



City of Fitchburg
 Planning/Zoning Department
 5520 Lacy Road
 Fitchburg, WI 53711
 (608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: CRAIG RADDATZ c/o FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

Address: 789 N. WATER ST. - SUITE 200 **Phone Number of Contact Person:** 414-266-4535

City, State, Zip Code: MILWAUKEE, WI 53202 **Email of Contact Person:** craddatz@fred-inc.com

Project Address SMOKY TRAIL & BOB'S DRIVE AT NOBEL DRIVE **Lot:** 1, 15, 16 **Subdivision:** FAHEY FIELDS

Project Type: Multi-Family Commercial Industrial Other
 New Addition

LOT 1 = 54.1% ; LOT 15 = 64.0% ; LOT 16 = 59.6%

Impervious Surface Ratio (ISR): _____ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- 1. Lot or property dimensions.
- 2. Orientation (to north).
- 3. Adjacent highways, roads, drive, etc.
- 4. Existing natural features (rivers, ponds, wetlands).
- 5. Existing buildings and/or improvements.
- 6. Existing and proposed site drainage.
- 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- 8. ISR shall be indicated on all plans.
- 9. Stormwater management plans and details, including grading plan.
- 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- 1. Building size, configuration and orientation.
- 2. Distance from lot lines.
- 3. Distance from other buildings, improvements and natural features.
- 4. Location of well, septic tank, drainfield, etc. (if applicable)
- 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- 6. Construction type (wood frame, structural steel, etc.).
- 7. Foundation type (full basement, slab on grade, etc.).
- 8. Number of levels.
- 9. Siding/exterior covering type, color, texture, etc.
- 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- 11. Roofing material type, color, texture, etc.
- 12. Exterior door and window location, size, type, etc.
- 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- 1. Location of highway and road access points.
- 2. Location, size, configuration of drivers and walks.
- 3. Number, size, location of parking spaces.
- 4. Location of handicapped parking and accessible building entrances.
- 5. Bicycle rack(s).

Landscaping:

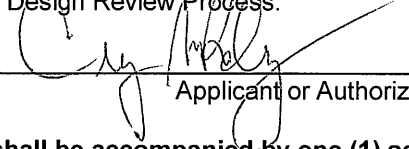
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1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 11/16/17
 Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:

1 GLENN PLACE: STACKED FLATS

BUILDINGS C1, C2, C3, D1, & D2

FITCHBURG, WISCONSIN



ARCHITECTURAL DESIGN REVIEW

NOVEMBER 20, 2017



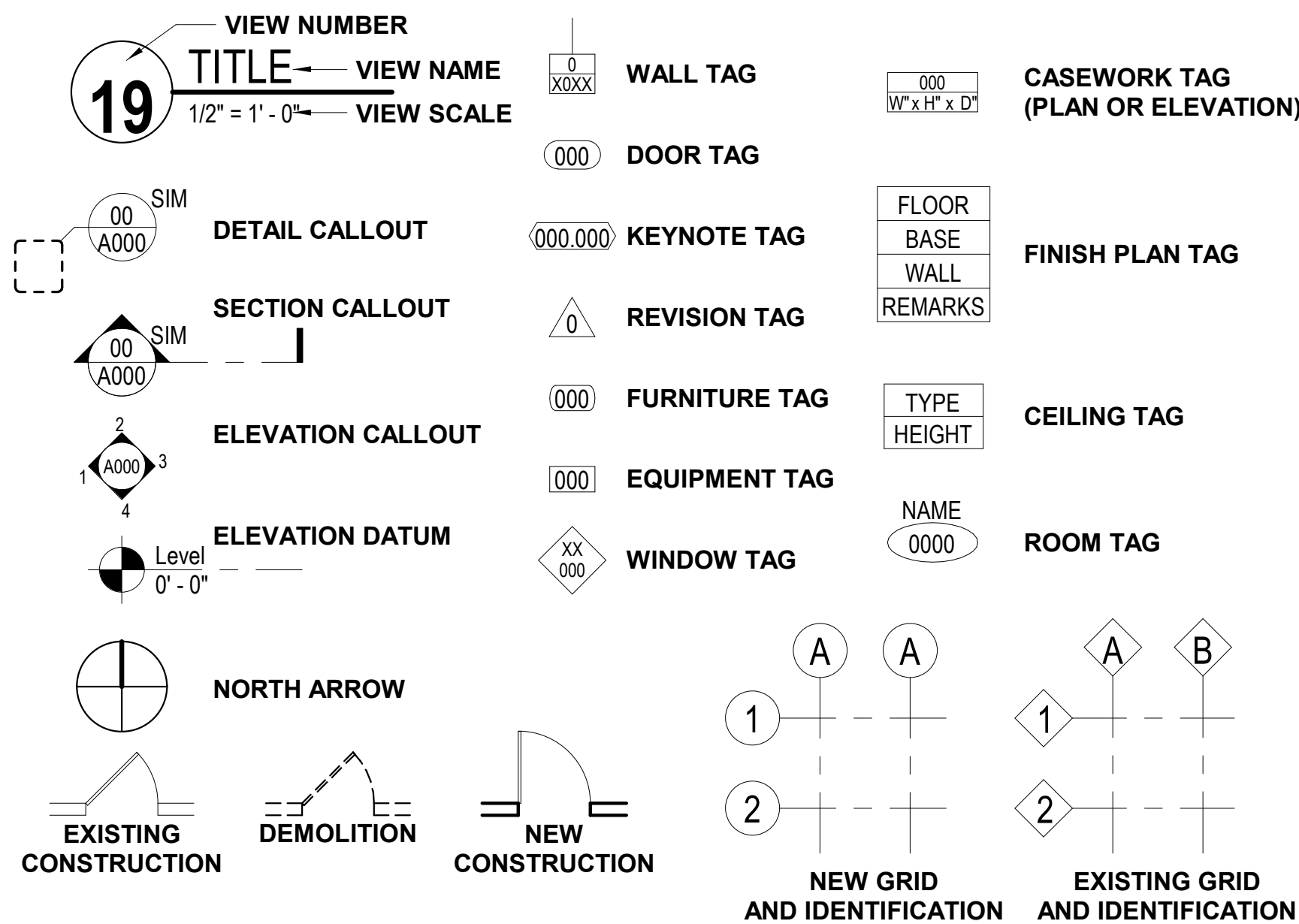
JLA
ARCHITECTS

JLA PROJECT NUMBER: 17-0302

ABBREVIATIONS

A air condition	D demolition	G gage	N north	T time & materials
AE Architect/Engineer	DEPT department	GALV galvanized	NA not applicable	TEMP temperature
ACT acoustical ceiling tile	DF drinking fountain	GB grab bar	NIC not in contract	TER terrazzo
ADOL additional	DFS Door and Frame Schedule	GC general contractor	NO number	TERB terrazzo base
ADUM adendum	DH double hung	GL glass	NOM nominal	TFE top of finish floor
AFC above finished counter	DI diameter	GLT glass tile	NS no scale	TK BD tackboard
AF above finished floor	DR door	GLU LAM glued laminated wood	NTS not to scale	TO top of
AFS above finished slab	DR FR door frame	GR granite		TOB top of beam
ALT alternate	DTL detail	GRAN granite		TOC top of concrete
ALUM aluminum	DTL detail	GT gyp tile		TOU top of joist
APFD approved	DWG drawing	GYP BD gyp board		TOPO topography
APT apartment				TOS top of slab
AS above suspended ceiling				TCS top of steel
				TV television
				TYP typical
B baseboard	E east	H hose bibb	O on center	U unless noted otherwise
BB bulletin board	EIRS exterior insulation	HC hollow core	OD outside diameter	UON unless otherwise note
BLDG building	EL elevation	HCP handicapped	OF/CI owner furnished, contractor installed	
BL blinds (window)	ELEC electric, electrical	HM hollow metal	OF/VI owner furnished, vendor installed	
BLT borrowed light	ELEV elevator	HORIZ horizontal	OH DR overhead (ceiling) door	
BLW below	EP epoxy base	HRSKPS houseskeeping	OPNG opening	
BPK base plate	EPS expanded polystyrene board	HT height		
BO bottom of	EQ equal	HVAC heating, ventilating & air conditioning		
BOS bottom of steel	EXIST existing	HW hot water		
	EXT exterior	HWF hardwood floor		
		HWY highway		
C catch basin	F female	I inside diameter	Q quarry tile	W west
CB construction bulletin	F filler	INSUL insulation	QT quarry tile base	W/O without
CF/CI contractor furnished, contractor installed	FA fire alarm	INT interior	R resilient base	WC water closet
CF/VI contractor furnished, vendor installed	FAB fabric		REF reflected ceiling plan	WD wood
CF/VI contractor furnished, vendor installed	FAX facsimile		RF reinforcing steel bars	WDB wood base
CG corner guard	FC fire cabinet		RFS room finish schedule	WDV wood veneer
CH BD cast-in-place	FED fire extinguisher cabinet		RO rough opening	WH water heater
CIP cast-in-place	FHC fire hose cabinet			WP workpoint
CJ control joint	FG foot grille			
CJ construction joint	FLR floor			
CL centerline	FM factory mutual			
CLG ceiling	FLR MAT floor mat			
CLS clear	FP fire protection			
CM construction management	FRP fireproof			
CO cleanout	FRP fire proof			
COL column	FRP fire proof			
CONC concrete	FRP fire proof			
CORR corridor	FRP fire proof			
CONT continuous	FRP fire proof			
CPT carpet	FRP fire proof			
CSWK casework	FRP fire proof			
CT ceramic tile	FRP fire proof			
CTB ceramic tile base	FRP fire proof			

SYMBOL LEGEND



VICINITY MAP



SITE LOCATION

PROJECT ADDRESS

1 GLENN PLACE: STACKED FLATS
Bldg C1, Lot 16 (Bob's Drive & Nobel Drive);
Bldg C2, Lot 16 (Smoky Trail & Nobel Drive);
Bldg C3, Lot 15 (Smoky Trail);
Bldg D1, Lot 15 (Bob's Drive);
Bldg D2, Lot 1 (Smoky Trail & Nobel Drive)

FITCHBURG, WISCONSIN

OWNER INFORMATION

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 NORTH WATER - SUITE 200
MILWAUKEE, WISCONSIN 53202
CONTACT: MR. PETER TODD
EMAIL: PTODD@FRED-INC.COM
P 414.274.8230

PROJECT TEAM

GENERAL CONTRACTOR

TO BE DETERMINED
XXX STREET NAME
CITY, STATE, ZIP CODE
CONTACT: MR. XX XX
EMAIL ADDRESS
PHONE AND FAX

ARCHITECTURAL
JLA ARCHITECTS & PLANNERS
2418 CROSSROADS DRIVE - SUITE 2300
MADISON, WISCONSIN 53718
CONTACT: ED CORMIER
ECORMIER@JLA-AP.COM
OFFICE: 608.241.9500 DIRECT: 608.442.3862

CIVIL ENGINEERING

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 WESTWARD WAY
MADISON, WISCONSIN
CONTACT: MR. BRUCE HOLLAR
BHOLLAR@DONOFRIO.CC
608.833.7530

STRUCTURAL ENGINEERING

SPIRE ENGINEERING, INC.
600 W. VIRGINIA STREET - SUITE 102
MILWAUKEE, WISCONSIN 53204
CONTACT: MR. AL RENTMEESTER
ATR@SPIREENGINEER.COM
414.278.9200

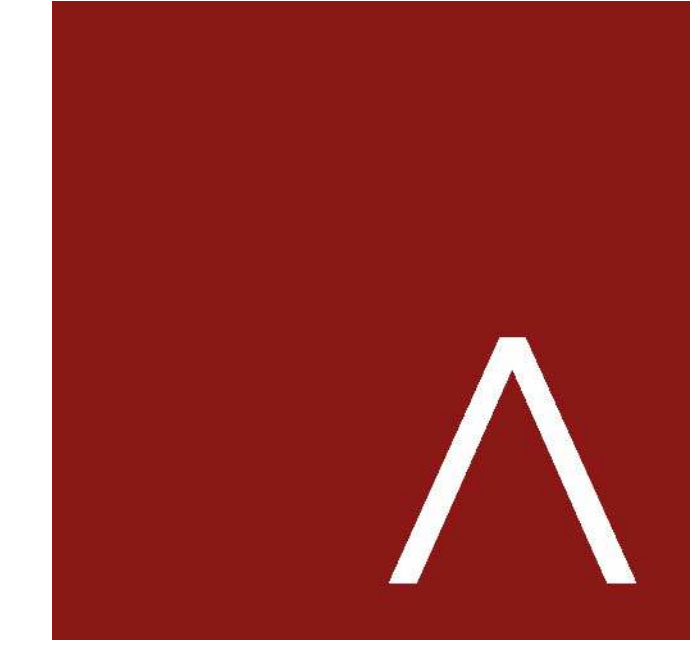
SET ISSUE

ARCHITECTURAL DESIGN REVIEW

NOVEMBER 20, 2017

SHEET INDEX

SHEET DISCIPLINE AND NUMBER	
GENERAL	
G000	COVER-ADR
G001	INDEX SHEET-ADR
ARCHITECTURAL SITE	
ASP-100	ARCHITECTURAL SITE PLAN-OVERALL
CIVIL	
C200	GRADING AND EROSION CONTROL
C300	SITE UTILITY PLAN
C400	DETAILS
CIVIL - LANDSCAPE	
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS
CIVIL - SITE LIGHTING	
1 of 1	SITE LIGHTING
ARCHITECTURAL - BUILDING C (C1, C2, C3)	
ASP-101-C	ARCHITECTURAL SITE PLAN-BUILDING C - ENLARGED
A101-C	FIRST FLOOR PLAN - BUILDING C
A102-C	SECOND FLOOR PLAN - BUILDING C
A109-C	ROOF PLAN - BUILDING C
A200-C	EXTERIOR ELEVATIONS - BUILDING C
A201-C	EXTERIOR ELEVATIONS - BUILDING C
ARCHITECTURAL - BUILDING D1	
ASP-101-D1	ARCHITECTURAL SITE PLAN-BUILDING D1 - ENLARGED
A101-D1	FIRST FLOOR PLAN - BUILDING D1
A102-D1	SECOND FLOOR PLAN - BUILDING D1
A109-D1	ROOF PLAN - BUILDING D1
A200-D1	EXTERIOR ELEVATIONS - BUILDING D1
A201-D1	EXTERIOR ELEVATIONS - BUILDING D1
ARCHITECTURAL - BUILDING D2	
ASP-101-D2	ARCHITECTURAL SITE PLAN-BUILDING D2 - ENLARGED
A101-D2	FIRST FLOOR PLAN - BUILDING D2
A102-D2	SECOND FLOOR PLAN - BUILDING D2
A109-D2	ROOF PLAN - BUILDING D2
A200-D2	EXTERIOR ELEVATIONS - BUILDING D2
A201-D2	EXTERIOR ELEVATIONS - BUILDING D2
ARCHITECTURAL - EXTERIOR IMAGES	
A210	EXTERIOR IMAGE
A211	EXTERIOR IMAGE



JLA
ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0302



1 GLENN PLACE: STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE

MARK	DESCRIPTION	DATE
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SHEET TITLE

INDEX SHEET-ADR

SHEET NUMBER

G001



1 GLENN PLACE - STACKED FLATS - LOT 1			
ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS	
SITE DENSITY	12.25 Units/Acre	8 Units /	0.65 AC. = 12.25
BUILDING COVERAGE	26.6% of Parcel	7,580 S.F. /	28,456 S.F. = 26.6%
LANDSCAPE AREA	45.9% of Parcel	13,058 S.F. /	28,456 S.F. = 45.9%
IMPERVIOUS SURFACE	54.1% of Parcel	15,398 S.F. /	28,456 S.F. = 54.1%
FLOOR AREA RATIO	43.7% of Parcel	12,429 S.F. /	28,456 S.F. = 43.7%

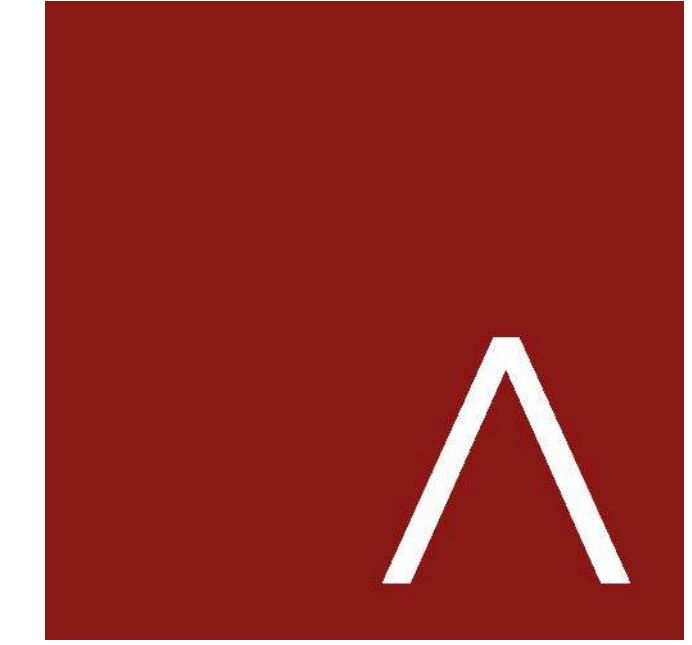
1 GLENN PLACE - STACKED FLATS - LOT 15			
ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS	
SITE DENSITY	7.47 Units/Acre	8 Units /	1.07 AC. = 7.47
BUILDING COVERAGE	31.4% of Parcel	14,636 S.F. /	46,655 S.F. = 31.4%
LANDSCAPE AREA	36.0% of Parcel	16,792 S.F. /	46,655 S.F. = 36.0%
IMPERVIOUS SURFACE	64.0% of Parcel	29,863 S.F. /	46,655 S.F. = 64.0%
FLOOR AREA RATIO	52.2% of Parcel	24,334 S.F. /	46,655 S.F. = 52.2%

1 GLENN PLACE - STACKED FLATS - LOT 16			
ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS	
SITE DENSITY	6.66 Units/Acre	8 Units /	1.20 AC. = 6.66
BUILDING COVERAGE	27.0% of Parcel	14,112 S.F. /	52,324 S.F. = 27.0%
LANDSCAPE AREA	40.4% of Parcel	21,138 S.F. /	52,324 S.F. = 40.4%
IMPERVIOUS SURFACE	59.6% of Parcel	31,186 S.F. /	52,324 S.F. = 59.6%
FLOOR AREA RATIO	45.5% of Parcel	23,810 S.F. /	52,324 S.F. = 45.5%

1 GLENN PLACE - STACKED FLATS - MASTERPLAN DATA										11/7/2017	
NAME	LOT	USE	FOOTPRINT	FLOOR AREA	UNITS	PARKING				RATIO	
						COVERED	SURFACE	TOTAL			
C1	16	Multi-Family Residential	7,056 S.F.	11,905 S.F.	8	10	12	22	2.75	PER UNIT	
C2	16	Multi-Family Residential	7,056 S.F.	11,905 S.F.	8	10	10	20	2.50	PER UNIT	
C3	15	Multi-Family Residential	7,056 S.F.	11,905 S.F.	8	10	10	20	2.50	PER UNIT	
D1	15	Multi-Family Residential	7,580 S.F.	12,429 S.F.	8	12	12	24	3.00	PER UNIT	
D2	1	Multi-Family Residential	7,580 S.F.	12,429 S.F.	8	12	2	14	1.75	PER UNIT	
TOTALS			36,328 S.F.	60,573 S.F.	40	30	46	76	1.90	PER UNIT	

BICYCLE PARKING

SECURE BICYCLE PARKING IS PROVIDED WITHIN EACH PRIVATE GARAGE.



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MADISON : MILWAUKEE
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1 GLENN PLACE:
STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

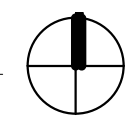
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DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
ARCHITECTURAL SITE
PLAN - OVERALL

SHEET NUMBER
ASP-100





JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0301
DKA PROJECT NUMBER: 17-03-103



7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

1 GLENN PLACE: STACKED FLATS

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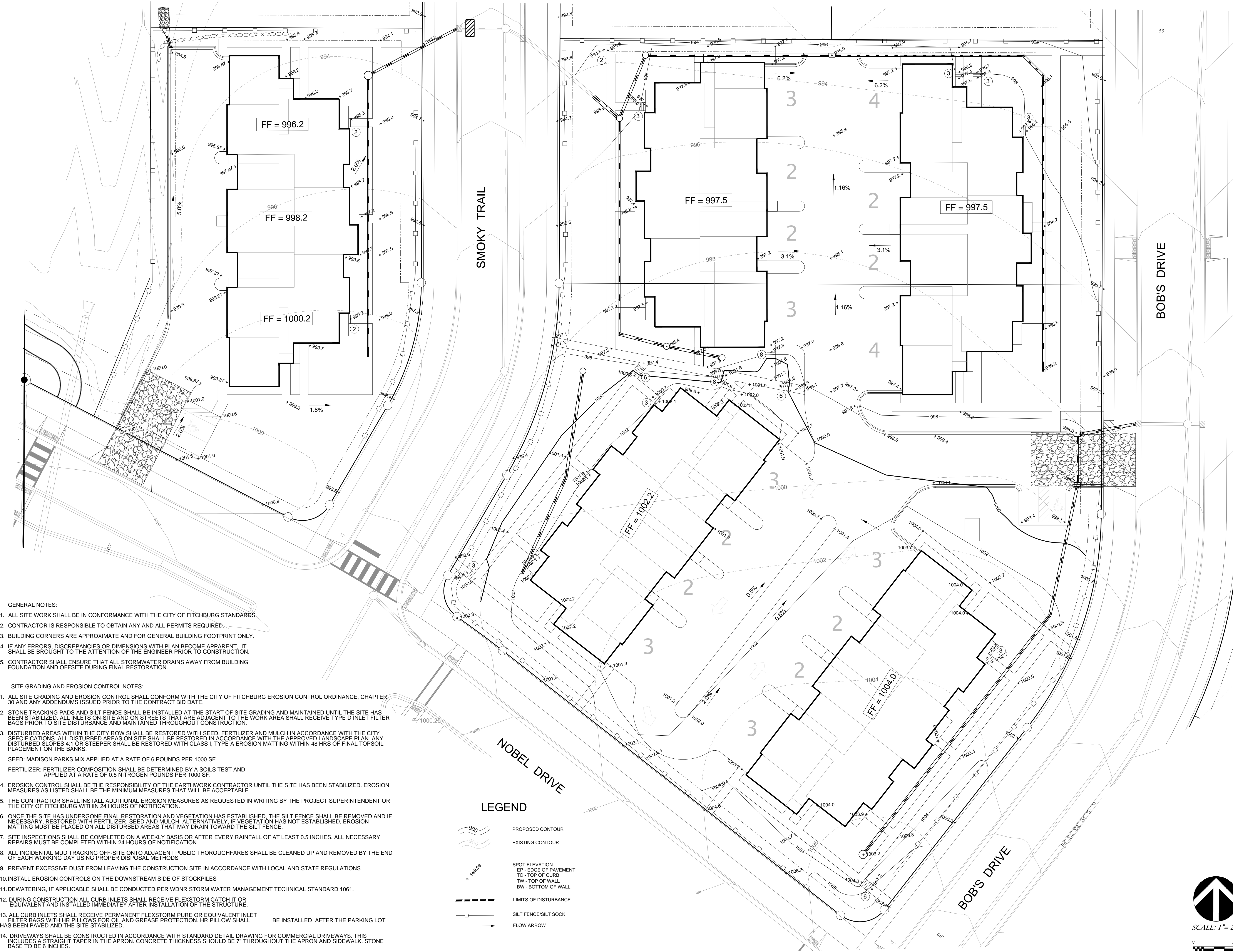
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SHEET TITLE

GRADING & EROSION CONTROL PLAN

SHEET NUMBER

C200

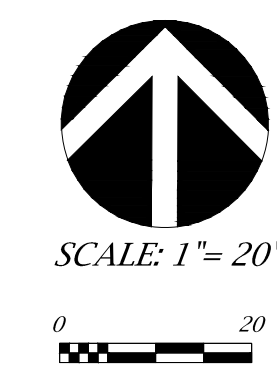


- GENERAL NOTES:**
- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF FITCHBURG STANDARDS.
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
 - IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION AND OFFSITE DURING FINAL RESTORATION.

- SITE GRADING AND EROSION CONTROL NOTES:**
- ALL SITE GRADING AND EROSION CONTROL SHALL CONFORM WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE, CHAPTER 30 AND ANY ADDENDUMS ISSUED PRIOR TO THE CONTRACT BID DATE.
 - STONE TRACKING PADS AND SILT FENCE SHALL BE INSTALLED AT THE START OF SITE GRADING AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED. ALL INLETS ON-SITE AND ON STREETS THAT ARE ADJACENT TO THE WORK AREA SHALL RECEIVE TYPE D INLET FILTER BAGS PRIOR TO SITE DISTURBANCE AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - DISTURBED AREAS WITHIN THE CITY ROW SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE CITY SPECIFICATIONS. ALL DISTURBED AREAS ON SITE SHALL BE RESTORED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ANY DISTURBED SLOPES 4:1 OR STEEPER SHALL BE RESTORED WITH CLASS I, TYPE A EROSION MATTING WITHIN 48 HRS OF FINAL TOPSOIL PLACEMENT ON THE BANKS.
SEED: MADISON PARKS MIX APPLIED AT A RATE OF 6 POUNDS PER 1000 SF
FERTILIZER: FERTILIZER COMPOSITION SHALL BE DETERMINED BY A SOILS TEST AND APPLIED AT A RATE OF 0.5 NITROGEN POUNDS PER 1000 SF.
 - EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED. EROSION MEASURES AS LISTED SHALL BE THE MINIMUM MEASURES THAT WILL BE ACCEPTABLE.
 - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION MEASURES AS REQUESTED IN WRITING BY THE PROJECT SUPERINTENDENT OR THE CITY OF FITCHBURG WITHIN 24 HOURS OF NOTIFICATION.
 - ONCE THE SITE HAS UNDERGONE FINAL RESTORATION AND VEGETATION HAS ESTABLISHED, THE SILT FENCE SHALL BE REMOVED AND IF NECESSARY, RESTORED WITH FERTILIZER, SEED AND MULCH. ALTERNATIVELY, IF VEGETATION HAS NOT ESTABLISHED, EROSION MATTING MUST BE PLACED ON ALL DISTURBED AREAS THAT MAY DRAIN TOWARD THE SILT FENCE.
 - SITE INSPECTIONS SHALL BE COMPLETED ON A WEEKLY BASIS OR AFTER EVERY RAINFALL OF AT LEAST 0.5 INCHES. ALL NECESSARY REPAIRS MUST BE COMPLETED WITHIN 24 HOURS OF NOTIFICATION.
 - ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
 - PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES
 - DEWATERING, IF APPLICABLE SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.
 - DURING CONSTRUCTION ALL CURB INLETS SHALL RECEIVE FLEXSTORM CATCH IT OR EQUIVALENT AND INSTALLED IMMEDIATELY AFTER INSTALLATION OF THE STRUCTURE.
 - ALL CURB INLETS SHALL RECEIVE PERMANENT FLEXSTORM PURE OR EQUIVALENT INLET FILTER BAGS WITH HR PILLOWS FOR OIL AND GREASE PROTECTION. HR PILLOW SHALL BE INSTALLED AFTER THE PARKING LOT HAS BEEN PAVED AND THE SITE STABILIZED.
 - DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING FOR COMMERCIAL DRIVEWAYS. THIS INCLUDES A STRAIGHT TAPER IN THE APRON. CONCRETE THICKNESS SHOULD BE 7" THROUGHOUT THE APRON AND SIDEWALK. STONE BASE TO BE 6 INCHES.

