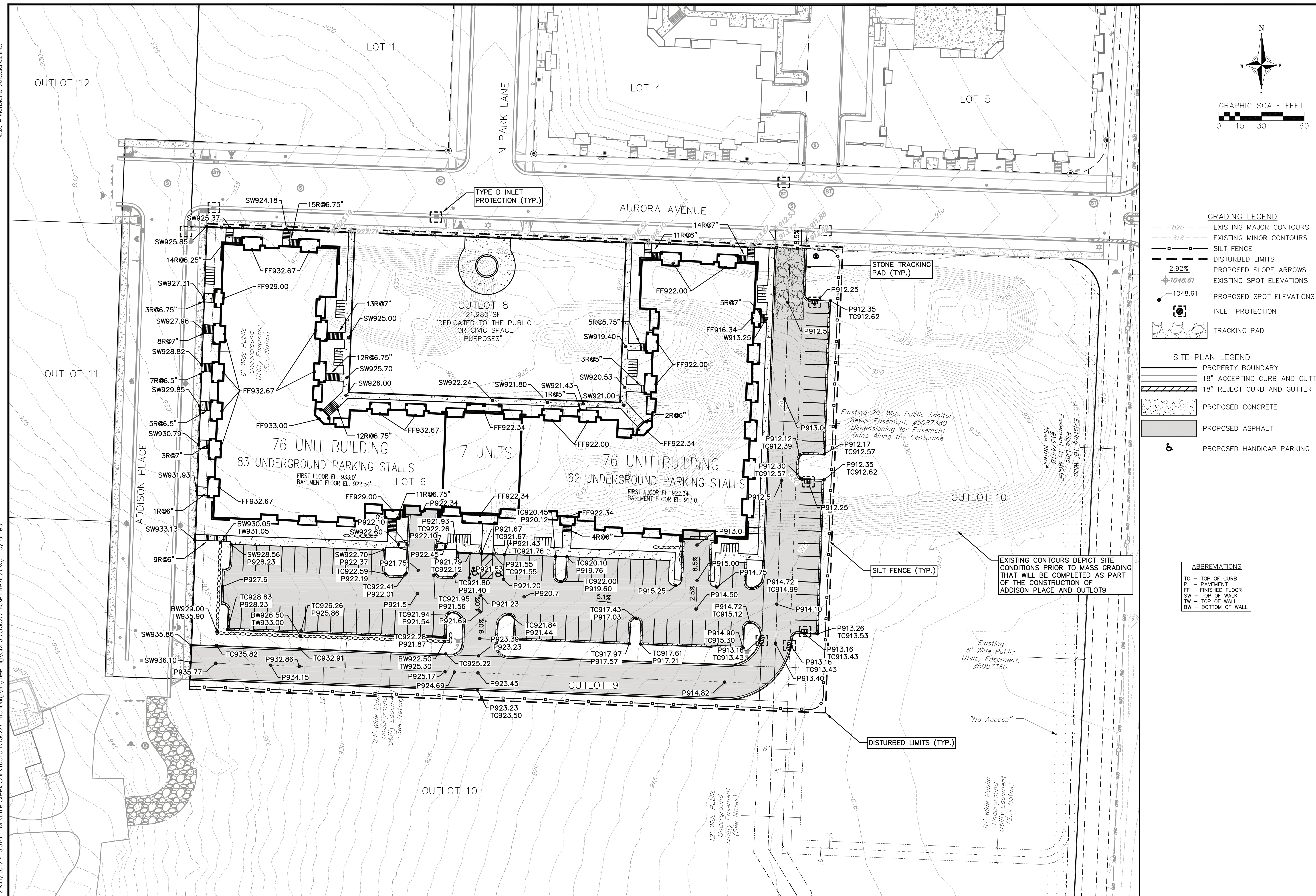
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AMEA

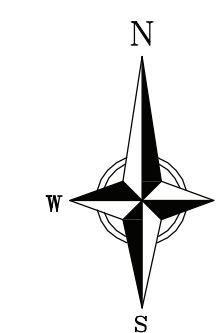
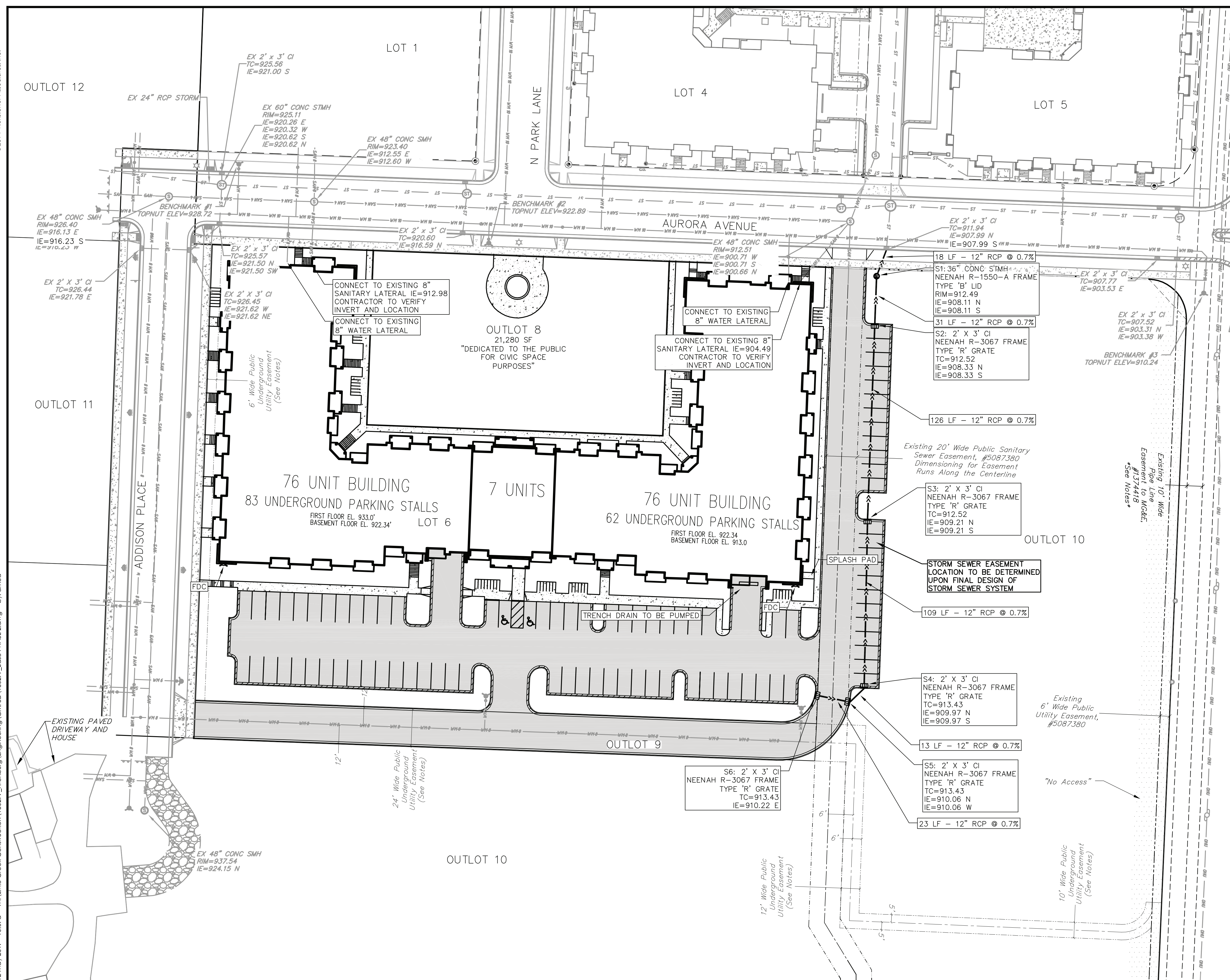
CHECKED
RKOL

