

Rec 1.017109 6/19/18 \$600.00 RB



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the BH district to the BG district the following described property:

1. **Location of Property/Street Address:** Lot 8 Orchard Pointe

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Lot 8 Orchard Pointe

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. **Proposed Use of Property - Explanation of Request:**

Dwellings Furniture Store with outdoor display and future adjacent tenant space.

3. **Proposed Development Schedule:** Construction August - December 2018

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): N/A

Total Dwelling Units Proposed: N/A **No. Of Parking Stalls:** Existing - No Change

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: _____ **No. Of Employees:** _____

Floor Area: _____ **No. Of Parking Stalls:** _____

Sewer: Municipal ☐ Private ☐ **Water:** Municipal ☐ Private ☐

Current Owner of Property: Tim Nietzel

Address: 5301 Voges Road, Madison, Wisconsin 53718 **Phone No:** 608-257-2600

Contact Person: Tim Nietzel

Email: kzinn@airtemperature.com

Address: 5301 Voges Road, Madison, Wisconsin 53718 **Phone No:** 608-257-2600

Respectfully Submitted By: _____ **Tim Nietzel**
Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 6/19/2018 **Publish:** _____ and _____

Ordinance Section No. _____ **Fee Paid:** \$600.00

Permit Request No. R2-2224-18



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Tim Nietzel

Address: 5301 Voges Road

Phone Number of Contact Person: 608-257-2600

City, State, Zip Code: Madison, WI 53718

Email of Contact Person: kzinn@airtemperature.com

Project Address: Dwellings Lot 8 Orchard Pointe

Lot: 8

Subdivision: _____

Project Type: _____ Multi-Family _____ ☒ Commercial _____ Industrial _____ Other

☒ New _____ Addition

Impervious Surface Ratio (ISR): 66.2 (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- ☐ 1. Lot or property dimensions.
- ☐ 2. Orientation (to north).
- ☐ 3. Adjacent highways, roads, drive, etc.
- ☐ 4. Existing natural features (rivers, ponds, wetlands).
- ☐ 5. Existing buildings and/or improvements.
- ☐ 6. Existing and proposed site drainage.
- ☐ 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- ☐ 8. ISR shall be indicated on all plans.
- ☐ 9. Stormwater management plans and details, including grading plan.
- ☐ 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- ☐ 1. Building size, configuration and orientation.
- ☐ 2. Distance from lot lines.
- ☐ 3. Distance from other buildings, improvements and natural features.
- ☐ 4. Location of well, septic tank, drainfield, etc. (if applicable)
- ☐ 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- ☐ 6. Construction type (wood frame, structural steel, etc.).
- ☐ 7. Foundation type (full basement, slab on grade, etc.).
- ☐ 8. Number of levels.
- ☐ 9. Siding/exterior covering type, color, texture, etc.
- ☐ 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- ☐ 11. Roofing material type, color, texture, etc.
- ☐ 12. Exterior door and window location, size, type, etc.
- ☐ 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- ☐ 1. Location of highway and road access points.
- ☐ 2. Location, size, configuration of drivers and walks.
- ☐ 3. Number, size, location of parking spaces.
- ☐ 4. Location of handicapped parking and accessible building entrances.
- ☐ 5. Bicycle rack(s).

ARCHITECTURAL AND DESIGN REVIEW APPLICATION

Page 2

Landscaping:

☐
☐
☐
☐

1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____ Date: _____
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

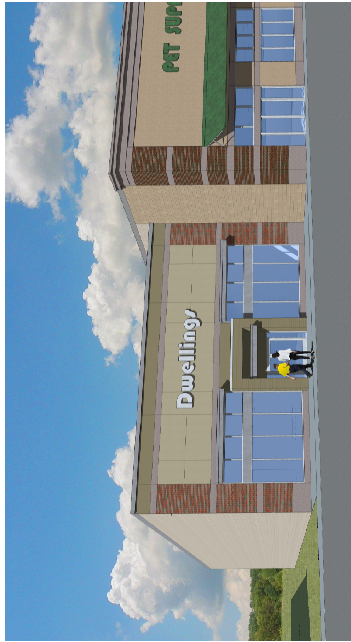
FOR CITY USE ONLY

Date Received: 6/19/2018 Plan Commission Date: _____

Comments:

DWELLINGS

Lot 8, Orchard Pt., Fitchburg, WI



Preliminary View to SW

Architecture :

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

General

Contractor:

KSW Construction
807 Liberty Dr., Verona, WI 53593
p: (608)845-2290 kswconstruction.com

Civil

Engineering:

Professional Engineering, LLC
818 N. Meadowbrook Ln., Waunakee, WI 53597
p: (608) 849-9378 pe-wi.com

PROJECT DATA

ZONING : EXISTING B-H (HIGHWAY BUSINESS) change to BG

BUILDING AREA : 7,000 SF GROUND FLOOR

1,650SF MEZZANINE

HEIGHT : 28' - 6"