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- TC - TOP OF CURB
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- LIMITS OF DISTURBANCE
- SILT FENCE/SILT SOCK
- FLOW ARROW





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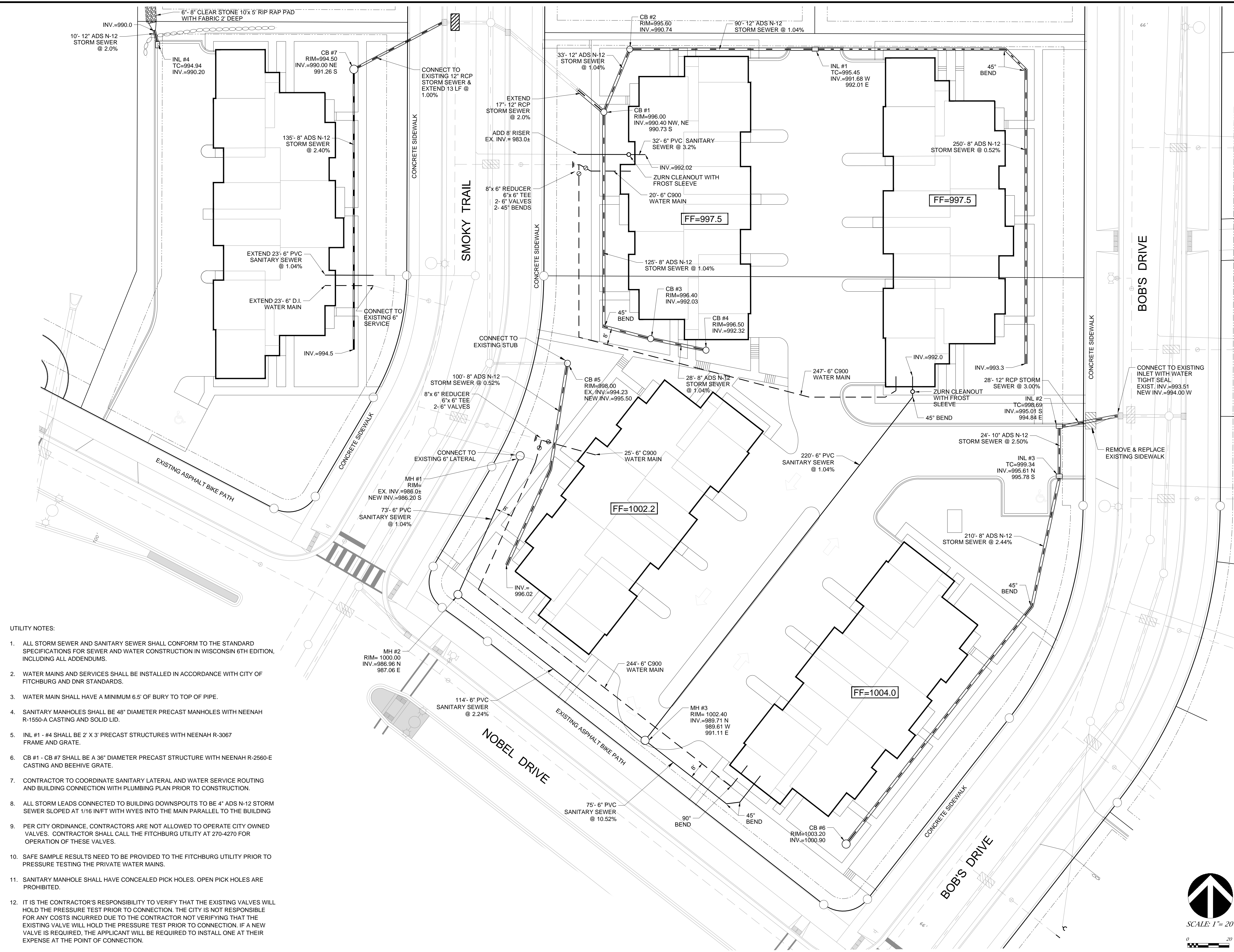
REVISION SCHEDULE		
Mark	Description	Date

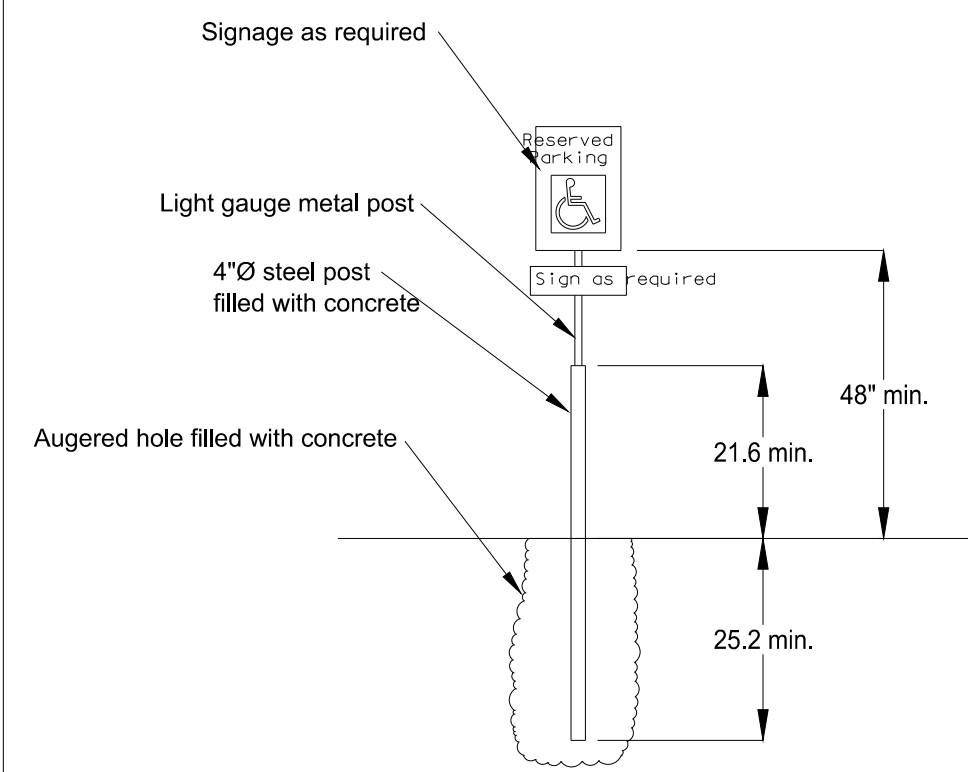
SHEET TITLE

SITE UTILITY PLAN

SHEET NUMBER

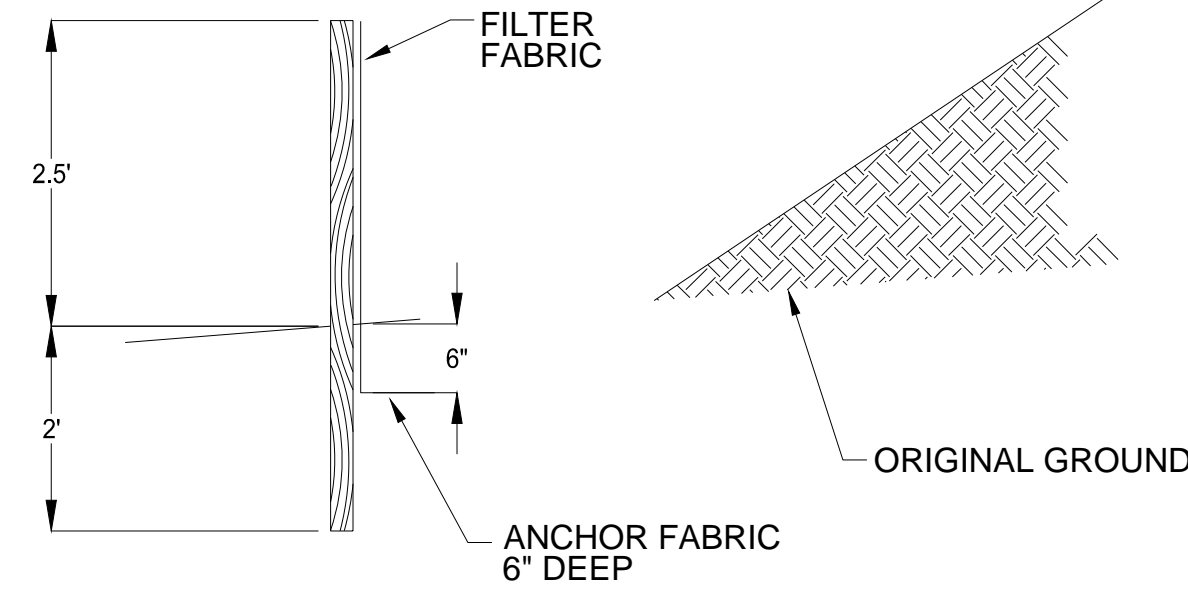
C300





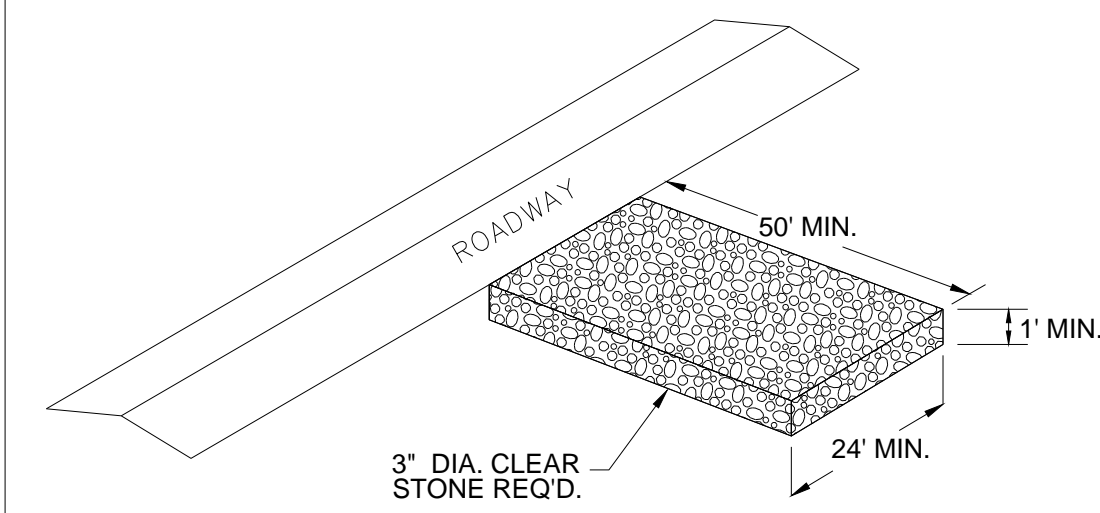
ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE



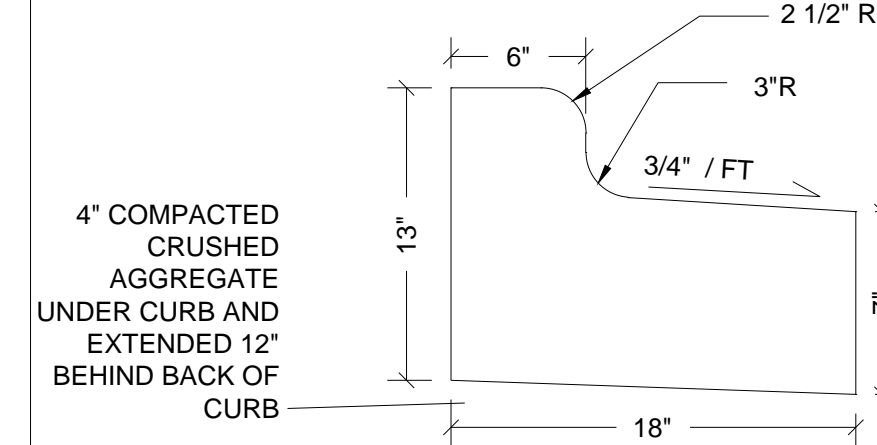
SILT FENCE DETAIL

NOT TO SCALE



STONE TRACKING PAD DETAIL

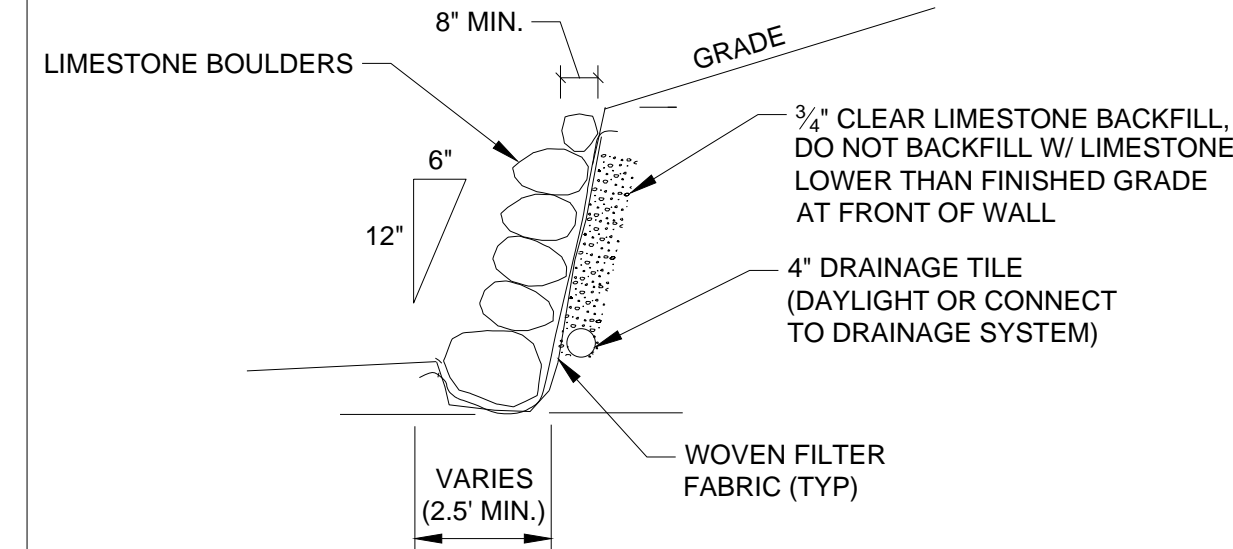
NOT TO SCALE



18\"/>

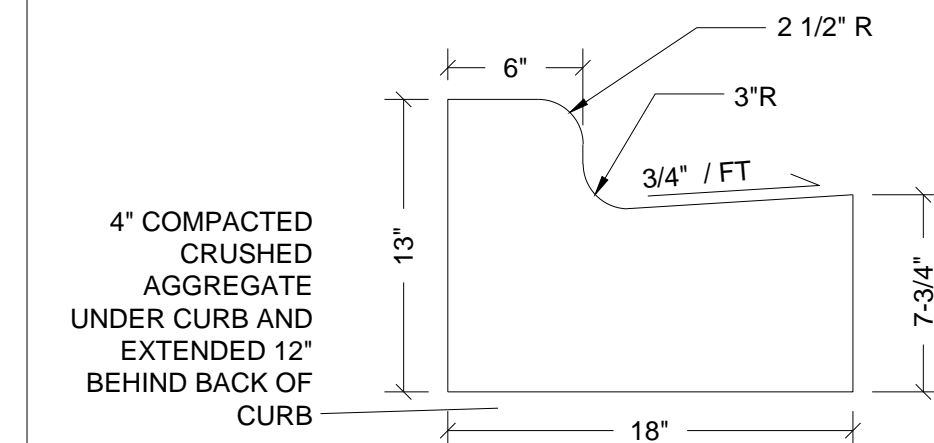
NOT TO SCALE

NOTES:
 1.) NOTE FILTER FABRIC TO BE PLACED BEHIND THE WALL UNLESS OTHERWISE SPECIFIED
 2.) MAXIMUM HEIGHT OF SINGLE COURSE OF WALL TO BE 7 FEET. IF RETAINING WALLS GREATER THAN 7' HIGH ARE NEEDED, MULTIPLE COURSES OF WALL WILL BE USED WITH A 6' WIDE BENCH BETWEEN COURSES.



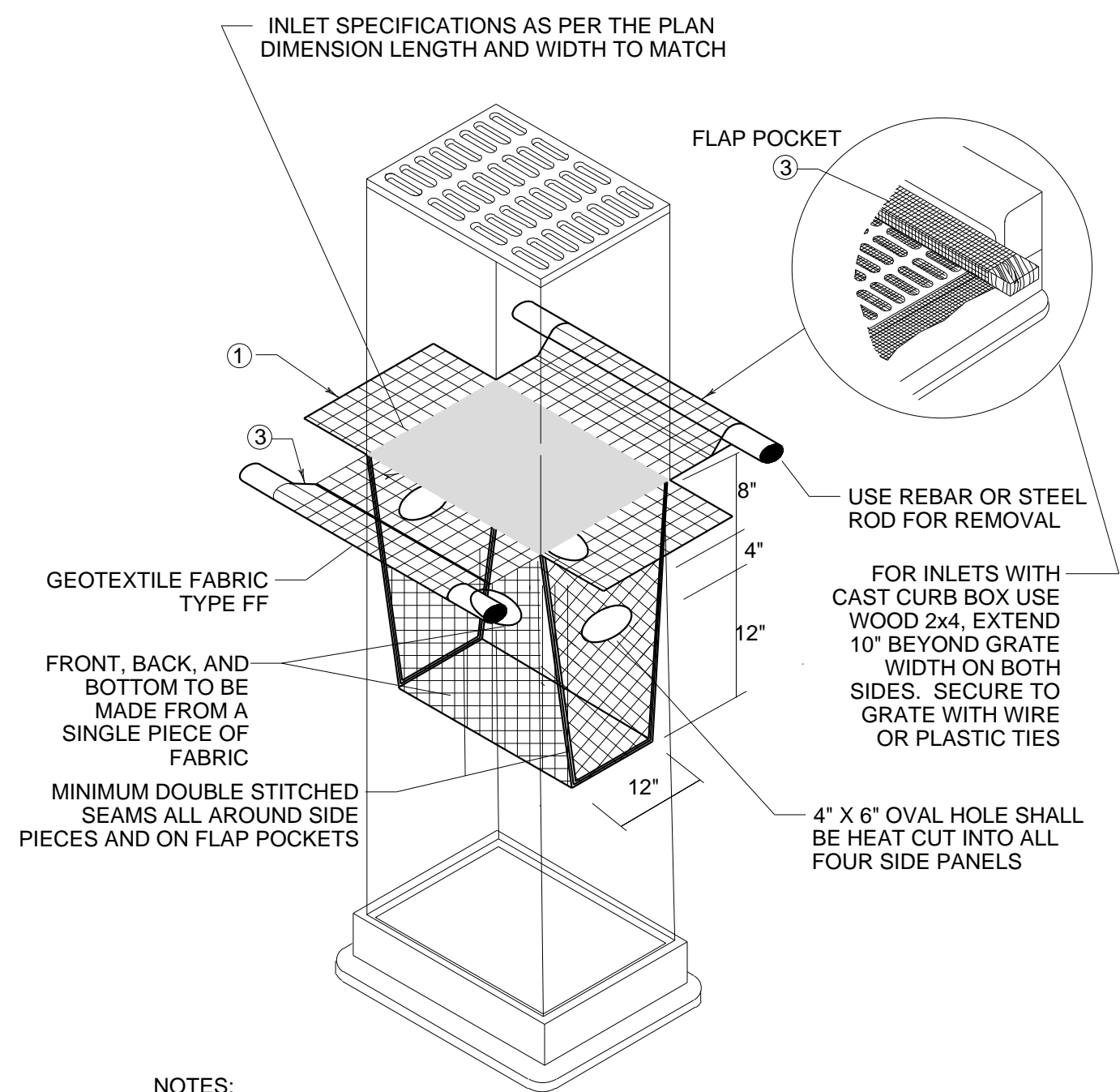
RETAINING WALL DETAIL

NOT TO SCALE



18\"/>

NOT TO SCALE

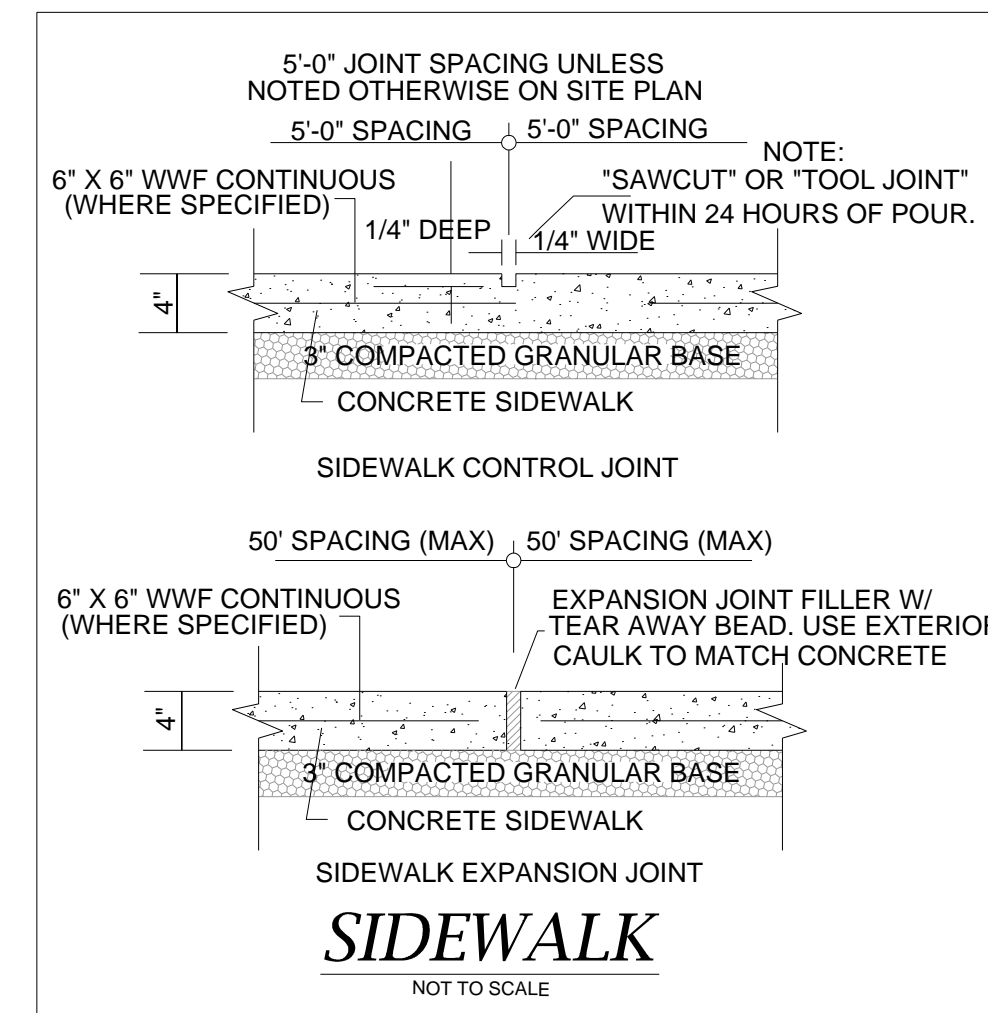


NOTES:

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

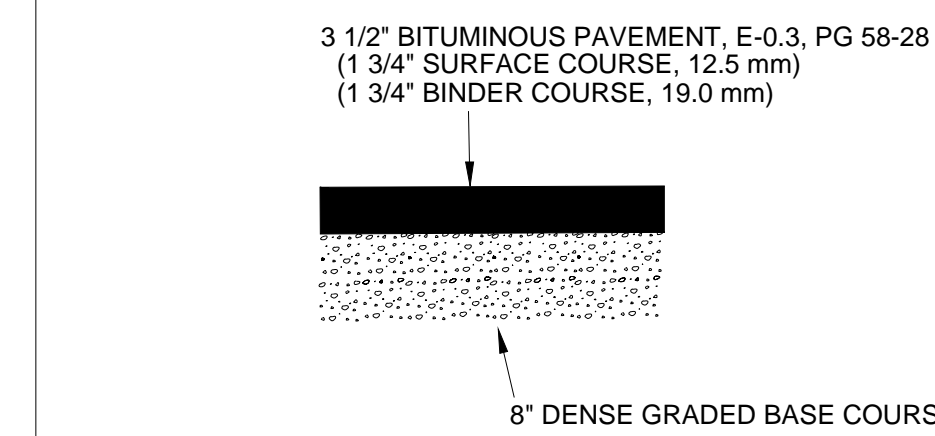
TYPE D INLET PROTECTION

NOT TO SCALE



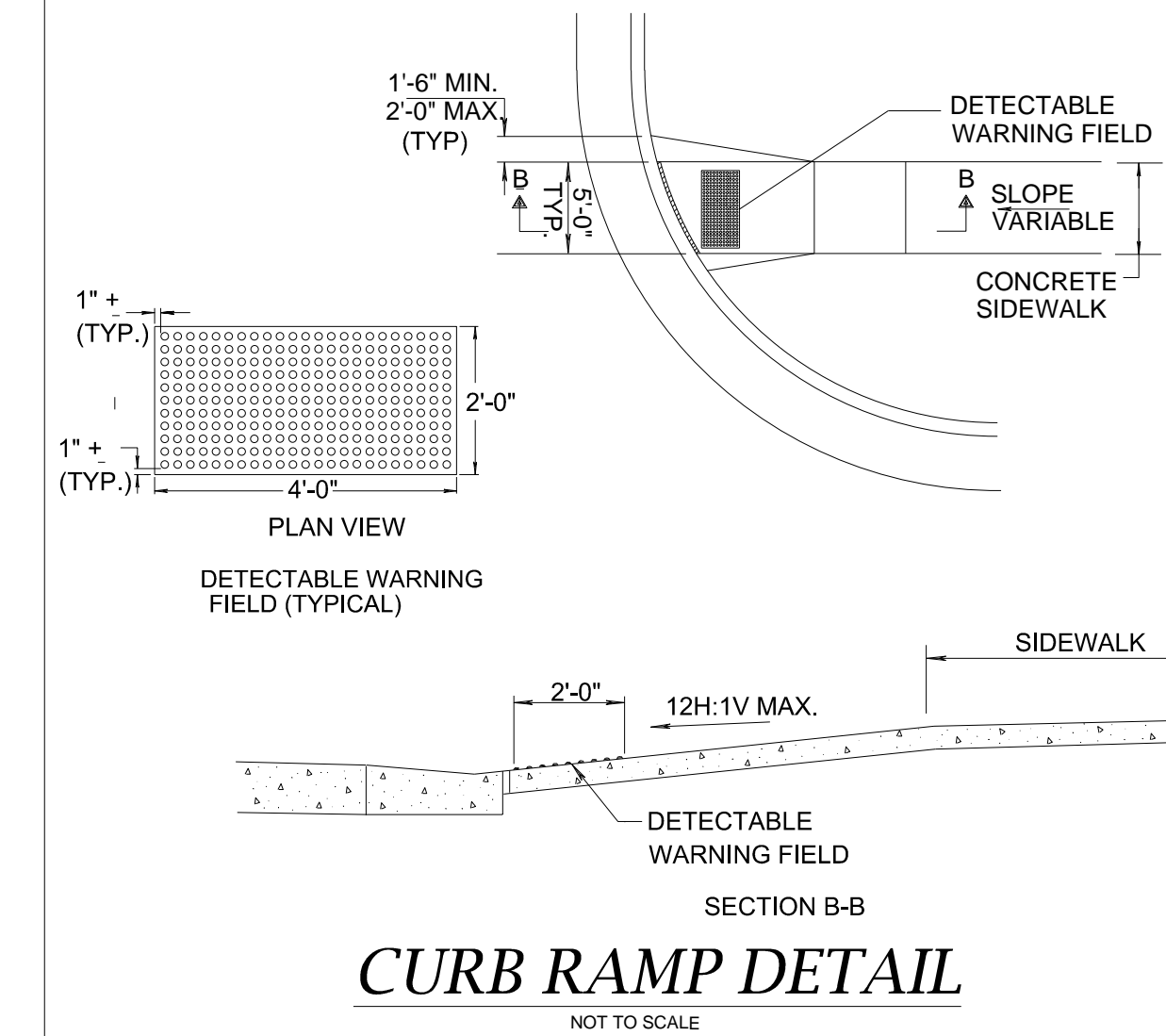
SIDEWALK

NOT TO SCALE



PARKING LOT PAVEMENT DETAIL

NOT TO SCALE



CURB RAMP DETAIL

NOT TO SCALE



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DKA PROJECT NUMBER: 17-03-103



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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**1 GLENN PLACE:
STACKED FLATS**

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

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DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
DETAILS

