

1,015882 1/23/18 KB



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the R-D district to the PDD district the following described property:

1. **Location of Property/Street Address:** 2991 County Highway MM, Lot 3 CSM 3535 and Lot 1 & 2 CSM 3598

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Lot 1 CSM 3598/PIN 225/060901399400 (1 acre)
Lot 2 CSM 3598/PIN 225/060901395404 (14.108 acres)
Lot 3 CSM 3535/PIN 225/060901381704 (17.68 acres)
Metes & bounds 0609-013-9375-2 (1.16 acres)

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. **Proposed Use of Property - Explanation of Request:**

Rezoning request to establish an SIP - PDD for @Edge Live/Work for a residential / mixed-use development

3. **Proposed Development Schedule:** See attached exhibit provided with this application

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Market Rate Rental or Apartment Style Housing

Total Dwelling Units Proposed: 501 units **No. Of Parking Stalls:** 976 stalls

Type of Non-residential Development (If Applicable): Commercial/Retail

Proposed Hours of Operation: Unknown **No. Of Employees:** Unknown

Floor Area: Refer to Matrix Table for **Buildings Breakdown** **No. Of Parking Stalls:** 148

Sewer: Municipal Private **Water:** Municipal Private

Current Owner of Property: Nine Springs Hill, Inc.

Address: 2991 County Highway MM

Phone No: _____

Contact Person: Kevin Yeska

Email: kevin.yeska@jsdinc.com

Address: 161 Horizon Drive, Suite 101 Verona, WI 53593

Phone No: 608-848-5060

Respectfully Submitted By: [Signature]
Owner's or Authorized Agent's Signature

Kevin Yeska
Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: **Date Received:** 1/23/2018 **Publish:** _____ and _____

Ordinance Section No. _____ **Fee Paid:** \$850.00

Permit Request No. RZ-2198-18

Memorandum

www.jsdinc.com

To: Susan Badtke, Community Planner, City of Fitchburg
From: Kevin Yeska, JSD
Re: @Edge Live/Work
JSD Project #: 16-7678
Date: January 23, 2018
cc: Randy Alexander, Torque Real Estate; Chris Gosch, Populance; Hans Justeson, JSD; Rachel Holloway, JSD; Bill Dunlop, JSD

Overview

On behalf of Torque Companies, JSD Professional Services, Inc. (JSD) is requesting consideration and approval of a Specific Implementation Plan (under Planned Development District zoning) and Final Plat for the *@Edge Live/Work* development, which is generally located south of the intersection of CTH MM and McCoy Road, between U.S. Highway 14 and CTH MM. This submittal consists of:

1. A Final PLAT based on the Preliminary Plat that was conditionally approved on January 9, 2018
2. Engineering Plans for the development
3. A SIP based on the GIP that was conditionally approved on January 9, 2018 (a copy of the recorded GIP will be provided as it was recorded at the Register of Deeds on 01-22-18)
4. A street right-of-way Discontinuance Request (recorded Lis Pendens) for Loniello Court (a copy of the recorded Lis Pendens will be provided as it was recorded at the Register of Deeds on 01-22-18)
5. A Certified Survey Map (CSM) for the Dale Osborn property adjacent to the south, to memorialize new lot boundaries associated with the Loniello Court discontinuance
6. Materials for Architectural Design Review for buildings in Phase 1 of @Edge

As previously presented, the project will contain multi-tenant work spaces, live-work units, and residential apartment complexes meant to cater to entrepreneurs and tech-oriented individual/groups. The location of the project site provides a viable opportunity for market rate renters and owner occupied commercial uses.

Project Lands

The project is comprised of 34.08 acres across four parcels of land situated at 2991 County Highway MM. The subject property includes Lot 3 of CSM 3535, Lots 1 & 2 of CSM 3598, and a portion of an unplatted parcel owned by Dale Osborn that runs along USH 14, which will be transferred to Torque Companies for use as an outlot as part of this development. Following City approvals, the intended sequence of recordings is to record the discontinuance order for Loniello Court, followed by the CSM to establish new lot boundaries, transfer ownership of the 1.2-acre outlot via Quit Claim Deed, and record the Final Plat.

Municipal Coordination and Feedback to Date

The applicants have coordinated with City staff and other agencies throughout the project. Meetings held to date include the following:

- July 18, 2017 – Pre-Application conference with the Plan Commission
- May 18, 2017 - Neighborhood Meeting #1
- August 14, 2017 – Neighborhood Meeting #2
- November 9, 2017 – Meeting with City Public Works Staff to discuss access, streets, and design options
- December 1, 2017 – Traffic Study Coordination Meeting with City and County staff
- December 21, 2017 – On-Site Coordination Meeting with City Public Works and Fire Department Staff to discuss utilities and clarify review comments
- January 5, 2017 – On-Site Meeting with City Staff on sanitary sewer easement and multi-use trail
- January 10, 2018 – CTH MM Draft TIA Review and Improvements Concept Review meeting with City and County Staff
- January 18, 2018 – Weekly Coordination Meeting with City Engineering to discuss design details

Coordination on final engineering design for CTH MM improvements is continuing at the time of this submittal, and weekly engineering meetings are currently scheduled. The final TIA is a part of this submittal and design details for the improvements of CTH MM through the development require additional input from and coordination with Dane County Highways, the City, the City of Madison Traffic Engineering (the City's design agent for signals), and Alliant Energy (utility relocations.)

Final Plat

The project site is currently comprised of 34.08 acres, including the following:

- Lot 1 CSM 3598/PIN 225/060901399400 (1 acre)
- Lot 2 CSM 3598/PIN 225/060901395404 (14.108 acres)
- Lot 3 CSM 3535/PIN 225/060901381704 (17.68 acres)
- Unplatted lands adjacent to USH 14 (1.16 acres, currently owned by Dale Osborn)

The Plat will result in the creation of 17 buildable lots and 3 outlots for stormwater management and open space. Since the approval of the Preliminary Plat, coordination with City Staff in order to meet the conditions of approval in Resolution R-23-18 requiring that the applicants address public works comments on the engineering plans prior to, or with submission of, the Final Plat. The enclosed plan documents and data tables reflect these efforts and provide additional details.

The release of two utility easements to the Town of Fitchburg must be completed prior to the recording of the plat. The two easements are noted on Lot 1 CSM No. 3598 per document no. 1676046, and another per document no. 1676938. A specific request will be submitted separately to the City.

Future Subdividing of Lands

At a future date, the ownership group may wish to subdivide Lots 10 and 11 via CSM to establish additional lots within Lot 10 and Lot 11. Building G1, G2, G3 and Building G4, G5, G6, although connected, will be designed to accommodate a property line division with a fire wall separation. The architectural team has been working closely with the City of Fitchburg Fire Department to accommodate this potential future subdivision.

Land Use

The project will mirror Fitchburg's tradition of recycling material, re-use, and reduction. It will be a national model for redevelopment into an environmentally conscious and vibrant community. Sustainability practices

include a variety of live/work options, efficient building and site design, passive and active solar, water catchment, community gardens and recreational venues. The development will create a modern urban live/work environment where design, art, agriculture, community, and commerce are in balance with nature.

The development proposal includes the construction of a mixed-use development hosting a variety of non-residential uses, including commercial space (i.e. retail, restaurant, professional office) and residential apartment-style dwelling units, including efficiency, one- and two-bedroom, and live/work units.

The development proposal includes private street, path and pedestrian walkway to promote an environment that is friendly to non-motorized transportation while accommodating resident and visitor vehicular traffic. Narrow, urban street with a variety of parking options, stop controlled intersections and wider walks and paths are used to create the desired urban environment within the development. Each of these features have been designed with public safety and specifically emergency vehicle access in mind to ensure the improvements promote public safety. Refer to the following Exhibits for additional development details:

- 04.0 - @Edge Master Plan
- 04.1 – @Edge Land Use, Unit Count, Vehicular Parking Count Summary Table
- 04.3 – @Edge Bike Parking Count Summary Table
- 04.4 – @Edge Phasing Plan

Site Access, Circulation, and Parking

@Edge Live/Work will be served by three points of access from CTH MM. Today, the site is served by three points of access; however, due to studies of the sight distances as part of the TIA and topographic constraints two of the three existing access drives will be relocated. The locations of these access points have been reviewed and approved by the City and Dane County Highway Department. The access point furthest south, currently Loniello Court, is an existing access from CTH MM that is today a cul-de-sac. This access will remain in place and will be improved as an urban street and re-named Runa Way. The engineering plans enclosed in this submittal reflect the recommendations in the traffic analysis and the discussions that have taken place to date with City and County officials. The plans contained in this submittal are will be submitted concurrently to Dane County for review.

Torque Companies and JSD have had substantial discussions with City and County regarding the anticipated intersections proposed.

- JSD proposes a signalized, full movement intersection at CTH MM and Runa Way, including right turn lane into and required tapers out of the development.
- The Bier Way/MM intersection proposed to be a right-in, right-out intersection. Based on the results of the TIA and guidance from the City and County this intersection will be right-in only until the speed along CTH MM is reduced and/or the roadway is fully developed into a four-lane urban section. The plans reflect the current improvements and an allowance for future improvements.

It is understood that all access points and intersection designs will be confirmed with City and County staff prior to the recording of the Final Plat.

In the course of coordinating with City Public Works staff on the details of street design, the applicant team has attempted to accommodate the City's feedback as much as possible. However, certain challenges arose

that would have required significant redesign to the project in order to meet requirements for right-of-way widths (specifically, the widths for travel lanes, parking stalls and terraces). It is our belief that the current proposed design provides adequate space for rights-of-way to serve the development in a safe and efficient manner, both for day-to-day use and emergency services. In order to resolve the concerns of City Staff the streets serving @Edge are now proposed to be entirely private rights-of-way. All streets and sidewalks will be maintained per the Developer Agreement.

Bicycle Transportation and Parking

@Edge Live/Work is excited to bring forward a development with multi-modal forms of transportation for residents of and visitors to the City of Fitchburg. A multi-use path is proposed for this development on the west side of Runa Way that will provide connectivity through the development as well as future connections to the larger multi-use path system, including the Lacy Road/County MM bike path and Captial City Trail located at the corner of East Clayton Road and County MM. The proposed multi-use path will improve pedestrian and bicycle safety in the area by diverting pedestrian and bike traffic away from County MM into the project site, allowing them to experience the @Edge Live/Work development first-hand.

Residents of @Edge Live/Work will have the opportunity to park their bicycles in either long-term secure bicycle parking within the buildings or in short-term, public bike parking spaces. Refer to Exhibit 04.1 – Land Use, Unit Count, Vehicular Parking Count Summary Table for additional detail.

Building Design

Industrial modern design is about exposing what lies beneath to uncover a creative and unique energy and style. What others are at pains to hide, we boldly put on display. There is no trim to cover imprecise craftsmanship, the details celebrate the process of how materials are made, how all of the pieces fit together, and the many talented tradespeople coming together in a coordinated assembly.

The form and structural elements are turned into expressive showpieces, a natural and beautiful visual language that inspires inside and out. Throughout, there are opportunities to juxtapose the raw with the refined, and incredible thought goes into every detail. Form and function are both equally important in the design of the project and public and private spaces.

Outside, textural interplay of grainy, earthy wood and smooth, lustrous metal provide a way to accentuate and define materials in a way that is true to their form and function. Well placed accents and lighting define spaces and edges for a sense of understanding of the project as a whole. Concrete plays an essential role in modern industrial design, either polished to a high gloss or left matte or unfinished, the versatility and durability of concrete is unparalleled for the industrial modern design aesthetic. Broad brushstrokes of xeriscape plantings and hand-packed gabion retaining wall structures compliment the material palette, and supplement the crisp geometric forms with softened edges

Inside, exposed beams, visible duct work, conduit, and sprinklers add interest and visual dimension against a surface that is normally painfully concealed in other design styles, exposing the thought process by tracing their design. The most basic and important element- sunlight- tracks through the interior reflecting off the variety of materials and textures, creating an environment that is both inspirational and functional. Open spaces are flexible to allow room to expand, move, adapt, and grow. Spaces have different functions, but can be combined in many different ways. Creative ways of using and combining space allow for an ever changing and stimulating environment

Intended Signage Design

Clear and memorable signage is consistent and integrated with the building and site design and takes advantage of the rich and unique material palette that is part of the project. Consistent themes include the interplay of materials and graphics while maintaining an underlying logic that assists in wayfinding and communication.

Clear and legible letter and number styles provide high visibility and a style that is at home with the residents of this development.

Intended Fencing Design

To establish a form of privacy for residents the development will propose a number of 6' and 8' tall privacy fences. An 8' tall perimeter screening fence will be constructed between the @Edge development and the Osborn fill/excavation property to the south during Phase 1. A 6' tall fence with the same architectural style will also be proposed at the "B" Live/Work units to separate backyards and create privacy between neighbors. Refer to architectural plans for fence details. The fence will be comprised of 4'x4' wood posts with white flashing over black stained slats.

Landscape Design

The landscape materials and design will compliment and build on visual themes and styles established by the proposed architecture within the @Edge Live/Work development. Landscaping and diverse outdoor spaces/amenities will be provided throughout the development to create welcoming places to sit or walk between the buildings.

A variety of plantings will be used to highlight and define the edges of the overall development and architecture. An emphasis will be placed on low maintenance practices by using a biodiversity of native perennial species, particularly grasses and wildflowers, around building foundations. The species provided will be carefully selected to provide four season interest throughout the development by use of texture, flower color, fall color, and form. Open space areas and courtyards throughout the development will be highlighted with trees, shrubs and perennials that soften the hardscape/density of buildings and create outdoor rooms for various amenities highlighted in the site amenities plan.

Intended Open Space Design

Open space remains a critical component to the @Edge Live/Work development. The organization of buildings in the central block creates a communal courtyard space, functioning as an amenity that is usable space for residents and visitors.

The master plan incorporates a 8-foot wide public multi-use path along the west side of Runa Way to connect to anticipate future path development along CTH MM. Furthermore, the path provides a link to the Capital City Trail, which crosses CTH MM just north of the project site. Auxiliary walking paths linking to the multi-use path, creating an internal path network, are incorporated on the west side of the development. These paths will provide opportunities for both active and passive recreation, as well as safe routes for active recreation and walking pets.

Public Improvements

Public improvements associated with the development proposal include the construction of:

- Approximately 3,400 linear feet of private roadways to provide public access incorporating varying right-of-way widths, parallel parking stalls, and reverse angle parking
- 5-foot wide sidewalks adjacent to proposed private streets;
- 8-foot wide multi-use path;
- County Highway MM roadway and intersection improvements; and
- Sanitary, storm and water utilities to services the proposed buildings.

Stormwater Management, Utilities, and Environmental Remediation

Stormwater will be retained on-site by two detention basins and a water catchment system that will provide water for the community gardens, community dog wash, and a community car wash station.

Remediation of the site will involve the removal (approximately 93,000 cubic yards) of potentially unstable materials from all building footprint areas, road/drive areas, and utility trench areas. The concrete, blacktop, and other masonry materials will be crushed and if compliant with city specifications will be re-utilized for roads, utility trenches, and building footprints once steel and plastic materials are separated. Additional new, engineered fill meeting city specifications will be imported for the construction of roads, utility trenches, and building footprints. A geo-synthetic grid will be used to reinforce the new engineered fill.

The project site is marked by its significant topography as one moves across the site from the south to the north. Both the northern and western edges of the site are unbuildable, with very steep slopes. These slopes are comprised of concrete slabs, some the size of cars, that retain the 50-75 feet of fill on the balance of the site. Interspersed between the concrete and rubble are invasive trees and plants. Remediation of these areas will require the removal of these trees. The shavings from these trees will be used in the redeveloped landscape and gardens. After the removal of steel and plastics, the concrete will be broken into smaller aggregates. Recycling of these materials, along with construction waste, will be implemented, along with appropriate measures for erosion control. New soils will be placed on these slopes and planted with native species that are non-invasive and drought resistant. Terracing will create walking paths, a small amphitheater, and gardens for the site's future occupants.

Schedule of Completion

Construction is anticipated to begin spring 2018 with initial occupancy anticipated for late summer 2019. Overall, construction is estimated to take approximately three years, with an anticipated completion date of July 2021. Occupancy would be absorbed equally over the course of construction (refer to Exhibit 4.4 –Phasing Plan).

SHEET INDEX

- C0.1: EXISTING CONDITIONS SURVEY
- C100: GENERAL NOTES AND LEGENDS
- C200: OVERALL SITE PLAN
- C201: SITE PLAN
- C202: SITE PLAN
- C203: SITE PLAN
- C204: SITE PLAN
- C300: OVERALL GRADING PLAN
- C400: OVERALL UTILITY PLAN
- C500: DETAILS
- C501: DETAILS
- C502: DETAILS
- L100: LANDSCAPE NOTES, DETAILS & SPECIFICATIONS
- L200: OVERALL LANDSCAPE PLAN
- L201: LANDSCAPE PLAN
- L202: LANDSCAPE PLAN
- L203: LANDSCAPE PLAN
- L204: LANDSCAPE PLAN

- A1-A101: BUILDING A1 FLOOR PLAN
- A1-A401: BUILDING A1 ELEVATIONS
- A2-A101: BUILDING A2 FLOOR PLAN
- A2-A401: BUILDING A2 ELEVATIONS
- A3-A101: BUILDING A3 FLOOR PLAN
- A3-A401: BUILDING A3 ELEVATIONS
- A4-A101: BUILDING A4 FLOOR PLAN
- A4-A401: BUILDING A4 ELEVATIONS
- A5-A101: BUILDING A5 FLOOR PLAN
- A5-A401: BUILDING A5 ELEVATIONS

- B1-A101: BUILDING B1 FLOOR PLAN
- B1-A401: BUILDING B1 ELEVATIONS
- B2-A101: BUILDING B2 FLOOR PLAN
- B2-A401: BUILDING B2 ELEVATIONS
- B3-A101: BUILDING B3 FLOOR PLAN
- B3-A401: BUILDING B3 ELEVATIONS
- B4-A101: BUILDING B4 FLOOR PLAN
- B4-A401: BUILDING B4-5 ELEVATIONS
- B6-A101: BUILDING B6 FLOOR PLAN
- B6-A401: BUILDING B6 ELEVATIONS

- E1-A101: BUILDING E1 FLOOR PLAN
- E1-A401: BUILDING E1 ELEVATIONS
- E2-A101: BUILDING E2 FLOOR PLAN
- E2-A401: BUILDING E2 ELEVATIONS
- E3-A101: BUILDING E3 FLOOR PLAN
- E3-A401: BUILDING E3 ELEVATIONS
- E4-A101: BUILDING E4 FLOOR PLAN
- E4-A401: BUILDING E4 ELEVATIONS

- G1-A101: BUILDING G1 FLOOR PLAN
- G1-A401: BUILDING G1 ELEVATIONS
- G2-A101: BUILDING G2 FLOOR PLAN
- G2-A401: BUILDING G2 ELEVATIONS
- G3-A101: BUILDING G3 FLOOR PLAN
- G3-A401: BUILDING G3 ELEVATIONS
- G4-A101: BUILDING G4 FLOOR PLAN
- G4-A401: BUILDING G4 ELEVATIONS
- G5-A101: BUILDING G5 FLOOR PLAN
- G5-A401: BUILDING G5 ELEVATIONS
- G6-A101: BUILDING G6 FLOOR PLAN
- G6-A401: BUILDING G6 ELEVATIONS
- G7-A101: BUILDING G7 FLOOR PLAN
- G7-A401: BUILDING G7 ELEVATIONS
- G8-A101: BUILDING G8 FLOOR PLAN
- G8-A401: BUILDING G8 ELEVATIONS
- G9-A101: BUILDING G9 FLOOR PLAN
- G9-A401: BUILDING G9 ELEVATIONS

- AB-101: ACCESSORY BUILDING @ A4
- AB-102: ACCESSORY BUILDING @ G4
- AB-103: ACCESSORY BUILDING @ G1, TRASH ENCLOSURE, CARPORT, FENCE

- M101: MATERIALS
- M102: MATERIALS
- M103: MATERIALS
- M104: MATERIALS

- S101: SIGNAGE TYPES
- S102: SIGNAGE TYPES
- S103: SIGNAGE TYPES
- S104: SIGNAGE TYPES
- S105: SIGNAGE TYPES
- S106: SIGNAGE TYPES
- S107: SIGNAGE LOCATION MAP

PLAN COMMISSION

SIP SUBMITTAL

WWW.POPULANCE.COM
STUDIO@POPULANCE.COM
608.333.1926

DATE
01.23.18

TORQUE COMPANIES

@EDGE
COUNTY HIGHWAY MM
FITCHBURG, WI

COVER



OVERALL SITE PLAN

@EDGE LIVE/WORK
CITY OF FITCHBURG, WISCONSIN
JANUARY, 2017

MASTER PLAN



EXISTING CONDITIONS SURVEY

LOT 3, CERTIFIED SURVEY MAP No. 3535, RECORDED IN VOLUME 14, PAGES 124-125, AS DOCUMENT 1676937 AND LOTS 1 AND 2, CERTIFIED SURVEY MAP No. 3895, RECORDED IN VOLUME 14, PAGES 234-235, AS DOCUMENT 1691387, LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 01, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

LEGEND

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
- CONTROL POINT
- SETTLING PLATE
- "D" BENCHMARK
- SI
- ENDWALL/END OF PIPE
- STORM MANHOLE
- POWER POLE W/OUY
- TELEPHONE PEDESTAL
- DECIDUOUS TREE
- CHORD LINE
- CENTRIELINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- PROPERTY LINE
- EASEMENT LINE
- FENCE LINE
- EDGE OF GRAVEL
- STORM SEWER
- OVERHEAD LINE
- UNDERGROUND TELEPHONE
- EDGE OF WOODS OR BRUSH
- 855- INDEX CONTOUR
- 854- INTERMEDIATE CONTOUR
- DITCH LINE
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- GRAVEL
- EDGE OF BITUMINOUS
- () DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRIVED BY THIS SURVEY

NOTES

1. FIELD WORK COMPLETED BY JSD PROFESSIONAL SERVICES, INC. ON MAY & SEPTEMBER 2017.
2. BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY ZONE, THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 01-06-09, BEARS N 85°29'25" W.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A RAIL ROAD SPIRE MARKING THE SOUTH 1/4 CORNER OF SECTION 01, TOWN, RANGE, ELEVATION = 948.82
4. CONTOUR INTERVAL IS ONE FOOT.
5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPEARANCES. LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOTLINE TICKET NO. 20171003764, 20171003835, 20171003839, AND 20171003890, WITH A CLEAR DATE OF MARCH 13, 2017.
6. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: CHARTER COMMUNICATIONS AT&T WISCONSIN INDEPENDENT NETWORK
7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES. CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
8. JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE CONTROL POINT ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
9. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
10. COUNTY TRUNK HIGHWAY 14 IS A CONTROLLED ACCESS HIGHWAY PURSUANT TO CHAPTER 79 OF THE DANE COUNTY CODE OF ORDINANCES.
11. U.S.H. "14" IS A CONTROLLED ACCESS HIGHWAY PER STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION 233

LEGAL DESCRIPTION

LOT 3, CERTIFIED SURVEY MAP No. 3535, RECORDED IN VOLUME 14 OF DANE COUNTY CERTIFIED SURVEY MAPS ON PAGES 124-125 AS DOCUMENT NUMBER 1676937 AND LOTS 1 AND 2, CERTIFIED SURVEY MAP No. 3895, RECORDED IN VOLUME 14 OF DANE COUNTY CERTIFIED SURVEY MAPS ON PAGES 234-235 AS DOCUMENT NUMBER 1691387 TOWN OF FITCHBURG (NOW CITY OF FITCHBURG), LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 01, TOWNSHIP 06 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

TAX KEY NO. 225/0609-013-8170-4, 225/0609-013-8940-4, 225/0609-013-8540-4

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. 5-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, 5-1878
PROFESSIONAL LAND SURVEYOR

DATE

BENCHMARKS

CONTROL POINT	ELEVATION	DESCRIPTION
BM-200	956.98	3/4" REBAR
BM-201	964.68	3/4" REBAR
BM-202	931.35	3/4" REBAR
BM-203	915.51	3/4" REBAR

LINE TABLE

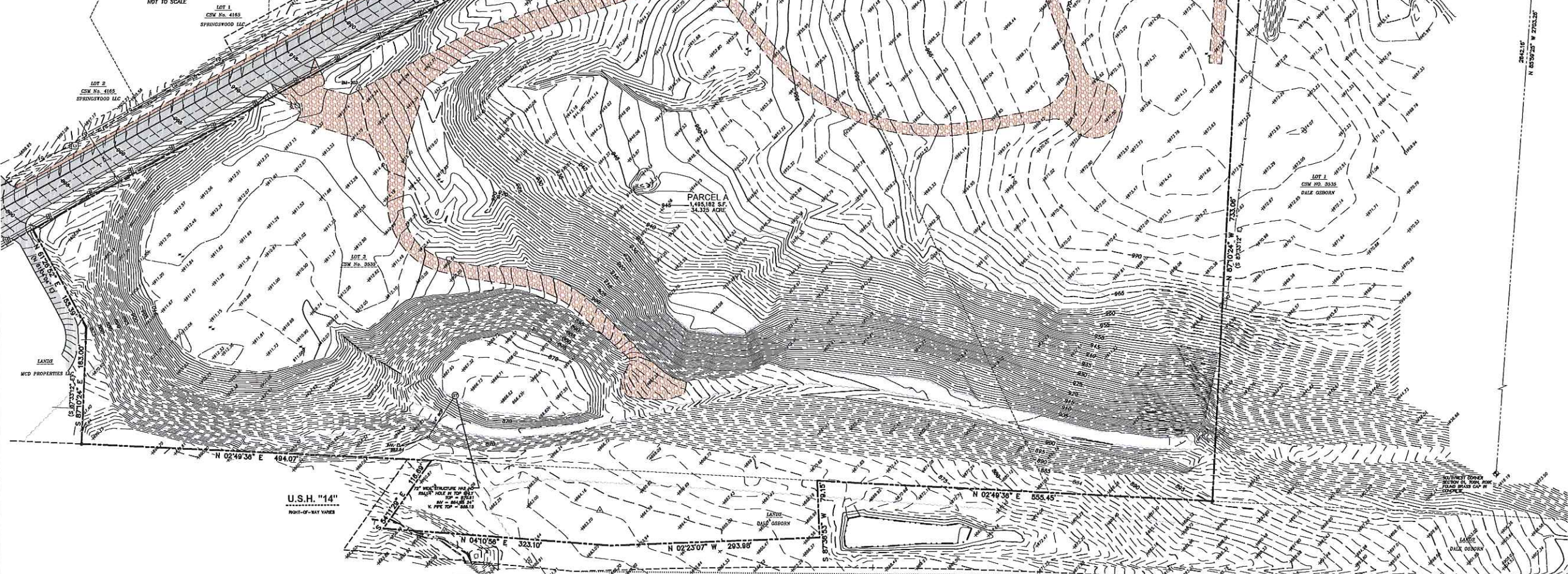
LINE	BEARING	DISTANCE
L-1	N87°10'24"W	98.55
	(N87°33'12"W)	(98.55)
L-2	N28°33'08"W	25.34
	(NR)	(NR)

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	130.66' (NR)	174.00' (174.00)	44°59'55" (45°00'00)	133.17' (133.17)	N84°40'24"W (N85°03'12"W)
C-2	69.88' (NR)	80.00' (80.00)	65°44'01" (NR)	66.00' (NR)	S47°49'31"W (NR)
C-3	128.36' (NR)	840.00' (NR)	13°37'17" (NR)	128.00' (NR)	N33°21'47"W (NR)
C-4	850.00' (NR)	1083.34' (1083.34)	28°06'13" (28°06'14)	842.67' (842.67)	S10°23'01"W (S10°21'49"W)



VICINITY MAP NOT TO SCALE



CREATE THE VISION TELL THE STORY
MADISON, WI 53703
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.448.8888 FAX 608.448.8888
KENDSHA | APPLETON | WAUSAU

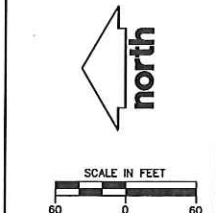
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.448.8888

CLIENT:
TORQUE FOCUSED REAL ESTATE

CLIENT ADDRESS:
2797 LAYLOR ROAD
OREGON, WI 53575

PROJECT:
@ EDGE LIVE/WORK

PROJECT LOCATION:
FITCHBURG, WI
DANE COUNTY



PLAN MODIFICATIONS

No.	Date	Description
1	08.22.17	PRELIMINARY PLAN
2	09.08.17	P-PLAN COMMENT RESPONSE
3	09.11.17	P-PLAN COMMENT RESPONSE
4	11.20.17	P-PLAN RE-SUBMITTAL
5	01.23.18	P-PLAN SUBMITTAL
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

SHEET TITLE:
EXISTING CONDITIONS SURVEY

SHEET NUMBER:
C0.1

GENERAL NOTES:

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

SITE PLAN NOTES

- 1. ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
2. ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
3. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF FITCHBURG.
4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.
8. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
9. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
10. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY YELLOW LATEX PAINT PER SPECIFICATIONS.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: http://www.dnr.state.wi.us/tsnoff/forwater/techstds.htm
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDNR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 108.3. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
9. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
10. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
11. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
12. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. FIFTEEN (15) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
13. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1058.
15. STABILIZATION PRACTICES:
15.1. * STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
15.2. * THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
15.3. * CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
15.4. * STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
* PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
* TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
* HYDRO-MULCHING WITH A TACKIFIER
* GEOTEXTILE EROSION MATTING
* SODDING

GRADING AND SEEDING NOTES

- 1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PEROUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF FITCHBURG TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

UTILITY NOTES:

- 1. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WOSPS, AND WDW.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
* EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
* OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
* VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
* NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
8. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
9. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
10. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
11. CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
12. CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE MUNICIPAL WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
13. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
14. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
15. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
16. ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(b)4.a.
17. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
18. ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPERATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSING THE TOP AND SIDES OF WATER MAIN.

LEGEND

Table with 2 columns: Symbol and Description. Includes: PROPERTY LINE, RIGHT-OF-WAY, EASEMENT LINE, BUILDING OUTLINE, EDGE OF PAVEMENT, 30" STANDARD CURB AND GUTTER, 30" REJECT CURB AND GUTTER, 18" STANDARD CURB AND GUTTER, 18" REJECT CURB AND GUTTER, ASPHALT PAVEMENT, CONCRETE PAVEMENT, HEAVY DUTY CONCRETE PAVEMENT, STORMWATER MANAGEMENT AREA, PROPOSED 1 FOOT CONTOUR, PROPOSED 5 FOOT CONTOUR, EXISTING 1 FOOT CONTOUR, EXISTING 5 FOOT CONTOUR, SILT FENCE, SPOT ELEVATION (EP, FG, EC, TS, BS, SW), SANITARY SEWER, WATERMAIN, STORM SEWER, ELECTRIC, GAS, CORTEN STEEL RETAINING WALL, V-BEAM FRAMED GARDEN FENCE LINE, ENVIROLOK RETAINING WALL, GABION WALL, RECYCLED CONCRETE COBBLES (3"-6" SIZE), INFILTRATION BASIN PLUG PLANTINGS, PRAIRIE SEED MIX, LIMESTONE AGGREGATE GARDEN PATH, COMPOSITE WOOD DECKING, LANDSCAPE PAVERS 1, STREET LIGHT, STREET LIGHT WITH SIGN, STREET LIGHT WITH ROADWAY NAMES, SIGN, BIKE RACK, STREET TERRACE PAVERS, DETECTABLE WARNING, WATER CATCHMENT (REFER TO ARCHITECTURAL).



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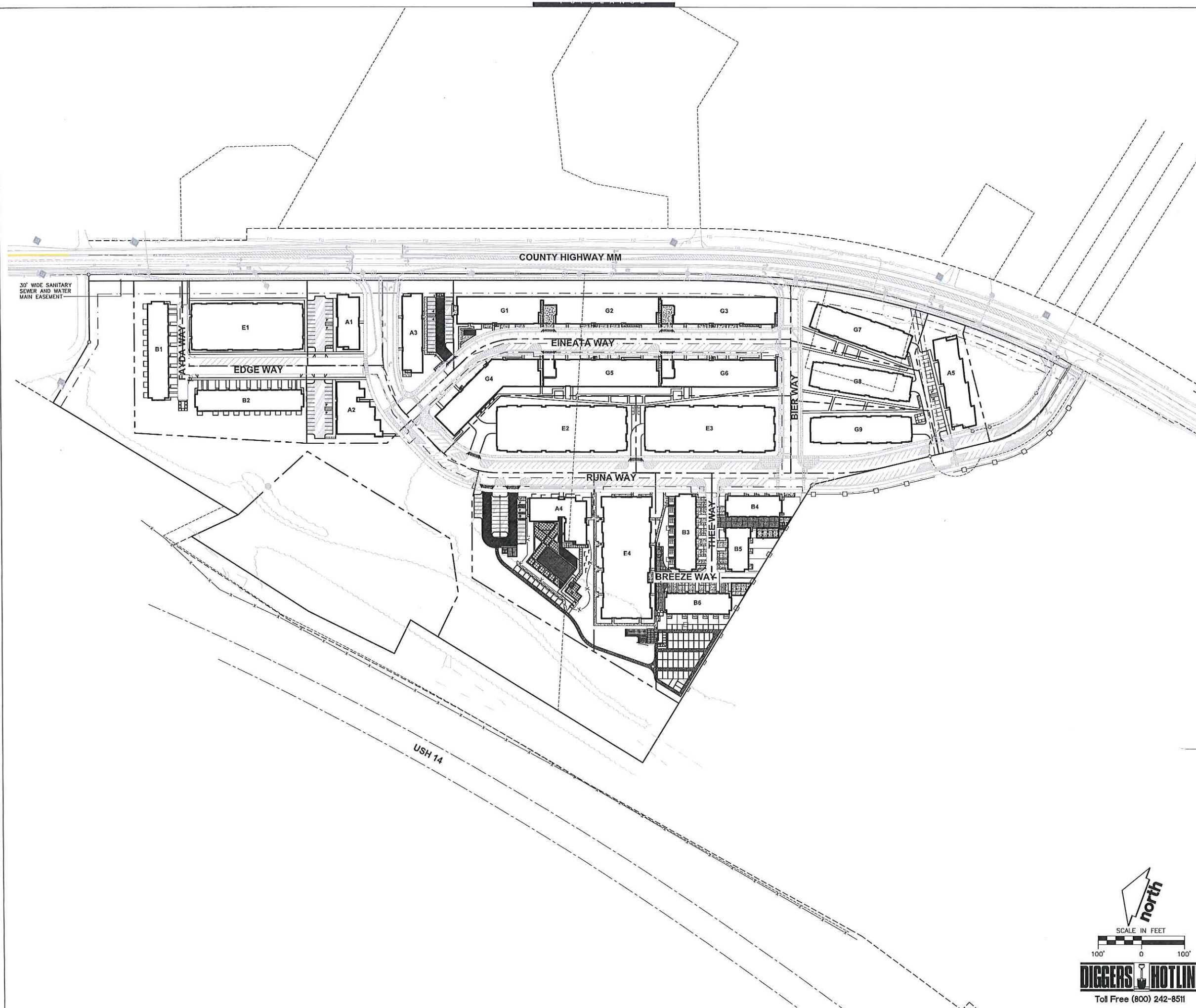
TORQUE FOCUSED REAL ESTATE

PLAN COMMISSION SIP SUBMITTAL

TORQUE COMPANIES www.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926 DATE 01.23.18

COUNTY HIGHWAY MM FITCHBURG, WI GENERAL NOTES AND LEGENDS C100

DIGGERS HOTLINE Toll Free (800) 242-8511



*Assure all
structures outside
Sanity Beer &
Wine entry*

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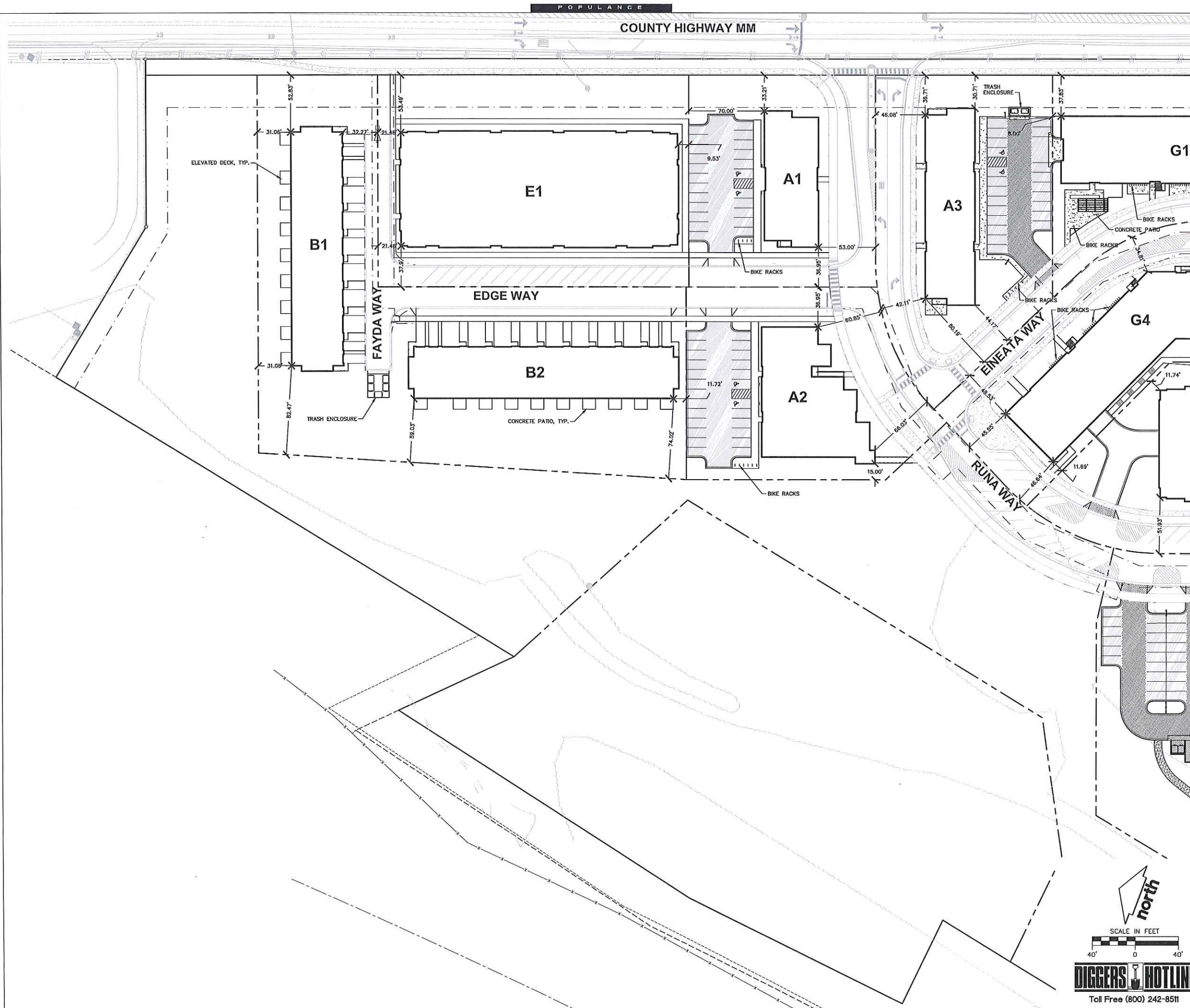
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OVERALL
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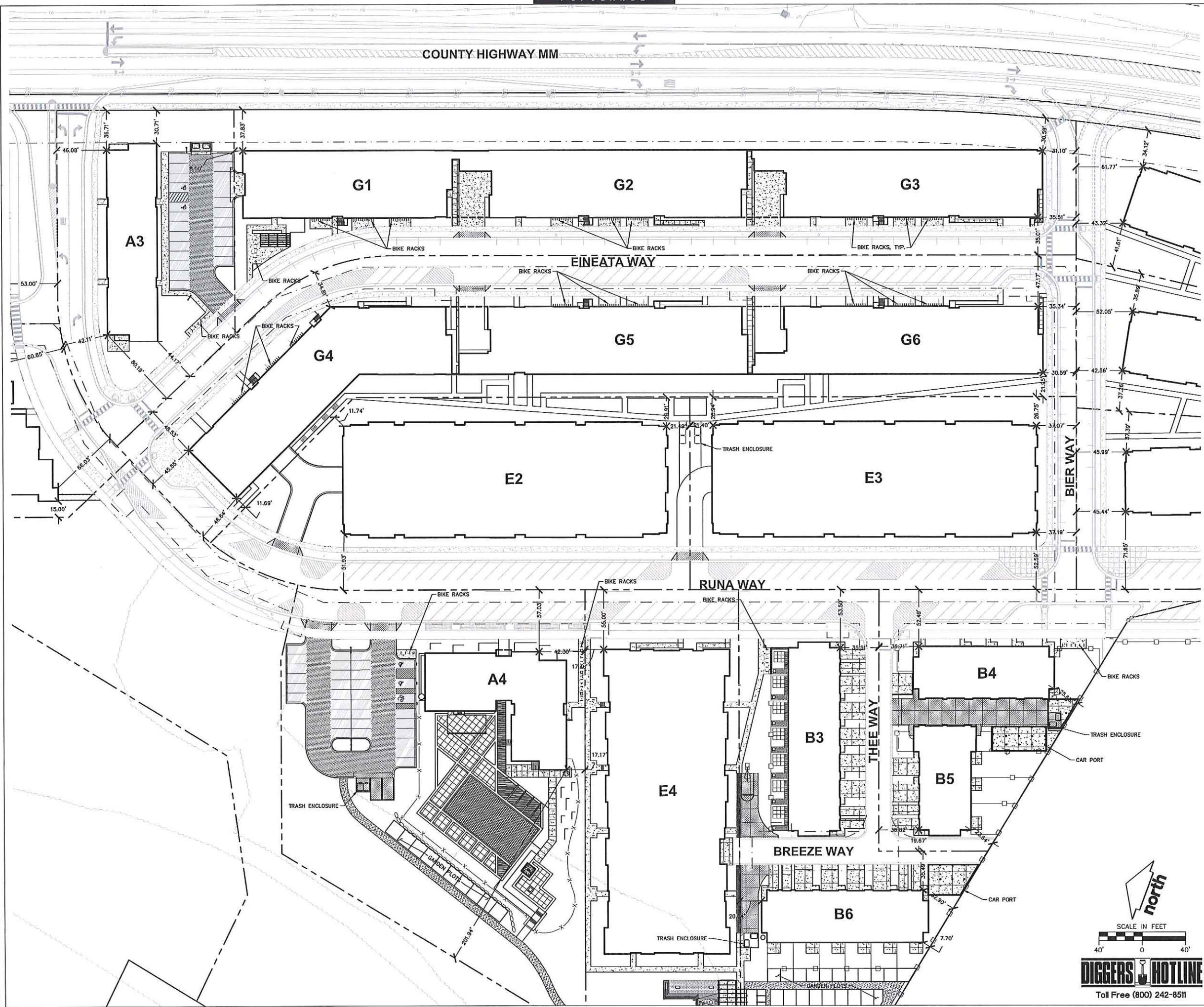
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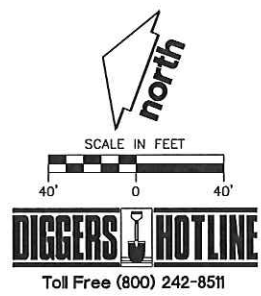
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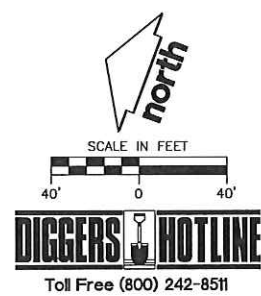
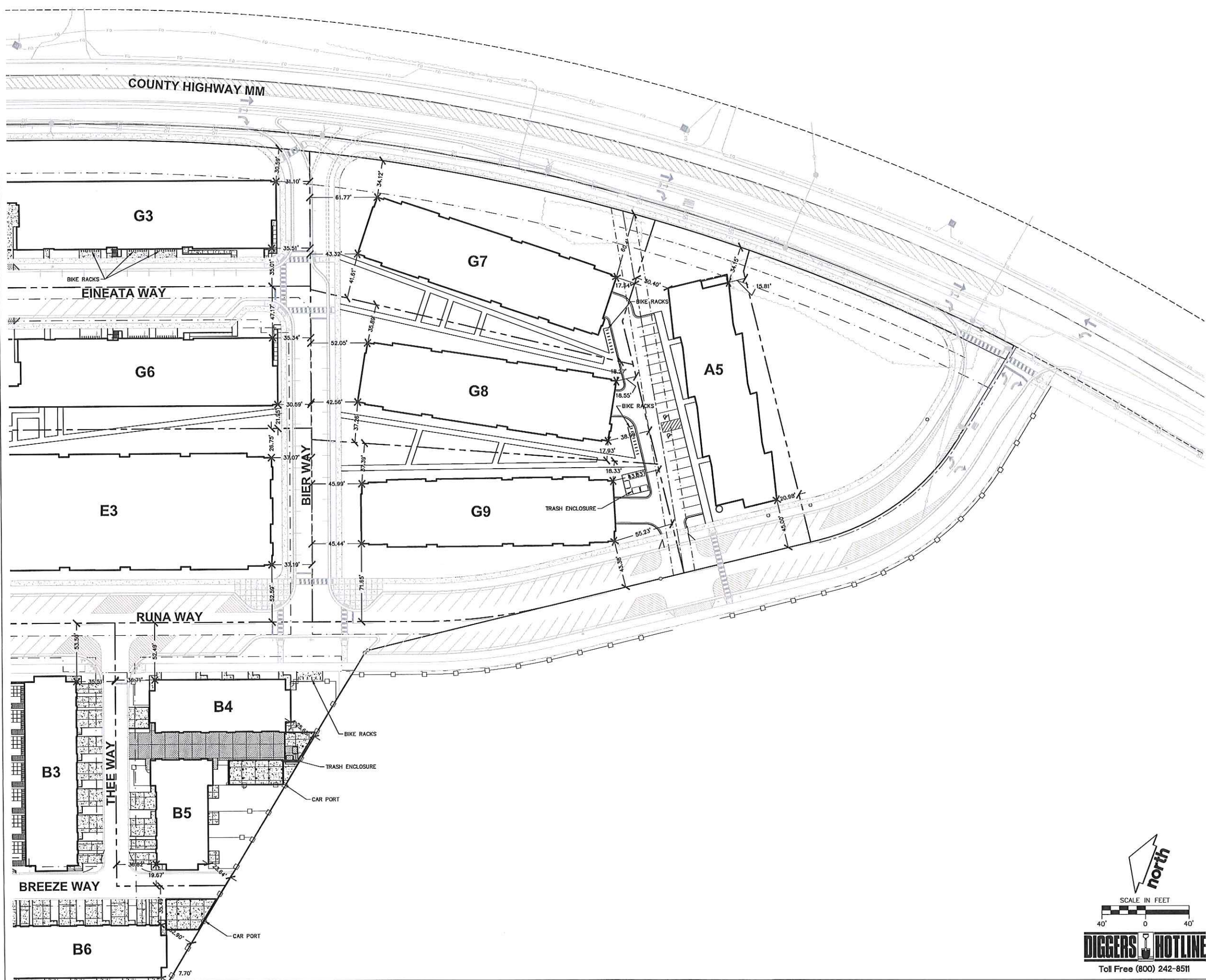
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COUNTY HIGHWAY MM
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SITE PLAN

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PLAN COMMISSION

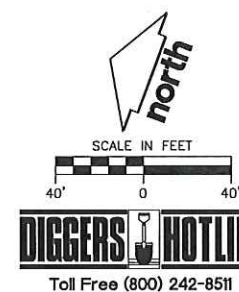
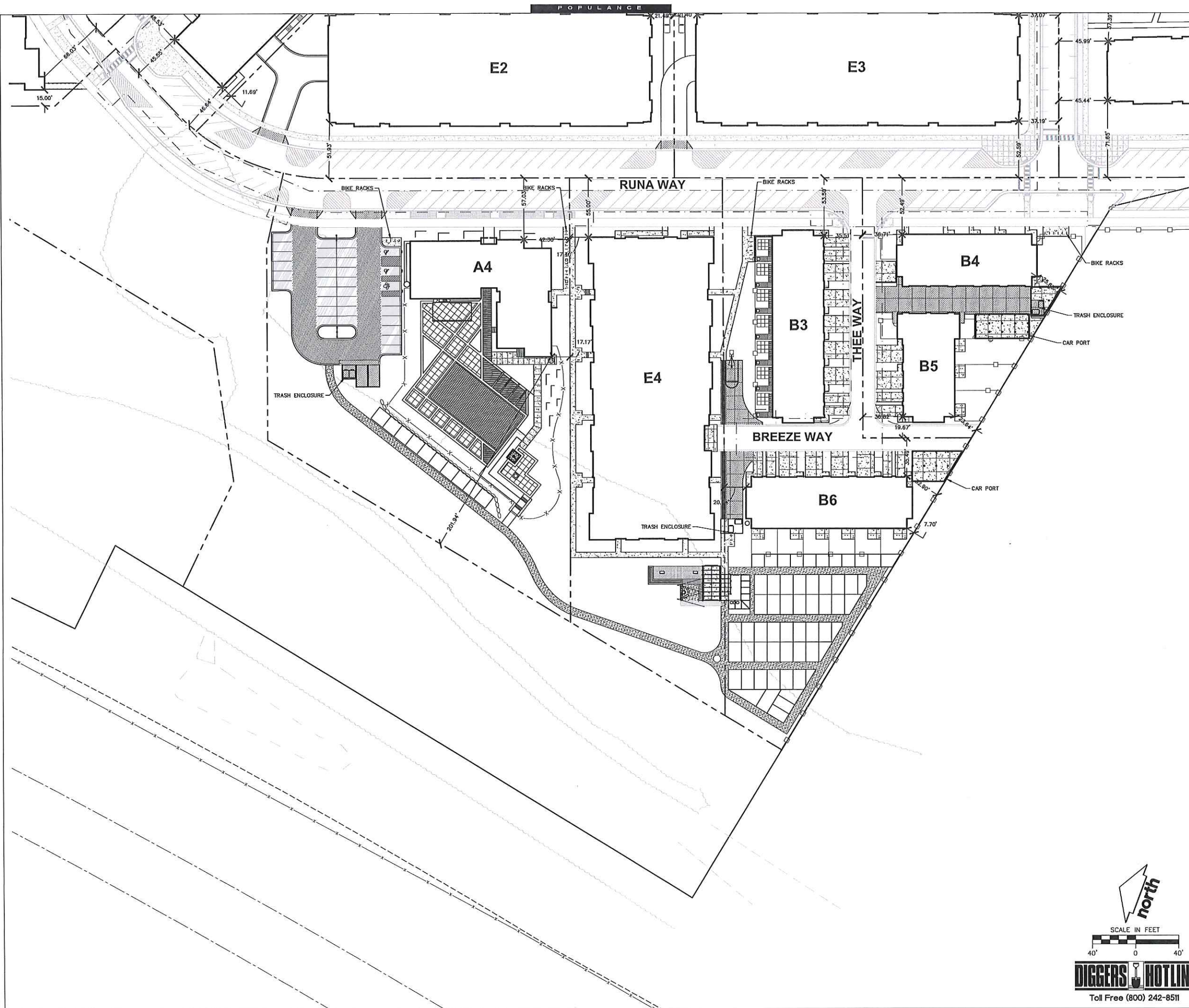
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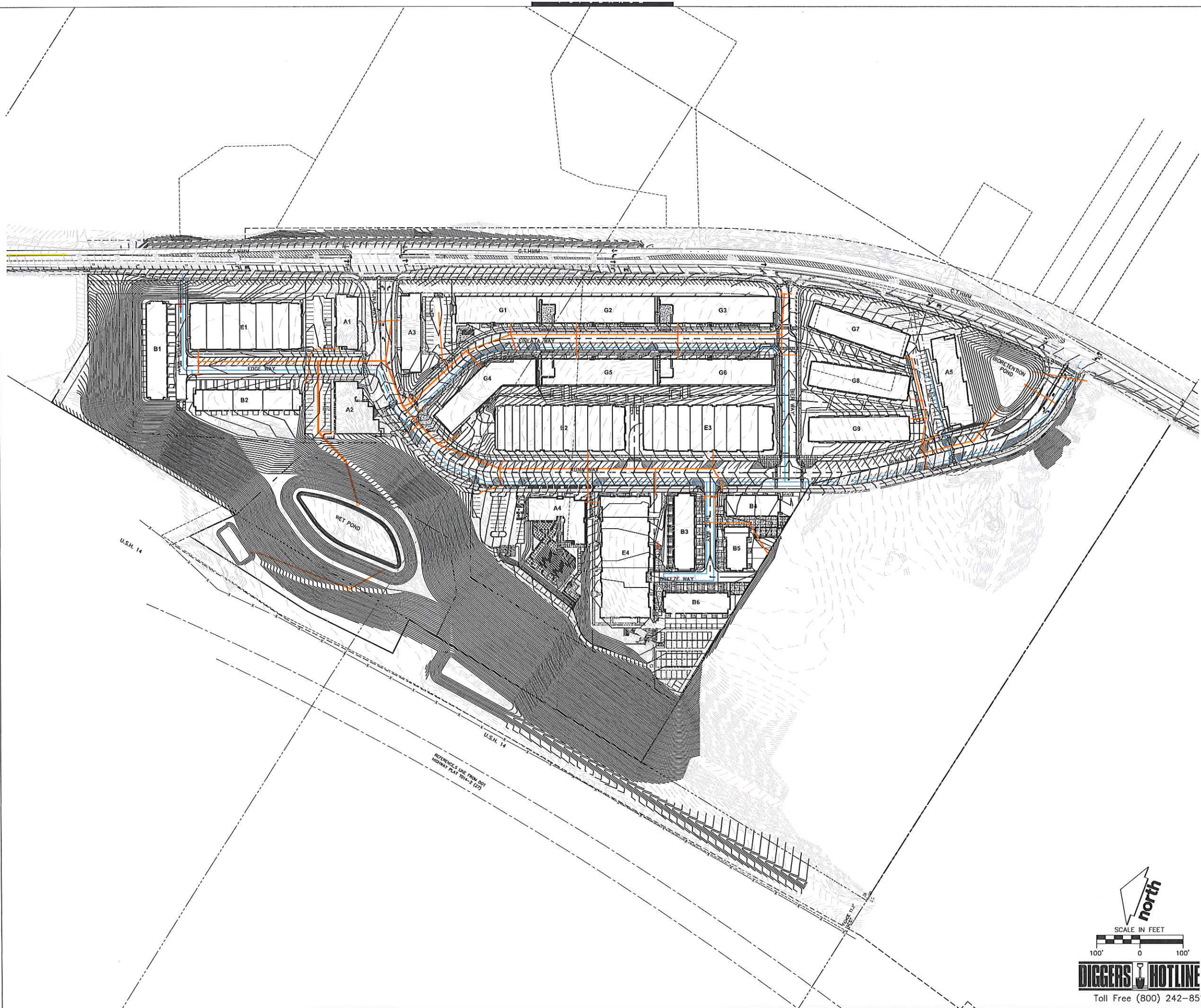
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COUNTY HIGHWAY MM
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C203