SPRINKLERED

SLAB ON GRADE

CONSTRUCTION TYPE : II-B

IMPERVIOUS SURFACE RATIO = 66.2%

LIST OF DRAWINGS

C200 - Site Plan

C300 - Grading Plan

C301 - Erosion Control Plan

C400 - Utility Plan

Floor Plan

North Elevation

Exterior Views



PROJECT LOCATION

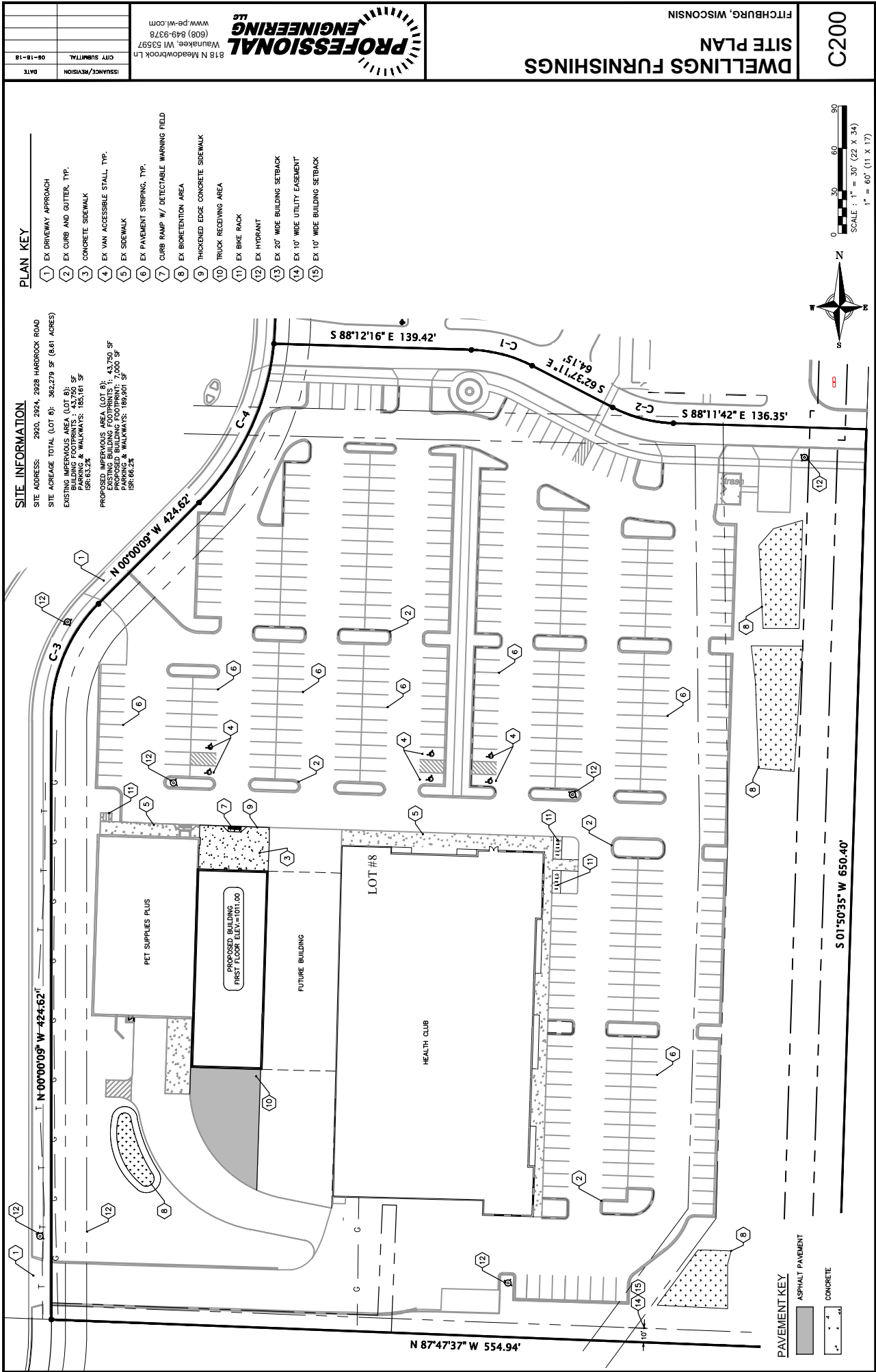
REZONING

PROJECT #

18048

19 JUNE 2018

G0.1



SITE INFORMATION

SITE ADDRESS: 2920, 2924, 2928 HARDROCK ROAD
SITE ACREAGE TOTAL (LOT 8): 362,279 SF (8.61 ACRES)
EXISTING IMPROVED AREA (LOT 8):
PARKING & WALKWAYS: 3,150 SF
PARKING & WALKWAYS: 162,101 SF
ISR: 63.2%