SHEET NUMBER
C400



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JLA PROJECT NUMBER: 17-0301



1 GLENN PLACE: STACKED FLATS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE NOVEMBER 7, 2017

REVISION SCHEDULE

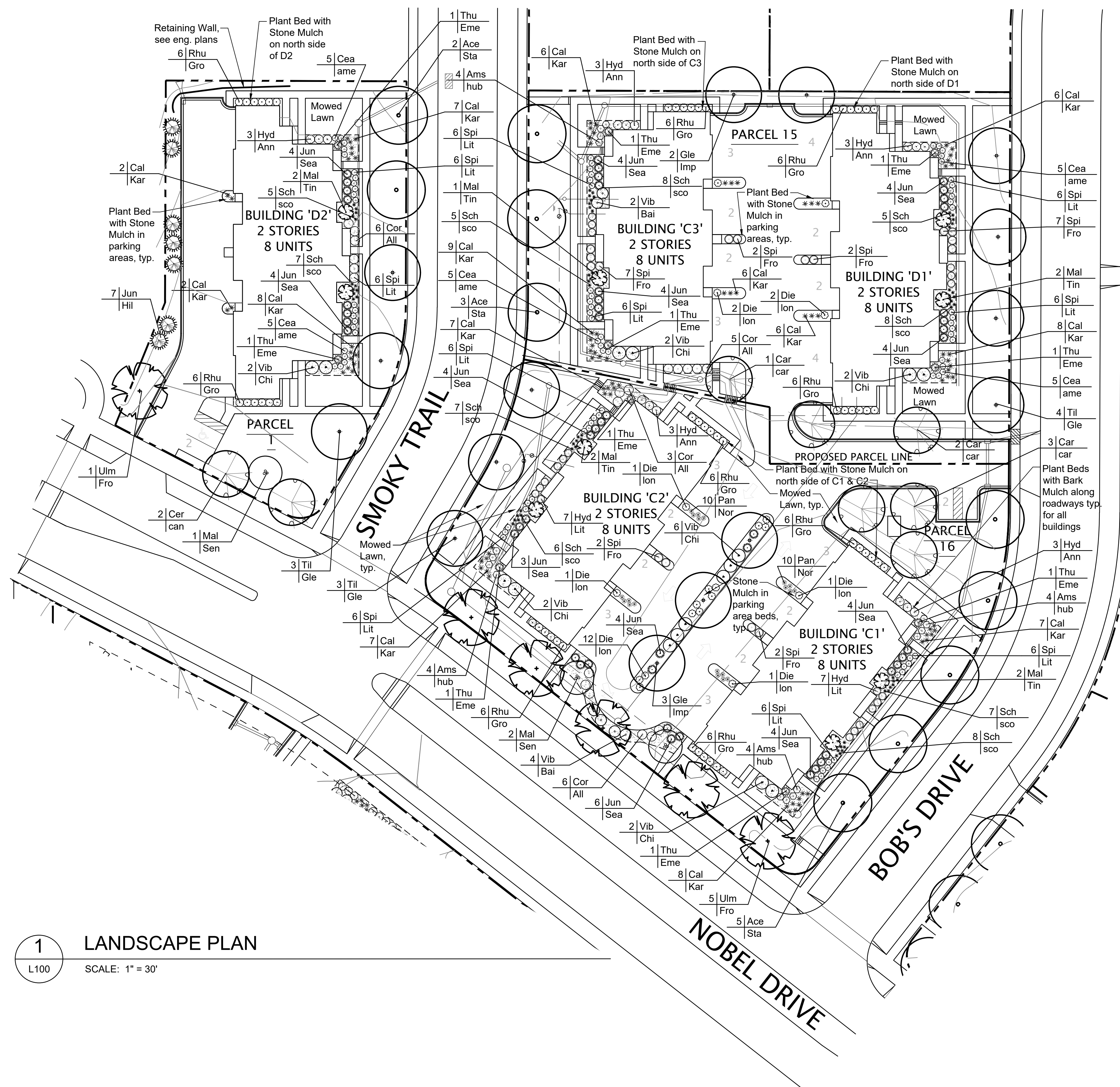
Mark	Description	Date

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L100



PLANT SCHEDULE:

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
Dec. Trees						
Ace / Sta	10	Acer miyabei 'Morton'	State Street Miyabe Maple	2 1/2"-3"	BB	
Car / car	6	Carpinus caroliniana	Musclewood	1 1/2"-2"	BB	
Cer / can	2	Cercis canadensis	Eastern Redbud	1 1/2"-2"	BB	
Gle / Imp	5	Gleditsia triacanthos 'Impcole' PP1605	Impertial Honeylocust	2 1/2"-3"	BB	
Mal / Tin	9	Malus sargentii 'Tina'	Tina Sargent Crabapple	1 1/2"-2"	BB	
Mal / Sen	3	Malus 'Sentinel'	Sentinel Crabapple	1 1/2"-2"	BB	
Til / Gle	10	Tilia x flavens 'Glenleven'	Glenleven Linden	2 1/2"-3"	BB	
Ulm / Fro	6	Ulmus 'Frontier'	Frontier Elm	2 1/2"-3"	BB	
Ev. Tree						
Jun / Hil	7	Juniperus virginiana 'Cupressifolia'	Hillspire Juniper	5' - 6' ht.	Cont.	
Ev. Shrubs						
Jun / Sea	49	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24" - 30"	Cont.	
Thu / Eme	10	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	4' - 5' ht.	Cont.	
Dec. Shrub						
Cea / ame	25	Ceanothus americana	New Jersey Tea	15" - 18"	Cont.	
Cor / All	20	Cornus sericea 'Alleman's Compact'	Alleman's Compact Dogwood	24" - 30"	Cont.	
Die / Ion	20	Diervilla lonicera	Dwarf Bush-honeysuckle	18" - 24"	Cont.	
Hyd / Ann	15	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	24" - 30"	Cont.	
Hyd / Lit	14	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	24" - 30"	Cont.	
Rhu / Gro	54	Rhus aromatica 'Gro-low'	Gro-low Sumac	18" - 24"	Cont.	
Spi / Fro	22	Spirea japonica 'Froebelii'	Froebel Spirea	24" - 30"	Cont.	
Spi / Lit	60	Spirea japonica 'Little Princess'	Little Princess Spirea	15" - 18"	Cont.	
Vib / Chi	16	Viburnum dentatum 'Chicago Lustre'	Chicago Lustre Viburnum	30" - 36"	Cont.	
Vib / Bai	6	Viburnum trilobum 'Bailey Compact'	Bailey Compact Viburnum	24" - 30"	Cont.	
Ornamental Grasses & Perennials						
Ams / hub	12	Amsonia hubrichtii	Arkansas Blue Star	1 gallon	Cont.	
Cal / Kar	89	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gallon	Cont.	
Pan / Nor	20	Panicum virgatum 'Northwind'	Northwind Switchgrass	1 gallon	Cont.	
Sch / sco	66	Schizachyrium scoparium	Little Bluestem	1 gallon	Cont.	

1 LANDSCAPE PLAN

L100 SCALE: 1" = 30'



7/11/2017 9:54:17 AM



LANDSCAPE NOTES

LANDSCAPE INSTALLATION:

- All written dimensions supersede scaled dimensions.
- The Contractor shall verify location of all underground utilities and additional information prior to commencement of site construction.
- Rough grading and drainage construction is to be completed prior to Landscape Contractor's work. Verify all existing site and grading conditions prior to construction.
- All work shall be in conformance with all applicable local codes and ordinances.
- All areas disturbed by grading or site construction shall be fine graded, planted, or seeded. See Plan for seed locations. See notes for specified seed mixes and installation procedures.
- Contractor shall verify plant quantities shown on the Plan and provide a list to the Client identifying the species and sizes to be used throughout the project. The Landscape Architect or Owner's Representative reserves the right to reject any substandard planting material. Rejected material shall be removed from the project site immediately.
- All planting beds and turf grass areas shall receive a blended topsoil mix to a depth of six (6) inches. Contractor shall provide positive drainage away from all buildings for a minimum of ten (10) feet. Roto-til blended topsoil into existing soil.
- Soil preparation for perennial and groundcover planting beds shall be as follows:
 - Remove all roots, lumps, stones, sod and other extraneous materials harmful or toxic to plant growth.
 - Perennial and groundcover planting beds shall receive a twelve (12) inch mixture consisting of 8" blended topsoil, four (4) inch Purple Cow Classic compost (Purple Cow Organics, LLC (608) 831-0349) or approved equal. Add 1/2 lb. of 5-10-5 garden fertilizer per 100 square feet and roto-til amendments into the planting bed. Avoid damage to existing tree roots where applicable by lightly working amendments into soil with pitch fork.
 - Mix amended planting soil either prior to planting or apply on surface of planting bed and mix thoroughly before planting.
 - Grade, rake, and roll planting bed with roller weighing not less than 25 lbs. or more than 100 lbs. per linear foot so as to leave in condition to plant.
 - Grade planting bed to a twelve (12) inch crown at center.
- All perennial or groundcover areas located along roadways shall receive a two (2) inch layer of shredded bark mulch as noted on the Plan. All shrub and tree planting beds shall receive a three (3) inch layer of shredded bark mulch as noted on the Plan. Do not allow bark mulch to touch stems or trunks of perennials, shrubs, or trees. Unless otherwise noted, no landscape fabric or weed barrier is to be installed.
- Unless otherwise shown, all perennials and shrubs to be planted in a triangular arrangement. For plants not shown individually, refer to spacing shown in the plant schedule.
- Perennial beds located adjacent to the rear garage entrances and not along roadways shall receive stone mulch instead of bark mulch as noted on the Plan. Stone mulch to consist of a 2.5 inch layer of medium Mississippi stone over landscape fabric.
- Plant Bed Edging - Install a shovel-cut bed edge to six (6) inch depth at perimeter of bed.
- Unless otherwise noted, do not stake deciduous trees less than or equal to 2.5-inches caliper diameter at breast height (D.B.H.) and evergreen trees less than or equal to 6-feet in height.
- See the Tree Staking Detail on this Plan if tree staking is required.

SEED MIXES:

SEEDING TURF for LAWN AREAS:

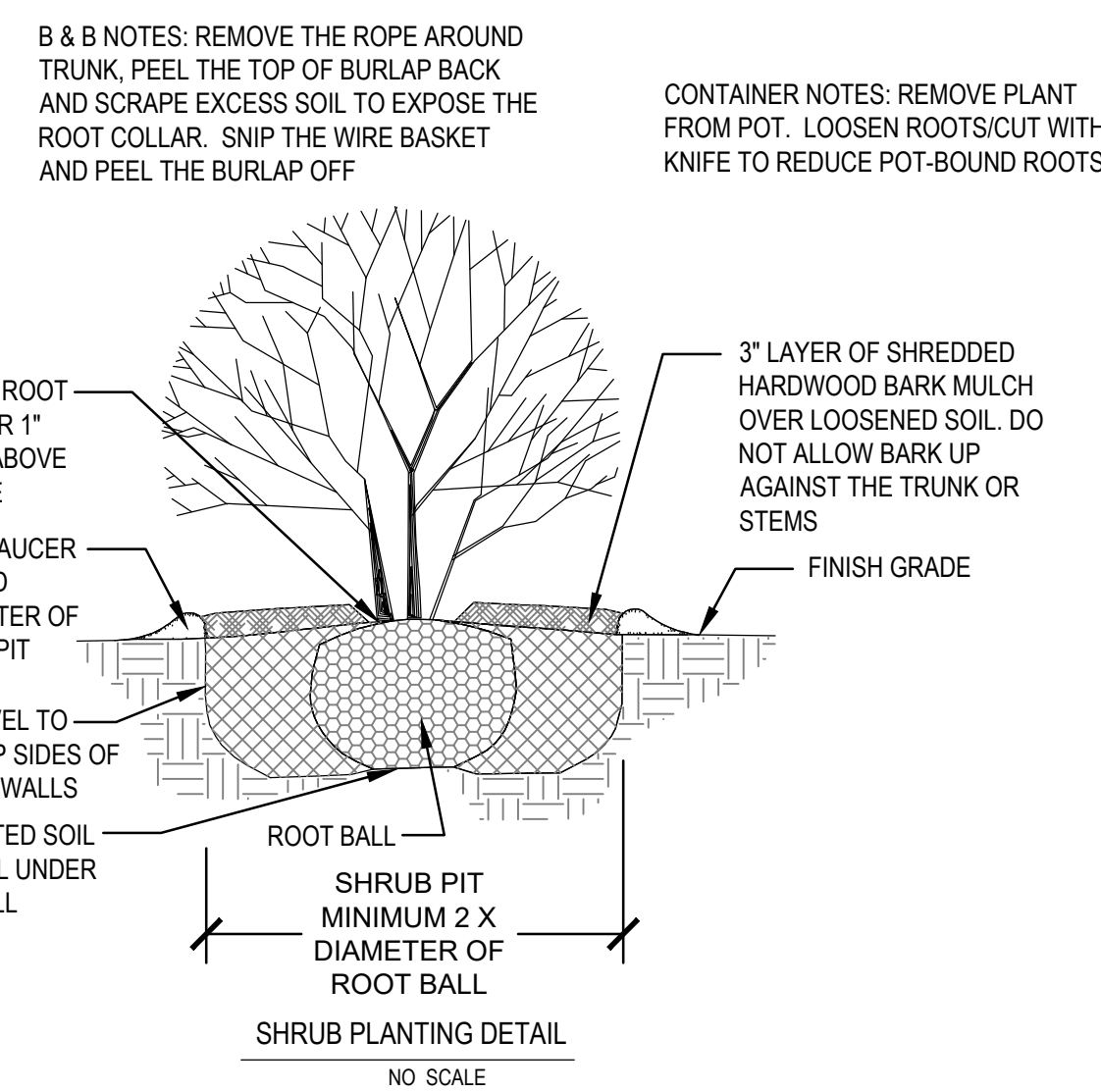
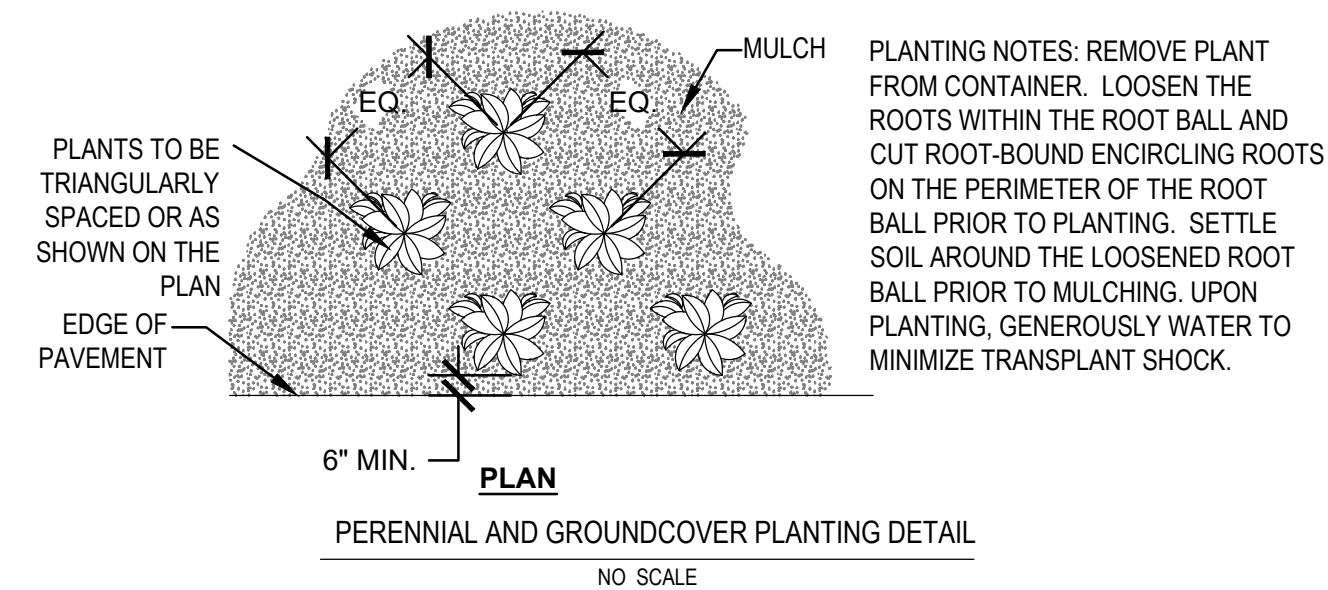
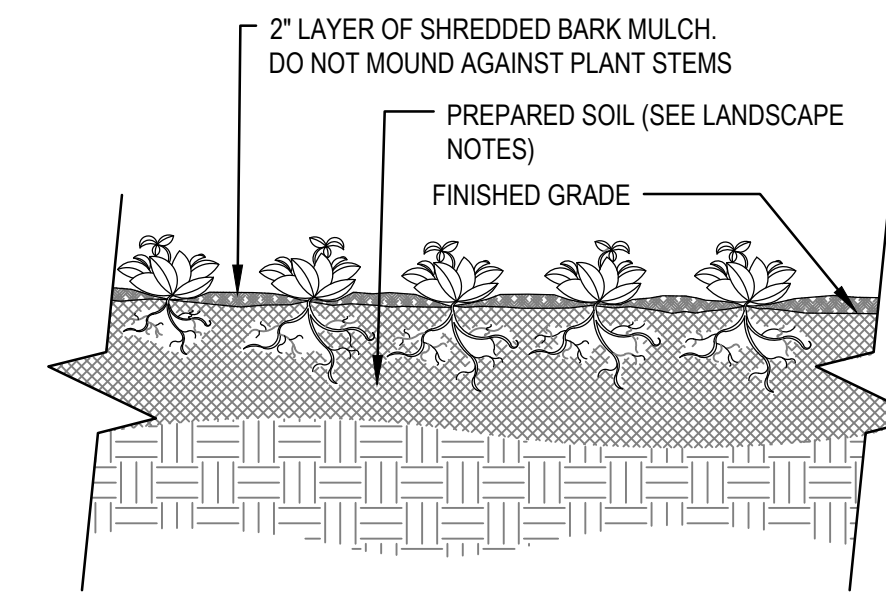
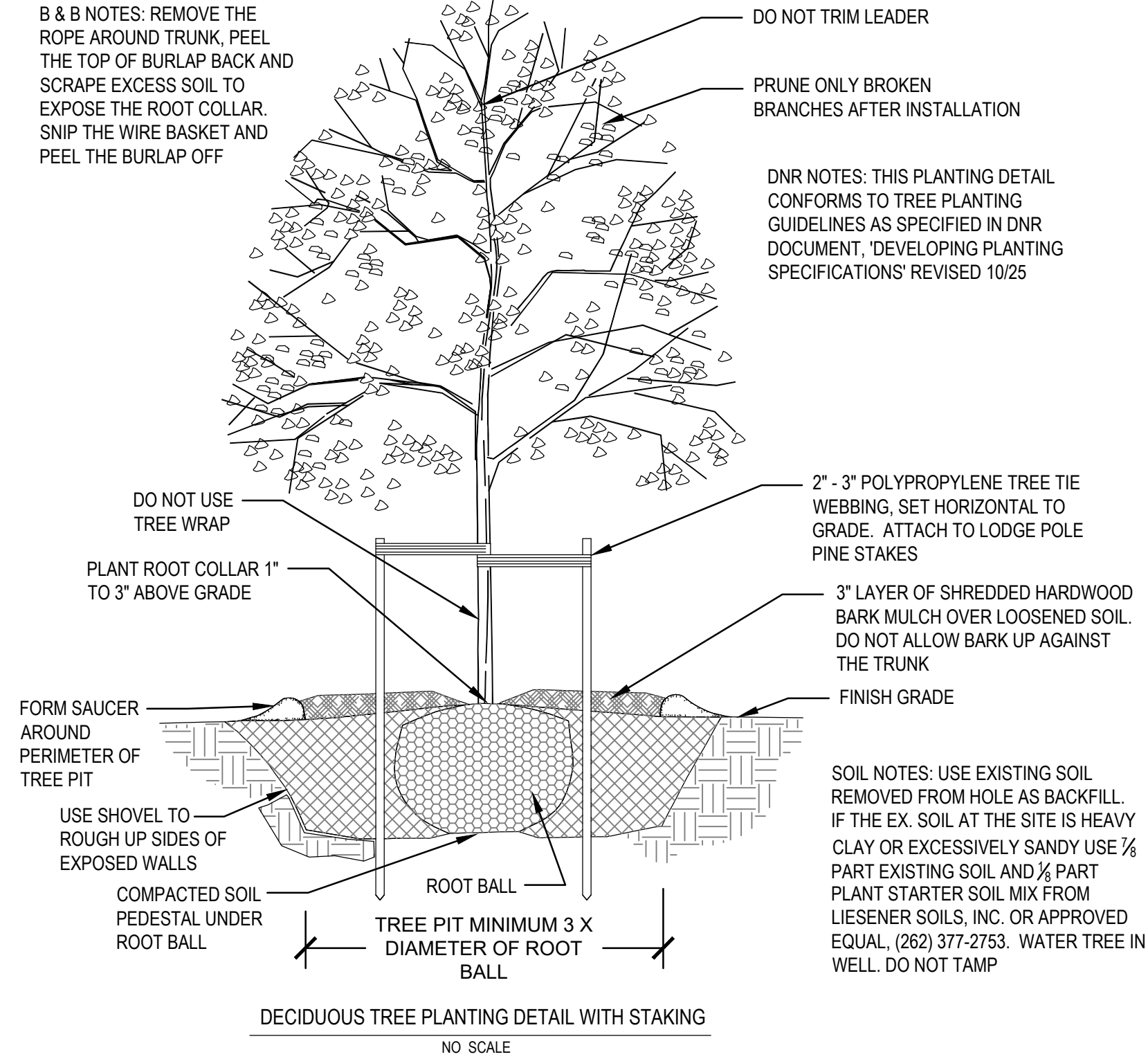
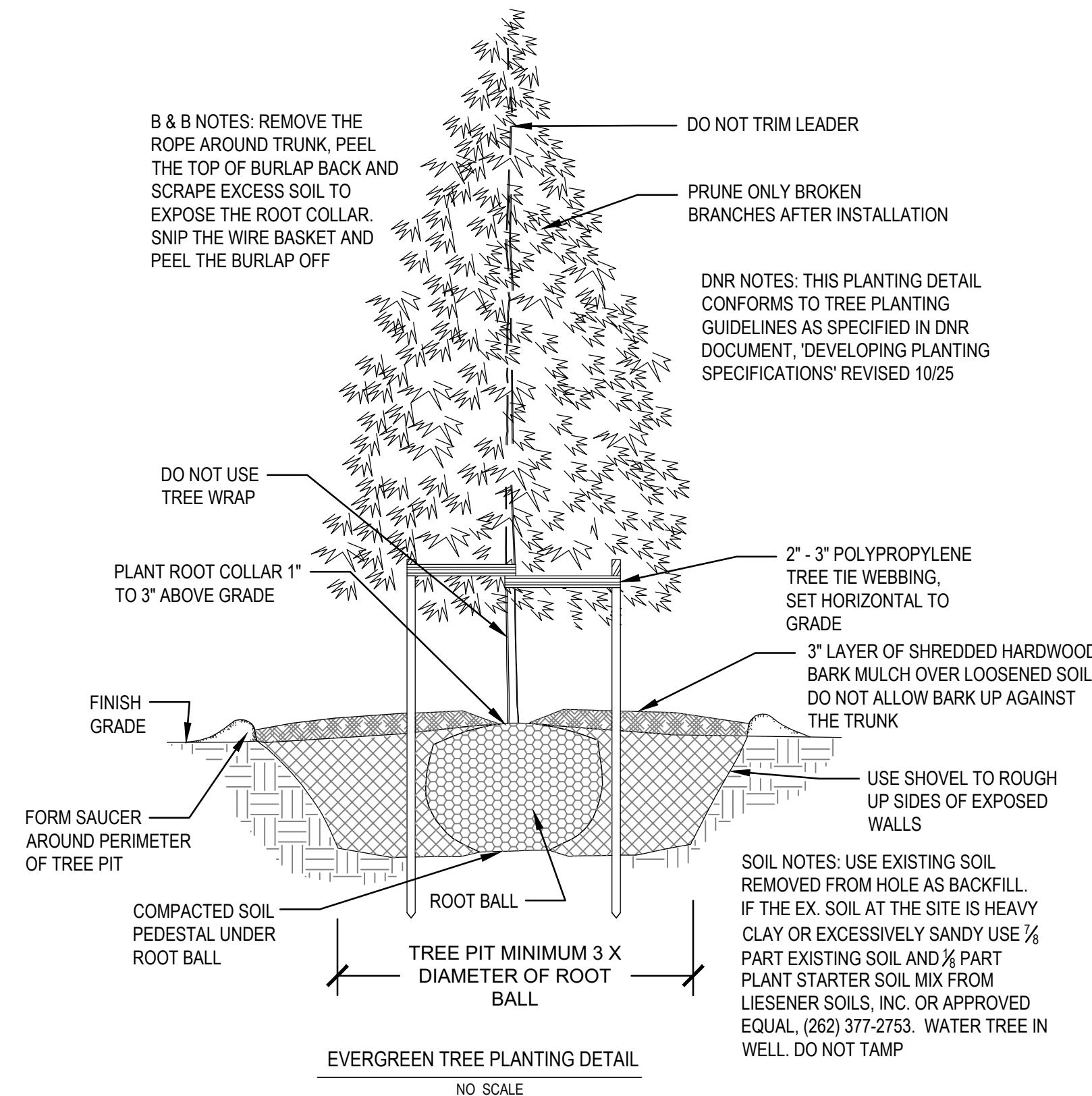
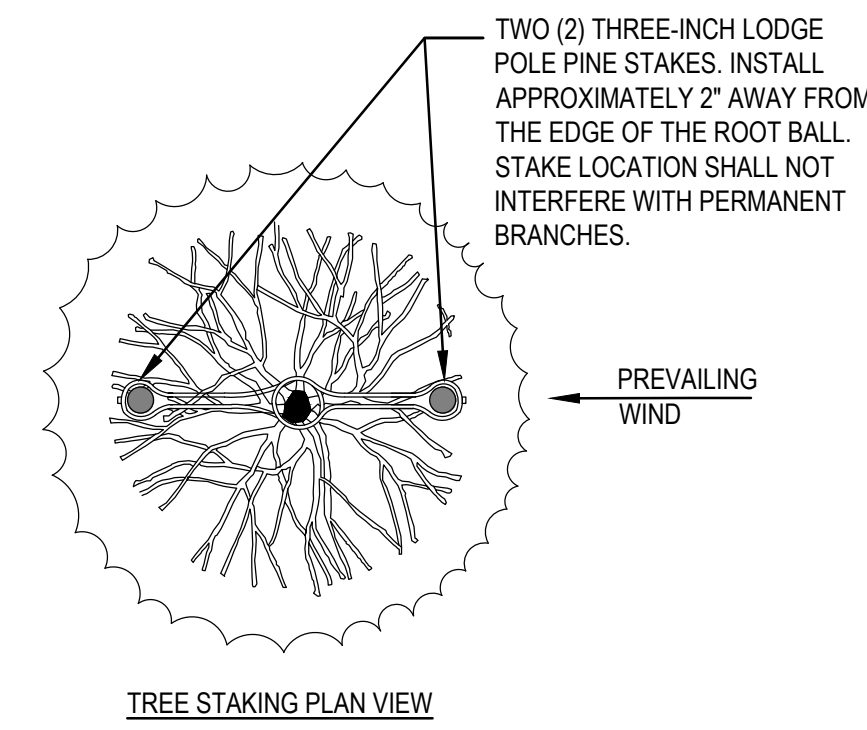
Sow at 5 lbs. / 1,000 sq. ft.
 "Supreme Lawn Seed Mix"
 Available from Reinders, Inc. (800) 785-3301, or approved equal.
 To be installed and maintained per supplier's specifications.