SITE PLAN





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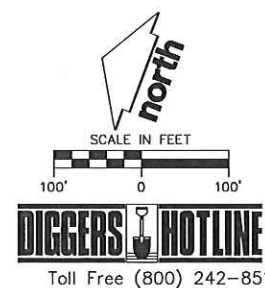
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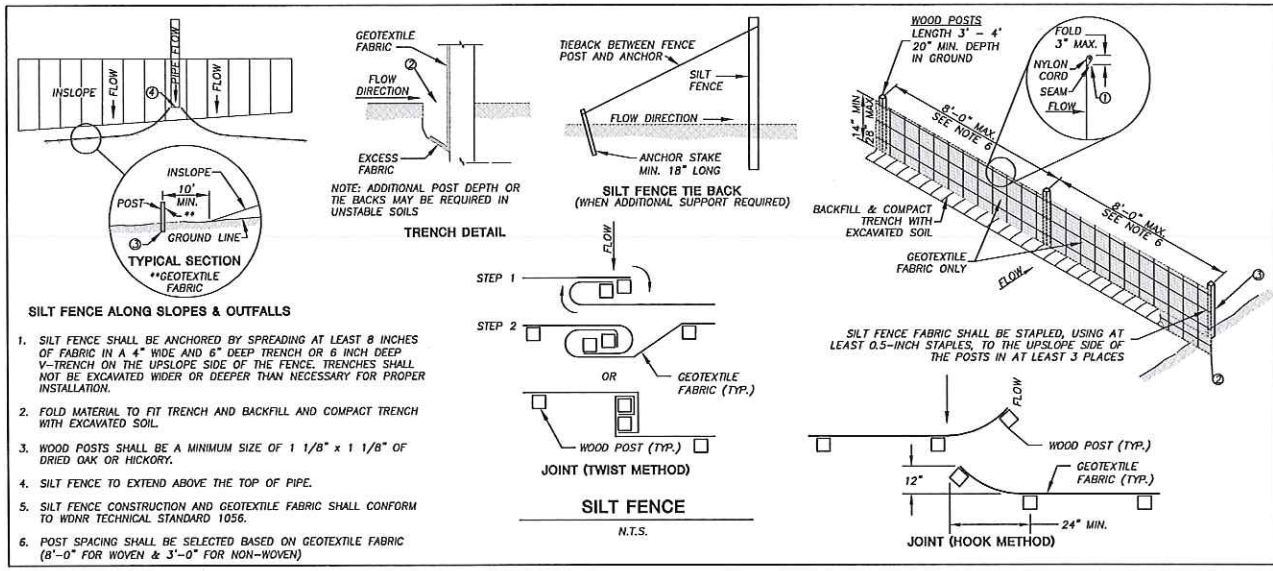
OVERALL GRADING PLAN

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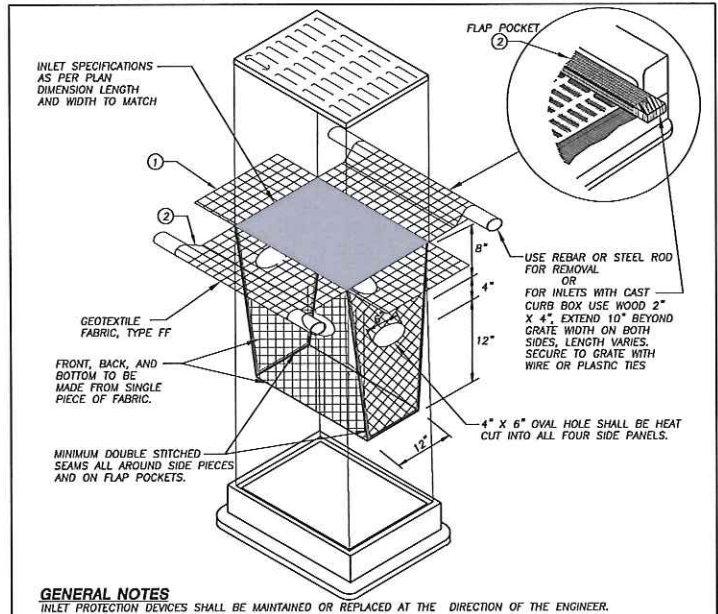
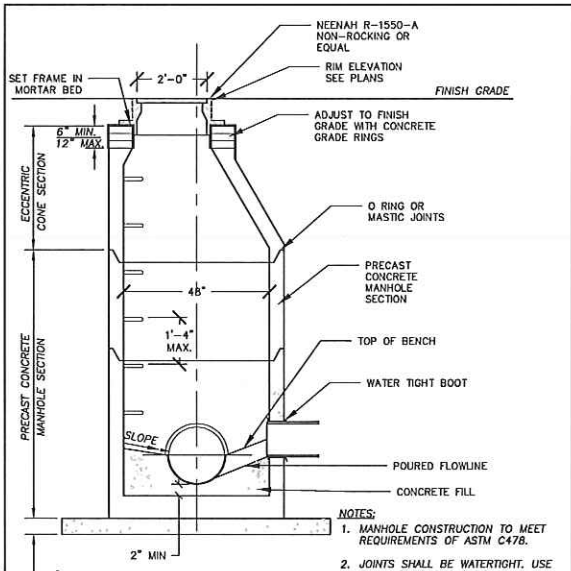
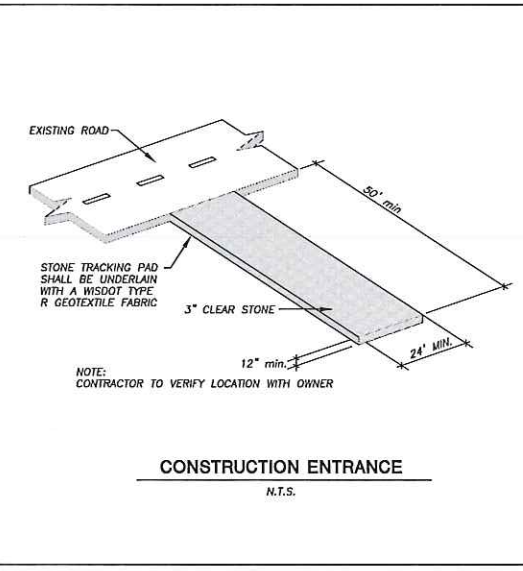
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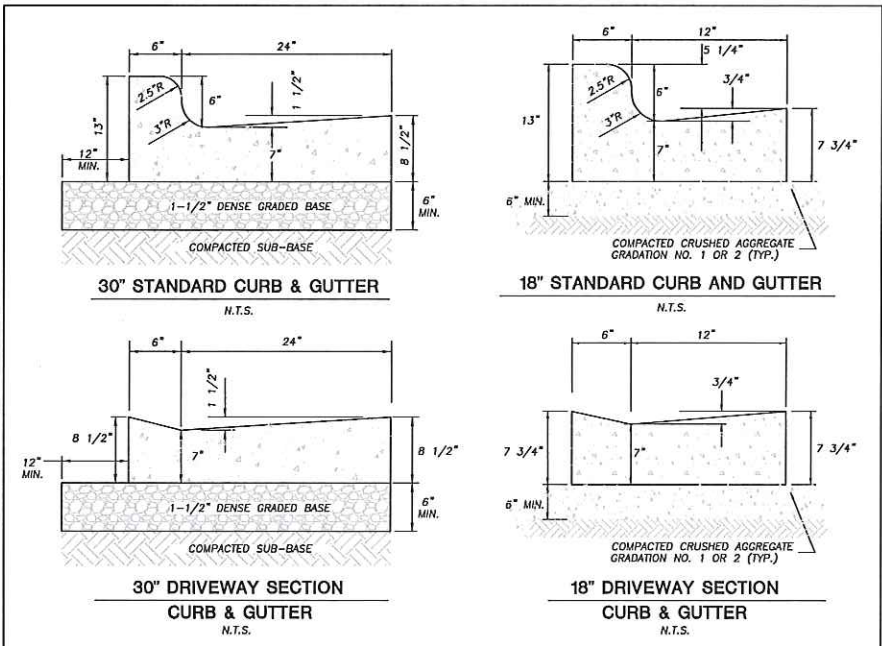
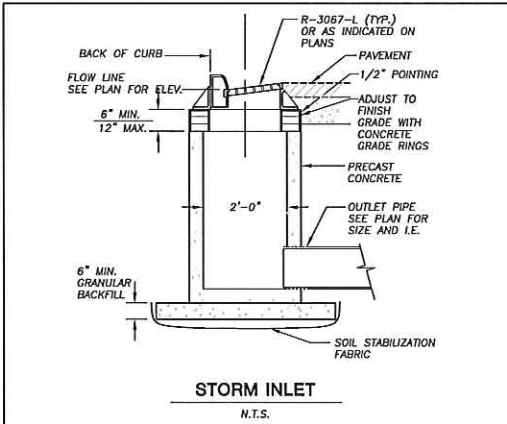
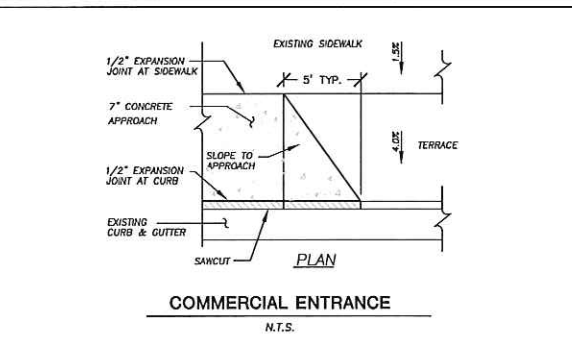
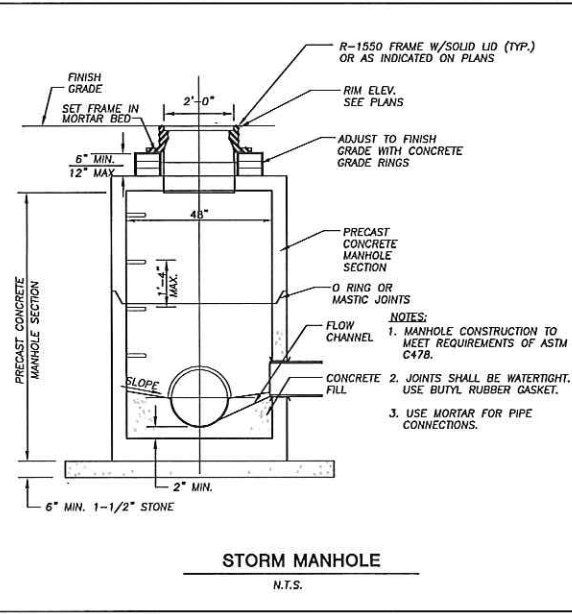




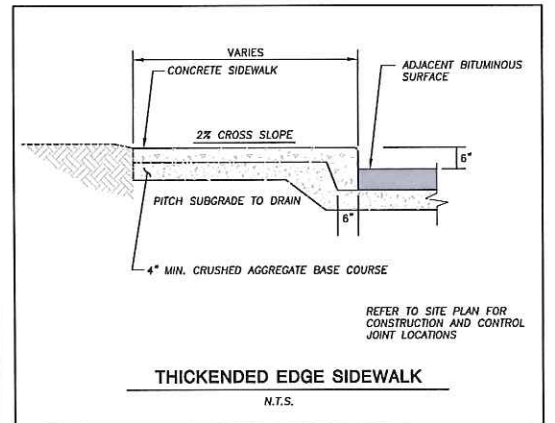
- SILT FENCE ALONG SLOPES & OUTFALLS**
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" WIDE AND 6" DEEP TRENCH OR 6 INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
 - FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF DRIED OAK OR HICKORY.
 - SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
 - SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDMR TECHNICAL STANDARD 1056.
 - POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8'-0" FOR WOVEN & 3'-0" FOR NON-WOVEN)



- GENERAL NOTES**
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
- INSTALLATION NOTES**
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



- GENERAL NOTES:**
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.



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 MADISON REGIONAL OFFICE
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 PLAN COMMISSION

SIP SUBMITTAL

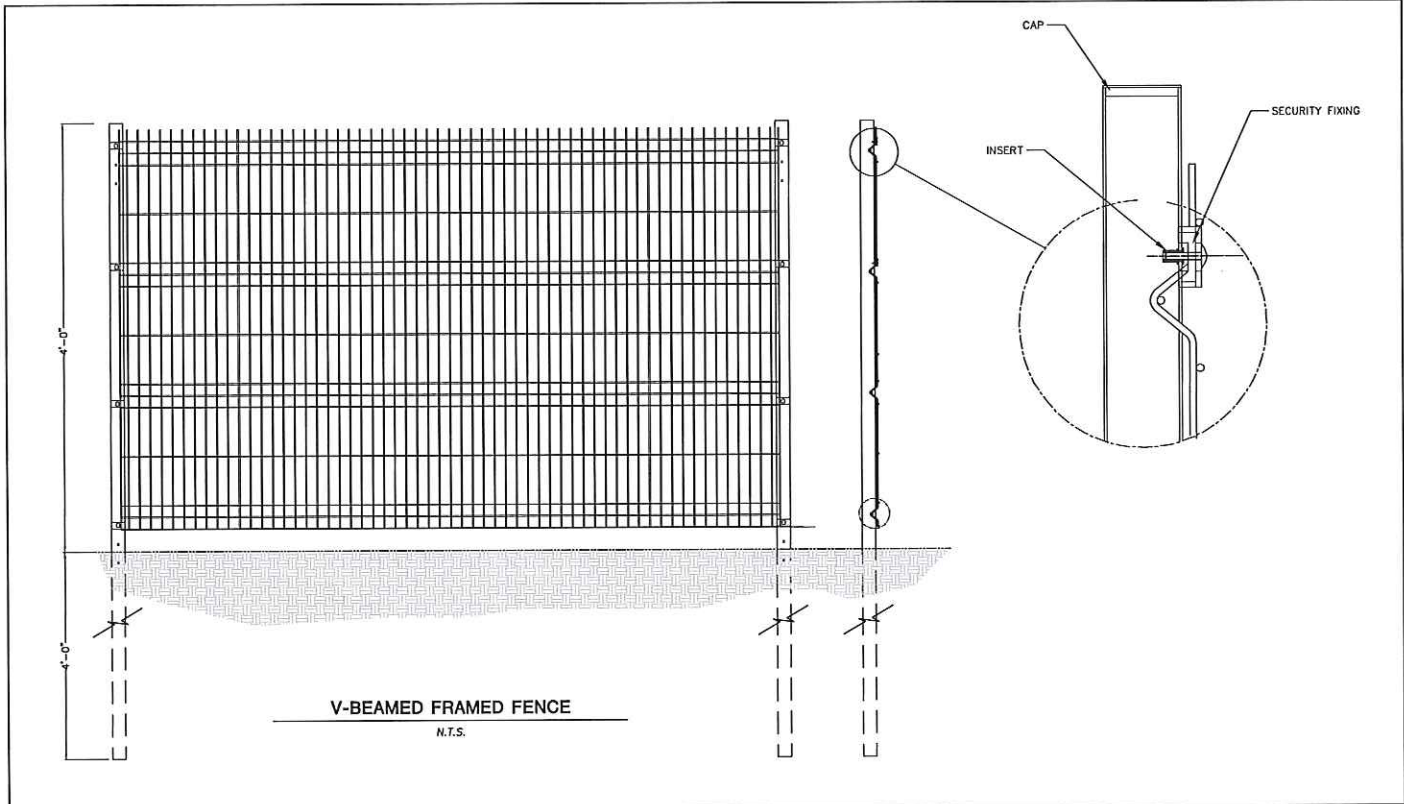
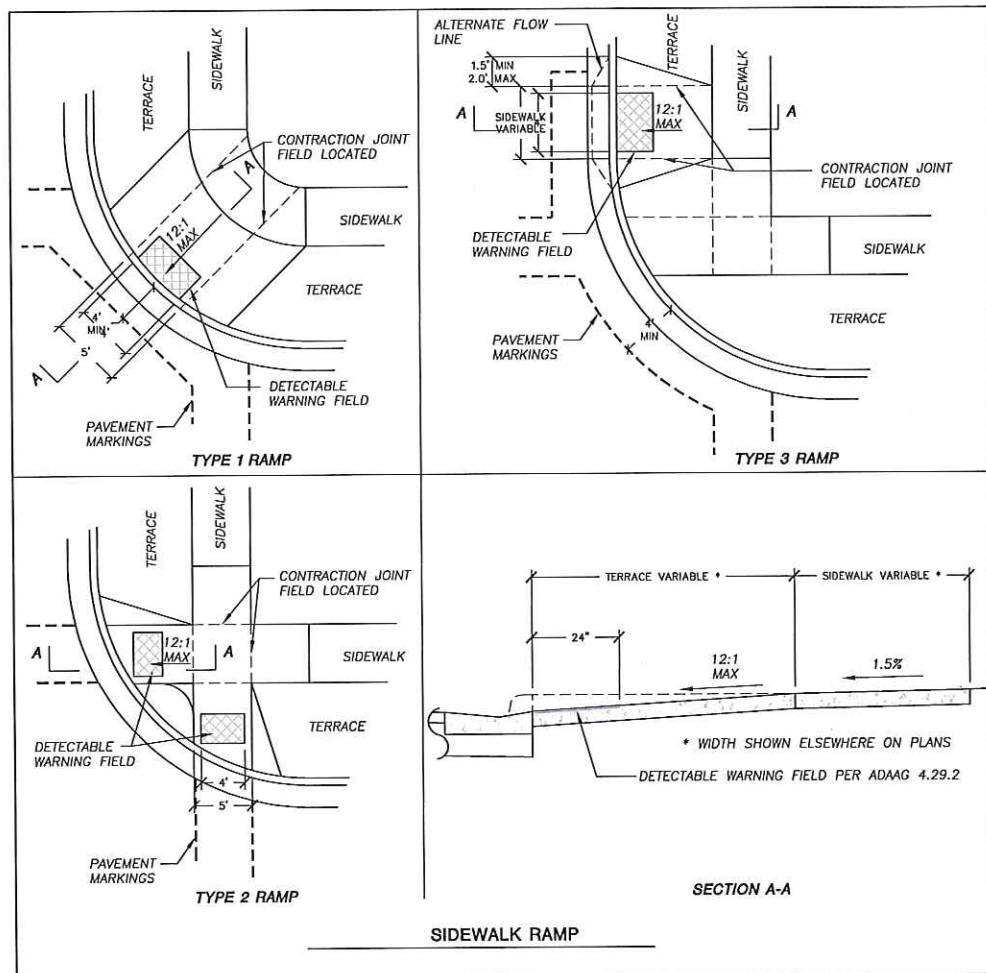
TORQUE COMPANIES

COUNTY HIGHWAY MM
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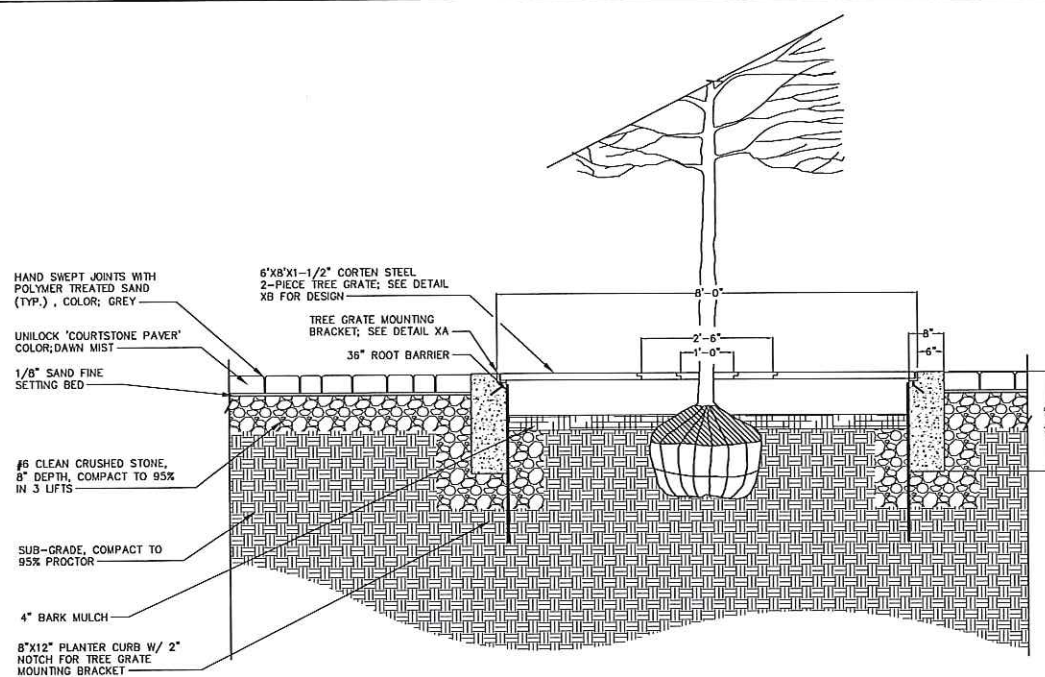
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STUDIO@POPULANCE.COM
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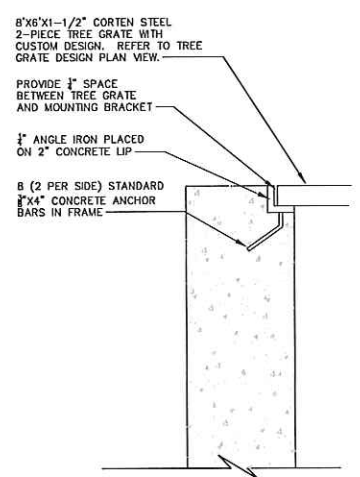
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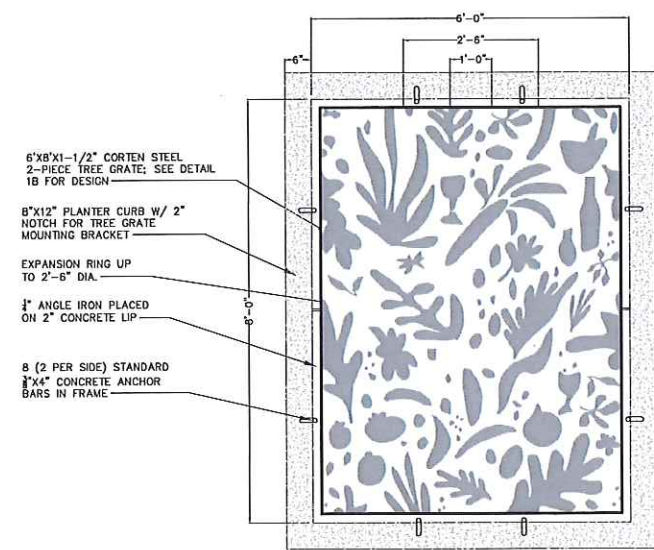
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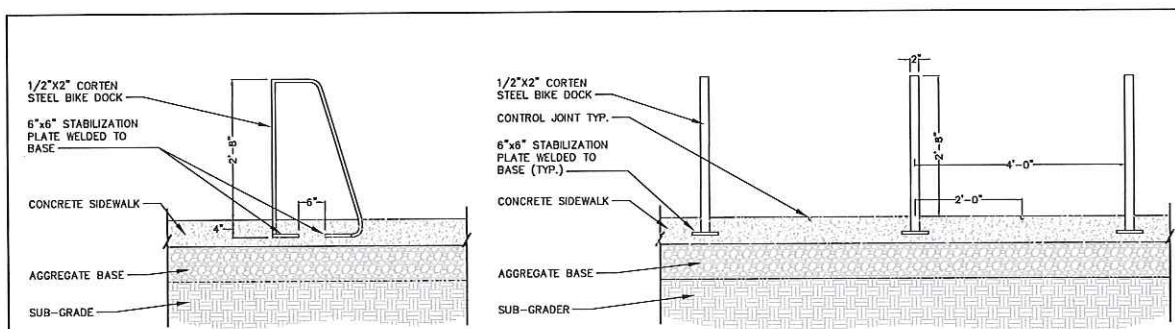
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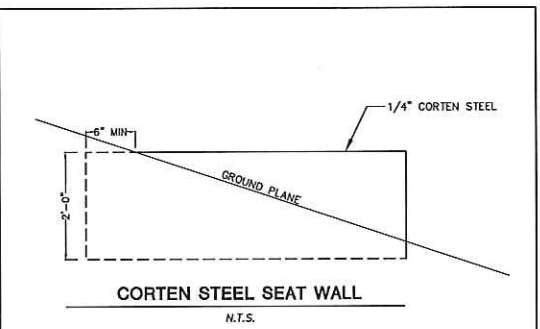
TREE GRATE MOUNTING BRACKET
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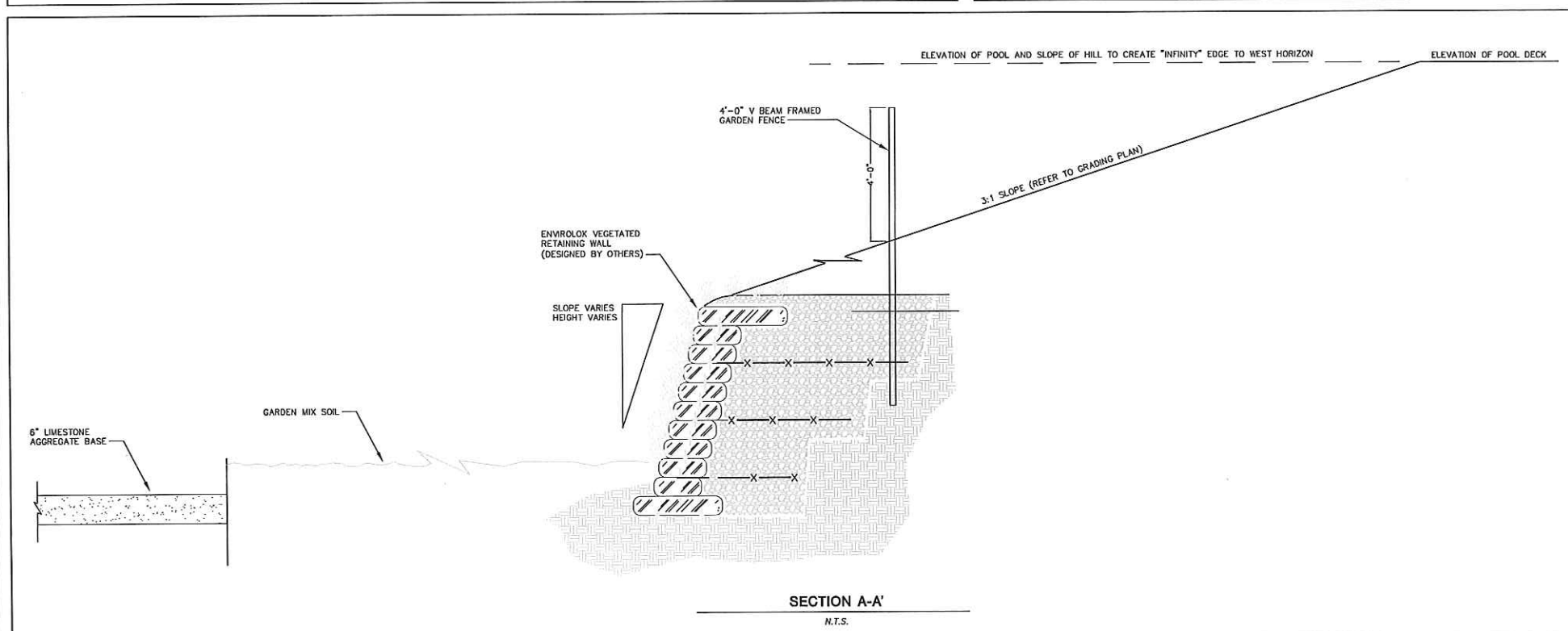
TREE GRATE PLAN VIEW
N.T.S.



CORTEN STEEL BIKE RACK
N.T.S.



CORTEN STEEL SEAT WALL
N.T.S.



SECTION A-A'
N.T.S.

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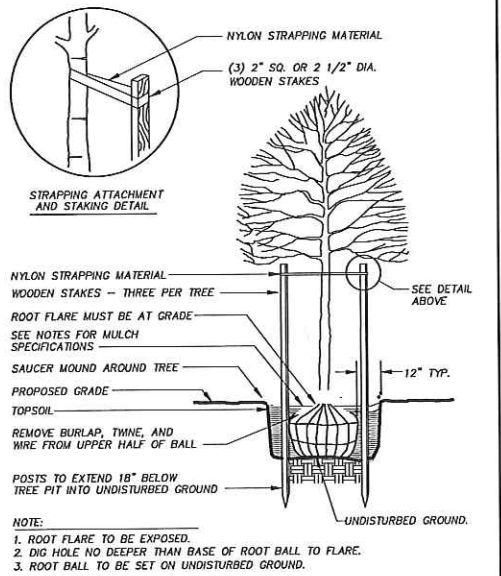
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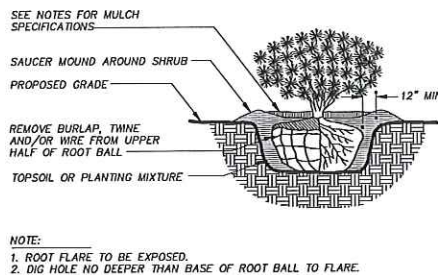
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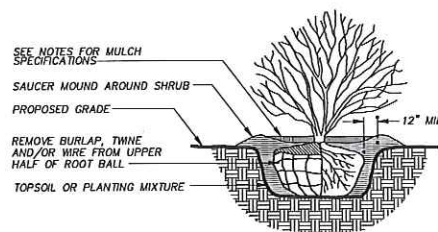
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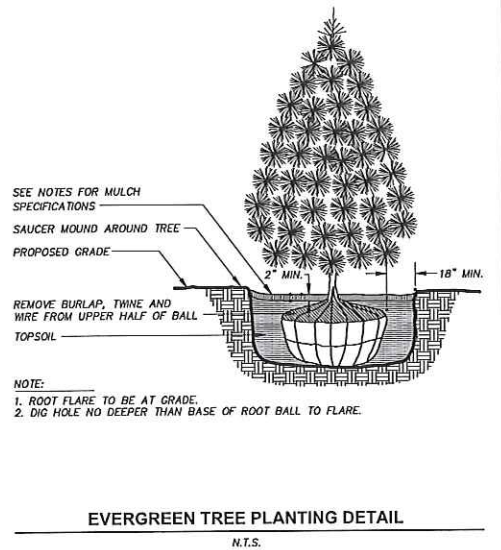
DECIDUOUS TREE PLANTING DETAIL



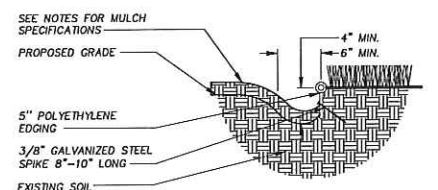
EVERGREEN SHRUB PLANTING DETAIL



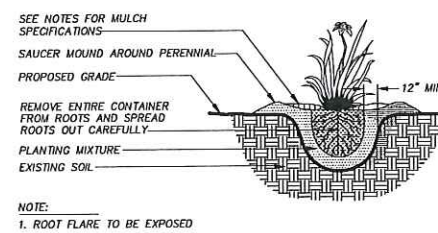
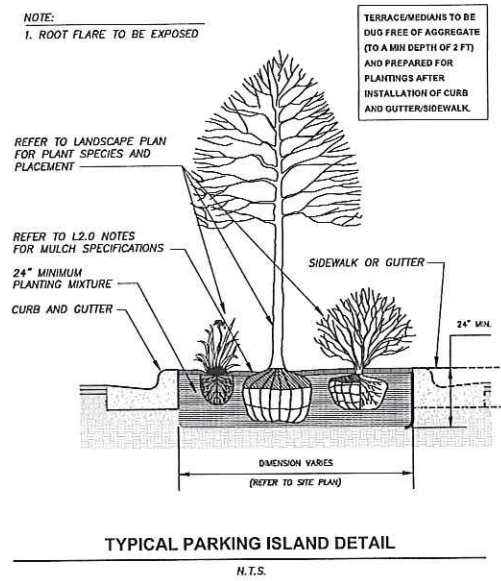
DECIDUOUS SHRUB PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



LANDSCAPE EDGING DETAIL



PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

PLANT SCHEDULE		CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
ORNAMENTAL DECIDUOUS TREES							
AD	27	Auburn Ballance Serviceberry		<i>Amelanchier grandiflora 'Auburn Brilliance'</i>		B & B	1.5' Cal
CCA	15	Eastern Redbud		<i>Cercis canadensis 'Columbus Strain'</i>		B & B	1.5' Cal
OVERSTORY DECIDUOUS TREES							
ASB	8	Fall Fiesta Sugar Maple		<i>Acer saccharum 'Ballista'</i>		B & B	1.5' Cal
BN	50	River Birch Multi-Trunk		<i>Betula nigra</i>		B & B	1.5' Cal
GT	37	Skyline Thonness Honey Locust		<i>Gleditsia triacanthos nemica 'Skyline' TM</i>		B & B	1.5' Cal
OB	11	Swamp White Oak		<i>Quercus bicolor</i>		B & B	1.5' Cal
OE	43	Northern Pin Oak		<i>Quercus ellipsoidalis</i>		B & B	1.5' Cal
OM	36	Bur Oak		<i>Quercus macrocarpa</i>		B & B	1.5' Cal
TD	16	Shawnee Brave Baldcypress		<i>Taxodium distichum 'Shawnee Brave'</i>		B & B	1.5' Cal
TALL EVERGREEN TREES							
PG	37	Black Hills Spruce		<i>Picea glauca 'Densata'</i>		B & B	Min. 4' Ht.
PP2	5	Weeping White Spruce		<i>Picea glauca 'Pendula'</i>		B & B	Min. 4' Ht.
PGM	17	Sunburst Black Hills Spruce		<i>Picea glauca densata 'SunChief'</i>		B & B	Min. 4' Ht.
DECIDUOUS SHRUBS							
EC	8	Compact Burning Bush		<i>Eurogymnus alata 'Compacta'</i>		2 gal	18" Min. Ht.
RG2	74	Go-Low Fragrant Sumac		<i>Rhus aromatica 'Go-Low'</i>		3 gal	18" Min. Ht.
RG4	203	Smooth Sumac		<i>Rhus glabra</i>		3 gal	3-4' Ht.
RB	9	Tiger Eyes Sumac		<i>Rhus typhina 'Baltique' TM</i>		3 gal	3-4' Ht.
SS2	73	Sam Ash Leaf Spirea		<i>Sorbaria sorbifolia 'Sam'</i>		3 gal	18" Min. Ht.
EVERGREEN SHRUBS							
CS	7	Weeping Blue Atlas Cedar		<i>Cedrus atlantica 'Glaucous Pendula'</i>		3 gal	3-4' Ht.
JPC	92	Gold Coast Juniper		<i>Juniperus x pfitzeriana 'Gold Coast'</i>		3 gal	18" Tall/15' Wd
MD	122	Siberian Carpet Cypress		<i>Microbiota decussata</i>		3 gal	18" Tall/15' Wd
PP3	3	Pendulous White Pine		<i>Pinus strobus 'Pendula'</i>		3 gal	3-4' Ht.
ORNAMENTAL GRASSES							
CK2	79	Feather Reed Grass		<i>Calamagrostis x acutiflora 'Karl Foerster'</i>		1 gal	Cont.
HS	172	Blue Owl Grass		<i>Helychtichos sempervirens</i>		1 gal	Cont.
MP	68	Silver Grass		<i>Miscanthus purpurascens</i>		1 gal	Min. 12"x24"
PV	457	Northwind Switch Grass		<i>Panicum virgatum 'North Wind'</i>		1 gal	10-12" Ht.
PVP	372	Red Switch Grass		<i>Panicum virgatum 'Prairie Fire'</i>		1 gal	Min. 12"x24"
PS3	288	Switch Grass		<i>Panicum virgatum 'Shenandoah'</i>		1 gal	Cont.
PERENNIALS							
DR	48	Robust Male Fern		<i>Dryopteris x complena 'Robust'</i>		1 gal	Cont.
PA	167	Russian Sage		<i>Perovskia atropurpurea</i>		1 gal	Cont.
RT3	134	Brown-eyed Susan		<i>Rudbeckia triloba</i>		1 gal	Cont.
SAJ	127	Auburn Joy Sedum		<i>Sedum x 'Auburn Joy'</i>		1 gal	Cont.
CTS	73	Sweet Auburn Clematis		<i>Clematis temicola 'Sweet Auburn'</i>		3 gal	18" Tall/15' Wd
HC	41	Cascade Hops		<i>Humulus lupulus 'Cascade'</i>		3 gal	18" Tall/15' Wd
PL	9	Small Leaf Boston Ivy		<i>Parthenocissus tricuspidata 'Lowii'</i>		3 gal	18" Tall/15' Wd
VINES/PALM							

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A WOODRUS THIRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, AND SEEDING AREA:** THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.**

GENERAL NOTES

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS FROM AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
 - DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIA. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
 - MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
 - PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH IFA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS 50 AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASE ANTISEPTIC TREE PAINT. PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
 - CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- LANDSCAPE MATERIAL NOTES**
- MATERIALS - SOIL:** PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
A. PLANTING AREAS = 24"
B. TREE PITS = SEE DETAILS
 - PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS.** TOPSOIL TO BE CLEAN, FRABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
 - MATERIALS - STONE MULCH:** ALL STONE MULCH & MAINTENANCE STRIP AREAS LABELED ON PLAN SHALL RECEIVE 3/4"-1" DECORATIVE WASH STONE MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE AREA. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC.
 - MATERIALS - TREE & SHRUB RINGS:** ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 5 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
 - MATERIALS - WEED BARRIER FABRIC:** ALL DECORATIVE STONE MULCH PLANTING AREAS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
 - MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, METAL EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
 - MATERIALS - SEED:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH EARTH CARPETS "MADISON PARKS" OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZER AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
 - MATERIALS - NUTRI-PAK:** ALL TREES AND SHRUBS TO RECEIVE NUTRI-PAK, 3-YEAR TIME RELEASE FERTILIZER PACKETS FOR "TREES, SHRUBS AND EVERGREENS" WITH A NUTRIENT FORMULATION OF 16-8-8. INSTALL PACKETS PER PRODUCT MANUFACTURER'S RECOMMENDATIONS AND IN THE QUANTITIES RECOMMENDED.
 - MULCHING/SLOPE STABILIZATION:** PLACE MULCH OVER ALL PRAIRIE SEED MIX AREAS IN ACCORDANCE WITH WISCONSIN STATE STANDARD SPECIFICATIONS, SUBSECTION 627.3.2.3 (METHOD C), WITH THE FOLLOWING EXCEPTIONS:
1) MAY NOT BE USED FOR MULCHING DUE TO THE PRESENCE OF WEED SEEDS AND OTHER UNDESIRABLE PLANT CONTAMINANTS. USE CERTIFIED WEED FREE STRAW ONLY.
2) WOOD CHIPS SHALL NOT BE USED FOR MULCHING NATIVE PRAIRIE SEEDINGS.
3) EROSION MATS SHALL CONSIST OF LIGHT DUTY STRAW OR EXCELSIOR MATERIAL, WITH AN UPPER PLASTIC NETTING WITH 1/2 INCH BY 1/2 INCH OPENINGS IN THE MESH.
 - MATERIALS - PLUG PLANTINGS:** PLUG PLANTINGS TO BE INSTALLED 1' ON CENTER AT BOTTOM OF BIO-RETENTION POND. REFER TO WDR TECHNICAL STANDARDS FOR ROOTSTOCK AND PLUG PLANTINGS.



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- 30" STANDARD CURB AND GUTTER
- 30" REJECT CURB AND GUTTER
- 18" STANDARD CURB AND GUTTER
- 18" REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- 960 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- SILT FENCE
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- ELECTRIC
- GAS
- CORTEN STEEL RETAINING WALL
- V-BEAM FRAMED GARDEN FENCE LINE
- V-BEAM FRAMED GARDEN FENCE LINE
- ENVIROLOK RETAINING WALL

LANDSCAPE MATERIAL NOTES

- RECYCLED CONCRETE COBBLES (3"-6" SIZE)
- INFILTRATION BASIN PLUG PLANTINGS
- PRAIRIE SEED MIX
- LIMESTONE AGGREGATE GARDEN PATH
- COMPOSITE WOOD DECKING
- LANDSCAPE PAVERS 1
- STREET LIGHT
- STREET LIGHT WITH SIGN
- STREET LIGHT WITH ROADWAY NAMES SIGN
- BIKE RACK
- STREET TERRACE PAVERS
- DETECTABLE WARNING
- WATER CATCHMENT (REFER TO ARCHITECTURAL)

GENERAL NOTES:

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
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JSD Professional Services, Inc.
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1413 HORIZON DRIVE, SUITE 101
MADISON, WISCONSIN 53704
P. 608.848.5560

TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

TORQUE COMPANIES

www.populance.com
studio@populance.com
608.333.1926

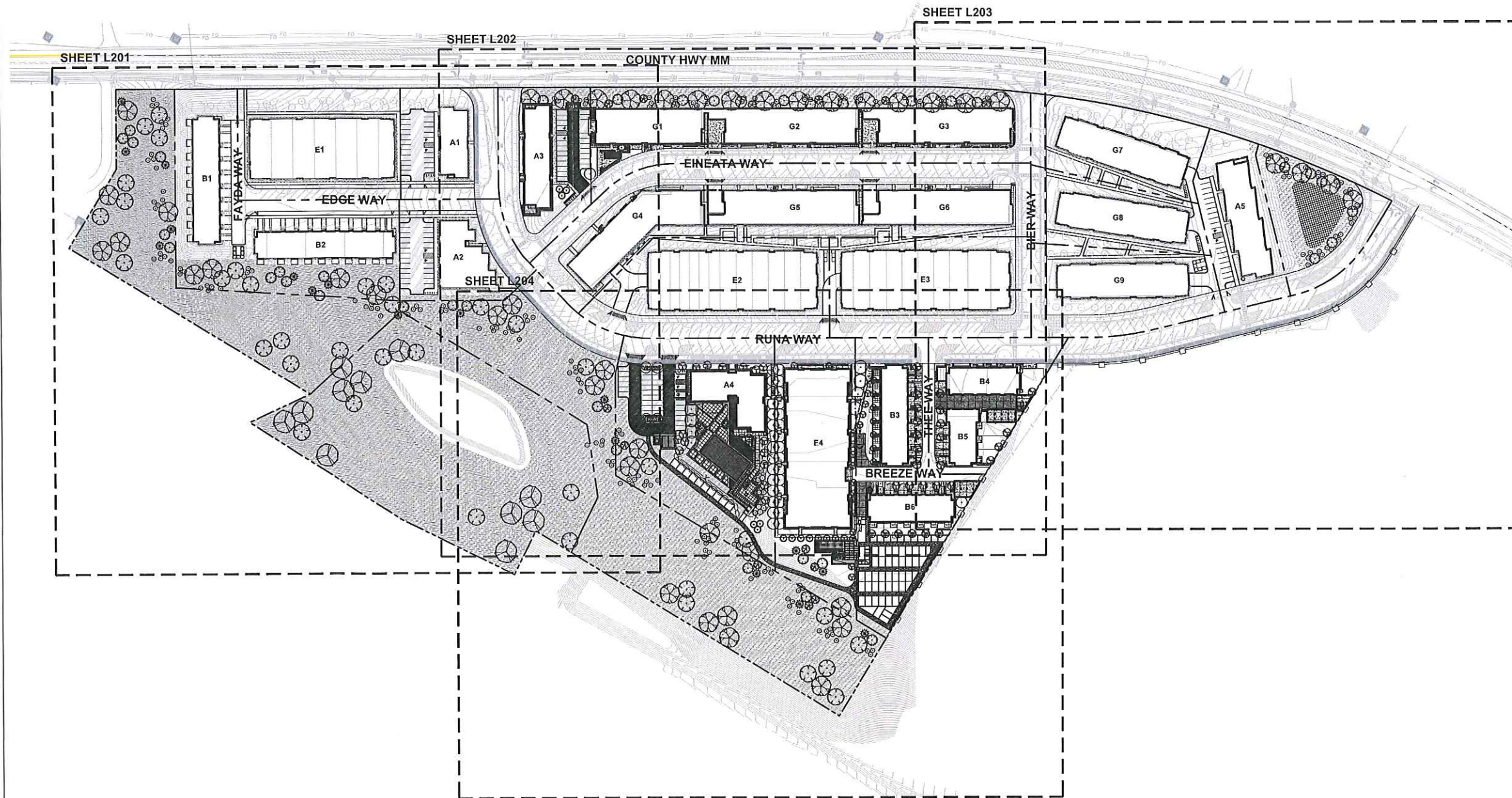
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COUNTY HIGHWAY MM
FITCHBURG, WI

LANDSCAPE NOTES,
DETAILS & SPECIFICATIONS

L100

DIGGERS & HOTLINE
Toll Free (800) 242-8511



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	30" STANDARD CURB AND GUTTER
	30" REJECT CURB AND GUTTER
	18" STANDARD CURB AND GUTTER
	18" REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SILT FENCE
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	ELECTRIC
	GAS
	CORTEN STEEL RETAINING WALL
	V-BEAM FRAMED GARDEN FENCE LINE
	V-BEAM FRAMED GARDEN FENCE LINE
	ENVIROLOK RETAINING WALL
	GABION WALL
	RECYCLED CONCRETE COBBLES (3"-6" SIZE)
	INFILTRATION BASIN PLUG PLANTINGS
	PRAIRIE SEED MIX
	LIMESTONE AGGREGATE GARDEN PATH
	COMPOSITE WOOD DECKING
	LANDSCAPE PAVERS 1
	STREET LIGHT
	STREET LIGHT WITH SIGN
	STREET LIGHT WITH ROADWAY NAMES
	SIGN
	BIKE RACK
	STREET TERRACE PAVERS
	DETECTABLE WARNING
	WATER CATCHMENT (REFER TO ARCHITECTURAL)

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 111 HORDEN DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 P. 608.848.5060



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

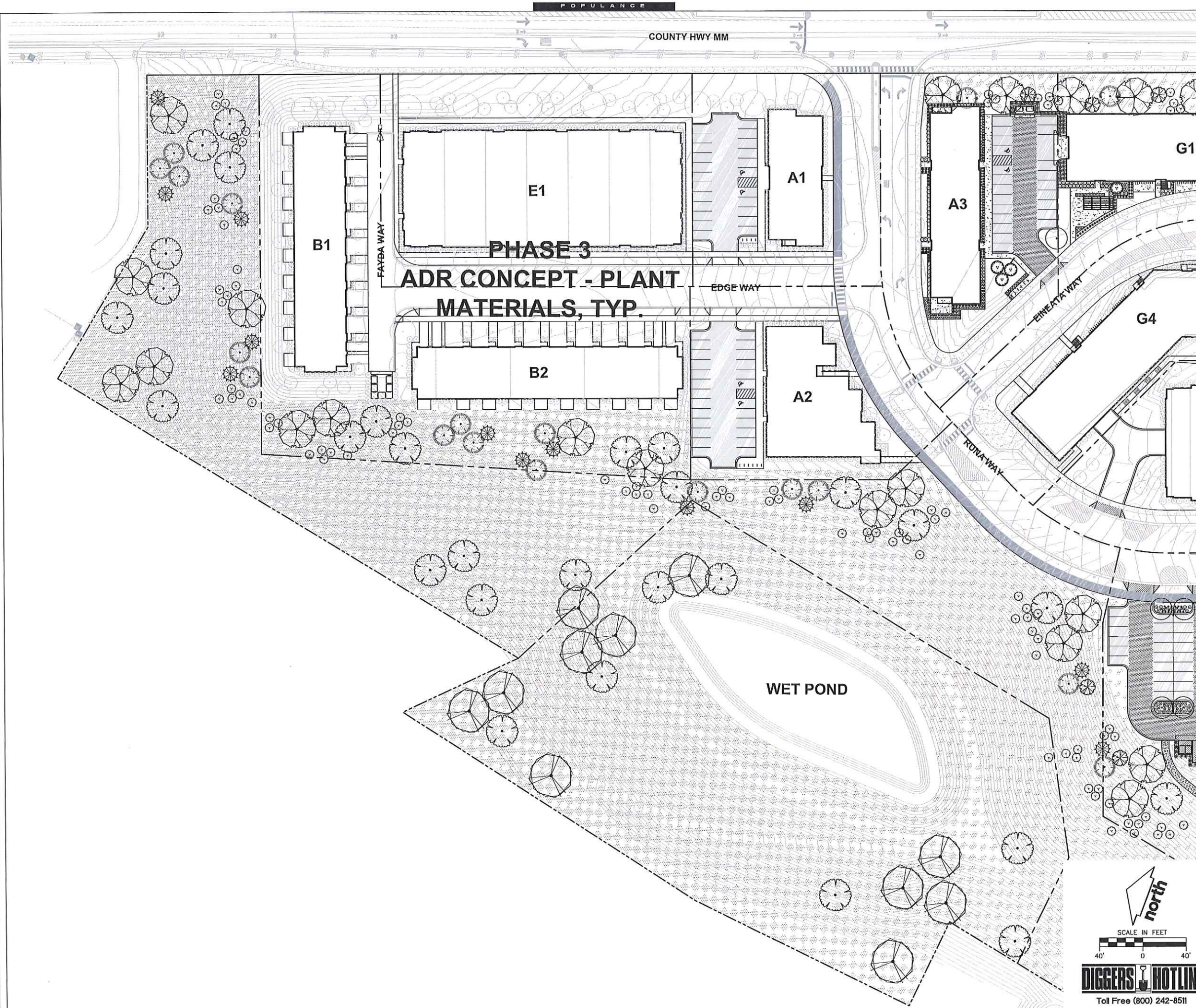
COUNTY HIGHWAY MM
 FITCHBURG, WI

OVERALL
 LANDSCAPE PLAN

WWW.POPULANCE.COM
 STUDIO@POPULANCE.COM
 608.333.1926
 DATE
 01.23.18

L200

DIGGERS HOTLINE
 SCALE IN FEET
 100' 0 100'
 Toll Free (800) 242-8511



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	30" STANDARD CURB AND GUTTER
	30" REJECT CURB AND GUTTER
	18" STANDARD CURB AND GUTTER
	18" REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SILT FENCE
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	ELECTRIC
	GAS
	CORTEN STEEL RETAINING WALL
	V-BEAM FRAMED GARDEN FENCE LINE
	V-BEAM FRAMED GARDEN FENCE LINE
	ENVROLOK RETAINING WALL
	GABION WALL
	RECYCLED CONCRETE COBBLES (3"-6" SIZE)
	INFILTRATION BASIN PLUG PLANTINGS
	PRAIRIE SEED MIX
	LIMESTONE AGGREGATE GARDEN PATH
	COMPOSITE WOOD DECKING
	LANDSCAPE PAVERS 1
	STREET LIGHT
	STREET LIGHT WITH SIGN
	STREET LIGHT WITH ROADWAY NAMES
	SIGN
	BIKE RACK
	STREET TERRACE PAVERS
	DETECTABLE WARNING
	WATER CATCHMENT (REFER TO ARCHITECTURAL)

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TORQUE FOCUSED REAL ESTATE
 PLAN COMMISSION

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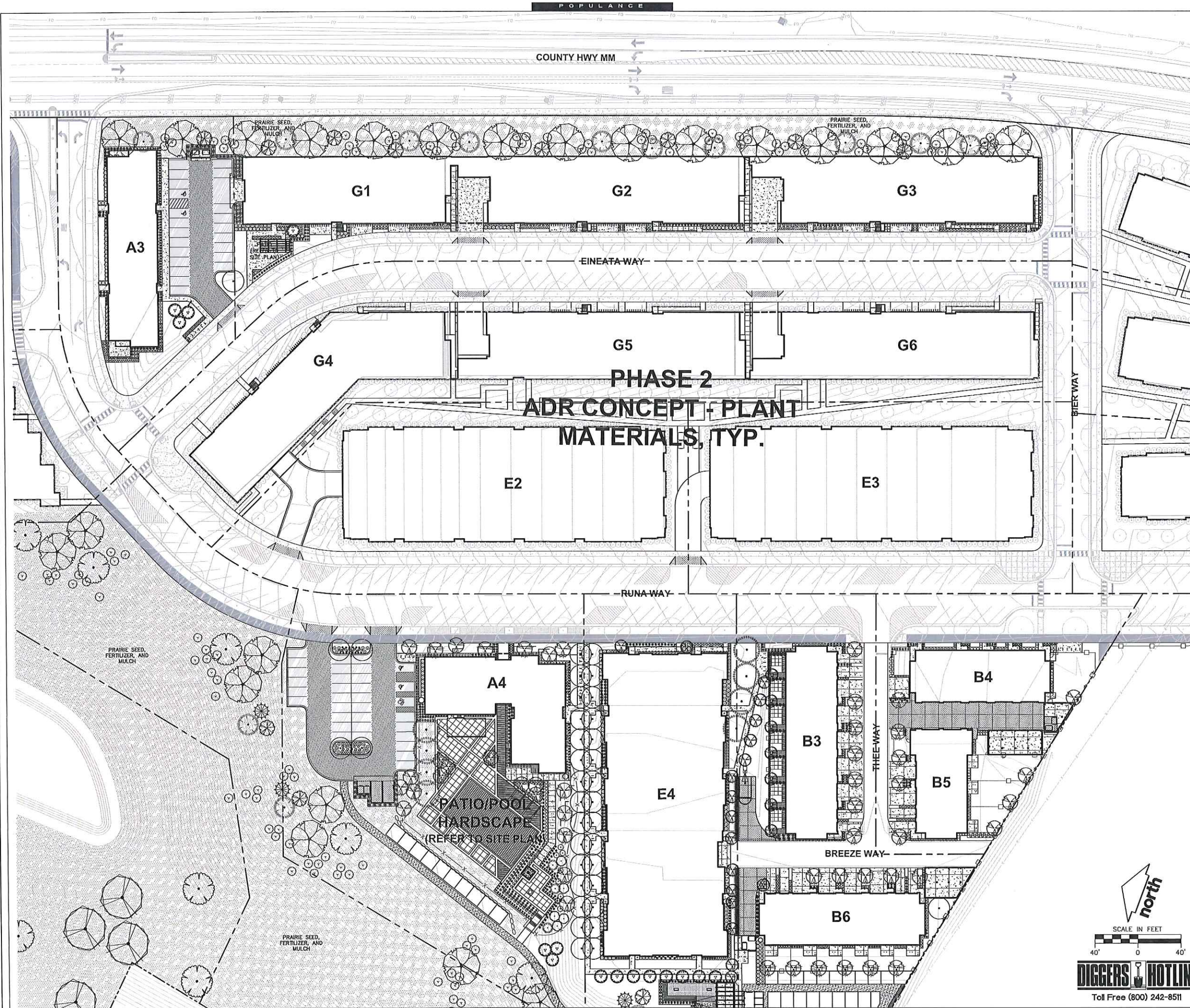
TORQUE COMPANIES	www.POPULANCE.COM
	STUDIO@POPULANCE.COM
COUNTY HIGHWAY MM FITCHBURG, WI	608.333.1926
	DATE 01.23.18