PROPOSED IMPROVED AREA (LOT 8):
EXISTING BUILDING FOOTPRINTS: 1: 43,750 SF
EXISTING BUILDING FOOTPRINTS: 2: 100,000 SF
PARKING & WALKWAYS: 189,901 SF
ISR: 66.2%

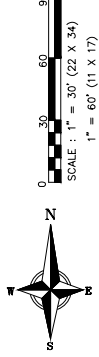
PLAN KEY

- 1 EX DRIVEWAY APPROACH
- 2 EX CURB AND GUTTER, TYP.
- 3 CONCRETE SIDEWALK
- 4 EX VAN ACCESSIBLE STALL, TYP.
- 5 EX SIDEWALK
- 6 EX PAVEMENT STRING, TYP.
- 7 CURB RAMP W/ DETECTABLE WARNING FIELD
- 8 EX BIKE RACK
- 9 EX HYDRANT
- 10 EX 20' WIDE BUILDING SETBACK
- 11 EX 10' WIDE UTILITY EASEMENT
- 12 EX 10' WIDE BUILDING SETBACK

DWELLINGS FURNISHINGS
SITE PLAN

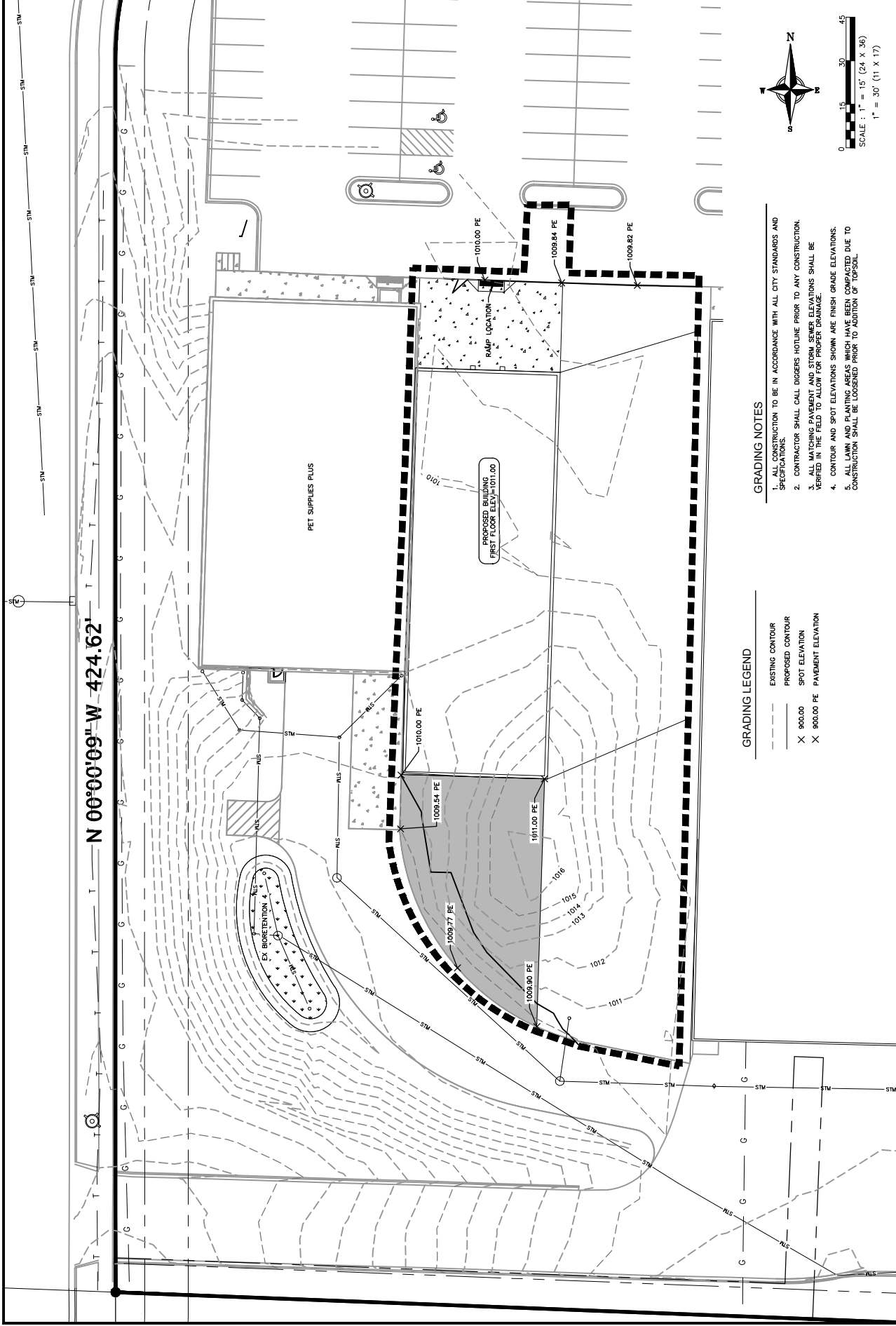
FITCHBURG, WISCONSIN

C200



PAVEMENT KEY

- ASPHALT PAVEMENT
- CONCRETE

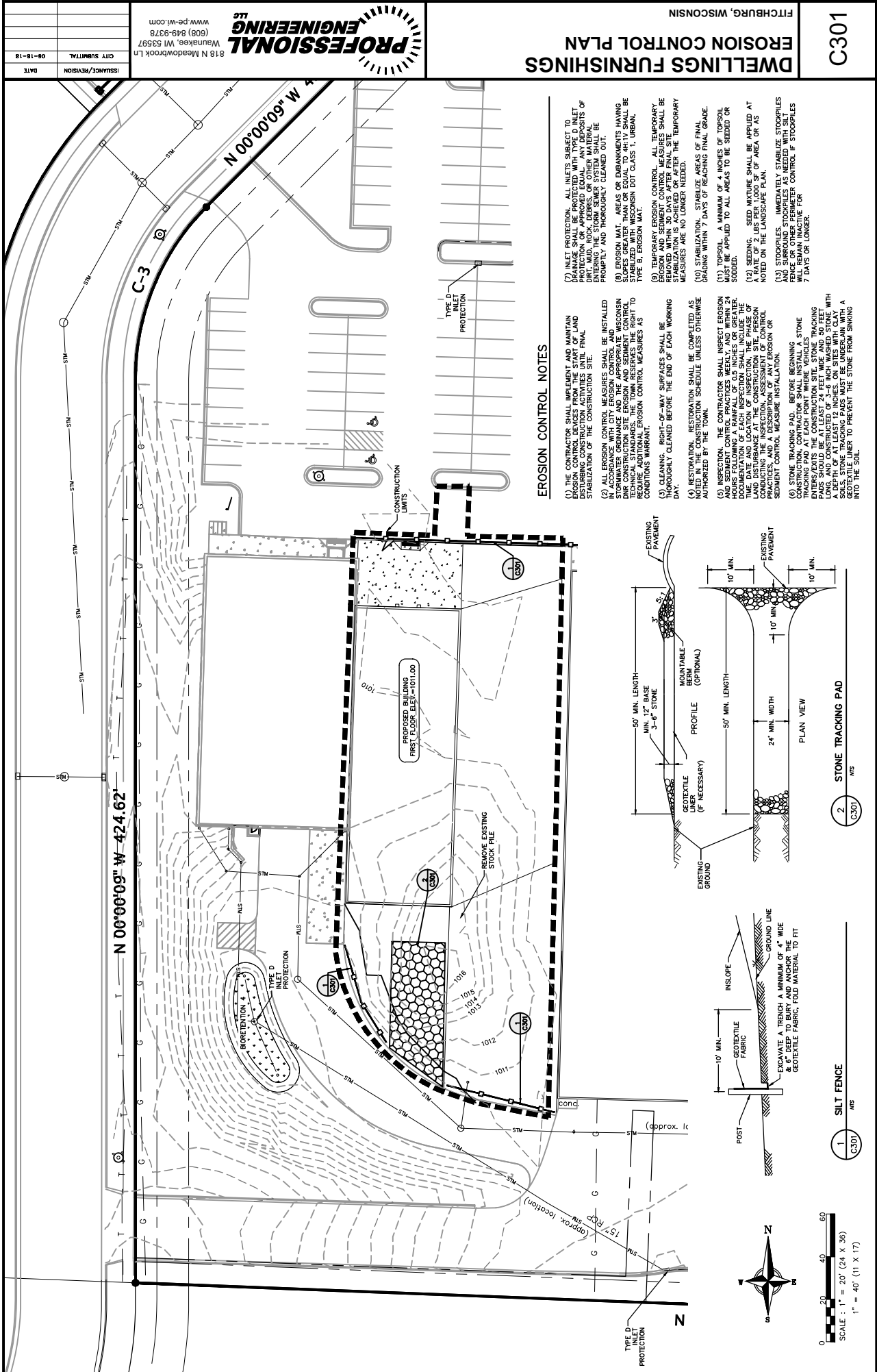


GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENED PRIOR TO ADDITION OF TOPSOIL.