- | | |
|-----------------------------------|--------------------------------|
| 17% Mercury Kentucky Bluegrass | 16% America Kentucky Bluegrass |
| 17% SR 2100 Kentucky Bluegrass | 25% Garnet Creeping Red Fescue |
| 15% Replicator Perennial Ryegrass | 10% TXR Annual Ryegrass |

SEED INSTALLATION:

SEEDING TURF for LAWN AREAS:

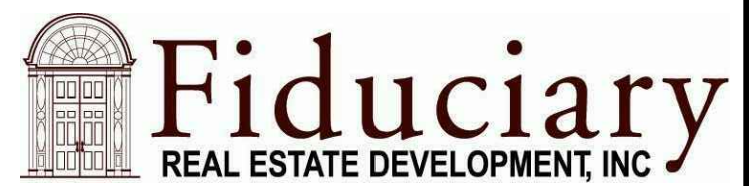
- The seedbed shall be prepared for optimal seed germination after placement of the landscape trees.
- This work shall consist of preparing the seedbeds and furnishing, sowing and mulching the required seed on the various seeded turf grass areas as shown on Plan or other areas as designated by the Landscape Architect or Owner's Representative, all in accordance with the requirements of this specification.
- Grading and the placement of the topsoil shall be completed prior to sowing the seed mix. The area to be seeded shall be worked with discs, harrows, or other appropriate equipment until a reasonably even and loose seedbed is obtained immediately in advance of the seeding.
- The seed mixture shall be sown by means of equipment adapted to the purpose, or it may be scattered uniformly over the areas to be seeded. Scattering the seeds by hand shall be done only with satisfactory hand seeders and only at such times when the air is sufficiently calm to prevent seeds from blowing away. If the area is hand sown, the soil surface must be raked following seeding.
- Clean straw, free of debris and seeds, shall be applied as mulch on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre. Mulch material shall be chopped and blown into the seeded area.



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1 GLENN PLACE:
STACKED FLATS

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DATE OF ISSUANCE NOVEMBER 7, 2017

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LANDSCAPE
DETAILS

SHEET NUMBER

L101



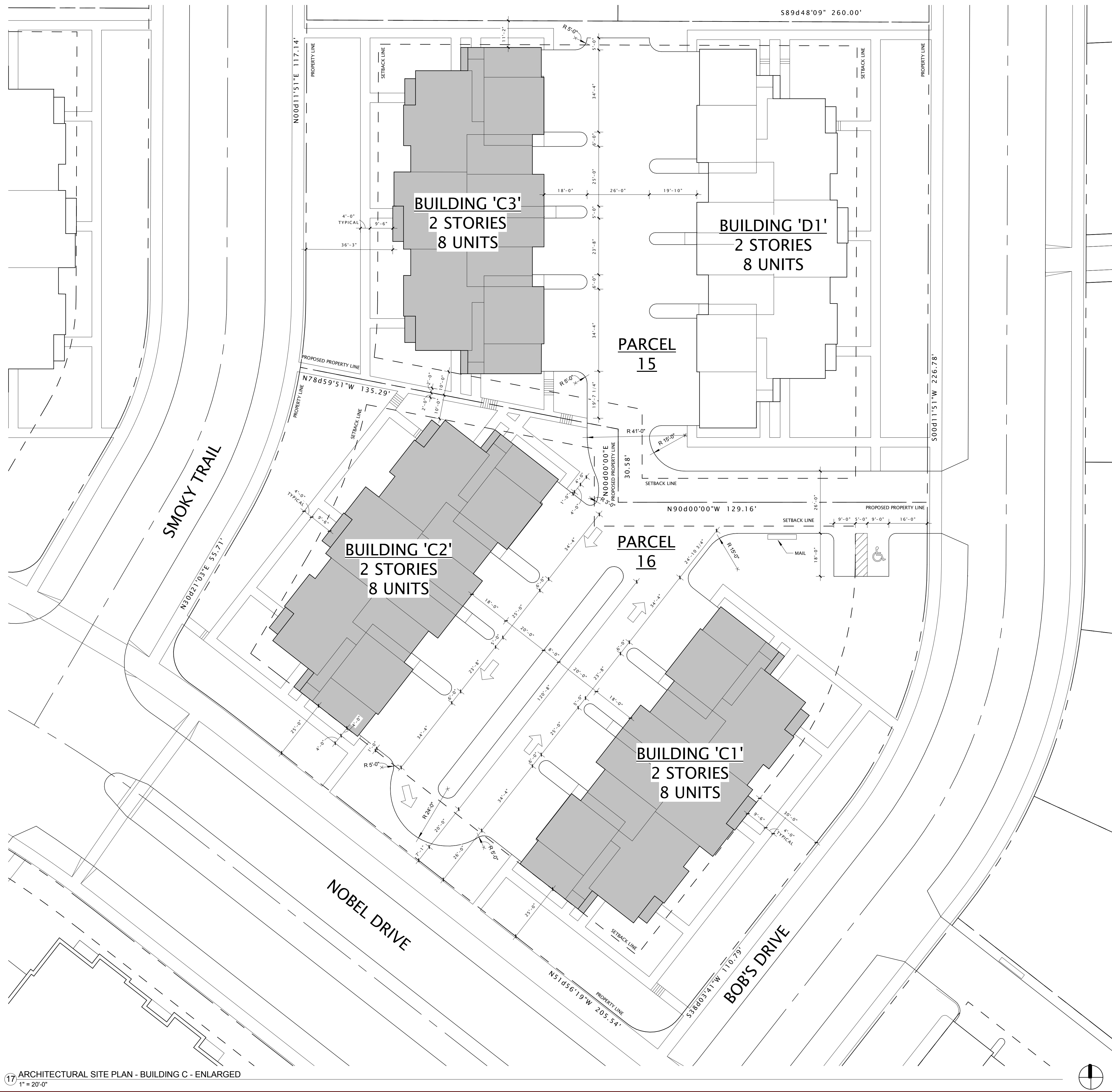


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⬇	A	13	Cree Lighting	SEC-EDG-4M-WM-04-E-UL-SV-700	LED Security Wall Pack Luminaire	FORTY WHITE LIGHT EMITTING DIODES (LEDS) VERTICAL BASE-UP POSITION	1	4M-E.IES	7311	1	93
⬇	B	8	Cree Lighting	SEC-EDG-3M-WM-04-E-UL-SV-700	LED Security Wall Pack Luminaire	FORTY WHITE LIGHT EMITTING DIODES VERTICAL BASE-UP POSITION Serial Number: 1804102312112447	1	3M-E.IES	6932	1	93
⬇	T3	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-A25-D-UNV-T3-BZ	PREVAIL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K LUMENS AT 60% STANDARD LUMENS AND TYPE III OPTICS, BRONZE PAINTED FINISH ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		2	PRV-A25-D-UNV-T3-BZ.ies	5148	1	87

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Combined Parking Lots	+	2.6 fc	10.0 fc	0.1 fc	100.0:1	26.0:1
Parking Lot D2	+	2.3 fc	8.3 fc	0.0 fc	N/A	N/A
Parking Lot T1	+	2.1 fc	7.8 fc	0.1 fc	78.0:1	21.0:1
Parking Lot T2	+	2.0 fc	8.1 fc	0.0 fc	N/A	N/A

Note
 Mounting Heights vary, see drawing.
 Parking Lot Pole mounted = 20' pole + 2' base
 FC Measured at 0' AFG

Plan View
 Scale - 1" = 40ft



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1 GLENN PLACE:
STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

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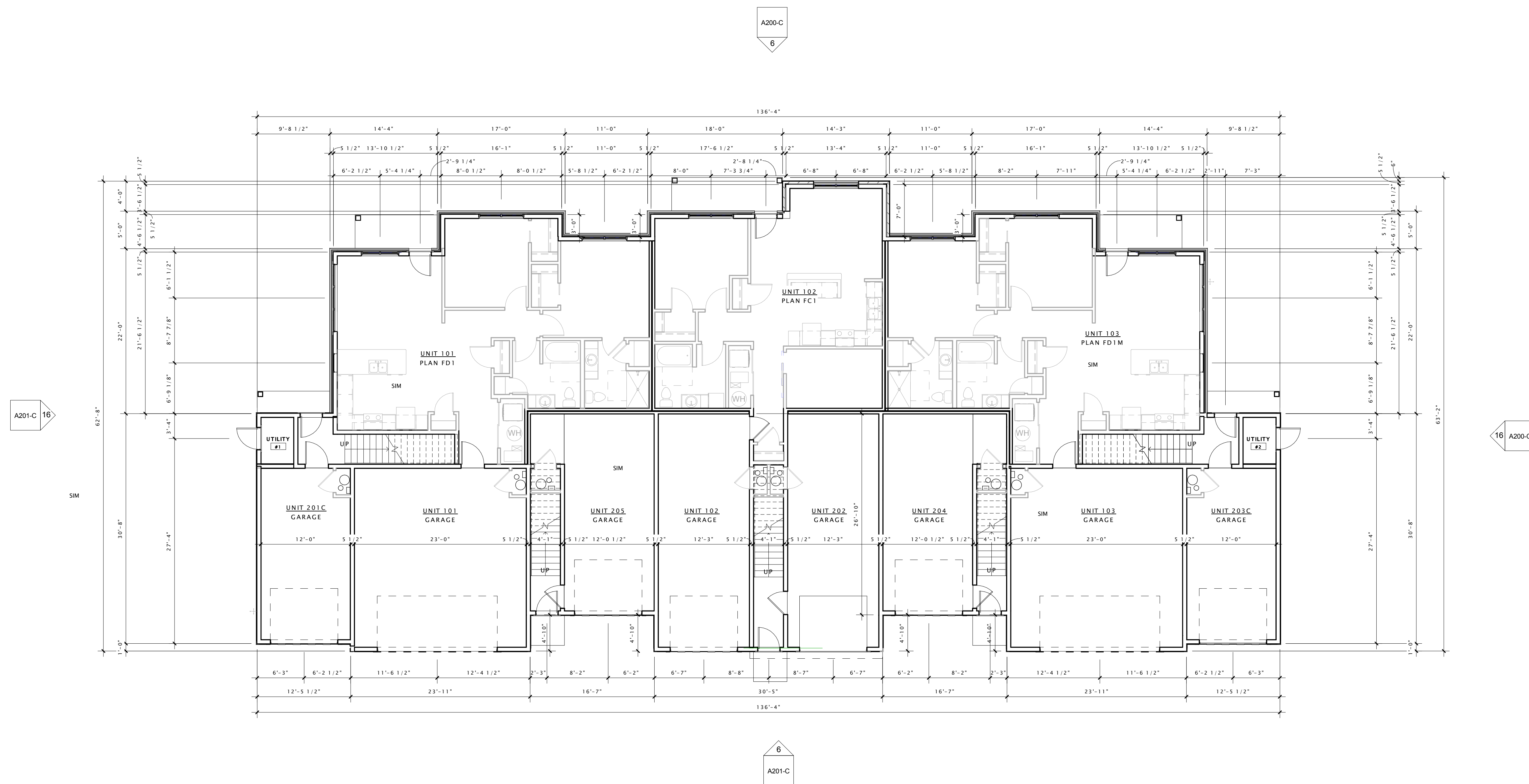
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
ARCHITECTURAL SITE
PLAN-BUILDING C -
ENLARGED

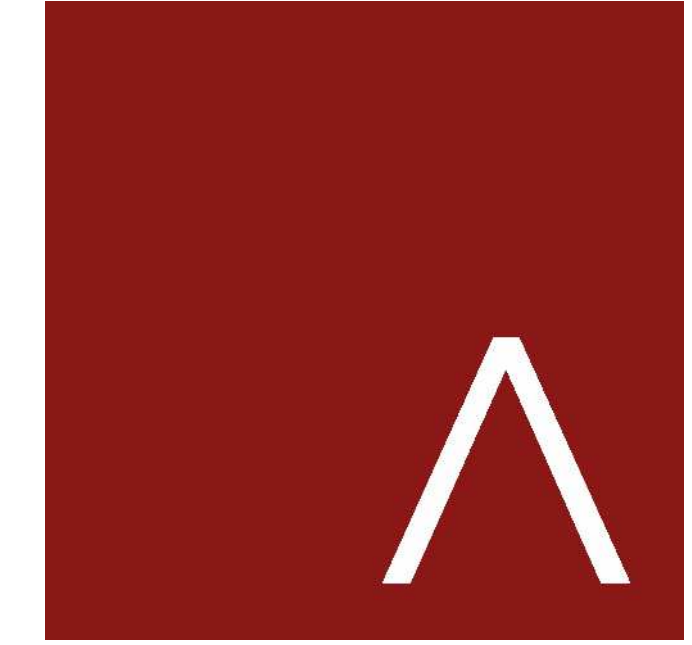
SHEET NUMBER
ASP-101-C

November 7, 2017

Buildings D1 & D2	BUILDING DATA - STACKED FLATS												Unit Totals		Common Utility Space	Building Totals					
	UNIT 102 - 1 BR+ FC1		UNIT 202 - 1 BR+ FC4		UNIT 204 - 1 BR+ FC3		UNIT 205 - 1 BR+ FC2		UNIT 101 - 2 BR FD1		UNIT 103 - 2 BR FD1M							UNIT 201 - 2 BR FD2		UNIT 203 - 2 BR FD2M	
	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Area	Efficiency			
Second Floor	-	-	-	899	-	853	-	843	-	-	-	-	-	1,127	-	1,127	-	-	4,849	n/a	
First Floor - Living	-	900	-	114	-	90	-	90	-	1,121	-	1,121	-	1,111	-	1,111	-	-	3,658	n/a	
Living Space Totals	-	900	-	1,013	-	943	-	933	-	1,121	-	1,121	-	1,238	-	1,238	-	8,507	8,507	n/a	
First Floor - Garage	-	407	-	407	-	375	-	375	-	581	-	581	-	561	-	561	-	3,848	74	3,922	n/a
Building Totals	1	1,307	1	1,420	1	1,318	1	1,308	1	1,702	1	1,702	1	1,799	1	1,799	8	12,355	74	12,429	68.9%
Unit Breakdown	12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		100%			1,554 average s.f. per unit	
	1 Bedroom + Den:				50.0%				2 Bedroom:				50.0%				100%			1,063 average s.f. per unit living space	



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.



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1 GLENN PLACE:
STACKED FLATS

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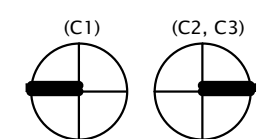
PROGRESS DOCUMENTS
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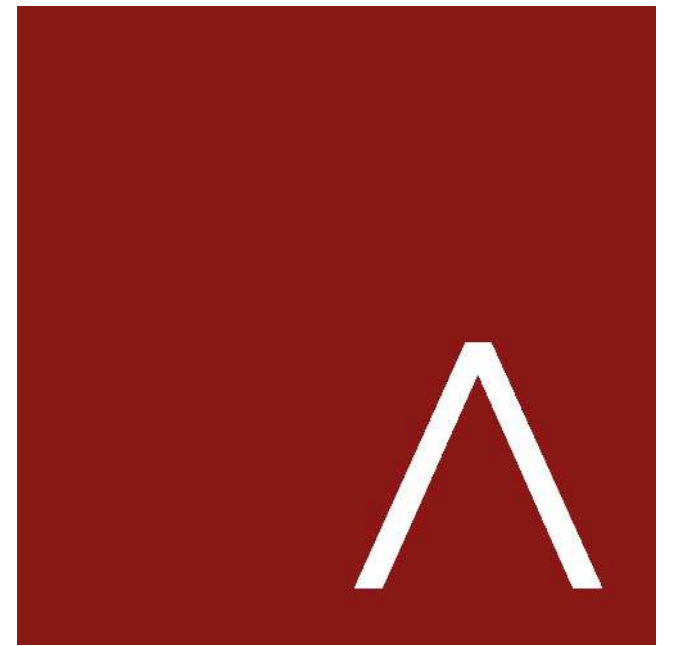
SHEET TITLE
FIRST FLOOR PLAN - BUILDING C

SHEET NUMBER
A101-C



November 7, 2017

Buildings D1 & D2	BUILDING DATA - STACKED FLATS																Unit Totals	Common Utility Space	Building Totals		
	UNIT 102 - 1 BR+ FC1		UNIT 202 - 1 BR+ FC4		UNIT 204 - 1 BR+ FC3		UNIT 205 - 1 BR+ FC2		UNIT 101 - 2 BR FD1		UNIT 103 - 2 BR FD1M		UNIT 201 - 2 BR FD2		UNIT 203 - 2 BR FD2M				Area	Efficiency	
	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area					
Second Floor	-	-	-	899	-	853	-	843	-	-	-	-	-	1,127	-	1,127	-	-	4,849	n/a	
First Floor - Living	-	900	-	114	-	90	-	90	-	1,121	-	1,121	-	111	-	111	-	-	3,658	n/a	
Living Space Totals	-	900	-	1,013	-	943	-	933	-	1,121	-	1,121	-	1,238	-	1,238	-	8,507	8,507	n/a	
First Floor - Garage	-	407	-	407	-	375	-	375	-	581	-	581	-	561	-	561	-	3,848	74	3,922	n/a
Building Totals	1	1,307	1	1,420	1	1,318	1	1,308	1	1,702	1	1,702	1	1,799	1	1,799	8	12,355	74	12,429	68.9%
Unit Breakdown	12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		100%	100%		1,554 average s.f. per unit	
	1 Bedroom + Den:				50.0%				2 Bedroom:				50.0%				100%		1,063 average s.f. per unit living space		



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1 GLENN PLACE:
STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

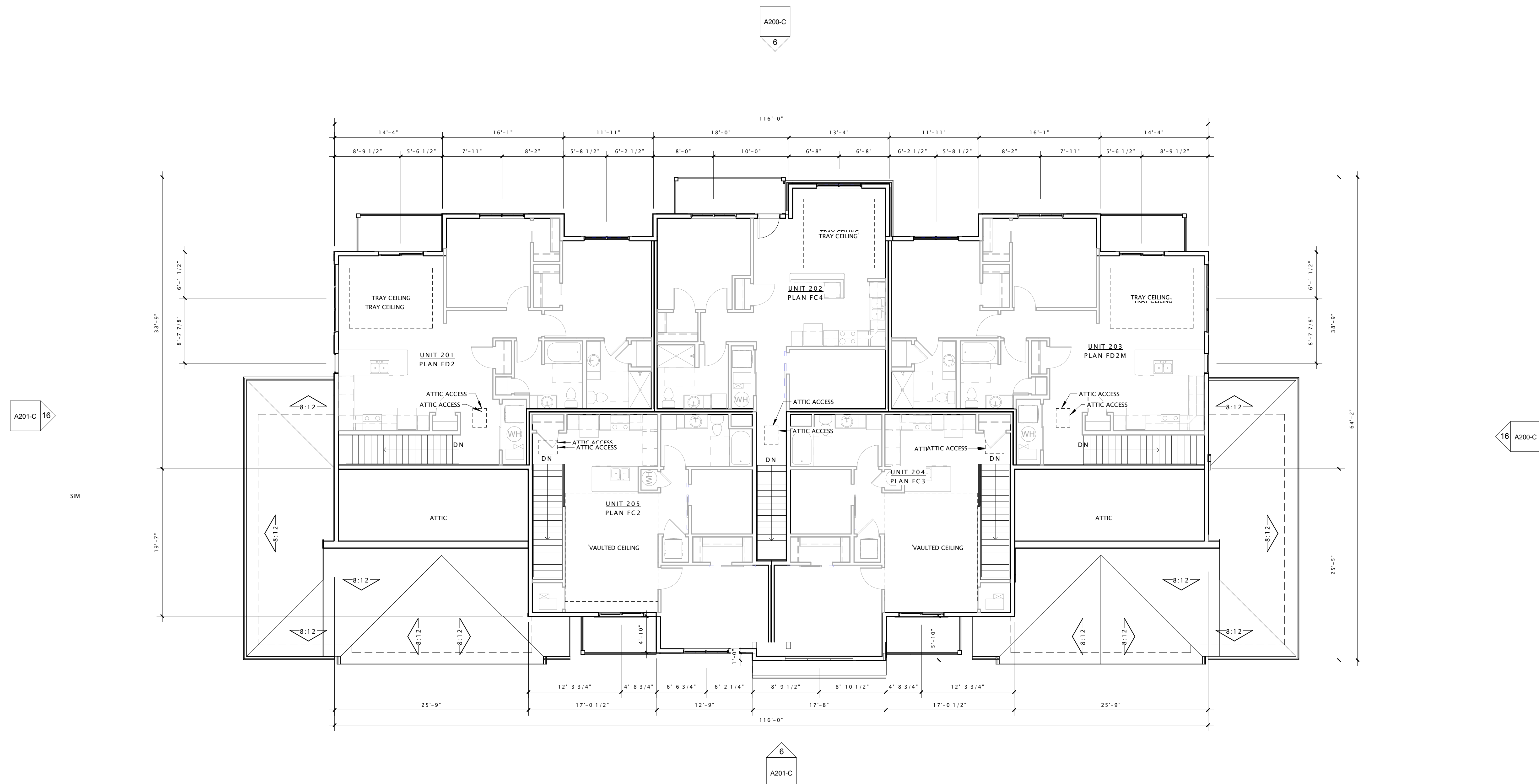
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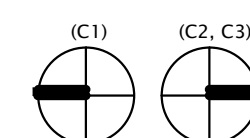
Mark	Description	Date

SHEET TITLE
SECOND FLOOR PLAN - BUILDING C

SHEET NUMBER
A102-C

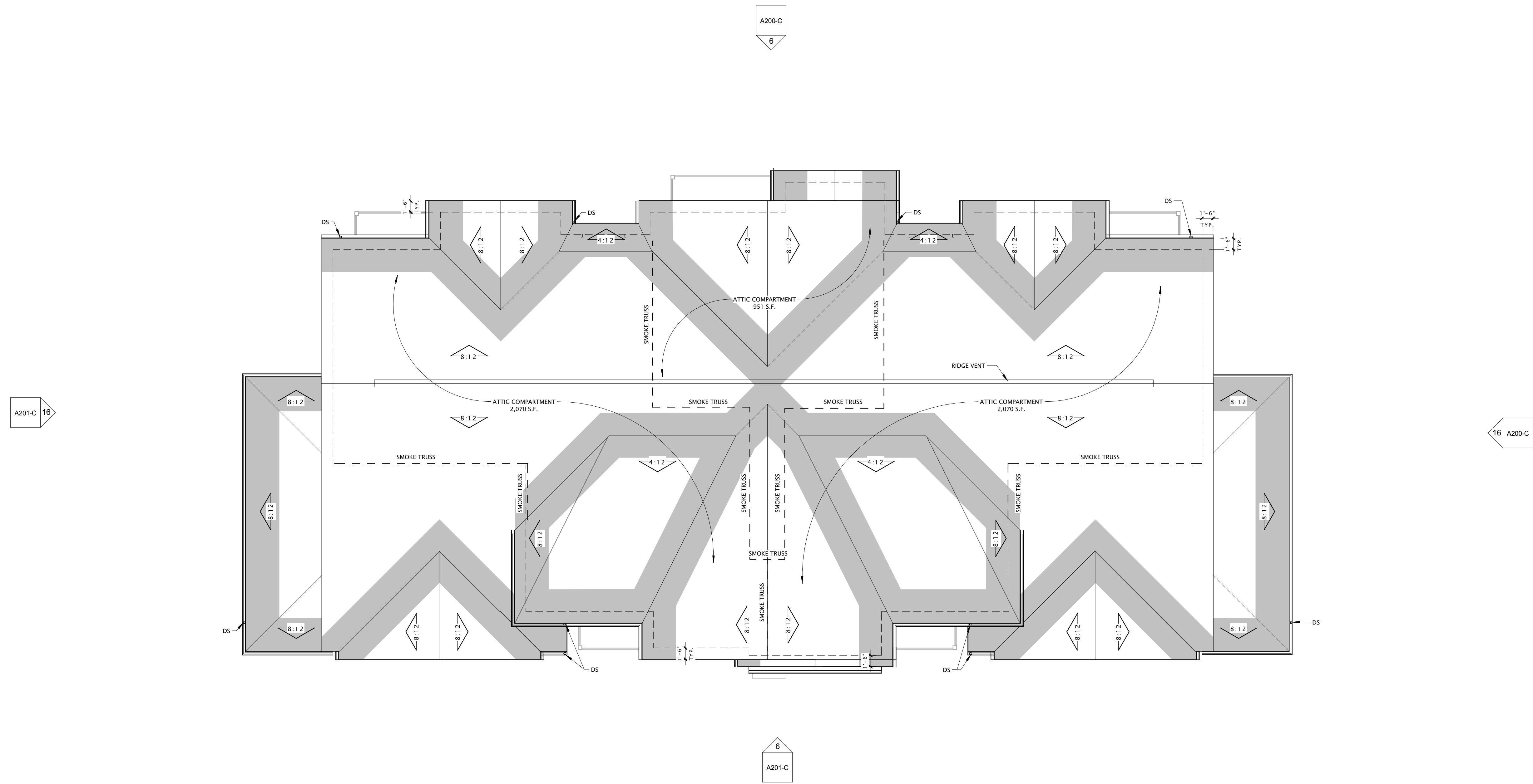


NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.

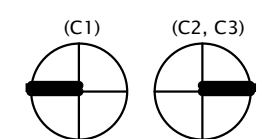


ROOF NOTES

- 1) ALL ROOF SLOPES SHALL BE 8:12, UNLESS NOTED OTHERWISE.
- 2) TYPICAL EAVE OVERHANG = 1'-6" (UNLESS NOTED OTHERWISE)
- 3) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):
 ALL EAVES:
 RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
 ALL VALLEYS:
 RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY.
 INSTALL UNDER METAL FLASHINGS AT VALLEYS.
 ALL ROOF TO WALL INTERSECTIONS:
 RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL
 RUN 1'-6" (MIN.) VERTICALLY UP FACE OF WALL.
 ALL ROOF PENETRATIONS:
 RUN 3'-0" (MIN.) FROM PENETRATIONS
- 4) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFIT AND ALL PENETRATIONS SHALL BE CAULKED.
 SEE 5/A104 FOR ADDITIONAL INFORMATION.
- 5) ALL OPENINGS IN ATTIC DRAFTSTOPPING SHALL BE PROTECTED WITH SELF-CLOSING DOORS. FRAMING CONTRACTOR SHALL LABEL DOORS / COMPARTMENTS WITH NUMBERS.
- 6) INSTALL ROOF / ATTIC VENTING TO PROVIDE 15% OF VENT AREA PER 300 SF OF ATTIC AREA. HALF OF THE REQUIRED VENTING SHALL OCCUR AT RIDGE AND HALF SHALL OCCUR AT EAVE. PROVIDE 'CAN' VENTS ONLY WHEN NECESSARY. ROOFING CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTING PRIOR TO INSTALLATION.
- 7) ROOF DRAINS / OVERFLOW DRAINS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF / OVERFLOW DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE (1/4" PER FOOT) AND WITH UNIT PLANS TO DETERMINE THE VERTICAL DRAINPATH.
- 8) PROVIDE 220V OUTLETS AT ALL EAVES AS NECESSARY FOR HEAT TAPE. PROVIDE 110V AT ENTRY CANOPY.
- 9) PROVIDE METAL FLASHING AT ALL VALLEYS AND ALL ROOF / WALL INTERSECTIONS.
- 10) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 11) ALL VENT CAPS SHALL BE PREFINISHED METAL TO MATCH ROOF COLOR.
- 12) ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN / VENT IF VENT RUN EXCEEDS 25'-0".
- 13) PROVIDE 5" 'K' STYLE OR 'OG' STYLE PREFINISHED ALUMINUM RAIN GUTTERS AND 3"x4" CORRUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. DOWNSPOUT LOCATION AND QUANTITY TO BE DETERMINED BY DESIGN / BUILD ROOFING CONTRACTOR. LOCATION OF DOWNSPOUTS TO BE DETERMINED IN THE FIELD BY GENERAL CONTRACTOR AND DESIGN/BUILD PLUMBING CONTRACTOR.
- 14) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.
- 15) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.