PROJECT NO.
130277

SHEET
1 OF 3

DWG. NO.
C-2.1





GRAPHIC SCALE FEET



0 15 30 60

PROPOSED UTILITY LEGEND

- | | |
|--|-----------------------------|
| | STORM SEWER PIPE |
| | STORM SEWER MANHOLE |
| | STORM SEWER FIELD INLET |
| | STORM SEWER CURB INLET |
| | SANITARY SEWER LATERAL PIPE |
| | WATER SERVICE LATERAL PIPE |

EXISTING UTILITY LEGEND

- | | |
|---|------------------------------|
|  | EXISTING SANITARY SEWER LINE |
|  | EXISTING STORM SEWER LINE |
|  | EXISTING WATER MAIN |
|  | EXISTING CURB INLET |
|  | EXISTING STORM MANHOLE |
|  | EXISTING SANITARY MANHOLE |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING WATER MAIN VALVE |

UTILITY NOTES:

1. PRIVATE WATER SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(c).
2. PRIVATE SANITARY LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 -- SDR 26 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
4. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
5. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
6. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
8. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
10. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION..

DATE		05/12/2017	
DRAFTER		AMEA	
CHECKED		RKOL	
PROJECT NO.		130277	
SHEET		3 OF 3	
DWG. NO.		C-2.3	



Qty.	Botanical Name	Common Name	Size/Condition
1	Aster x Freemanii	ASTER	2 1/2-3' h. b.
2	Coronilla varia	CORONILLA	2-2 1/2' h. b.
3	Pyrola asarifolia	PIROLA	2 1/2-3' h. b.
4	Syringa meyeri	SYRINGA	24-30' h. b.
5	Syringa reticulata	SYRINGA	2 1/2-3' h. b.
6	Ulmus americana	ULMUS	2 1/2-3' h. b.
7	Ulmus americana	ULMUS	24-30' h. b.
8	Ulmus americana	ULMUS	24-30' h. b.
9	Ulmus americana	ULMUS	24-30' h. b.
10	Ulmus americana	ULMUS	24-30' h. b.
11	Ulmus americana	ULMUS	24-30' h. b.
12	Ulmus americana	ULMUS	24-30' h. b.
13	Ulmus americana	ULMUS	24-30' h. b.
14	Ulmus americana	ULMUS	24-30' h. b.
15	Ulmus americana	ULMUS	24-30' h. b.
16	Ulmus americana	ULMUS	24-30' h. b.
17	Ulmus americana	ULMUS	24-30' h. b.
18	Ulmus americana	ULMUS	24-30' h. b.
19	Ulmus americana	ULMUS	24-30' h. b.
20	Ulmus americana	ULMUS	24-30' h. b.
21	Ulmus americana	ULMUS	24-30' h. b.
22	Ulmus americana	ULMUS	24-30' h. b.
23	Ulmus americana	ULMUS	24-30' h. b.
24	Ulmus americana	ULMUS	24-30' h. b.
25	Ulmus americana	ULMUS	24-30' h. b.
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27	Ulmus americana	ULMUS	24-30' h. b.
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96	Ulmus americana	ULMUS	24-30' h. b.
97	Ulmus americana	ULMUS	24-30' h. b.
98	Ulmus americana	ULMUS	24-30' h. b.
99	Ulmus americana	ULMUS	24-30' h. b.
100	Ulmus americana	ULMUS	24-30' h. b.

PLANTING NOTES:
1. CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES PRIOR TO COMMENCING ANY WORK ON-SITE.
2. STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGER'S HOTLINE AT 1-800-242-8511.
3. SUPPLY AND INSTALL ALL WISCONSIN GROWN NURSERY STOCK. GUARANTEE ALL STOCK FOR A PERIOD OF ONE YEAR. ALL PLANTING MATERIAL IS TO MEET AMERICAN STANDARDS FOR NURSERY STOCK ANSI Z601-2004. ALL PLANT MATERIAL IS TO BE PLANTED IMMEDIATELY AFTER ARRIVAL AND UNLOADING ON SITE. PLANT TYPES, SIZES, AND QUANTITIES ARE ACCORDING TO THE PROPOSED PLANS. IF ANY DISCREPANCIES ARE PRESENT BETWEEN PLANT LEGEND AND GRAPHIC DEPICTION, GRAPHICALLY DEPICTED QUANTITIES SHALL HOLD PRECEDENCE.
4. ACTUAL LOCATIONS OF PLANT MATERIAL ARE SUBJECT TO FINAL SITE LAYOUT AND CONDITIONS AND MAY BE ADJUSTED ACCORDINGLY.
5. GUY AND STAKE ALL LARGE TREES AND EVERGREENS.
6. ALL PLANTS ARE TO BE BACKFILLED WITH A 50/50 MIX OF PLANT STARTER AND TOPSOIL BLEND AND IS TO BE FREE OF ROOTS, ROCKS LARGER THAN 1" IN DIAMETER, SUBSOIL DEBRIS, AND WEEDS.
7. OPEN AND REMOVE THE TOP BURLAP AND TWINE OR STRIPS FROM ALL BALLED AND BURLAPPED PLANTS AND SET ALL PLANTS AT FINISHED GRADE.
8. SUPPLY AND INSTALL 3-4" OF SHREDDED HARDWOOD BARK MULCH IN ALL PLANTING BEDS, AND 1-1/2" IN ALL PERENNIAL BEDS. TREAT ALL AREAS WITH A PRE-EMERGENT HERBICIDE (GRANULAR FORM) TREFLAN OR APPROVED EQUAL FOLLOWING ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS PRIOR TO PLACING MULCH.
9. SUPPLY AND INSTALL 3-4" OF SHREDDED HARDWOOD MULCH 1' PAST THE DRIP LINE OF ALL INDIVIDUAL TREES. DO NOT PLACE MULCH AGAINST TRUNK OF TREE.
10. SUPPLY AND INSTALL BLACK VINYL EDGING 1/2" WIDE OF DIAMOND, MANUFACTURED BY VALLEYVIEW INDUSTRIES OR APPROVED EQUAL IN ALL PLANTING BEDS THAT ADJOIN TURF AREAS ACCORDING TO THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
11. ALL TURF AREAS ARE TO BE FINE-GRADED. ALL TURF AREAS ARE TO BE SEEDED, AREAS ARE TO BE SOWN AT THE MANUFACTURER'S RECOMMENDED RATES AND COVERED WITH A CLEAN OAT STRAW. TURF AREAS ARE TO BE SOWN WITH NELSON LANDSCAPE'S CUSTOM BLENDED SEED FOR LAWNS AND IS TO BE APPLIED AT THE RECOMMENDED RATE. A STARTER FERTILIZER APPLIED, AND COVERED WITH A CLEAN OAT STRAW. ANY AREAS WHERE POTENTIAL EROSION EXISTS DUE TO WIND OR WATER OR OTHER MEANS INCLUDING ALL SLOPES OF 3:1 OR GREATER SHALL BE COVERED WITH STRAW EROSION CONTROL BLANKETS (DS-75) MANUFACTURED BY NORTH AMERICAN GREEN, INSTALLED TO MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