LANDSCAPE PLAN **L201**

north

SCALE IN FEET

DIGGERS & HOTLINE
 Toll Free (800) 242-8511



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	30" STANDARD CURB AND GUTTER
	30" REJECT CURB AND GUTTER
	18" STANDARD CURB AND GUTTER
	18" REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	959 PROPOSED 1 FOOT CONTOUR
	960 PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	SILT FENCE
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	ELECTRIC
	GAS
	CORTEN STEEL RETAINING WALL
	V-BEAM FRAMED GARDEN FENCE LINE
	V-BEAM FRAMED GARDEN FENCE LINE
	ENVIROLOK RETAINING WALL
	GABION WALL
	RECYCLED CONCRETE COBBLES (3"-6" SIZE)
	INFILTRATION BASIN PLUG PLANTINGS
	PRAIRIE SEED MIX
	LIMESTONE AGGREGATE GARDEN PATH
	COMPOSITE WOOD DECKING
	LANDSCAPE PAVERS 1
	STREET LIGHT
	STREET LIGHT WITH SIGN
	STREET LIGHT WITH ROADWAY NAMES
	SIGN
	BIKE RACK
	STREET TERRACE PAVERS
	DETECTABLE WARNING
	WATER CATCHMENT (REFER TO ARCHITECTURAL)

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VERONA, WISCONSIN 53593
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PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

COUNTY HIGHWAY MM
FITCHBURG, WI

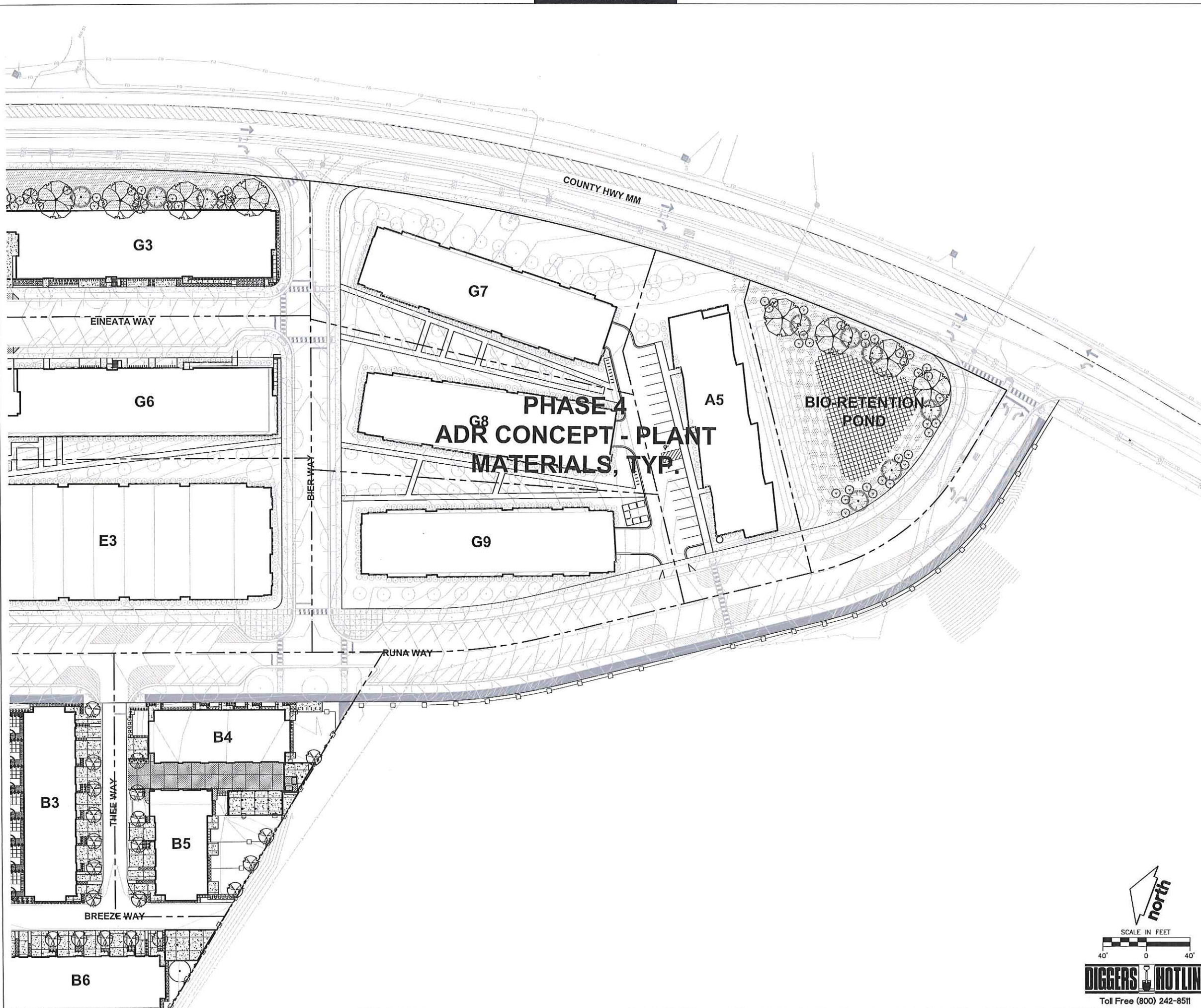
LANDSCAPE PLAN

L202

DATE
01.23.18

WWW.POPULANCE.COM
STUDIO@POPULANCE.COM
608.333.1926

DIGGERS & HOTLINE
Toll Free (800) 242-8511



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	30" STANDARD CURB AND GUTTER
	30" REJECT CURB AND GUTTER
	18" STANDARD CURB AND GUTTER
	18" REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	959 PROPOSED 1 FOOT CONTOUR
	960 PROPOSED 5 FOOT CONTOUR
	979 EXISTING 1 FOOT CONTOUR
	987 EXISTING 5 FOOT CONTOUR
	SILT FENCE
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	ELECTRIC
	GAS
	CORTEN STEEL RETAINING WALL
	V-BEAM FRAMED GARDEN FENCE LINE
	V-BEAM FRAMED GARDEN FENCE LINE
	ENVIROLOK RETAINING WALL
	GABION WALL
	RECYCLED CONCRETE COBBLES (3"-6" SIZE)
	INFILTRATION BASIN PLUG PLANTINGS
	PRAIRIE SEED MIX
	LIMESTONE AGGREGATE GARDEN PATH
	COMPOSITE WOOD DECKING
	LANDSCAPE PAVERS 1
	STREET LIGHT
	STREET LIGHT WITH SIGN
	STREET LIGHT WITH ROADWAY NAMES
	SIGN
	BIKE RACK
	STREET TERRACE PAVERS
	DETECTABLE WARNING
	WATER CATCHMENT (REFER TO ARCHITECTURAL)

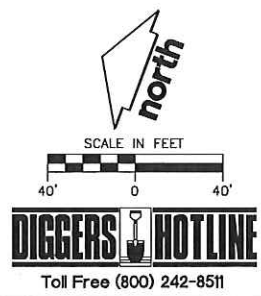
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P. 608.848.5500



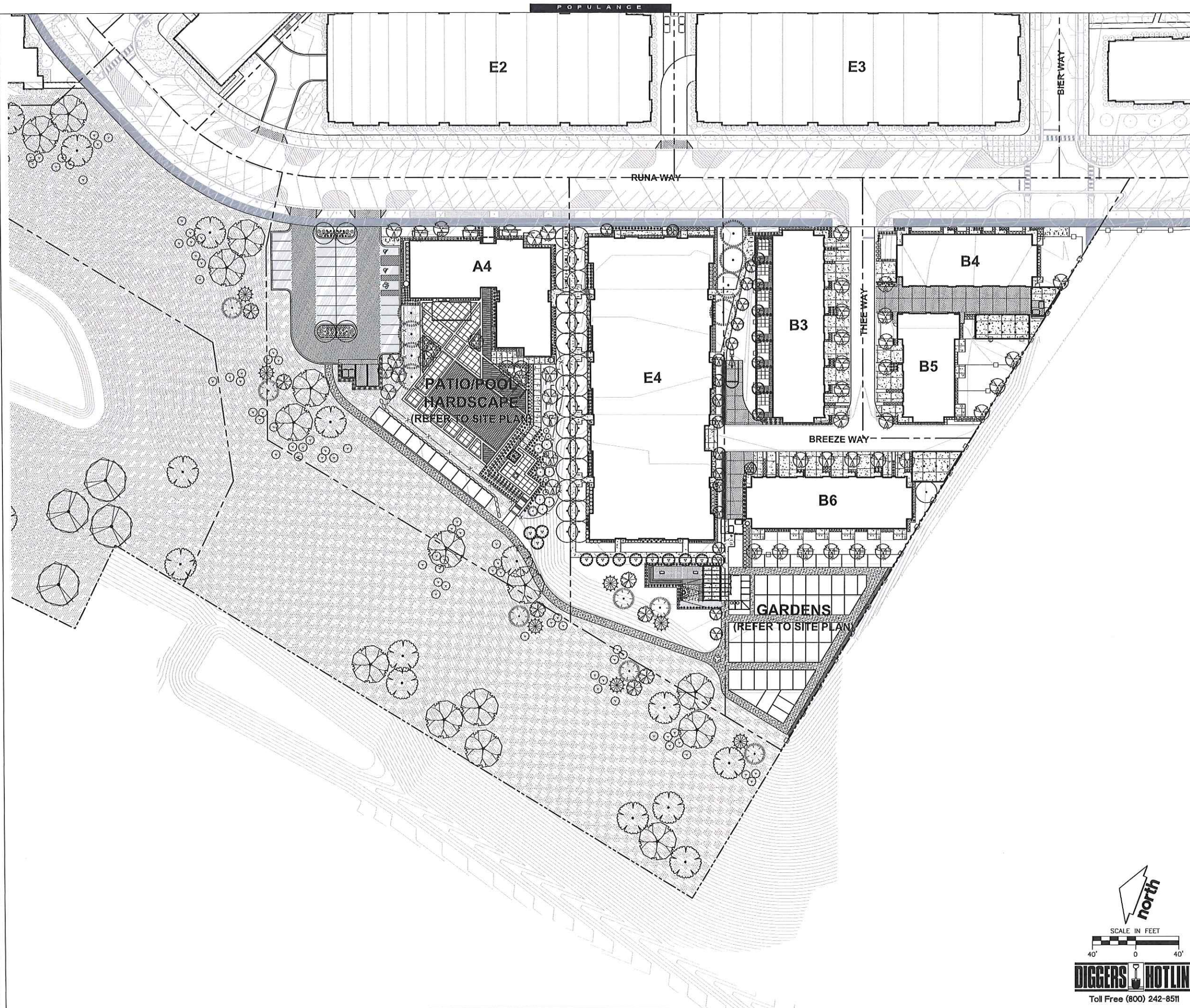
TORQUE
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PLAN COMMISSION

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	DATE 01.23.18
COUNTY HIGHWAY MM FITCHBURG, WI	L203
LANDSCAPE PLAN	

DIGGERS HOTLINE
Toll Free (800) 242-8511



LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- . - . -	EASEMENT LINE
=====	BUILDING OUTLINE
=====	EDGE OF PAVEMENT
=====	30" STANDARD CURB AND GUTTER
=====	30" REJECT CURB AND GUTTER
=====	18" STANDARD CURB AND GUTTER
=====	18" REJECT CURB AND GUTTER
=====	ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
=====	HEAVY DUTY CONCRETE PAVEMENT
=====	STORMWATER MANAGEMENT AREA
-----	PROPOSED 1 FOOT CONTOUR
-----	PROPOSED 5 FOOT CONTOUR
-----	EXISTING 1 FOOT CONTOUR
-----	EXISTING 5 FOOT CONTOUR
-----	SILT FENCE
-----	SANITARY SEWER
-----	WATERMAIN
-----	STORM SEWER
-----	ELECTRIC
-----	GAS
-----	CORTEN STEEL RETAINING WALL
-----	V-BEAM FRAMED GARDEN FENCE LINE
-----	V-BEAM FRAMED GARDEN FENCE LINE
-----	ENVIROLOK RETAINING WALL
-----	GABION WALL
-----	RECYCLED CONCRETE COBBLES (3"-6" SIZE)
-----	INFILTRATION BASIN PLUG PLANTINGS
-----	PRAIRIE SEED MIX
-----	LIMESTONE AGGREGATE GARDEN PATH
-----	COMPOSITE WOOD DECKING
-----	LANDSCAPE PAVERS 1
□	STREET LIGHT
□	STREET LIGHT WITH SIGN
□	STREET LIGHT WITH ROADWAY NAMES
□	SIGN
□	BIKE RACK
□	STREET TERRACE PAVERS
□	DETECTABLE WARNING
○	WATER CATCHMENT (REFER TO ARCHITECTURAL)

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MADISON, WISCONSIN 53705
P. 608.848.5560

TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SCALE IN FEET
40' 0 40'

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Toll Free (800) 242-8511

TORQUE COMPANIES

COUNTY HIGHWAY MM
FITCHBURG, WI

LANDSCAPE PLAN

DATE
01.23.18

L204

DRAWING NOTES



CODE NOTES



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PLAN COMMISSION

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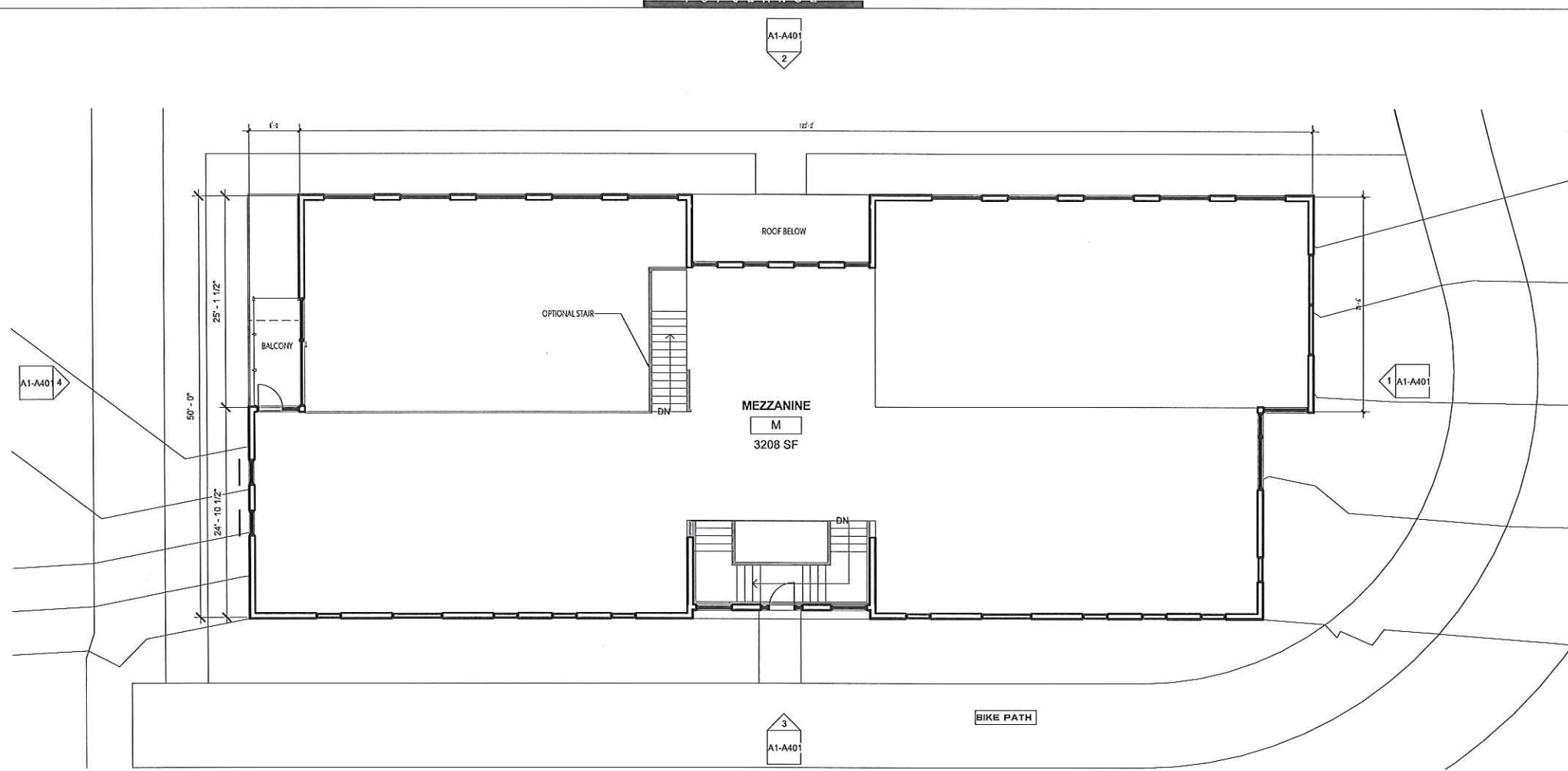
TORQUE
COMPANIES

DATE
01.23.18

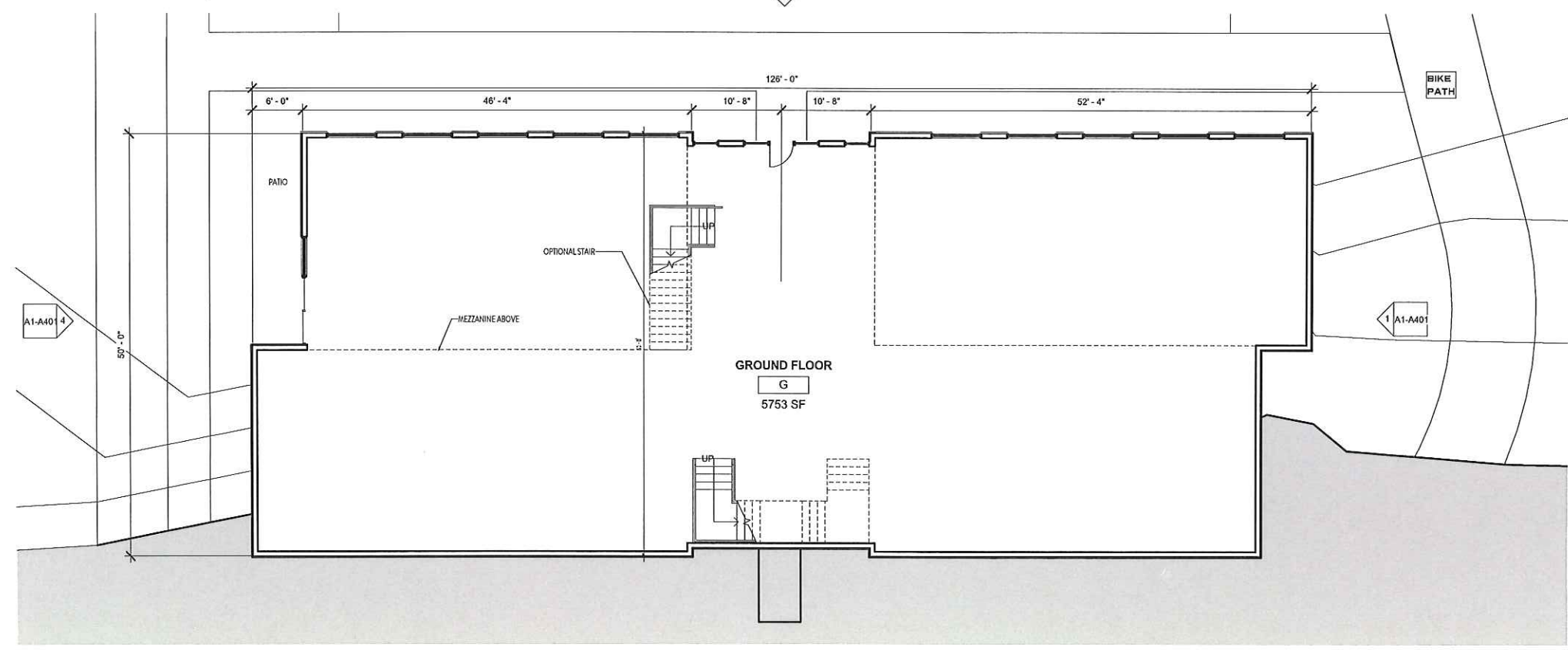
COUNTY HIGHWAY MM
FITCHBURG, WI

A1-FLOOR PLANS

A1-A101



1 MEZZANINE PLAN
1/8" = 1'-0"



6 GROUND FLOOR
1/8" = 1'-0"



2 NORTH ELEVATION
3/32" = 1'-0"



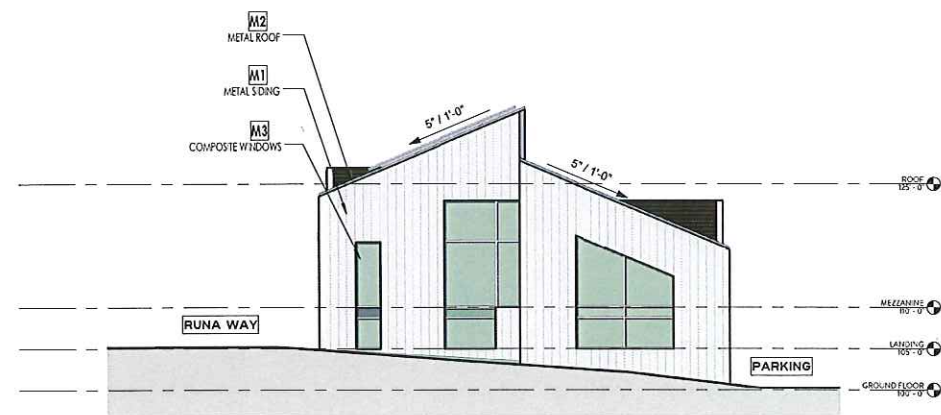
5 COLLAB ENTRY TO WEST



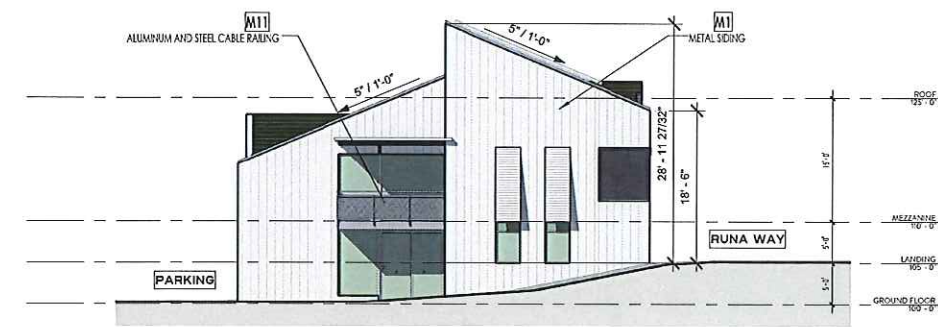
3 SOUTH ELEVATION
3/32" = 1'-0"



6 PARKING ENTRY



1 EAST ELEVATION
3/32" = 1'-0"

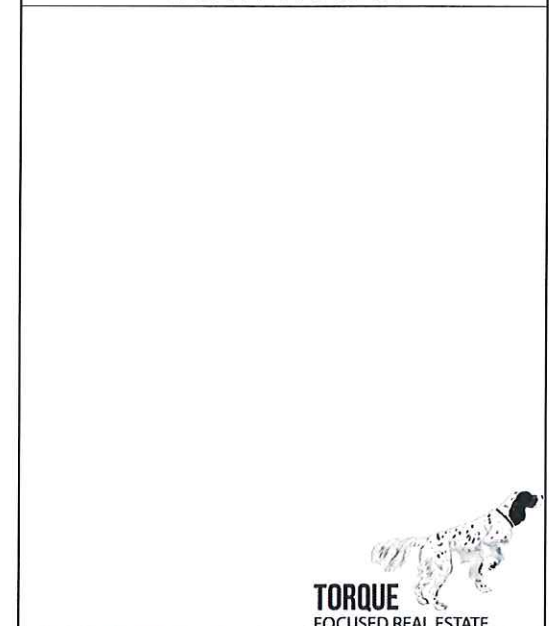


4 WEST ELEVATION
3/32" = 1'-0"

DRAWING NOTES



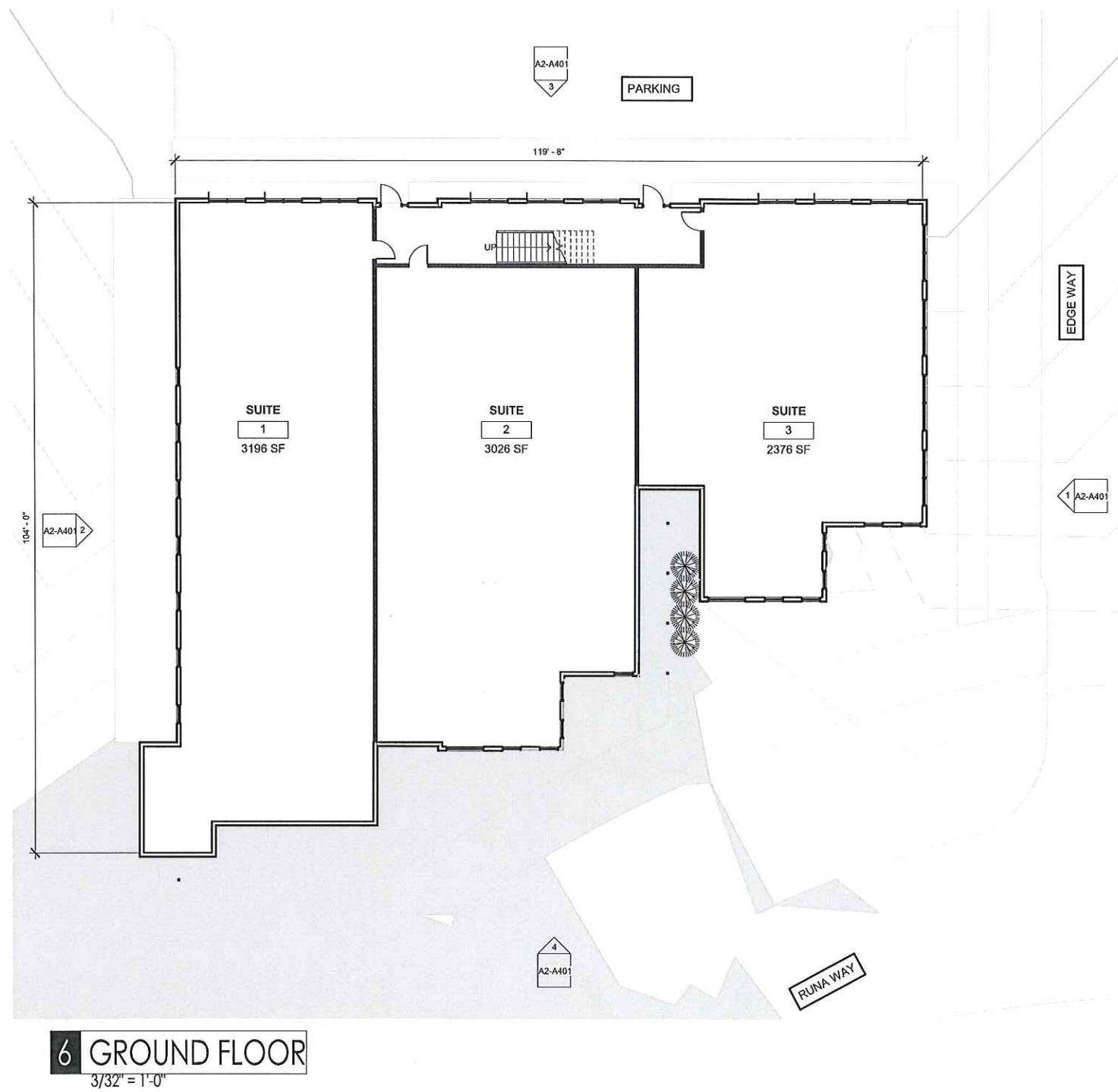
CODE NOTES



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	DATE	01.23.18
	COUNTY HIGHWAY MM FITZBURG, WI	A1-A401
A1-BUILDING ELEVATIONS SCALE: 3/32" = 1'-0"		



Area Schedule (Gross Building)		
Level	Name	Area
GROUND FLOOR	GROUND FLOOR	9,553 SF
GROUND FLOOR: 1		9,553 SF
2ND FLOOR	2ND FLOOR	9,527 SF
2ND FLOOR: 1		9,527 SF
MEZZANINE	MEZZANINE 4M	1,589 SF
MEZZANINE	MEZZANINE 5M	1,196 SF
MEZZANINE	MEZZANINE 6M	855 SF
MEZZANINE: 3		3,639 SF
		22,719 SF



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

**BUILDING A2-
GROUND FLOOR**

A2-A101

DRAWING NOTES



CODE NOTES



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

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TORQUE
COMPANIES

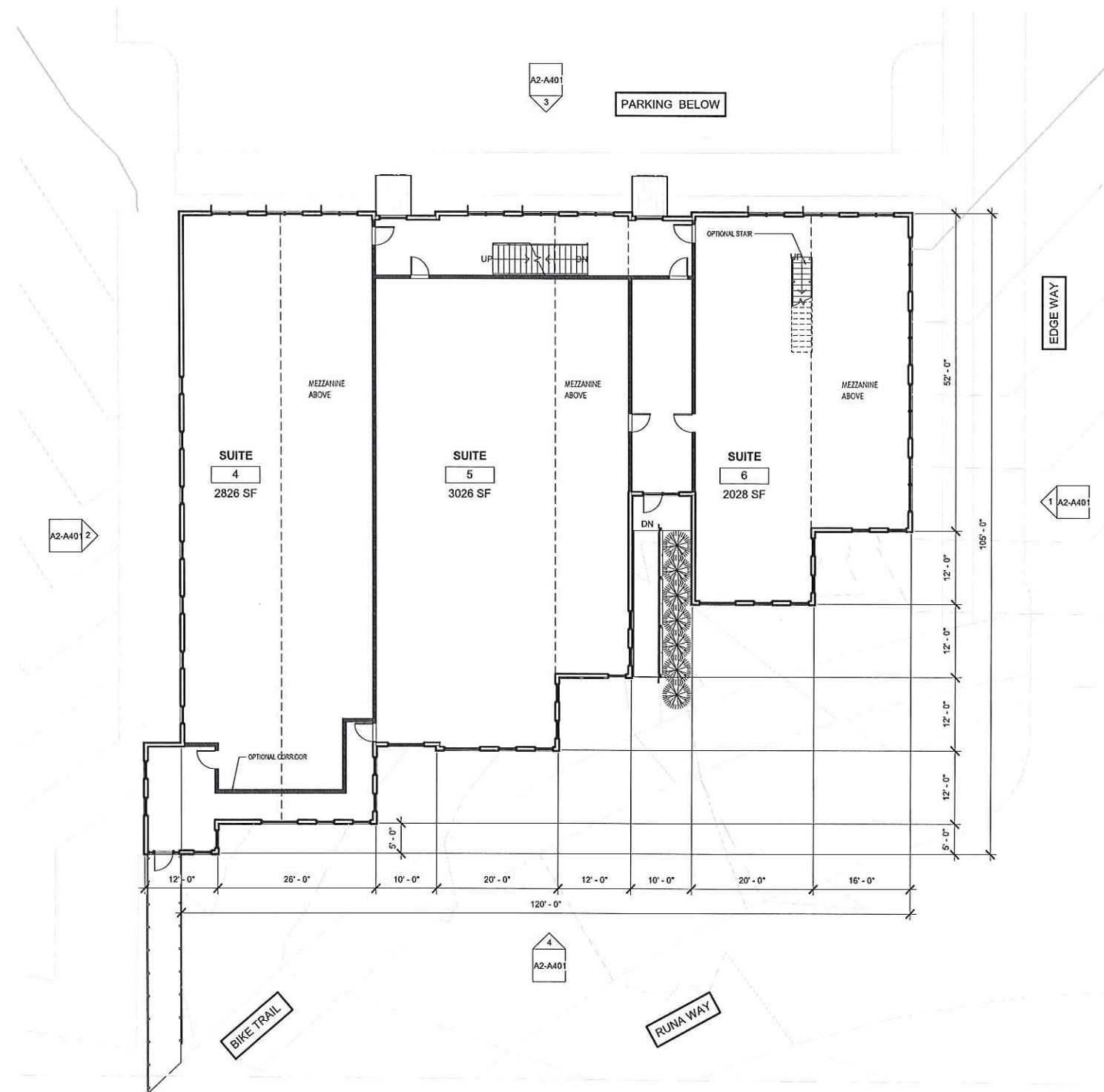
DATE
01.29.18

COUNTY HIGHWAY MM
FITCHBURG, WI

**BUILDING A2-
SECOND FLOOR**

A2-A102

1 2ND FLOOR
3/32" = 1'-0"



GENERAL NOTES

DRAWING NOTES



CODE NOTES

PLAN COMMISSION

SIP SUBMITTAL

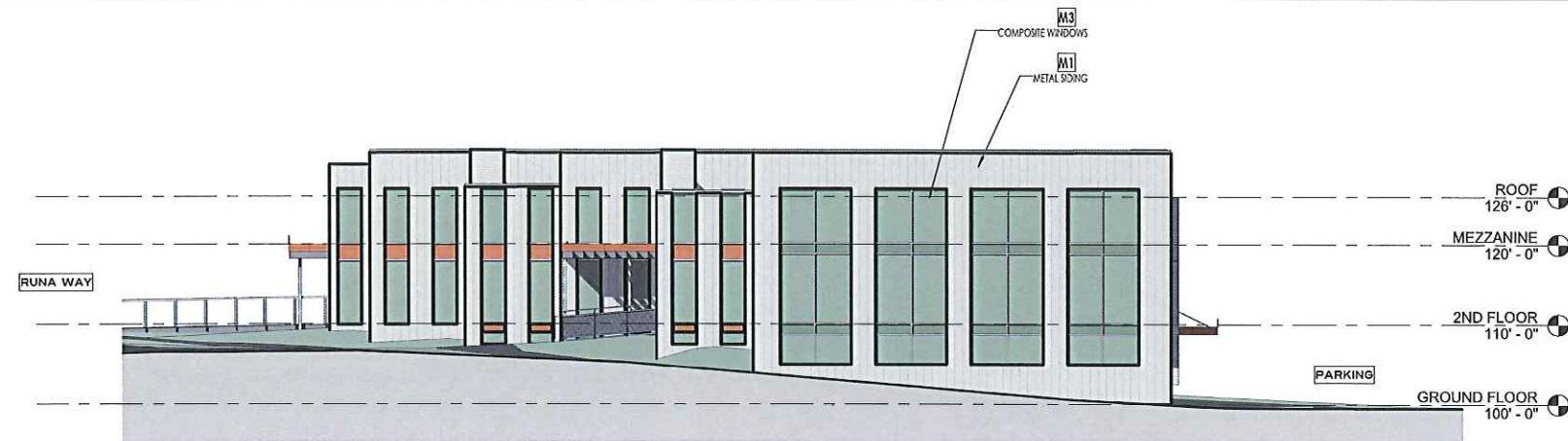
TORQUE COMPANIES

DATE
01.29.18

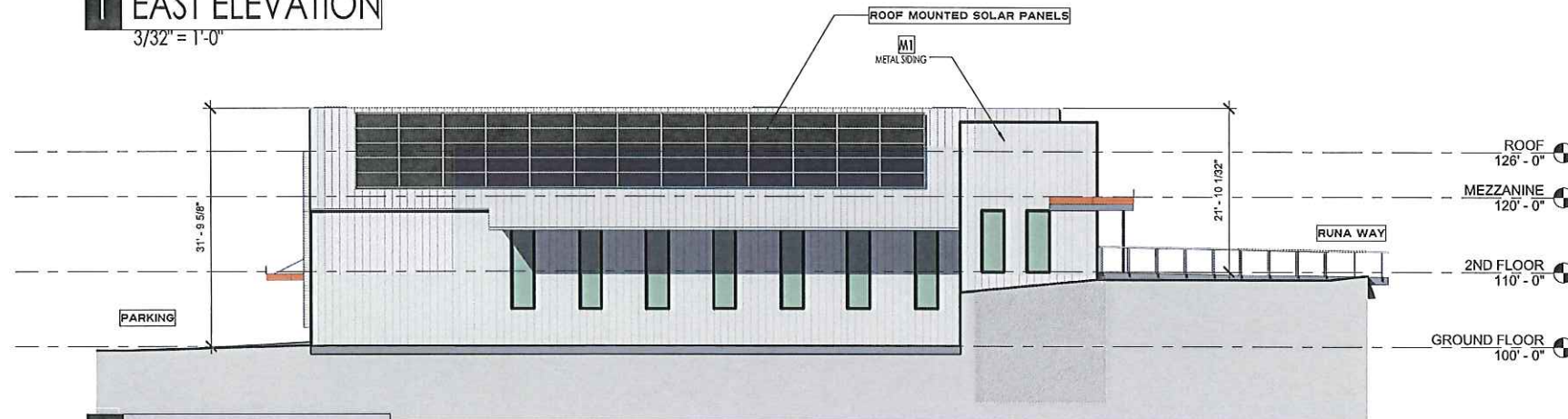
COUNTY HIGHWAY MM
FITCHBURG, WI

A2- BUILDING ELEVATIONS
SCALE: 3/32" = 1'-0"

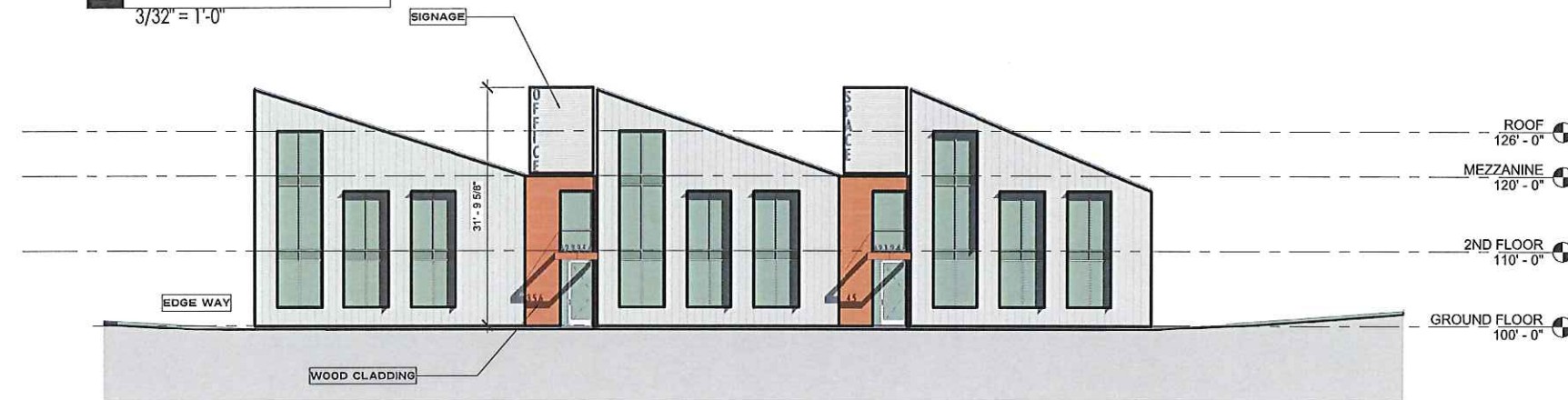
A2-A401



1 EAST ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



3 NORTH ELEVATION
3/32" = 1'-0"



4 SOUTH ELEVATION
3/32" = 1'-0"



5 RUNA WAY TO NE



6 RUNA WAY TO NW



7 RUNA WAY TO WEST



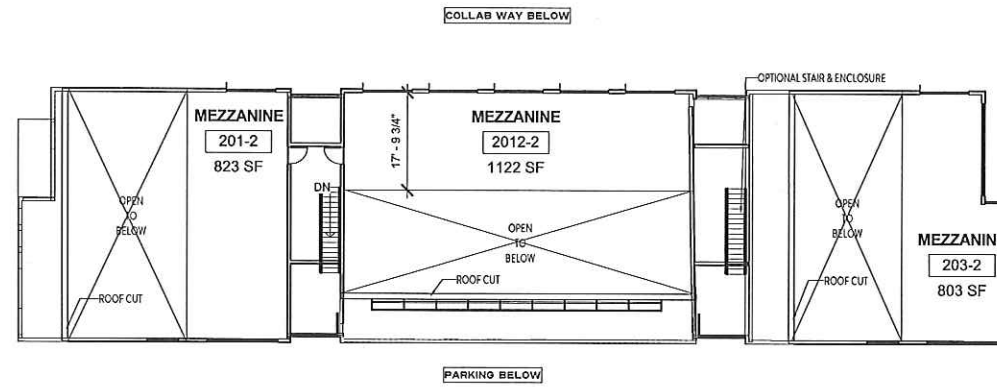
8 PARKING ENTRANCE TO SW

GENERAL NOTES

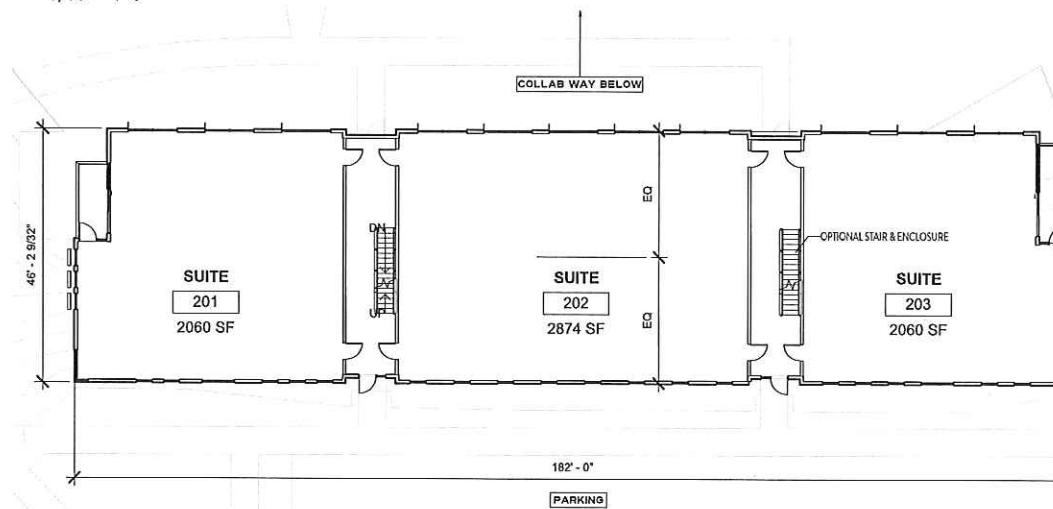
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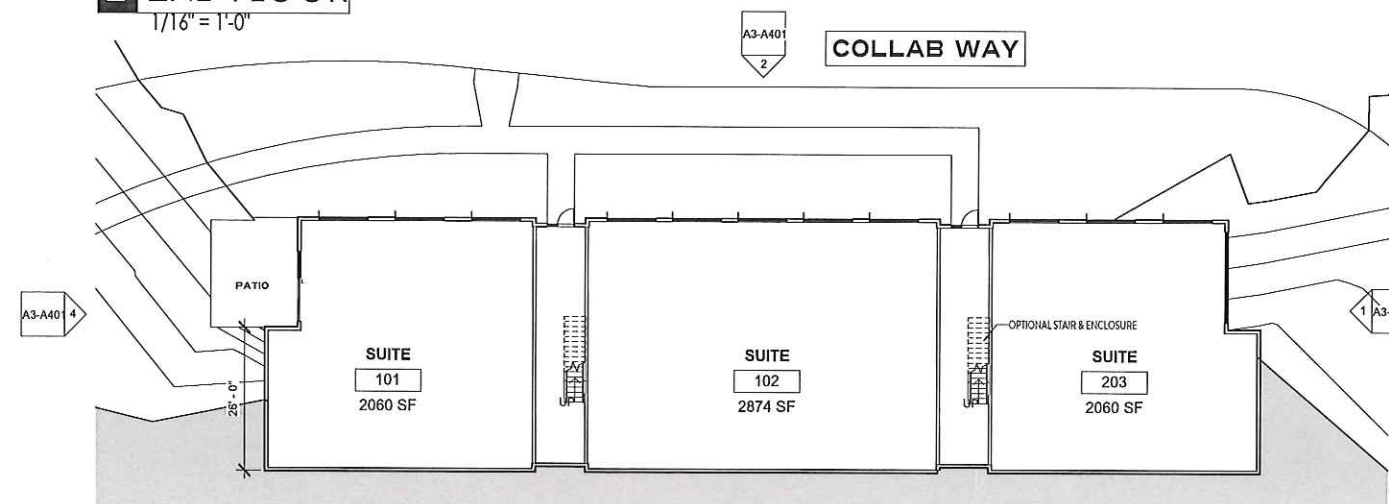
CODE NOTES



3 MEZZANINE
1/16" = 1'-0"



2 2ND FLOOR
1/16" = 1'-0"



1 GROUND FLOOR
1/16" = 1'-0"



PLAN COMMISSION

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TORQUE COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

BUILDING A3- FLOOR PLANS

A3-A102

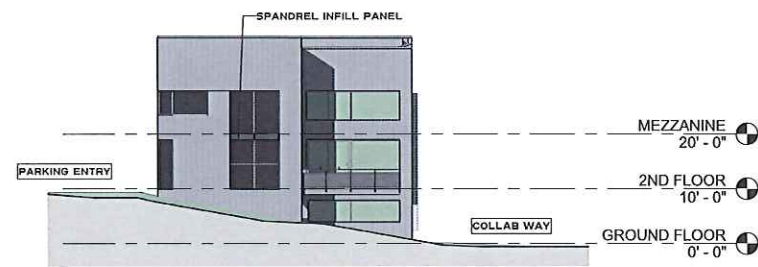
GENERAL NOTES

REFER TO SHEET A6.1 FOR TYPICAL METAL PANEL CONNECTION DETAILS AT BUILDING CORNERS, WINDOWS, ROOFS, ETC.

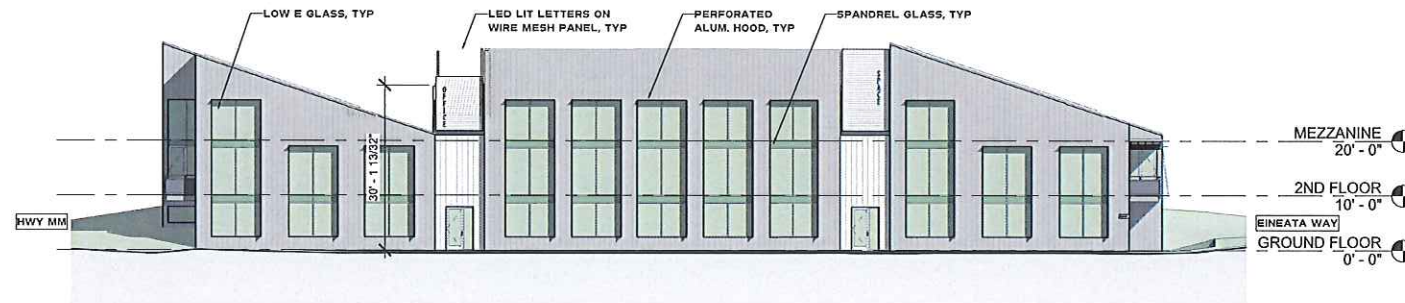
DRAWING NOTES



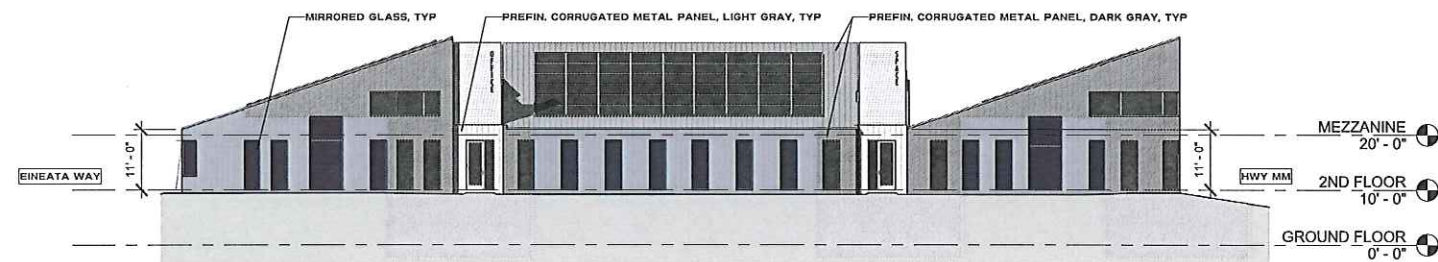
CODE NOTES



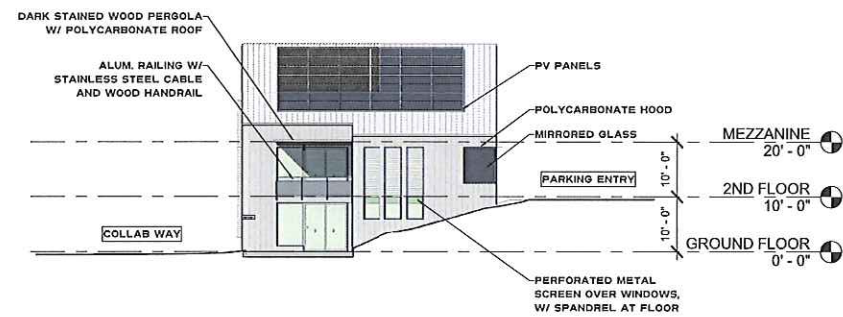
1 EAST ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



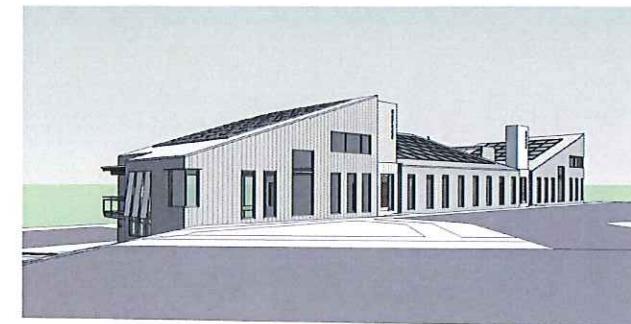
3 SOUTH ELEVATION
1/16" = 1'-0"



4 WEST ELEVATION
1/16" = 1'-0"



5 COLLAB TO EAST



6 PARKING ENTRY TO NE



7 VIEW FROM COLLAB & MM



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

**BUILDING A3-
ELEVATIONS**

A3-A401



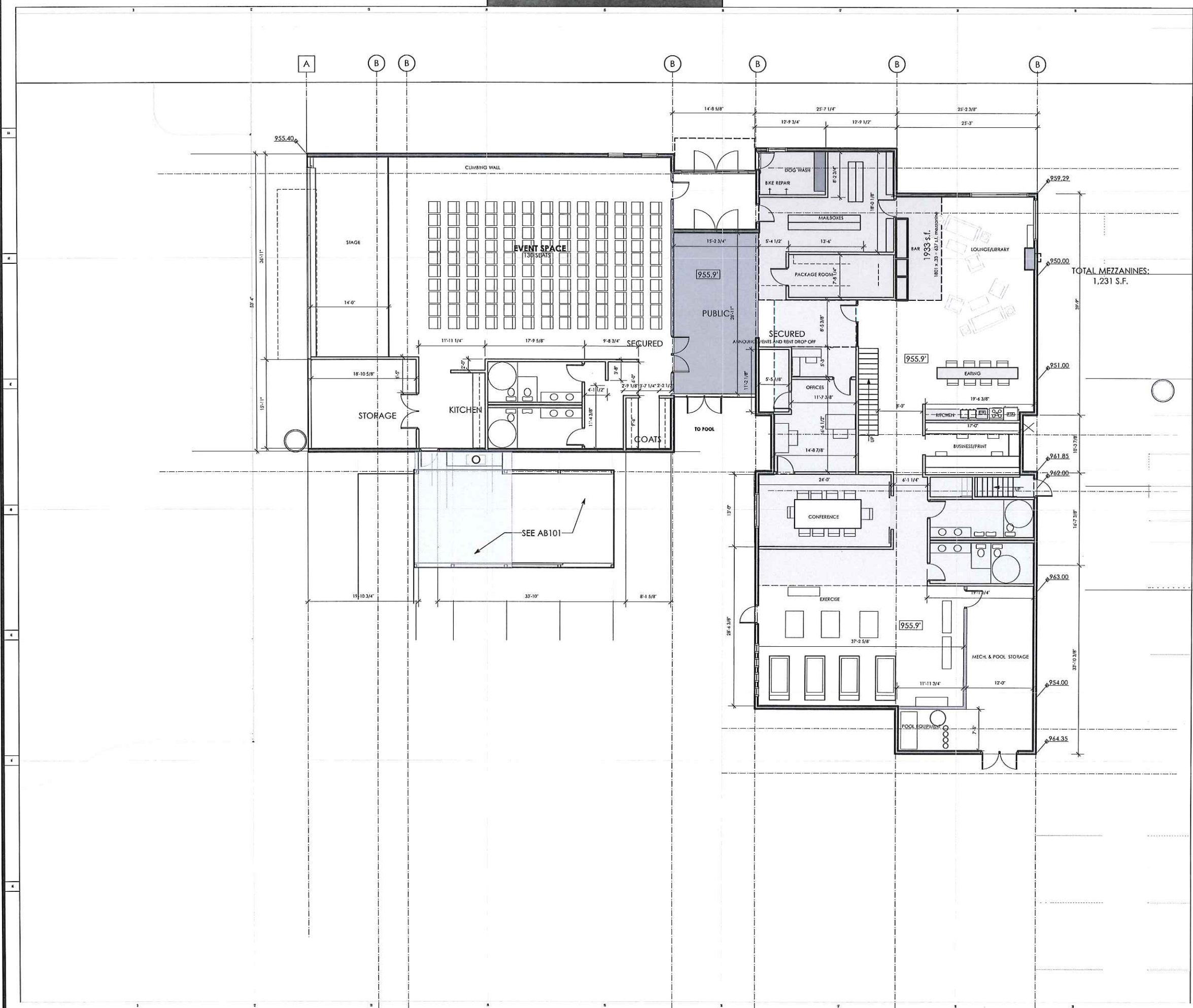
GENERAL NOTES

- A4 SOCIAL BUILDING:**
- POOL
 - COMMUNITY EVENT ROOM
 - ROCK CLIMBING WALL
 - LOUNGE/LIBRARY
 - MANAGEMENT OFFICES
 - EVENT KITCHEN
 - RESIDENT BUSINESS CENTER
 - HOTDESKING
 - RESIDENT CONFERENCE ROOMS
 - ARCADE
 - EXERCISE ROOM
 - HOT TUB
 - FIRE PIT
 - OUTDOOR GRILL AND GATHERING SPACE

DRAWING NOTES



CODE NOTES



TOTAL MEZZANINES:
1,231 S.F.