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**1 GLENN PLACE:
STACKED FLATS**

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

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DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE

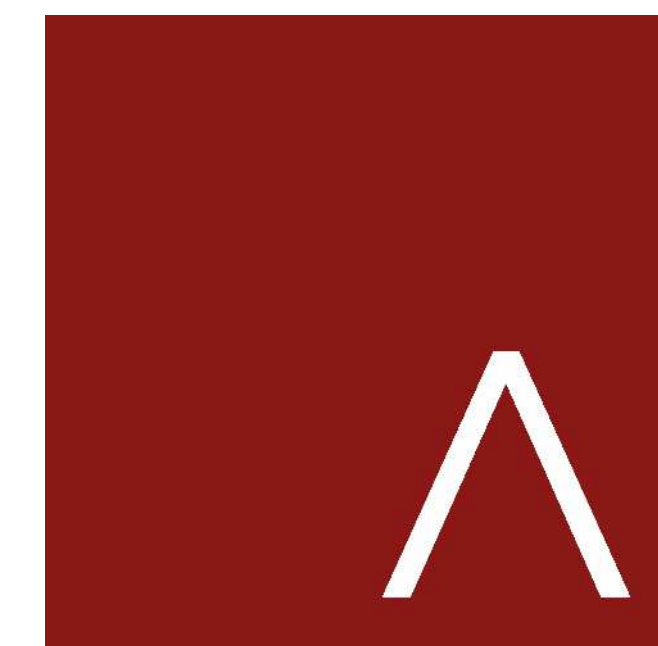
Mark	Description	Date
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SHEET TITLE

**ROOF PLAN -
BUILDING C**

SHEET NUMBER

A109-C



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0302



1 GLENN PLACE:
STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- BUILDING C

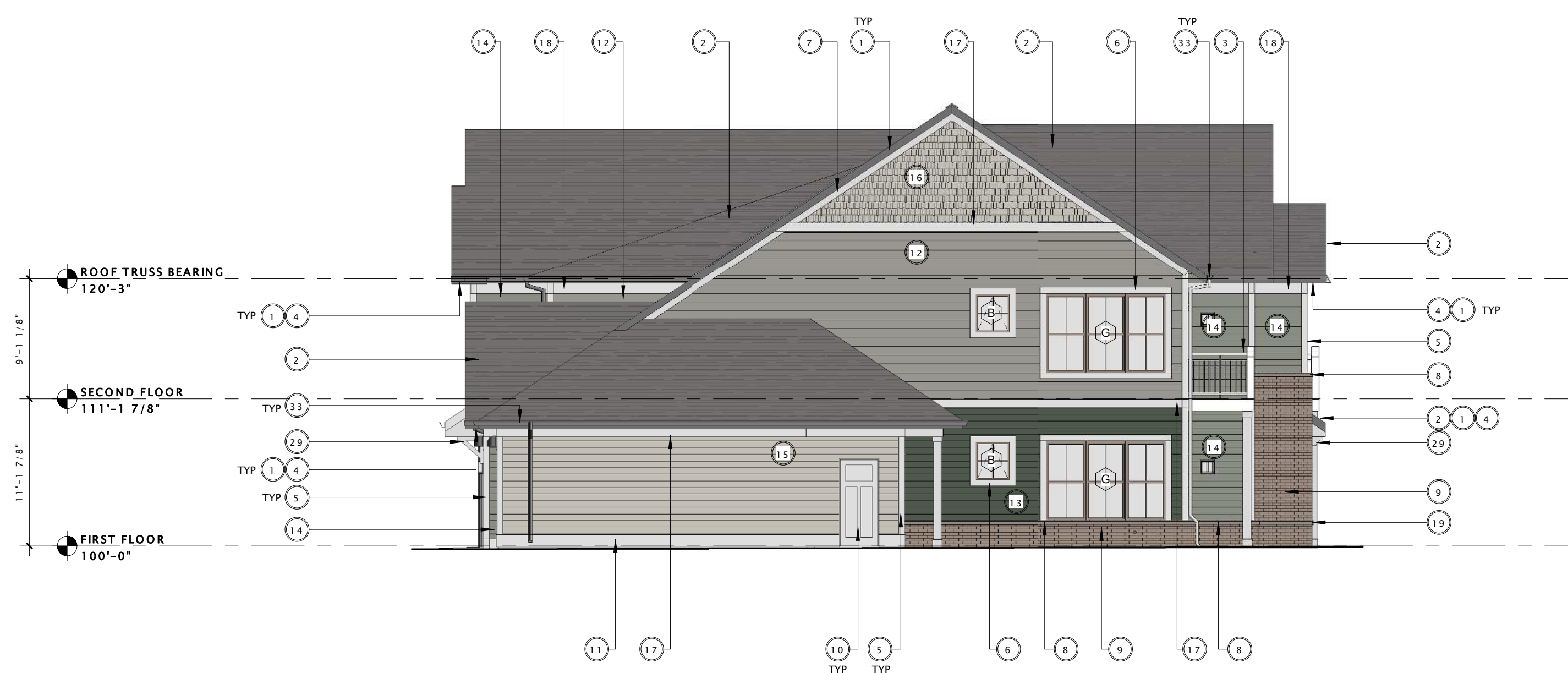
SHEET NUMBER

A200-C



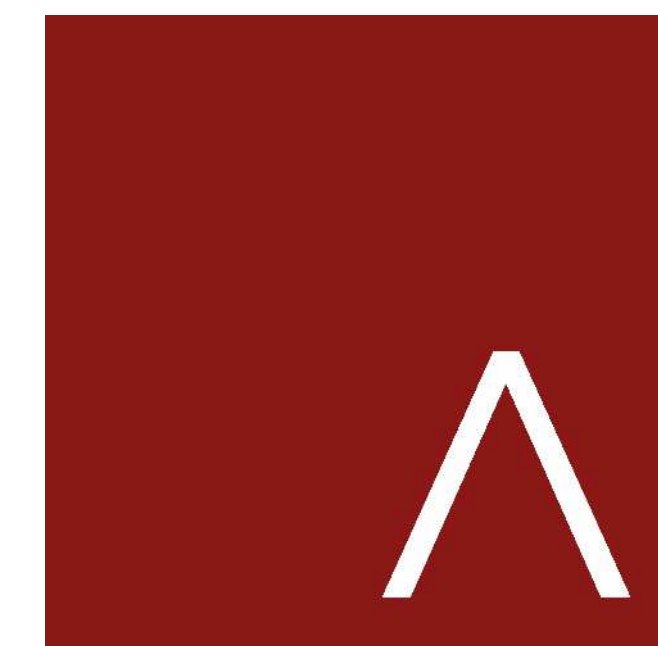
6 WEST ELEVATION - BUILDING C2, C3 / EAST ELEVATION - BUILDING C1
1/8" = 1'-0"

MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	FASCIA	ROLLE	REFINISHED ALUMINUM	SEE PLANS	MATCH VINYL TRIM	OR APPROVED EQUAL
2	ROOFING / SHINGLES	CERTAINTEED - LANDMARK DESIGNER	ARCHITECTURAL	SEE PLANS	MISSION BROWN	
3	RAILINGS	KANE STERLING	CLASSIC SERIES	SEE PLANS	WHITE	
4	SOFFIT	CERTAINTEED	PREFINISHED VENTED	SEE PLANS	MATCH FASCIA	
5	CORNER TRIM	CERTAINTEED	VINYL CORNERPOST	4"	COLONIAL WHITE	
6	DOOR / WINDOW TRIM	CERTAINTEED	VINYL LINEAL SYSTEM	6"	COLONIAL WHITE	
7	FRIEZE TRIM	CERTAINTEED	VINYL TRIM	1"x6"	COLONIAL WHITE	
8	PRECAST CONCRETE SILL - PROFILE #3	PRAIRIE STONE	SMOOTH FACE	SEE PRECAST PROFILES	GRIS	
9	MASONRY #1	GLEN GREY BRICK		UTILITY SIZE	SMOKEY QUARTZ	COLORLED MORTAR TO MATCH BRICK
10	ENTRY DOOR	THERMA-TRU	SEE DOOR SCHEDULE	SEE PLANS	PAINTED TO MATCH TRIM	
11	SKIRT BOARD		PRESSURE TREATED LUMBER	1X12	PAINTED TO MATCH TRIM	
12	HORIZONTAL SIDING #1	CERTAINTEED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 5"	GRANITE GRAY	
13	HORIZONTAL SIDING #2	CERTAINTEED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	FOREST	
14	HORIZONTAL SIDING #3	CERTAINTEED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	SEAGRASS	
15	HORIZONTAL SIDING #4	CERTAINTEED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	DESERT TAN	
16	SHAKE SIDING	CERTAINTEED - CEDAR IMPRESSIONS	STACKEDED EDGE	D7	DESERT TAN	
17	TRIM #1	CERTAINTEED	SMOOTH	8"	COLONIAL WHITE	
18	TRIM #2	CERTAINTEED	SMOOTH	10"	COLONIAL WHITE	
19	PRECAST CONCRETE BAND - PROFILE #6	PRAIRIE STONE	SMOOTH FACE	SEE PLANS	GRIS	
20	BALCONY / DECK	TAMKO EVERGRAIN	COMPOSITE	1x6	TBD	
25	OVERHEAD GARAGE DOOR	WAYNE DALTON	8100 SERIES, COLONIAL PANEL	SEE DOOR SCHEDULE	PAINTED TO MATCH TRIM	INSULATED
26	EXTERIOR LIGHT	TBD	PER OWNER'S SPECIFICATIONS	SEE PLAN	TBD	
29	DECORATIVE BRACKET	TBD	SEE ELEVATIONS	SEE ELEVATIONS	MATCH VINYL TRIM	
33	GUTTER & DOWNSPOUT	TBD	TBD	SEE PLANS & SPECIFICATIONS	TO MATCH TRIM	



16 NORTH ELEVATION - BUILDING C2, C3 / SOUTH ELEVATION C1
1/8" = 1'-0"

Type Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS		Type Comments
							U FACTOR	SHGC	
B	2'-8"	3'-0"	AWNING - SINGLE	PlyGem Windows and Doors	2-BW 3-0H	CLAY	0.30	0.42	Grid Pattern As Shown
E	5'-0"	6'-0"	SINGLE-HUNG - DOUBLE	PlyGem Windows and Doors	2-BW TWIN 6-0H	CLAY	0.30	0.42	Grid Pattern As Shown
F	6'-0"	6'-0"	SINGLE-HUNG - DOUBLE	PlyGem Windows and Doors	2-0W TWIN 6-0H	CLAY	0.30	0.42	Grid Pattern As Shown
G	9'-0"	6'-0"	Vinyl Single Hung - Triple	PlyGem Windows and Doors	3-0W TRIPLE 6-0H	CLAY	0.30	0.42	Grid Pattern As Shown
K	6'-0"	6'-8"	2-Panel Sliding Patio Door	PlyGem Windows and Doors	6-0W 6-8H	CLAY			No Grids



JLA
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MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 17-0302



1 GLENN PLACE:
STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

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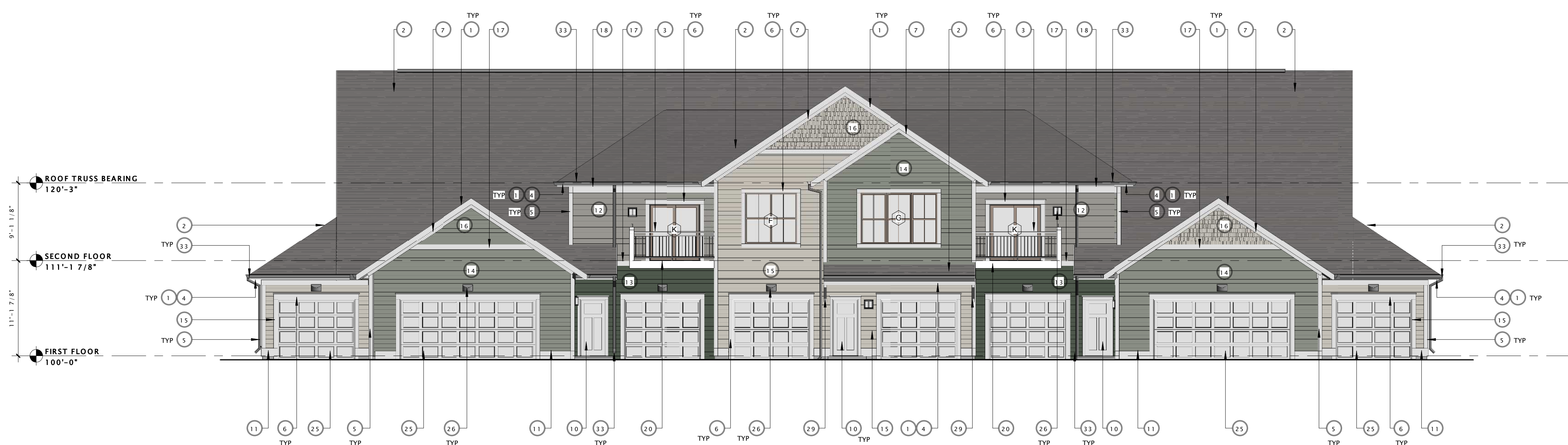
DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**EXTERIOR ELEVATIONS
- BUILDING C**

SHEET NUMBER

A201-C



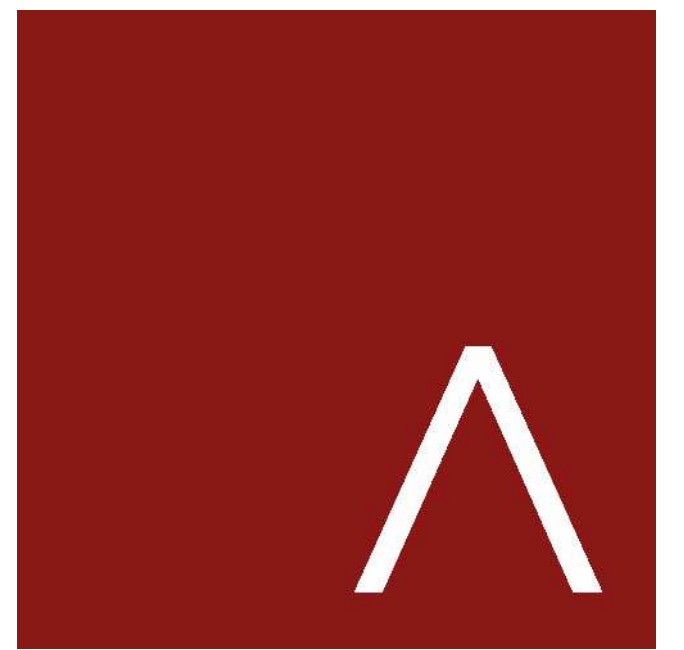
6 EAST ELEVATION - BUILDING C2, C3 / WEST ELEVATION C1
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES	
1	FASCIA	ROLLE	REFINISHED ALUMINUM	SEE PLANS	MATCH VINYL TRIM	OR APPROVED EQUAL	
2	ROOFING / SHINGLES	CERTAINTED - LANDMARK DESIGNER	ARCHITECTURAL	SEE PLANS	MISSION BROWN		
3	RAILINGS	KANE STERLING	CLASSIC SERIES	SEE PLANS	WHITE		
4	SOFFIT	CERTAINTED	REFINISHED VINYL	SEE PLANS	MATCH FASCIA		
5	CORNER TRIM	CERTAINTED	VINYL CORNERPOST	4"	COLONIAL WHITE		
6	DOOR / WINDOW TRIM	CERTAINTED	VINYL LINEAL SYSTEM	6"	COLONIAL WHITE		
7	FRIEZE TRIM	CERTAINTED	VINYL TRIM	1"x6"	COLONIAL WHITE		
8	PRECAST CONCRETE SILL - PROFILE #3	PRairie STONE	SMOOTH FACE	SEE PRECAST PROFILES	CRIS		
9	MASONRY #1	GLEN CRY BRICK		UTILITY SIZE	SMOKEY QUARTZ	COLORLED MORTAR TO MATCH BRICK	
10	ENTRY DOOR	THERMA-TRU	SEE DOOR SCHEDULE	SEE PLANS	PAINTED TO MATCH TRIM		
11	SKIRT BOARD		PRESSURE TREATED LUMBER	1X12	PAINTED TO MATCH TRIM		
12	HORIZONTAL SIDING #1	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 5"	CELANITE GRAY		
13	HORIZONTAL SIDING #2	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	FOREST		
14	HORIZONTAL SIDING #3	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	SEAGRASS		
15	HORIZONTAL SIDING #4	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	DESERT TAN		
16	SHAKE SIDING	CERTAINTED - CEDAR IMPRESSIONS	STAGGERED EDGE	0.7	DESERT TAN		
17	TRIM #1	CERTAINTED	SMOOTH	8"	COLONIAL WHITE		
18	TRIM #2	CERTAINTED	SMOOTH	10"	COLONIAL WHITE		
19	PRECAST CONCRETE BAND - PROFILE #6	PRairie STONE	SMOOTH FACE	SEE PLANS	CRIS		
20	BALCONY / DECK	TANAKO EVERGRAIN	COMPOSITE	1x6	TBD		
25	OVERHEAD GARAGE DOOR	WAYNE DALTON	8100 SERIES, COLONIAL PANEL	SEE DOOR SCHEDULE	PAINTED TO MATCH TRIM	INSULATED	
26	EXTERIOR LIGHT	TBD	PER OWNER'S SPECIFICATIONS	SEE PLAN	TBD		
29	DECORATIVE BRACKET	TBD	SEE ELEVATIONS	SEE ELEVATIONS	MATCH VINYL TRIM		
33	CUTTER & DOWNSPOUT	TBD	TBD	SEE PLANS & SPECIFICATIONS	TO MATCH TRIM		



16 SOUTH ELEVATION - BUILDING C2, C3 / NORTH ELEVATION C1
1/8" = 1'-0"

WINDOW SCHEDULE									
Type Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS		Type Comments
							U FACTOR	SHGC	
B	2'-8"	3'-0"	AWNING - SINGLE	PlyGem Windows and Doors	2-BW 3-OH	CLAY	0.30	0.42	Grid Pattern As Shown
E	5'-0"	6'-0"	SINGLE-HUNG - DOUBLE	PlyGem Windows and Doors	2-BW TWIN 6-OH	CLAY	0.30	0.42	Grid Pattern As Shown
F	6'-0"	6'-0"	SINGLE-HUNG - DOUBLE	PlyGem Windows and Doors	3-OW TWIN 6-OH	CLAY	0.30	0.42	Grid Pattern As Shown
G	9'-0"	6'-0"	Vinyl Single Hung - Triple	PlyGem Windows and Doors	3-OW TRIPLE 6-OH	CLAY	0.30	0.42	Grid Pattern As Shown
K	6'-0"	6'-8"	2-Panel Sliding Patio Door	PlyGem Windows and Doors	6-OW 6-8H	CLAY			No Grids



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ARCHITECTS

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 17-0302



**1 GLENN PLACE:
STACKED FLATS**

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

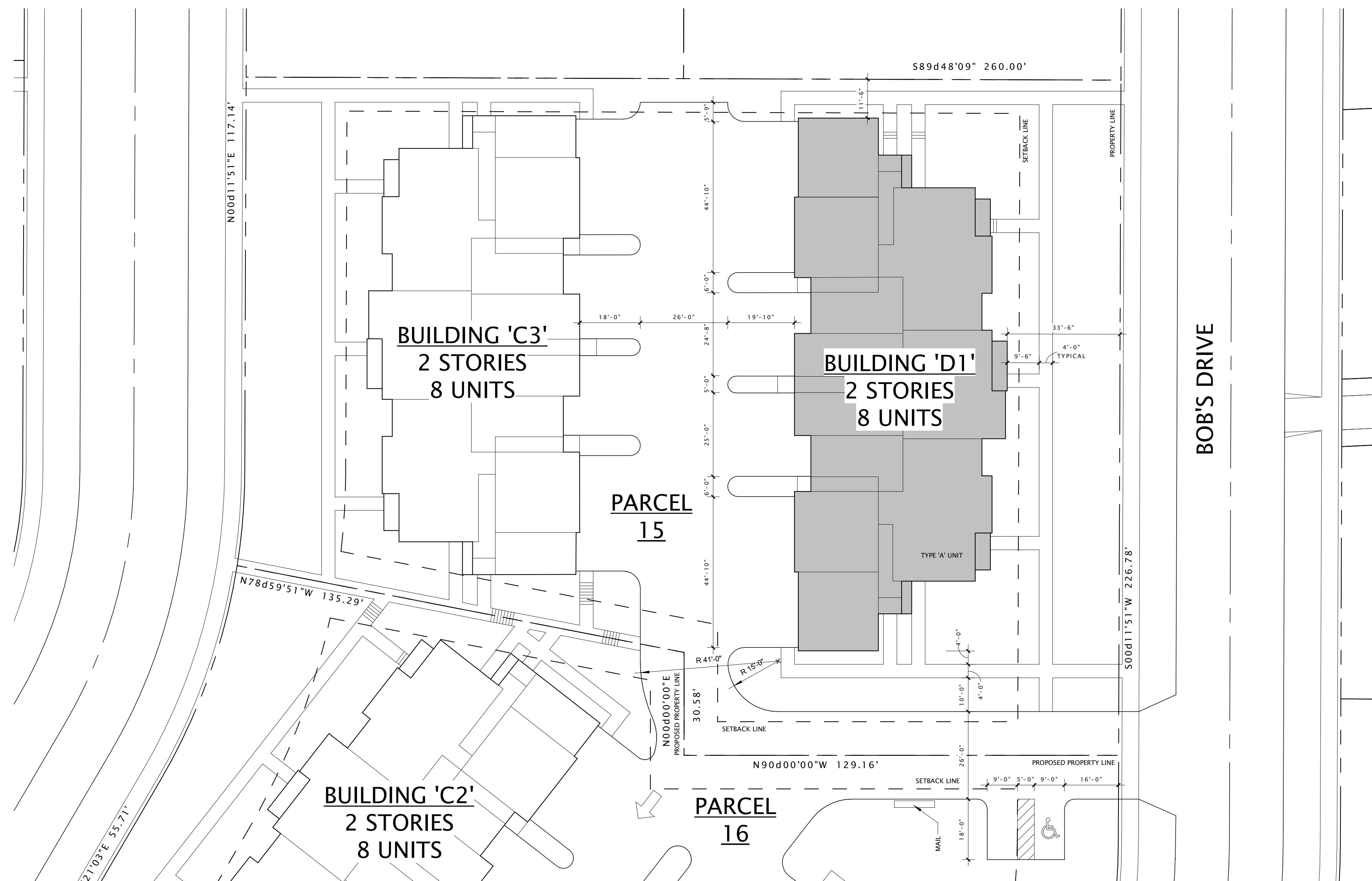
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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
ARCHITECTURAL SITE PLAN - BUILDING D1 - ENLARGED

SHEET NUMBER
ASP-101-D1

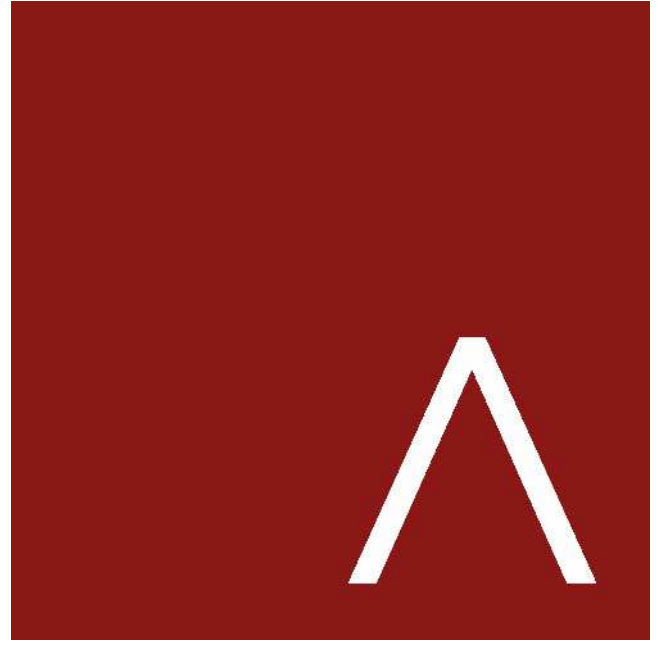


17 ARCHITECTURAL SITE PLAN - BUILDING D1 - ENLARGED
1" = 20'-0"

11/18/2017 2:21:49 PM

November 7, 2017

BUILDINGS C1, C2, & C3 (BUILDING DATA - STACKED FLATS)																							
	UNIT 102 - 1 BR+		UNIT 202 - 1 BR+		UNIT 204 - 1 BR+		UNIT 205 - 1 BR+		UNIT 101 - 2 BR		UNIT 103 - 2 BR		UNIT 201 - 2 BR		UNIT 203 - 2 BR		Unit Totals	Common Utility Space	Building Totals				
	FC1		FC4		FC3		FC2		FD1		FD1M		FD2		FD2M				Area	Efficiency			
	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area							
Second Floor	-	-	-	899	-	853	-	843	-	-	-	-	-	1,127	-	1,127	-	-	-	-	4,849	n/a	
First Floor - Living	-	900	-	114	-	90	-	90	-	1,121	-	1,121	-	111	-	111	-	-	-	-	3,658	n/a	
Living Space Totals	-	900	-	1,013	-	943	-	933	-	1,121	-	1,121	-	1,238	-	1,238	-	8,507	-	-	8,507	n/a	
First Floor - Garage	-	407	-	407	-	375	-	375	-	581	-	581	-	299	-	299	-	3,324	74	-	3,398	n/a	
Building Totals	1	1,307	1	1,420	1	1,318	1	1,308	1	1,702	1	1,702	1	1,537	1	1,537	8	11,831	74	11,905	71.9%		
Unit Breakdown	12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		100%				1,488 average s.f. per unit		
	1 Bedroom + Den:				50.0%				2 Bedroom:				50.0%				100%					1,063 average s.f. per unit living space	



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1 GLENN PLACE:
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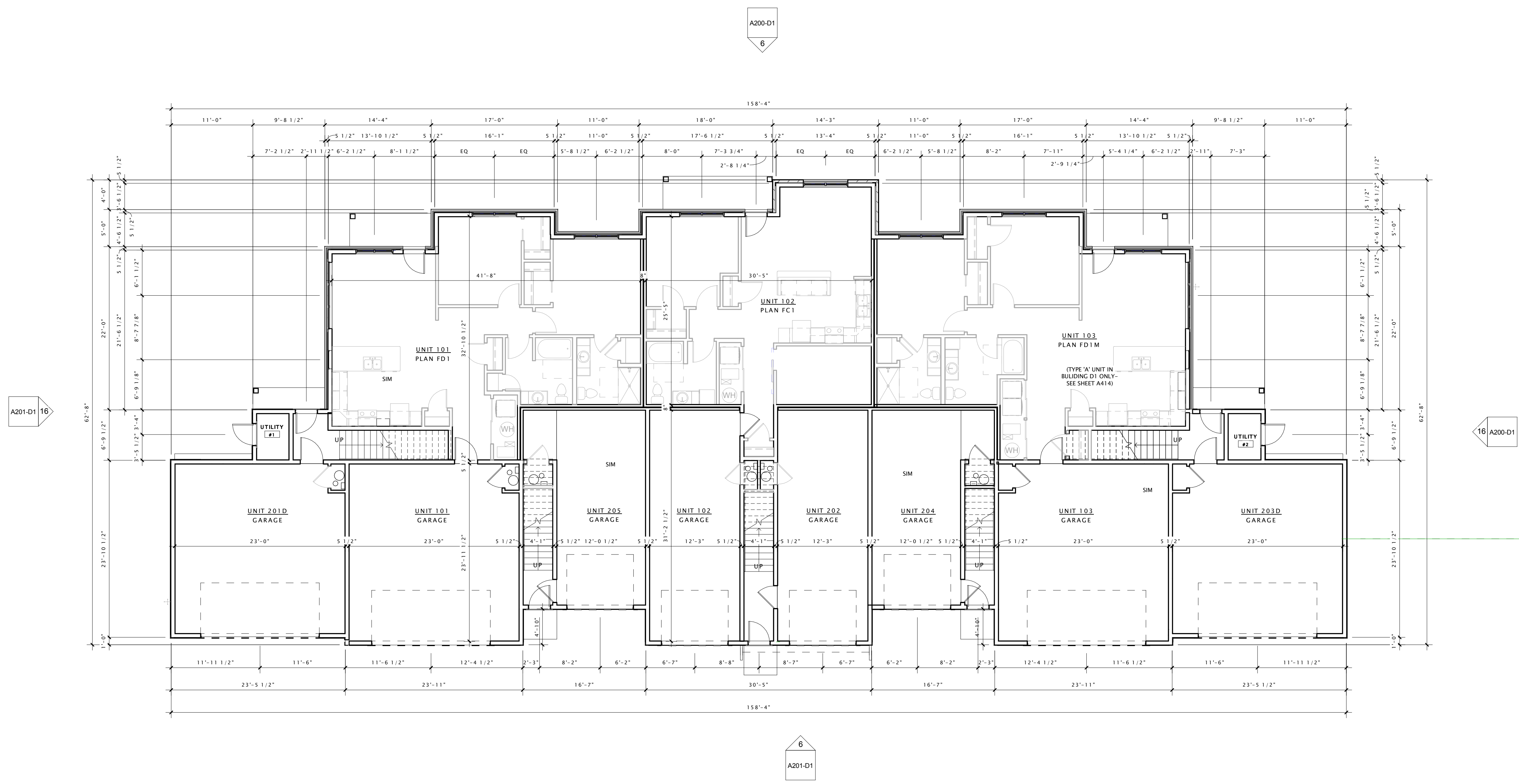
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