NELSON

LANDSCAPE INC.

Post Office Box 823
Waukesha, WI 53187-0823
262-549-6111
262-549-9229
www.nelsonlandscape.com

Sheet Title:
LANDSCAPE PLAN

Project:
THE ADDISON

Client:
BLDGS. #6 & #7
FITCBURG, WI

Plan Notes:

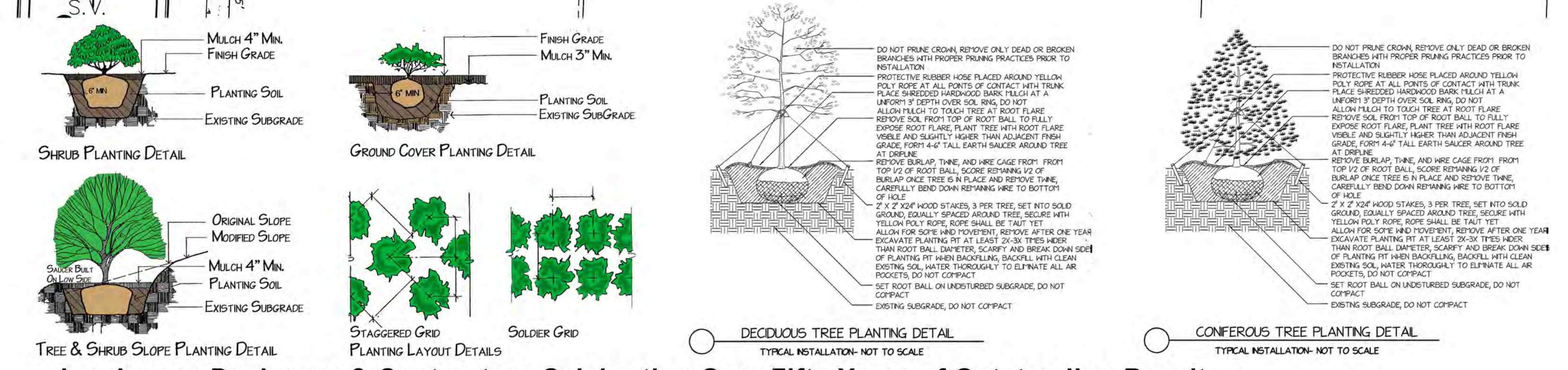
Designed By: D. K. N.
Drawn By: C. J. N.
Date: 2-06-17
Revisions:

Notice:

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Nelson Landscape Incorporated

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This plan is subject to final on-site conditions and may be modified to account for unforeseen obstacles, other changes, or site modifications that were not made known at the time of preparation dated on this plan.



ValleyView

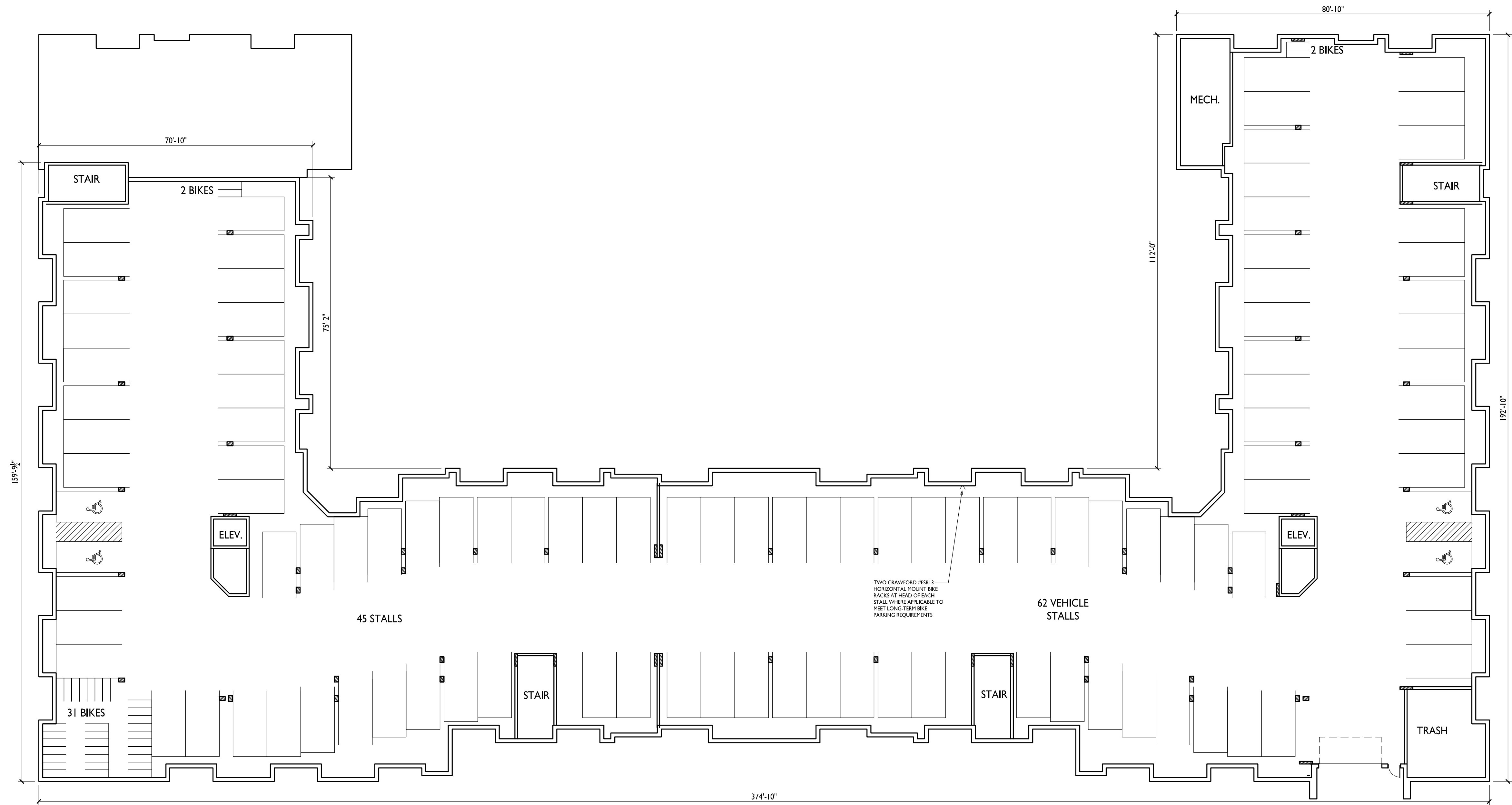
ValleyView Industries, Inc.
1800 S. 10th St.
Waukegan, IL 60059
815-491-1000
www.valleyviewinc.com