GRADING LEGEND

- | EXISTING CONTOUR | PROPOSED CONTOUR | SPOT ELEVATION | PAVEMENT ELEVATION |
|------------------|------------------|----------------|--------------------|
| --- | --- | X 900.00 | X 900.00 PE |



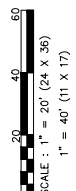
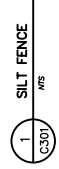
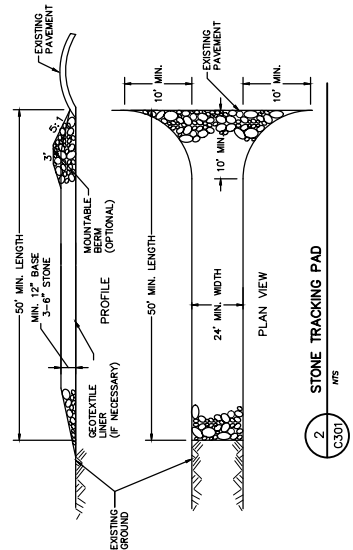
DWELLINGS FURNISHINGS EROSION CONTROL PLAN

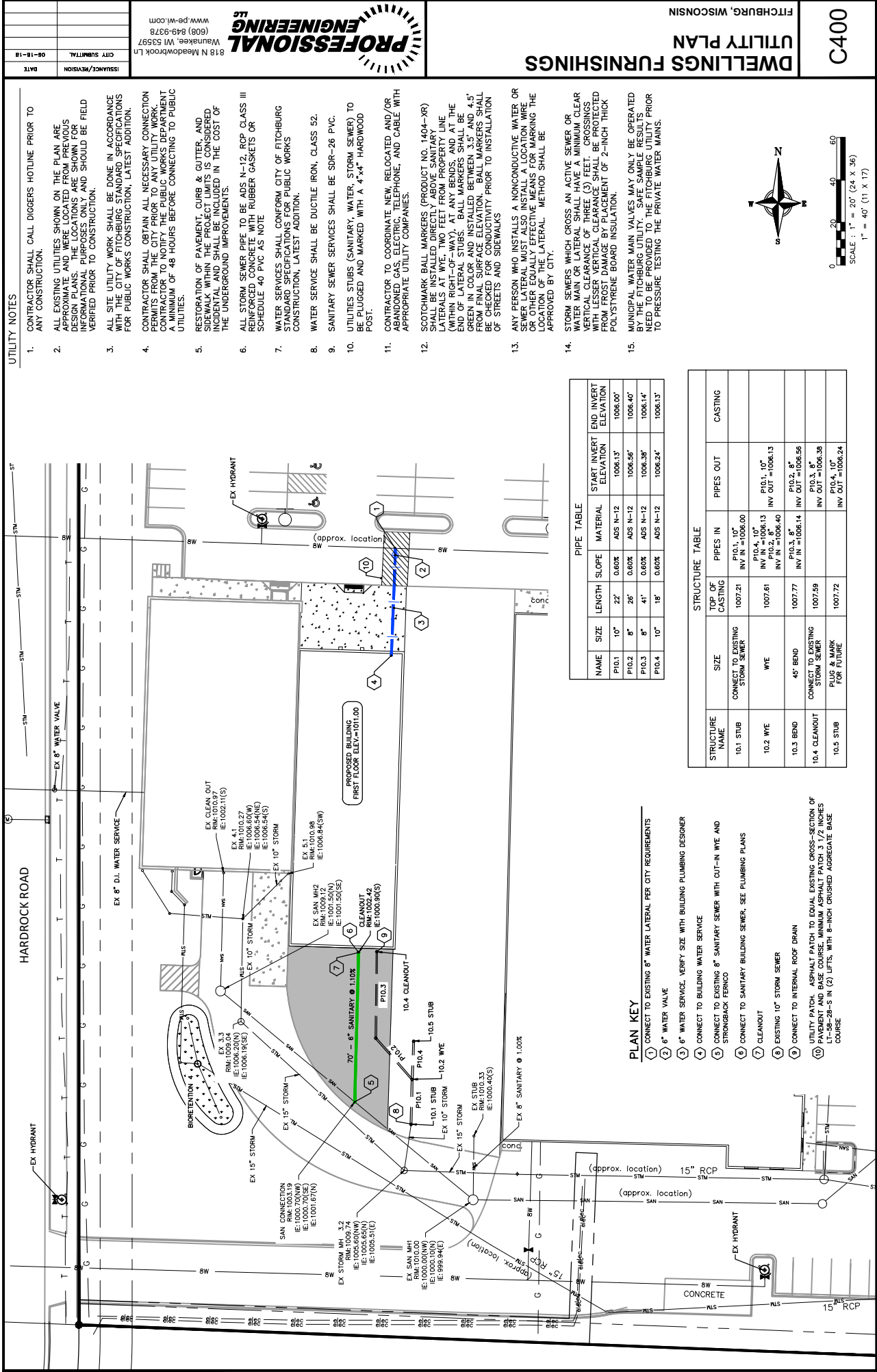
FITCHBURG, WISCONSIN

C301

EROSION CONTROL NOTES

- (1) THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CITY EROSION CONTROL AND SEDIMENT CONTROL ORDINANCES. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (3) CLEANING, RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- (4) RESTORATION, RESTORATION SHALL BE COMPLETED AS AUTHORIZED BY THE TOWN.
- (5) INSPECTION, THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES DAILY AND AFTER EACH WORKING DAY. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (6) STONE TRACKING PAD, BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD.