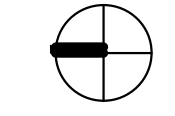
FIRST FLOOR PLAN -
BUILDING D1

SHEET NUMBER

A101-D1

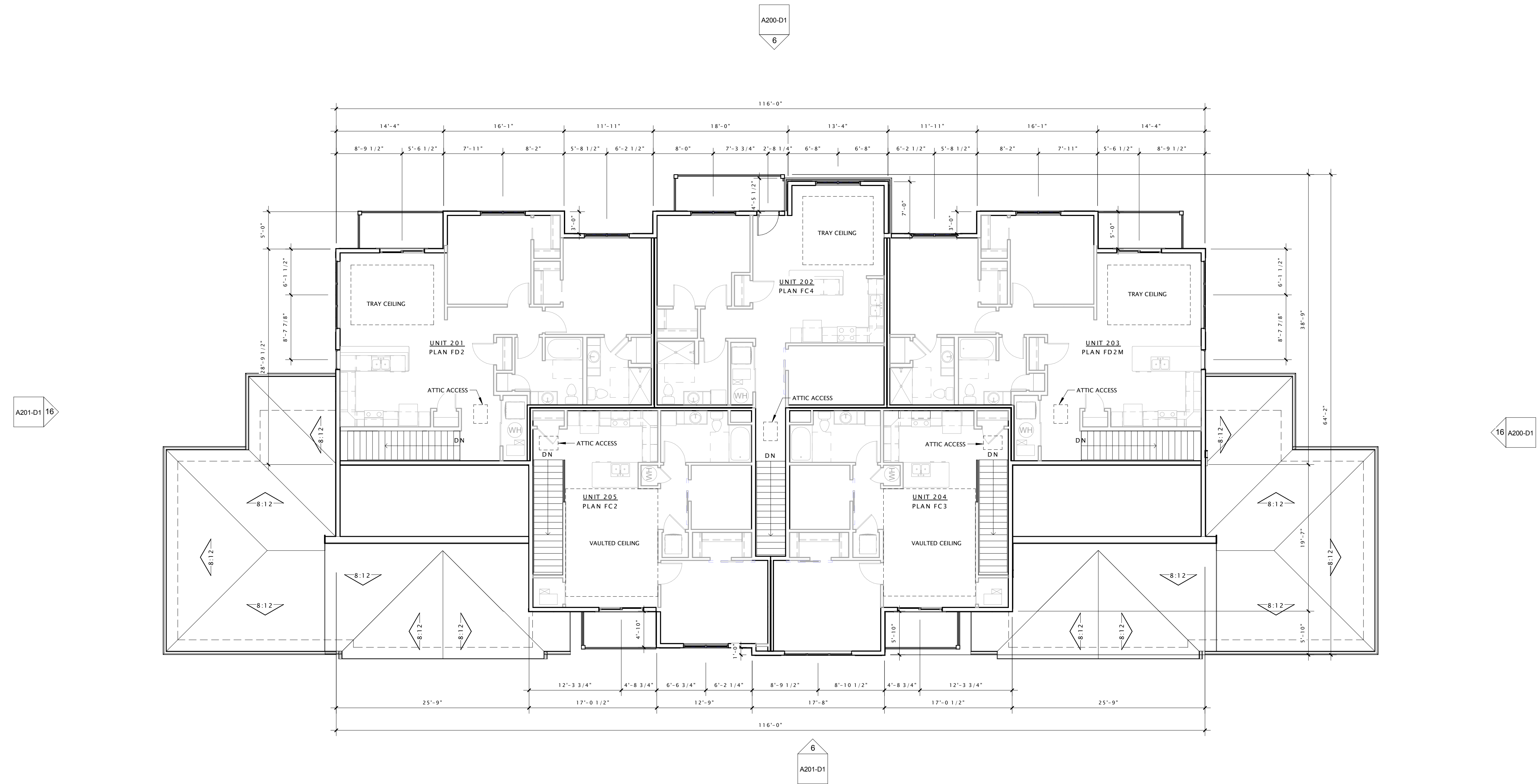


NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.

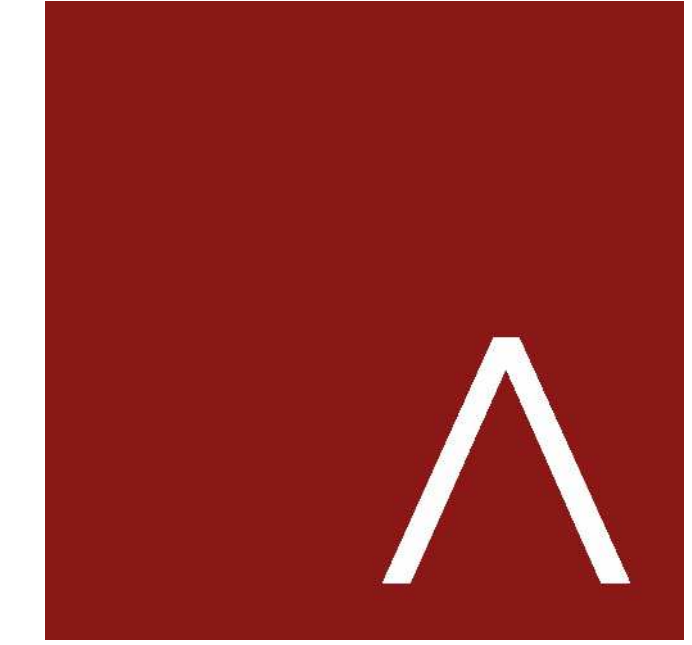


November 7, 2017

BUILDINGS C1, C2, & C3 (BUILDING DATA - STACKED FLATS)																						
	UNIT 102 - 1 BR+ FC1		UNIT 202 - 1 BR+ FC4		UNIT 204 - 1 BR+ FC3		UNIT 205 - 1 BR+ FC2		UNIT 101 - 2 BR FD1		UNIT 103 - 2 BR FD1M		UNIT 201 - 2 BR FD2		UNIT 203 - 2 BR FD2M		Unit Totals		Common Utility Space	Building Totals		
	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area				Area	Efficiency	
	Second Floor	-	-	-	899	-	853	-	843	-	-	-	-	-	1,127	-	1,127	-	-	-	-	4,849
First Floor - Living	-	900	-	114	-	90	-	90	-	1,121	-	1,121	-	111	-	111	-	-	-	-	3,658	n/a
Living Space Totals	-	900	-	1,013	-	943	-	933	-	1,121	-	1,121	-	1,238	-	1,238	-	-	-	-	8,507	n/a
First Floor - Garage	-	407	-	407	-	375	-	375	-	581	-	581	-	299	-	299	-	-	-	-	3,398	n/a
Building Totals	1	1,307	1	1,420	1	1,318	1	1,308	1	1,702	1	1,702	1	1,537	1	1,537	8	11,831	74	11,905	71.9%	
Unit Breakdown	12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		100%				1,488 average s.f. per unit	1,063 average s.f. per unit living space



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.



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**1 GLENN PLACE:
STACKED FLATS**

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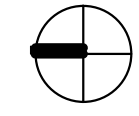
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SHEET TITLE

**SECOND FLOOR PLAN
- BUILDING D1**

SHEET NUMBER

A102-D1



ROOF NOTES

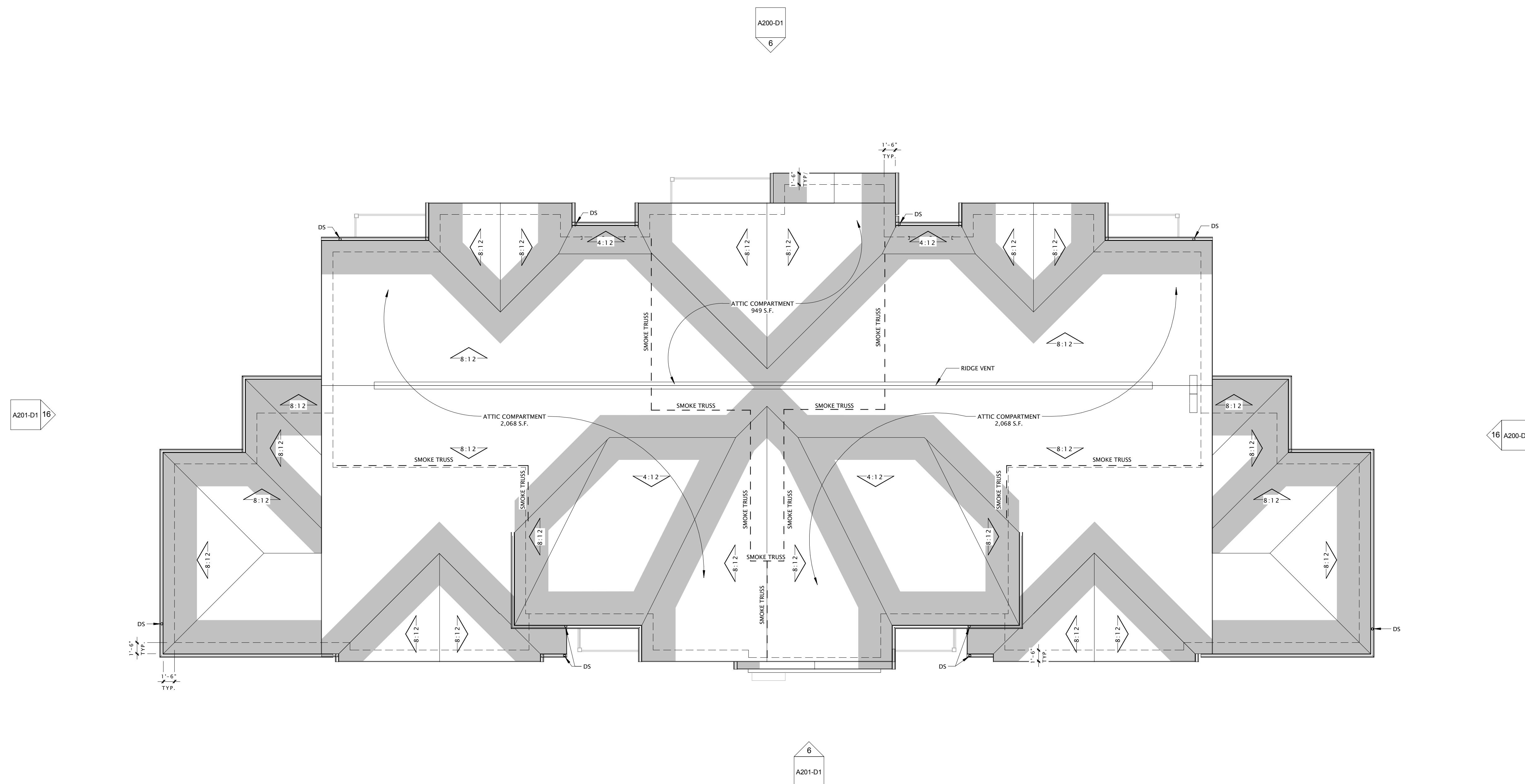
- 1) ALL ROOF SLOPES SHALL BE 8:12, UNLESS NOTED OTHERWISE.
- 2) TYPICAL EAVE OVERHANG = 1'-6"
TYPICAL RAKE OVERHANG = 1'-6"
(UNLESS NOTED OTHERWISE)
- 3) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):

ALL EAVES:
RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.

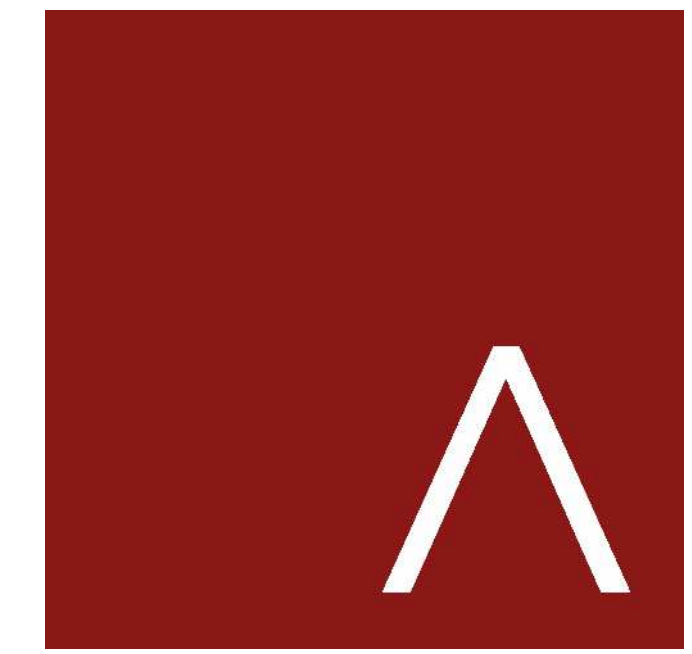
ALL VALLEYS:
RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY.
INSTALL UNDER METAL FLASHINGS AT VALLEYS.

ALL ROOF TO WALL INTERSECTIONS:
RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL
RUN 1'-6" (MIN.) VERTICALLY UP FACE OF WALL.

ALL ROOF PENETRATIONS:
RUN 3'-0" (MIN.) FROM PENETRATIONS
- 4) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFIT AND ALL PENETRATIONS SHALL BE CAULKED.
SEE 5/A104 FOR ADDITIONAL INFORMATION.
- 5) ALL OPENINGS IN ATTIC DRAFTSTOPPING SHALL BE PROTECTED WITH SELF-CLOSING DOORS. FRAMING CONTRACTOR SHALL LABEL DOORS/ COMPARTMENTS WITH NUMBERS.
- 6) INSTALL ROOF/ATTIC VENTING TO PROVIDE 15F OF VENT AREA PER 300 SF OF ATTIC AREA. HALF OF THE REQUIRED VENTING SHALL OCCUR AT RIDGE AND HALF SHALL OCCUR AT EAVE. PROVIDE 'CAN' VENTS ONLY WHEN NECESSARY. ROOFING CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTING PRIOR TO INSTALLATION.
- 7) ROOF DRAINS / OVERFLOW DRAINS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN / BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF / OVERFLOW DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE (1/4" PER FOOT) AND WITH UNIT PLANS TO DETERMINE THE VERTICAL DRAINPATH.
- 8) PROVIDE 220V OUTLETS AT ALL EAVES AS NECESSARY FOR HEAT TAPE. PROVIDE 110V AT ENTRY CANOPY.
- 9) PROVIDE METAL FLASHING AT ALL VALLEYS AND ALL ROOF/WALL INTERSECTIONS.
- 10) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 11) ALL VENT CAPS SHALL BE PREFINISHED METAL TO MATCH ROOF COLOR.
- 12) ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN/VENT IF VENT RUN EXCEEDS 25'-0".
- 13) PROVIDE 5" 'K' STYLE OR 'OC' STYLE PREFINISHED ALUMINUM RAIN GUTTERS AND 3"x4" CORRUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. DOWNSPOUT LOCATION AND QUANTITY TO BE DETERMINED BY DESIGN / BUILD ROOFING CONTRACTOR. LOCATION OF DOWNSPOUTS TO BE DETERMINED IN THE FIELD BY GENERAL CONTRACTOR AND DESIGN / BUILD PLUMBING CONTRACTOR.
- 14) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.
- 15) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.



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STACKED FLATS**

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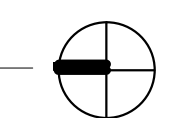
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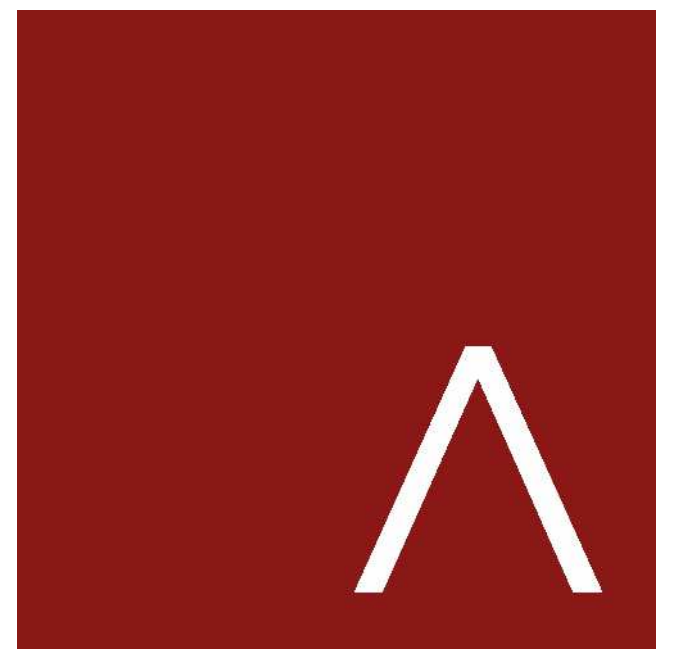
SHEET TITLE

**ROOF PLAN -
BUILDING D1**

SHEET NUMBER

A109-D1





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ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER:17-0302



1 GLENN PLACE:
STACKED FLATS

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Mark	Description	Date

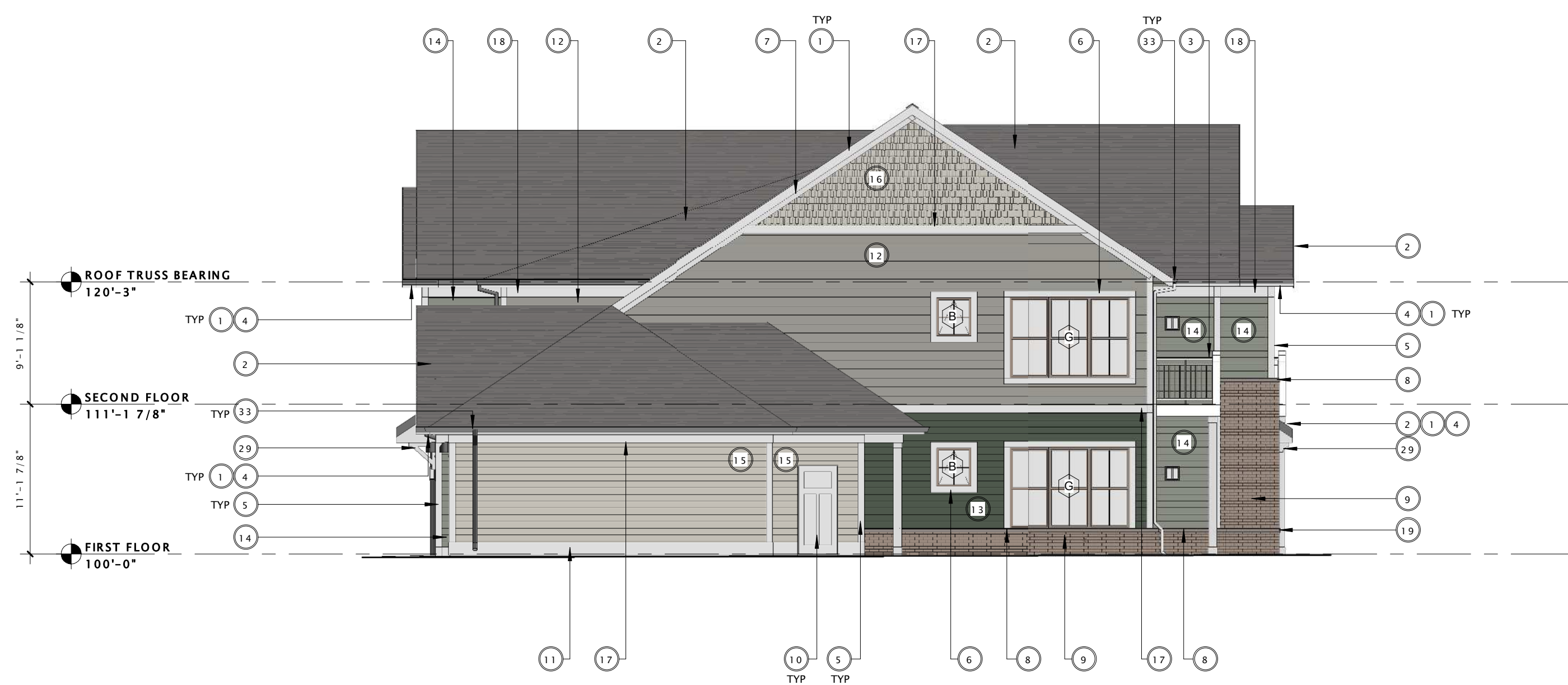
SHEET TITLE
**EXTERIOR ELEVATIONS
- BUILDING D1**

SHEET NUMBER
A200-D1



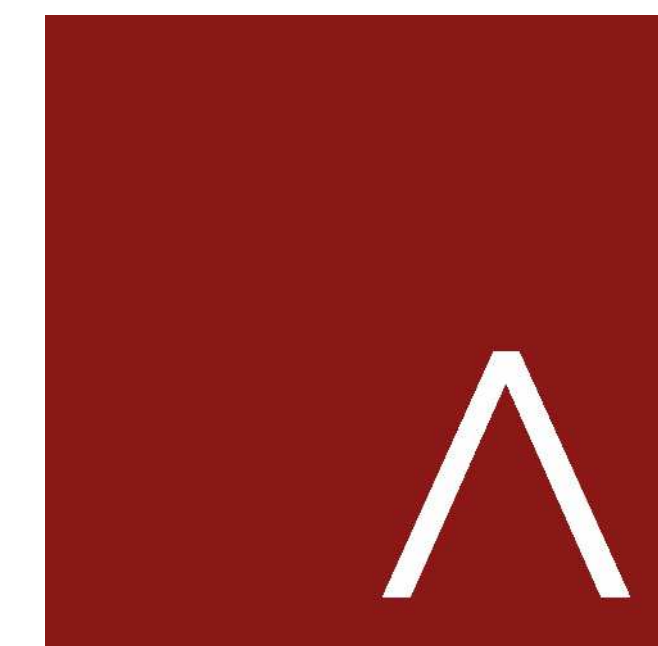
6 EAST ELEVATION - BUILDING D1
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES	
1	FASCIA	ROLLE	PREFINISHED ALUMINUM	SEE PLANS	MATCH VINYL TRIM	OR APPROVED EQUAL	
2	ROOFING / SHINGLES	CERTAINTED - LANDMARK DESIGNER	ARCHITECTURAL	SEE PLANS	MISSION BROWN		
3	RAILINGS	KANE STERLING	CLASSIC SERIES	SEE PLANS	WHITE		
4	SOFFIT	CERTAINTED	PREFINISHED VENTED	SEE PLANS	MATCH FASCIA		
5	CORNER TRIM	CERTAINTED	VINYL CORNERPOST	4"	COLONIAL WHITE		
6	DOOR / WINDOW TRIM	CERTAINTED	VINYL LINEAL SYSTEM	6"	COLONIAL WHITE		
7	FRIEZE TRIM	CERTAINTED	VINYL TRIM	1 1/2"	COLONIAL WHITE		
8	PRECAST CONCRETE SILL - PROFILE #3	PRARIE STONE	SMOOTH FACE	SEE PRECAST PROFILES	GRIS		
9	MASONRY #1	GLEN CERY BRICK		UTILITY SIZE	SMOKEY QUARTZ	COLORED MORTAR TO MATCH BRICK	
10	ENTRY DOOR	THERMA-TRU	SEE DOOR SCHEDULE	SEE PLANS	PAINTED TO MATCH TRIM		
11	SHIRT BOARD		PRESSURE TREATED LUMBER	1X12	PAINTED TO MATCH TRIM		
12	HORIZONTAL SIDING #1	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 5"	GRANITE GRAY		
13	HORIZONTAL SIDING #2	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	FOREST		
14	HORIZONTAL SIDING #3	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	SEAGRASS		
15	HORIZONTAL SIDING #4	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	DESERT TAN		
16	SHAKE SIDING	CERTAINTED - CEDAR IMPRESSIONS	STAGGERED EDGE	D7	DESERT TAN		
17	TRIM #1	CERTAINTED	SMOOTH	8"	COLONIAL WHITE		
18	TRIM #2	CERTAINTED	SMOOTH	10"	COLONIAL WHITE		
19	PRECAST CONCRETE BAND - PROFILE #6		SMOOTH FACE	SEE PLANS	CWS		
20	BALCONY / DECK	TAMKO EVERGRAIN	COMPOSITE	1X6	TBD		
25	OVERHEAD GARAGE DOOR	WAYNE DALTON	8100 SERIES, COLONIAL PANEL	SEE DOOR SCHEDULE	PAINTED TO MATCH TRIM	INSULATED	
26	EXTERIOR LIGHT	TBD	PER OWNER'S SPECIFICATIONS	SEE PLAN	TBD		
29	DECORATIVE BRACKET	TBD	SEE ELEVATIONS	SEE ELEVATIONS	MATCH VINYL TRIM		
33	GUTTER & DOWNSPOUT	TBD	TBD	SEE PLANS & SPECIFICATIONS	TO MATCH TRIM		



16 SOUTH ELEVATION - BUILDING D1
1/8" = 1'-0"

WINDOW SCHEDULE									
Type Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS		Type Comments
							U FACTOR	SHGC	
B	2'-8"	3'-0"	AWNING - SINGLE	PlyCem Windows and Doors	2-BW 3-0H	CLAY	0.30	0.42	Grid Pattern As Shown
E	5'-0"	6'-0"	SINGLE-HUNG - DOUBLE	PlyCem Windows and Doors	2-SW TWIN 6-0H	CLAY	0.30	0.42	Grid Pattern As Shown
F	6'-0"	6'-0"	SINGLE-HUNG - DOUBLE	PlyCem Windows and Doors	3-OW TWIN 6-0H	CLAY	0.30	0.42	Grid Pattern As Shown
G	9'-0"	6'-0"	Vinyl Single Hung - Triple	PlyCem Windows and Doors	3-OW TRIPLE 6-0H	CLAY	0.30	0.42	Grid Pattern As Shown
K	6'-0"	6'-8"	2-Panel Sliding Patio Door	PlyCem Windows and Doors	6-OW 6-8H	CLAY			No Grids



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1 GLENN PLACE:
STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

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DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- BUILDING D1