PLAN COMMISSION

SIP SUBMITTAL

WWW.POPULANCE.COM
STUDIO@POPULANCE.COM
608.333.1926

DATE
01.23.18

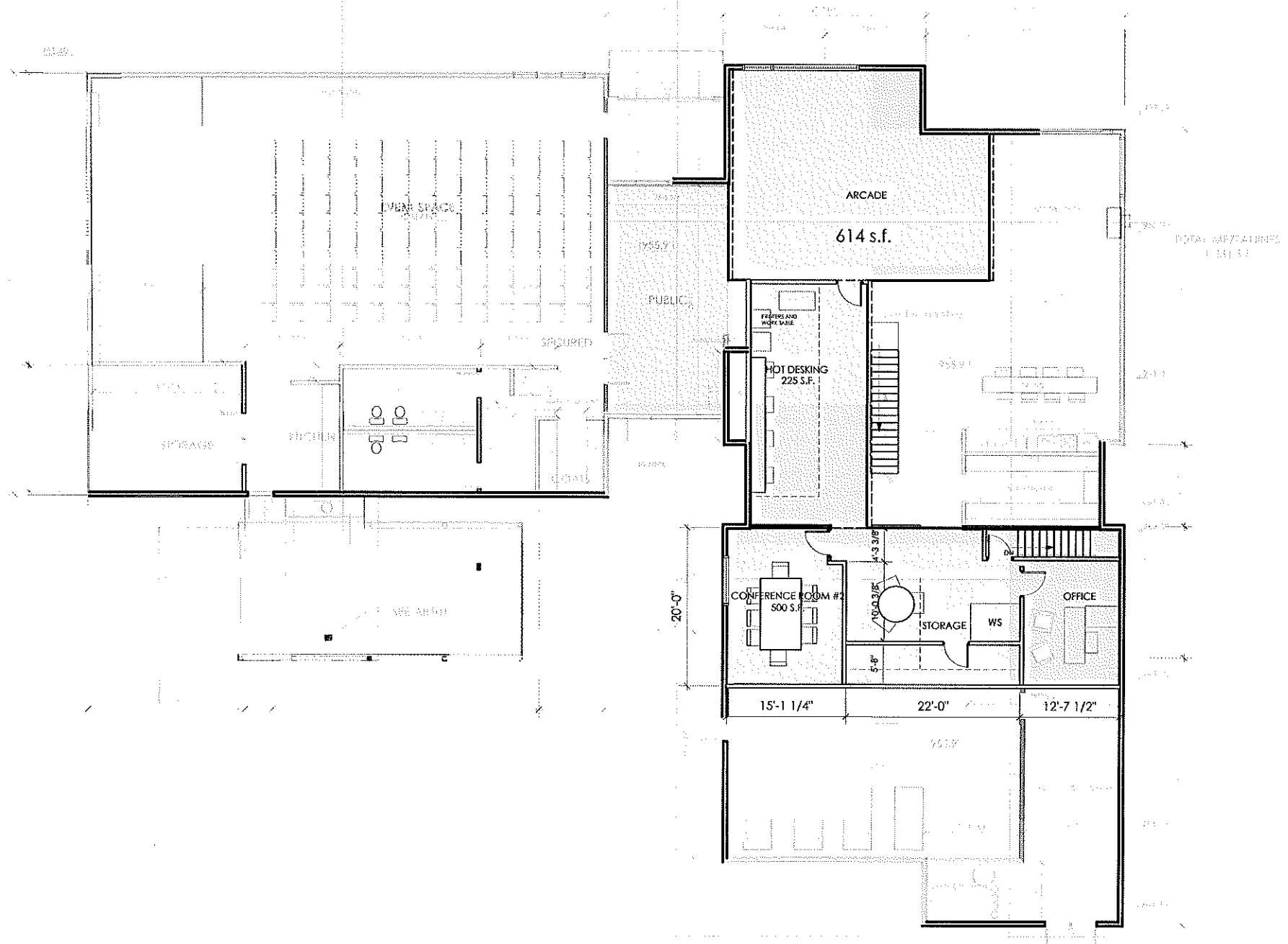
TORQUE COMPANIES

@EDGE
COUNTY HIGHWAY 434
RICHBURG, WI

A4-A101

A4- SOCIAL BUILDING

GENERAL NOTES



DRAWING NOTES

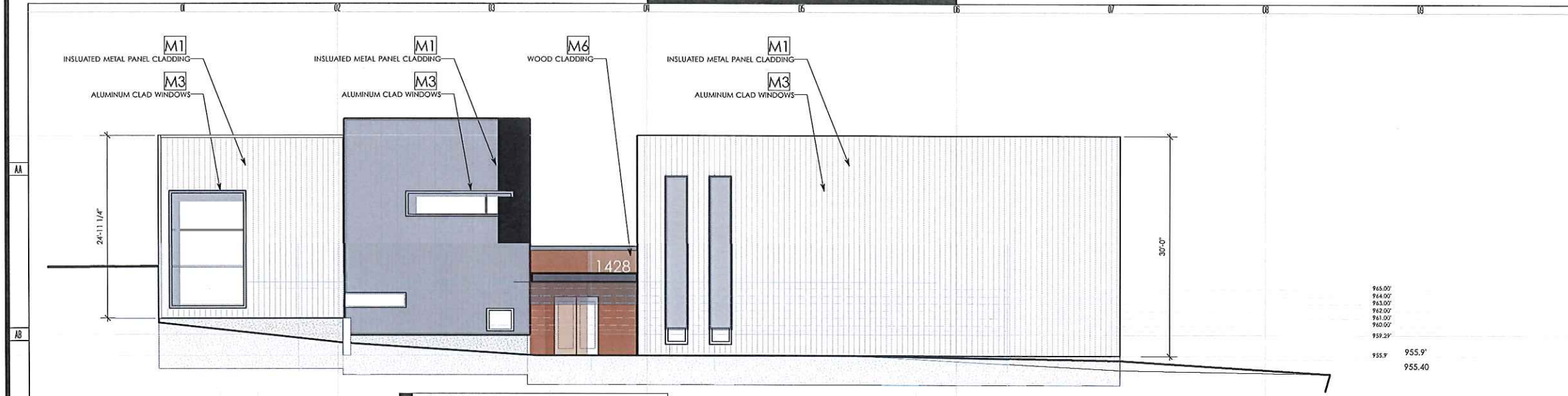
CODE NOTES



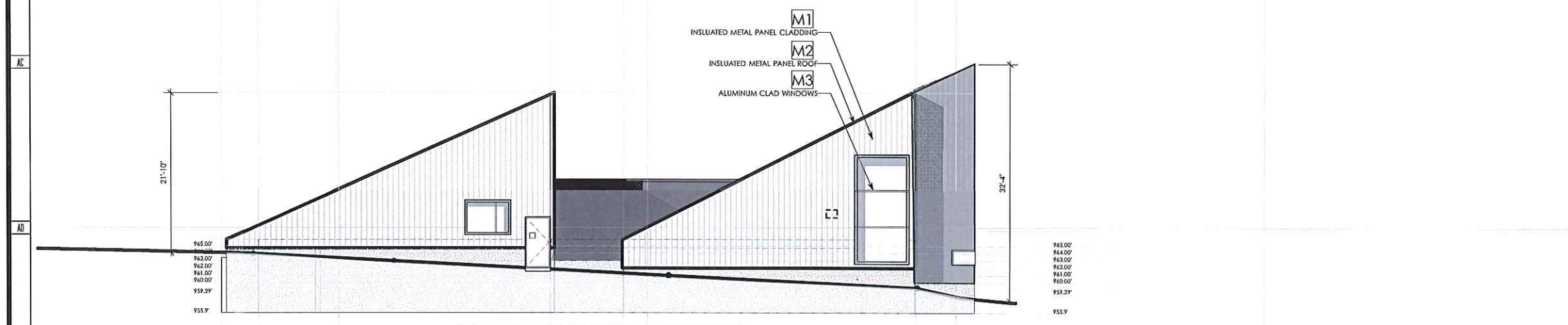
PLAN COMMISSION

SIP SUBMITTAL

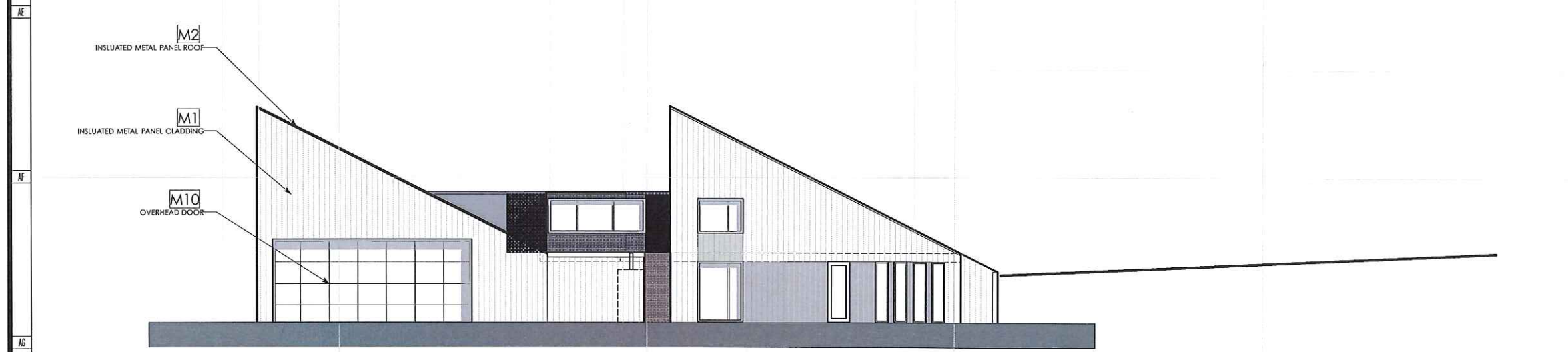
TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.393.1926	
	DATE	01.23.19
@EDGE COUNTY HIGHWAY 304 FITCHBURG, WI		A4-A102
A4- SOCIAL BUILDING		



1 SOCIAL BUILDING EAST ELEVATION
1/8" = 1'-0"



2 SOCIAL BUILDING SOUTH ELEVATION
1/8" = 1'-0"



3 SOCIAL BUILDING NORTH ELEVATION
1/8" = 1'-0"

DRAWING NOTES

CODE NOTES



TORQUE COMPANIES

SIP SUBMITTAL

TORQUE COMPANIES		WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926
DATE		01.23.18
@EDGE COUNTY HIGHWAY MM FITCHBURG, WI		A4-A401
A4- SOCIAL BUILDING		

GENERAL NOTES

DRAWING NOTES



CODE NOTES



PLAN COMMISSION

SIP SUBMITTAL

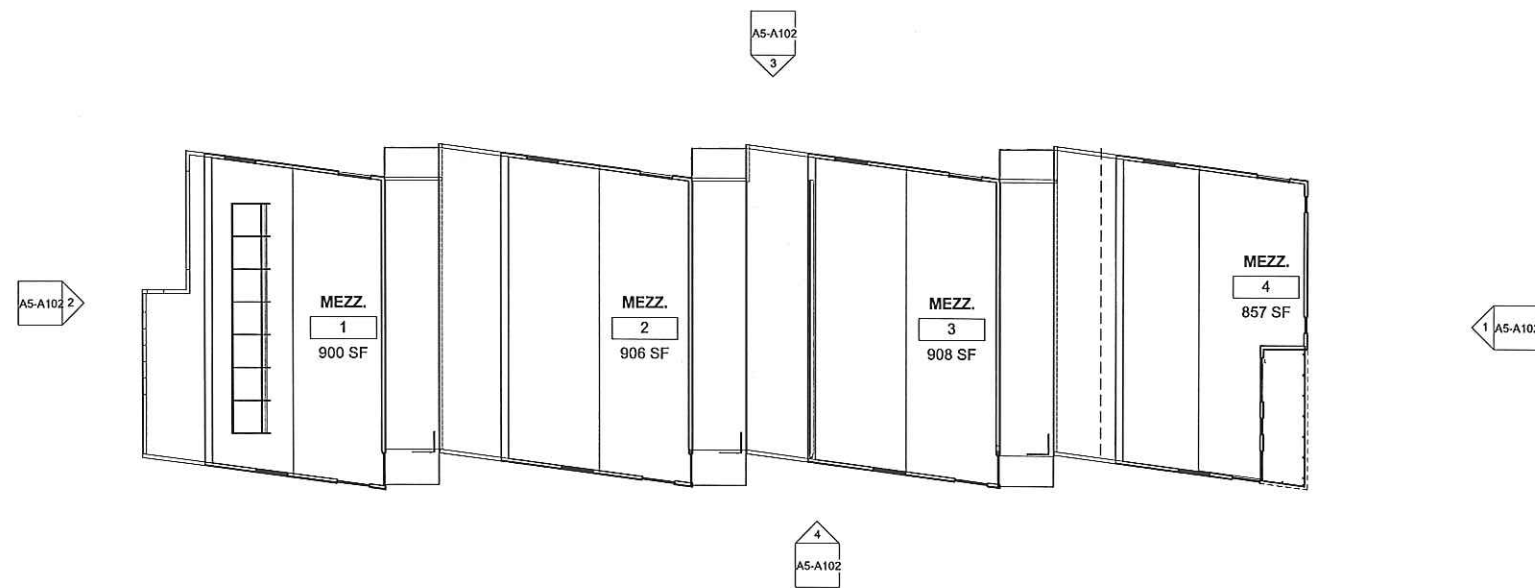
TORQUE COMPANIES

DATE
01.28.18

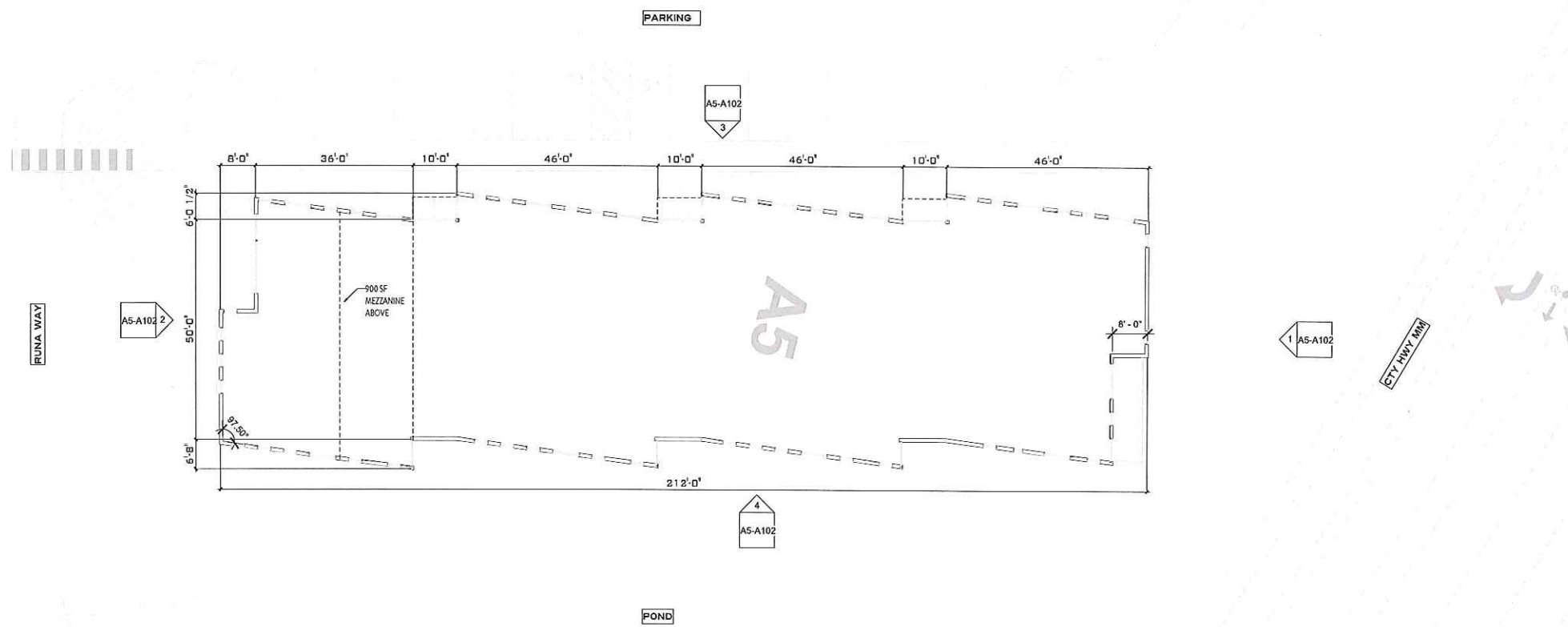
COUNTY HIGHWAY MM
FITCHBURG, WI

BUILDING A5 FLOOR PLANS

A5-A101



2 MEZZANINE
1/16" = 1'-0"



1 GROUND FLOOR
1/16" = 1'-0"

GENERAL NOTES

DRAWING NOTES



CODE NOTES



PLAN COMMISSION

SIP SUBMITTAL

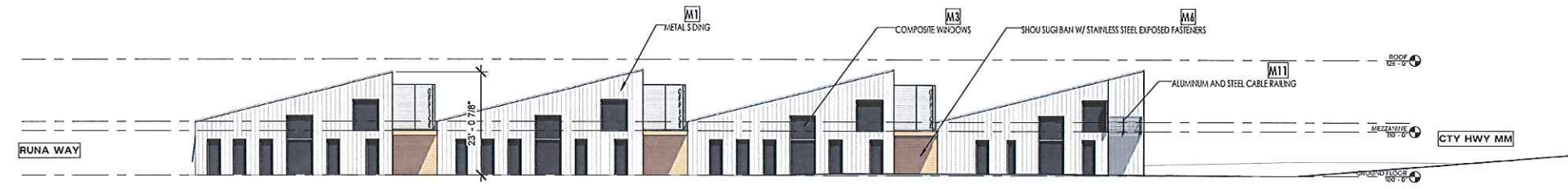
TORQUE COMPANIES

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01.28.18

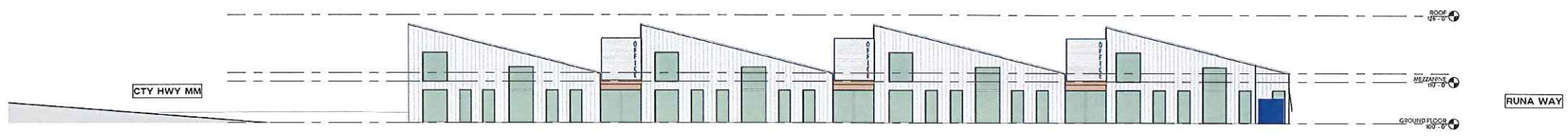
COUNTY HIGHWAY MM
FITCHBURG, WI

**BUILDING A5
ELEVATIONS**

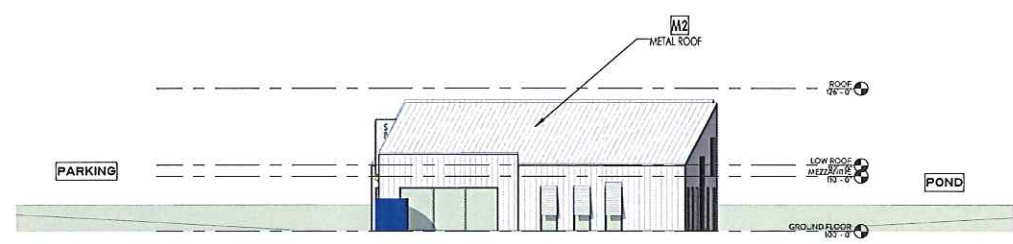
A5-A102



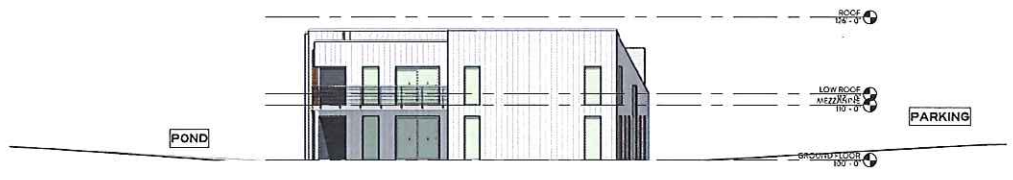
4 SOUTH ELEVATION
1/16" = 1'-0"



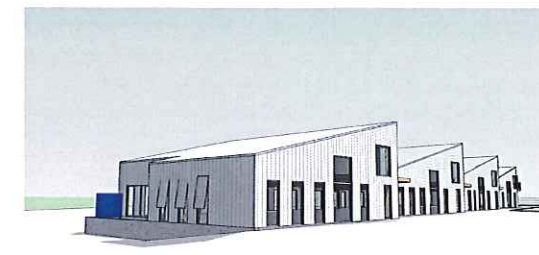
3 NORTH ELEVATION
1/16" = 1'-0"



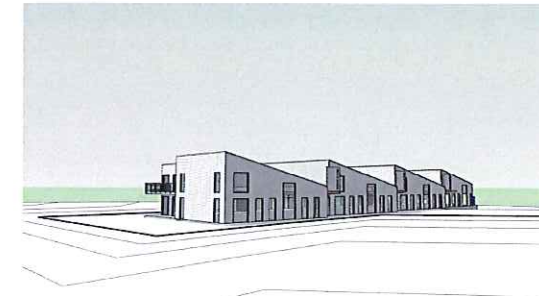
2 WEST ELEVATION
1/16" = 1'-0"



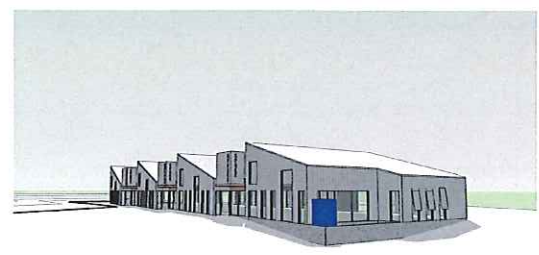
1 EAST ELEVATION
1/16" = 1'-0"



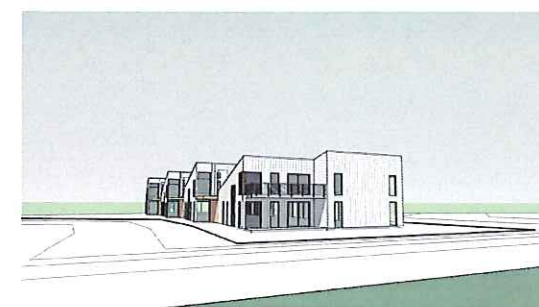
5 COLLAB TO NE



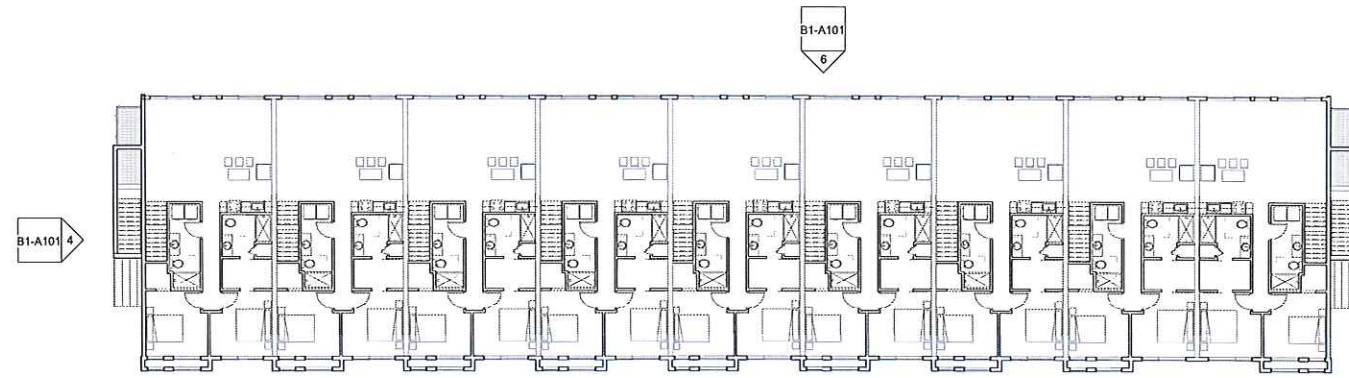
6 COLLAB TO SOUTH FROM MM



8 PARKING ENTRANCE TO SE



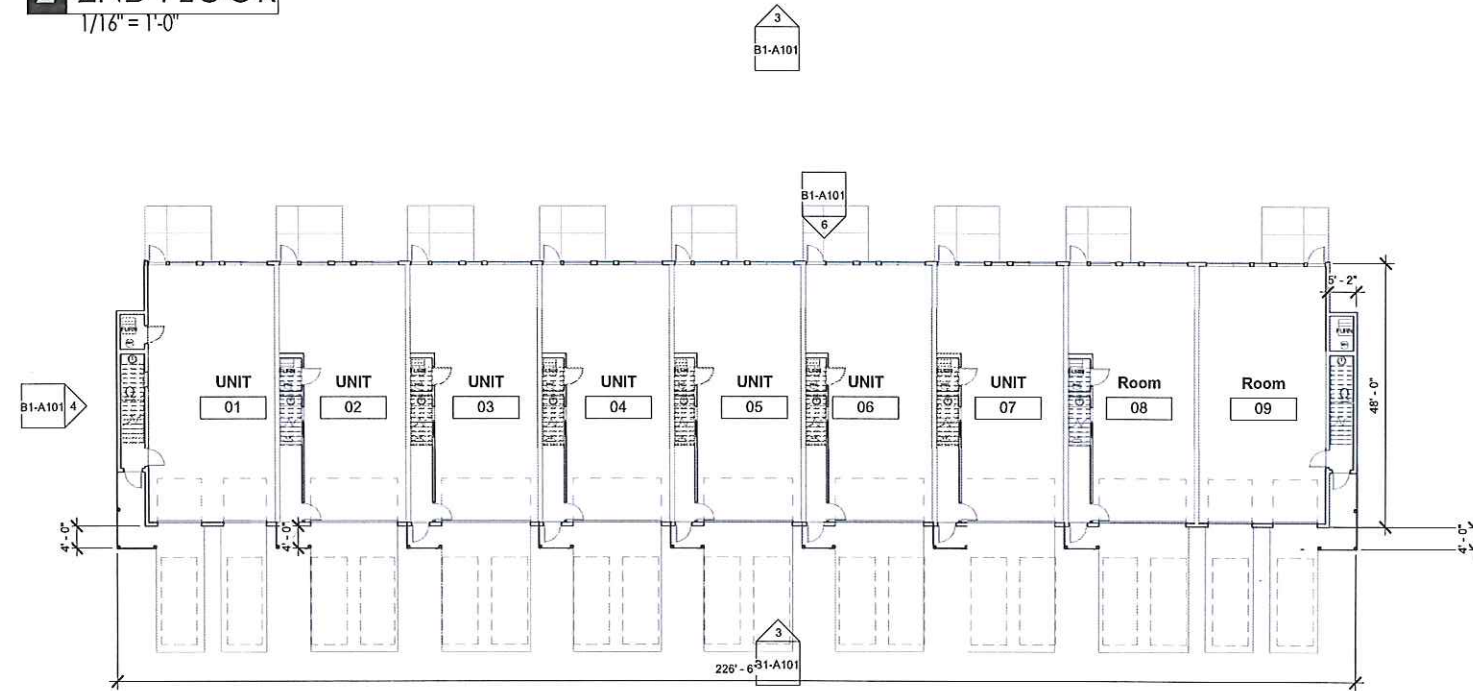
7 COLLAB TO WEST FROM MM



2 2ND FLOOR
1/16" = 1'-0"



7 3D View 1



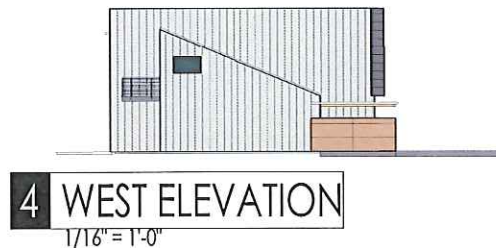
1 GROUND FLOOR
1/16" = 1'-0"



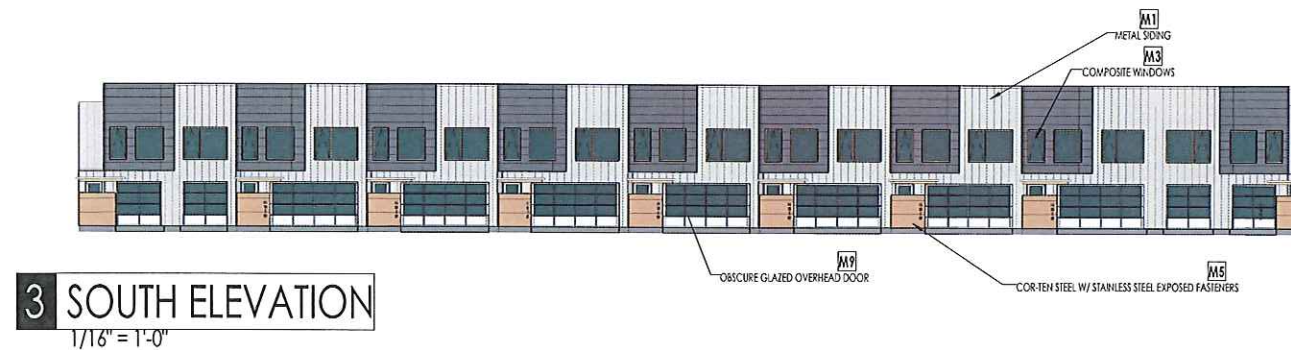
8 3D View 3



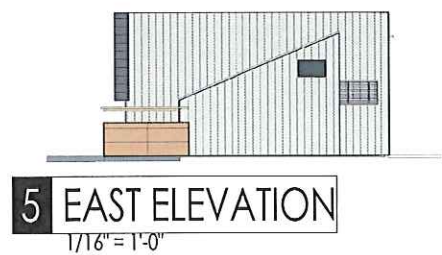
EDGE LIVE WORK City of Fitchburg Wisconsin
SCALE: 1/8" = 1'-0" MASTER PLAN



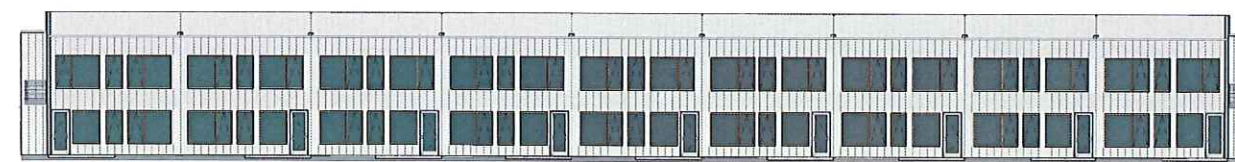
4 WEST ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION
1/16" = 1'-0"



5 EAST ELEVATION
1/16" = 1'-0"



6 NORTH ELEVATION
1/16" = 1'-0"



PLAN COMMISSION

SIP SUBMITTAL

TORQUE
COMPANIES

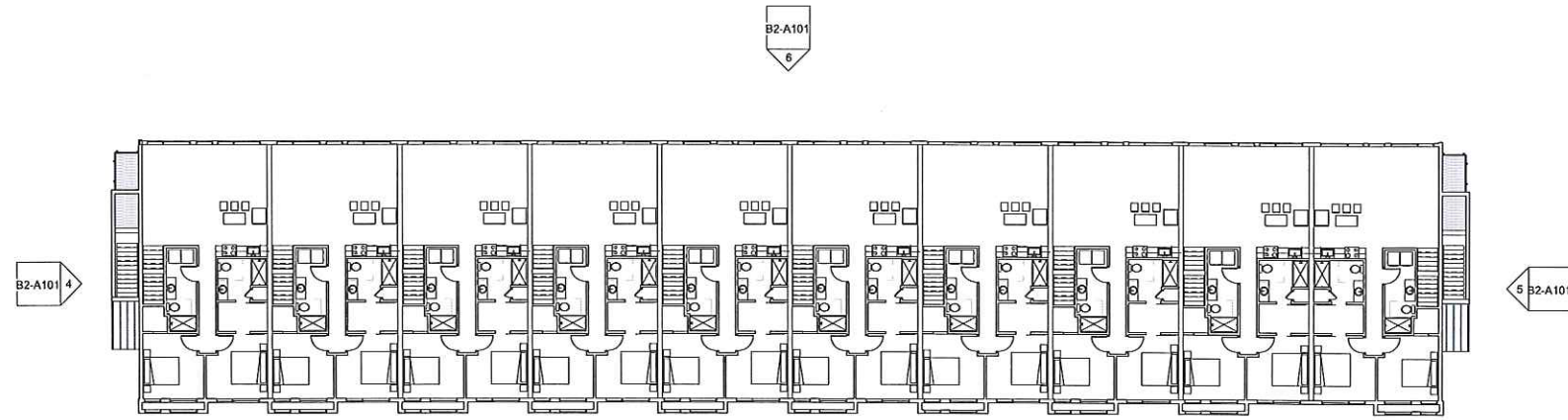
DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

BUILDING B1

B1-A101

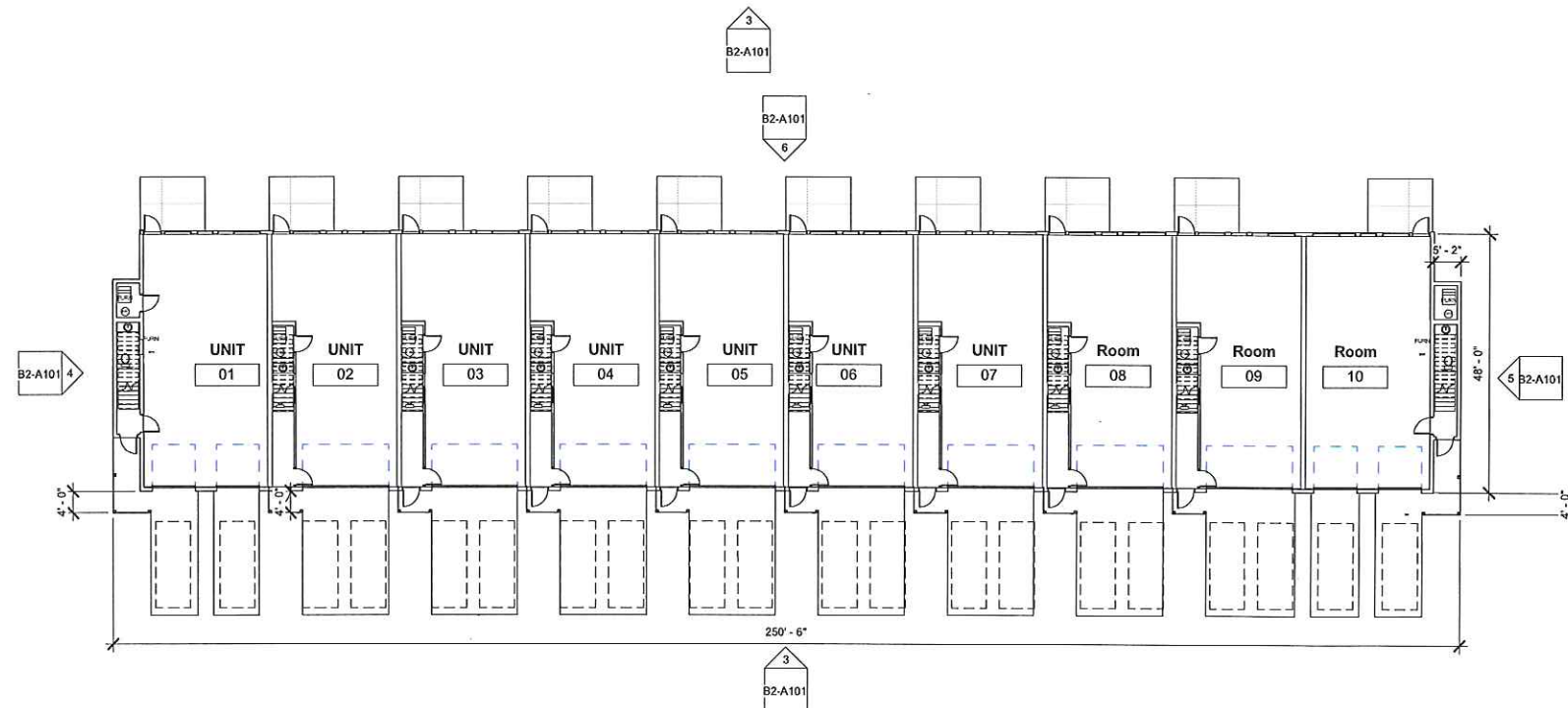
SCALE: 1/8" = 1'-0"



2 2ND FLOOR
1/16" = 1'-0"



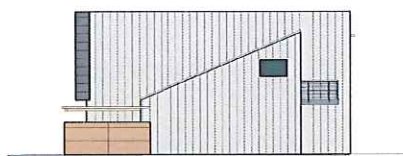
7 3D View 1



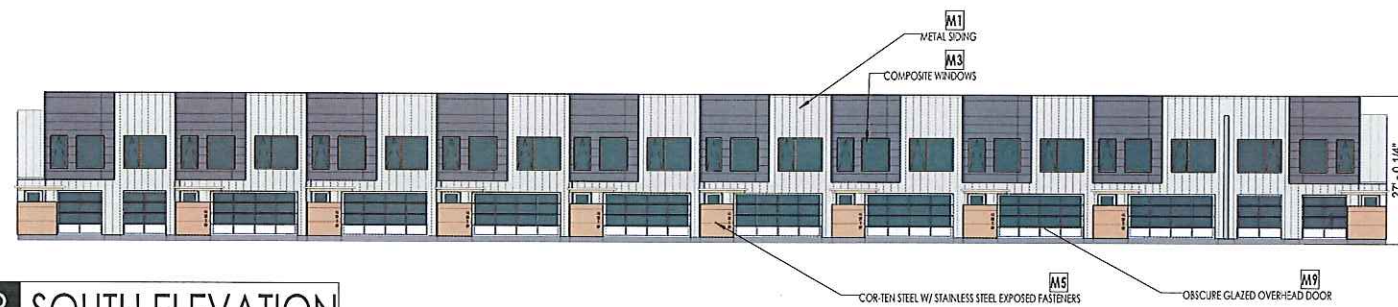
1 GROUND FLOOR
1/16" = 1'-0"



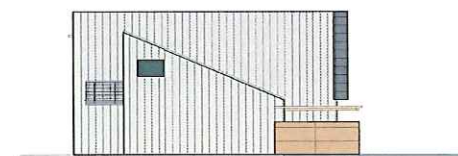
8 3D View 2



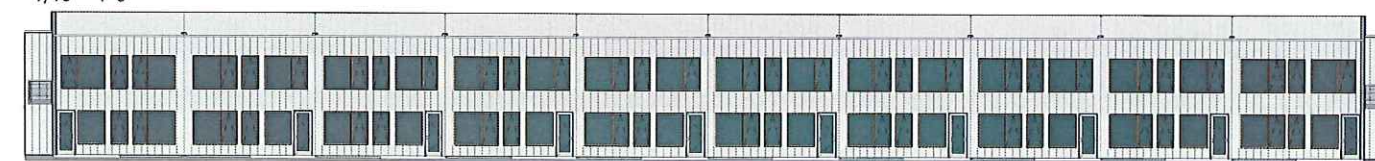
5 EAST ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION
1/16" = 1'-0"



4 WEST ELEVATION
1/16" = 1'-0"



6 NORTH ELEVATION
1/16" = 1'-0"



PLAN COMMISSION

SIP SUBMITTAL

TORQUE
COMPANIES

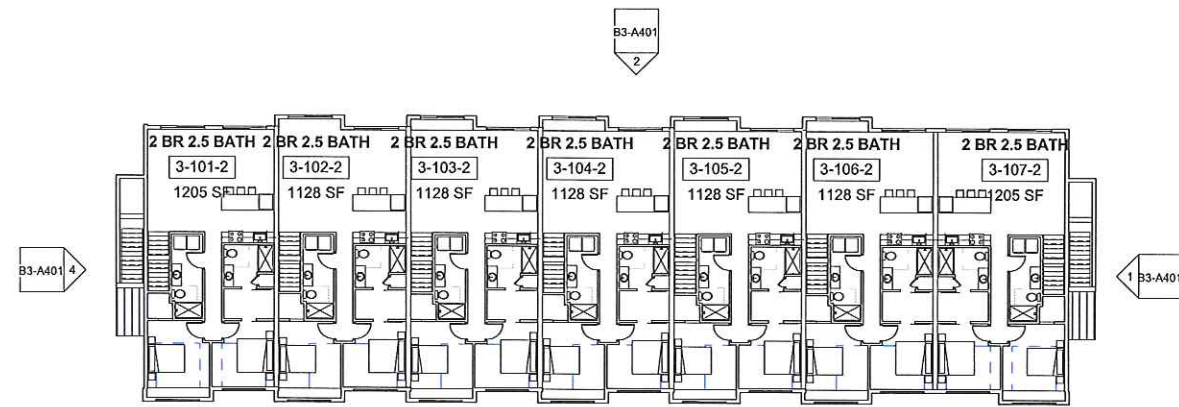
DATE
01/23/23

COUNTY HIGHWAY MM
FITCHBURG, WI

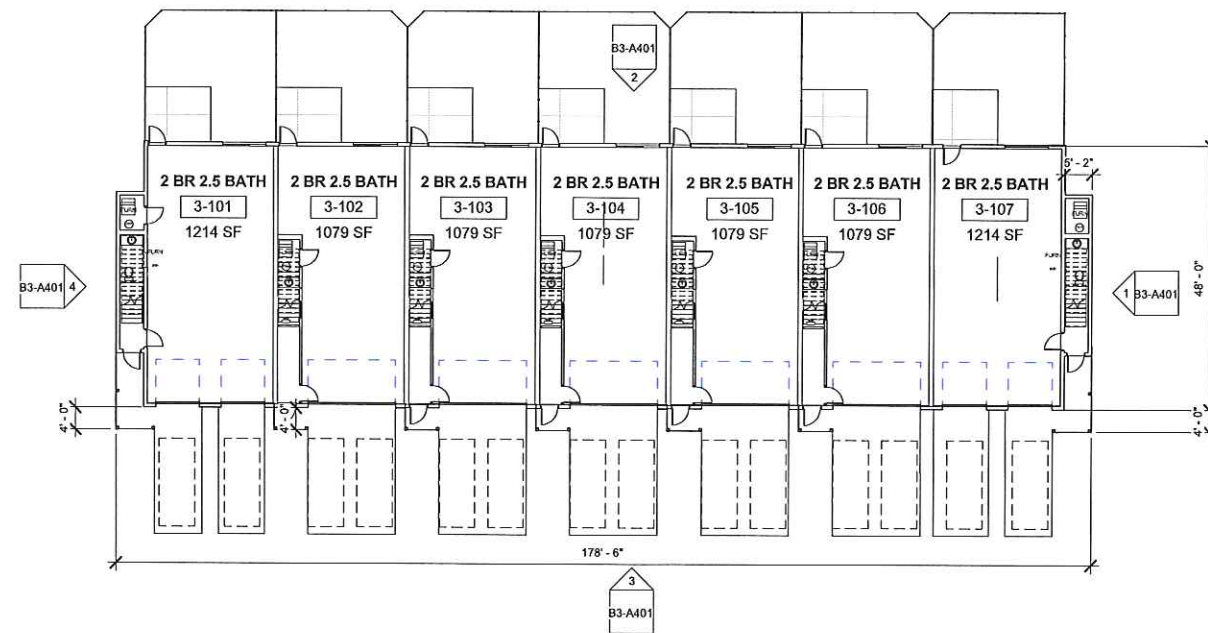
B2 BUILDING

B2-A101

SCALE: 1/16" = 1'-0"



2 2ND FLOOR
1/16" = 1'-0"



1 GROUND FLOOR
1/16" = 1'-0"



EDGE LIVE WORK City of Fitchburg Wisconsin
10000 WISCONSIN DRIVE
FITCHBURG, WI 53401
MASTER PLAN



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

TORQUE
COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

BUILDING B3 PLANS

B3-A101

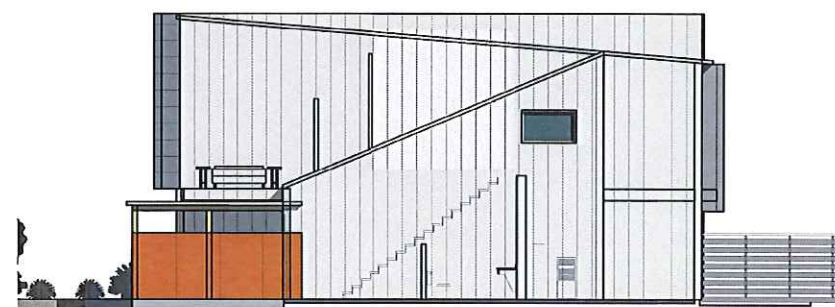
SCALE: 1/16" = 1'-0"



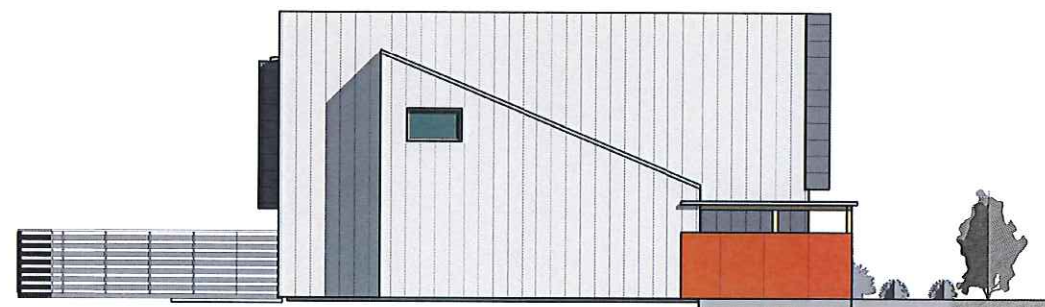
2 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION
SIP SUBMITTAL

TORQUE
COMPANIES

DATE	01.23.18
------	----------

COUNTY HIGHWAY MM
FITCHBURG, WI
BUILDING B3
ELEVATIONS
SCALE 1/8" = 1'-0"

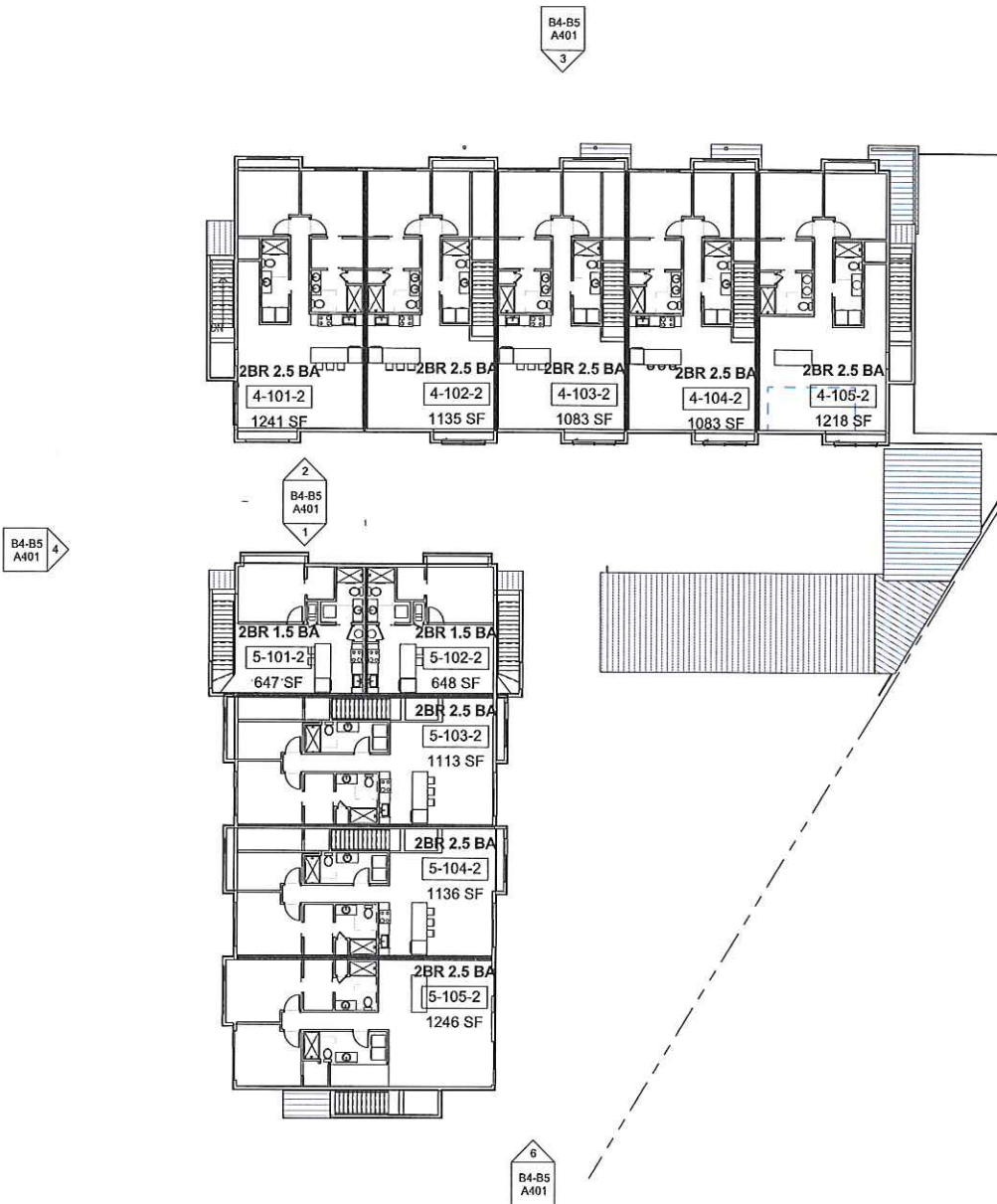
B3-A401

GENERAL NOTES

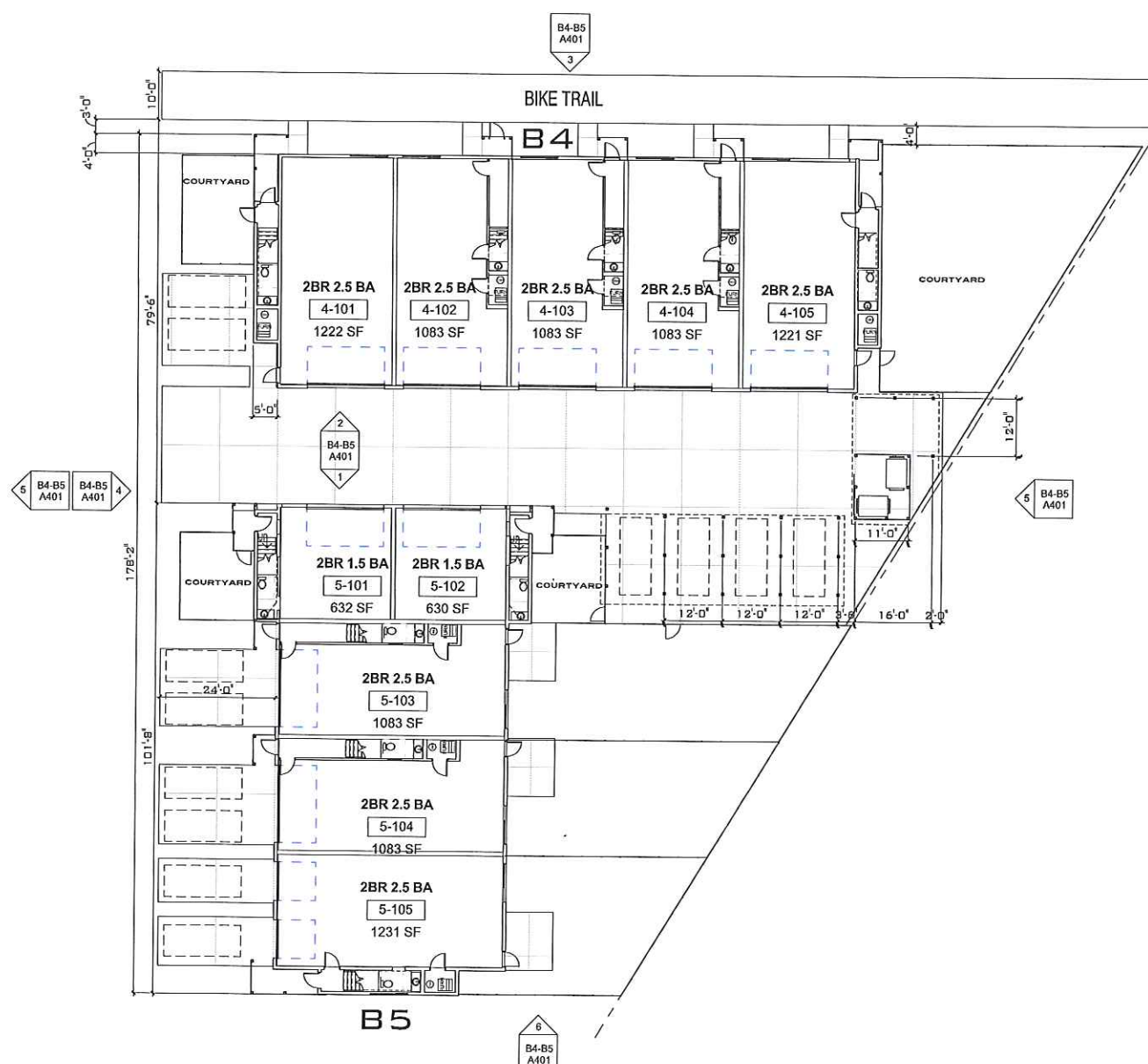
DRAWING NOTES



CODE NOTES



② **2ND FLOOR**
1/16" = 1'-0"



① **GROUND FLOOR**
1/16" = 1'-0"



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

BUILDING B4-B5 B4-B5 A101
PLANS

GENERAL NOTES

DRAWING NOTES



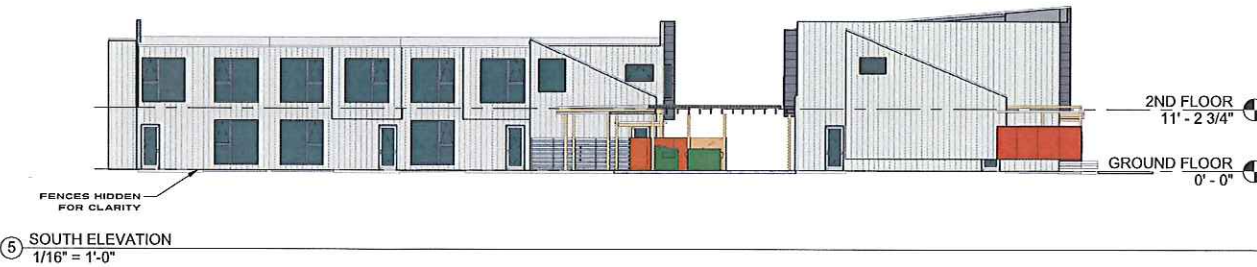
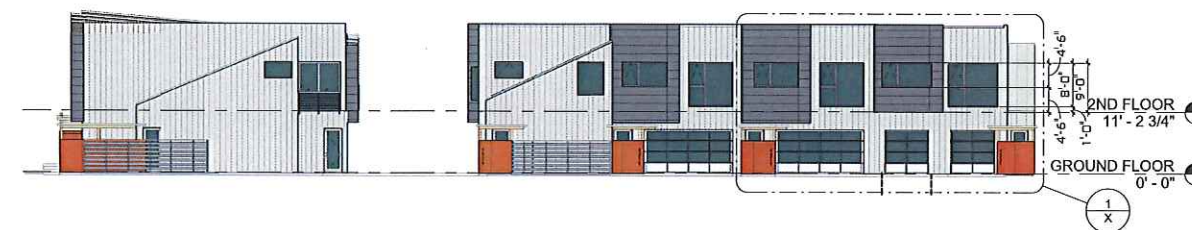
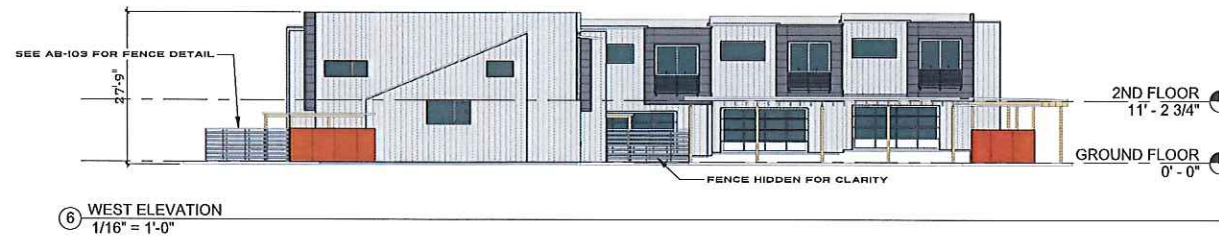
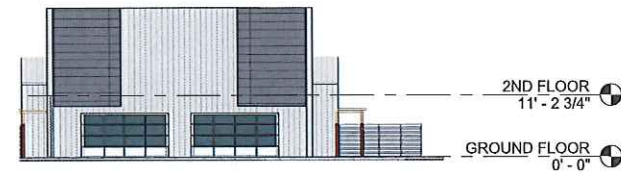
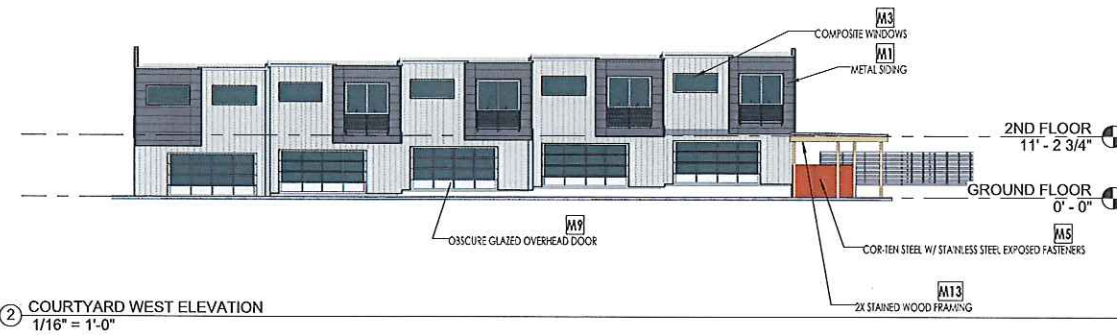
CODE NOTES