DIGGERS HOTLINE

1-800-242-8511
THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGER'S HOTLINE 1-800-242-8511

Scale: 1"=20'-0"

0 10 20



ISSUED
Issued for Article 5 - May 24, 2017
Issued for ADR - July 24, 2018

PROJECT TITLE
The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI

SHEET TITLE
Basement
Plan

SHEET NUMBER

A-1.0

PROJECT NO. 1332
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ISSUED
 Issued for Article 5 - May 24, 2017
 Issued for ADR - July 24, 2018

PROJECT TITLE
The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI

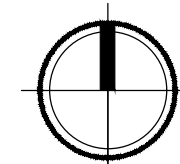
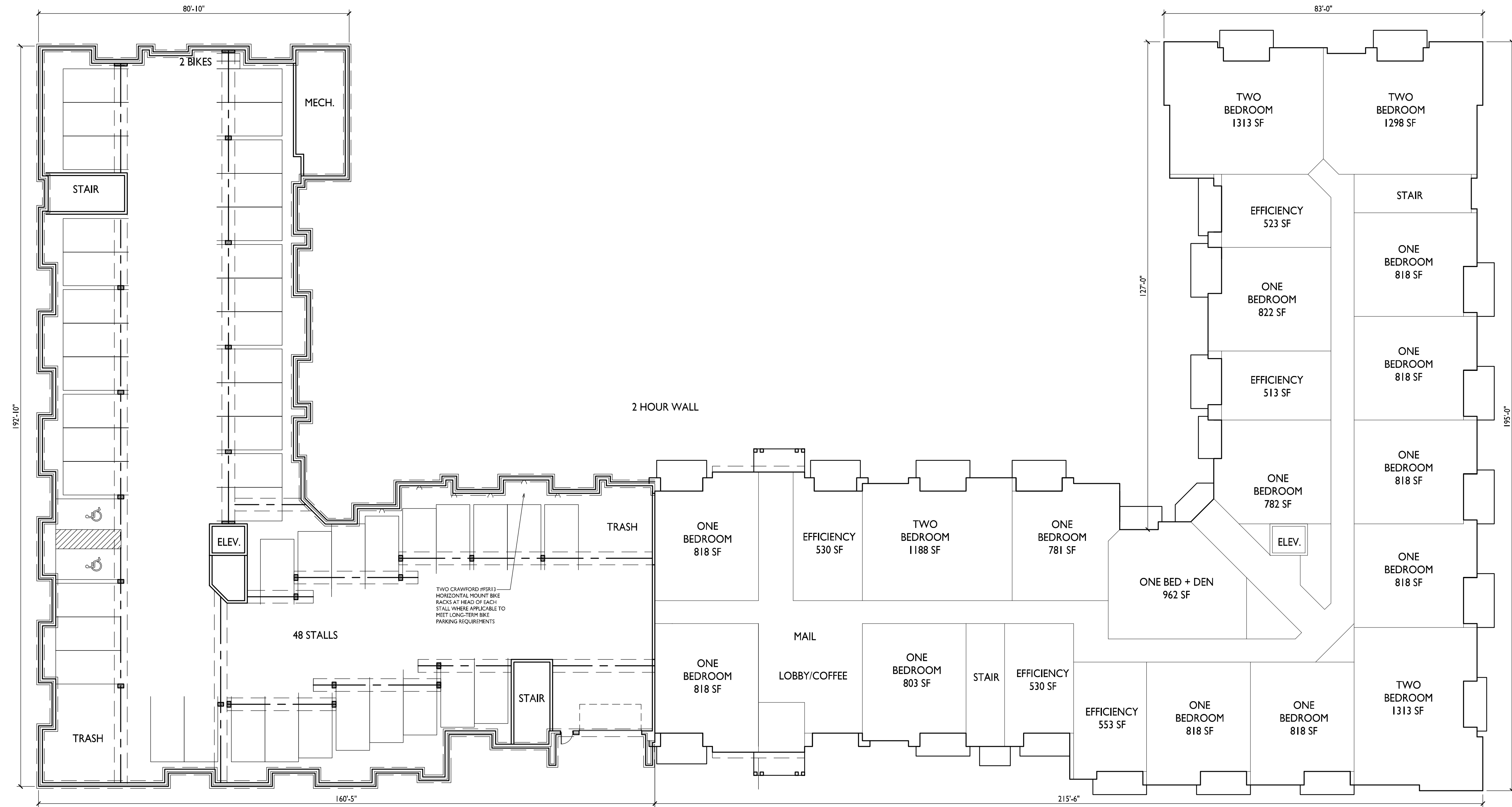
SHEET TITLE

**Basement/First
Floor Plan**

SHEET NUMBER

A-1.1

PROJECT NO. **1332**
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 Issued for Article 5 - May 24, 2017
 Issued for ADR - July 24, 2018