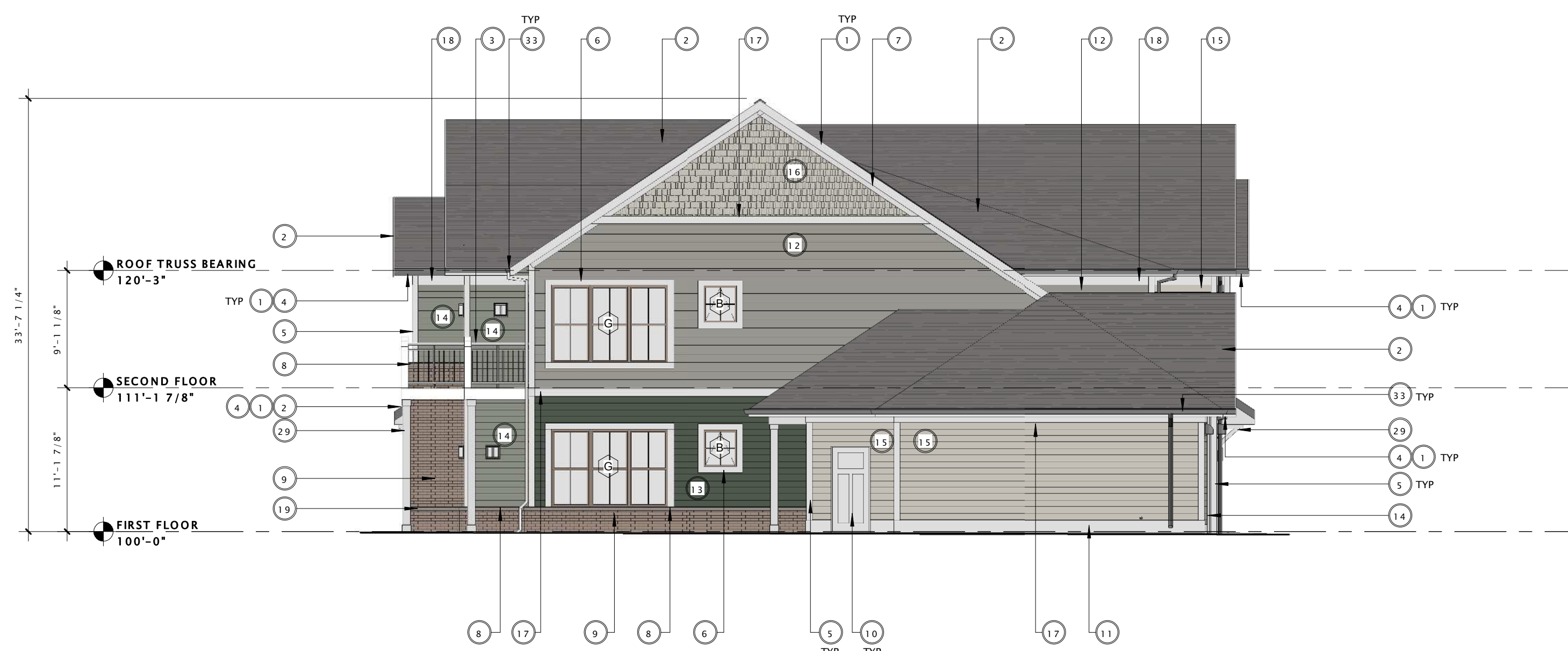
SHEET NUMBER

A201-D1



6 WEST ELEVATION - BUILDING D1
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES	
1	FASCIA	ROLLE	FINISHED ALUMINUM	SEE PLANS	MATCH VINYL TRIM	OR APPROVED EQUAL	
2	ROOFING / SHINGLES	CERTAINTED - LANDMARK DESIGNER	ARCHITECTURAL	SEE PLANS	MISSION BROWN		
3	RAILINGS	KANE STERLING	CLASSIC SERIES	SEE PLANS	WHITE		
4	SOFFIT	CERTAINTED	PREFINISHED VENTED	SEE PLANS	MATCH FASCIA		
5	CORNER TRIM	CERTAINTED	VINYL CORNERPOST	4"	COLONIAL WHITE		
6	DOOR / WINDOW TRIM	CERTAINTED	VINYL LINEAL SYSTEM	6"	COLONIAL WHITE		
7	FREEZE TRIM	CERTAINTED	VINYL TRIM	1"x6"	COLONIAL WHITE		
8	PRECAST CONCRETE SILL - PROFILE #3	PRAIRIE STONE	SMOOTH FACE	SEE PRECAST PROFILES	GRIS		
9	MASONRY #1	GLEN GERY BRICK	UTILITY SIZE	UTILITY SIZE	SMOKEY QUARTZ	COLORED MORTAR TO MATCH BRICK	
10	ENTRY DOOR	THERMA-TRU	SEE DOOR SCHEDULE	SEE PLANS	PAINTED TO MATCH TRIM		
11	SKIRT BOARD		PRESSURE TREATED LUMBER	1"x12	PAINTED TO MATCH TRIM		
12	HORIZONTAL SIDING #1	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 5"	GRANITE GRAY		
13	HORIZONTAL SIDING #2	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	FOREST		
14	HORIZONTAL SIDING #3	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	SEAGRASS		
15	HORIZONTAL SIDING #4	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	DESERT TAN		
16	SHAKE SIDING	CERTAINTED - CEDAR IMPRESSIONS	STAGGERED EDGE	D7	DESERT TAN		
17	TRIM #1	CERTAINTED	SMOOTH	8"	COLONIAL WHITE		
18	TRIM #2	CERTAINTED	SMOOTH	10"	COLONIAL WHITE		
19	PRECAST CONCRETE BAND - PROFILE #6	PRAIRIE STONE	SMOOTH FACE	SEE PLANS	GRIS		
20	BALCONY / DECK	TAMKO EVERGRAIN	COMPOSITE	1"x6	TBD		
25	OVERHEAD GARAGE DOOR	WAYNE DALTON	8100 SERIES, COLONIAL PANEL	SEE DOOR SCHEDULE	PAINTED TO MATCH TRIM	INSULATED	
26	EXTERIOR LIGHT	TBD	PER OWNER'S SPECIFICATIONS	SEE PLAN	TBD		
28	DECORATIVE BRACKET	TBD	SEE ELEVATIONS	SEE ELEVATIONS	MATCH VINYL TRIM		
33	GUTTER & DOWNSPOUT	TBD	TBD	SEE PLANS & SPECIFICATIONS	TO MATCH TRIM		



16 NORTH ELEVATION - BUILDING D1
1/8" = 1'-0"

WINDOW SCHEDULE									
Type Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS		Type Comments
							U FACTOR	SHGC	
B	2'-8"	3'-0"	AWNING - SINGLE	PlyGem Windows and Doors	2-RW 3-OH	CLAY	0.30	0.42	Grid Pattern As Shown
E	5'-0"	6'-0"	SINGLE-HUNG - DOUBLE	PlyGem Windows and Doors	2-OW TWIN 6-OH	CLAY	0.30	0.42	Grid Pattern As Shown
F	6'-0"	6'-0"	SINGLE-HUNG - DOUBLE	PlyGem Windows and Doors	3-OW TWIN 6-OH	CLAY	0.30	0.42	Grid Pattern As Shown
G	9'-0"	6'-0"	Vinyl Single Hung - Triple	PlyGem Windows and Doors	3-OW TRIPLE 6-OH	CLAY	0.30	0.42	Grid Pattern As Shown
K	6'-0"	6'-8"	2-Panel Sliding Patio Door	PlyGem Windows and Doors	6-OW 6-BH	CLAY			No Grids

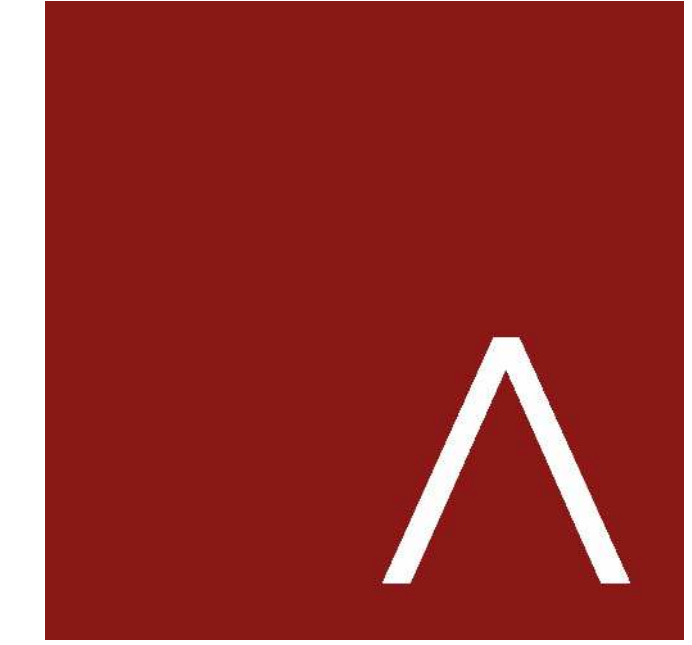
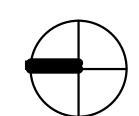
November 7, 2017

Buildings C1, C2, & C3 BUILDING DATA - STACKED FLATS

	UNIT 102 - 1 BR+ FC1		UNIT 202 - 1 BR+ FC4		UNIT 204 - 1 BR+ FC3		UNIT 205 - 1 BR+ FC2		UNIT 101 - 2 BR FD1		UNIT 103 - 2 BR FD1M		UNIT 201 - 2 BR FD2		UNIT 203 - 2 BR FD2M		Unit Totals	Common Utility Space	Building Totals		
	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area			Area	Efficiency	
	Second Floor	-	-	-	899	-	853	-	843	-	-	-	-	-	1,127	-			1,127	-	-
First Floor - Living	-	900	-	114	-	90	-	90	-	1,121	-	1,121	-	111	-	-	-	-	-	3,658	n/a
Living Space Totals	-	900	-	1,013	-	943	-	933	-	1,121	-	1,121	-	1,238	-	1,238	-	-	-	8,507	n/a
First Floor - Garage	-	407	-	407	-	375	-	375	-	581	-	581	-	299	-	299	-	-	-	3,324	74
Building Totals	1	1,307	1	1,420	1	1,318	1	1,308	1	1,702	1	1,702	1	1,537	1	1,537	8	11,831	74	11,905	71.9%
Unit Breakdown	12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		100%			1,488 average s.f. per unit	
	1 Bedroom + Den:						50.0%		2 Bedroom:						50.0%		100%			1,063 average s.f. per unit living space	



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.



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MADISON : MILWAUKEE
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**1 GLENN PLACE:
STACKED FLATS**

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

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DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

**FIRST FLOOR PLAN -
BUILDING D2**

SHEET NUMBER

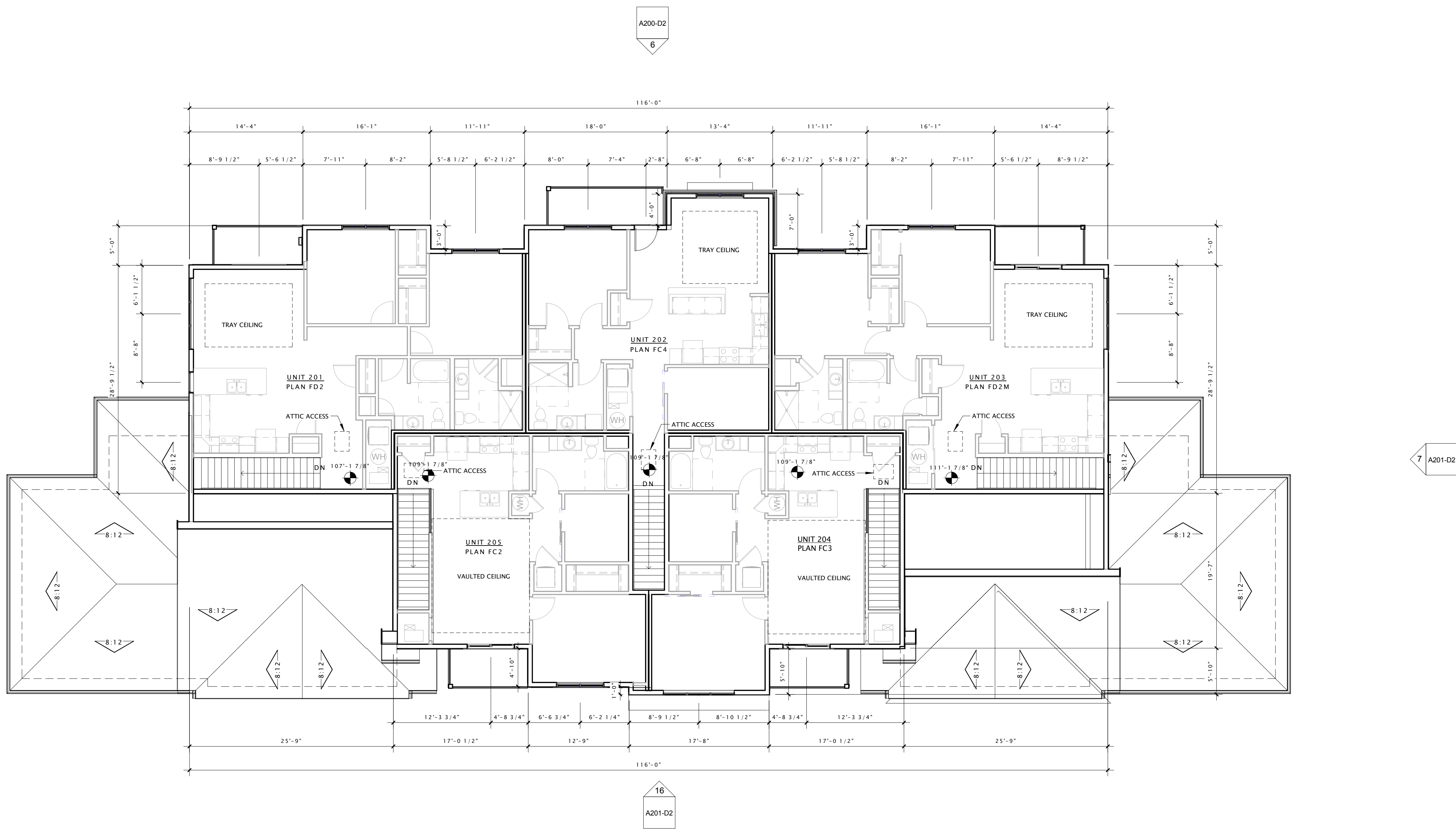
A101-D2

11/18/2017 2:26:16 PM

November 7, 2017

Buildings C1, C2, & C3 (BUILDING DATA - STACKED FLATS)

	UNIT 102 - 1 BR+ FC1		UNIT 202 - 1 BR+ FC4		UNIT 204 - 1 BR+ FC3		UNIT 205 - 1 BR+ FC2		UNIT 101 - 2 BR FD1		UNIT 103 - 2 BR FD1M		UNIT 201 - 2 BR FD2		UNIT 203 - 2 BR FD2M		Unit Totals	Common Utility Space	Building Totals		
	1,307 TOTAL S.F.		1,420 TOTAL S.F.		1,318 TOTAL S.F.		1,308 TOTAL S.F.		1,702 TOTAL S.F.		1,702 TOTAL S.F.		1,537 TOTAL S.F.		1,537 TOTAL S.F.				Area	Efficiency	
	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area	Qty.	Area					
Second Floor	-	-	-	899	-	853	-	843	-	-	-	-	-	1,127	-	1,127	-	-	-	4,849	n/a
First Floor - Living	-	900	-	114	-	90	-	90	-	1,121	-	1,121	-	111	-	111	-	-	-	3,658	n/a
Living Space Totals	-	900	-	1,013	-	943	-	933	-	1,121	-	1,121	-	1,238	-	1,238	-	8,507	-	8,507	n/a
First Floor - Garage	-	407	-	407	-	375	-	375	-	581	-	581	-	299	-	299	-	3,324	74	3,398	n/a
Building Totals	1	1,307	1	1,420	1	1,318	1	1,308	1	1,702	1	1,702	1	1,537	1	1,537	8	11,831	74	11,905	71.9%
Unit Breakdown	12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		12.5%		100%			1,488 average s.f. per unit	
	1 Bedroom + Den:				50.0%				2 Bedroom:				50.0%				100%			1,063 average s.f. per unit living space	



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.



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JLA PROJECT NUMBER: 17-0302



**1 GLENN PLACE:
STACKED FLATS**

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

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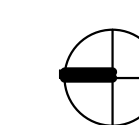
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**SECOND FLOOR PLAN
- BUILDING D2**

SHEET NUMBER

A102-D2



ROOF NOTES

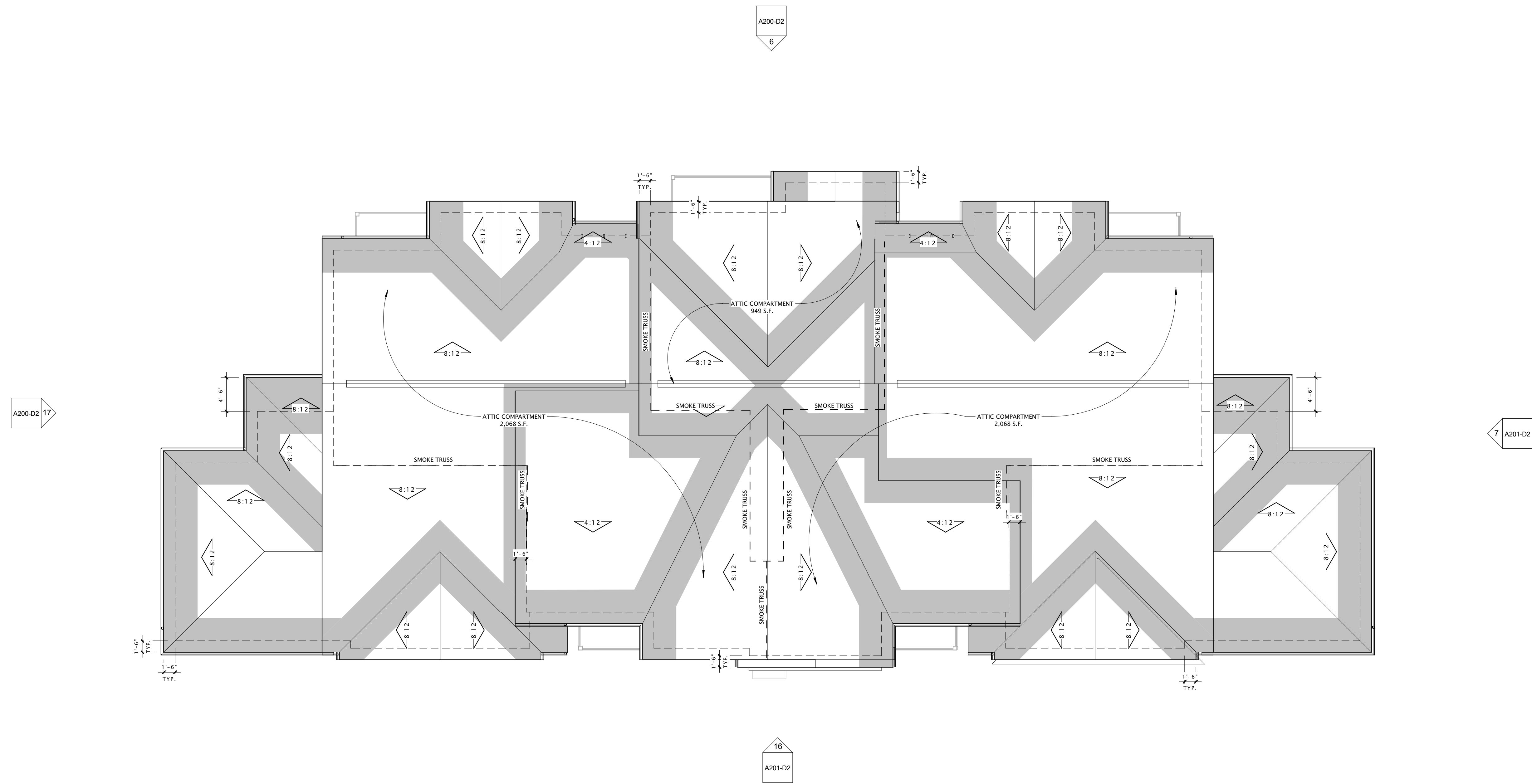
- 1) ALL ROOF SLOPES SHALL BE 8:12, UNLESS NOTED OTHERWISE.
- 2) TYPICAL EAVE OVERHANG = 1'-6"
TYPICAL RAKE OVERHANG = 1'-6"
(UNLESS NOTED OTHERWISE)
- 3) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):

ALL EAVES:
RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.

ALL VALLEYS:
RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY.
INSTALL UNDER METAL FLASHINGS AT VALLEYS.

ALL ROOF TO WALL INTERSECTIONS:
RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL
RUN 1'-6" (MIN.) VERTICALLY UP FACE OF WALL.

ALL ROOF PENETRATIONS:
RUN 3'-0" (MIN.) FROM PENETRATIONS
- 4) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFIT AND ALL PENETRATIONS SHALL BE CAULKED.
SEE 5/A104 FOR ADDITIONAL INFORMATION.
- 5) ALL OPENINGS IN ATTIC DRAFTSTOPPING SHALL BE PROTECTED WITH SELF-CLOSING DOORS. FRAMING CONTRACTOR SHALL LABEL DOORS/ COMPARTMENTS WITH NUMBERS.
- 6) INSTALL ROOF/ATTIC VENTING TO PROVIDE 15F OF VENT AREA PER 300 SF OF ATTIC AREA. HALF OF THE REQUIRED VENTING SHALL OCCUR AT RIDGE AND HALF SHALL OCCUR AT EAVE. PROVIDE 'CAN' VENTS ONLY WHEN NECESSARY. ROOFING CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTING PRIOR TO INSTALLATION.
- 7) ROOF DRAINS / OVERFLOW DRAINS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF / OVERFLOW DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE (1/4" PER FOOT) AND WITH UNIT PLANS TO DETERMINE THE VERTICAL DRAINPATH.
- 8) PROVIDE 220V OUTLETS AT ALL EAVES AS NECESSARY FOR HEAT TAPE. PROVIDE 110V AT ENTRY CANOPY.
- 9) PROVIDE METAL FLASHING AT ALL VALLEYS AND ALL ROOF/WALL INTERSECTIONS.
- 10) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 11) ALL VENT CAPS SHALL BE PREFINISHED METAL TO MATCH ROOF COLOR.
- 12) ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN/VENT IF VENT RUN EXCEEDS 25'-0".
- 13) PROVIDE 5" "K" STYLE OR "OG" STYLE PREFINISHED ALUMINUM RAIN GUTTERS AND 3"x4" CORRUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. DOWNSPOUT LOCATION AND QUANTITY TO BE DETERMINED BY DESIGN/BUILD ROOFING CONTRACTOR. LOCATION OF DOWNSPOUTS TO BE DETERMINED IN THE FIELD BY GENERAL CONTRACTOR AND DESIGN/BUILD PLUMBING CONTRACTOR.
- 14) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.
- 15) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC & NFPA 13R, AS REQUIRED.

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 17-0302

**1 GLENN PLACE:
STACKED FLATS**

ARCHITECTURAL DESIGN REVIEW

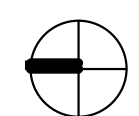
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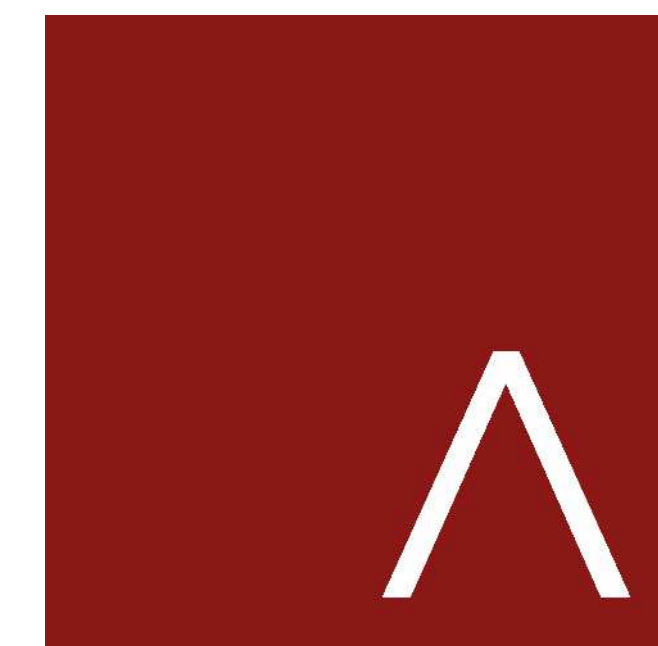
DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**ROOF PLAN -
BUILDING D2**

SHEET NUMBER
A109-D2





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JLA PROJECT NUMBER: 17-0302



1 GLENN PLACE:
STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

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DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**EXTERIOR ELEVATIONS
- BUILDING D2**

SHEET NUMBER
A200-D2



6 EAST ELEVATION - BUILDING D2
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	FASCIA	ROLLE	PREFINISHED ALUMINUM	SEE PLANS	MATCH VINYL TRIM	OR APPROVED EQUAL
2	ROOFING - SHINGLES	CERTAINTEED - LANDMARK DESIGNER	ARCHITECTURAL	SEE PLANS	MISSION BROWN	
3	RAILINGS	KANE STERLING	CLASSIC SERIES	SEE PLANS	WHITE	
4	SOFFIT	CERTAINTEED	PREFINISHED VENTED	SEE PLANS	MATCH FASCIA	
5	CORNER TRIM	CERTAINTEED	VINYL CORNERPOST	4"	COLONIAL WHITE	
6	DOOR / WINDOW TRIM	CERTAINTEED	VINYL LINEAL SYSTEM	6"	COLONIAL WHITE	
7	FRIEZE TRIM	CERTAINTEED	VINYL TRIM	1 7/8"	COLONIAL WHITE	
8	PRECAST CONCRETE SILL - PROFILE #3	PRAIRIE STONE	SMOOTH FACE	SEE PRECAST PROFILES	GRIS	
9	MASONRY #1	GLEN CERY BRICK	UTILITY SIZE	SEE PLANS	SMOKEY QUARTZ	COLORED MORTAR TO MATCH BRICK
10	ENTRY DOOR	THERMA-TRU	SEE DOOR SCHEDULE	SEE PLANS	PAINTED TO MATCH TRIM	
11	SKIRT BOARD		PRESSURE TREATED LUMBER	1X12	PAINTED TO MATCH TRIM	
12	HORIZONTAL SIDING #1	CERTAINTEED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 5"	GRANITE GRAY	
13	HORIZONTAL SIDING #2	CERTAINTEED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	FOREST	
14	HORIZONTAL SIDING #3	CERTAINTEED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	SEAGRASS	
15	HORIZONTAL SIDING #4	CERTAINTEED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	DESERT TAN	
16	SHAKE SIDING	CERTAINTEED - CEDAR IMPRESSIONS	STAGGERED EDGE	D7	DESERT TAN	
17	TRIM #1	CERTAINTEED	SMOOTH	1"	COLONIAL WHITE	
18	TRIM #2	CERTAINTEED	SMOOTH	1 1/2"	COLONIAL WHITE	
19	PRECAST CONCRETE BAND - PROFILE #6	PRAIRIE STONE	SMOOTH FACE	SEE PLANS	GRIS	
20	BALCONY / DECK	TAMKO EVERGRAIN	COMPOSITE	1X6	TBD	
25	OVERHEAD GARAGE DOOR	WAYNE DALTON	8100 SERIES, COLONIAL PANEL	SEE DOOR SCHEDULE	PAINTED TO MATCH TRIM	INSULATED
26	EXTERIOR LIGHT	TBD	PER OWNER'S SPECIFICATIONS	SEE PLAN	TBD	
29	DECORATIVE BRACKET	TBD	SEE ELEVATIONS	SEE ELEVATIONS	MATCH VINYL TRIM	
33	GUTTER & DOWNSPOUT	TBD	SEE PLANS & SPECIFICATIONS	SEE PLANS & SPECIFICATIONS	TO MATCH TRIM	