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	DATE 01.23.19
	COUNTY HIGHWAY MM FITCHBURG, WI
B4-B5 BUILDING ELEVATIONS SCALE: 1/16" = 1'-0"	B4-B5 A401



⑦ THREE PLACE TO EAST Copy 1



⑧ COLLAB TRAVELING NORTH Copy 1



⑨ COLLAB TRAVELING SOUTH Copy 1

GENERAL NOTES

DRAWING NOTES



CODE NOTES



PLAN COMMISSION

SIP SUBMITTAL

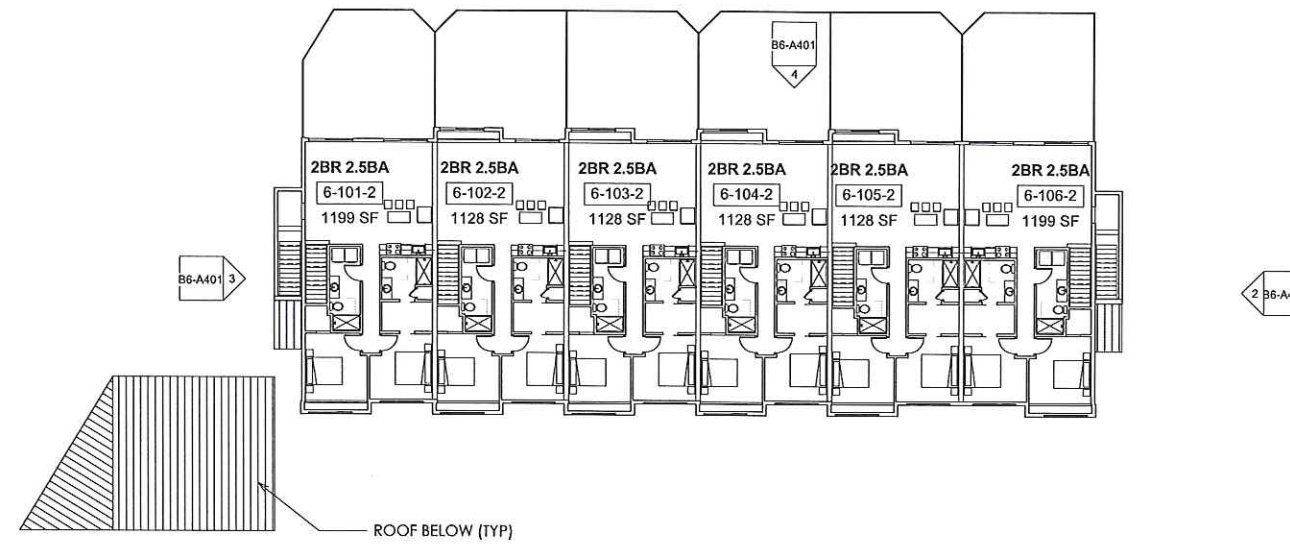
TORQUE COMPANIES

DATE
01.23.19

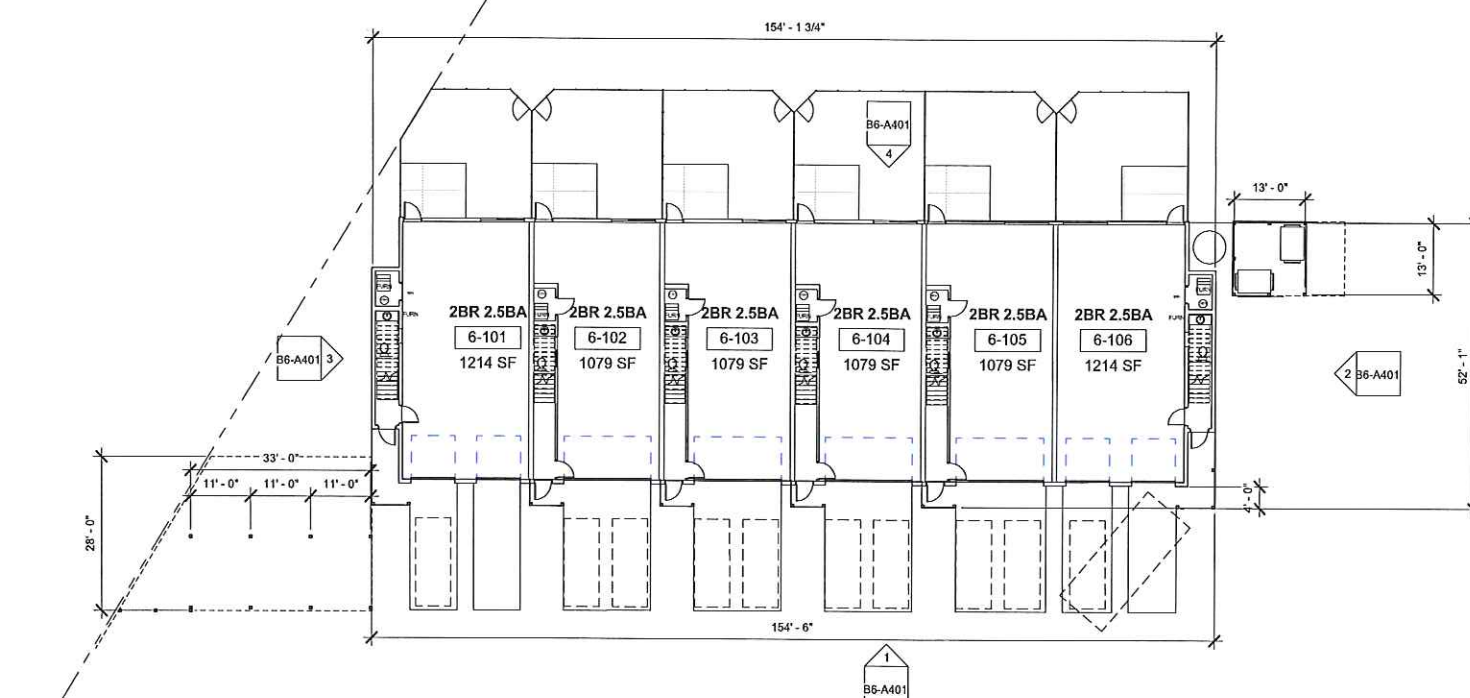
COUNTY HIGHWAY MM
FITCHBURG, WI

BUILDING B6 PLANS

B6-A101

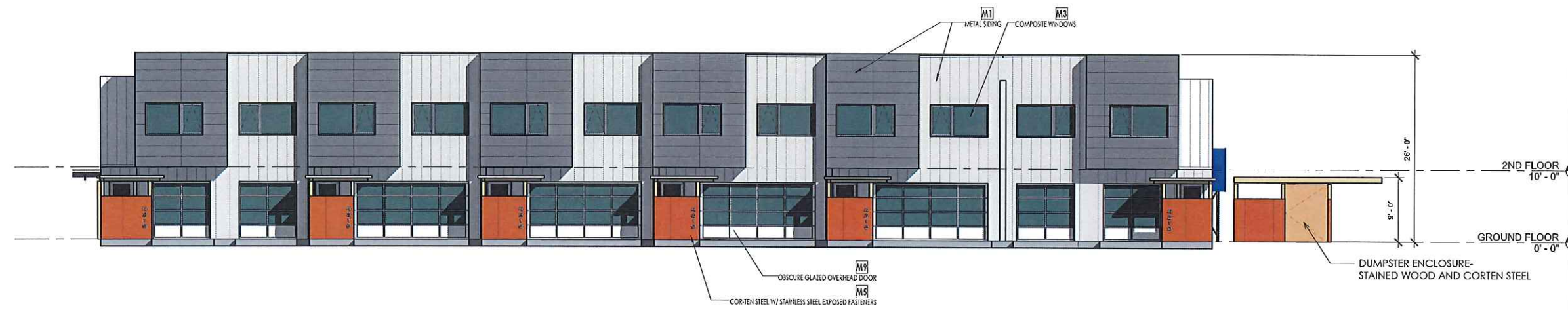


2 2ND FLOOR
1/16" = 1'-0"

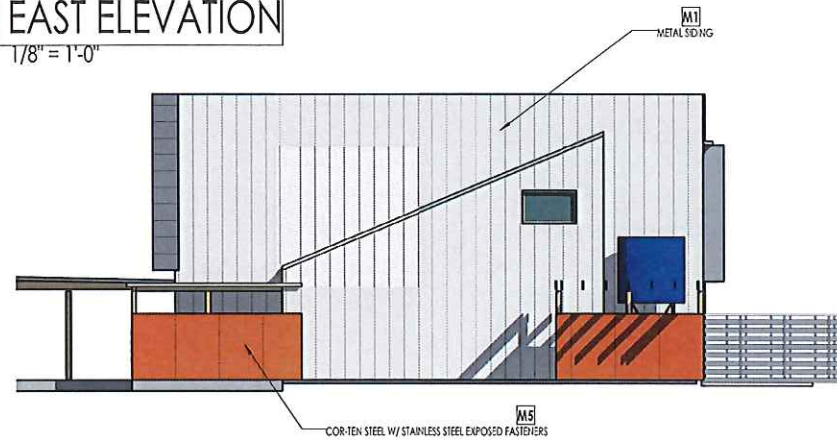


1 GROUND FLOOR
1/16" = 1'-0"

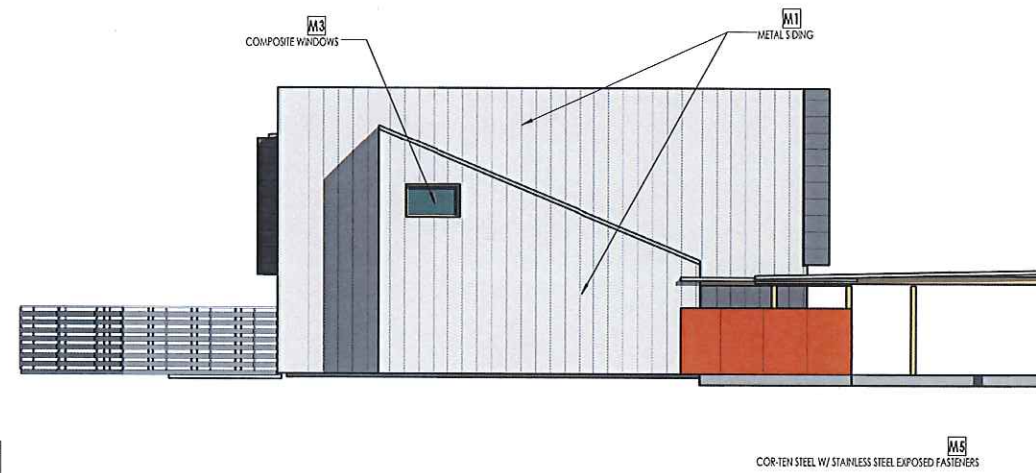
GENERAL NOTES



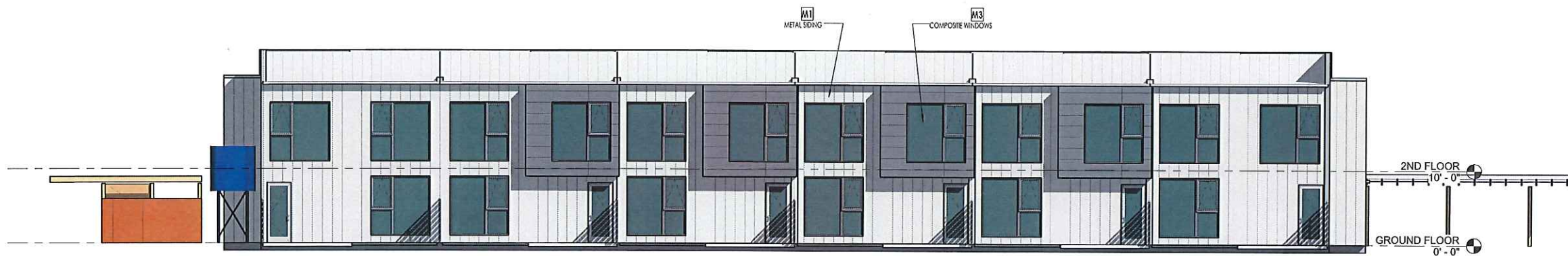
1 EAST ELEVATION
1/8" = 1'-0"



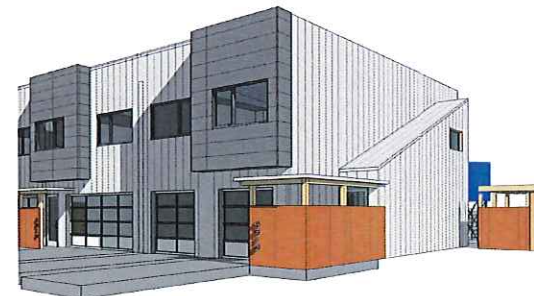
2 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"



5 3D View 1



6 3D View 3



7 3D View 5

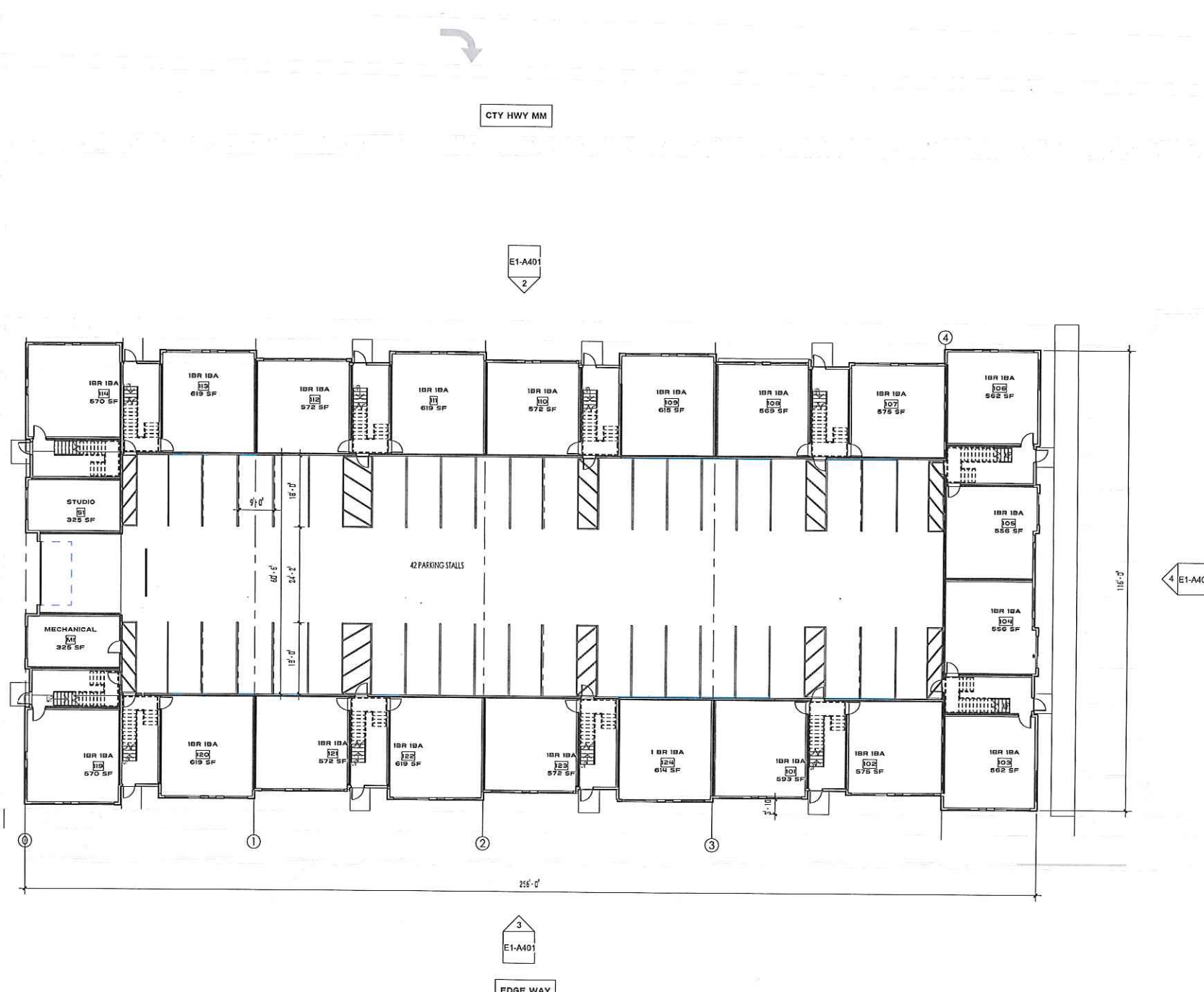
DRAWING NOTES



CODE NOTES

TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION
SIP SUBMITTAL

TORQUE COMPANIES		DATE 01.23.18
COUNTY HIGHWAY MM FITCHBURG, WI		B6-A401
BUILDING B6 ELEVATIONS SCALE 1/8" = 1'-0"		



1 1ST FLOOR PLAN



EDGE LIVE WORK - Site Plan
Master Plan

B1



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

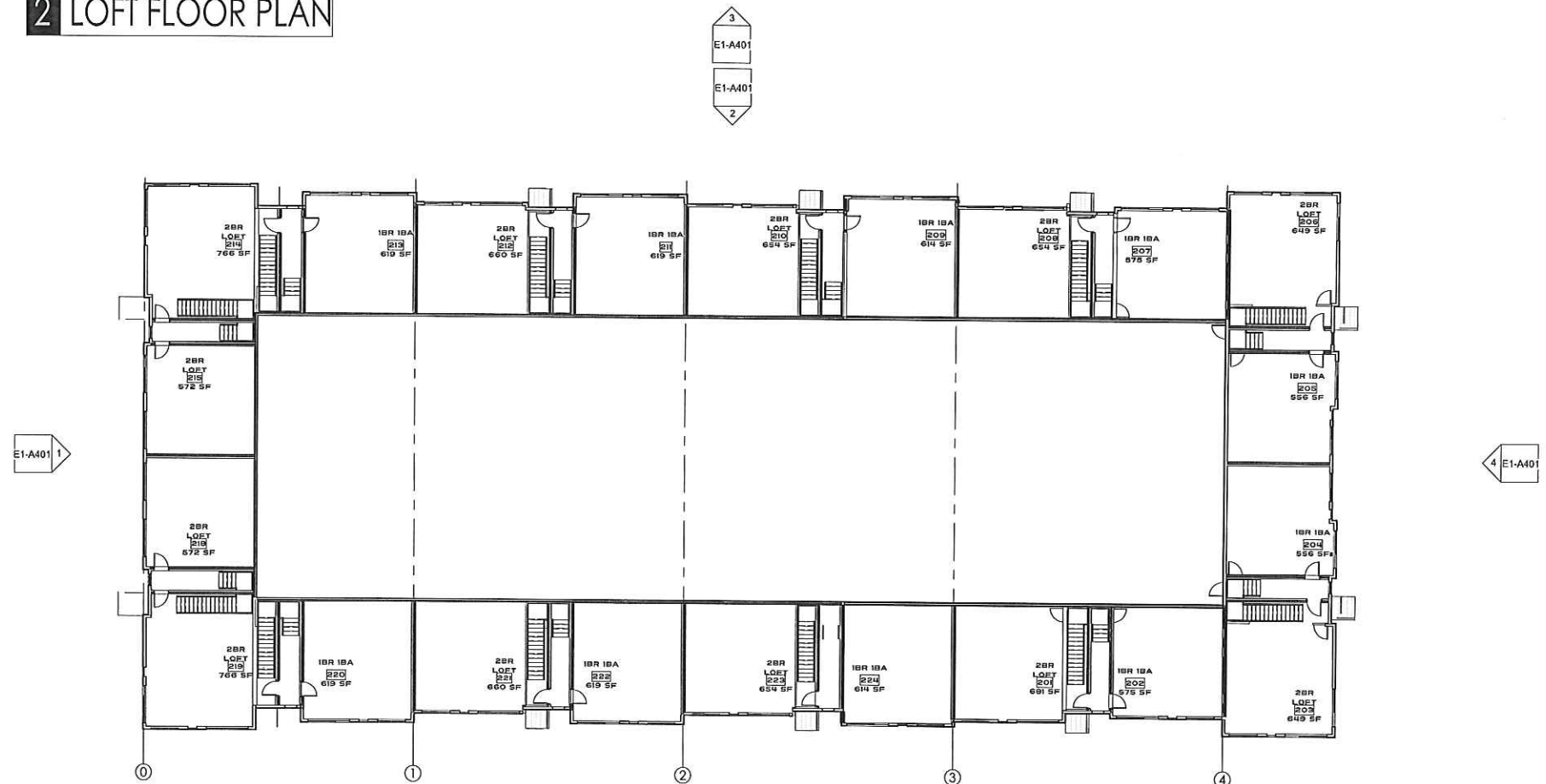
DATE
01.23.18

BUILDING E1

E1-A101



2 LOFT FLOOR PLAN



1 2ND FLOOR PLAN



EDGE LIVE WORK City of Fitchburg, Wisconsin
DATE: 01.23.18
MASTER PLAN



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES
COUNTY HIGHWAY MM
FITCHBURG, WI

2ND & LOFT FLOOR PLANS

DATE
01.23.18

E1-A102

GENERAL NOTES

FINAL EXTERIOR COLOR SELECTIONS TO BE REVIEWED BY CITY OF FITCHBURG PLANNING STAFF, ARCHITECT, AND DEVELOPER

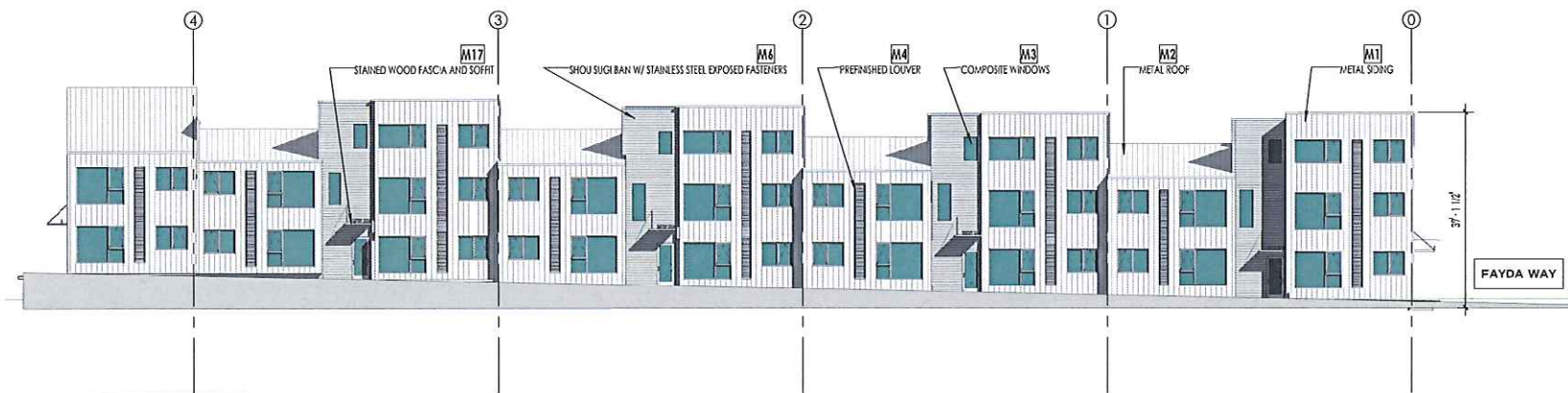
DRAWING NOTES



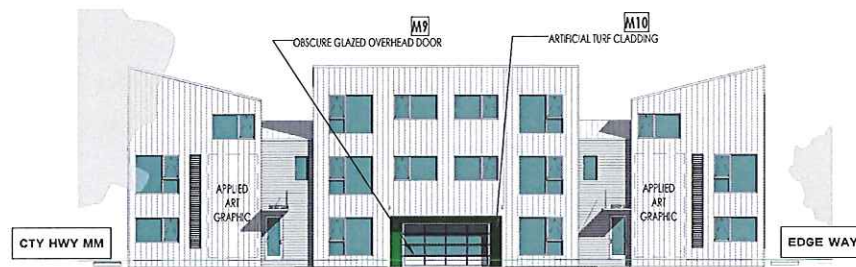
CODE NOTES



3 WEST ELEVATION



2 EAST ELEVATION



1 NORTH ELEVATION



4 SOUTH ELEVATION



5 VIEW TO SOUTHEAST FROM B1

TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

COUNTY HIGHWAY MM
FITCHBURG, WI

**E1- BUILDING
ELEVATIONS**

DATE
01.23.18

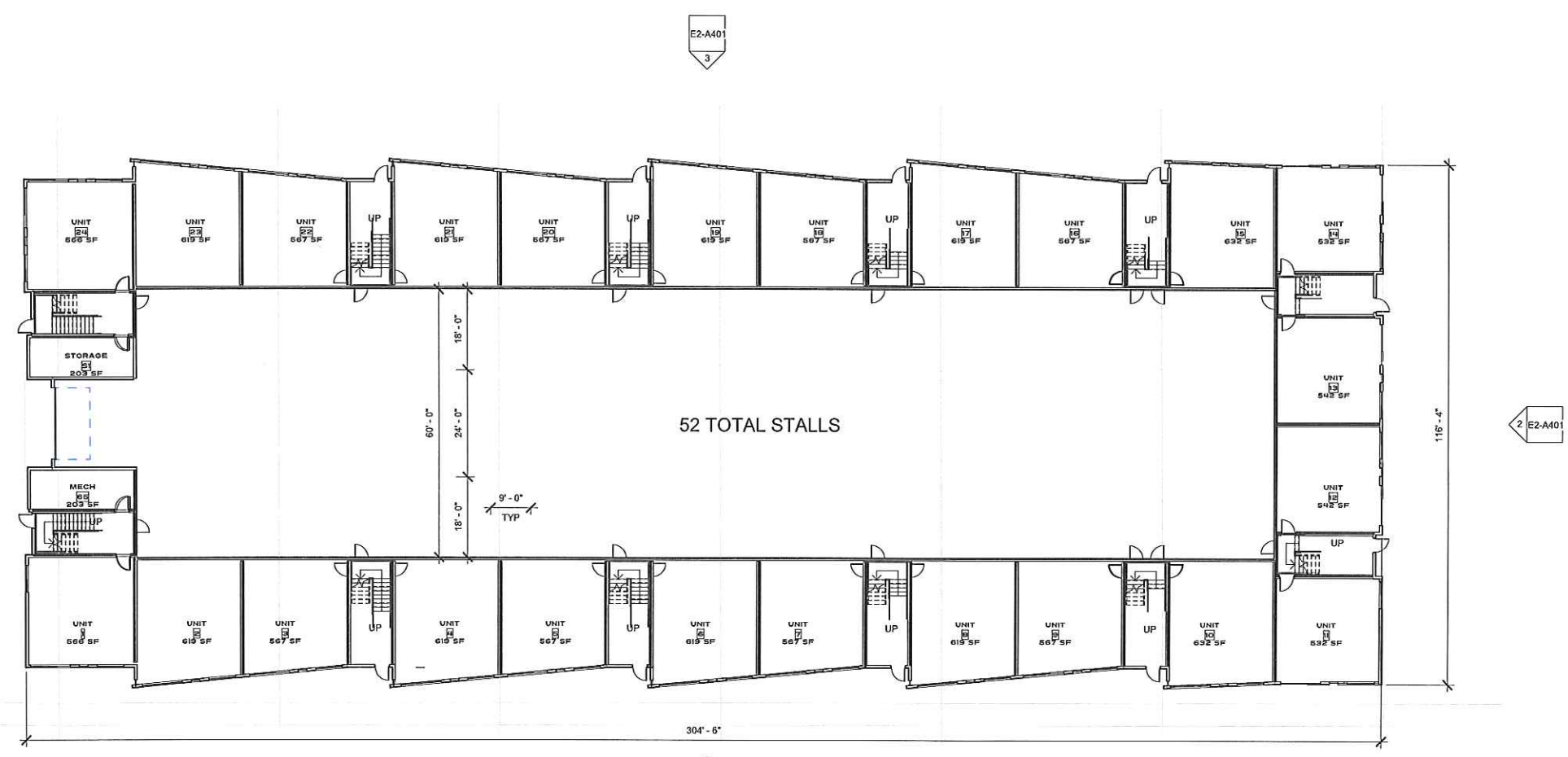
E1-A401

GENERAL NOTES

DRAWING NOTES



CODE NOTES



1 1ST FLOOR PLAN
1/16" = 1'-0"



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	DATE
	01.29.18

COUNTY HIGHWAY MM
FITCHBURG, WI

FLOOR PLANS **E2-A101**

SCALE: 1/16" = 1'-0"

GENERAL NOTES

DRAWING NOTES



CODE NOTES

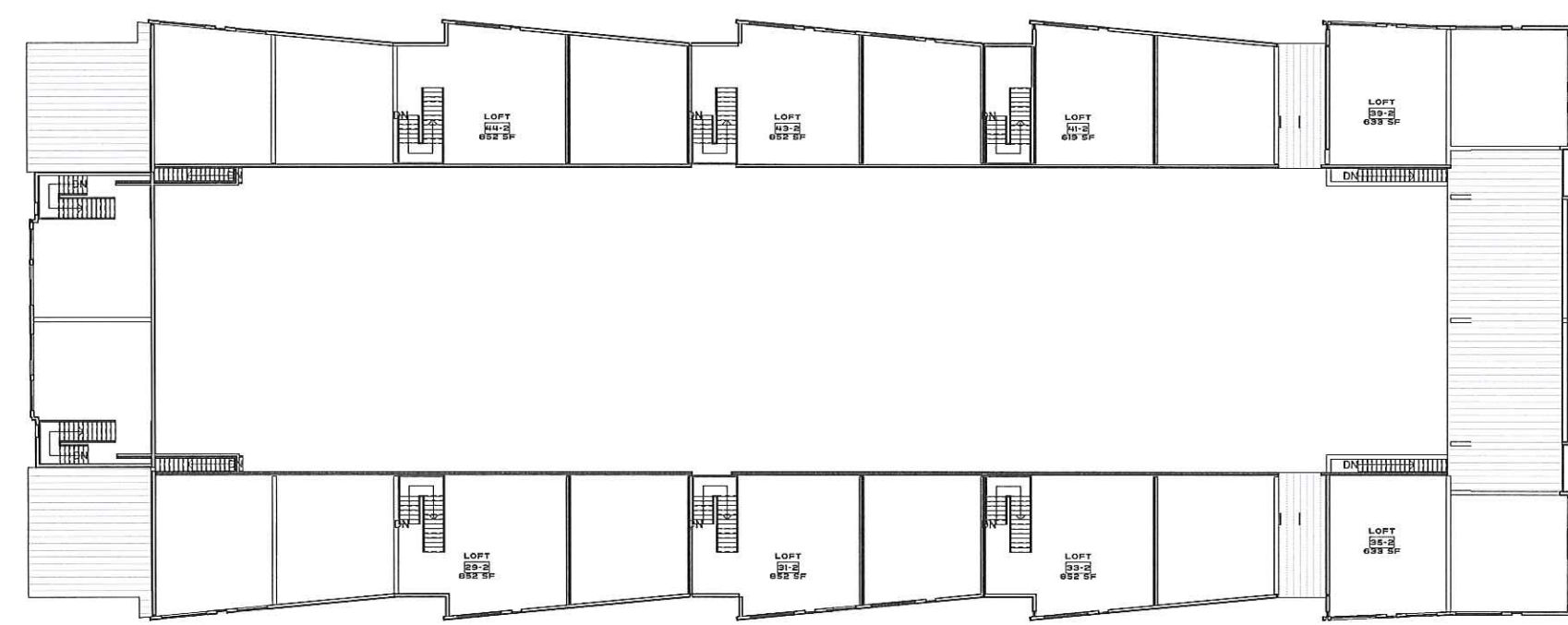


PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	DATE
	04/23/18

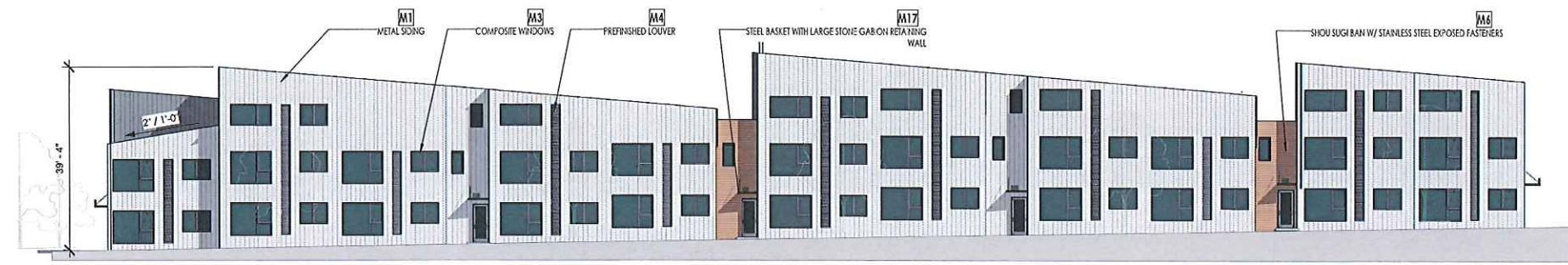
COUNTY HIGHWAY MM FITCHBURG, WI	E2-A102
2ND FLOOR & LOFT PLANS	



2 LOFT FLOOR PLAN
1/16" = 1'-0"



1 2ND FLOOR PLAN
1/16" = 1'-0"



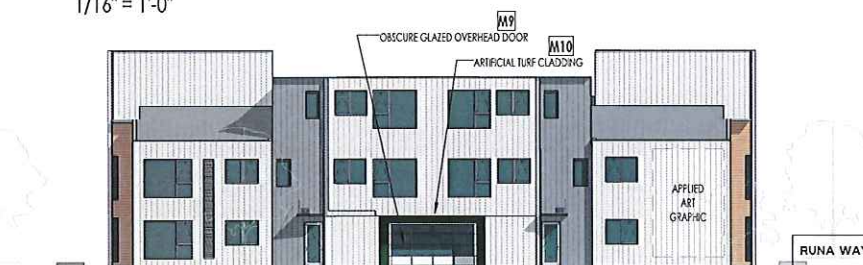
4 WEST ELEVATION
1/16" = 1'-0"



3 EAST ELEVATION
1/16" = 1'-0"



2 SOUTH ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"



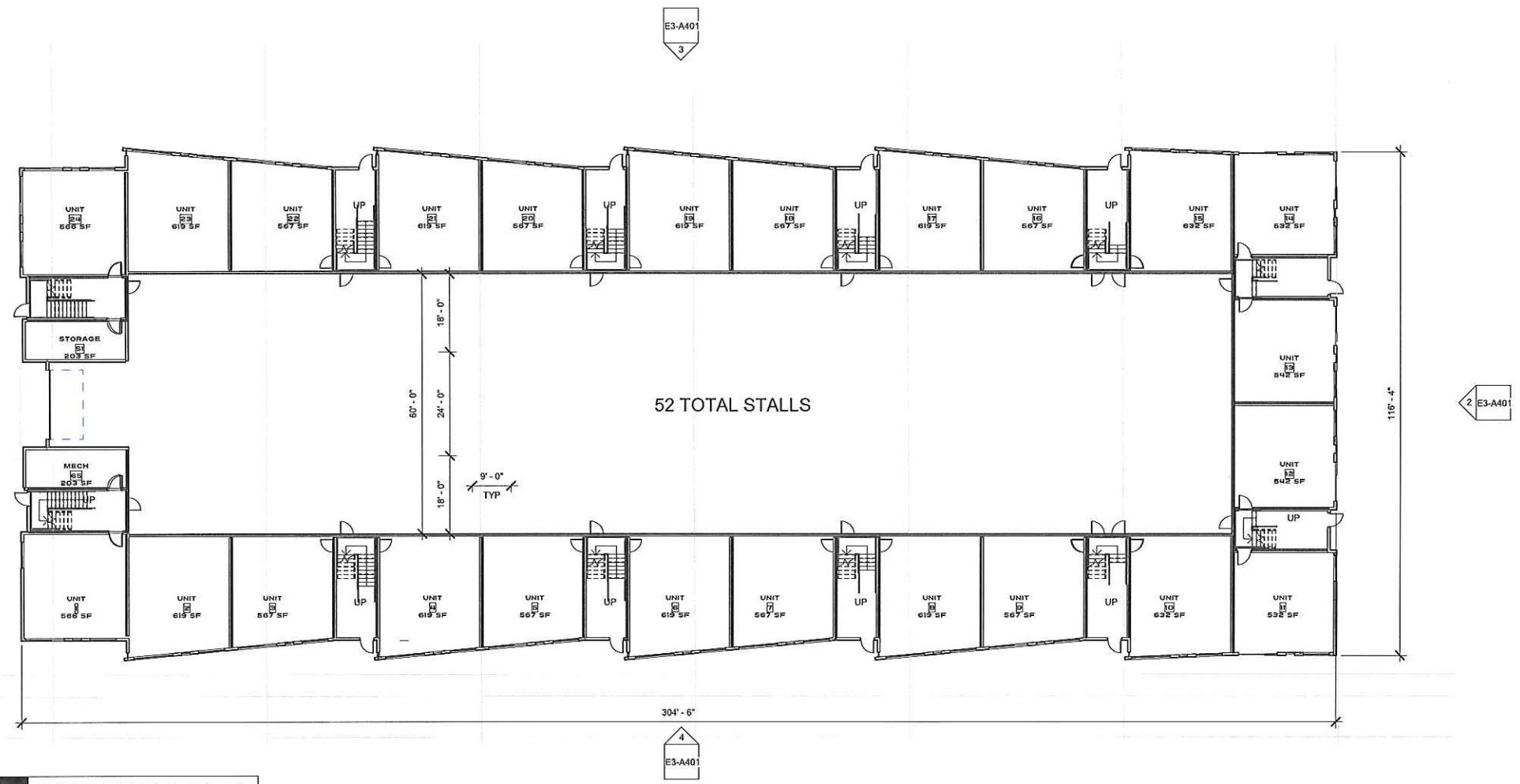
5 VIEW FROM RUNA WAY

GENERAL NOTES

DRAWING NOTES



CODE NOTES



1 1ST FLOOR PLAN
1/16" = 1'-0"



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	DATE
	01.23.19

COUNTY HIGHWAY MM
FITCHBURG, WI

FLOOR PLANS

E3-A101

SCALE: 1/16" = 1'-0"

GENERAL NOTES

DRAWING NOTES



CODE NOTES



PLAN COMMISSION

SIP SUBMITTAL

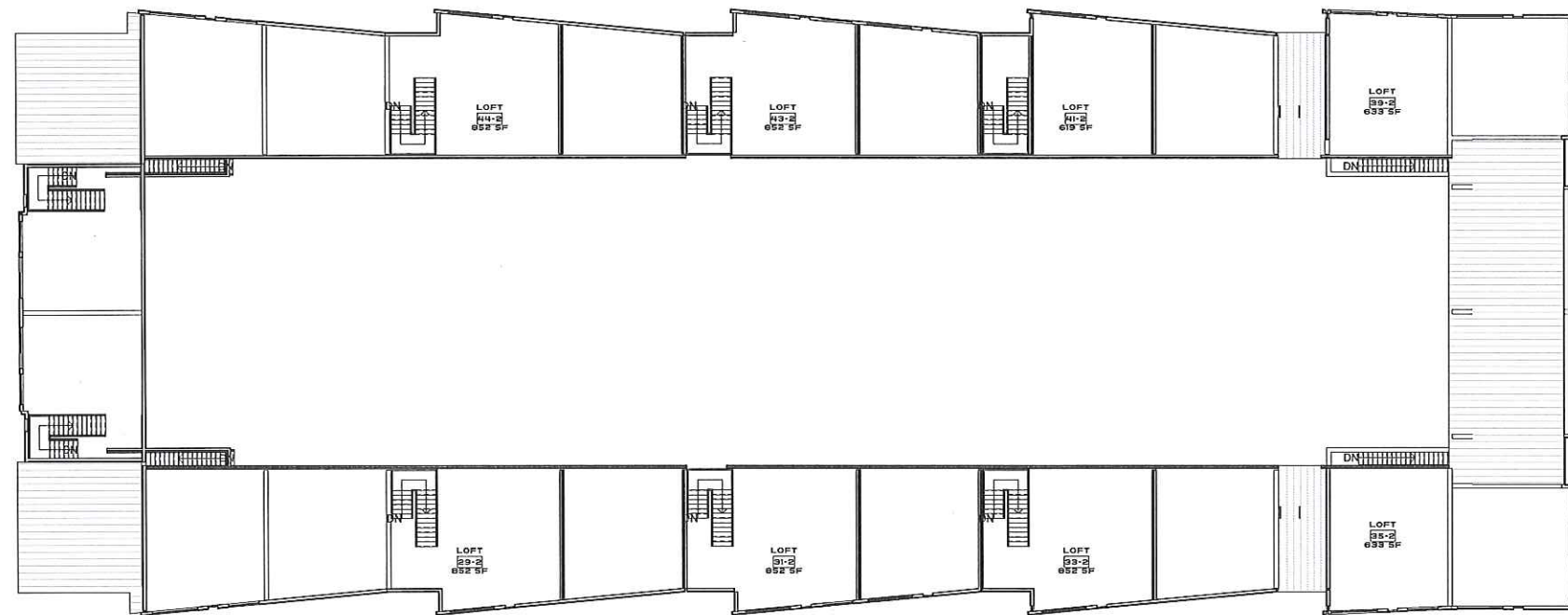
TORQUE
COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

2ND FLOOR & LOFT
PLANS
SCALE: 1/16" = 1'-0"

E3-A102



2 LOFT FLOOR PLAN
1/16" = 1'-0"



1 2ND FLOOR PLAN
1/16" = 1'-0"



SIP SUBMITTAL

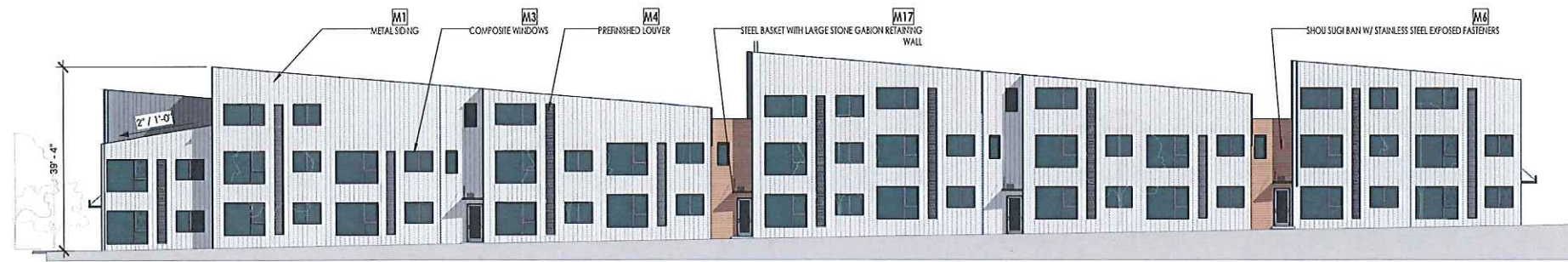
TORQUE COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

ELEVATIONS

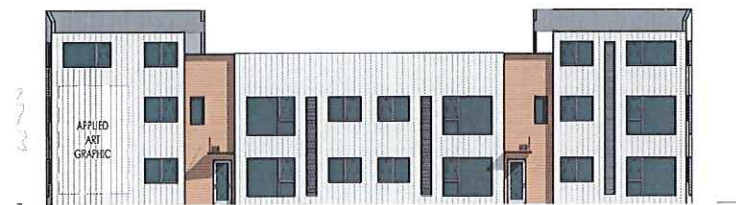
E3-A401



4 WEST ELEVATION
1/16" = 1'-0"



3 EAST ELEVATION
1/16" = 1'-0"



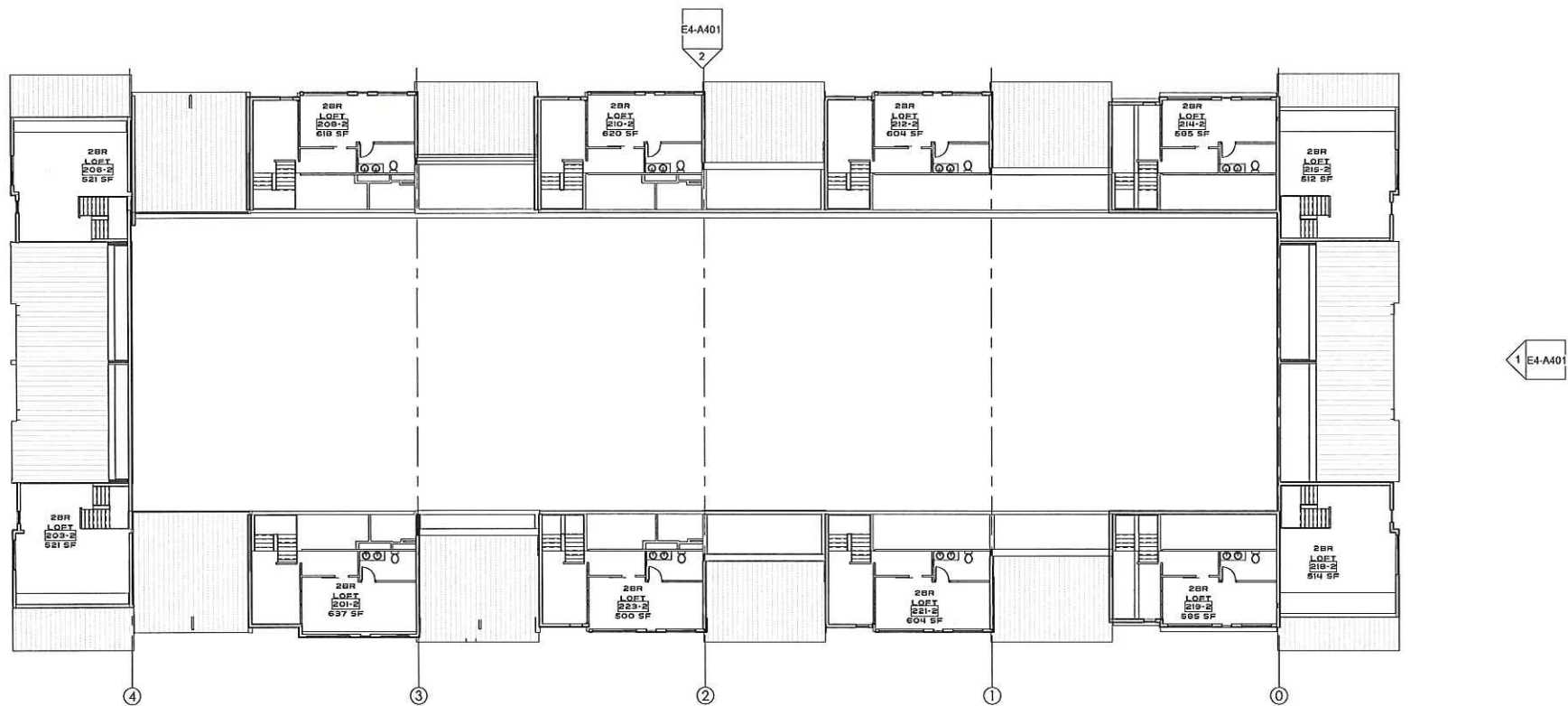
2 SOUTH ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"



5 VIEW FROM RUNA WAY



2 LOFT FLOOR PLAN



1 2ND FLOOR PLAN



EDGE LIVE WORK City of Fitchburg Wisconsin
DATE: 01/23/18
SCALE: 1/8" = 1'-0"
MASTER PLAN



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES COUNTY HIGHWAY MM FITCHBURG, WI	DATE 01.23.18
	E4-A102

2ND & LOFT FLOOR PLANS
SCALE: 1/8" = 1'-0"

GENERAL NOTES

FINAL EXTERIOR COLOR SELECTIONS TO BE REVIEWED BY CITY OF FITCHBURG PLANNING STAFF, ARCHITECT, AND DEVELOPER

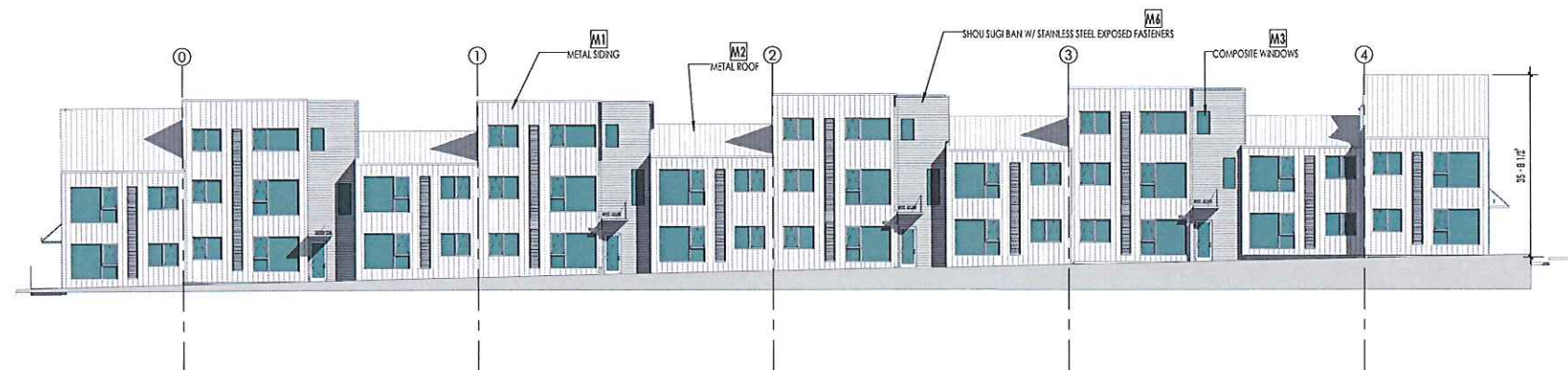
DRAWING NOTES



CODE NOTES



3 SOUTH ELEVATION



2 NORTH ELEVATION



1 EAST ELEVATION



4 WEST ELEVATION



5 VIEW FROM RUNA WAY



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

COUNTY HIGHWAY MM
FITCHBURG, WI

**E4- BUILDING
ELEVATIONS**
SCALE: 1/8\"/>

DATE
01.23.18

E4-A401

DRAWING NOTES



CODE NOTES

TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

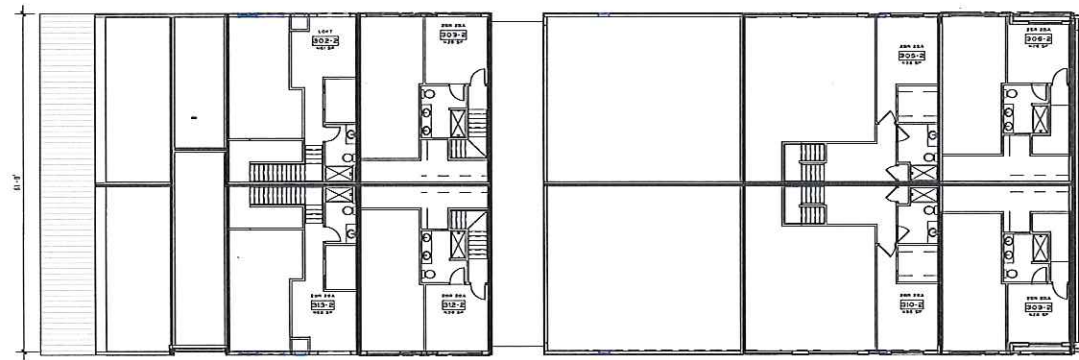
TORQUE COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

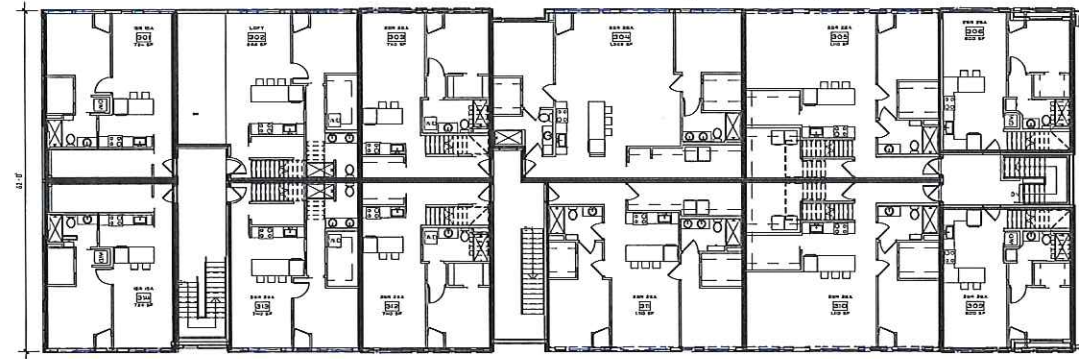
BUILDING G1 FLOOR PLANS

G1-A101



7 LOFT FLOOR PLAN

1/16" = 1'-0"