PROJECT TITLE
The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI

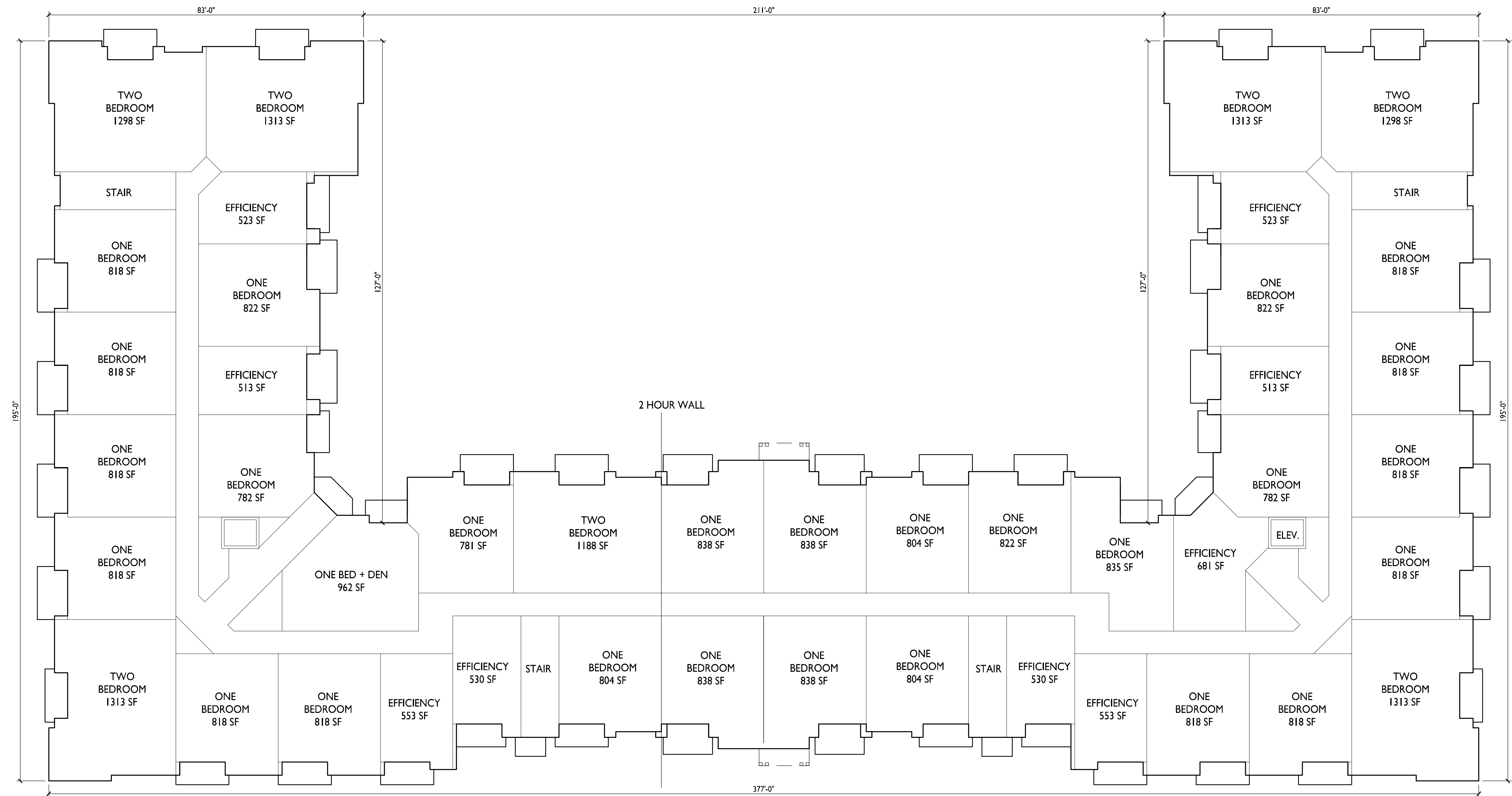
SHEET TITLE

First/Second
Floor
Plan

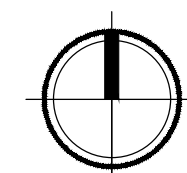
SHEET NUMBER

A-1.2

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I FIRST/SECOND FLOOR PLAN
A-1.2 1/16"=1'-0"



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 Issued for Article 5 - May 24, 2017
 Issued for ADR - July 24, 2018