818 N Meadowbrook Ln
Waunakee, WI 53597
(608) 849-9378
www.pe-wi.com

PROFESSIONAL
ENGINEERING LLC

DATE

CITY SUBMITTAL

ISSUANCE/REVISION

08-18-18

DWELLINGS FURNISHINGS

UTILITY PLAN

FITCHBURG, WISCONSIN

C400

0 20 40 60
SCALE : 1" = 20' (24 x 36)
1" = 40' (11 x 17)

UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE, AND WERE LOCATED FROM PREVIOUS DESIGN PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.

4. CONTRACTOR SHALL OBTAIN ALL NECESSARY CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.

5. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE PROJECT LIMITS IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.

6. ALL STORM SEWER PIPE TO BE ADS N-12, RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS OR SCHEDULE 40 PVC AS NOTE

7. WATER SERVICES SHALL CONFORM CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.

8. WATER SERVICE SHALL BE DUCTILE IRON, CLASS 52.

9. SANITARY SEWER SERVICES SHALL BE SDR-26 PVC.

10. UTILITIES STUDS (SANITARY, WATER, STORM SEWER) TO BE PLUGGED AND MARKED WITH A 4"x4" HARDWOOD POST.

11. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.

12. SCOTCHMARK BALL MARKERS (PRODUCT NO. 1404-XR) SHALL BE USED TO MARK ALL EXISTING AND PROPOSED LATERALS AT WYE, TWO FEET FROM PROPERTY LINE (WITHIN RIGHT-OF-WAY), AT ANY BENDS, AND AT THE END OF LATERAL STUDS. BALL MARKERS SHALL BE GREEN IN COLOR AND INSTALLED BETWEEN 3.5' AND 4.5' FROM FINAL SURFACE ELEVATION. BALL MARKERS SHALL BE CHECKED FOR ACCURACY WITH PRIOR TO INSTALLATION OF STREETS AND SIDEWALKS

13. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE AND ORIENTED MARKER AT EACH END OF THE LATERAL, MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY CITY.

14. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEARANCE OF 18" FROM THE TOP OF THE EXISTING UTILITY. IF THE CLEARANCE WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.

15. MUNICIPAL WATER MAIN VALVES MAY ONLY BE OPERATED BY THE FITCHBURG UTILITY. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.

PIPE TABLE					
NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION
P10.1	10"	22'	0.60%	ADS N-12	1006.13'
P10.2	8"	26'	0.60%	ADS N-12	1006.40'
P10.3	8"	41'	0.60%	ADS N-12	1006.38'
P10.4	10"	18'	0.60%	ADS N-12	1006.24'

STRUCTURE TABLE					
STRUCTURE NAME	SIZE	TOP OF CASTING	PIPES IN	PIPES OUT	CASTING
10.1 STUB		1007.21	P10.1, 10" INV IN =1006.00		
10.2 WYE		1007.61	P10.4, 10" INV IN =1006.13 P10.2, 8" INV IN =1006.40	P10.1, 10" INV OUT =1006.13	
10.3 BEND		1007.77	P10.3, 8" INV IN =1006.14	P10.2, 8" INV OUT =1006.56	
10.4 CLEANOUT		1007.59		P10.3, 8" INV OUT =1006.38	
10.5 STUB		1007.72		P10.4, 10" INV OUT =1006.24	