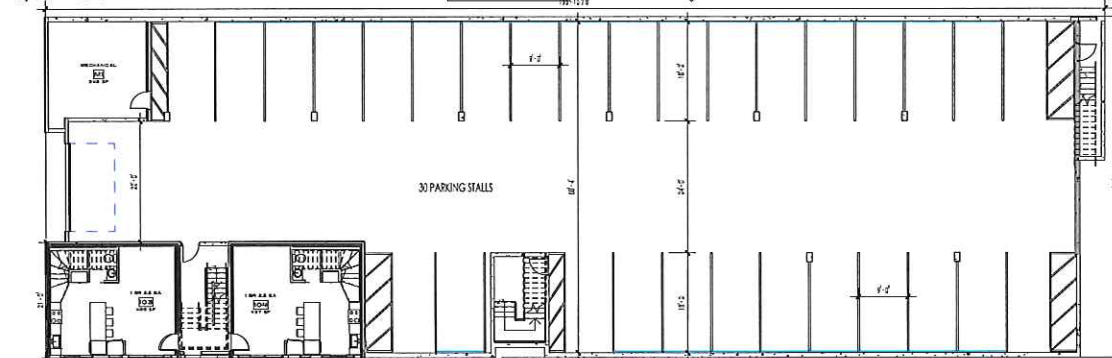
5 2ND FLOOR PLAN

1/16" = 1'-0"



4 1ST FLOOR PLAN

1/16" = 1'-0"



1 BASEMENT LOWER

1/16" = 1'-0"

G1-A401 3

G1-A401 3

G1-A401 3

G1-A401 1 2

G1-A401 1 2

G1-A401 1 2

G1-A401 1 2

BUILDING G2

BUILDING G2

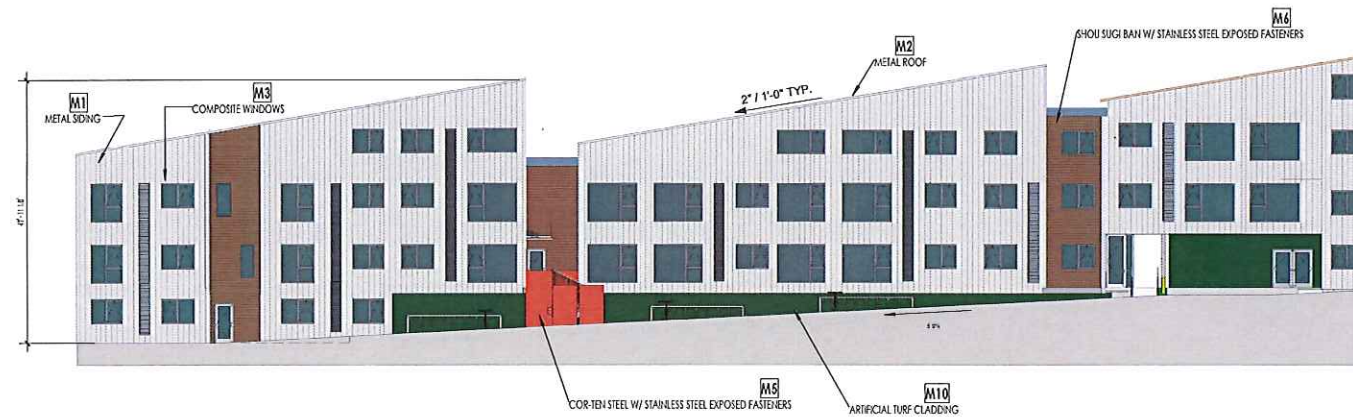
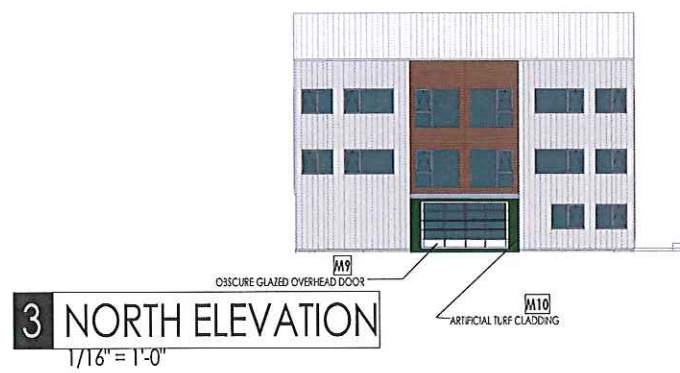
BUILDING G2

BUILDING G2

CTY HWY MM

EINETA WAY





TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

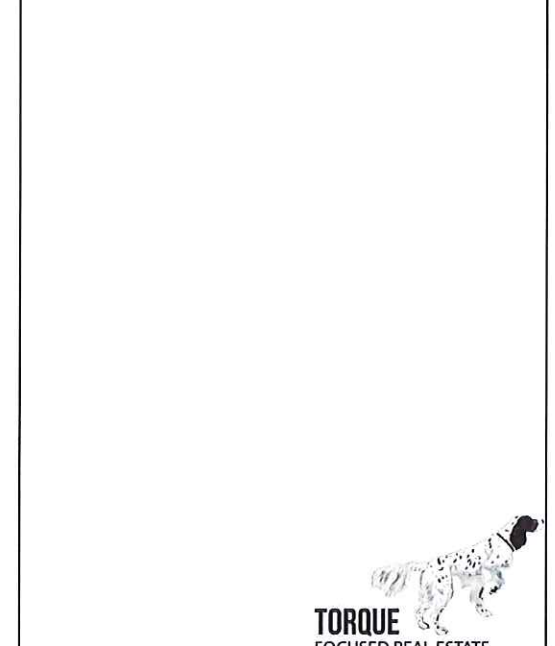
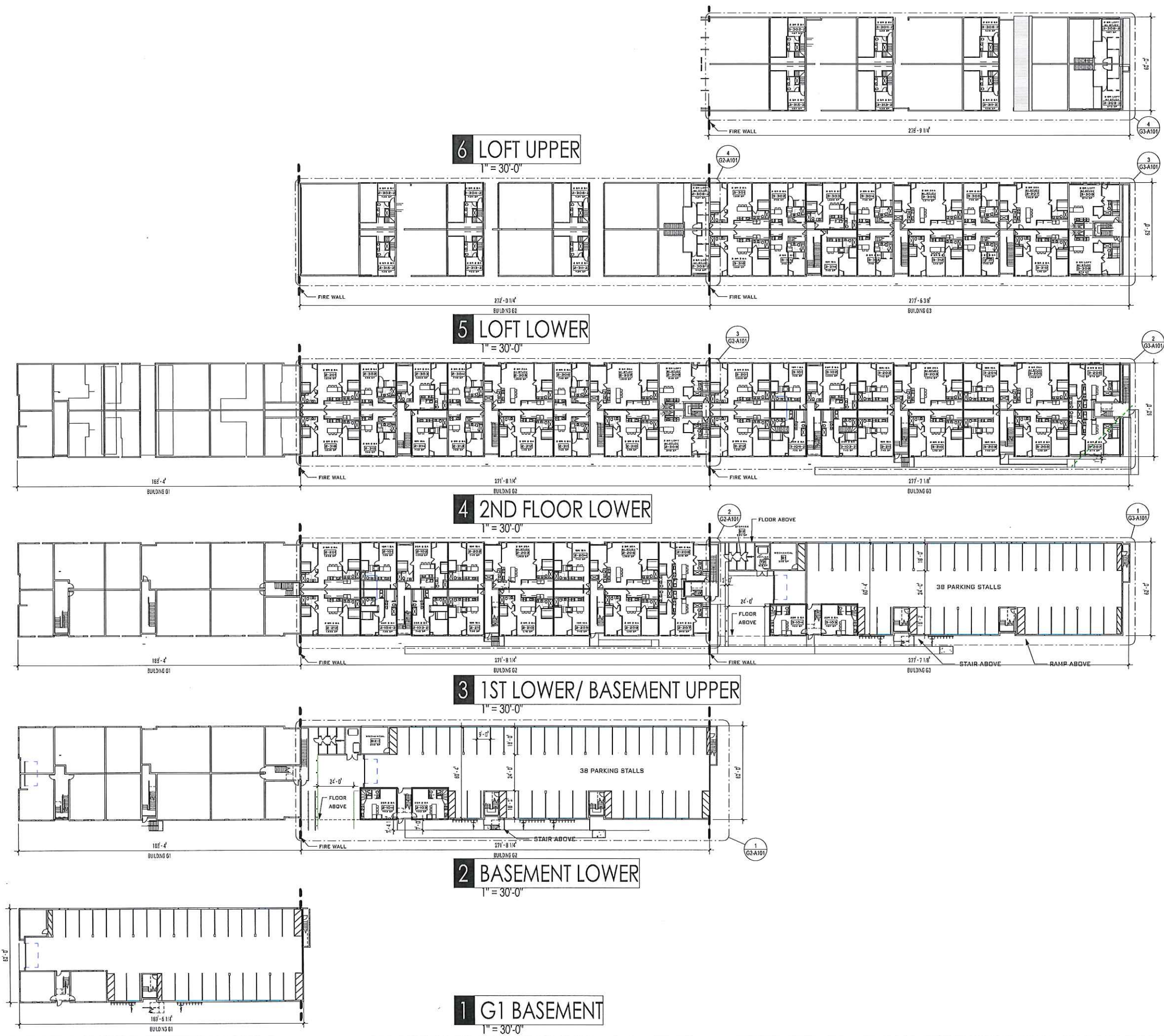
TORQUE
COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITZBURG, WI

BUILDING G1
ELEVATIONS
SCALE: 1/16" = 1'-0"

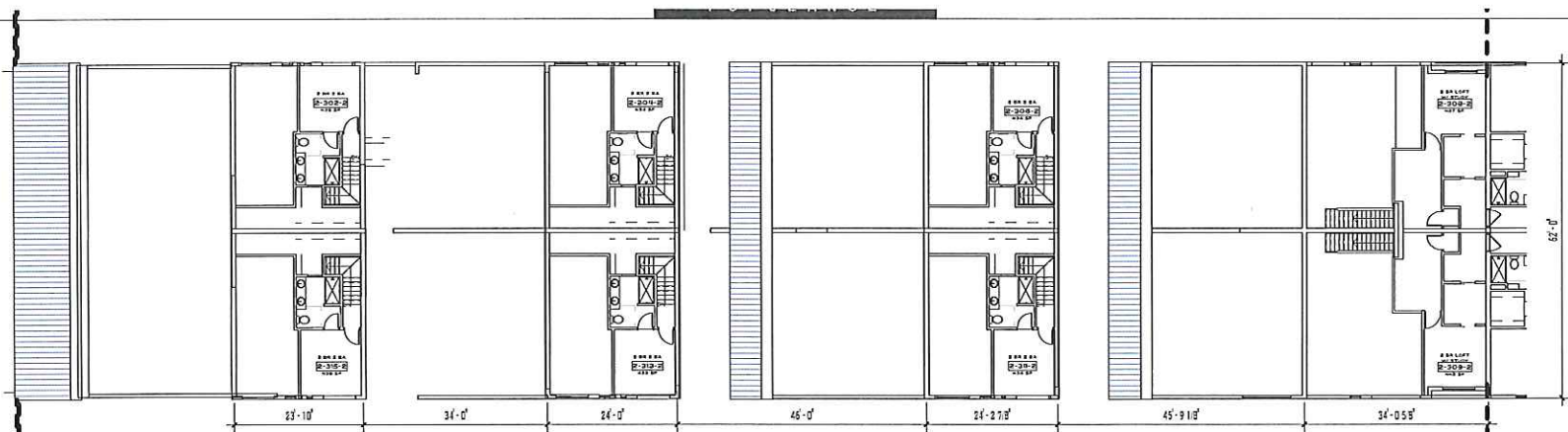
G1-A401



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION
SIP SUBMITTAL

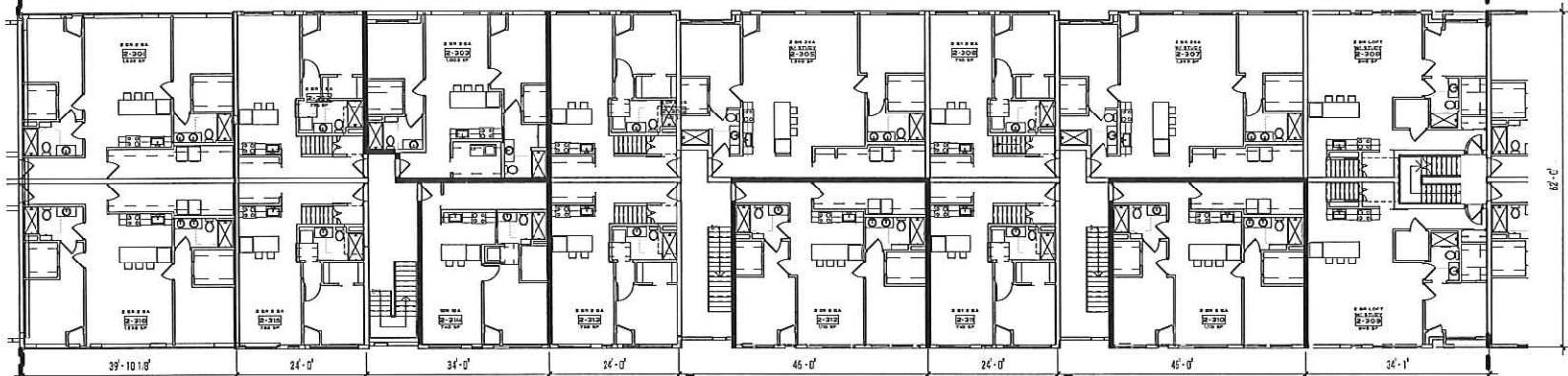
TORQUE COMPANIES	DATE
	01.23.18
BUILDINGS G2 & G3	G2/G3-A100





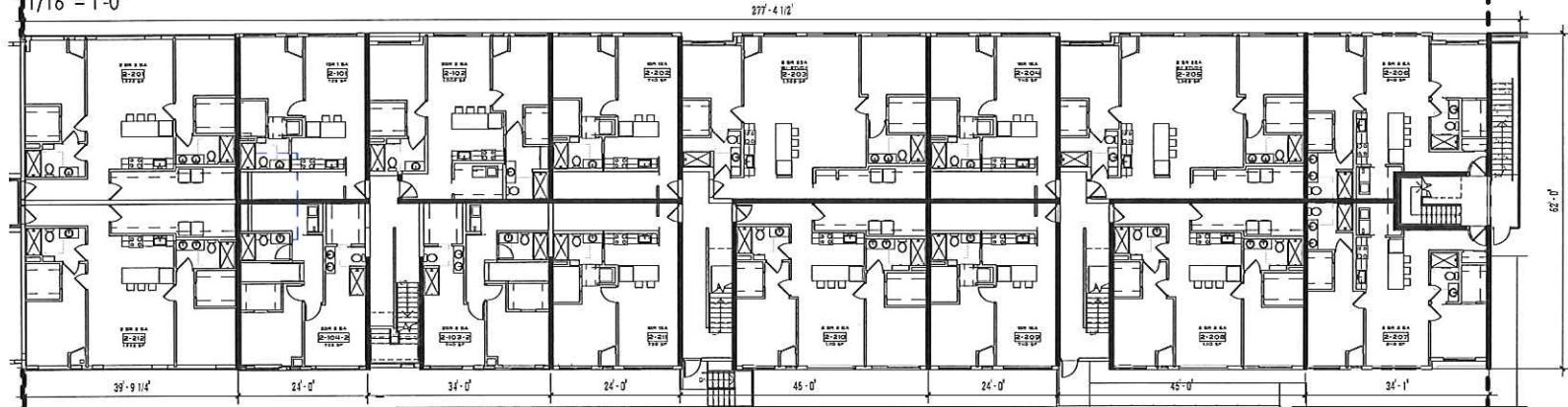
4 G2 LOFT FLOOR PLAN

1/16" = 1'-0"



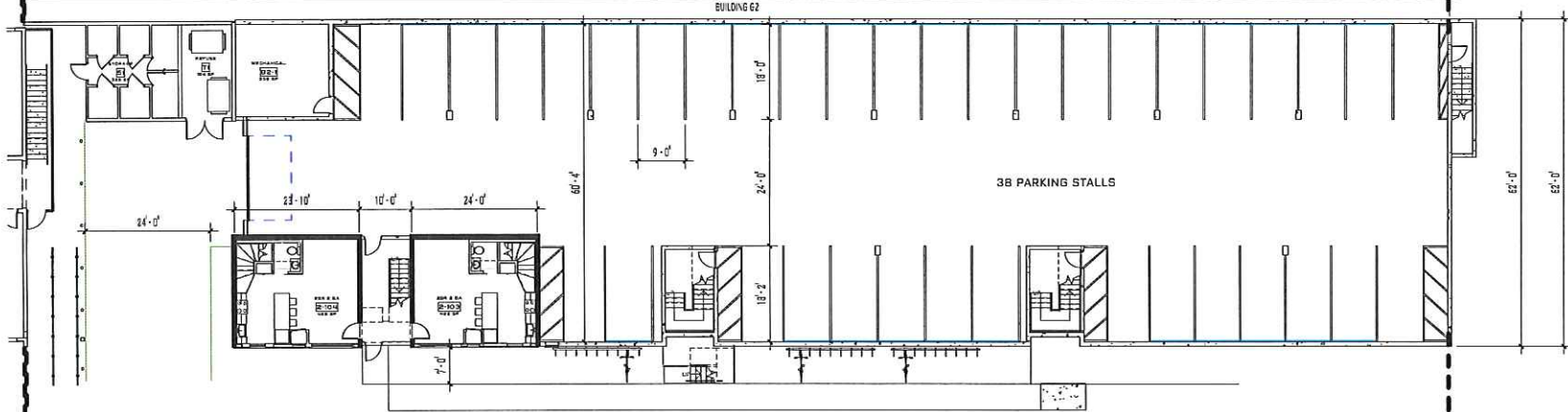
3 G2 2ND FLOOR PLAN

1/16" = 1'-0"



2 G2 1ST FLOOR PLAN

1/16" = 1'-0"



1 G2 BASEMENT PLAN

1/16" = 1'-0"



EDGE LIVE WORK City of Columbia, Missouri
RENDERING FOR SUBMITTAL ONLY
November 2018
MASTER PLAN



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

TORQUE
COMPANIES

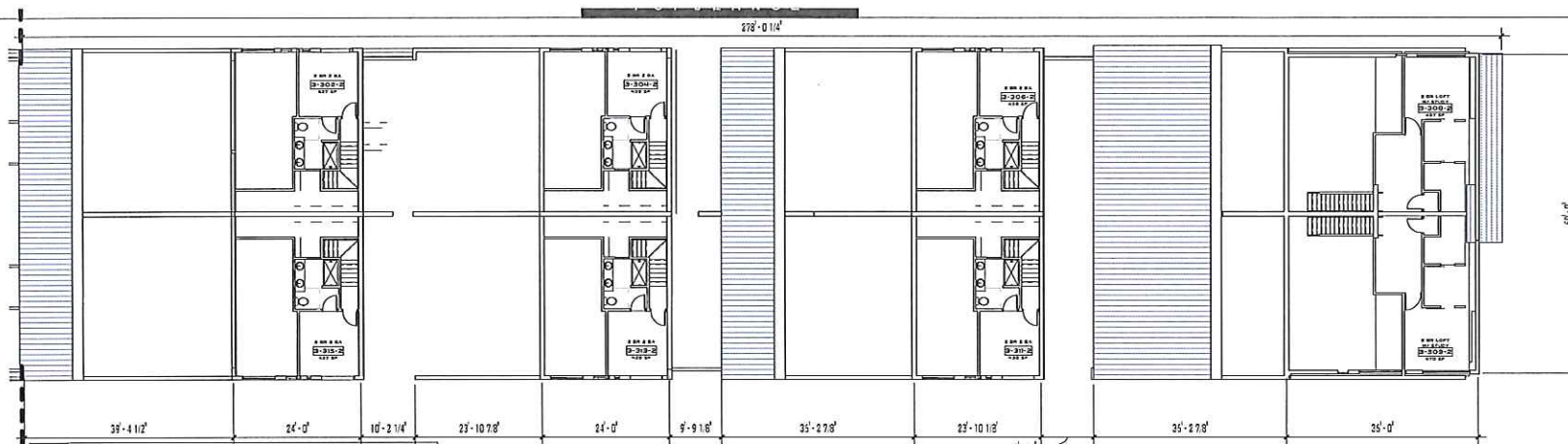
DATE
01.23.18

BUILDING G2 PLANS

G2-A101

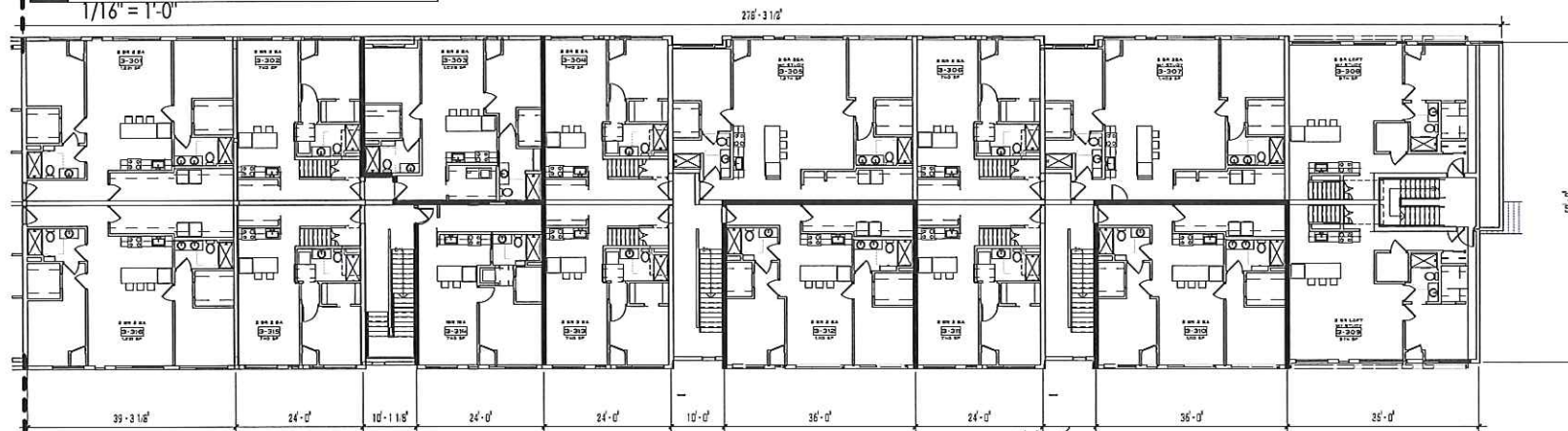
NORTH

SCALE: 1/16" = 1'-0"



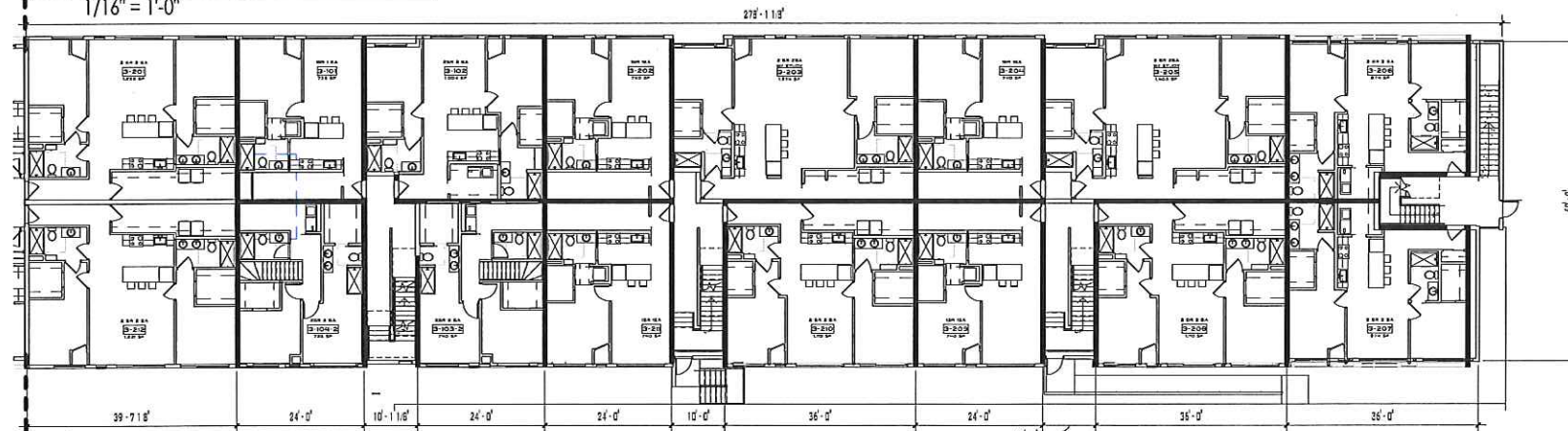
4 G3 LOFT FLOOR PLAN

1/16" = 1'-0"



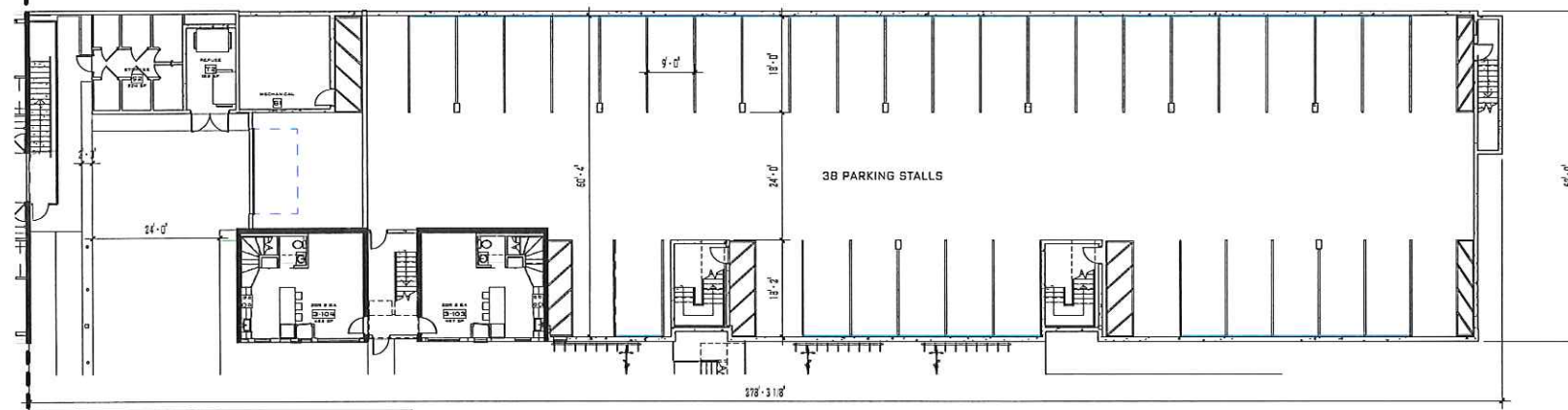
3 G3 2ND FLOOR PLAN

1/16" = 1'-0"



2 G3 1ST FLOOR PLAN

1/16" = 1'-0"



1 G3 BASEMENT PLAN

1/16" = 1'-0"



EDGE LIVE WORK G2-G3 Building Master Plan
REVISIONS: 01-23-18
DATE: 01-23-18
SCALE: 1/8" = 1'-0"

DRAWING NOTES



CODE NOTES

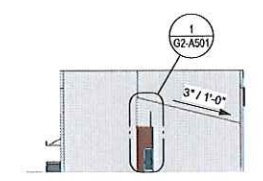


PLAN COMMISSION
SIP SUBMITTAL

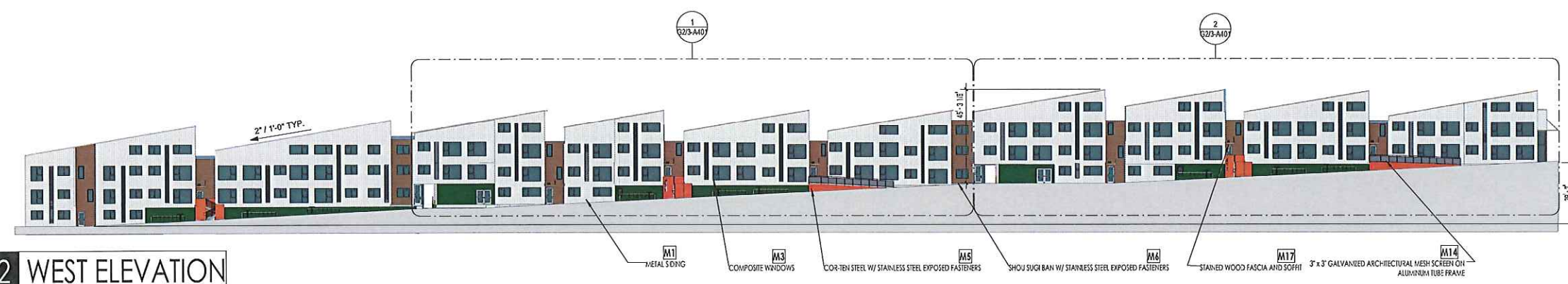
TORQUE COMPANIES DATE 01.23.18

COUNTY HIGHWAY MM
FITCHBURG, WI

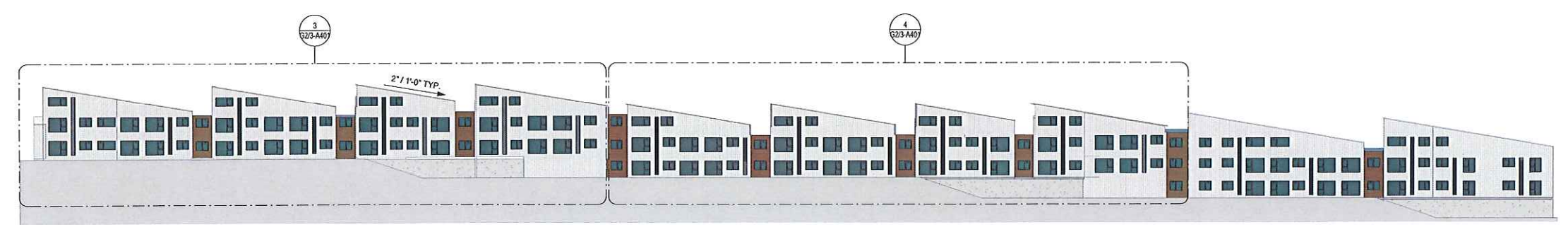
G2 & G3 ELEVATIONS G2/3-A400
SCALE: 1/4" = 30'-0"



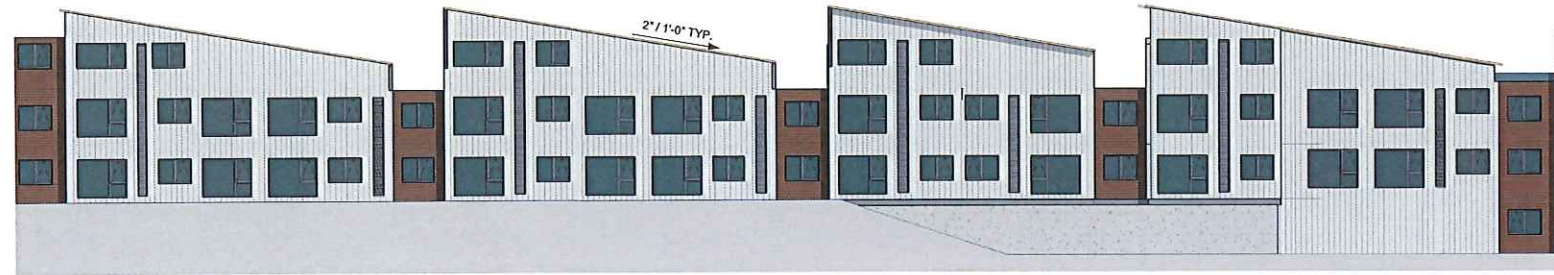
3 SOUTH
1" = 30'-0"



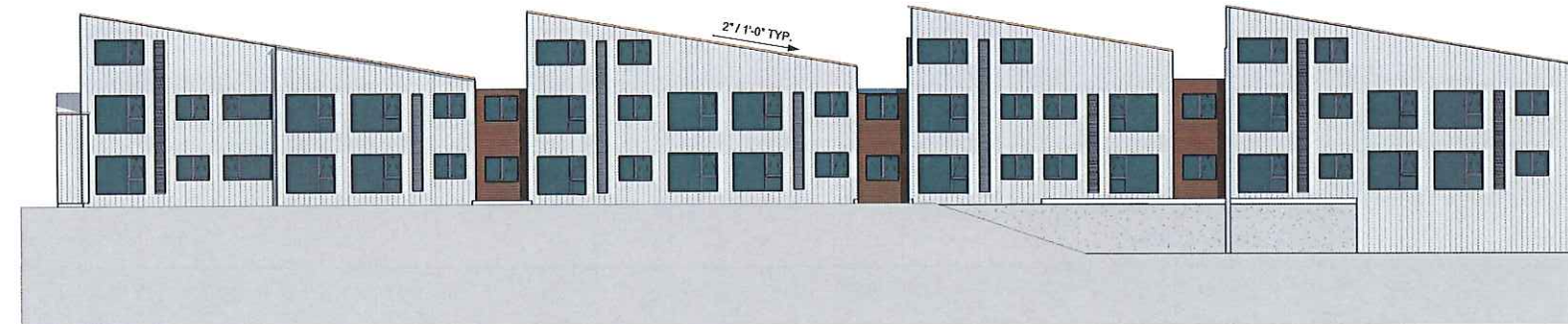
2 WEST ELEVATION
1" = 30'-0"



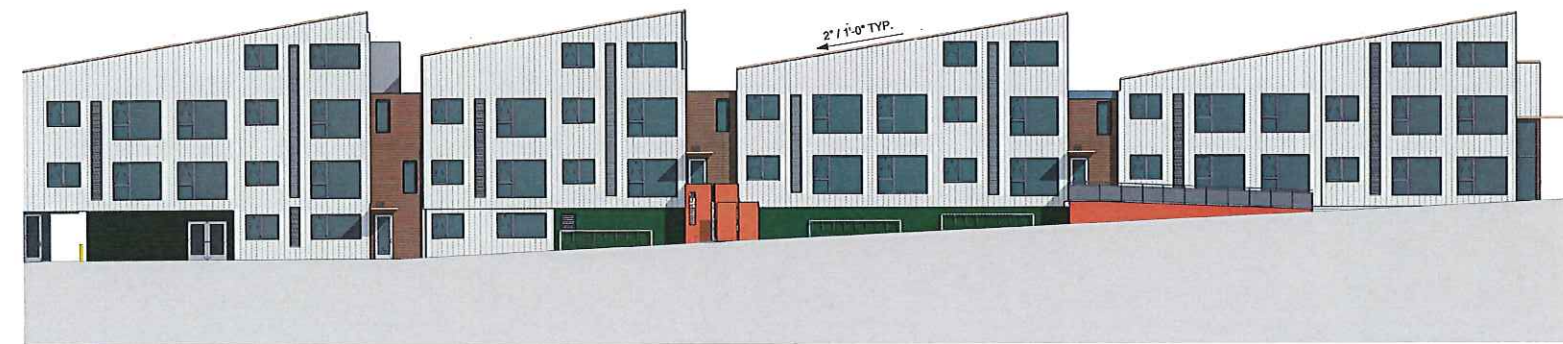
1 EAST ELEVATION
1" = 30'-0"



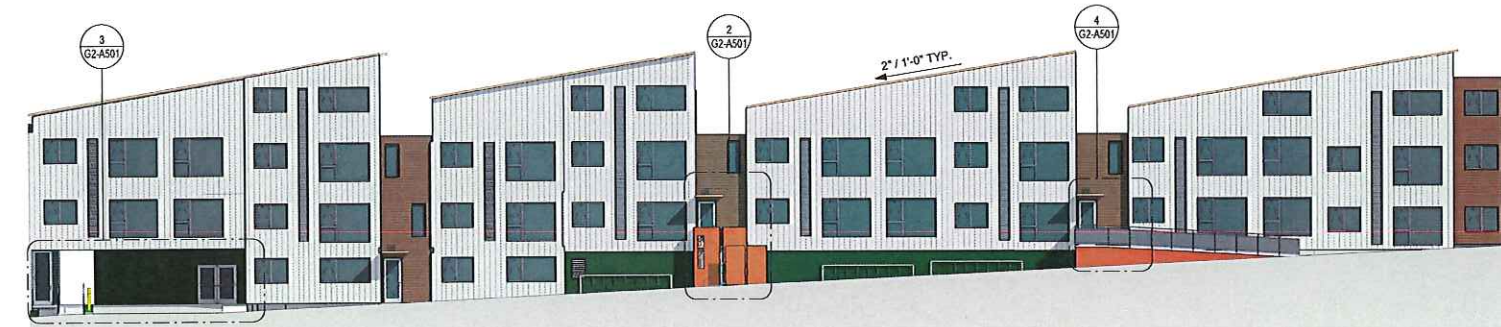
4 G2 EAST ELEVATION
1/16" = 1'-0"



3 G3 EAST ELEVATION
1/16" = 1'-0"



2 G3 WEST ELEVATION
1/16" = 1'-0"



1 G2 WEST ELEVATION
1/16" = 1'-0"

DRAWING NOTES



CODE NOTES



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

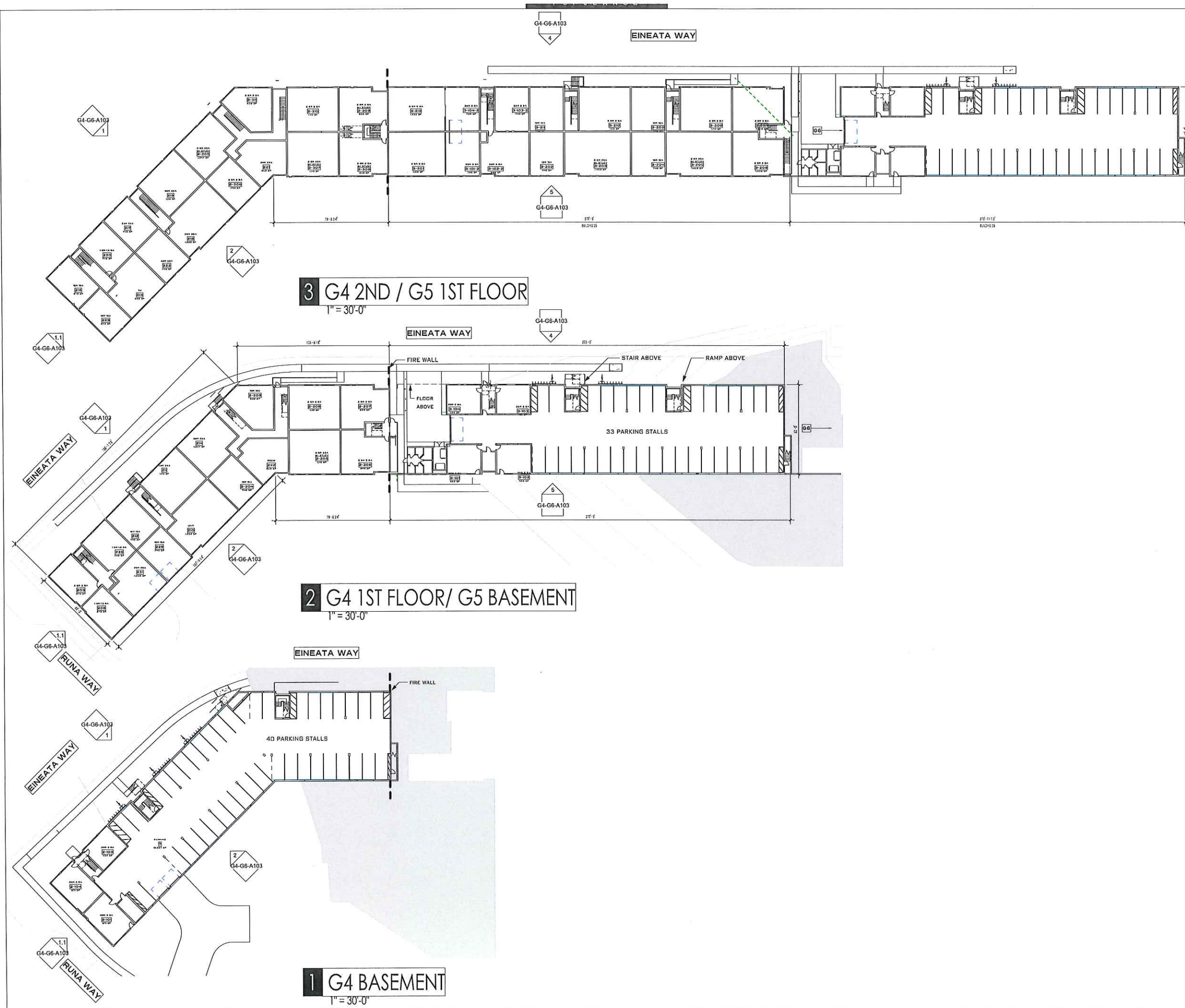
TORQUE
COMPANIES

DATE
01.23.18

COUNTY HIGHWAY MM
FITZBURG, WI

G2 & G3
ELEVATIONS
SCALE: 1/16" = 1'-0"

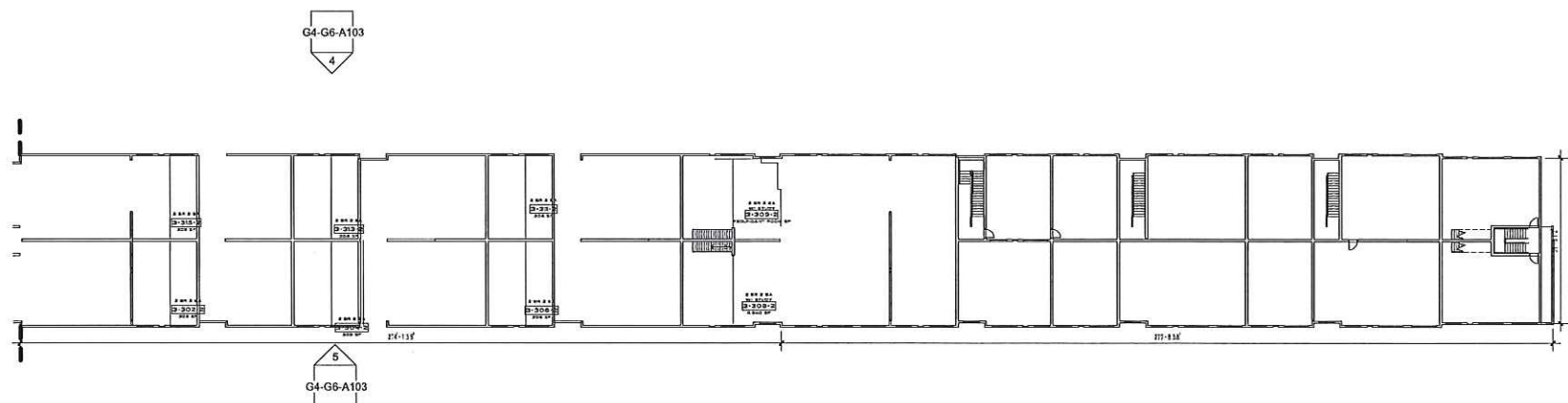
G2/3-A401



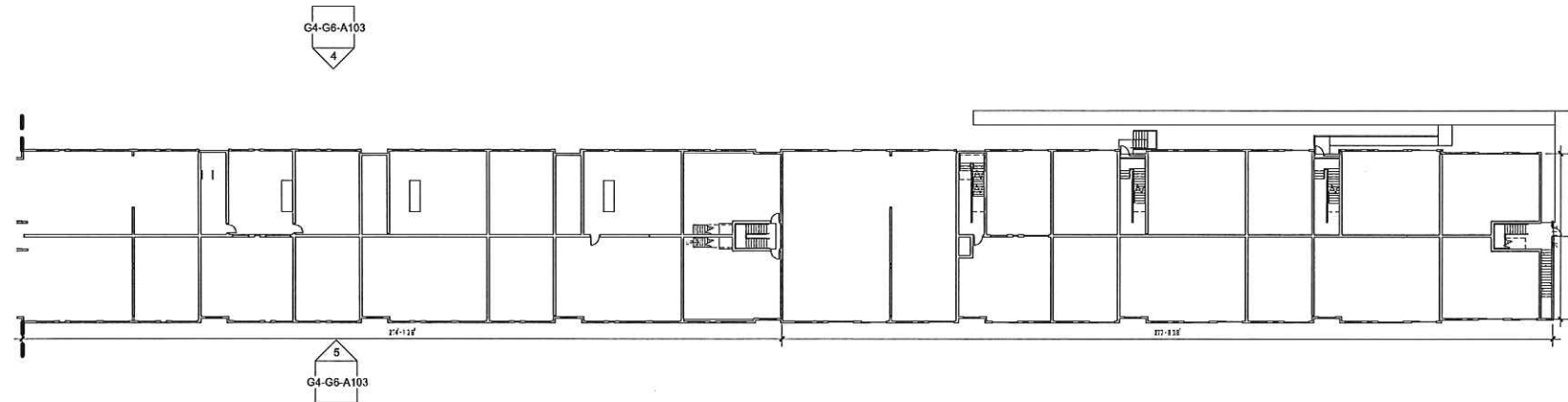
EDGE LIVE WORK City of Portland, Oregon
 MASTER PLAN

TORQUE
 FOCUSED REAL ESTATE
PLAN COMMISSION
SIP SUBMITTAL

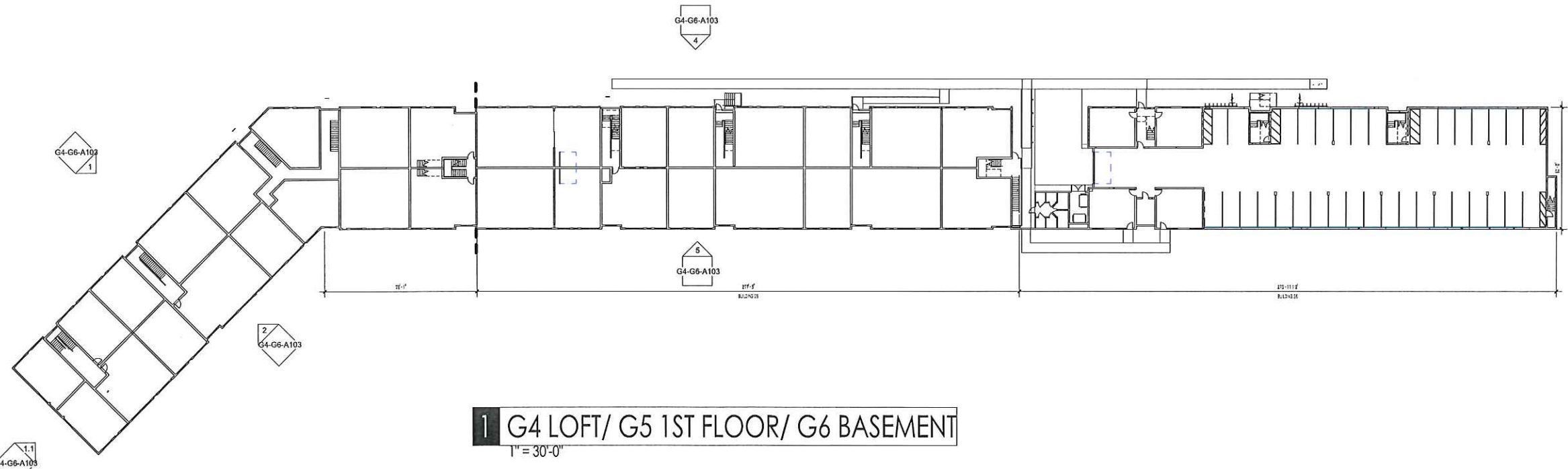
TORQUE COMPANIES	DATE
	03/02/2018
BUILDING G4-G6 G4-G6-A101	
PLANS	
SCALE: 1/8" = 3'-0"	



3 G5 LOFT/ G6 2ND FLOOR
 1" = 30'-0"



2 G5 2ND FLOOR/L G6 1ST FLOOR
 1" = 30'-0"



1 G4 LOFT/ G5 1ST FLOOR/ G6 BASEMENT
 1" = 30'-0"

DRAWING NOTES

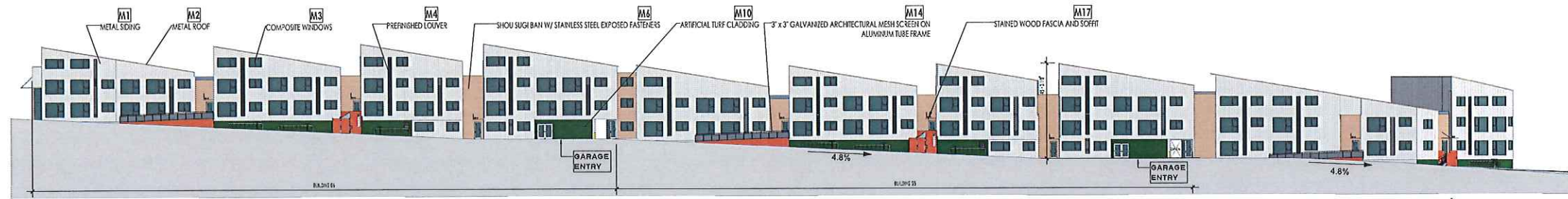


CODE NOTES

TORQUE
 FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES		DATE 03/28/2018
COUNTY HIGHWAY MM FITCHBURG, WI		G4-G6-A102
BUILDING G4-G6		
PLANS		SCALE: 1" = 30'-0"



4 G4/G5/G6 G5 EAST ELEVATION
1" = 30'-0"



1 G4 EAST ELEVATION
1" = 30'-0"



5 G4/G5/G6 WEST ELEVATION
1" = 30'-0"



2 G4 WEST ELEVATION
1" = 30'-0"



1.1 NORTH ELEVATION
1" = 30'-0"

GENERAL NOTES

DRAWING NOTES



CODE NOTES

TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES

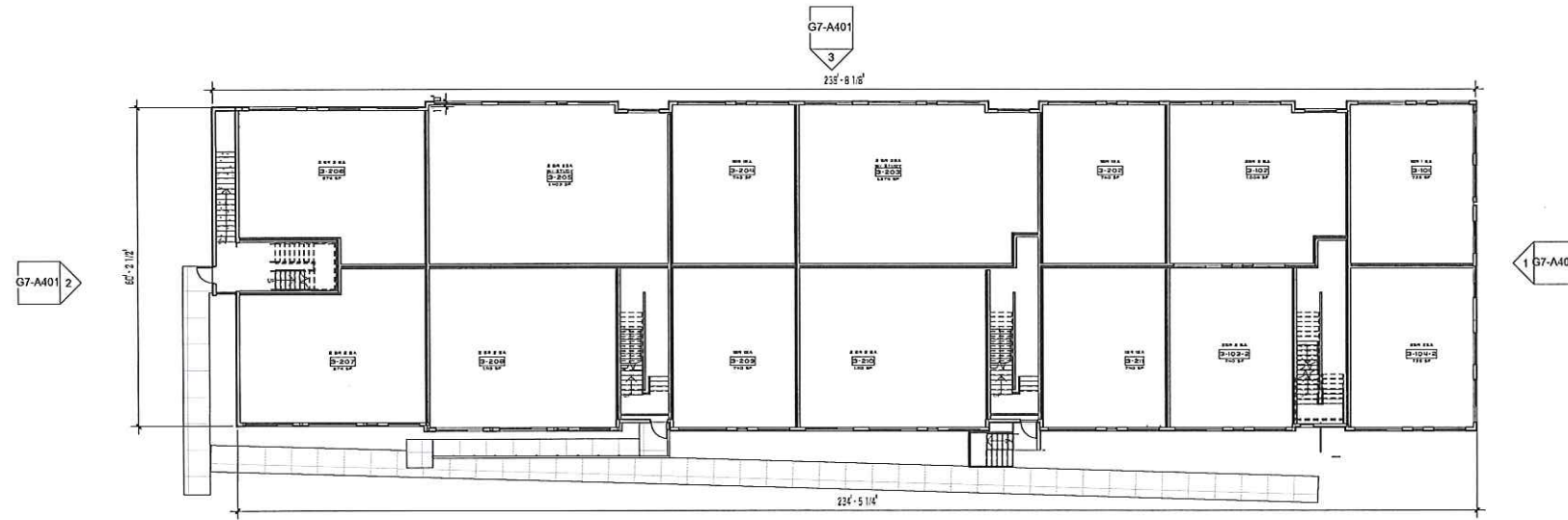
DATE
03/22/2023

COUNTY HIGHWAY MM
FITCHBURG, WI

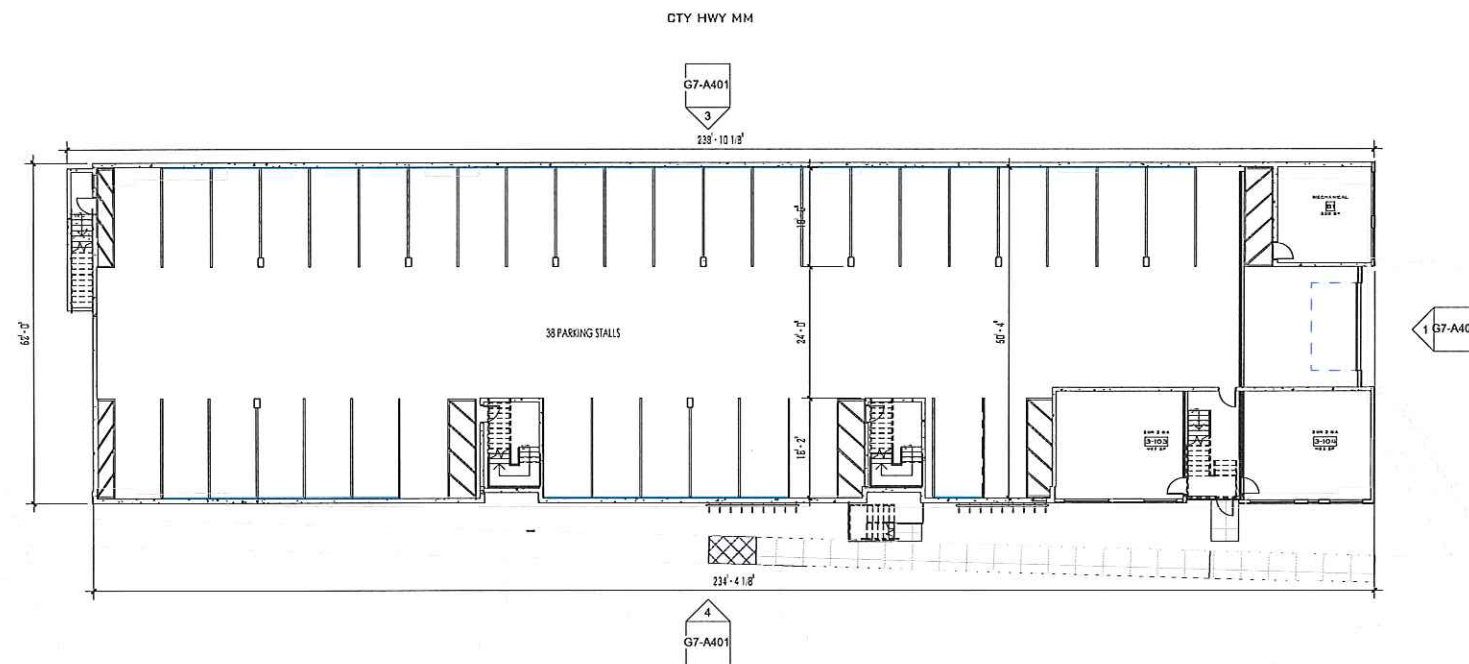
BUILDING G4-G6 G4-G6-A103

ELEVATIONS

SCALE: 1/8" = 3'-0"



2 1ST FLOOR PLAN
1/16" = 1'-0"