PROJECT TITLE
The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI

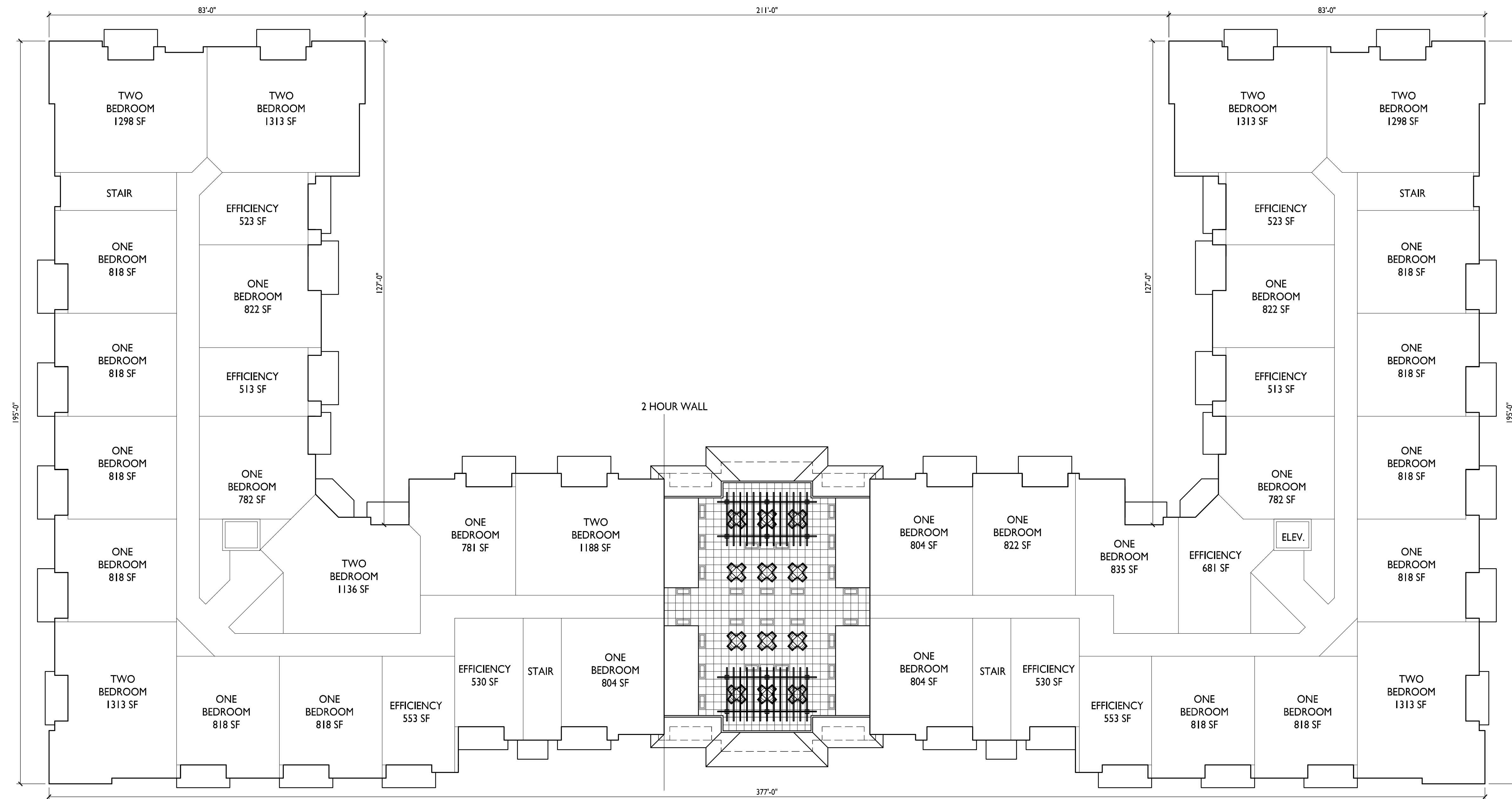
SHEET TITLE

Second/Third
Floor Plan

SHEET NUMBER

A-1.3

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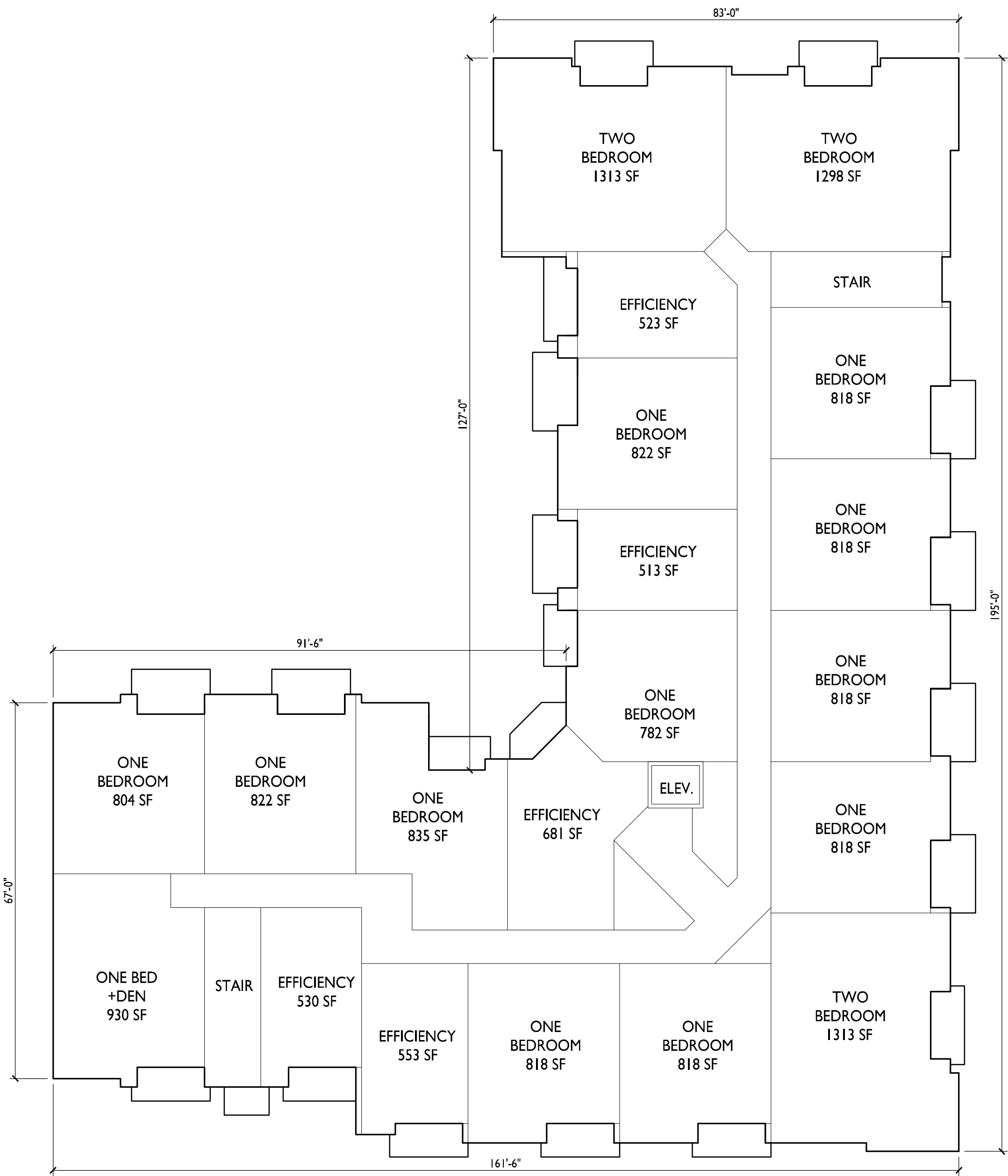
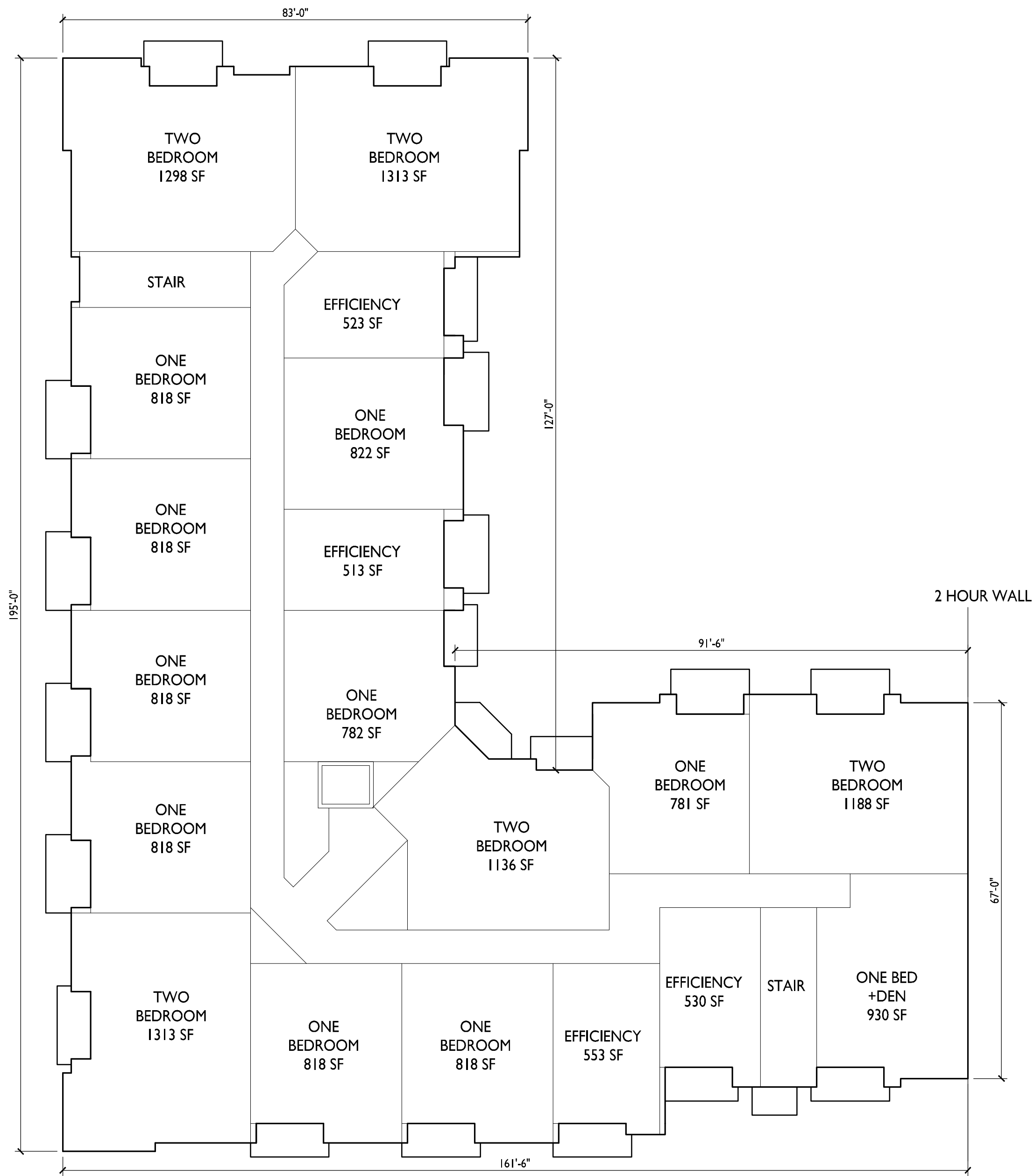