- PLAN KEY**

1. CONNECT TO EXISTING 8" WATER LATERAL PER CITY REQUIREMENTS

2. 6" WATER VALVE

3. 6" WATER SERVICE, VERIFY SIZE WITH BUILDING PLUMBING DESIGNER

4. CONNECT TO BUILDING WATER SERVICE

5. CONNECT TO EXISTING 8" SANITARY SEWER WITH CUT-IN WYE AND STRONGBACK FERROCO

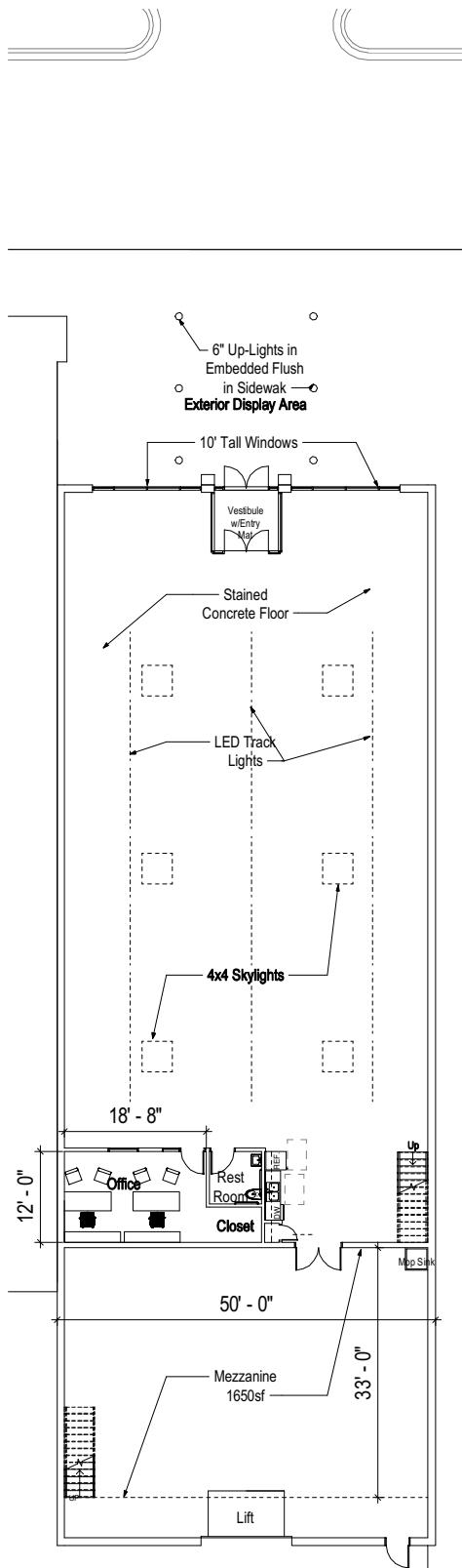
6. CONNECT TO SANITARY BUILDING SEWER, SEE PLUMBING PLANS

7. CLEANOUT

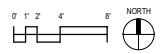
8. EXISTING 10" STORM SEWER

9. CONNECT TO INTERNAL ROOF DRAIN

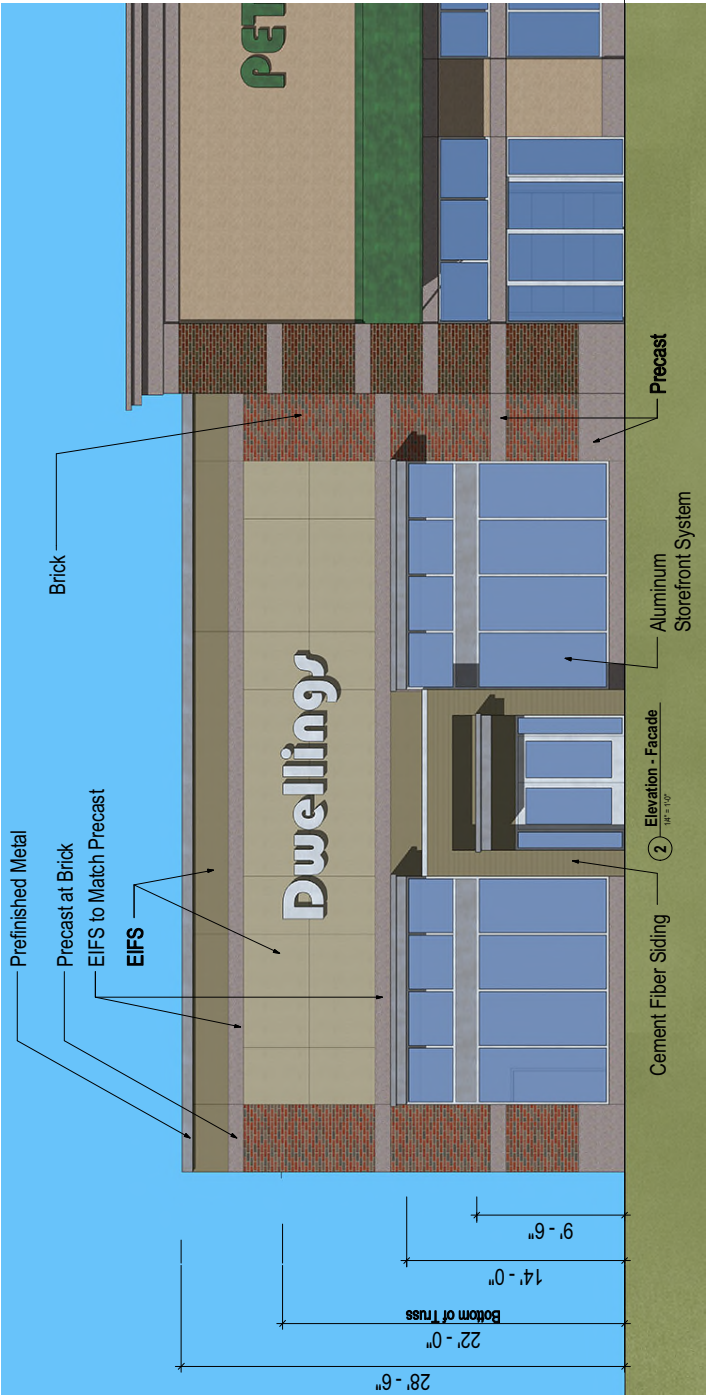
10. UTILITY PATCH, ASPHALT PATCH TO EQUAL EXISTING CROSS-SECTION OF PAVEMENT AND BASE COURSE, MINIMUM ASPHALT PATCH 3 1/2 INCHES L1-36-28-S IN (2) LIFTS, WITH 8-INCH CRUSHED AGGREGATE BASE COURSE