1 BASEMENT PLAN
1/16" = 1'-0"



EDGE LIVE WORK City of Madison Wisconsin
1000 WEST CENTER STREET, SUITE 100
MADISON, WI 53703
MASTER PLAN



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

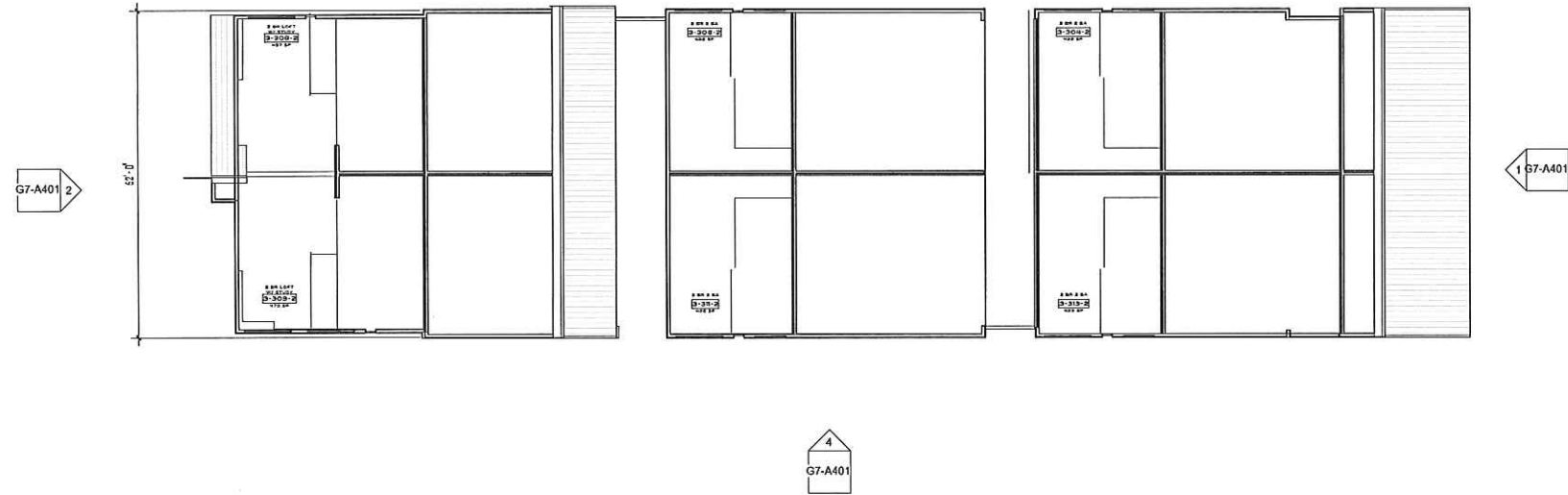
SIP SUBMITTAL

TORQUE
COMPANIES

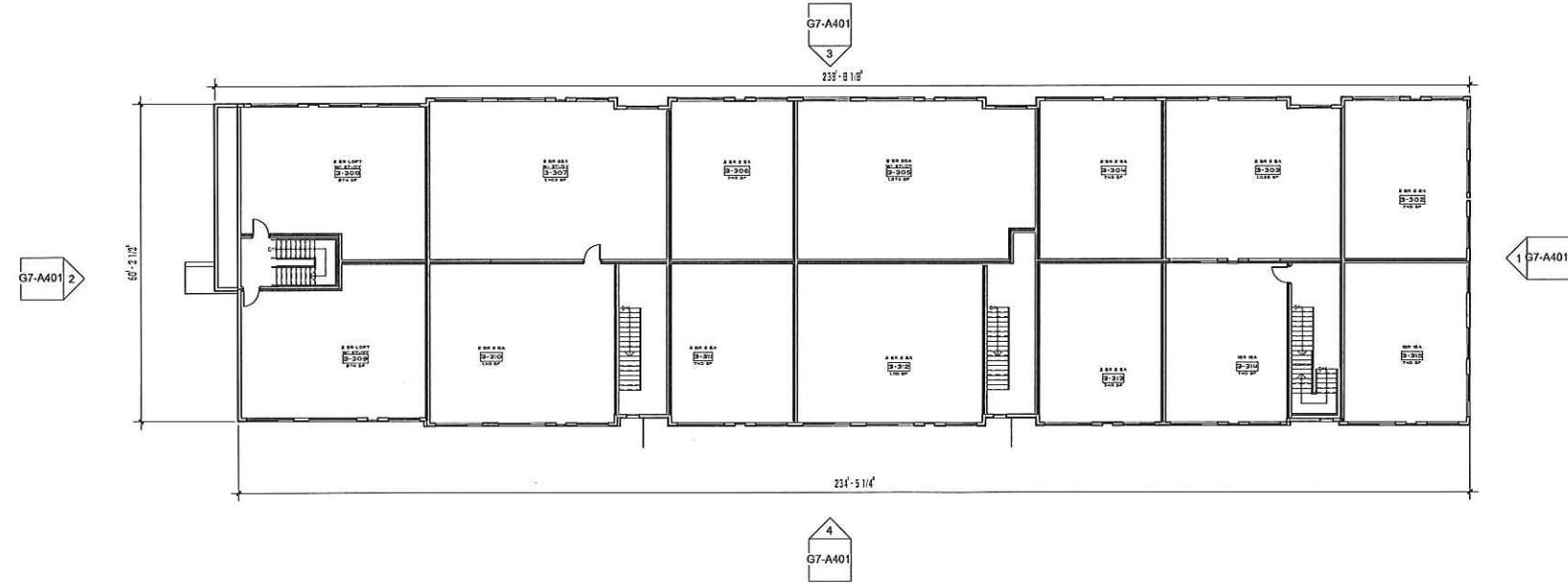
DATE
01.23.18

BUILDING G7 FLOOR
PLANS
SCALE 1/8" = 1'-0"

G7-A101



2 LOFT FLOOR PLAN
1/16" = 1'-0"



1 2ND FLOOR
1/16" = 1'-0"



EDGE LIVE WORK | 10000 Lakeshore Blvd. | G7 | MASTER PLAN



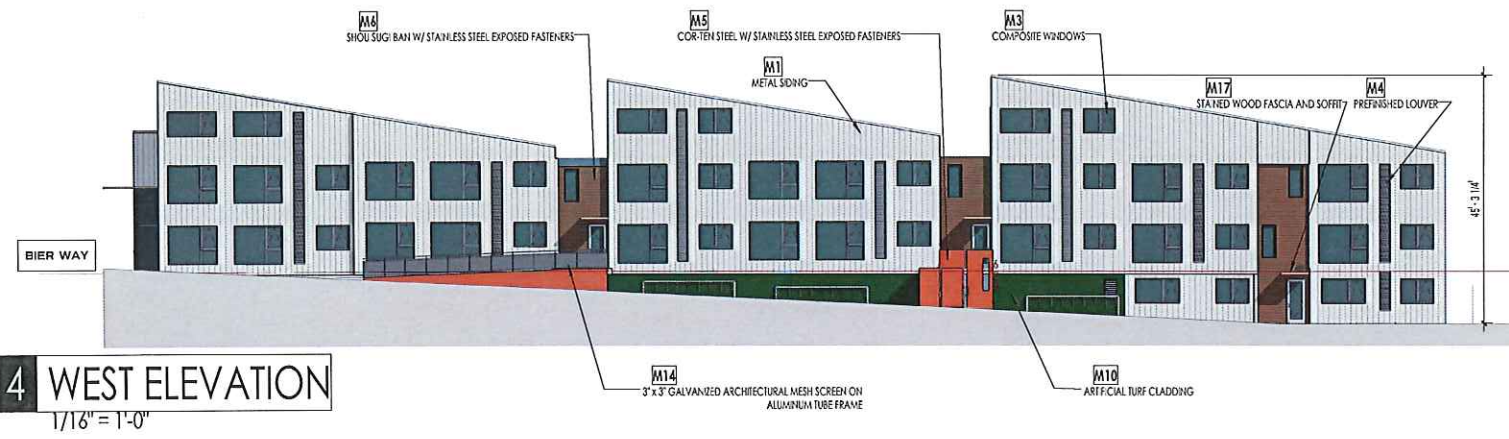
PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	DATE
	01.23.18

BUILDING G7 FLOOR PLANS
SCALE: 1/8" = 1'-0"

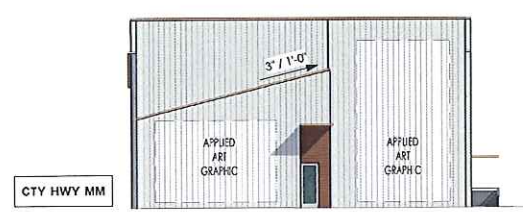
G7-A102



4 WEST ELEVATION
1/16" = 1'-0"



3 EAST ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"

DRAWING NOTES



CODE NOTES



TORQUE
FOCUSED REAL ESTATE
PLAN COMMISSION

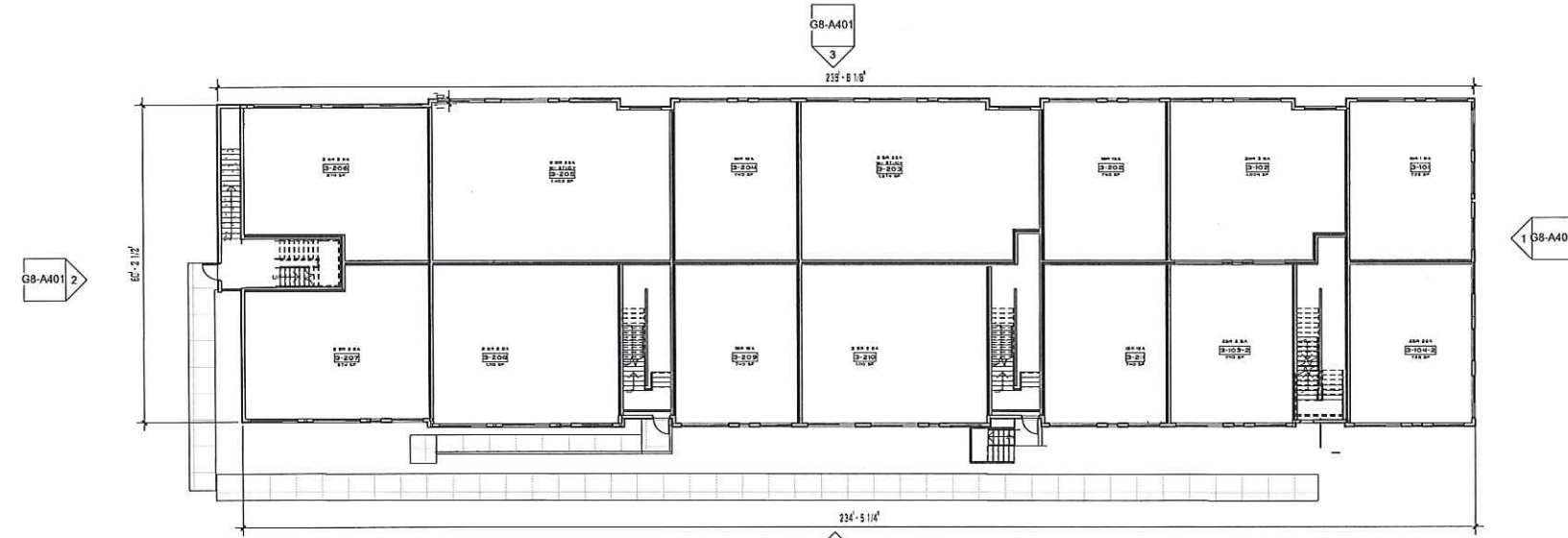
SIP SUBMITTAL

TORQUE COMPANIES	DATE
	01.23.16

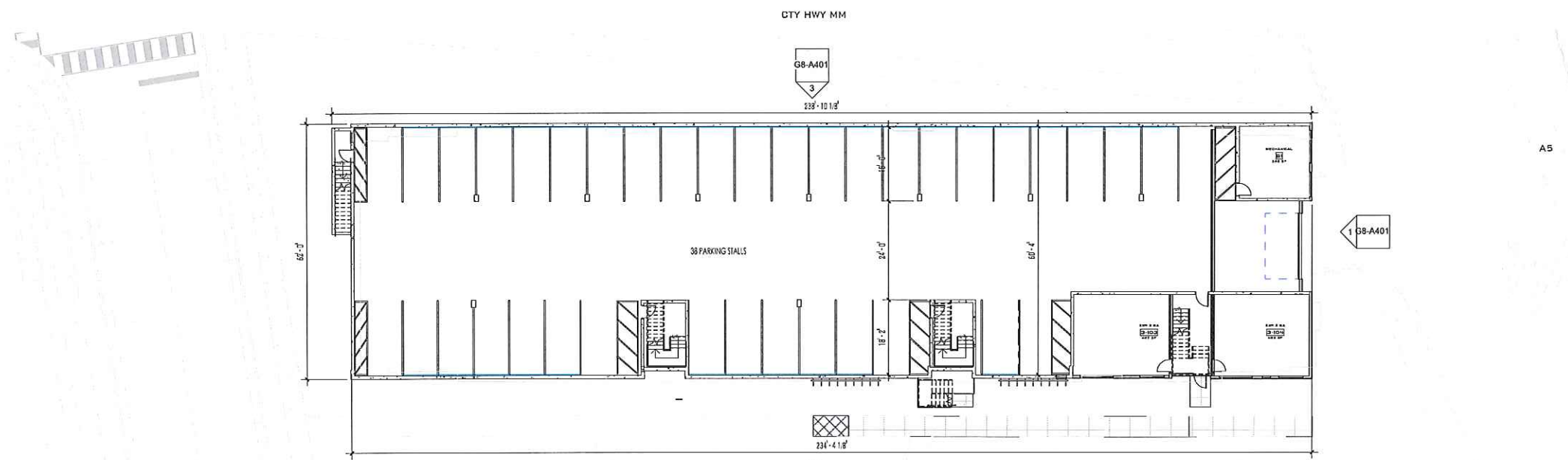
COUNTY HIGHWAY MM
FITZBURG, WI

BUILDING G7
ELEVATIONS
SCALE: 1/16" = 1'-0"

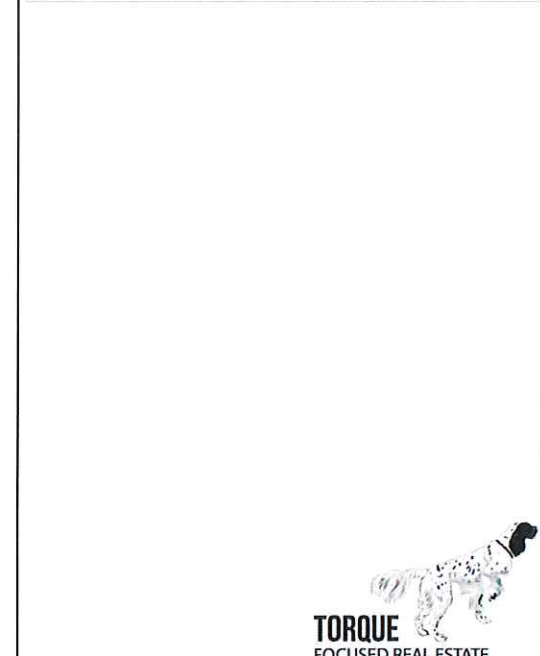
G7-A401



2 1ST FLOOR PLAN
1/16" = 1'-0"



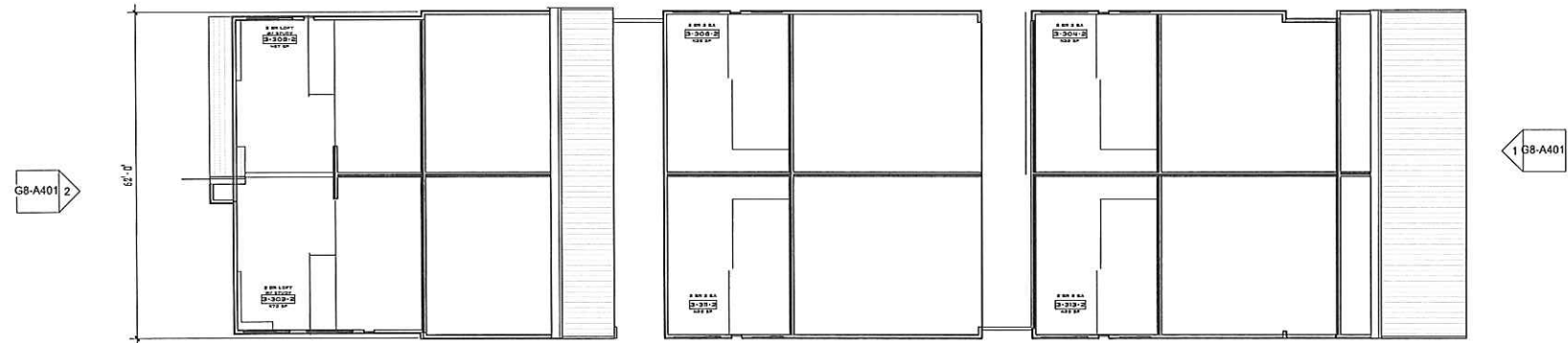
1 BASEMENT PLAN
1/16" = 1'-0"



PLAN COMMISSION
SIP SUBMITTAL

TORQUE COMPANIES DATE
01.23.18

BUILDING G8 FLOOR PLANS **G8-A101**
SCALE: 1/16" = 1'-0"



2 LOFT FLOOR PLAN
1/16" = 1'-0"



1 2ND FLOOR
1/16" = 1'-0"



TORQUE
FOCUSED REAL ESTATE

PLAN COMMISSION

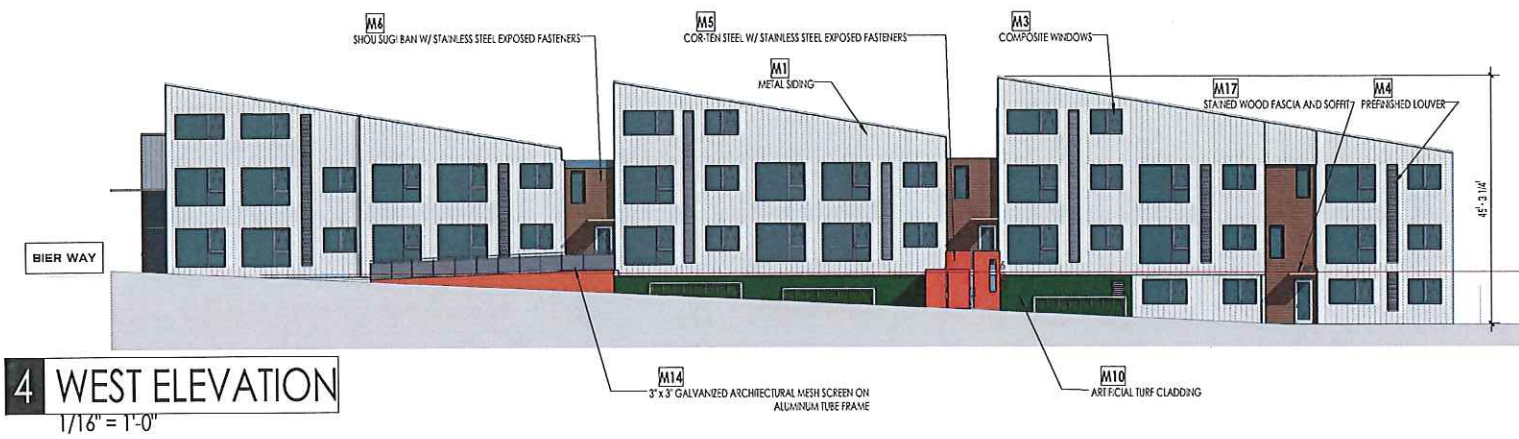
SIP SUBMITTAL

TORQUE
COMPANIES

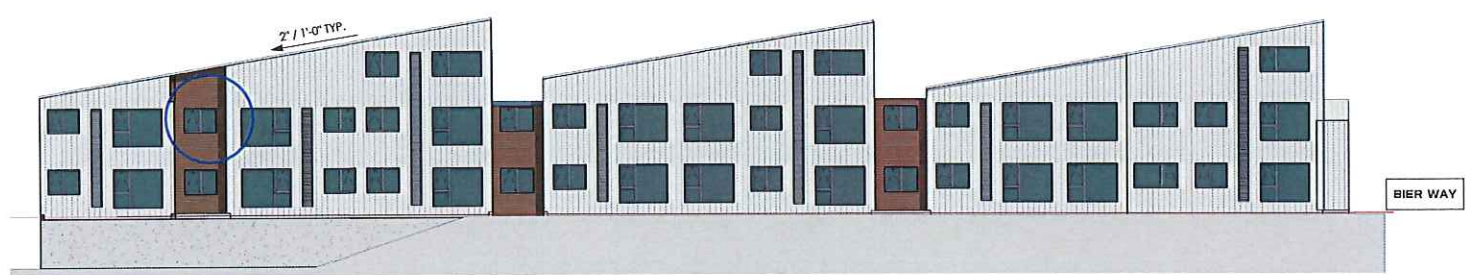
DATE
01.23.18

BUILDING G8 FLOOR
PLANS
SCALE: 1/16" = 1'-0"

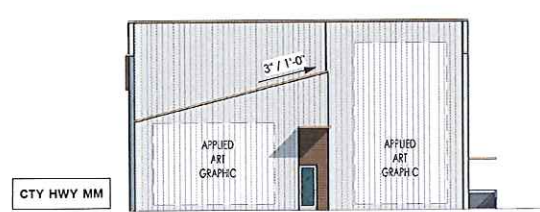
G8-A102



4 WEST ELEVATION
1/16" = 1'-0"



3 EAST ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"

DRAWING NOTES

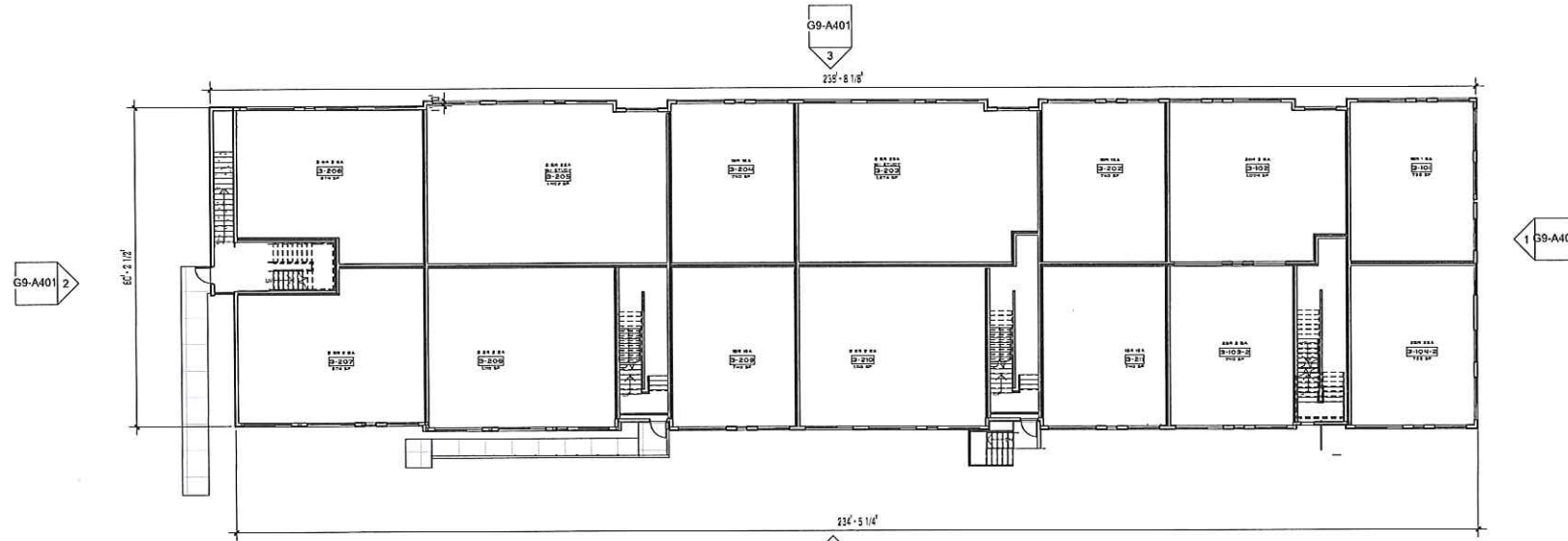


CODE NOTES

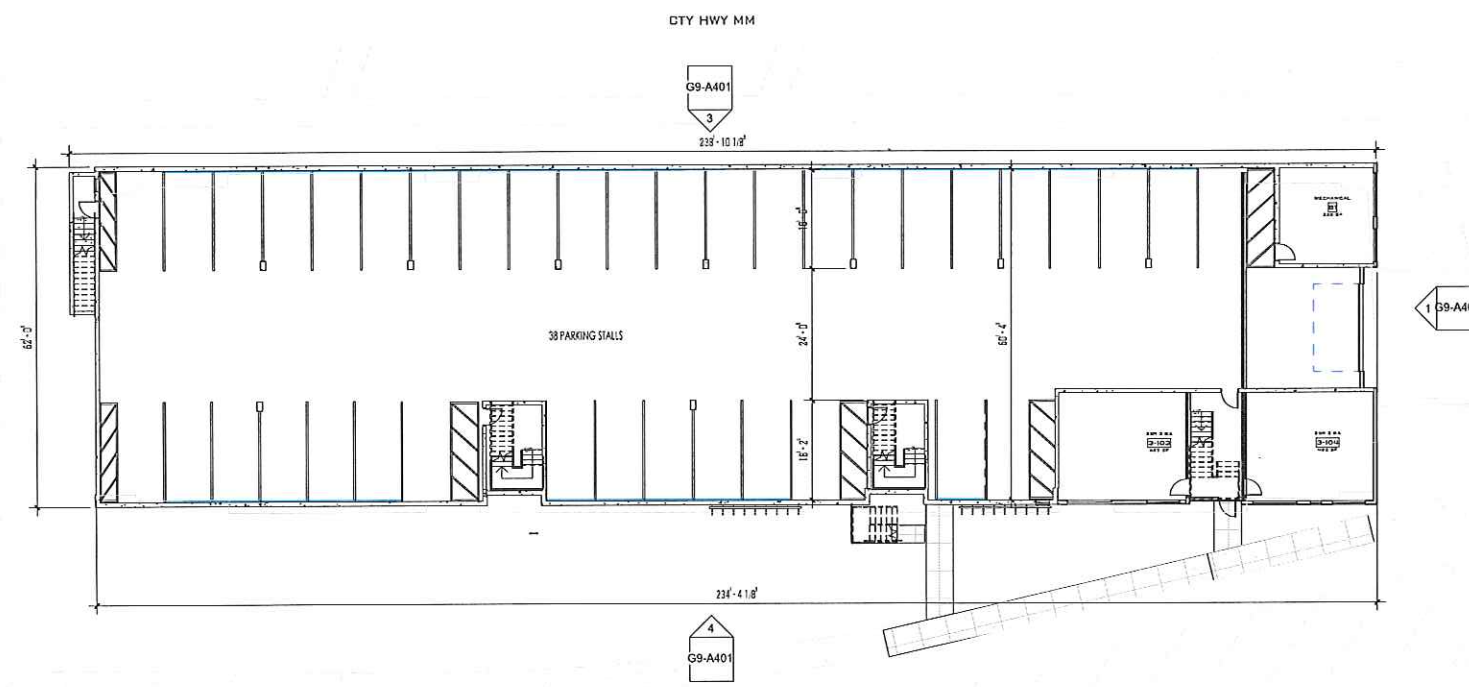
TORQUE
FOCUSSED REAL ESTATE
PLAN COMMISSION

SIP SUBMITTAL

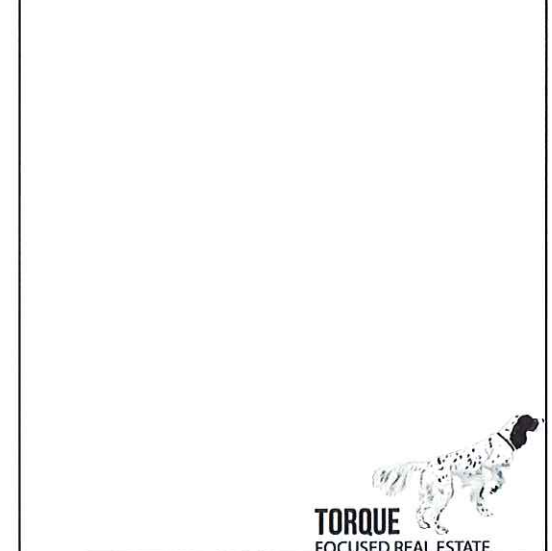
TORQUE COMPANIES	DATE 01.23.18
	COUNTY HIGHWAY MM FITZBURG, WI
BUILDING G8 ELEVATIONS SCALE: 1/16" = 1'-0"	G8-A401



2 1ST FLOOR PLAN
1/16" = 1'-0"

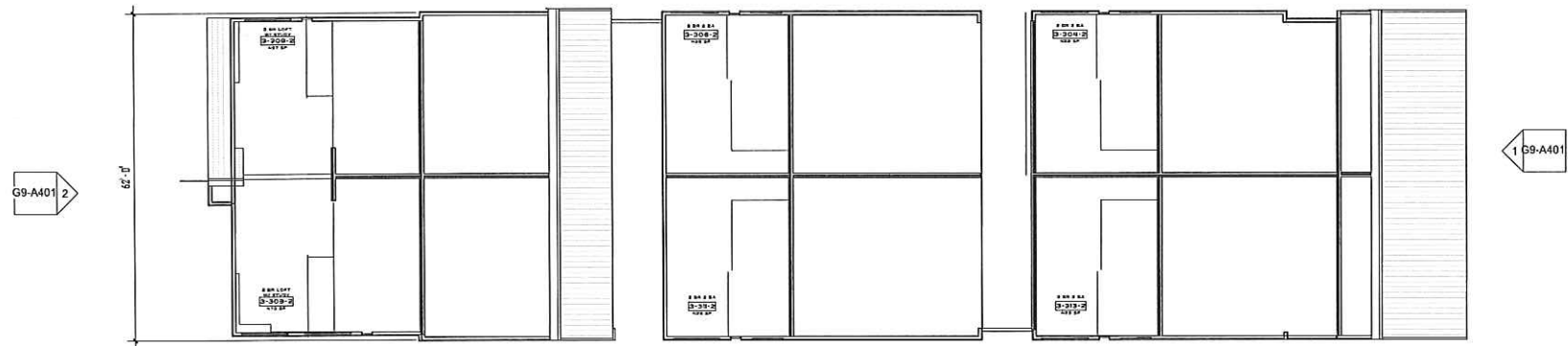


1 BASEMENT PLAN
1/16" = 1'-0"



PLAN COMMISSION
SIP SUBMITTAL

TORQUE COMPANIES	DATE
	01.23.18



2 LOFT FLOOR PLAN
1/16" = 1'-0"



1 2ND FLOOR
1/16" = 1'-0"



PLAN COMMISSION

SIP SUBMITTAL

**TORQUE
COMPANIES**

DATE
01.23.18

GENERAL NOTES

DRAWING NOTES



CODE NOTES



SIP SUBMITTAL

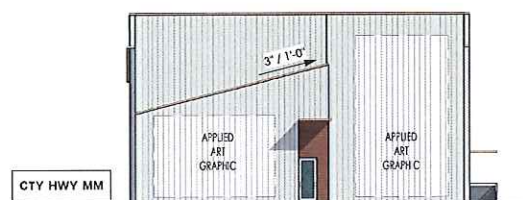
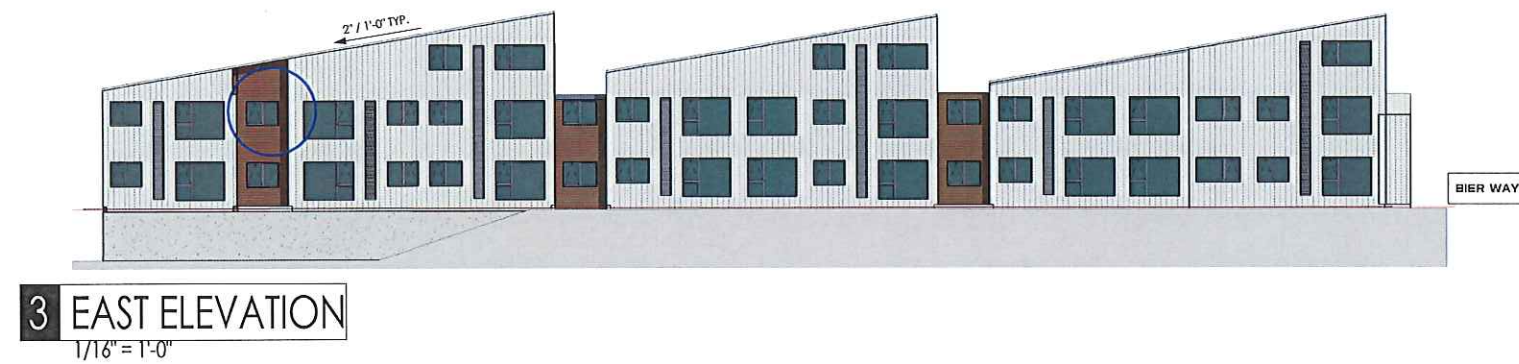
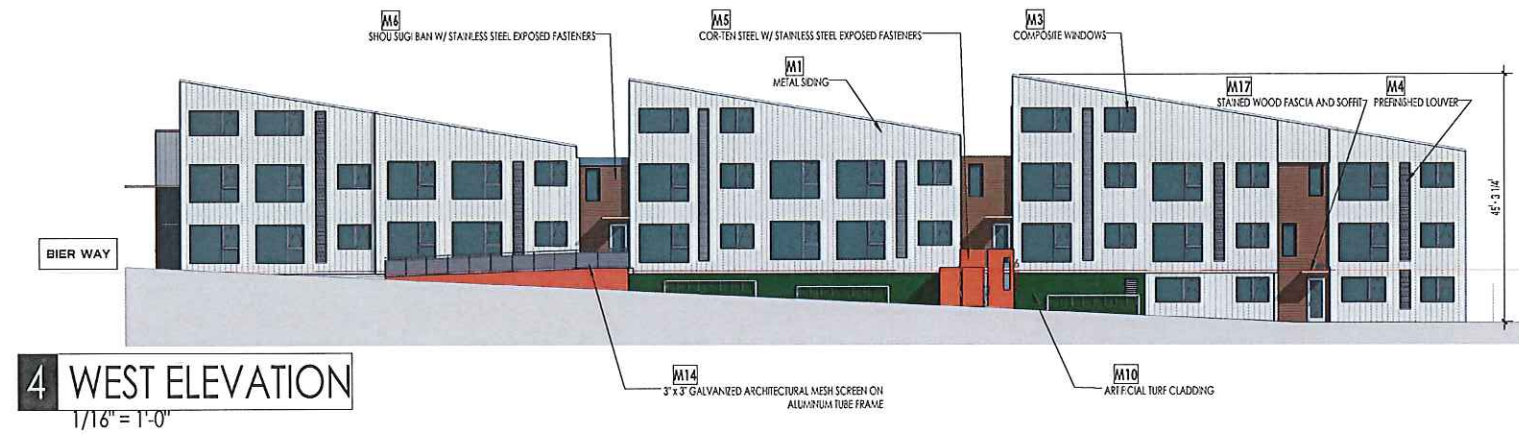
TORQUE COMPANIES

DATE
01.29.18

COUNTY HIGHWAY MM
FITZBURG, WI

**BUILDING G9
ELEVATIONS**

G9-A401



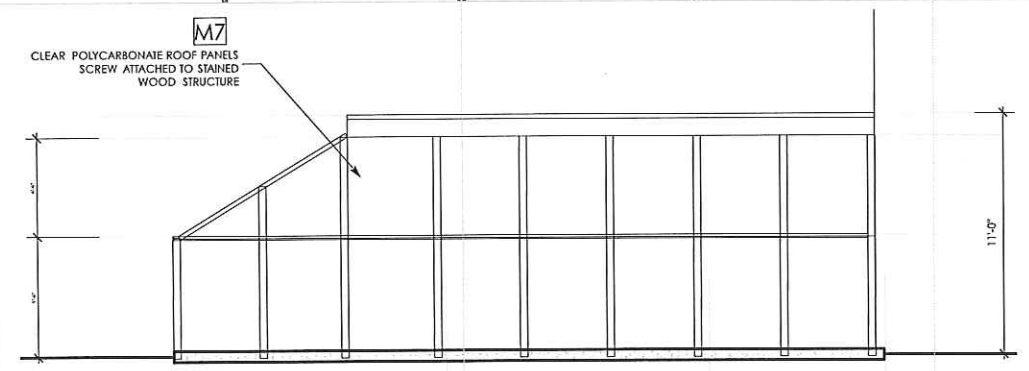
GENERAL NOTES

- G4 PAVILION:**
- OUTDOOR GATHERING
 - GRILL
 - COMMUNITY TOOL STORAGE
 - FIRE PIT
 - FIREWOOD STORAGE
 - GREENHOUSE
 - OUTDOOR GAMES

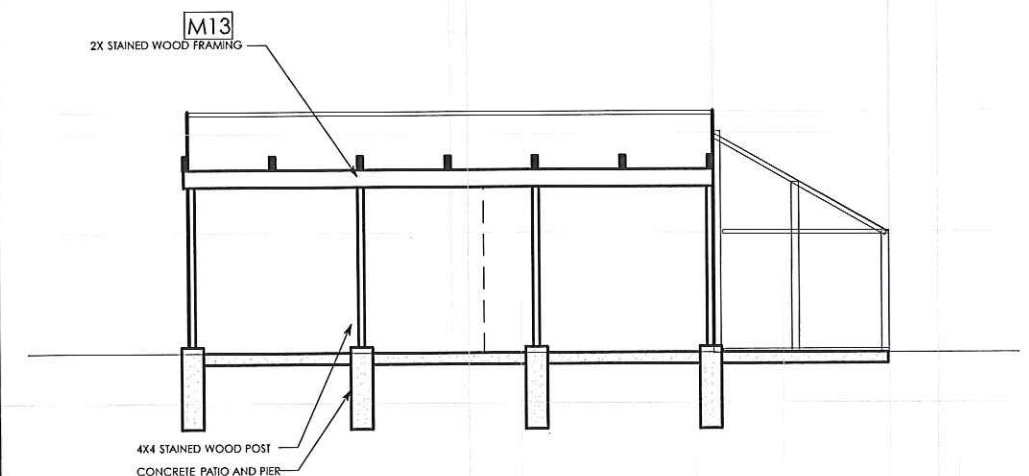
DRAWING NOTES



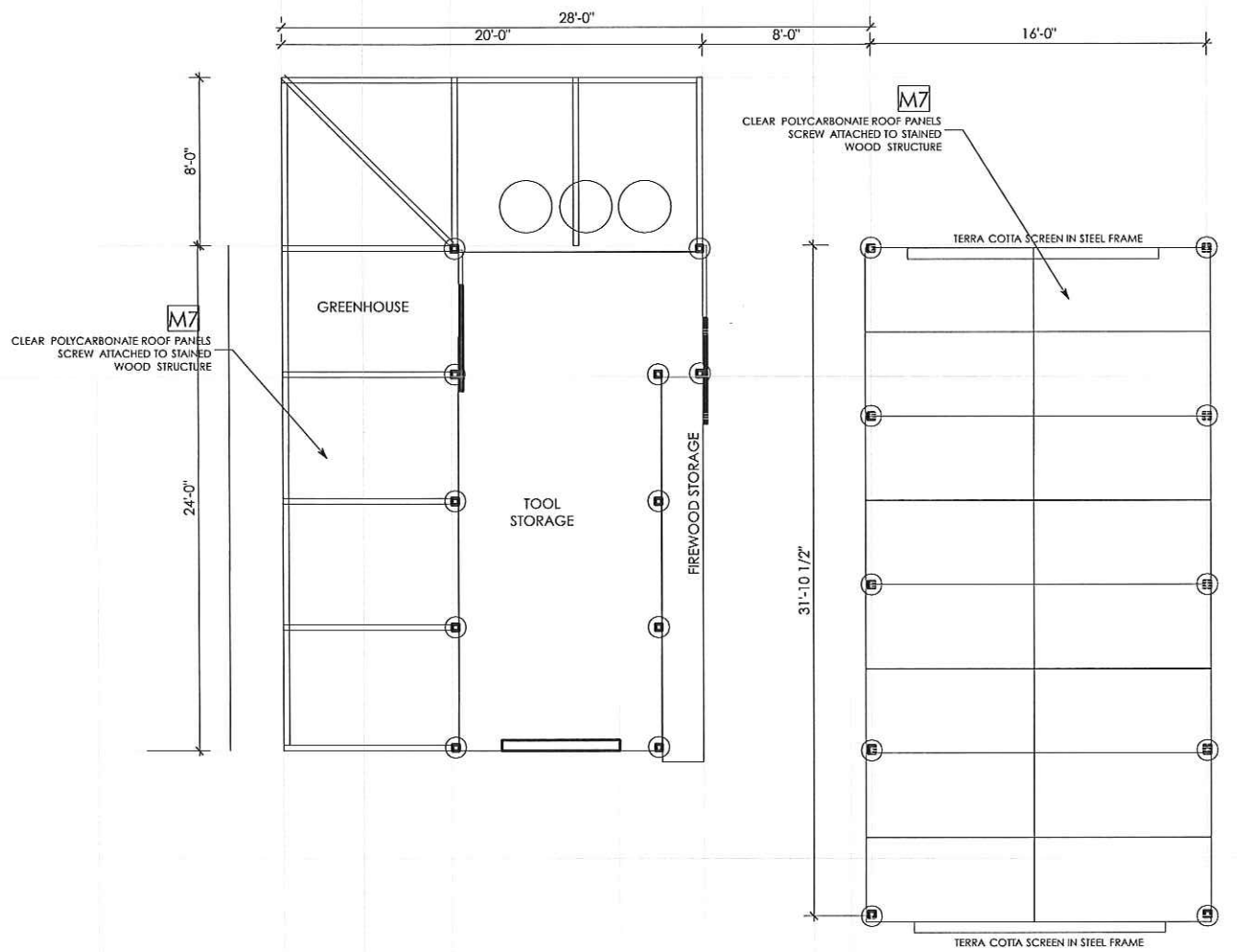
CODE NOTES



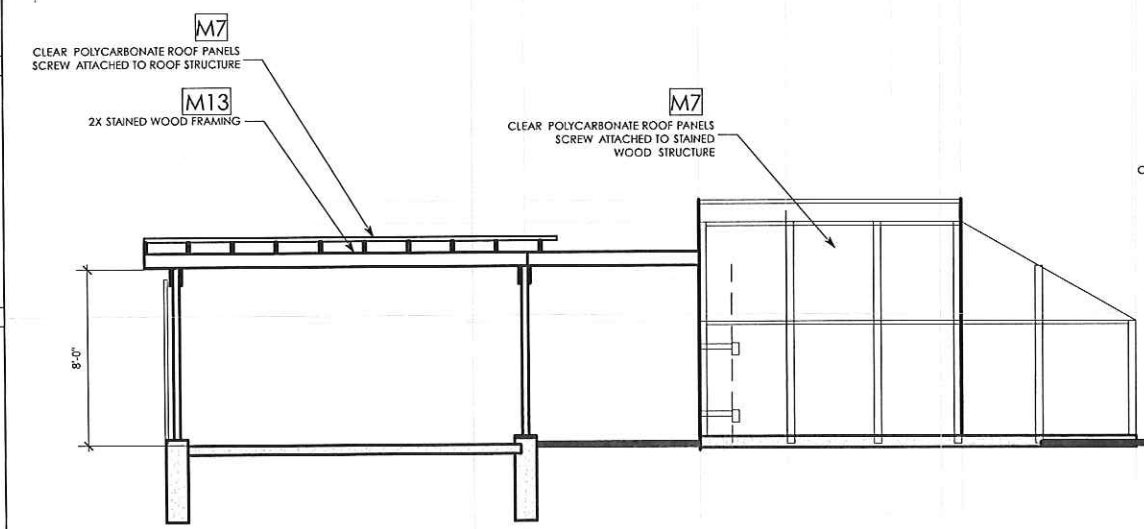
2 E4 PAVILION- ELEVATION



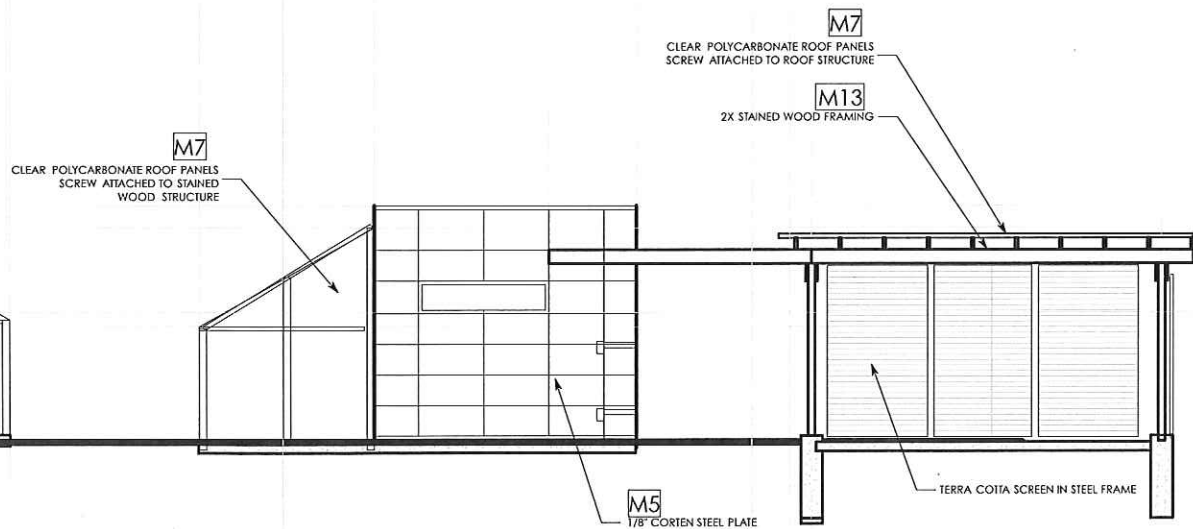
3 E4 PAVILION- SECTION



1 E4 PAVILION- PLAN



4 E4 PAVILION- ELEVATION



5 E4 PAVILION- ELEVATION



TORQUE
FOCUSED REAL ESTATE

PLAN COMMISSION

SIP SUBMITTAL

WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926	
TORQUE COMPANIES	DATE 01.23.18
@EDGE COUNTY HIGHWAY MM FITCHBURG, WI	
ACCESSORY BUILDING	
AB-A102	

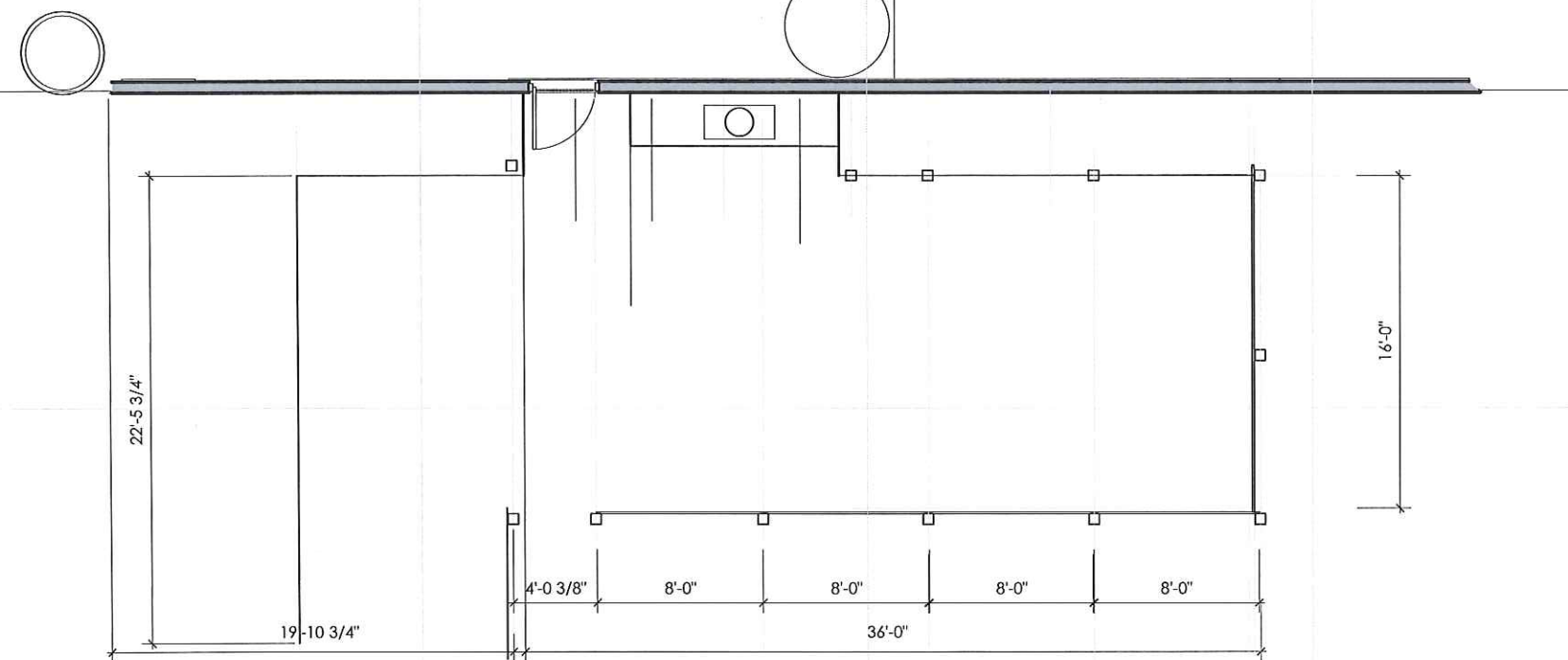
A4 PAVILION:

- OUTDOOR GATHERING
- GRILL
- SWIMMING POOL
- FIRE PIT
- OUTDOOR SHOWERS
- HOT TUB

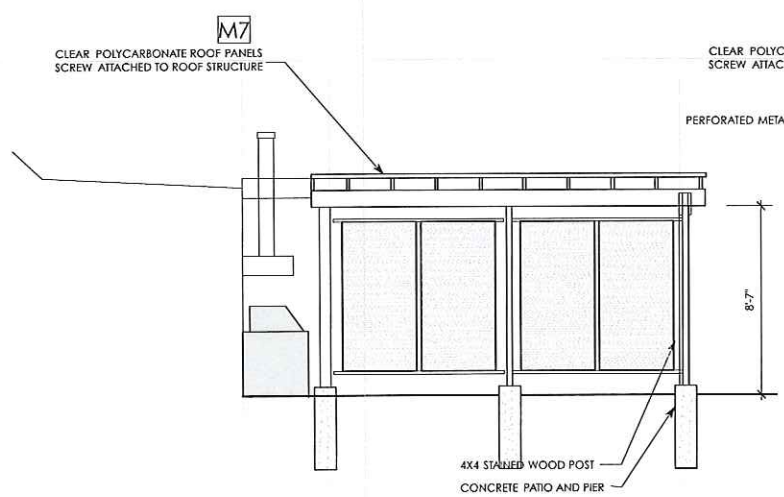
DRAWING NOTES



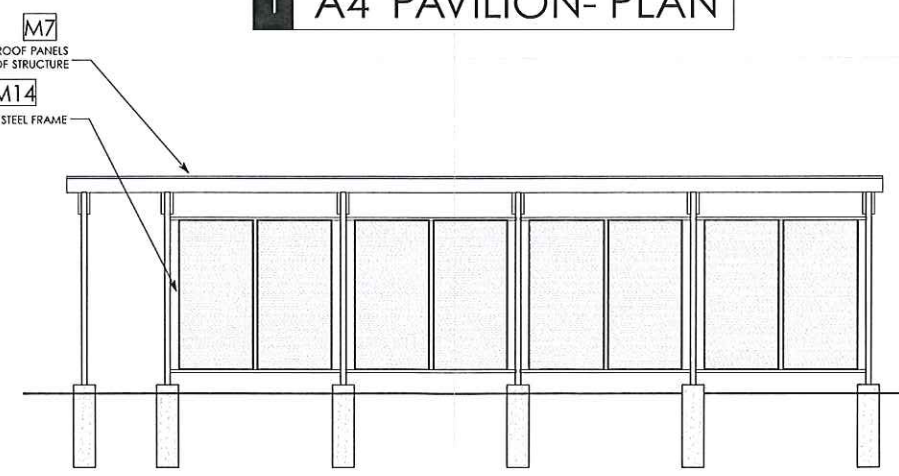
CODE NOTES



1 A4 PAVILION- PLAN



2 A4 PAVILION- SECTION



3 A4 PAVILION- ELEVATION



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926
	DATE 01.23.18
ACCESSORY BUILDING	
@EDGE COUNTY HIGHWAY MM FITCHBURG, WI AB-A101	