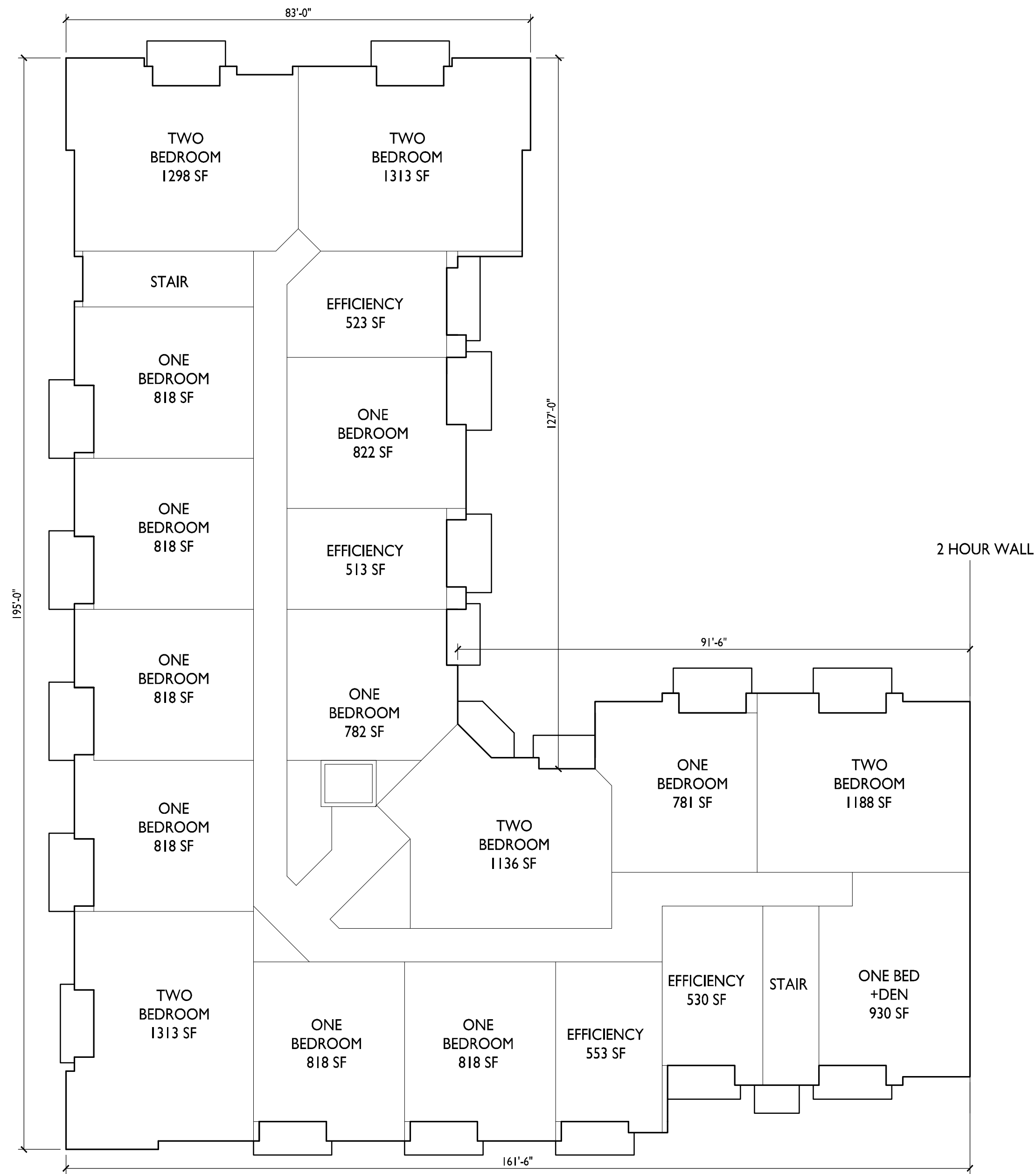

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Issued for Article 5 - May 24, 2017
Issued for ADR - July 24, 2018