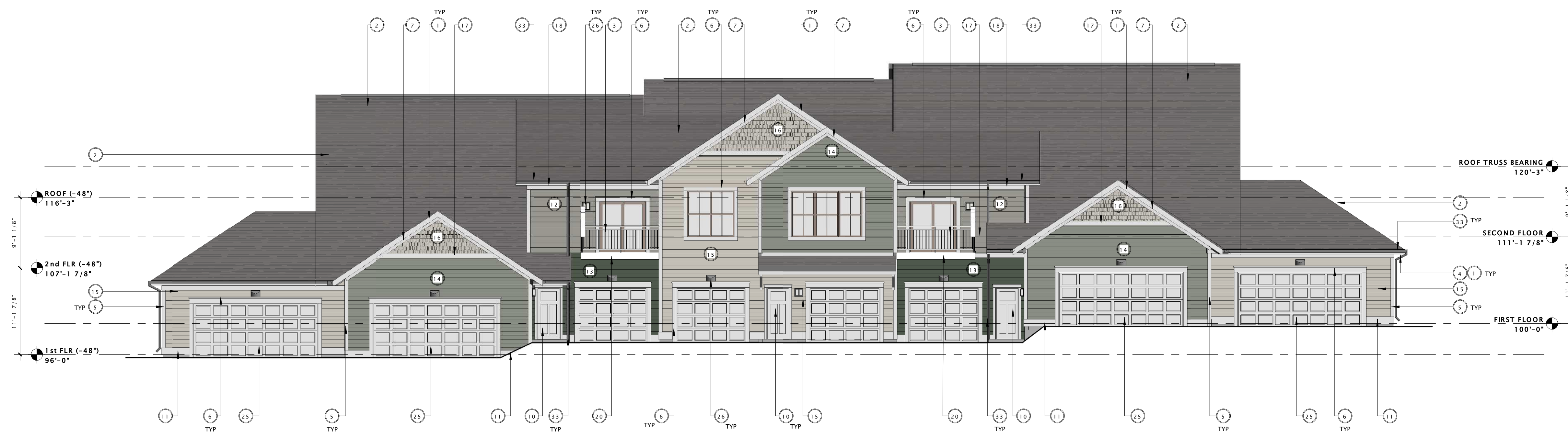


17 NORTH ELEVATION - BUILDING D2
1/8" = 1'-0"



7 SOUTH ELEVATION - BUILDING D2
1/8" = 1'-0"

MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	FASCIA	ROLLE	PREFINISHED ALUMINUM	SEE PLANS	MATCH VINYL TRIM	OR APPROVED EQUAL
2	ROOFING / SHINGLES	CERTAINTED - LANDMARK DESIGNER	ARCHITECTURAL	SEE PLANS	MISSION BROWN	
3	RAILING	HANE STERLING	CLASSIC SERIES	SEE PLANS	WHITE	
4	SOFFIT	CERTAINTED	PREFINISHED VENTED	SEE PLANS	MATCH FASCIA	
5	CORNER TRIM	CERTAINTED	VINYL CORNERPOST	4"	COLONIAL WHITE	
6	DOOR / WINDOW TRIM	CERTAINTED	VINYL LINEAL SYSTEM	6"	COLONIAL WHITE	
7	FRIEZE TRIM	CERTAINTED	VINYL TRIM	1"x6"	COLONIAL WHITE	
8	PRECAST CONCRETE SILL - PROFILE #3	PRAIRIE STONE	SMOOTH FACE	SEE PRECAST PROFILES	GRIS	
9	MASONRY #1	GLEN GERY BRICK	UTILITY SIZE		SMOKEY QUARTZ	COLORED MORTAR TO MATCH BRICK
10	ENTRY DOOR	THERMA-TRU	SEE DOOR SCHEDULE	SEE PLANS	PAINTED TO MATCH TRIM	
11	SKIRT BOARDS		PRESSURE TREATED LUMBER	1x12	PAINTED TO MATCH TRIM	
12	HORIZONTAL SIDING #1	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 5"	GRANITE CRAY	
13	HORIZONTAL SIDING #2	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	FOREST	
14	HORIZONTAL SIDING #3	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	SEACKASS	
15	HORIZONTAL SIDING #4	CERTAINTED - MAINSTREET	WOODGRAIN CLAPBOARD	DOUBLE 4"	DESERT TAN	
16	SHAKE SIDING	CERTAINTED - CEDAR IMPRESSIONS	STAGGERED EDGE	D7	DESERT TAN	
17	TRIM #1	CERTAINTED	SMOOTH	8"	COLONIAL WHITE	
18	TRIM #2	CERTAINTED	SMOOTH	1x6"	COLONIAL WHITE	
19	PRECAST CONCRETE BAND - PROFILE #6	PRAIRIE STONE	SMOOTH FACE	SEE PLANS	GRIS	
20	BALCONY / DECK	TAMKO EVERGRAIN	COMPOSITE	1x6	TBD	
25	OVERHEAD GARAGE DOOR	WAYNE DALTON	R100 SERIES, COLONIAL PANEL	SEE DOOR SCHEDULE	PAINTED TO MATCH TRIM	INSULATED
26	EXTERIOR LIGHT	TBD	PER OWNER'S SPECIFICATIONS	SEE PLAN	TBD	
29	DECORATIVE BRACKET	TBD	SEE ELEVATIONS	SEE ELEVATIONS	MATCH VINYL TRIM	
33	GUTTER & DOWNSPOUT	TBD	TBD	SEE PLANS & SPECIFICATIONS	TO MATCH TRIM	



16 WEST ELEVATION - BUILDING D2
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER:17-0302



1 GLENN PLACE:
STACKED FLATS

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- BUILDING D2

SHEET NUMBER

A201-D2



JLA
ARCHITECTS

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 17-0302



**1 GLENN PLACE:
STACKED FLATS**

ARCHITECTURAL DESIGN REVIEW

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DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR IMAGES

SHEET NUMBER

A210-ADR



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-0302



**1 GLENN PLACE:
STACKED FLATS**

ARCHITECTURAL DESIGN REVIEW

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE NOVEMBER 20, 2017

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR IMAGES

SHEET NUMBER

A211-ADR

Cree Edge™ Series

LED Security Wall Pack Luminaire

TYPES A & B
1 GLENN PLACE
TOWNHOMES & STACKED FLATS

Product Description

The Cree Edge™ wall mount luminaire has a slim, low profile design. The luminaire end caps are made from rugged die cast aluminum with integral, weathertight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mud ring single gang J-Boxes. Secures to wall with four 3/16" (5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf/debris guard.

Applications: General area and security lighting

Performance Summary

Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

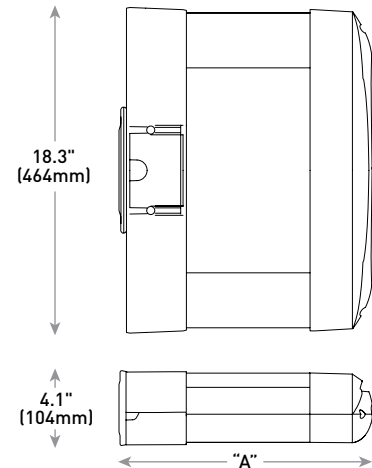
CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

*See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK	Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required



LED Count (x10)	Dim. "A"	Weight
02	9.9" (251mm)	20 lbs. (9.1kg)
04	11.9" (303mm)	22 lbs. (10.0kg)
06	13.9" (353mm)	25 lbs. (11.3kg)
08	15.9" (404mm)	27 lbs. (12.2kg)
10	17.9" (455mm)	31 lbs. (14.1kg)
12	19.9" (505mm)	32 lbs. (14.5kg)

Ordering Information

Example: SEC-EDG-2M-WM-06-E-UL-SV-700

SEC-EDG	Optic	WM	LED Count (x10)	E	Voltage	Color Options	Drive Current	Options
SEC-EDG	2M Type II Medium 2MB Type II Medium w/BLS 2S Type II Short 2SB Type II Short w/BLS 3M Type III Medium TYPE B 3MB Type III Medium w/BLS 4M Type IV Medium TYPE A 4MB Type IV Medium w/BLS	WM Wall Mount	02 04 06 08 10 12	E	UL Universal 120-277V UH Universal 347-480V 34 347V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA - Available with 20-80 LEDs 700 700mA - Available with 20-60 LEDs	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current F Fuse - Refer to ML spec sheet for availability with ML options - Available with UL voltage only - Available for U.S. applications only - When code dictates fusing, use time delay fuse ML Multi-Level - Refer to ML spec sheet for details - Intended for downlight applications with 0° tilt P Photocell - Refer to ML spec sheet for availability with ML options - Must specify UL or 34 voltage PML Programmable Multi-Level - Refer to PML spec sheet for details - Intended for downlight applications with 0° tilt 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V3 09/06/2017

Canada: www.cree.com/canada



T (800) 473-1234 F (800) 890-7507

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance aluminum heat sinks specifically designed for LED applications
- Housing is rugged aluminum
- Furnished with low copper, light weight mounting box designed for installation over standard and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Allows mounting for uplight or downlight
- Designed and approved for easy through-wiring
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultradurable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** See Dimensions and Weight Chart on page 1

ELECTRICAL SYSTEM

- **Input Voltage:** 120–277V or 347–480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral weathertight J-Box with leads (wire nuts) for easy power hook up
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA; 20LED (525 & 700 mA) and 40-120 LED: 0.15mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Enclosure rated IP66 per IEC 60529 when ordered without P, PML or ML options
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA

Electrical Data*							
LED Count (x10)	System Watts 120-480V	Total Current (A)					
		120V	208V	240V	277V	347V	480V
350mA							
02	25	0.21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
525mA							
02	37	0.30	0.19	0.17	0.16	0.12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
700mA							
02	50	0.41	0.25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%

Recommended Cree Edge™ Series Lumen Maintenance Factors (LMF) ¹					
Ambient	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing

² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times

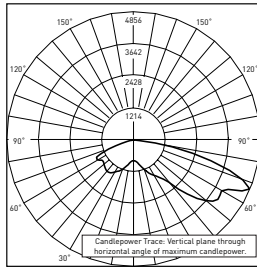
(6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip)

³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip)

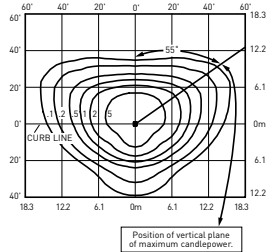
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/wall-mount/cree-edge-series-5>

3M TYPE B

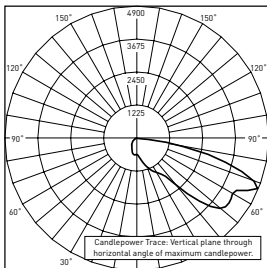


ITLTest Report #: 79173
SEC-EDG-3M-**-06-E-UL-700-40K
Initial Delivered Lumens: 10,343

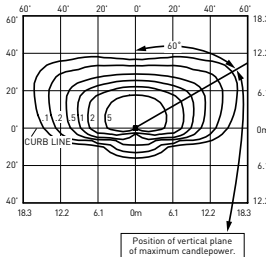


SEC-EDG-3M-**-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 11,220
Initial FC at grade

3MB



CSA Test Report #: 6448
ARE-EDG-3MB-**-06-E-UL-700
Initial Delivered Lumens: 7,740



SEC-EDG-3MB-**-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 8,300
Initial FC at grade

Type III Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,027	B1 U0 G1	2,105	B1 U0 G1
04	4,054	B1 U0 G1	4,209	B1 U0 G1
06	6,011	B2 U0 G2	6,242	B2 U0 G2
08	8,015	B2 U0 G2	8,323	B2 U0 G2
10	9,994	B3 U0 G3	10,379	B3 U0 G3
12	11,993	B3 U0 G3	12,454	B3 U0 G3
525mA				
02	2,837	B1 U0 G1	2,947	B1 U0 G1
04	5,675	B2 U0 G2	5,893	B2 U0 G2
06	8,415	B2 U0 G2	8,739	B2 U0 G2
08	11,220	B3 U0 G3	11,652	B3 U0 G3
700mA				
02	3,466	B1 U0 G1	3,599	B1 U0 G1
04	6,932	B2 U0 G2	7,198	B2 U0 G2
06	10,279	B3 U0 G3	10,674	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Type III Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,499	B1 U0 G1	1,557	B1 U0 G1
04	2,999	B1 U0 G1	3,114	B1 U0 G1
06	4,446	B1 U0 G1	4,617	B1 U0 G1
08	5,929	B1 U0 G2	6,157	B1 U0 G2
10	7,393	B1 U0 G2	7,677	B1 U0 G2
12	8,872	B1 U0 G2	9,213	B1 U0 G2
525mA				
02	2,099	B1 U0 G1	2,180	B1 U0 G1
04	4,198	B1 U0 G1	4,359	B1 U0 G1
06	6,225	B1 U0 G2	6,464	B1 U0 G2
08	8,300	B1 U0 G2	8,619	B1 U0 G2
700mA				
02	2,564	B1 U0 G1	2,662	B1 U0 G1
04	5,127	B1 U0 G2	5,325	B1 U0 G2
06	7,603	B1 U0 G2	7,896	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

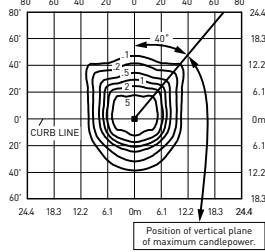
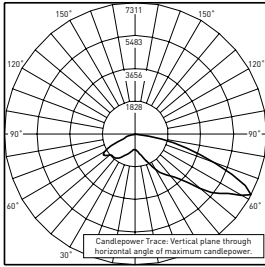
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/wall-mount/cree-edge-series-5>

4M TYPE A



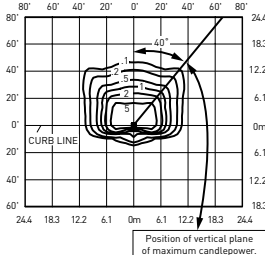
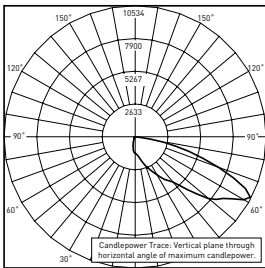
ITL Test Report #: 78793
SEC-EDG-4M-**-08-E-UL-525-40K
Initial Delivered Lumens: 11,607

SEC-EDG-4M-**-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 11,835
Initial FC at grade

Type IV Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,138	B1 U0 G1	2,220	B1 U0 G1
04	4,276	B1 U0 G1	4,440	B1 U0 G1
06	6,340	B2 U0 G2	6,584	B2 U0 G2
08	8,454	B2 U0 G2	8,779	B2 U0 G2
10	10,542	B2 U0 G2	10,947	B3 U0 G3
12	12,650	B3 U0 G3	13,137	B3 U0 G3
525mA				
02	2,993	B1 U0 G1	3,108	B1 U0 G1
04	5,986	B2 U0 G2	6,216	B2 U0 G2
06	8,876	B2 U0 G2	9,218	B2 U0 G2
08	11,835	B3 U0 G3	12,290	B3 U0 G3
700mA				
02	3,656	B1 U0 G1	3,796	B1 U0 G1
04	7,311	B2 U0 G2	7,593	B2 U0 G2
06	10,842	B3 U0 G3	11,259	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

4MB



CSA Test Report #: 6449
ARE-EDG-4MB-**-12-E-UL-525-40K
Initial Delivered Lumens: 13,155

SEC-EDG-4MB-**-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 8,915
Initial FC at grade

Type IV Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,610	B0 U0 G1	1,672	B0 U0 G1
04	3,221	B1 U0 G1	3,345	B1 U0 G1
06	4,776	B1 U0 G1	4,959	B1 U0 G1
08	6,368	B1 U0 G2	6,613	B1 U0 G2
10	7,941	B1 U0 G2	8,246	B1 U0 G2
12	9,529	B1 U0 G2	9,895	B1 U0 G2
525mA				
02	2,254	B0 U0 G1	2,341	B0 U0 G1
04	4,509	B1 U0 G1	4,682	B1 U0 G1
06	6,686	B1 U0 G2	6,943	B1 U0 G2
08	8,915	B1 U0 G2	9,258	B1 U0 G2
700mA				
02	2,754	B0 U0 G1	2,860	B0 U0 G1
04	5,507	B1 U0 G1	5,719	B1 U0 G2
06	8,167	B1 U0 G2	8,481	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



DESCRIPTION

The Prevail™ LED pole and fixture combination makes selection and installation of poles and fixtures simple. Included is the die-cast Prevail area, site and roadway luminaire with standard mounting arm, square straight steel pole, anchor bolts, base cover, template and hardware. Stock configurations are available in single and dual fixture combinations. The Prevail luminaire delivers a new level of versatility and value in patent pending, architectural design that delivers energy savings greater than 62% and replaces 150-450W metal halide fixtures. The Prevail fixture and pole combo is ideal for general area/site lighting applications.

SPECIFICATION FEATURES

Construction

Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing in dark bronze polyester powder paint. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136.31).

Optics

Available in Type III and IV distributions with lumen packages ranging from 6,173 to 18,992 nominal lumens. Light engine configurations consist of 1 or 2 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L92/60,000 hours at 25°C) per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

Electrical

Available in 120-277V 50/60Hz. 10kV/10kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C.

Controls

An integrated dimming and occupancy sensor is available in bi-level dimming (MSP/DIM) operation.

Mounting

The versatile, patent pending, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting.

Catalog #	FFPRV-1-A25-T3-20	Type
Project	1 GLENN PLACE	T3
Comments		Date
Prepared by		

Pole

Shaft is one-piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A366 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A576 with two nuts, two flat washers, and one lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

Finish

Housing and cast parts finished in five-stage super TGIC polyester bronze powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.

Warranty

Five-year warranty.

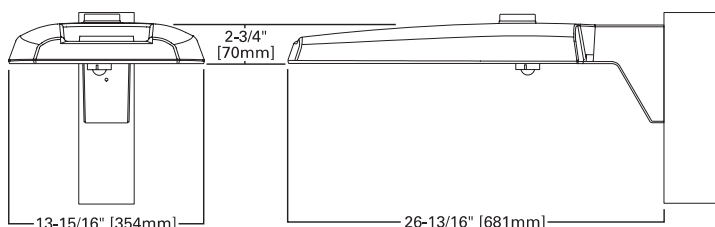


FFPRV PREVAIL POLE AND FIXTURE COMBO

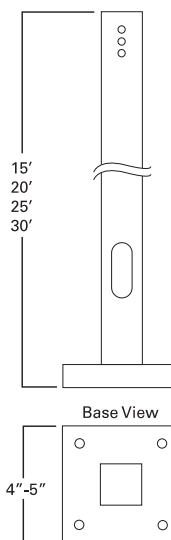
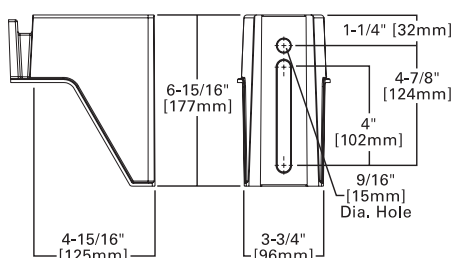
LED

POLE AND FIXTURE COMBO

DIMENSIONS



POLE MOUNT ARM



CERTIFICATION DATA

UL and cUL Wet Location Listed
IP66-Rated
3G Vibration Rated
ISO 9001
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 and 60Hz,
347V/60Hz, 480V/60Hz
-40°C Minimum Temperature Rating
+40°C Ambient Temperature Rating

EPA

Effective Projected Area (Sq. Ft.): 0.75
(1 fixture)

SHIPPING DATA

Approximate Net Weight:
20lbs. [9.09 kgs.] (1 fixture)

ORDERING INFORMATION

Sample Number: PFPRV-1-A25-T3-15-N/AB

Series ^{1,2,3}	Number of Fixtures	Light Engine	Distribution	Pole Height	Maximum Wind Zone (MPH)	Options (Add as Suffix)	Accessories (Order Separately)
PFPRV=Prevail Pole and Fixture Combo	1=1 2=2 3=3 4=4	A15=(1 LED) 6,100 Nominal Lumens A25=(2 LED) 10,200 Nominal Lumens A40=(2 LED) 15,100 Nominal Lumens A60=(2 LED) 18,900 Nominal Lumens	T3=Type III T4=Type IV	15=15' 20=20' 25=25' 30=30'	Blank=80 9=90 0=100	N/AB=No Anchor Bolts (Used when ordered separately) HSS=House Side Shield MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height PER=NEMA 3PIN Twistlock Photocontrol Receptacle ⁴ PER7=NEMA 7PIN Twistlock Photocontrol Receptacle ⁴	HS/VERD=House Side Shield

NOTES: 1 4000K CCT, standard bronze, 120-277V, 0-10V dimming. 2 Standard mount arm included with fixture. Supplied with straight steel shaft, anchor bolts, template, base cover and hardware. 3 DesignLights Consortium™ Qualified and classified for DLC standard, refer to www.designlights.org for details. 4 Not available with MSP options.

POWER AND LUMENS

Light Engine	A15	A25	A40	A60	
Nominal Power (Watts)	57W	87W	143W	163W	
Input Current @ 120V (A)	0.49	0.76	1.23	1.34	
Input Current @ 277V (A)	0.22	0.35	0.54	0.60	
Input Current @ 347V (A)	0.18	0.28	0.45	0.49	
Input Current @ 480V (A)	0.13	0.21	0.33	0.35	
Type II	Lumens	6,139	10,204	15,073	18,830
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
Type III	Lumens	6,192	10,292	15,203	18,992
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4
Type IV	Lumens	6,173	10,261	15,157	18,935
	BUG Rating	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5
Type V	Lumens	6,393	10,627	15,697	19,610
	BUG Rating	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4

NOTE: Lumen output for standard bronze fixture color. Different housing colors impact lumen output. IES files for the non-standard colors are available upon request.

LUMEN MAINTENANCE

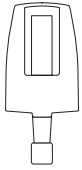
Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	Theoretical 100,000 Hours	Theoretical L70 (Hours)*
25°C	> 96%	> 93%	> 92%	> 87%	> 260,000
40°C	> 96%	> 93%	> 92%	> 87%	> 255,000
50°C	> 95%	> 92%	> 91%	> 86%	> 250,000

* Per IESNA TM-21 data.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

ONE FIXTURE CONFIGURATION
(30FT CONFIGURATIONS WITH 80, 90 AND 100MPH WIND ZONES USE A 5" POLE)

	Mounting Height (Feet)	Lumens (Nominal)	Distribution	Maximum Wind Zone (MPH)			HID Equivalent (Wattage)
				80	90	100	
 <p>EPA=0.75 T3=18,992 T4=18,935</p>	15'	6,192	Type III	PFPRV-1-A15-T3-15 ²	PFPRV-1-A15-T3-15-9 ²	PFPRV-1-A15-T3-15-0 ²	150W
		6,173	Type IV	PFPRV-1-A15-T4-15 ²	PFPRV-1-A15-T4-15-9 ²	PFPRV-1-A15-T4-15-0 ²	150W
		10,292	Type III	PFPRV-1-A25-T3-15 ²	PFPRV-1-A25-T3-15-9 ²	PFPRV-1-A25-T3-15-0 ²	250W
		10,261	Type IV	PFPRV-1-A25-T4-15 ²	PFPRV-1-A25-T4-15-9 ²	PFPRV-1-A25-T4-15-0 ²	250W
		15,203	Type III	PFPRV-1-A40-T3-15 ²	PFPRV-1-A40-T3-15-9 ²	PFPRV-1-A40-T3-15-0 ²	400W
		15,157	Type IV	PFPRV-1-A40-T4-15 ²	PFPRV-1-A40-T4-15-9 ²	PFPRV-1-A40-T4-15-0 ²	400W
		18,992	Type III	PFPRV-1-A60-T3-15 ²	PFPRV-1-A60-T3-15-9 ²	PFPRV-1-A60-T3-15-0 ²	450W
		18,935	Type IV	PFPRV-1-A60-T4-15 ²	PFPRV-1-A60-T4-15-9 ²	PFPRV-1-A60-T4-15-0 ²	450W
	20'	6,192	Type III	PFPRV-1-A15-T3-20 ²	PFPRV-1-A15-T3-20-9 ²	PFPRV-1-A15-T3-20-0 ²	150W
		6,173	Type IV	PFPRV-1-A15-T4-20 ²	PFPRV-1-A15-T4-20-9 ²	PFPRV-1-A15-T4-20-0 ²	150W
		10,292	Type III	PFPRV-1-A25-T3-20 ²	PFPRV-1-A25-T3-20-9 ²	PFPRV-1-A25-T3-20-0 ²	250W
		10,261	Type IV	PFPRV-1-A25-T4-20 ²	PFPRV-1-A25-T4-20-9 ²	PFPRV-1-A25-T4-20-0 ²	250W
		15,203	Type III	PFPRV-1-A40-T3-20 ²	PFPRV-1-A40-T3-20-9 ²	PFPRV-1-A40-T3-20-0 ²	400W
		15,157	Type IV	PFPRV-1-A40-T4-20 ²	PFPRV-1-A40-T4-25-9 ²	PFPRV-1-A40-T4-20-0 ²	400W
		18,992	Type III	PFPRV-1-A60-T3-20 ²	PFPRV-1-A60-T3-20-9 ²	PFPRV-1-A60-T3-20-0 ²	450W
		18,935	Type IV	PFPRV-1-A60-T4-20 ²	PFPRV-1-A60-T4-20-9 ²	PFPRV-1-A60-T4-20-0 ²	450W
	25'	6,192	Type III	PFPRV-1-A15-T3-25 ²	PFPRV-1-A15-T3-25-9 ²	PFPRV-1-A15-T3-25-0 ²	150W
		6,173	Type IV	PFPRV-1-A15-T4-25 ²	PFPRV-1-A15-T4-25-9 ²	PFPRV-1-A15-T4-25-0 ²	150W
		10,292	Type III	PFPRV-1-A25-T3-25 ²	PFPRV-1-A25-T3-25-9 ²	PFPRV-1-A25-T3-25-0 ²	250W
		10,261	Type IV	PFPRV-1-A25-T4-25 ²	PFPRV-1-A25-T4-25-9 ²	PFPRV-1-A25-T4-25-0 ²	250W
		15,203	Type III	PFPRV-1-A40-T3-25 ²	PFPRV-1-A40-T3-25-9 ²	PFPRV-1-A40-T3-25-0 ²	400W
		15,157	Type IV	PFPRV-1-A40-T4-25 ²	PFPRV-1-A40-T4-25-9 ²	PFPRV-1-A40-T4-25-0 ²	400W
		18,992	Type III	PFPRV-1-A60-T3-25 ²	PFPRV-1-A60-T3-25-9 ²	PFPRV-1-A60-T3-25-0 ²	450W
		18,935	Type IV	PFPRV-1-A60-T4-25 ²	PFPRV-1-A60-T4-25-9 ²	PFPRV-1-A60-T4-25-0 ²	450W
30'	6,192	Type III	PFPRV-1-A15-T3-30 ³	PFPRV-1-A15-T3-30-9 ³	PFPRV-1-A15-T3-30-0 ⁴	150W	
	6,173	Type IV	PFPRV-1-A15-T4-30 ³	PFPRV-1-A15-T4-30-9 ³	PFPRV-1-A15-T4-30-0 ⁴	150W	
	10,292	Type III	PFPRV-1-A25-T3-30 ³	PFPRV-1-A25-T3-30-9 ³	PFPRV-1-A25-T3-30-0 ⁴	250W	
	10,261	Type IV	PFPRV-1-A25-T4-30 ³	PFPRV-1-A25-T4-30-9 ³	PFPRV-1-A25-T4-30-0 ⁴	250W	
	15,203	Type III	PFPRV-1-A40-T3-30 ³	PFPRV-1-A40-T3-30-9 ³	PFPRV-1-A40-T3-30-0 ⁴	400W	
	15,157	Type IV	PFPRV-1-A40-T4-30 ³	PFPRV-1-A40-T4-30-9 ³	PFPRV-1-A40-T4-30-0 ⁴	400W	
	18,992	Type III	PFPRV-1-A60-T3-30 ³	PFPRV-1-A60-T3-30-9 ³	PFPRV-1-A60-T3-30-0 ⁴	450W	
	18,935	Type IV	PFPRV-1-A60-T4-30 ³	PFPRV-1-A60-T4-30-9 ³	PFPRV-1-A60-T4-30-0 ⁴	450W	

- NOTES:**
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions IB500002EN and pole white paper WP513001EN for additional support information.
 - Supplied with 4A Square Straight Steel Shaft (SSS), Anchor Bolts (AB1), Template (TMP1), hardware and base cover. 15' combo SS4A15SFM4, 20' combo SS4A20SFM4, and 25' combo SS4A25SFM4.
 - Supplied with 5A Square Straight Steel Shaft (SSS), Anchor Bolts (AB1), Template (TMP1), hardware and base cover. 30' combo SS5A30SFM4.
 - Supplied with 5M Square Straight Steel Shaft (SSS), Anchor Bolts (AB1), Template (TMP1), hardware and base cover. 30' combo SS5M30SFM4.
 - Refer to In Stock Guide for stocked configurations and availability.