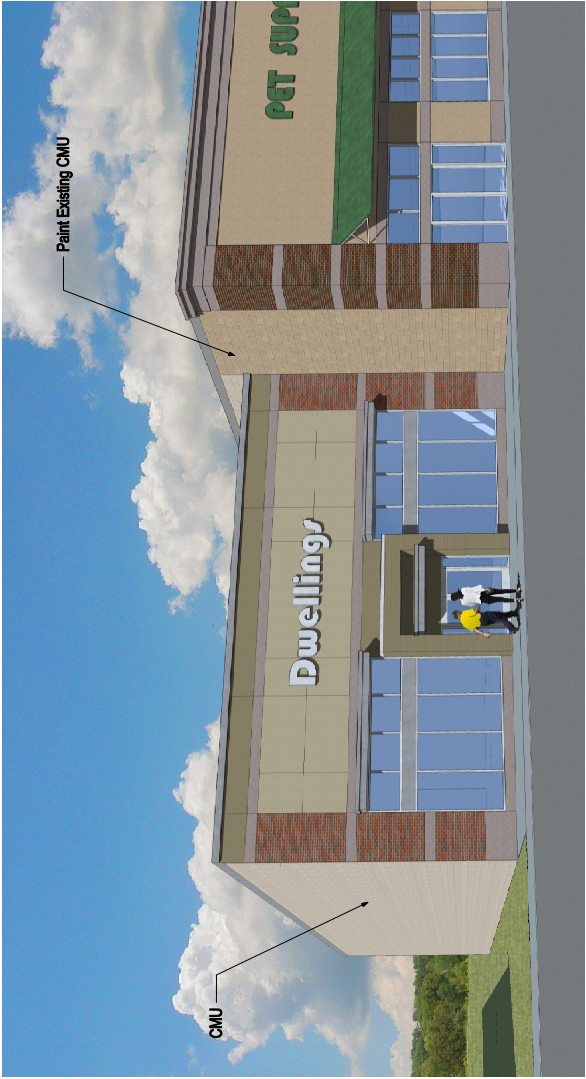


① 01-FIRST FLOOR.
1/8" = 1'-0"

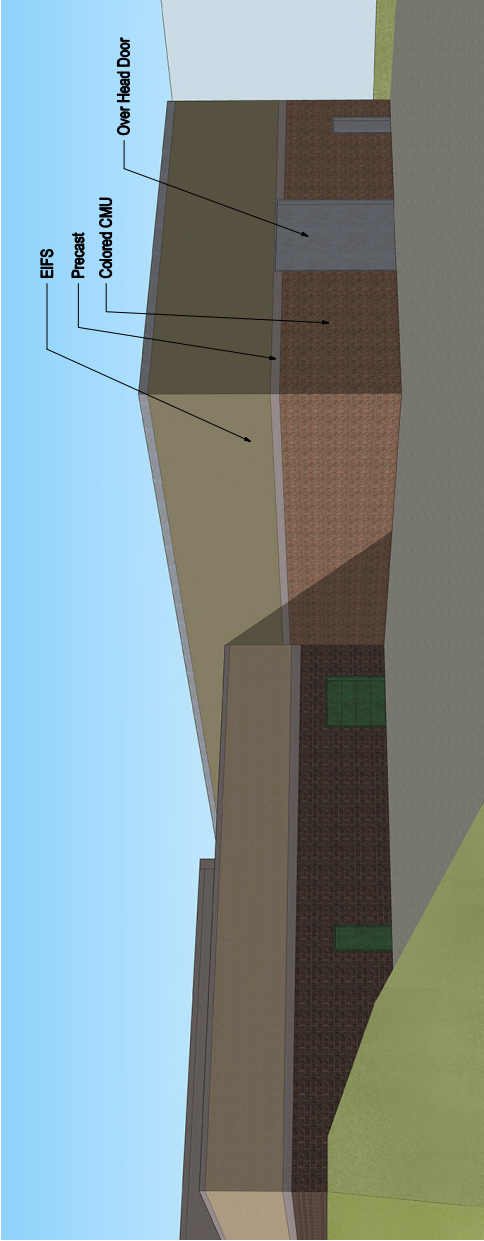


DWELLINGS





View to SW



View to NE

DWELLINGS

Lot 8, Orchard Pl., Fitchburg, WI
City of Fitchburg
18 June 2018
B0418