PROJECT TITLE
The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI
SHEET TITLE
Third/Fourth
Floor Plan

SHEET NUMBER





FOURTH FLOOR

ISSUED
Issued for Article 5 - May 24, 2017
Issued for ADR - July 24, 2018

PROJECT TITLE
The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI
SHEET TITLE
Fourth Floor
Plan

SHEET NUMBER

ISSUED
Issued for Article 5 - May 24, 2017
Supplement for Article 5 - June 20, 2017
Issued for ADR - July 24, 2018

PROJECT TITLE
The Addison
Buildings 6 & 7

North Park Lot 6
Aurora Avenue
Fitchburg, WI
SHEET TITLE
Elevations

SHEET NUMBER

A-2.1
PROJECT NO. 1332
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1
A-2.1
NORTH ELEVATION
ALONG AURORA AVENUE
1/16"=1'-0"

BRICK = 5,062 S.F. = 30%
GLAZING = 4,757 S.F. = 29%
VINYL = 2,202 S.F. = 13%
MISC = 4,637 S.F. = 28%
OVERALL = 16,658 S.F. = 100%

TYPICAL MATERIALS
ASPHALT SHINGLES
VINYL SIDING
BOARD AND BATTEN
COMPOSITE SIDING
VINYL WINDOWS
PRECAST BANDS AND SILLS
ALUMINUM RAILINGS
MASONRY VENEER



2
A-2.1
WEST ELEVATION
ALONG ADDISON PLACE
1/16"=1'-0"

BRICK = 2,761 S.F. = 31%
GLAZING = 2,721 S.F. = 31%
VINYL = 862 S.F. = 10%
MISC = 2,500 S.F. = 28%
OVERALL = 8,844 S.F. = 100%



1
A-2.2
**NORTH ELEVATION
ALONG AURORA AVENUE**
1/16"=1'-0"

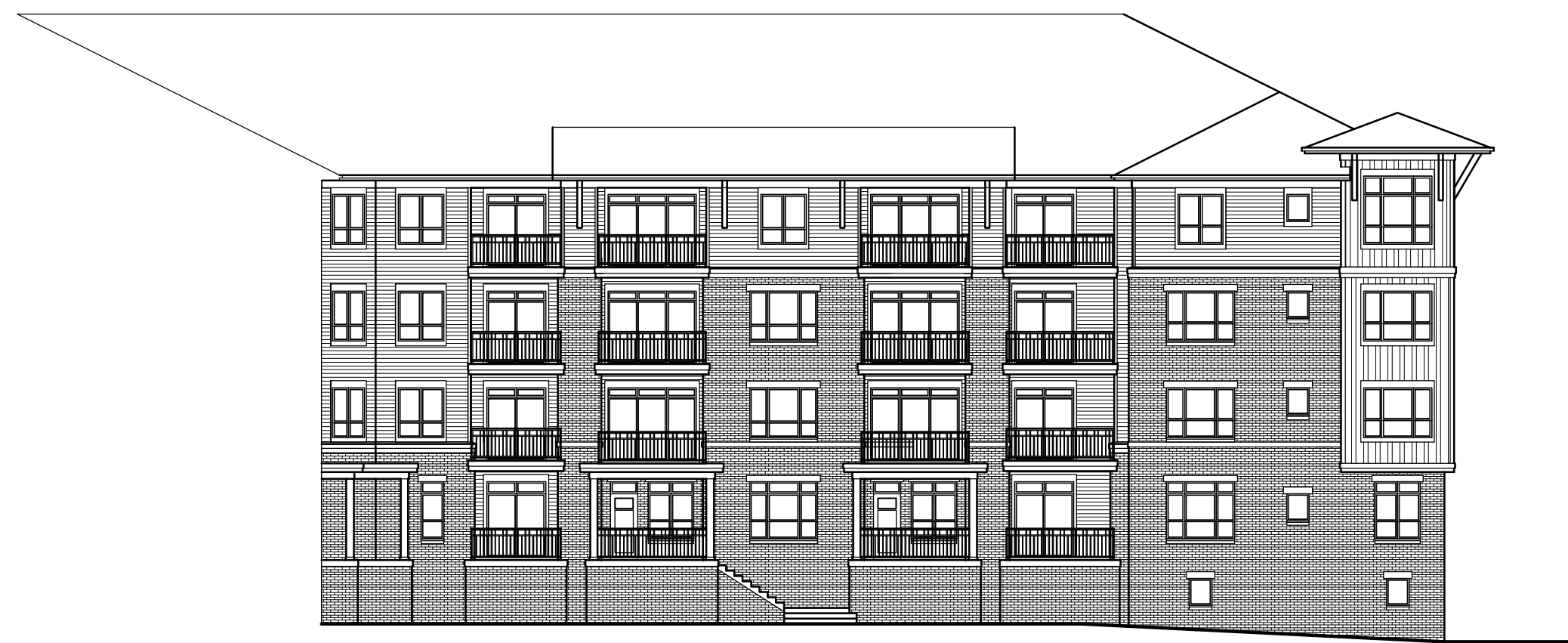
BRICK = 5,276 S.F. = 32%
GLAZING = 4,985 S.F. = 30%
VINYL = 2,129 S.F. = 13%
MISC = 4,076 S.F. = 25%
OVERALL = 16,466 S.F. = 100%

ISSUED
Issued for Article 5 - May 24, 2017
Supplement for Article 5 - June 20, 2017
Issued for ADR - July 24, 2018



2
A-2.2
WEST ELEVATION IN COURTYARD
1/16"=1'-0"

BRICK = 1,725 S.F. = 31%
GLAZING = 1,632 S.F. = 29%
VINYL = 839 S.F. = 15%
MISC = 1,397 S.F. = 25%
OVERALL = 5,593 S.F. = 100%



3
A-2.2
EAST ELEVATION IN COURTYARD
1/16"=1'-0"

BRICK = 2,234 S.F. = 36%
GLAZING = 1,647 S.F. = 27%
VINYL = 855 S.F. = 14%
MISC = 1,429 S.F. = 23%
OVERALL = 6,165 S.F. = 100%

PROJECT TITLE
**The Addison
Buildings 6 & 7**



4
A-2.2
EAST ELEVATION
1/16"=1'-0"

BRICK = 3,430 S.F. = 36%
GLAZING = 2,981 S.F. = 31%
VINYL = 862 S.F. = 9%
MISC = 2,335 S.F. = 24%
OVERALL = 9,608 S.F. = 100%

North Park Lot 6
Aurora Avenue
Fitchburg, WI
SHEET TITLE
Elevations

SHEET NUMBER

A-2.2

PROJECT NO. **1332**
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