GENERAL NOTES

G1 PAVILION:
-OUTDOOR GATHERING
-GRILL

DRAWING NOTES



CODE NOTES



PLAN COMMISSION

SIP SUBMITTAL

WWW.POPULANCE.COM
STUDIO@POPULANCE.COM
608.333.1926

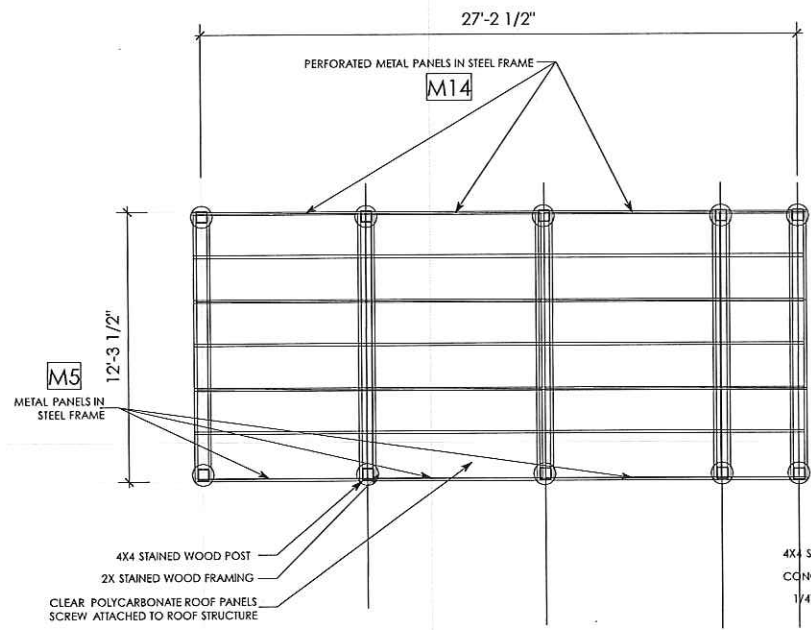
TORQUE COMPANIES

@EDGE
COUNTY HIGHWAY MM
FITCHBURG, WI

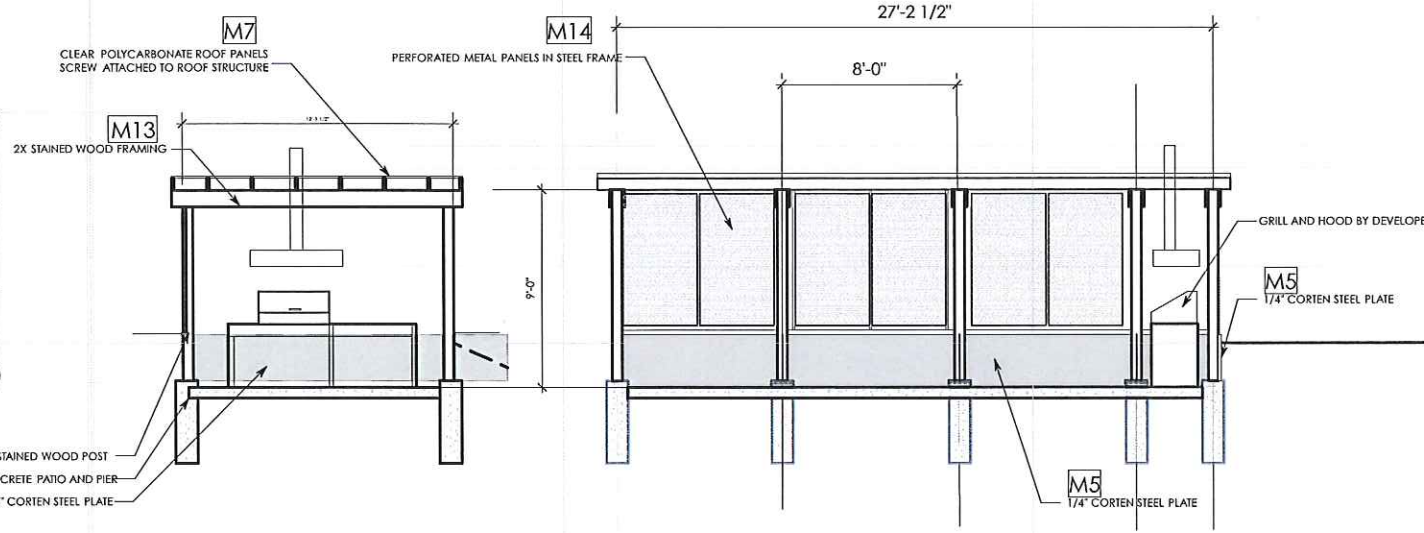
AB-A103

ACCESSORY BUILDING

DATE
10.30.17

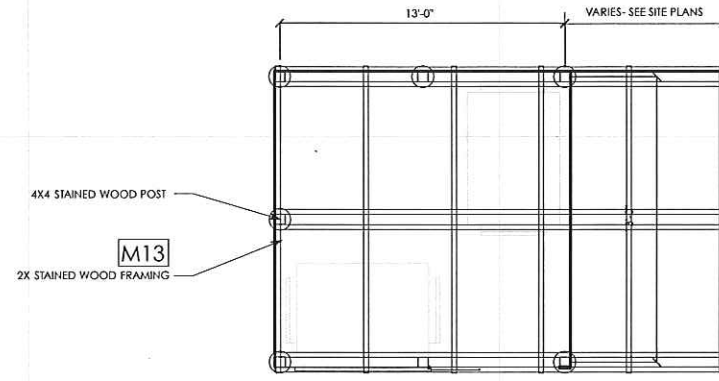


1 G1 PAVILION- PLAN

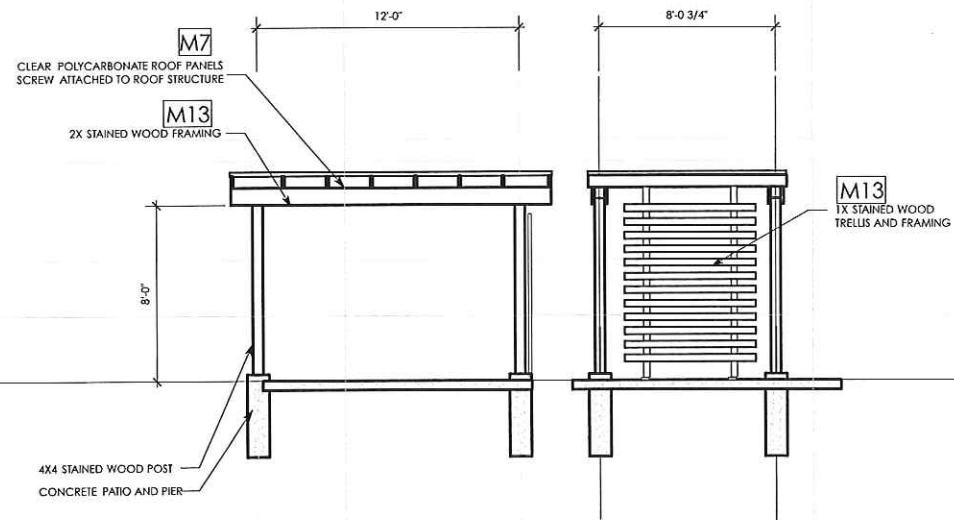
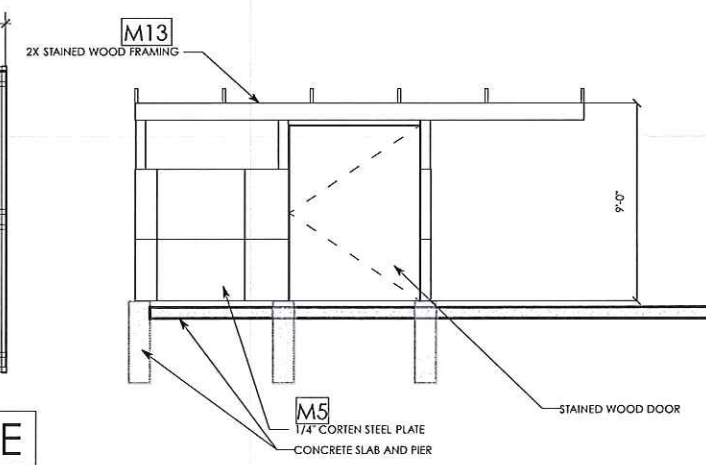


2 G1 PAVILION- SECTION

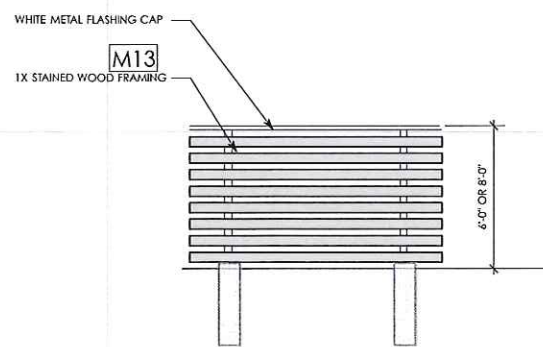
3 G1 PAVILION- ELEVATION



5 TRASH ENCLOSURE



4 CARPORT



6 FENCE

TYPICAL BUILDING MATERIAL PALETTE

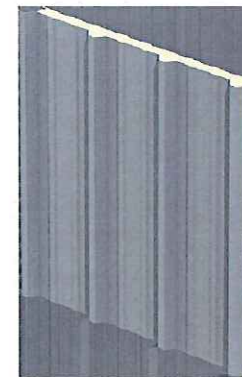


METAL SIDING
M1



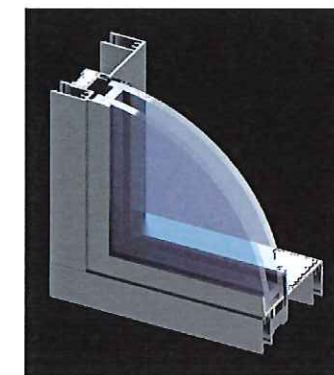
MANUFACTURER:
METL-SPAN
FINISH:
INSULATED METAL PANEL
COLOR:
SIZE:
VARIES
LOCATIONS:
EXTERIOR; RE: ELEVATIONS

METAL ROOF
M2



MANUFACTURER:
METL-SPAN
FINISH:
INSULATED METAL PANEL
COLOR:
SIZE:
VARIES
LOCATIONS:
EXTERIOR; RE: ELEVATIONS

WINDOWS
M3



MANUFACTURER:
FIBREFRAME
FINISH:
PREFINISHED ALUMINUM TO
MATCH ADJACENT
METAL PANEL
SIZE:
VARIES
LOCATIONS:
EXTERIOR; RE: ELEVATIONS

LOUVER
M4



MANUFACTURER:
BY HVAC
FINISH:
PREFINISHED TO MATCH ADJACENT
METAL PANEL
SIZE:
28" W
LOCATIONS:
GROUPED VERTICALLY @
EXTERIOR; RE: ELEVATIONS

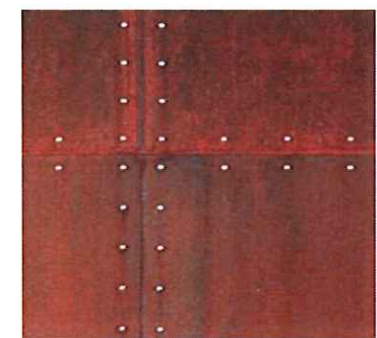


PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926
	DATE 01.23.18
@EDGE COUNTY HIGHWAY MM FITCHBURG, WI	
MATERIALS	M101

CLADDING
M5



MATERIAL:
COR-TEN STEEL
W/STAINLESS STEEL
EXPOSED FASTENERS

FINISH:
NATURAL FINISH

LOCATIONS:
ACCENT LOCATIONS

CLADDING
M6



MATERIAL:
SHOU SUGI BAN
or WALNUT
W/STAINLESS STEEL
EXPOSED FASTENERS

FINISH:
CHARRED CEDAR
OR STAINED

LOCATIONS:
ACCENT LOCATIONS

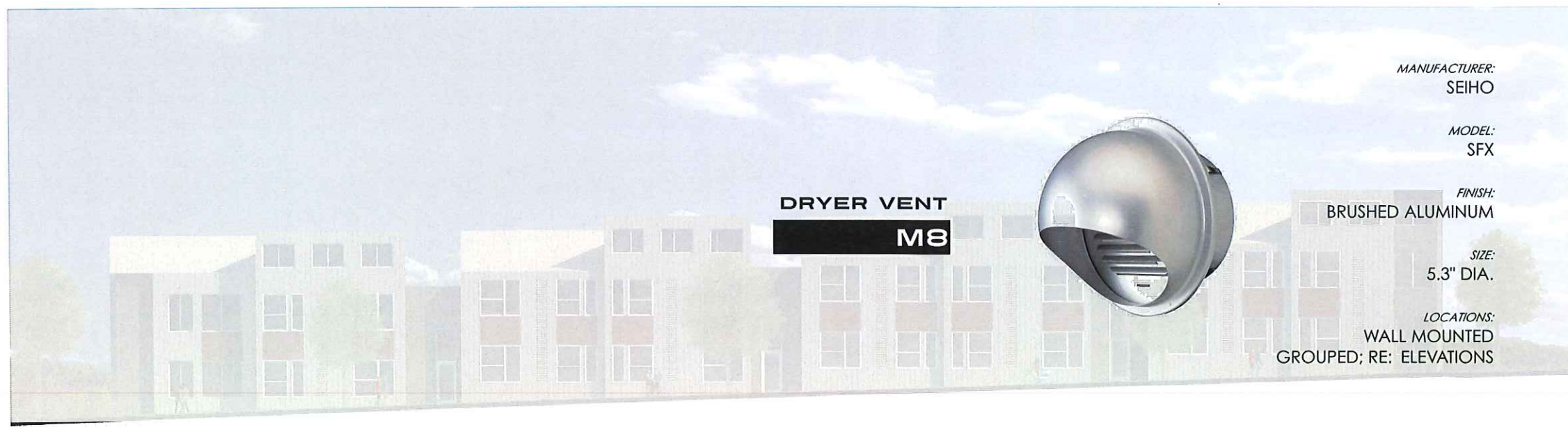
CLADDING
M7



MATERIAL:
POLYCARBONATE PANELS

FINISH:
OBSCURE

LOCATIONS:
ACCENT LOCATIONS,
ACCESSORY BUILDING ROOFS



DRYER VENT
M8



MANUFACTURER:
SEIHO

MODEL:
SFX

FINISH:
BRUSHED ALUMINUM

SIZE:
5.3" DIA.

LOCATIONS:
WALL MOUNTED
GROUPED; RE: ELEVATIONS



PLAN COMMISSION
SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926
	DATE 01.23.18
@EDGE COUNTY HIGHWAY MM FITCHBURG, WI	
MATERIALS	M102



TURF CLADDING EXAMPLE
CONTEXT PHOTOS



OVERHEAD DOOR
M9



MANUFACTURER:
CLOPAY

FINISH:
PREFINISHED
ALUMINUM FRAME
OBSCURE GLASS

SIZE:
VARIES

LOCATIONS:
AT GARAGE ENTRIES

OVERHEAD DOOR
M10



MANUFACTURER:
CLOPAY

FINISH:
PREFINISHED
ALUMINUM FRAME
OBSCURE GLASS

SIZE:
VARIES

LOCATION:
AT COMMUNITY BUILDING

CLADDING
M11

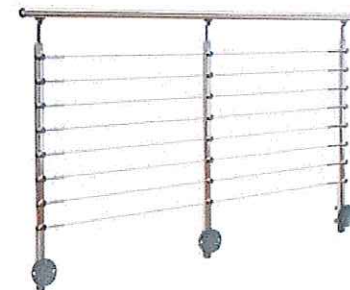


MATERIAL:
ARTIFICIAL TURF

FINISH:
TURF COLOR

LOCATIONS:
ACCENT LOCATIONS
AT GARAGE ENTRIES

EXTERIOR RAILINGS
M12



MATERIAL:
ALUMINUM AND
STAINLESS STEEL
CABLE RAILINGS

FINISH:
SILVER

LOCATIONS:
ACCENT LOCATIONS
AND EXTERIOR STAIRS



PLAN COMMISSION

SIP SUBMITTAL

WWW.POPULANCE.COM
STUDIO@POPULANCE.COM
608.333.1926

DATE
01.23.18

TORQUE COMPANIES

@EDGE
COUNTY HIGHWAY MM
RICHBURG, WI

MATERIALS

M103

STAINED WOOD

M13



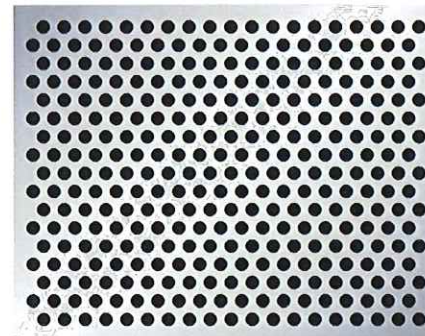
MATERIAL:
STAINED WOOD
W/STAINLESS STEEL
EXPOSED FASTENERS

FINISH:
STAINED

LOCATIONS:
ACCESSORY BUILDINGS
AND CARPORTS

PERFORATED METAL PANEL

M14



MATERIAL:
PERFORATED METAL PANEL

FINISH:
ALUMINUM

LOCATIONS:
ACCESSORY BUILDINGS
SCREENS

**CONCRETE
RETAINING WALL**

M15



FINISH:
FORMED CONCRETE

SIZE:
VARIOUS

LOCATIONS:
RE: SITE PLAN

**GABION
RETAINING WALL**

M16



FINISH:
STEEL BASKET WITH
LARGE STONES

SIZE:
VARIOUS

LOCATIONS:
RE: SITE PLAN



TORQUE
FOCUSED REAL ESTATE

PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 609.333.1926	
	DATE	01.23.18
@EDGE COUNTY HIGHWAY MM FITCHBURG, VA		M104
MATERIALS		

SIGN TYPE "A"

Proposed signs are noted with applicable Section from Chapter 26 of the Fitchburg Municipal Code except where noted as exempt.

Sec. 26-4. - Exempt signs.

The following signs are exempt from the provisions of this chapter, to the extent specified in this section and except as otherwise specifically provided in this chapter:

- (1) Traffic signs. Any sign which is required or authorized by any law, statute or ordinance, is designed to identify any public area or installation or which gives notice of danger in connection with a public project or hazard, including any traffic control device which bears a code number issued by the Wisconsin Department of Transportation as required by Wis. Stats. § 86.19(5).
- (4) Auxiliary signs. Any sign which identifies or gives direction to parts of a site or building such as, but not limited to, entrances or exits, addresses of buildings, designation of parking areas, or which provides secondary information such as price, hours of operation, warnings or directories. Such signs shall not exceed 16 square feet and do not count as part of the total signage for a site or business.
- (12) Home occupation signs. Home occupation signs which direct attention to a home occupation allowed on the premises under chapter 22, pertaining to zoning. Home occupation signs shall not exceed three square feet in area and shall be attached to the residential building in which a home occupation is permitted.
- (15) Municipal signs. Any sign erected by the city to promote safety, welfare, or items of general interest to the community, including, but not limited to, signs dealing with traffic safety, road construction, and special events.



Residential Multi-Family, Exterior Building address, Style A



Canopy Edge

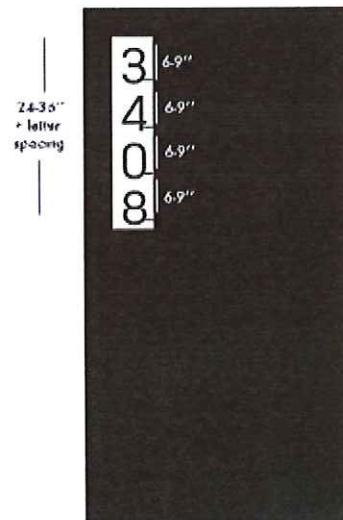


6-9" letter height
Stainless Steel Letters



SIGN TYPE "B"

Vertical Numbering



Residential Multi-Family, Style B
Laser cut corten steel plates at stair or ramp access

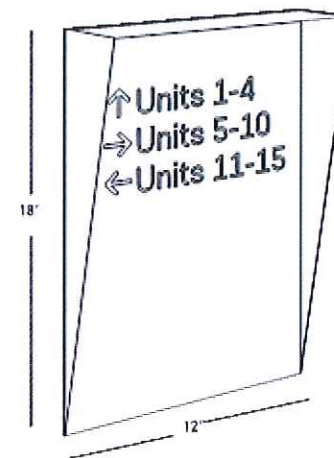
Horizontal Numbering



Exempt

SIGN TYPE "C"

Interior Directional: Black steel with frame, white painted or vinyl lettering



Blackened Steel

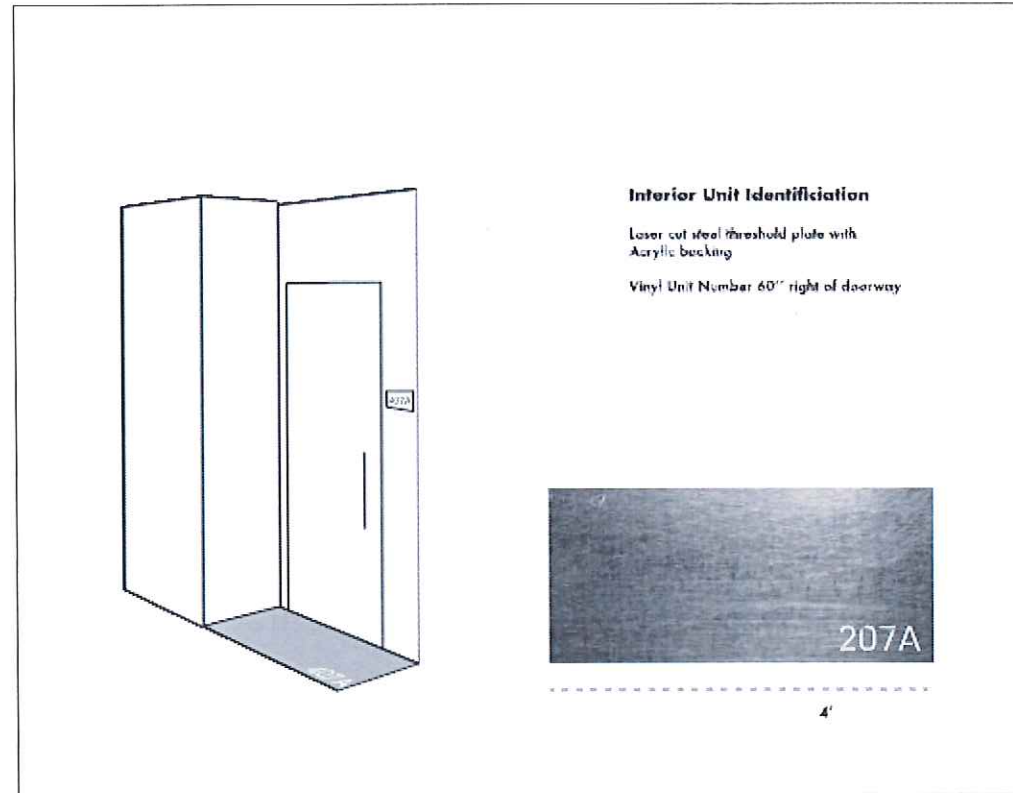


PLAN COMMISSION

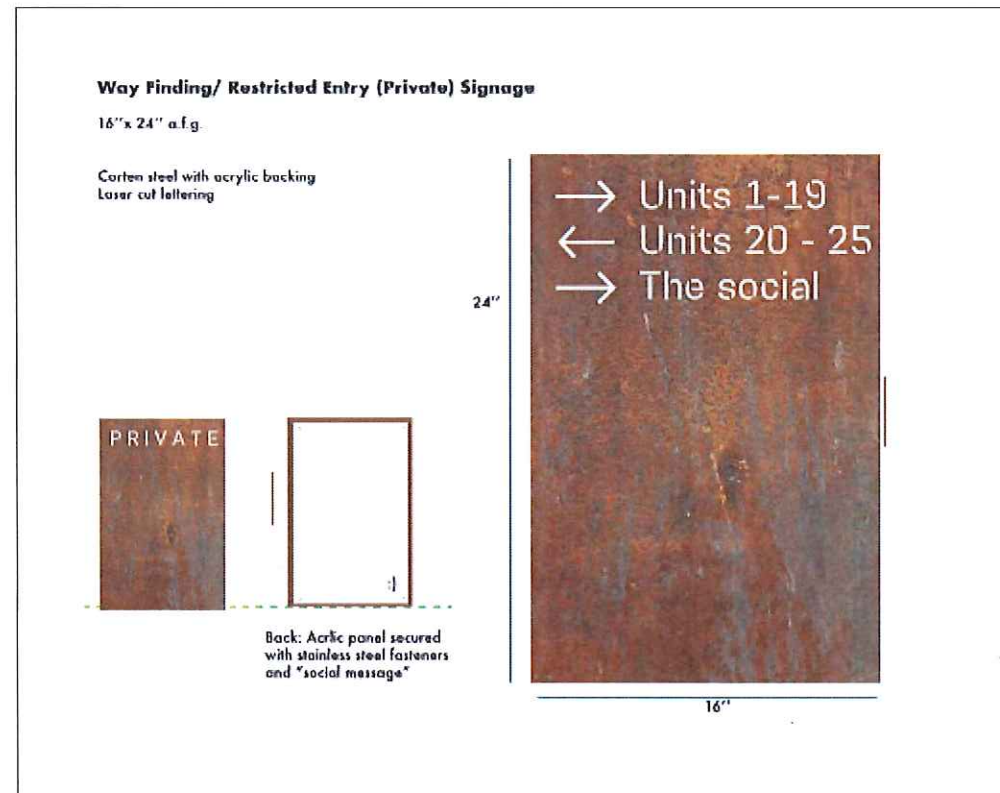
SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIOS@POPULANCE.COM 608.333.1926
	DATE 01.23.18
@EDGE COUNTY HIGHWAY 500 FITCHBURG, WI	S101
SIGNAGE	

SIGN TYPE "D"

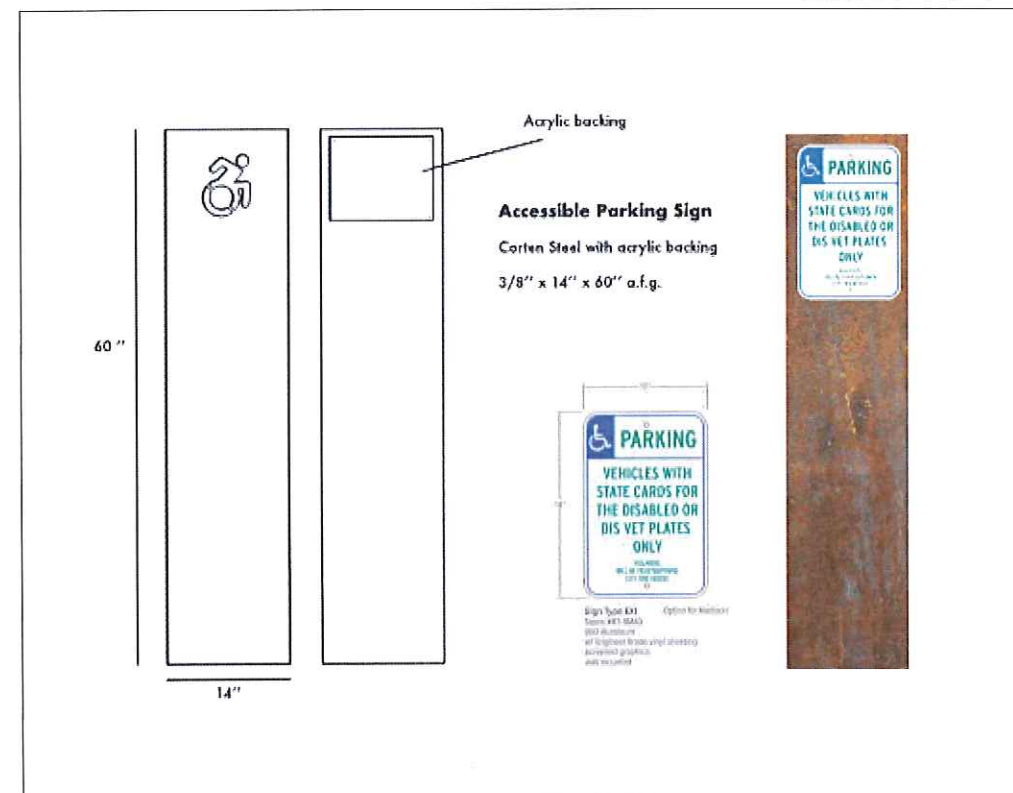


SIGN TYPE "E"



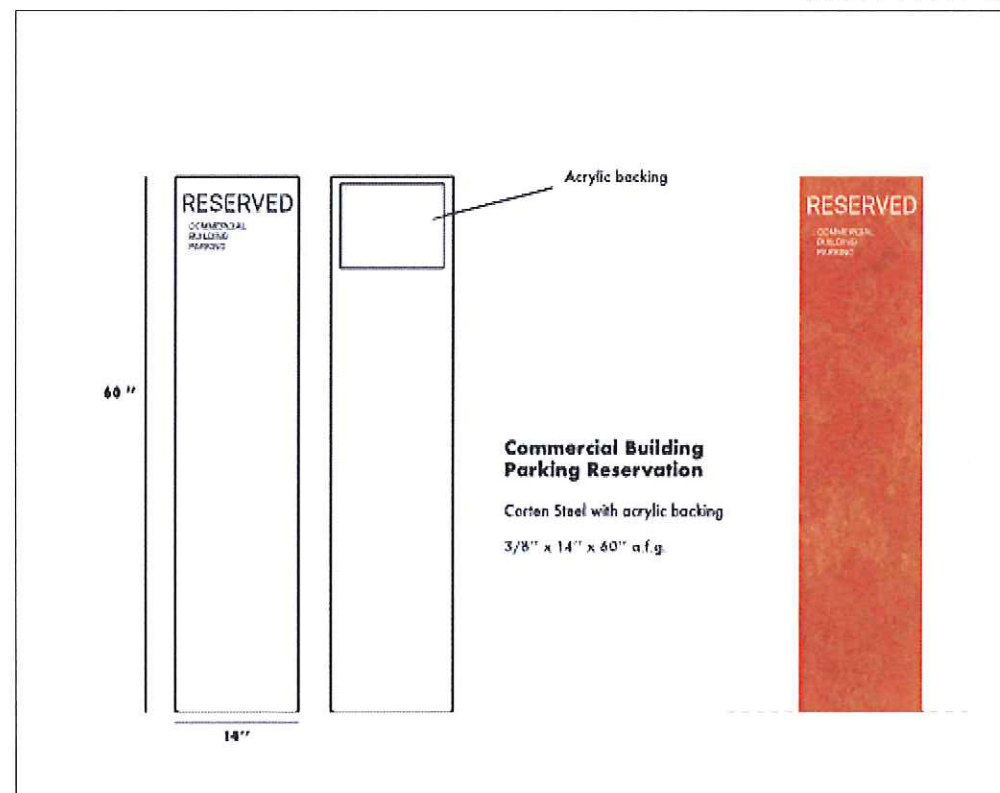
Exempl

SIGN TYPE "F"



Exempl

SIGN TYPE "G"



Exempl



**PLAN COMMISSION
SIP SUBMITTAL**

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926
	DATE 01.23.18
@EDGE COUNTY HIGHWAY MM FITCHBURG, WI	S102
SIGNAGE	

SIGN TYPE "H"



No Smoking Signage

- *laser cut on building entry in corten steel
- *Silver vinyl on entry doors
- *Laser cut on Wayfinding signs



→ units 1-19
← units 20 - 25
→ The social


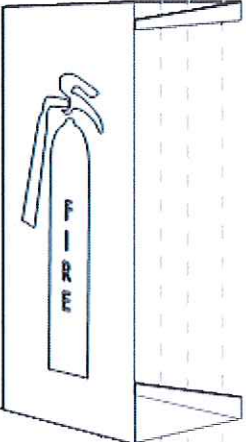


Acrylic Panel Secured with Stainless Steel Fasteners



SIGN TYPE "J"

Fire Extinguisher Box
Painted steel box with open sides
10" x 7" x 20"

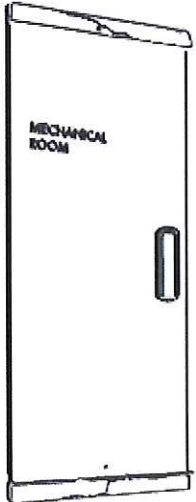
10" x 7" x 20"

SIGN TYPE "K"

Mechanical / Utility Room Signage

White lettering with silver stroke
Vinyl

60" near left hinge



MECHANICAL ROOM

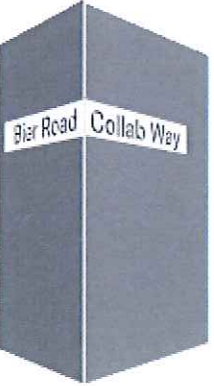
Mechanical Room

Utility Room


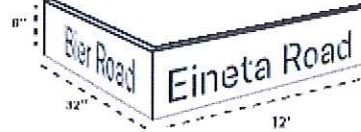
SIGN TYPE "L"

STREET NAMES

- Applied to building facade
- White acrylic with black lettering
- Internal lit photo cell
- 8" x 32" x 48"
- Letters 6" tall



8" o.d.y.


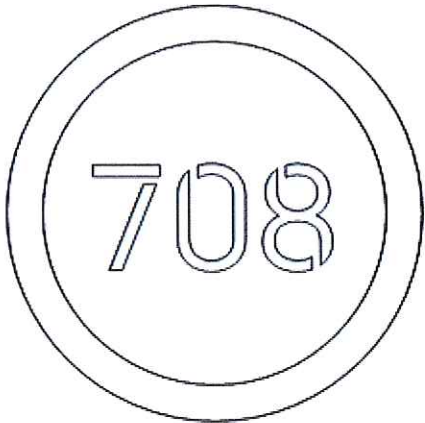

PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1926
	DATE 01.23.18
@EDGE COUNTY HIGHWAY MM RICHBURG, WI	S103
SIGNAGE	

SIGN TYPE "M"


Building address, Style A
Painted rondel with #'s on facade


3'-6" diameter, 4' a.f.g.

SIGN TYPE "N"


Commercial Building Address, STYLE B
Stand-up Stainless Steel letters, Placed on top front edge of entry canopy



Canopy Edge



9-12" letter height
Stainless Steel Letters

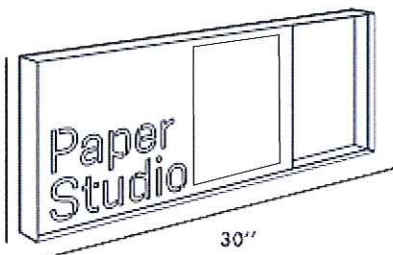
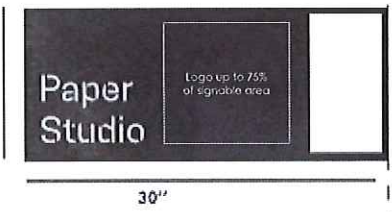


SIGN TYPE "P"

B Units/ Studio Signage
STYLE A

Metal frame
Projecting at right
angle from building
facade. Vinyl, laser cut, or
painted letters and logos

12" x 30"


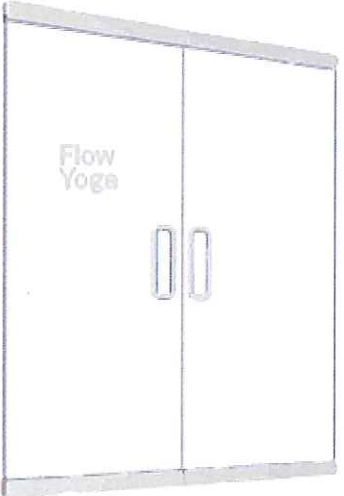



Logo up to 75%
of signable area

SIGN TYPE "Q"

B Units/ Studio Signage
STYLE B

Vinyl letters on entrance door
White/Silver Lettering


TORQUE
FOCUSED REAL ESTATE

PLAN COMMISSION

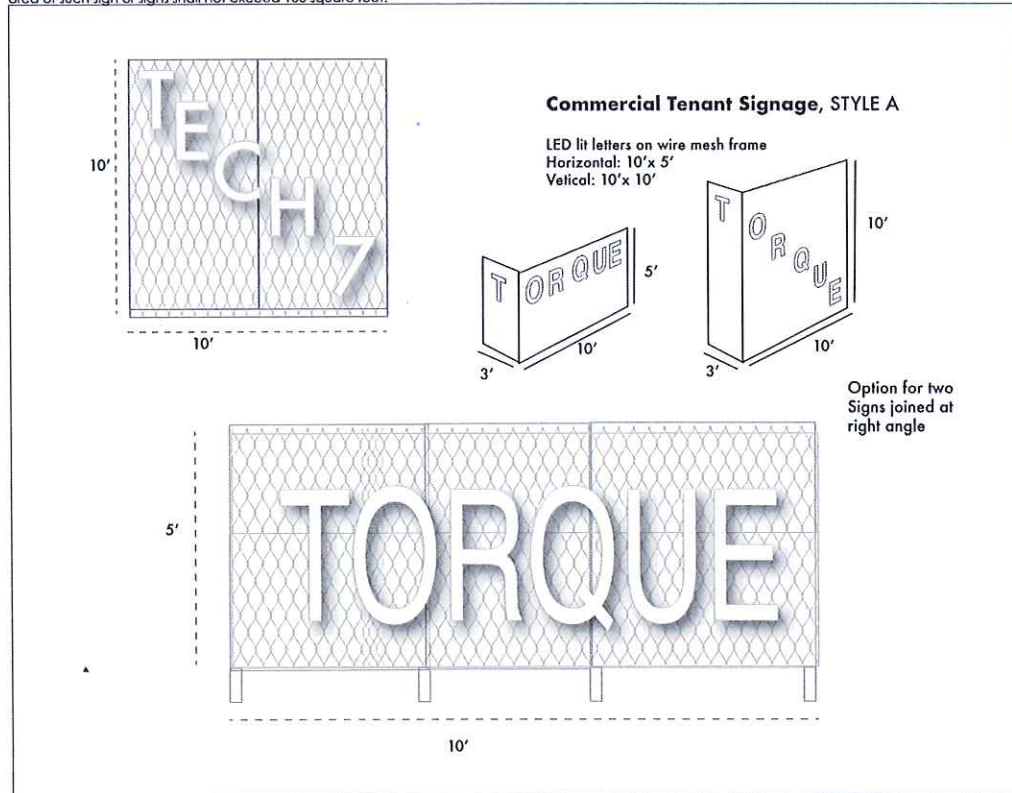
SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.335.1926
	DATE 01.23.18
@EDGE COUNTY HIGHWAY 18A FITCHBURG, WI	S104
SIGNAGE	

Sec. 26-82. - On-site signs.

(a) A flat sign shall be permitted on the face or side of any principal building. The total area of such sign or signs shall not exceed one-tenth of the area of the face or side (including doors and windows) of the principal building, provided that the total area of such sign or signs shall not exceed 150 square feet.

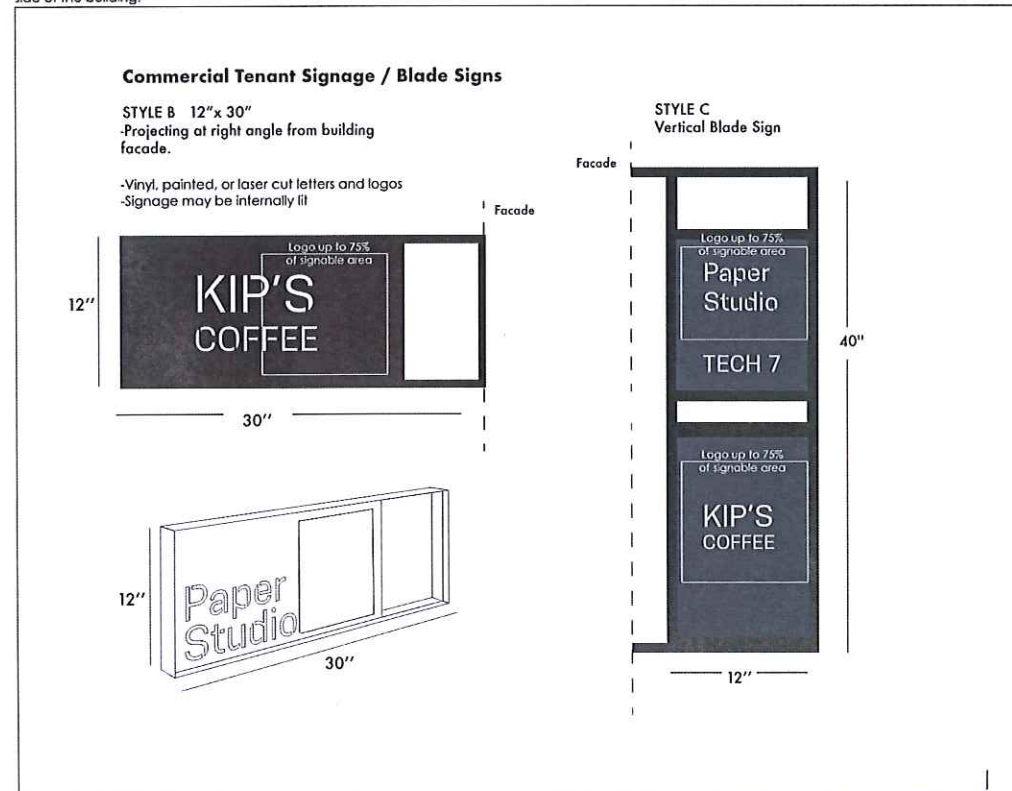
SIGN TYPE "R"



Complies with Sec. 26-82(A) - On-site signs.

26-82(b) A projecting sign which is attached to a building shall not extend into the street right-of-way. The total area (in square feet) of a projecting sign shall not exceed 32 on one side or 64 on both sides. The total area of a projecting sign on the face or side of a principal building in combination with a flat sign shall not exceed one-tenth of the area of the face or side of the building.

SIGN TYPE "T"

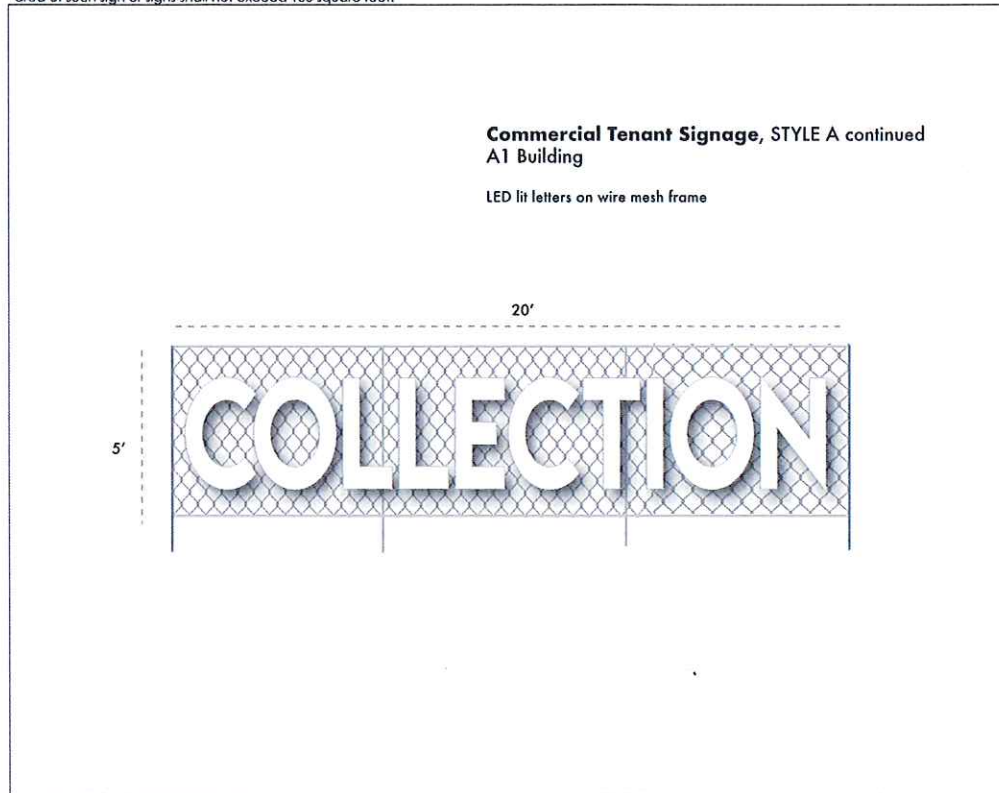


Complies with Sec. 26-82(B) - On-site signs.

Sec. 26-82. - On-site signs.

(a) A flat sign shall be permitted on the face or side of any principal building. The total area of such sign or signs shall not exceed one-tenth of the area of the face or side (including doors and windows) of the principal building, provided that the total area of such sign or signs shall not exceed 150 square feet.

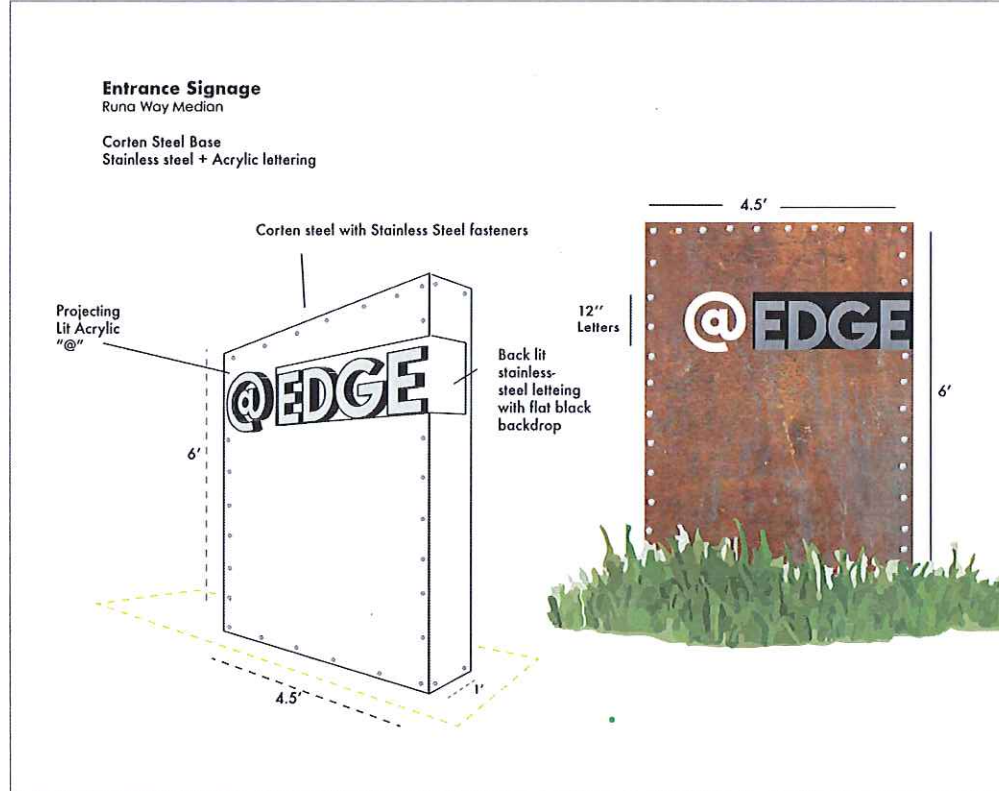
SIGN TYPE "S"



Complies with Sec. 26-82(A) - On-site signs.

Sec. 26-87. - Permanent subdivision signs. Signs identifying the subdivision may be located at main entrances to the subdivision, shall state the name of the subdivision only and shall not exceed 40 square feet.

SIGN TYPE "U"



Complies with Sec. 26-87. - Permanent subdivision signs.



**PLAN COMMISSION
SIP SUBMITTAL**

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.333.1026
	DATE 01.23.18
@EDGE COUNTY HIGHWAY MM RITCHBURG, WI	S105
SIGNAGE	

Font Specs:

KonsensRegular:

Aa Bb Cc Dd Ee
Ff Gg Hh Ii Jj Kk
Ll Mm Nn Oo Pp
Qq Rr Ss Tt Uu
Vv Ww Xx Yy Zz

0 1 2 3 4 5 6 7 8 9

KonsesnStenRegular: Stencil option

Aa Bb Cc Dd Ee
Ff Gg Hh Ii Jj Kk
Ll Mm Nn Oo Pp
Qq Rr Ss Tt Uu
Vv Ww Xx Yy Zz

0 1 2 3 4 5 6 7 8 9



PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.335.1925
	DATE 01.23.18
@EDGE COUNTY HIGHWAY 444 FITCHBURG, WI	S106
SIGNAGE	



@EDGE LIVE/WORK
CITY OF FITCHBURG, WISCONSIN
JANUARY, 2017

SIGNAGE LOCATION MAP



NOTE:
IN ADDITION TO BUILDING SIGNAGE, BUILDINGS WILL RECEIVE APPLIED GRAPHICS ON THE BUILDING FACE THROUGHOUT THE SITE. LOCATIONS ARE SHOWN ON THE REFERENCE PLAN TO THE LEFT.

THE INTENT IS MAKE THE GRAPHICS NON-PERMANENT AND CHANGEABLE DEPENDING ON SEASONS OR SPECIAL EVENTS AND MAY CONSIST OF GRAPHICS AND LETTERS OF UP TO 4 COLORS AND WILL NOT CONTAIN ANY OFFENSIVE GRAPHICS, WORDS, OR ANY LANGUAGE OR GRAPHICS RELATING TO SPEED LIMITS OR OTHER RULES OF THE ROAD

NO ADVERTISEMENTS FOR PRODUCTS, GOODS, OR SERVICES ARE ALLOWED TO BE REPRESENTED, BUT MUNICIPAL AND LOCAL EVENTS (I.E. 4TH OF JULY, CHRISTMAS) CAN BE DISPLAYED SEASONALLY.



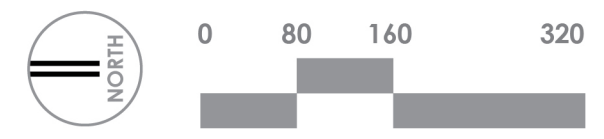
PLAN COMMISSION

SIP SUBMITTAL

TORQUE COMPANIES	WWW.POPULANCE.COM STUDIO@POPULANCE.COM 608.393.1926
	DATE 01.23.18
@EDGE COUNTY HIGHWAY MM FITCHBURG, WI	S107
SIGNAGE LOCATION PLAN	



@EDGE LIVE/WORK
CITY OF FITCHBURG, WISCONSIN
JANUARY, 2017



MASTER PLAN
Exhibit 04.0

Land Use and Vehicular Parking Count Summary Table

Phase	Type	I.D.	Footprint SF	Stories	Residential SF	Internal Parking SF	Total SF	Roof	Parking	Parking Stalls Provided	Parking Stalls Required By Ordinance
Phase 3	Commercial	A1	6,015	2	N/A	N/A - Surface	TBD	TBD	Surface	23	20
Phase 3	Commercial	A2	9,526	2	N/A	N/A - Surface	TBD	TBD	Surface	25	32
Phase 1	Commercial	A3	8,173	2	N/A	N/A - Surface	TBD	TBD	Surface	22	27
Phase 1	Commercial	A4	9,193	2	N/A	N/A - Surface	TBD	TBD	Surface	33	31
Phase 4	Commercial	A5	11,405	2	N/A	N/A - Surface	TBD	TBD	Surface	20	38
		Total	44,312							123	148

Unit Count Summary Table

Phase	Type	I.D.	Footprint SF	Stories	Residential SF	Internal Parking SF	Total SF	Roof	Parking	Parking Stalls Provided	Parking Stalls Required By Ordinance
Phase 3	Live/Work	B1	10,510	2	15,775	5,245	21,020	TBD	Unit Garage	18	18
Phase 3	Live/Work	B2	5,759	2	11,518	N/A - Unit Garage	11,518	TBD	Unit Garage	20	20
Phase 1	Live/Work	B3	8,770	2	11,520	3,840	17,540	TBD	Unit Garage	14	14
Phase 1	Live/Work	B4	9,956	2	15,318	3,840	20,112	TBD	Unit Garage	10	10
Phase 1	Live/Work	B5	9,956	2	15,318	3,840	20,112	TBD	Unit Garage	10	12
Phase 1	Live/Work	B6	7,400	2	10,368	3,456	14,800	TBD	Unit Garage	12	84
		Total	52,351		79,817	20,221	90,302			84	158

Type	I.D.	Total Unit Count
Live/Work	B1	9
Live/Work	B2	10
Live/Work	B3	7
Live/Work	B4	5
Live/Work	B5	5
Live/Work	B6	6
	Total	42

Phase	Type	I.D.	Footprint SF	Stories	Residential SF	Internal Parking SF	Total SF	Roof	Parking	Parking Stalls Provided	Parking Stalls Required By Ordinance
Phase 3	1 Bed Room/Loft	E1	27,313	2	44,650	9,976	54,626	Wedge	Internal	42	88
Phase 2	1 Bed Room/Loft	E2	31,420	2	56,276	6,564	62,840	Flip	Internal	52	100
Phase 2	1 Bed Room/Loft	E3	31,420	2	52,864	9,976	62,840	Wedge	Internal	52	100
Phase 1	1 Bed Room/Loft	E4	30,750	2	40,034	10,733	50,767	Teton	Internal	42	94
		Total	120,903		193,824	37,249	231,073			188	382

Type	I.D.	Total Unit Count
1 Bed Room/Loft	E1	44
1 Bed Room/Loft	E2	50
1 Bed Room/Loft	E3	50
1 Bed Room/Loft	E4	47
	Total	191

Phase	Type	I.D.	Footprint SF	Stories	Residential SF	Below Grade Parking SF	Total SF	Roof	Parking	Parking Stalls Provided	Parking Stalls Required By Ordinance
Phase 1	Combo	G1	10,950	2	21,900	15,200	37,100	Wedge	Below grade	30	48
Phase 1	Combo	G2	14,455	2	28,910	15,200	44,110	Wedge	Below grade	38	64
Phase 1	Combo	G3	18,120	2	36,240	15,200	51,440	Wedge	Below grade	38	64
Phase 2	Combo	G4	22,744	2	45,488	15,200	60,688	Wedge	Below grade	40	64
Phase 2	Combo	G5	21,074	2	42,148	15,200	57,348	Wedge	Below grade	38	64
Phase 2	Combo	G6	14,130	2	28,260	15,200	43,460	Wedge	Below grade	38	64
Phase 4	Combo	G7	14,130	2	28,260	11,452	39,712	TBD	Below grade	38	56
Phase 4	Combo	G8	14,130	2	28,260	11,452	39,712	TBD	Below grade	38	56
Phase 4	Combo	G9	14,130	2	28,260	11,452	39,712	TBD	Below grade	38	56
		Total	143,863		287,726	125,556	413,282			336	536

Type	I.D.	Total Unit Count
Combo	G1	24
Combo	G2	32
Combo	G3	32
Combo	G4	32
Combo	G5	32
Combo	G6	32
Combo	G7	28
Combo	G8	28
Combo	G9	28
	Total	268

	Buildings	Footprint SF	Stories	Residential SF	Interior Parking SF	Total SF	Roof	Parking	Parking Stalls Provided	Parking Stalls Required By Ordinance
Total	22	361,429	2	561,367	183,026	734,657	N/A	N/A	N/A	1,224

	Total	501
	Total Phase I Units	158

Parking Count Summary Table

	Surface	Unit Garage	Internal	Below Grade	Total Stalls
Residential	0	84	188	336	608
Commercial	123	N/A	N/A	N/A	123
On-Street	245	N/A	N/A	N/A	245
Total	368	84	188	336	976

Bike Parking Count Summary Table

Type	I.D.	Footprint SF	Total Bike Stalls Required @ 1 per 2,000 SF	Exterior Bike Stall Proposed
Commercial	A1	6,015	3.0075	8
Commercial	A2	9,526	4.763	42
Commercial	A3	8,173	4.0865	12
Commercial	A4	9,193	4.5965	36
Commercial	A5	11,405	5.7025	>5
	Total	44,312	22.156	>103

Type	I.D.	Total Unit Count	Total Bike Stalls Required (1 per dwelling unit)	Interior Stalls Proposed (90% of Required)	Exterior Bike Stall Proposed (10% of Required)
Live/Work	B1	9	9	8	> 3
Live/Work	B2	10	10	9	> 3
Live/Work	B3	7	7	6	6
Live/Work	B4	5	5	5	6
Live/Work	B5	5	5	5	6
Live/Work	B6	6	6	5	6
	Total	42	42	38	24

Type	I.D.	Total Unit Count	Total Bike Stalls Required (1 per dwelling unit)	Interior Stalls Proposed (90% of Required)	Exterior Bike Stall Proposed (10% of Required)
1 Bed Room/Loft	E1	44	44	40	22
1 Bed Room/Loft	E2	50	50	45	>5
1 Bed Room/Loft	E3	50	50	45	>5
1 Bed Room/Loft	E4	47	47	42	>5
	Total	191	191	172	22

Type	I.D.	Total Unit Count	Total Bike Stalls Required (1 per dwelling unit)	Interior Stalls Proposed (90% of Required)	Exterior Bike Stall Proposed (10% of Required)
Combo	G1	24	24	22	44
Combo	G2	32	32	29	30
Combo	G3	32	32	29	30
Combo	G4	32	32	29	30
Combo	G5	32	32	29	30
Combo	G6	32	32	29	30
Combo	G7	28	28	25	10
Combo	G8	28	28	25	10
Combo	G9	28	28	25	12
	Total	244	244	220	226



- INITIAL PHASE - UTILITIES + ROADWAYS (APRIL 2018 - AUGUST 2018)
- 1 PHASE 1 (AUGUST 2018 - AUGUST 2019)
- 2 PHASE 2 (JULY 2018 - JULY 2019)
- 3 PHASE 3 (JULY 2019 - JULY 2020)
- 4 PHASE 4 (JULY 2020 - JULY 2021)

